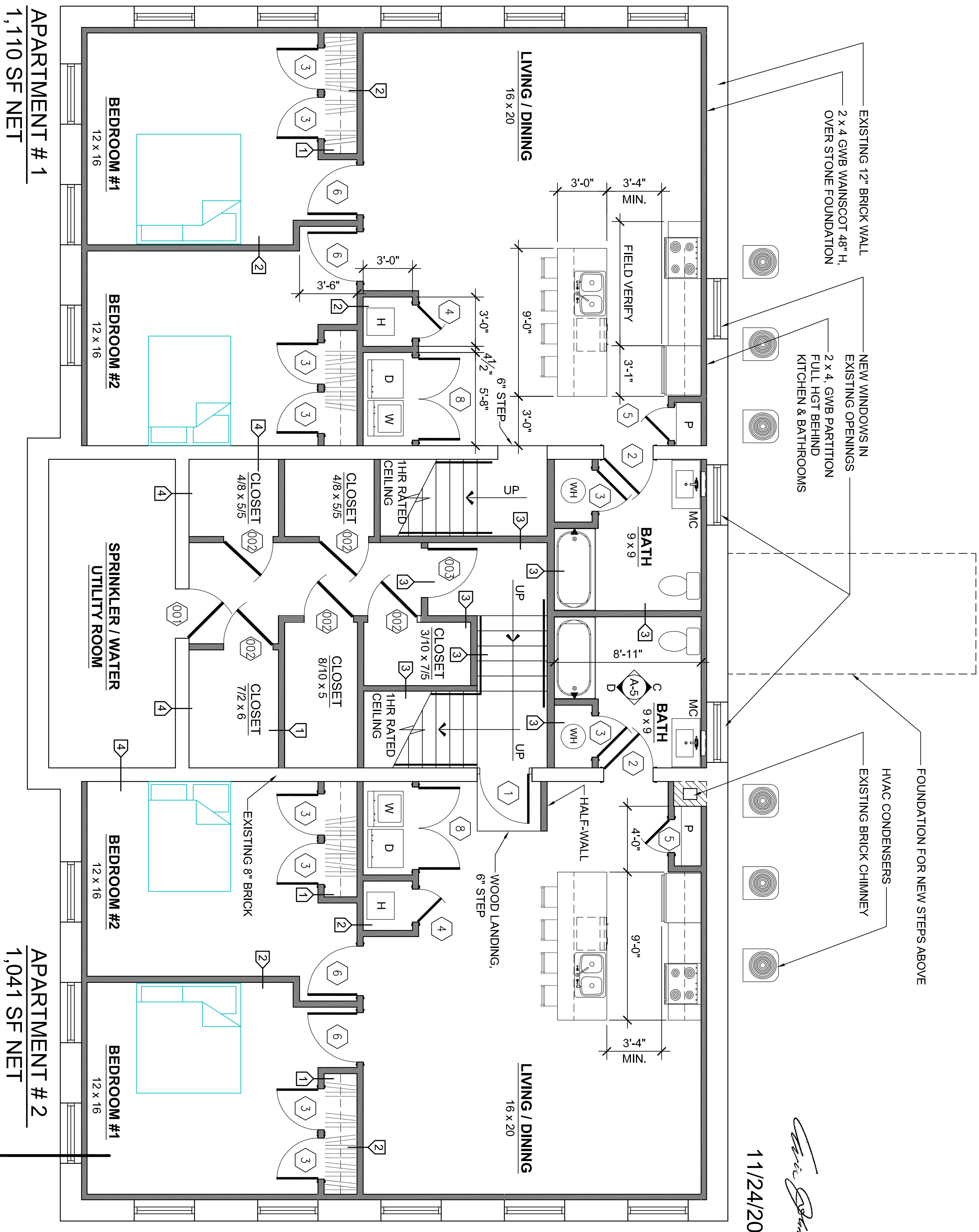
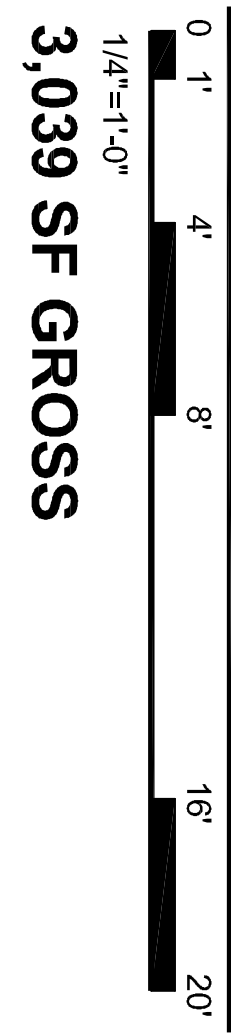


GENERAL NOTES

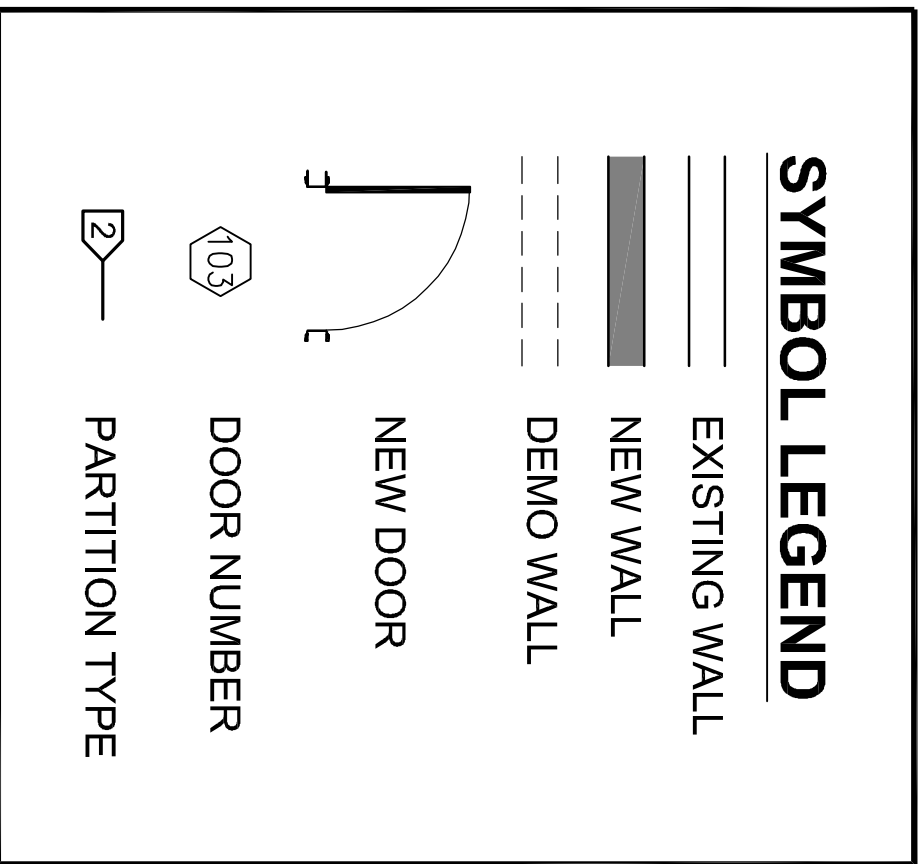
- PERMITS:** PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. GENERAL CONTRACTOR (GC) APPLIES FOR THE BUILDING PERMIT. PROVIDES CONTRACTOR & BUILDING TRADE REGISTRATIONS, AND ARRANGES FOR REQUIRED INSPECTIONS & GOVERNING APPROVALS.
- PROJECT COORDINATION:** GC IS RESPONSIBLE FOR ALL MEANS, METHODS, SAFETY PROVISIONS, AND MANAGEMENT TO PROVIDE A COMPLETE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONDUCT FIELD REVIEWS TO VERIFY EXISTING CONDITIONS, DIMENSIONS, UTILITIES, EQUIPMENT CONNECTIONS, AND PRODUCT REQUIREMENTS PRIOR TO COMMENCING SEQUENTIAL WORK. GC IS RESPONSIBLE FOR THEIR SUBCONTRACT WORK AND SHALL BE THE SINGLE POINT OF COMMUNICATIONS WITH THE OWNER/REPRESENTATIVE.
- MANUFACTURERS SPECIFICATIONS:** PROVIDE ALL PRODUCT INSTALLATIONS IN ACCORDANCE WITH THE MANUFACTURER'S LATEST PRINTED STANDARDS, ACHIEVING ALL DIMENSIONS, SUBSTRATE PREPARATION, ROUGH-INS, AND CONDITIONS AS MAY BE REQUIRED FOR PRODUCT WARRANTIES.
- EXISTING CONDITIONS:** PROTECT ADJACENT FACILITIES AND WHERE NEW WORK REQUIRES DISTURBING EXISTING MATERIALS, PATCH FINISHES TO MATCH. GC SHALL PERFORM DEMOLITION, LAWFUL DISPOSAL, CUTTING & PATCHING, SUBSTRATE PREP, AND FINISHES TO ACHIEVE UNIFORM APPEARANCE. IF BUILDING STRUCTURAL WORK OR ALTERATIONS ARE TO BE PERFORMED, SCOPE SHALL BE SPECIFIED BY A STRUCTURAL ENGINEER.
- APPROVALS & WORKMANSHIP:** SUBMIT CATALOG DATA FOR ALL PRODUCTS INCLUDING BUILDING MATERIALS, MILLWORK, VENDOR PROVIDED DOORS/WINDOWS/HARDWARE/EQUIPMENT, MEP FIXTURES, AND COLOR SAMPLES TO THE OWNER/REPRESENTATIVE FOR DESIGN CONFIRMATION AND PROJECT RECORDS. FINALIZE WORK AND PUNCHLIST TO THE SATISFACTION OF THE OWNER/REPRESENTATIVE.
- MEP DESIGN:** NEW WORK OR ALTERATIONS TO MECHANICAL, PLUMBING, ELECTRICAL (MEP) SYSTEMS SHALL COMPLY WITH THE UCC AND APPLICABLE ICC CODES. SEE MEP PLANS AND SPECIFICATIONS.
- CONSTRUCTION CONTRACT:** GENERAL CONTRACTORS STANDARD FORM OF AGREEMENT MUST ADDRESS THE REIMBURSEMENT ARRANGEMENTS, SCOPE OF WORK, SCHEDULE OF COMPLETION DATE ALTERNATIVES, WARRANTIES, EVIDENCE OF INSURANCE, OTHER LEGALITIES, AND COMPLIANCE WITH APPLICABLE CODES & PERMITS. ANY PRODUCT SUBSTITUTIONS OR CHANGES TO THE SCOPE OF WORK MUST COMPLY WITH THE BUILDING PERMIT AND HAVE PRIOR APPROVAL FROM THE OWNER / REPRESENTATIVE.



FIRST FLOOR PLAN



THIRD FLOOR	3,039 SF
SECOND FLOOR	2,865 SF
FIRST FLOOR	3,039 SF
TOTAL =	8,943 SF GROSS

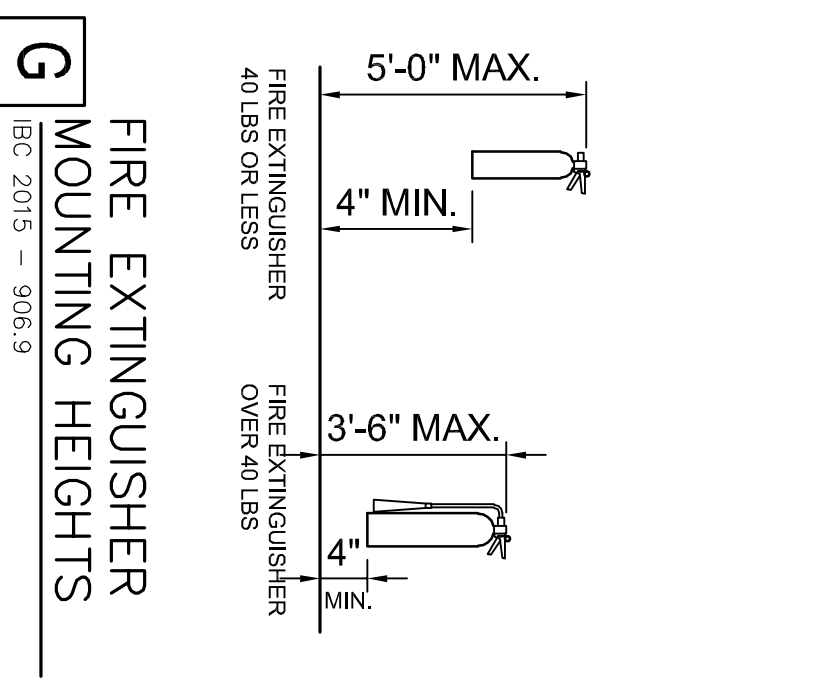
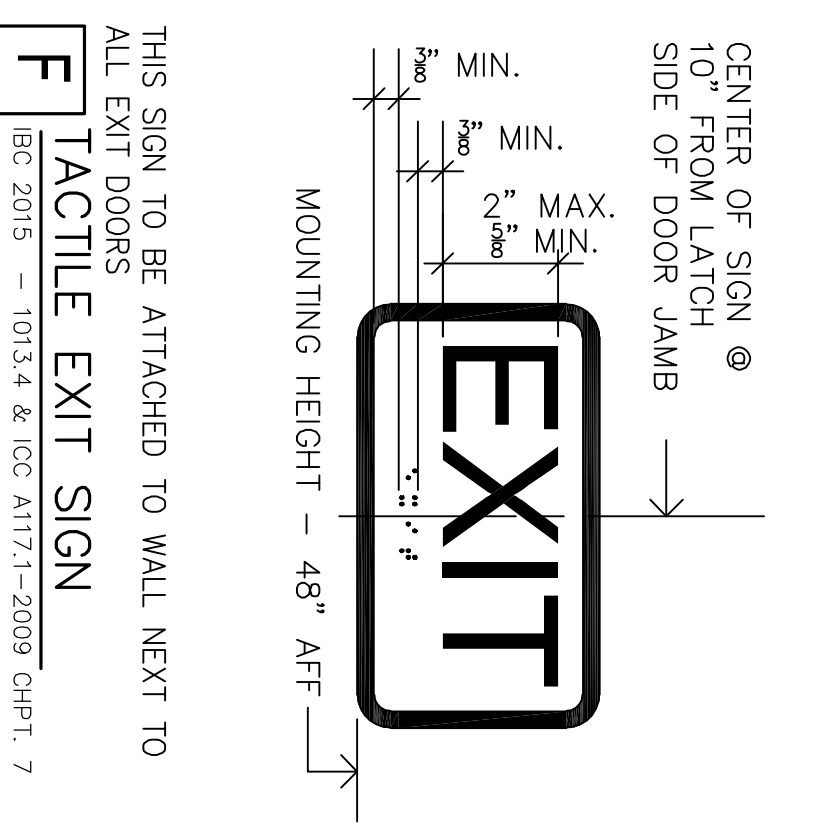
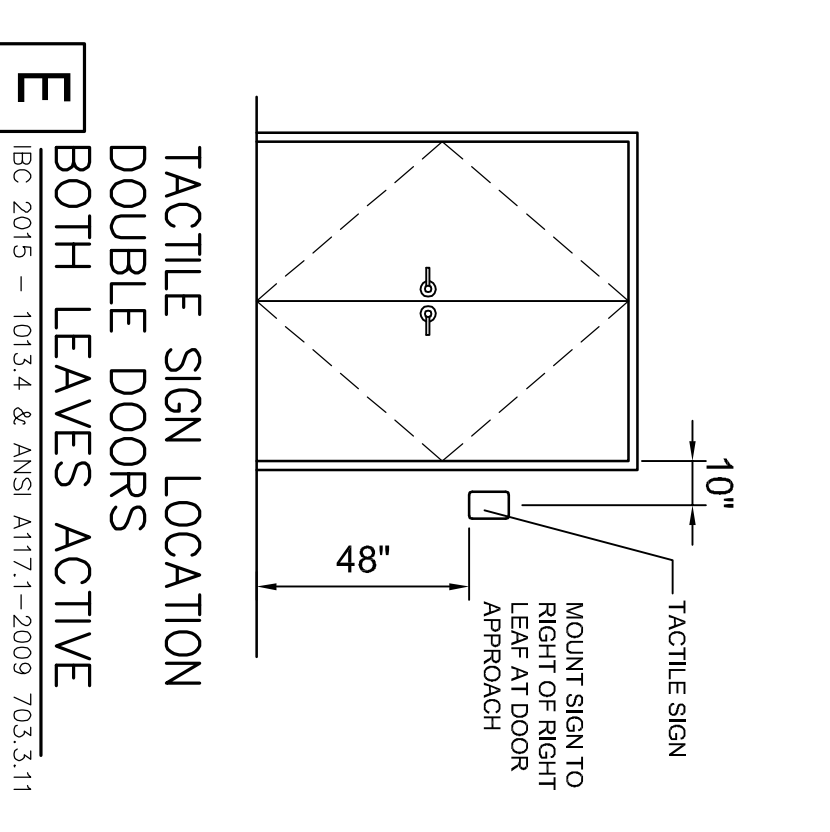
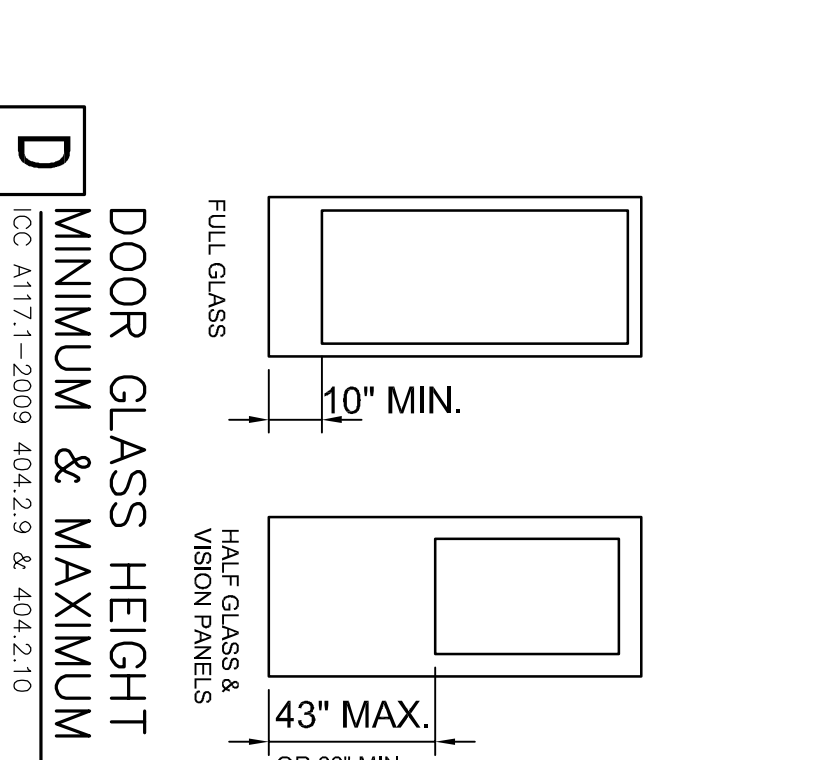
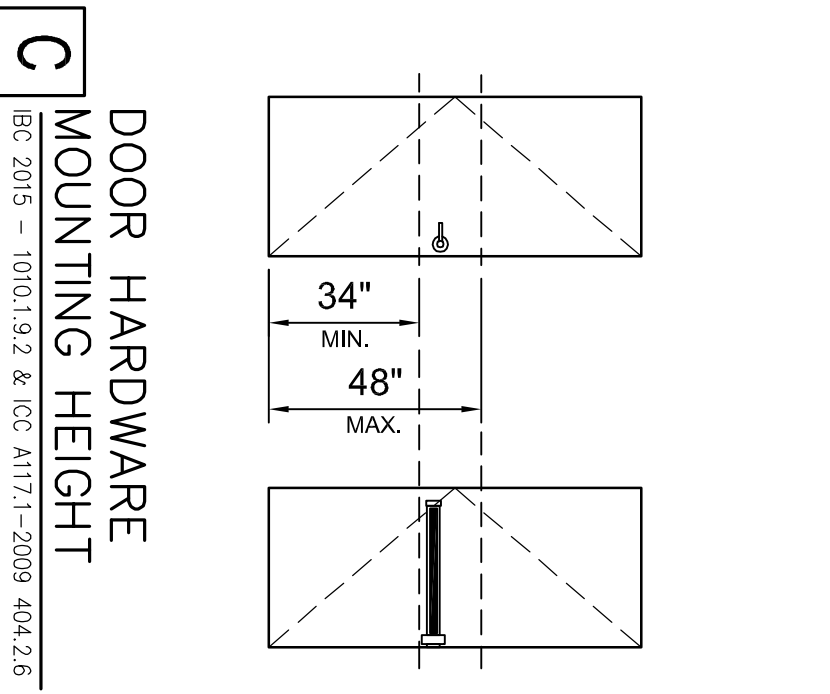
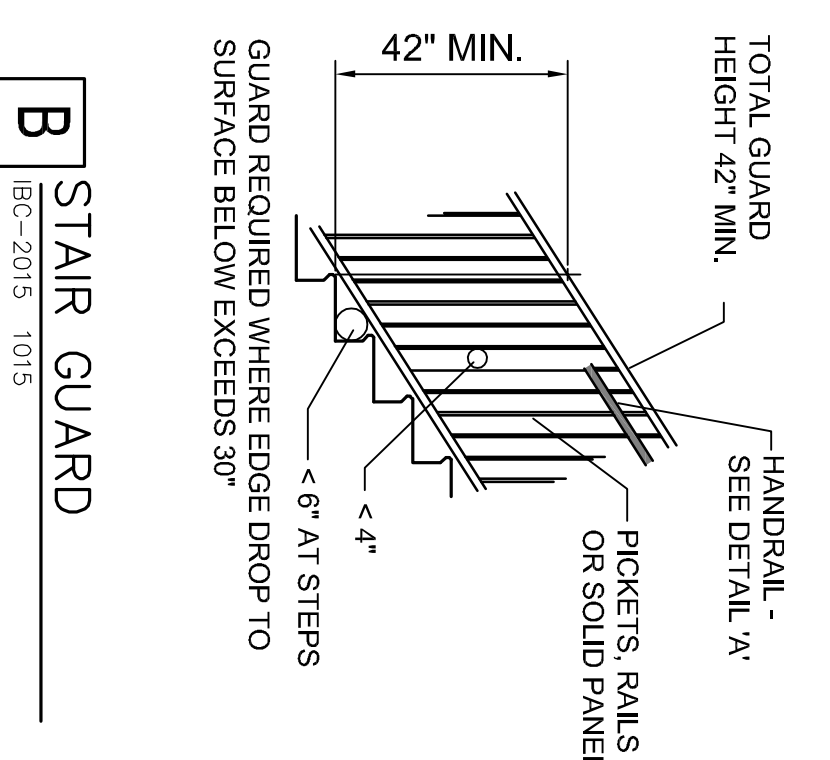
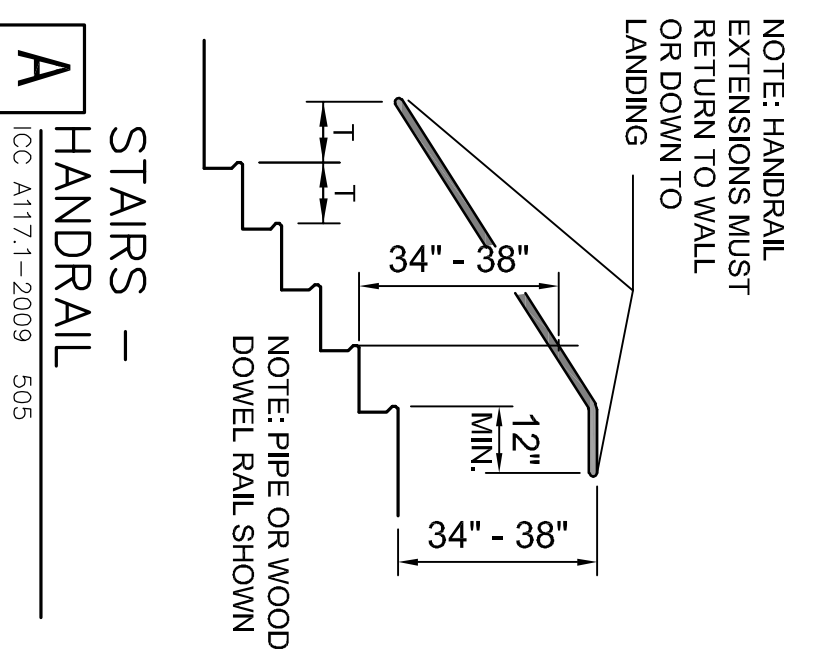


DRAWING INDEX

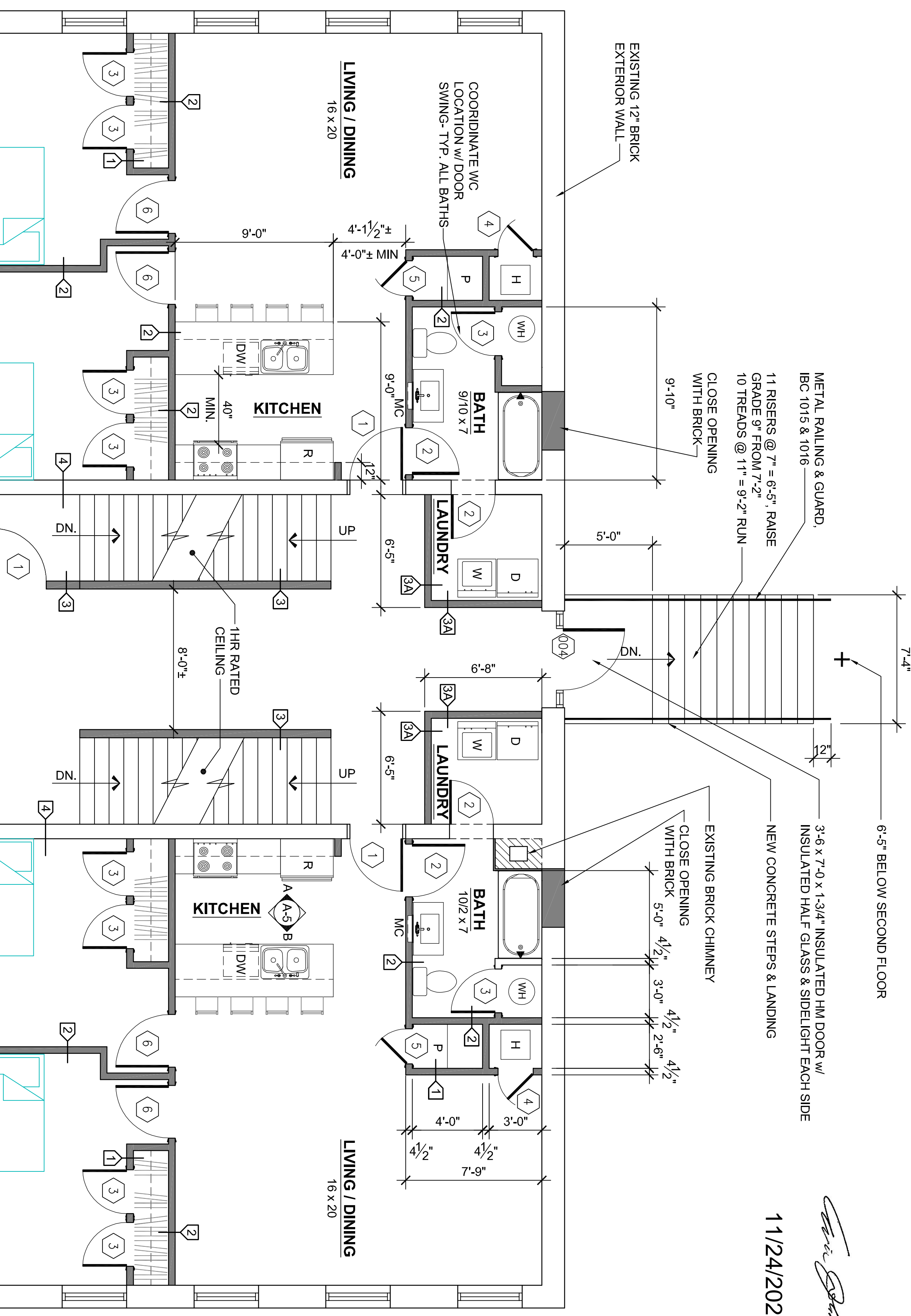
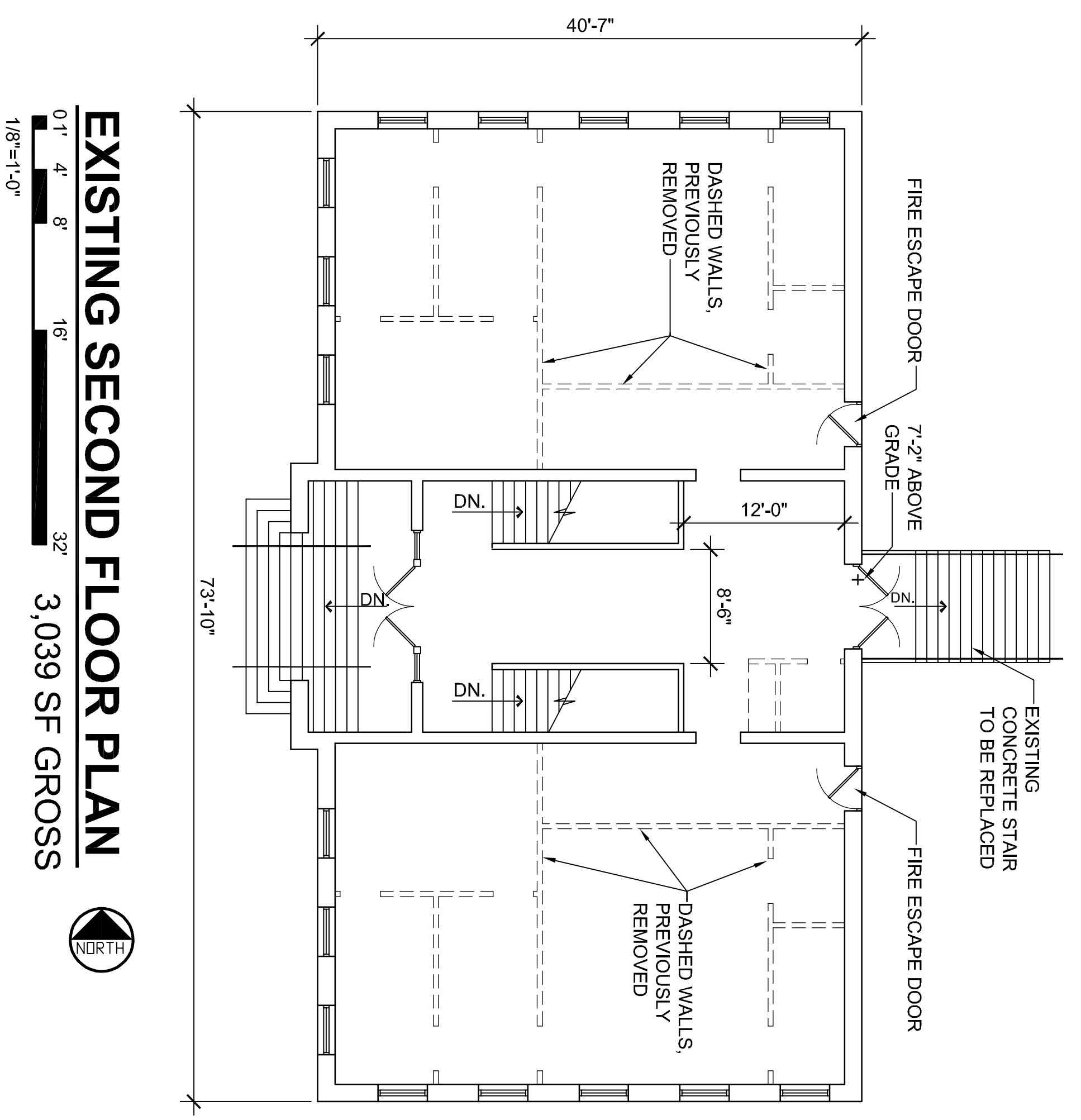
A-1	FIRST FLOOR PLANS
A-2	SECOND FLOOR PLANS
A-3	THIRD FLOOR PLANS
A-4	EXTERIOR ELEVATIONS
A-5	WALL SECTION & SCHEDULES
A-6	LIFE SAFETY PLANS & CODE NOTES
M-1	MECHANICAL FLOOR PLANS
P-1	PLUMBING FLOOR PLANS
E-1	ELECTRICAL FLOOR PLANS
SITE	SITE PLAN & SURVEY

11/24/2020
Eric P. Johnston
 ERIC P. JOHNSTON
 ENGINEER

FIRST FLOOR PLANS CONVERSION TO APARTMENTS MOUNT WOLF SCHOOL BUILDING 91 S. THIRD ST., MOUNT WOLF, PA 17347 MOUNT WOLF BOROUGH, YORK COUNTY	PREDIX PROPERTY MANAGEMENT Seth Predix, Developer 815 N. GEORGE ST. SUITE 'A', YORK, PA 17404 OFFICE: 717-781-4856	JOHNSTON AND ASSOCIATES, INC. CONSULTING ENGINEERS LAND DEVELOPMENT CONSULTANTS STRUCTURAL ENGINEERS ERIC P. JOHNSTON, P.E. 2386 TAXVILLE ROAD YORK, PA 17404 office (717) 793-9595 fax (717) 793-9696	JON FREY Design + Drafting 3437 HEATHER DRIVE YORK, PA 17408 717-792-4304 maxcad1234@aol.com	REVISIONS / SUBMISSIONS PERMIT DRAWINGS 11/23/20
	SCALE: AS NOTED DRAWN BY: DWAYNE JACK SANDS DESIGN BY: PHIL FREY/AMA SHEET: 1 OF 10 A-1			

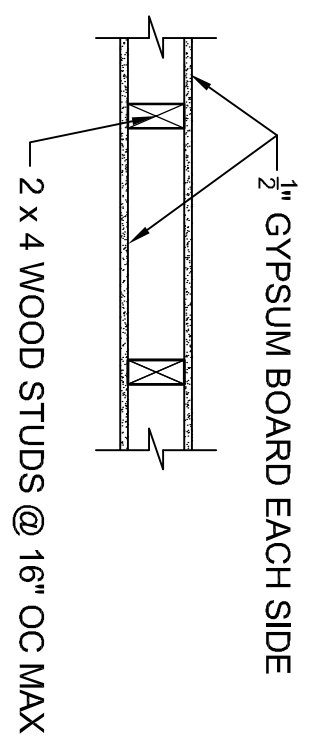


IBC / ADA STANDARD DETAILS
NO SCALE

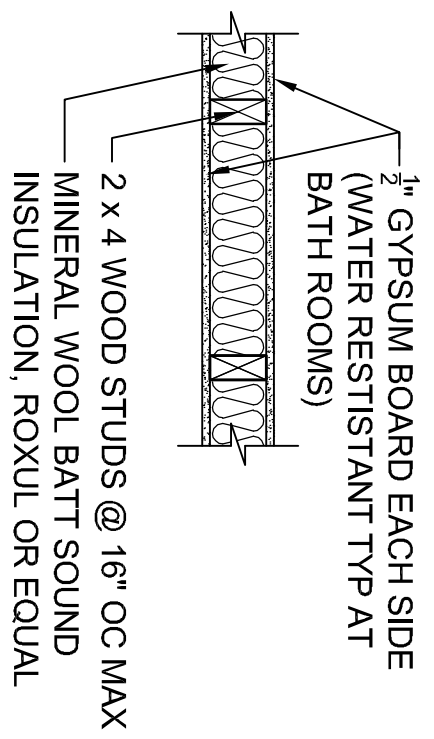


APARTMENT # 3
1,013 SF NET
SECOND FLOOR PLAN
2,865 SF GROSS

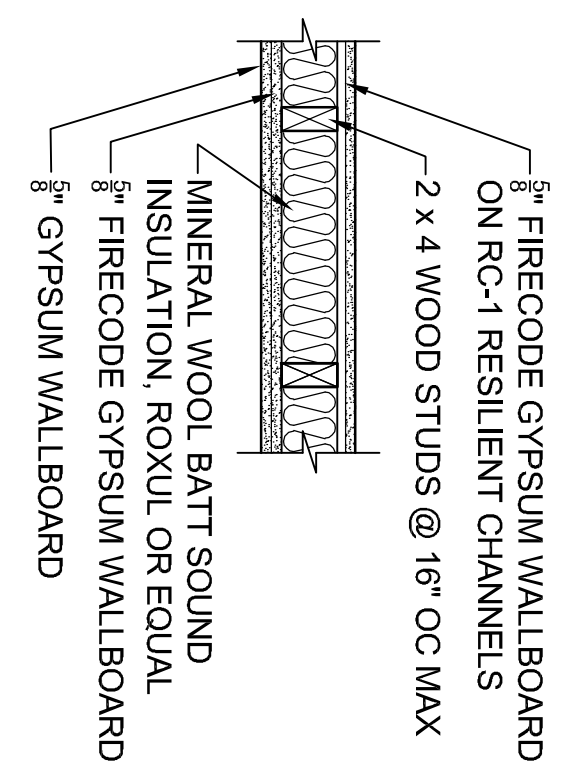
APARTMENT # 4
1,013 SF NET
SECOND FLOOR PLAN
2,865 SF GROSS



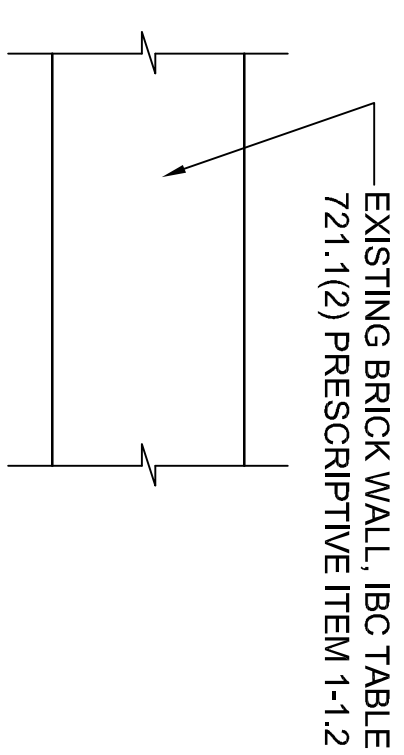
WALL TYPE
CLOSETS 1



WALL TYPE
BETWEEN ROOMS IN
APARTMENTS 2



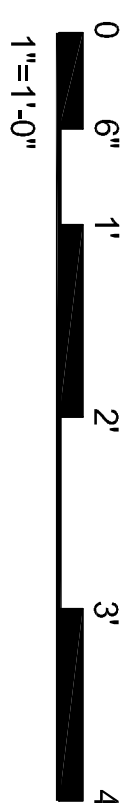
WALL TYPE
DEMISING & STAIRWELL 3
2 x 6 STUDS 3A



WALL TYPE
STAIRWELL & EXTERIOR 4

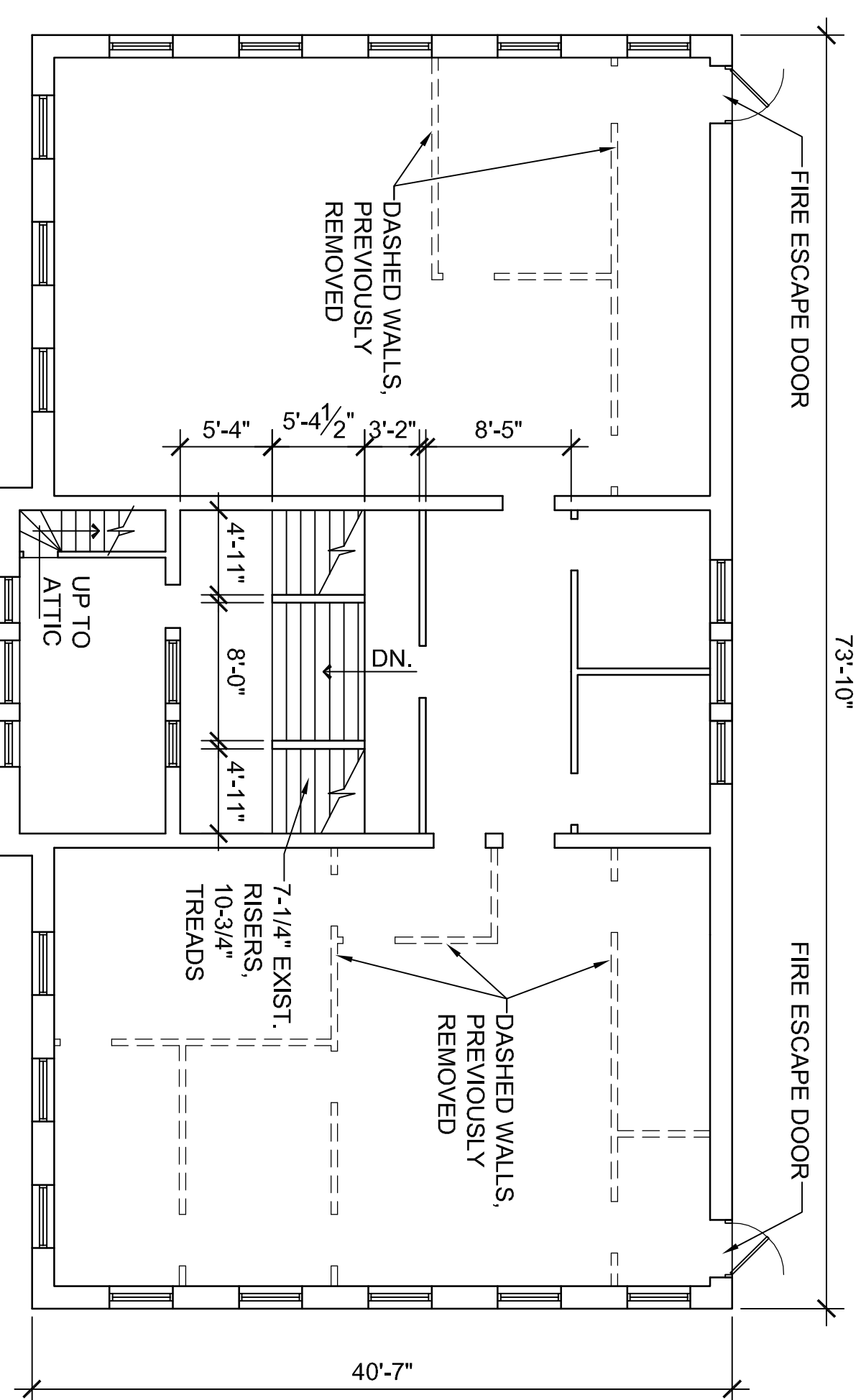
PARTITION / WALL TYPES

NOTE: ALL WALLS EXTEND TO RATED CEILING ASSEMBLIES. USE MOISTURE RESISTANT (GWB) GYPSUM WALLBOARD IN ALL BATHROOMS.



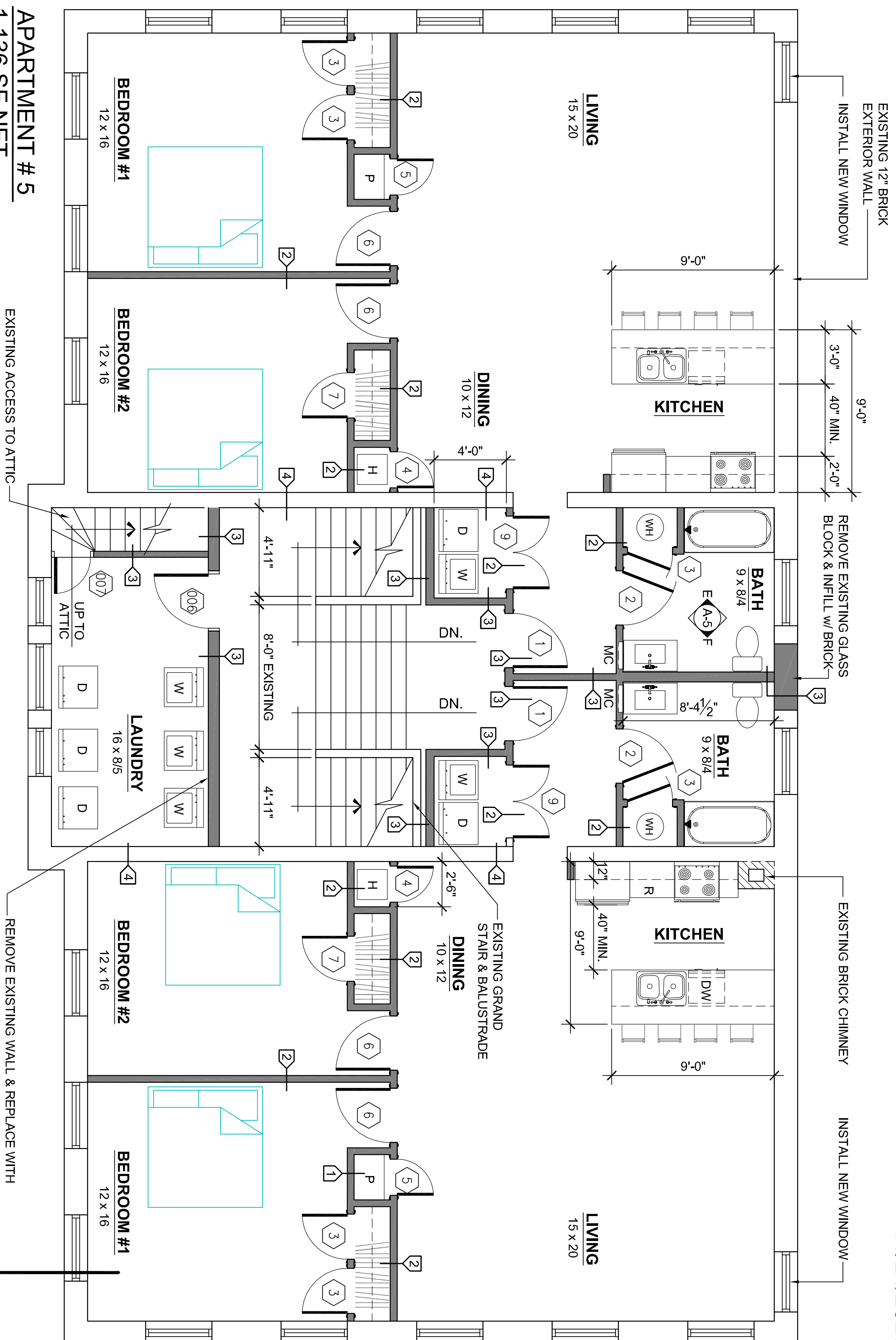
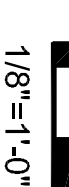
11/24/2020

Eric P. Johnston



EXISTING THIRD FLOOR PLAN

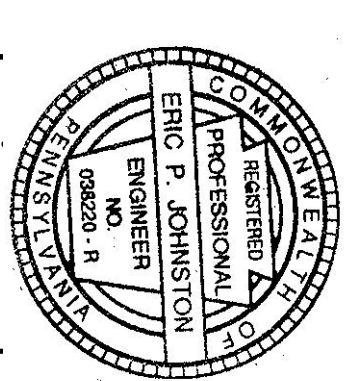
2,971 SF GROSS



APARTMENT # 5
1,136 SF NET

THIRD FLOOR PLAN

1,136 SF NET

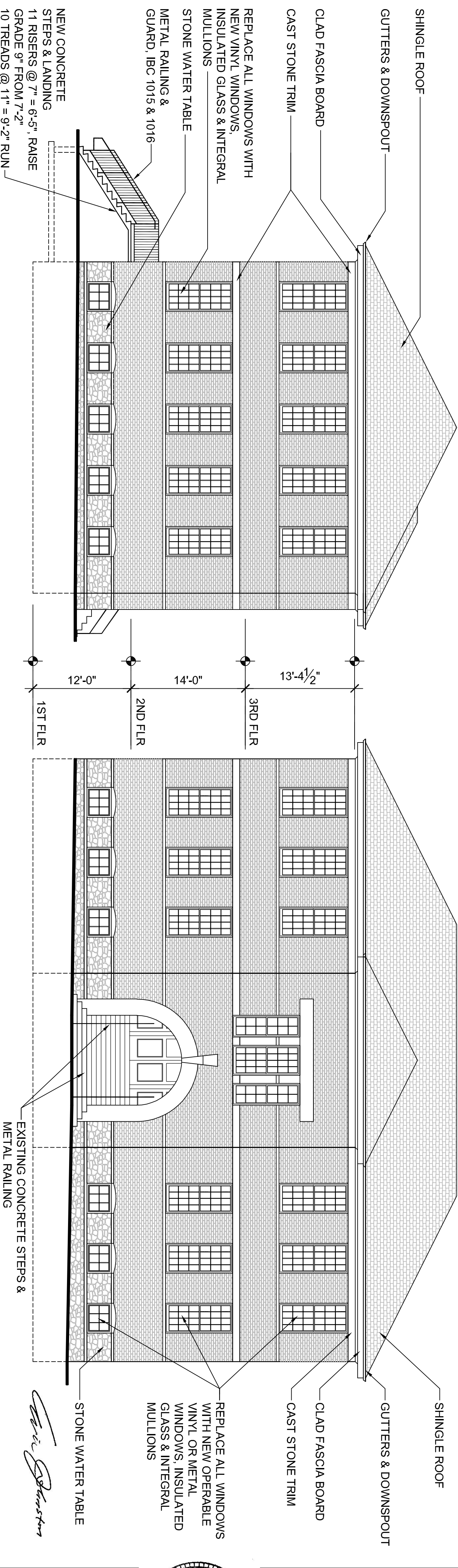


	JON FREY Design + Drafting	REVISIONS / SUBMISSIONS PERMIT DRAWINGS 11/23/20
	3437 HEATHER DRIVE YORK, PA 17408 717-792-4304 maxcad1234@aol.com	

THIRD FLOOR PLANS CONVERSION TO APARTMENTS MOUNT WOLF SCHOOL BUILDING 91 S. THIRD ST., MOUNT WOLF, PA 17347 MOUNT WOLF BOROUGH, YORK COUNTY	PREDIX PROPERTY MANAGEMENT Seth Predix, Developer 815 N. GEORGE ST. SUITE 'A', YORK, PA 17404 OFFICE: 717-781-4856	JOHNSTON AND ASSOCIATES, INC. CONSULTING ENGINEERS LAND DEVELOPMENT CONSULTANTS STRUCTURAL ENGINEERS ERIC P. JOHNSTON, P.E. 2386 TAXVILLE ROAD YORK, PA 17404 office (717) 793-9595 fax (717) 793-9696
SCALE AS NOTED DRAWN BY JACK SANDS DESIGN BY PHIL FREY, AIA SHEET 3 OF 10	DATE _____ FILE _____ TYP AS-3	A-3

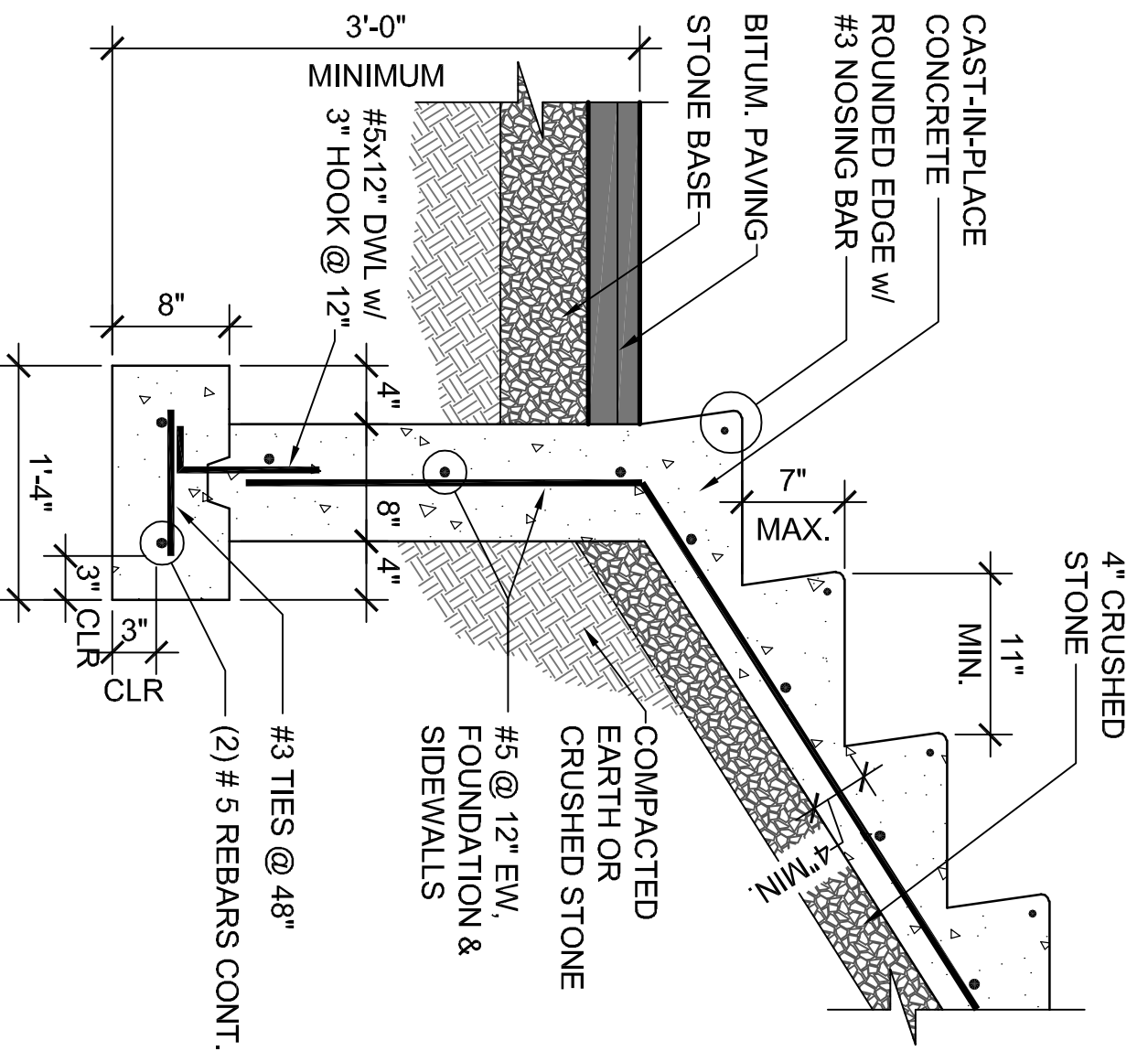


EXISTING BUILDING

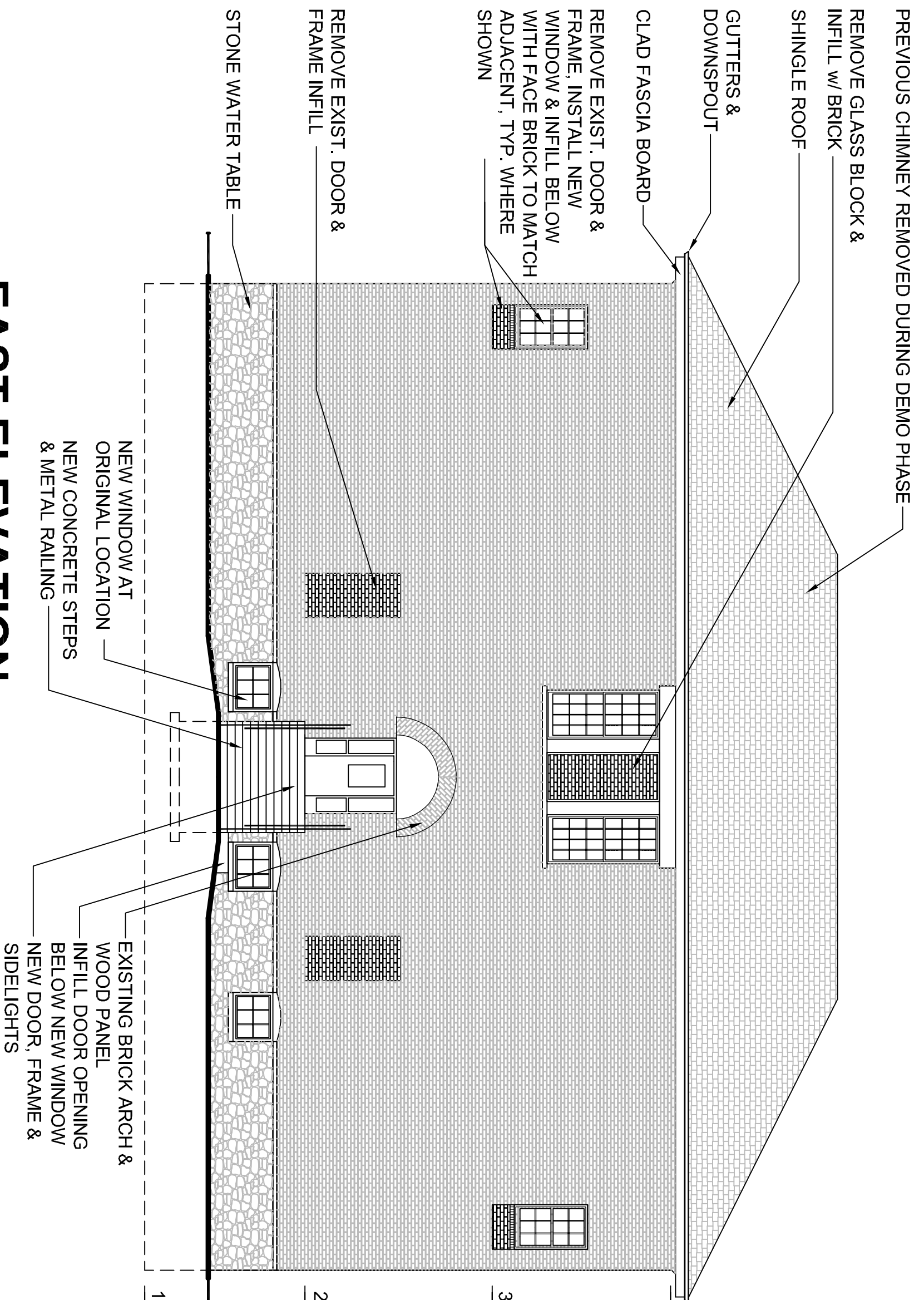


11/24/2020

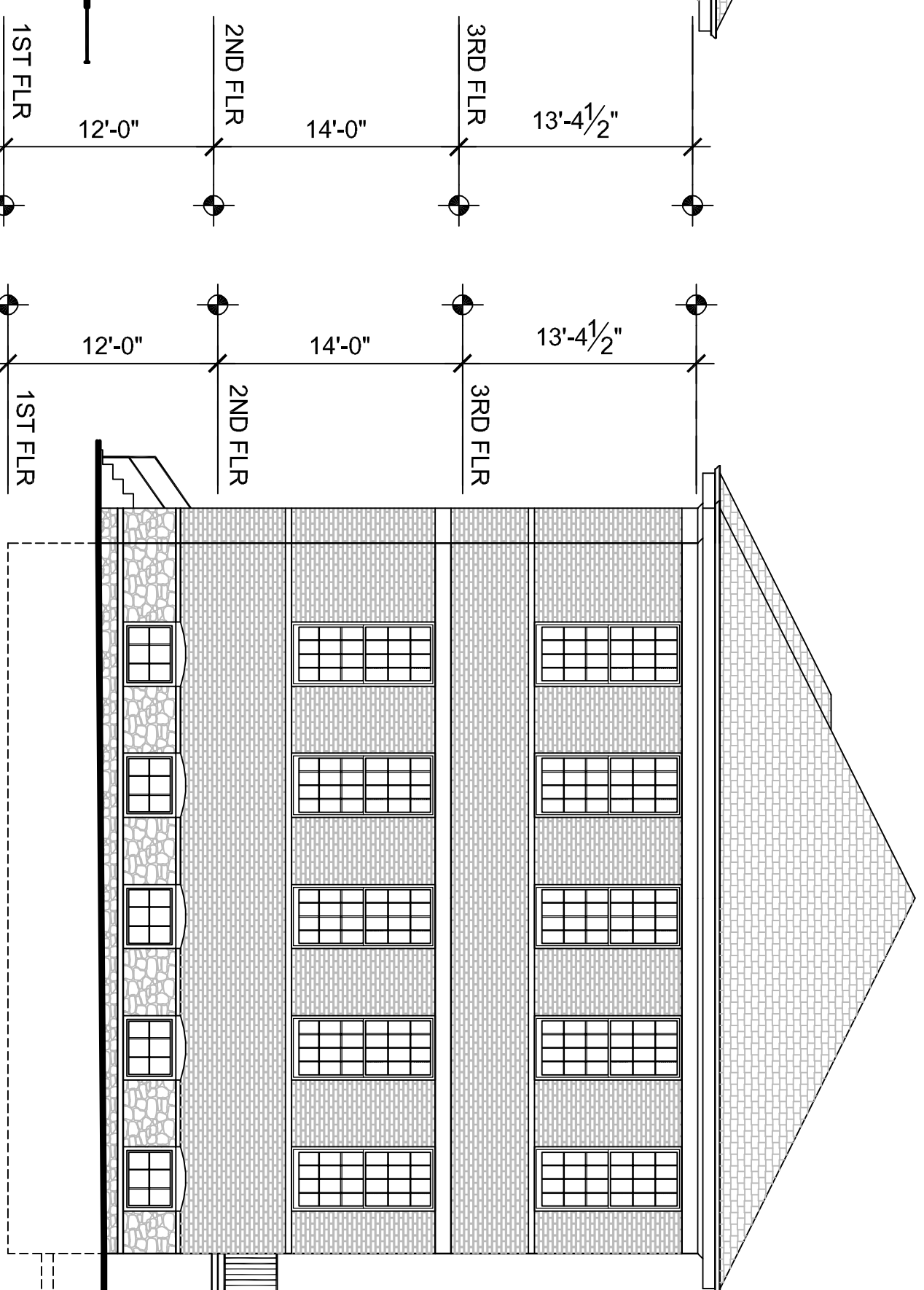
Eric P. Johnston



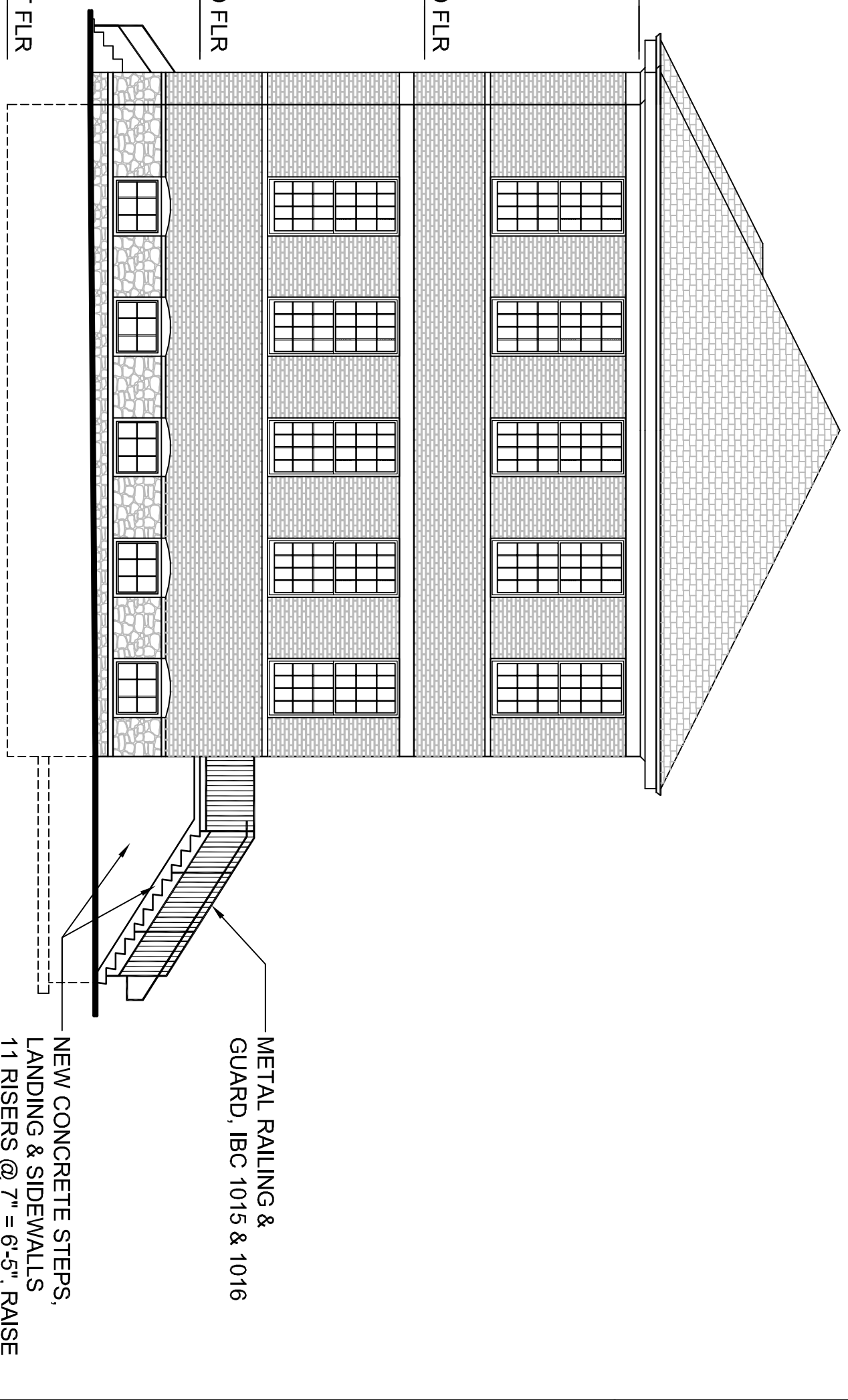
SECTION @ NEW EXTERIOR STEPS



EAST ELEVATION



WEST ELEVATION



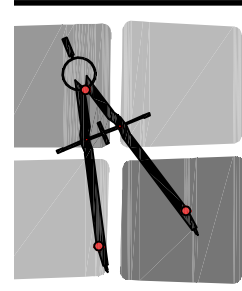
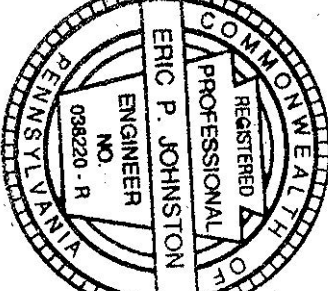
SOUTH ELEVATION



EXTERIOR ELEVATIONS
CONVERSION TO APARTMENTS
 MOUNT WOLF SCHOOL BUILDING
 91 S. THIRD ST., MOUNT WOLF, PA 17347
 MOUNT WOLF BOROUGH, YORK COUNTY

PREDIX PROPERTY MANAGEMENT
 Seth Predix, Developer
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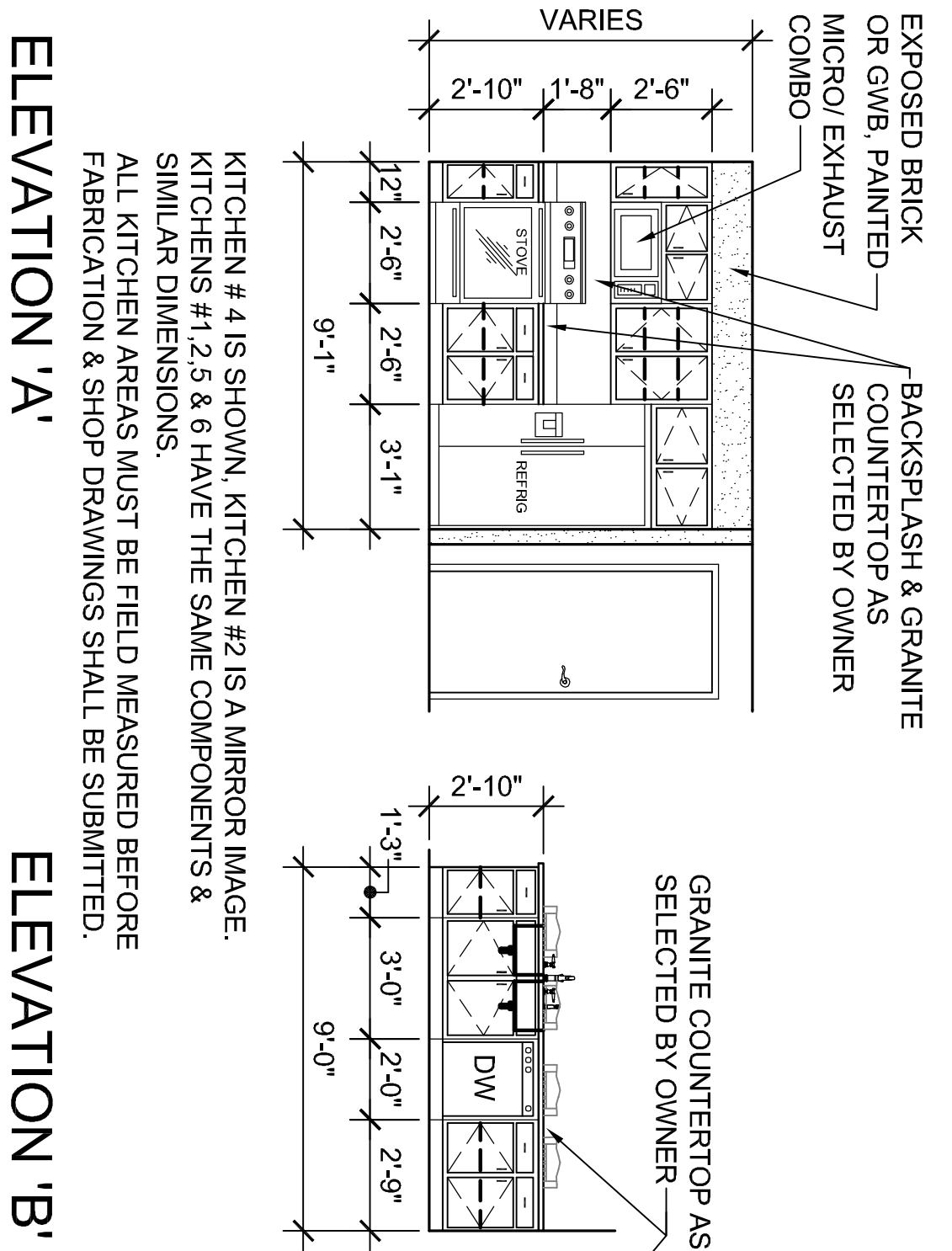
JON FREY
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REVISIONS / SUBMISSIONS
PERMIT DRAWINGS 11/23/20

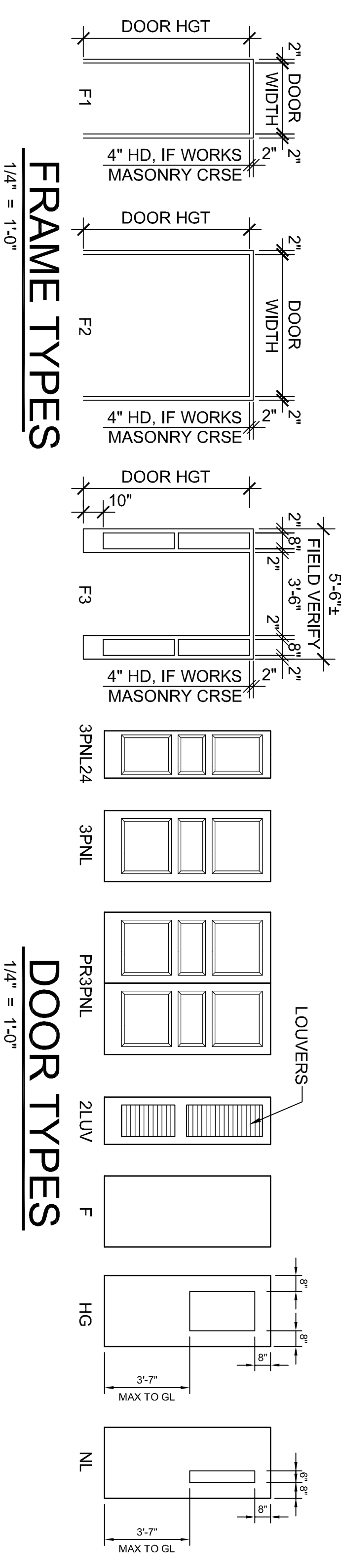
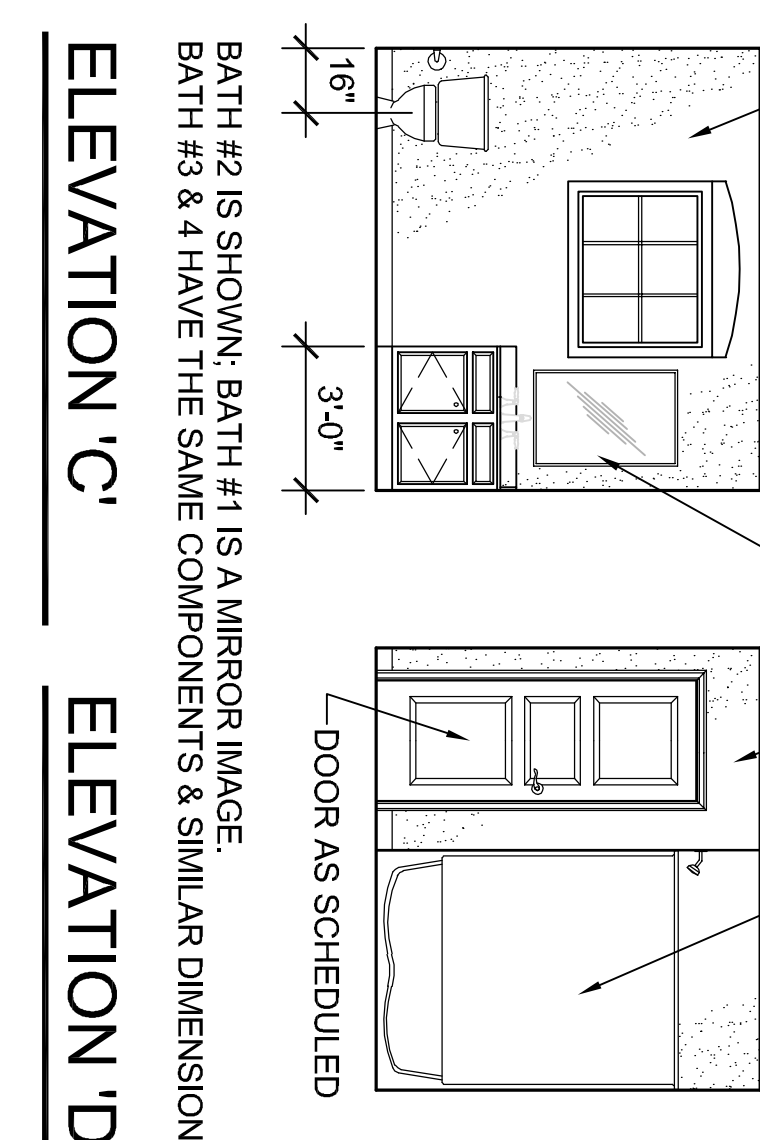
SCALE AS NOTED
 DRAWN BY JACK SANDS
 DESIGN BY PHIL FREY/AMA
 SHEET 4 OF 10
A-4

FINISH SCHEDULE

FLOORS	MATERIALS	BASE MAT'L	WALLS MAT'L	TRIM	CEILING TYPE	HT.	REMARKS
APARTMENTS # 1 THRU # 6 & COMMON AREAS							
	COLOR GROUP	PLYWOOD					EXPOSED STEEL TO BE PAINTED AT THE DIRECTION OF THE OWNER
	EXISTING WOOD - SAND & SEALED						
	LUXURY VINYL PLANK						
	EXIST. CONCRETE						
	WOOD						ALL WINDOW TRIM TO BE PAINTED UNLESS PREFINISHED
	GWB - PAINTED						
	EXPOSED BRICK - CLEAR SEALER						
	PAINT						
	PNT ALL EXP. STEEL						
	GWB - PAINTED						
	EXISTING						
2nd & 3rd Fl. - LIVING, KITCHEN, DINING, BEDROOMS, CLOSETS						13.5'	
1st FLOOR, ALL ROOMS, IN APT. #1 & APT. #2						8'-0"	
BATHS & LAUNDRIES						9'-0"	
1st FLOOR CLOSETS						8'-0"	
SPRINKLER / WATER							
STAIRS - ALL FLOORS							
2nd & 3rd Fl. - COMMON AREAS BETWEEN STAIRS							
							GWB SOFFITS



- DOOR SCHEDULE ABBREVIATIONS**
- HM HOLLOW METAL
 - SCW SOLID CORE WOOD UNDER CUT
 - HDF HIGH-DENSITY FIBERBOARD
 - PNT PAINT

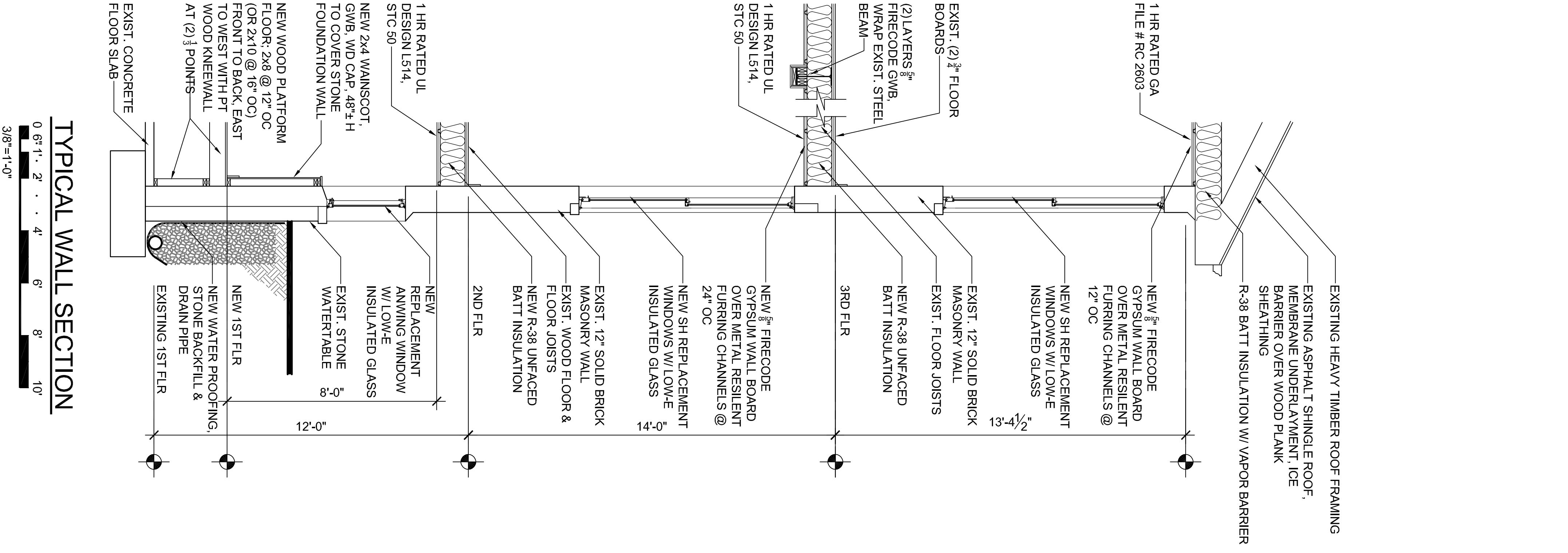


DOOR SCHEDULE - TYPICAL APARTMENT UNIT

DOOR NO.	ROOM NAME	DOOR				FRAME				FIRE RATED MIN.	GLASS	SIGN TYPE	HARDWARE		REMARKS		
		TYPE	W.	H.	THK.	TYPE	MAT'L	FIN.	DETAILS				TYPE	SET			
1	APT. ENTRANCE	3PNL	3'-0"	6'-8"	1-3/4"	HM	PNT	---	---	---	---	---	---	---	---	60	*ALL INTERIOR APARTMENT DOORS HAVE THE OPTION TO BE FRESHING UNITS
2	BATHS - ALL LAUNDRY - 2ND FLOOR	3PNL	2'-8"	6'-8"	1-3/8"	HDF	PNT	UC	F1*	HM	PNT	---	---	---	---	---	PRIVACY-BATHS, CL. LATCHSET
3	WH / BEDROOM CL.	3PNL	2'-6"	6'-8"	1-3/8"	HDF	PNT	---	F1*	WD	PNT	---	---	---	---	---	CLOSET LATCHSET
4	HVAC CLOSET	2LUV	2'-0"	6'-8"	1-3/8"	HDF	PNT	FULL	F1*	WD	PNT	---	---	---	---	---	CLOSET LATCHSET
5	PANTRY	3PNL24	2'-0"	6'-8"	1-3/8"	HDF	PNT	---	F1*	WD	PNT	---	---	---	---	---	CLOSET LATCHSET
6	BEDROOM DOORS	3PNL	3'-0"	6'-8"	1-3/8"	HDF	PNT	---	F1*	WD	PNT	---	---	---	---	---	PRIVACY
7	BEDROOM #2 - 3RD FLOOR	3PNL	3'-0"	6'-8"	1-3/8"	HDF	PNT	---	F1*	WD	PNT	---	---	---	---	---	CLOSET LATCHSET
8	APT. UNIT LAUNDRY	PR3PNL	PR2'-6"	6'-8"	1-3/8"	HDF	PNT	---	F2	WD	PNT	---	---	---	---	---	PRESSURE LATCH, FIXED LEVER
9	APT. UNIT LAUNDRY	PR3PNL	PR2'-0"	6'-8"	1-3/8"	HDF	PNT	---	F2	WD	PNT	---	---	---	---	---	PRESSURE LATCH, FIXED LEVER

DOOR SCHEDULE - COMMON AREAS, ALL FLOORS

DOOR NO.	ROOM NAME	DOOR				FRAME				FIRE RATED MIN.	GLASS	SIGN TYPE	HARDWARE		REMARKS		
		TYPE	W.	H.	THK.	TYPE	MAT'L	FIN.	DETAILS				TYPE	SET			
001	SPRINKLER / WATER	F	3'-0"	6'-8"	1-3/4"	HM	PNT	---	---	---	---	---	---	---	---	---	FIELD MEASURE ALL DOOR OPENING DIMENSIONS
002	CLOSET	F	3'-0"	6'-8"	1-3/4"	HM	PNT	---	F1	HM	PNT	---	---	---	---	---	LOCKSET
003	STAIR - 1ST FLR	NL	3'-0"	6'-8"	1-3/4"	HM	PNT	---	F1	HM	PNT	---	---	---	---	---	PRIVACY
004	EXTERIOR - EAST	HG	3'-6"	7'-0"	1-3/4"	INSUL	PNT	---	F3	HM	PNT	---	---	---	---	---	LATCHSET, CLOSER
005	EXTERIOR - WEST	HG	3'-6"	7'-0"	1-3/4"	INSUL	PNT	---	F1	WD	PNT	---	---	---	---	---	PANIC, CLOSER
006	LAUNDRY-COMMON	HG	3'-0"	6'-8"	1-3/4"	HM	PNT	---	F1	HM	PNT	---	---	---	---	---	LATCHSET, CLOSER
007	ATTIC STAIR	F	2'-0"	6'-8"	1-3/4"	HM	PNT	---	F1	HM	PNT	---	---	---	---	---	LOOKSET

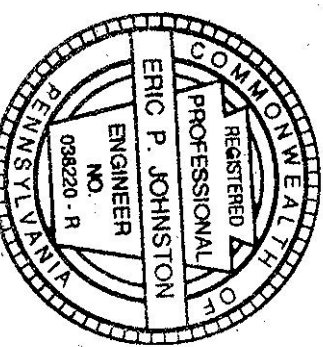


WALL SECTION & SCHEDULES CONVERSION TO APARTMENTS

SCALE AS NOTED
DRAWN BY JACK SANDS
DESIGN BY PHIL FREY, AIA
SHEET 5 OF 10
A-5

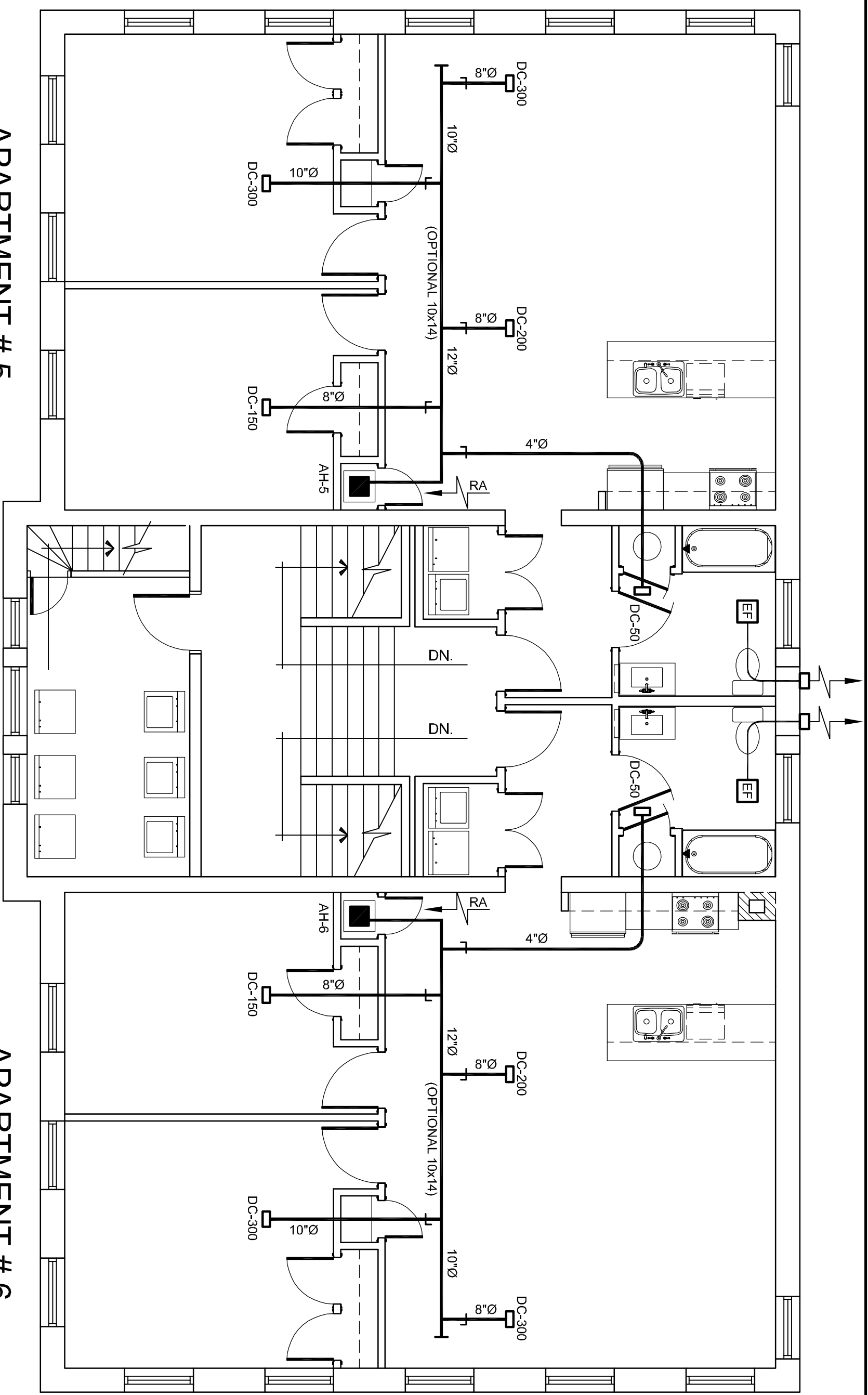
PREDIX PROPERTY MANAGEMENT
Seth Predix, Developer
815 N. GEORGE ST. SUITE 'A', YORK, PA 17404
OFFICE: 717-781-4856

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CONSULTING ENGINEERS LAND DEVELOPMENT CONSULTANTS STRUCTURAL ENGINEERS
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2386 TAXVILLE ROAD YORK, PA 17404
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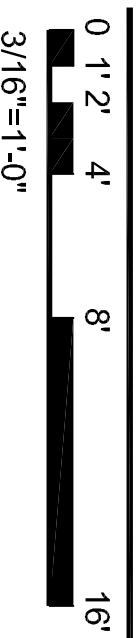


JON FREY
Design + Drafting
3437 HEATHER DRIVE
YORK, PA 17408
717-792-4304
maxcad1234@aol.com

REVISIONS / SUBMISSIONS
PERMIT DRAWINGS
11/23/20



THIRD FLOOR PLAN



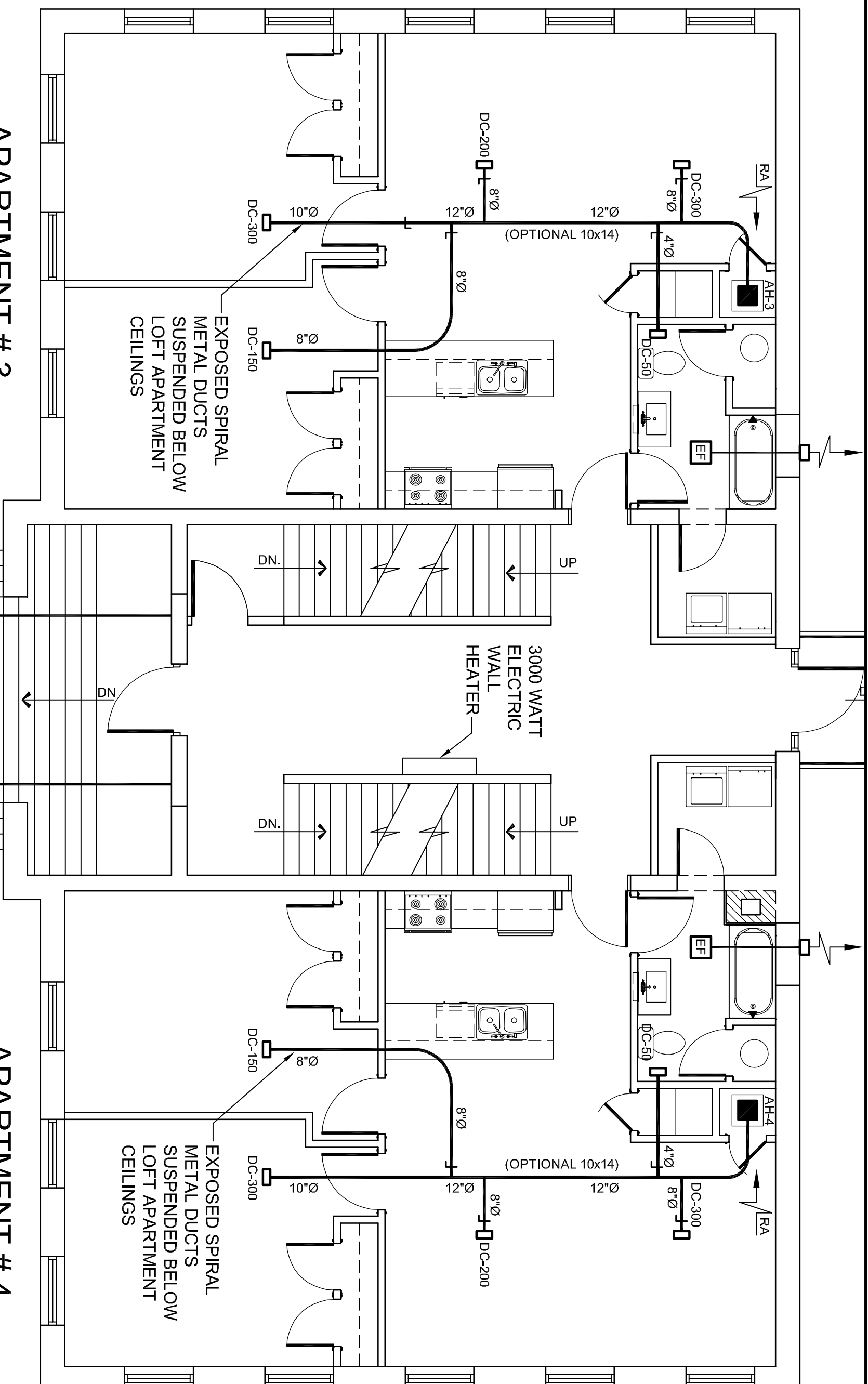
SYMBOL	CFM	SIZE	REMARKS
D-50	50	6 x 6	DIFFUSERS ARE SIDEWALL OF METAL Ø DUCTS AND WALL REGISTERS DC = DAMPER CONTROL
D-150	150	14 x 6	
D-200	200	18 x 8	
D-300	300	27 x 8	

- MECHANICAL NOTES**
- AS REFERENCED BY IEBC AND IRC, MECHANICAL WORK SHALL COMPLY WITH INTERNATIONAL MECHANICAL CODE (IMC) - 2015 AND IECC-2015. MECHANICAL PLANS ARE SCHEMATIC AND FOR GENERAL LAYOUT AND OPERATION. THE CERTIFIED MECHANICAL CONTRACTOR SHALL MEET CODE REQUIREMENTS AND COORDINATE INSPECTIONS WITH THE BUILDING OFFICIAL.
 - INSTALL HVAC EQUIPMENT, SPLIT-SYSTEM AIR HANDLERS & HEAT-PUMPS, SUPPLY DUCTWORK, DIFFUSERS & REGISTERS, VENTILATION, EXHAUST FANS, AND THERMOSTATIC CONTROLS TO COMPLY WITH IMC. INSTALLATIONS SHALL COMPLY WITH PRODUCT MANUFACTURER WRITTEN INSTRUCTIONS. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, PRODUCTS, WORKMANSHIP, AND FIELD COORDINATION TO ACHIEVE A COMPLETE SYSTEM THAT MEETS INDUSTRY STANDARDS FOR THIS BUILDING TYPE.
 - INSTALL HEAT PUMPS ON GRADE WITH AN EQUIPMENT PAD. RUN REFRIGERANT PIPING UP THRU BUILDING TO EACH MATCHING AIR HANDLER UNIT WITHIN EACH APARTMENT.
 - INSTALL DRIP PAN UNDER EACH AIR HANDLER WITH SHUTOFF SWITCH TO SHUT DOWN UNIT ON CONDENSATE DRAIN PAN OVERFLOW. RUN DRAIN LINE TO SAFE WASTE CONNECTION AT HUB DRAIN USED FOR CONDENSATE. RUN AIR HANDLER SUPPLY EXPOSED SPIRAL METAL DUCTWORK IN LOFT APARTMENTS, AND RECTANGULAR DUCTS IN THE FIRST FLOOR APARTMENTS, WITH DIFFUSERS AND REGISTERS AS SHOWN.
 - MAINTAIN A MINIMUM OF 10' BETWEEN ANY EXHAUST AND AIR INTAKE OPENINGS.
 - INSTALL BALANCING DAMPERS ON ALL DIFFUSER BRANCH DUCTS.
 - AT EACH APARTMENT BATHROOM EXHAUST FAN, RUN 4" DIA. EXHAUST DUCTWORK TO OUTSIDE WALL CAP ON EACH FLOOR. EXHAUST FAN (EF-1) TO BE 50 CFM, 120V, SINGLE PHASE.
 - AT EACH APARTMENT & PUBLIC DRYER CONNECTION LOCATION, RUN 4" DIA. DRYER DUCT TO OUTSIDE WALL CAP ON EACH FLOOR.
 - OUTSIDE AIR REQUIREMENTS TO MEET IECC-2015 ARE PROVIDED BY NUMEROUS OPERABLE WINDOWS IN EACH APARTMENT.

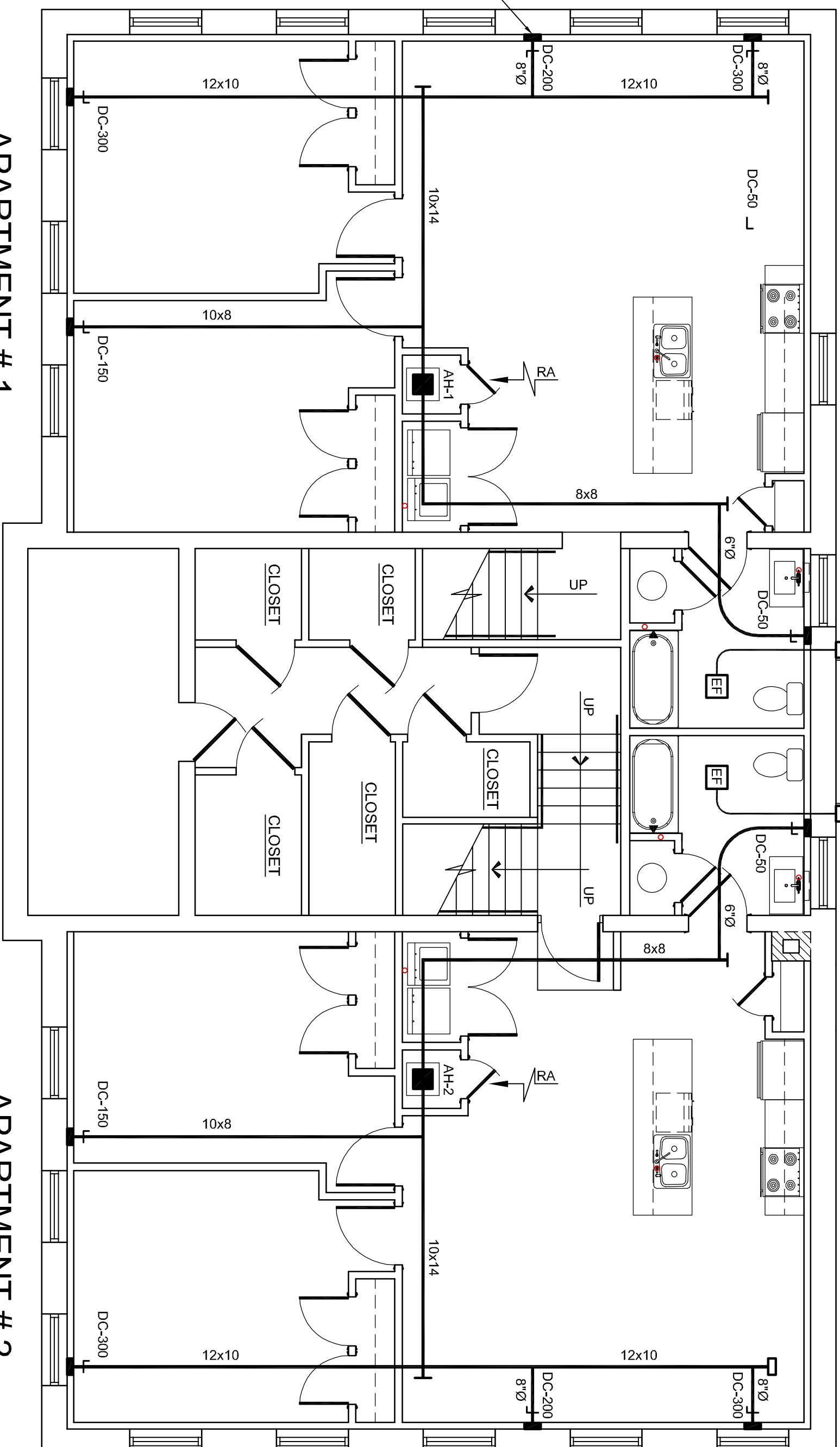
SYMBOL	TYPE	CFM	SP	RPM	HP	VOLTAGE	OPERATING WEIGHT	ACCESSORIES	MFG / MODEL #	AREA SERVED
EF-1	CENT	50	.25"	900	17/8 WATTS	120V / 1Ø	15 LBS.	BIRDSGREEN, BACKDRAFT DAMPER, DISCONNECT SWITCH, BRICK VENT	GREEN HECK SP-490 OR EQUAL	BATHROOMS

SPLIT SYSTEM HEAT PUMP - UNITS # 1 THRU #6 ARE IDENTICAL

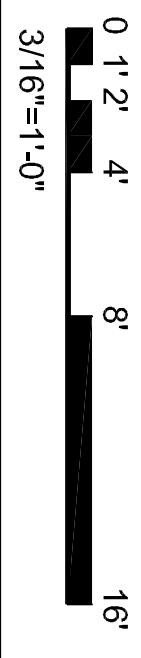
SYMBOL	CFM	COOLING MBH	SENSIBLE COOLING MBH	SP	MIN. CFM	HEATING CAPACITY MBH	INDOOR UNIT MCA	OUTDOOR UNIT MCA	INDOOR FAN HP	OUTDOOR FAN HP	COMPRESSOR RLA1 VOLTAGE	SEER
AH-1 / HP-1	1000	30	28	.05	—	30	26.6	20	16.9	25	8 240V / 1Ø 1/4 240V / 1Ø 0.13 240V / 1Ø 12.8 240V / 1Ø	14



SECOND FLOOR PLAN



FIRST FLOOR PLAN

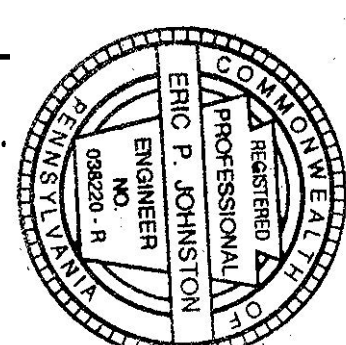


NOTE:
RUN FIRST FLOOR DUCTS UNDER RAISED FLOOR. RECTANGULAR DUCTS & INSULATION TO MEET IECC-2015 & SIMACNA, SEAL CLASS 'C' FOR LOW PRESSURE DUCTWORK

SYMBOL	CFM	TYPE	REMARKS
AH-1 / HP-1	1000	CENT	PROVIDE WITH 7 DAY PROGRAMMABLE T-STAT AND DRIP PAN UNDER UNIT WITH SHUTOFF SWITCH, RUN CONDENSATE TO HUB DRAIN

REVISIONS / SUBMISSIONS
PERMIT DRAWINGS 11/23/20

JON FREY
Design + Drafting
3437 HEATHER DRIVE
YORK, PA 17408
717-792-4304
maxcad1234@aol.com

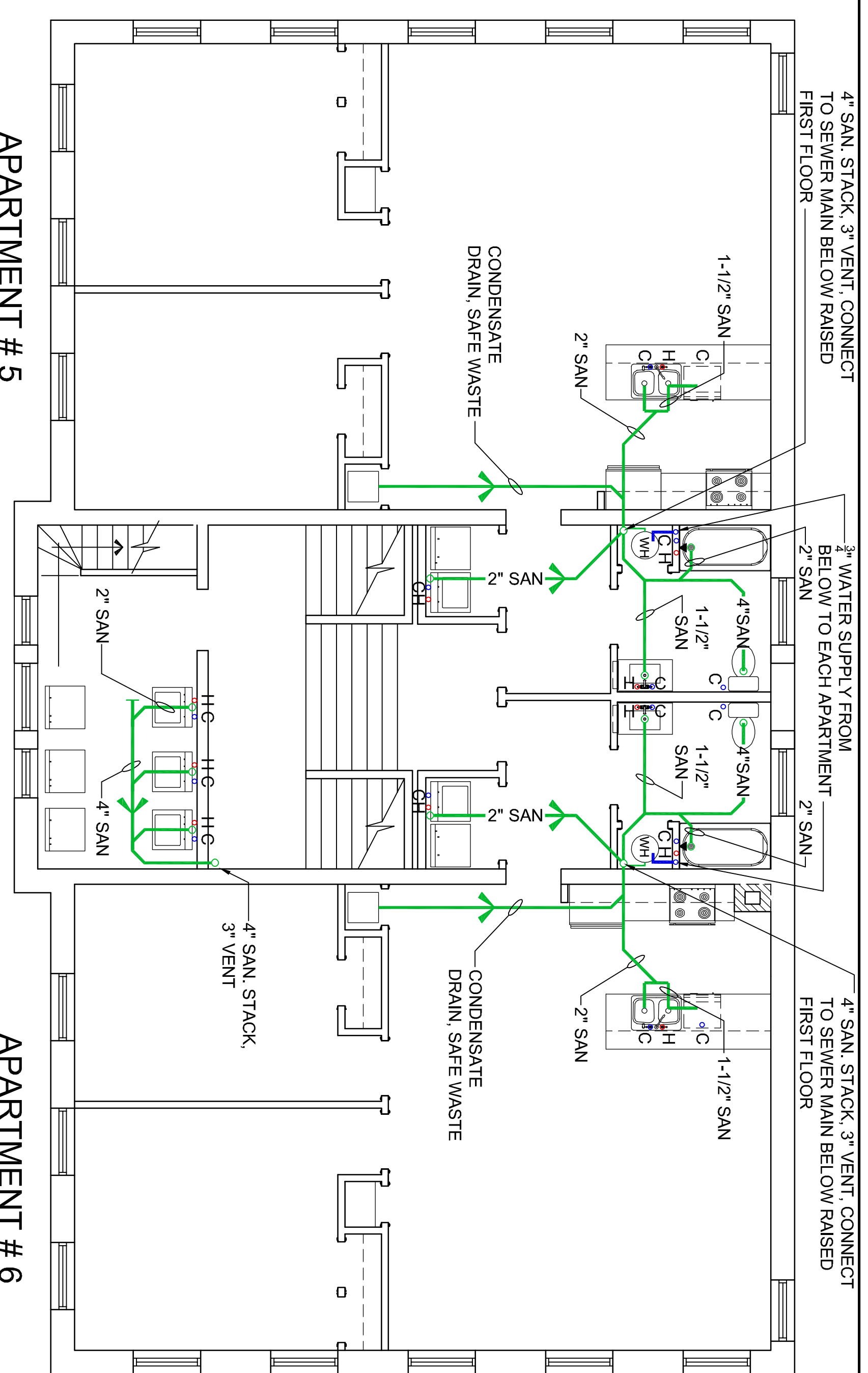


JOHNSTON AND ASSOCIATES, INC.
CONSULTING ENGINEERS LAND DEVELOPMENT CONSULTANTS STRUCTURAL ENGINEERS
ERIC P. JOHNSTON, P.E.
2386 TAXVILLE ROAD YORK, PA 17404
office (717) 793-9595 fax (717) 793-9696

PREDIX PROPERTY MANAGEMENT
Seth Predix, Developer
815 N. GEORGE ST. SUITE 'A', YORK, PA 17404
OFFICE: 717-781-4856

**MECHANICAL FLOOR PLANS
CONVERSION TO APARTMENTS**
MOUNT WOLF SCHOOL BUILDING
91 S. THIRD ST., MOUNT WOLF, PA 17347
MOUNT WOLF BOROUGH, YORK COUNTY

SCALE AS NOTED
DRAWN BY JACK SANDS
DESIGN BY PHIL FREY, AIA
SHEET 7 OF 10
M-1



THIRD FLOOR PLAN

0 1'-2" 4' 8' 16'

3/16"=1'-0"



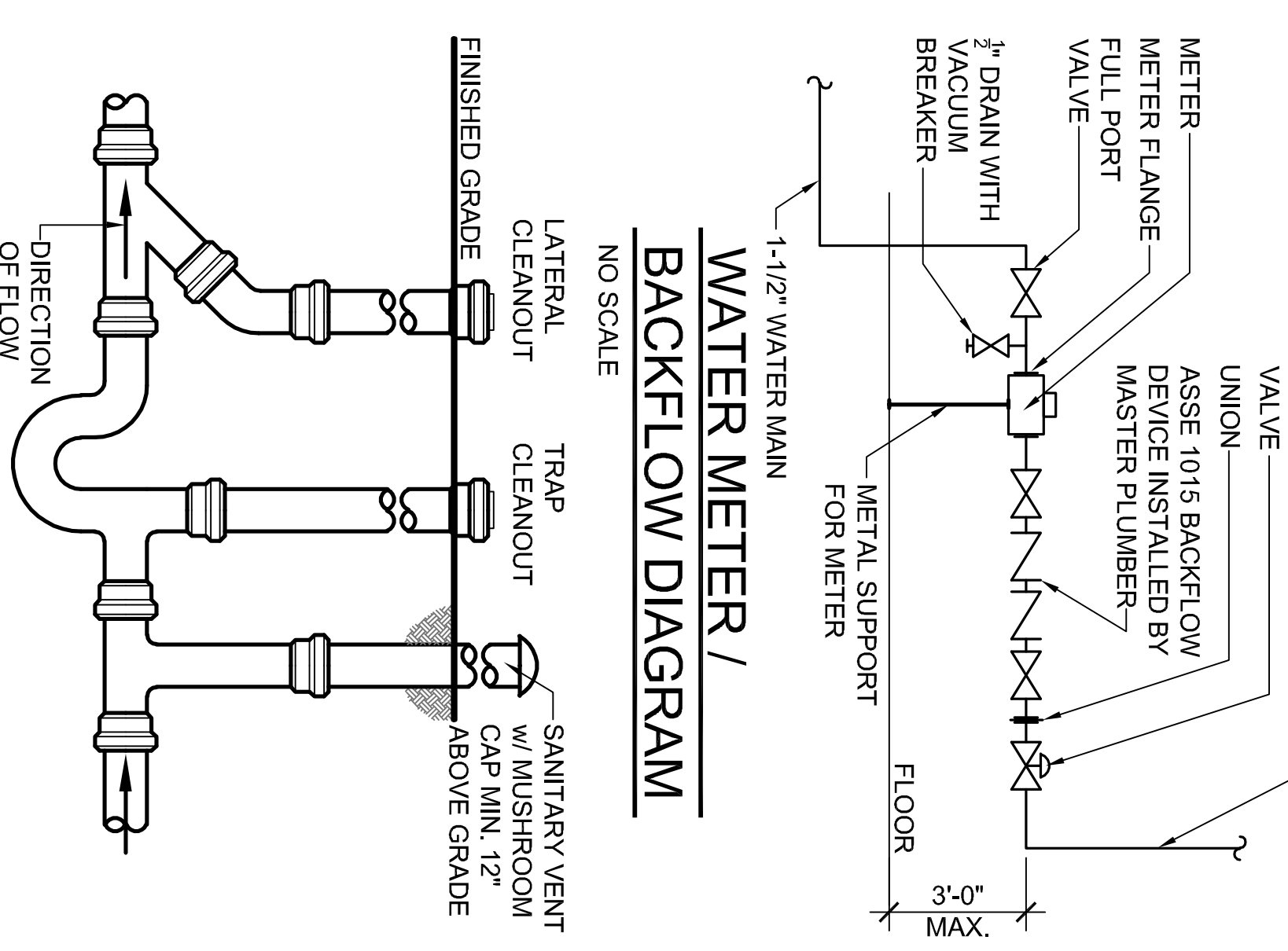
- PLUMBING NOTES**
- AS REFERENCED BY IEBC AND IBC, PLUMBING WORK SHALL COMPLY WITH INTERNATIONAL PLUMBING CODE (IPC), 2015 AND IECC-2015. PLUMBING PLANS ARE SCHEMATIC AND FOR GENERAL LAYOUT AND OPERATION. THE LICENSED PLUMBING CONTRACTOR SHALL MEET CODE REQUIREMENTS AND COORDINATE INSPECTIONS WITH THE BUILDING OFFICIAL.
 - INSTALL DOMESTIC WATER PIPING, VALVES, BACKFLOW PREVENTOR, SANITARY WASTE PIPING AND VENTING, AND PLUMBING FIXTURES TO COMPLY WITH IPC. INSTALLATIONS SHALL COMPLY WITH PRODUCT MANUFACTURER'S WRITTEN INSTRUCTIONS. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, PRODUCTS, WORKMANSHIP, AND FIELD COORDINATION TO ACHIEVE A COMPLETE SYSTEM THAT MEETS INDUSTRY STANDARDS FOR THIS BUILDING TYPE.
 - EACH APARTMENT HAS A SEPARATE WATER SUPPLY PIPE. RISER MAY BE CAST P.V.C. PROVIDE NON-HUB CAST IRON FITTINGS FOR PLENUM CEILING AREAS IF APPLICABLE.
 - DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER WITH WROUGHT COPPER SOLDER FITTINGS. SOLDER SHALL BE LEAD FREE.
 - INSULATE DOMESTIC WATER PIPING WITH 1" INSULATION PER IECC-2015 FOR EACH APARTMENT.
 - PROVIDE CONTROL VALVES ON ALL BRANCH LINES, AND (1) MASTER SHUT-OFF VALVE FOR EACH APARTMENT.
 - PROVIDE TYPE AND DIRECTION OF FLOW LABELS ON ALL PIPING.
 - COORDINATE BUILDING WATER & SEWER SERVICE WITH UTILITY COMPANIES, AND PROVIDE THE REQUIRED BACKFLOW PREVENTOR AND SEWER TRAP.
 - PROVIDE CATALOG CUTS OF ALL PLUMBING FIXTURES FOR THE APPROVAL OF THE OWNER.

PLUMBING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	WASTE	VENT	HOT	COLD
WC-1	WATER CLOSET	4"	2"	1/2"	FLOOR MTD FLUSH TANK, AMERICAN STANDARD 2087.212 (WHITE), WITH BEIMS SEAT (WHITE)
TS-1	TUB/SHOWER	2"	1 1/4"	1/2"	60x32 ENCLOSURE AND SHOWER KIT, AKER MODEL, BFSH-60SD WITH AMERICAN STANDARD SHOWER VALVE SPR1682.601
S-1	SINK	1 1/2"	1 1/4"	1/2"	DOUBLE BOWL, COUNTERTOP SINK, AMERICAN STANDARD 7502.103.75 WITH 4137.001 FAUCET, CONNECT WATER & DRAIN FROM DISHWASHER
DW	DISHWASHER	1 1/2"	1 1/4"	1/2"	TYPICALLY CONNECTED FROM KITCHEN SINK
L-1	LAVATORY	1 1/2"	1 1/4"	1/2"	COUNTERTOP, AMERICAN STANDARD 0419.444 (WHITE) WITH AMERICAN STANDARD FAUCET 2173.504
WB-1	WASHER BOX	2"	1 1/4"	1/2"	GUY GRAY T200 WITH SHUTOFF VALVES AND WATER HAMMER ARRESTORS; PROVIDE SAFE WASTE AIR-GAP CONNECTION
WH-1	WATER HEATER	—	3/4"	3/4"	50 GALLON ELECTRIC WATER HEATER, 240 V 1 PHASE, 4500 WATTS, RHEEM-RUDD MODEL, PROE, RUN DRAIN PAN DRAIN TO HUB DRAIN ON SANITARY STACK, INSTALL WITH THERMOSTATIC MIXING VALVE, ASME RELIEF VALVE, SHUTOFF VALVES, SHORT OR TALL STYLE HEATER
WHD-1	WALL HYDRANT	—	—	3/4"	NON FREEZE ZURN Z1305
SERVICE APARTMENT	—	—	—	3/4"	RUN CW DEDICATED SUPPLY & MASTER SHUT-OFF VALVE TO EACH APARTMENT
SERVICE APARTMENT	—	4"	3"	—	CONNECT EACH APARTMENT TO A SANITARY STACK

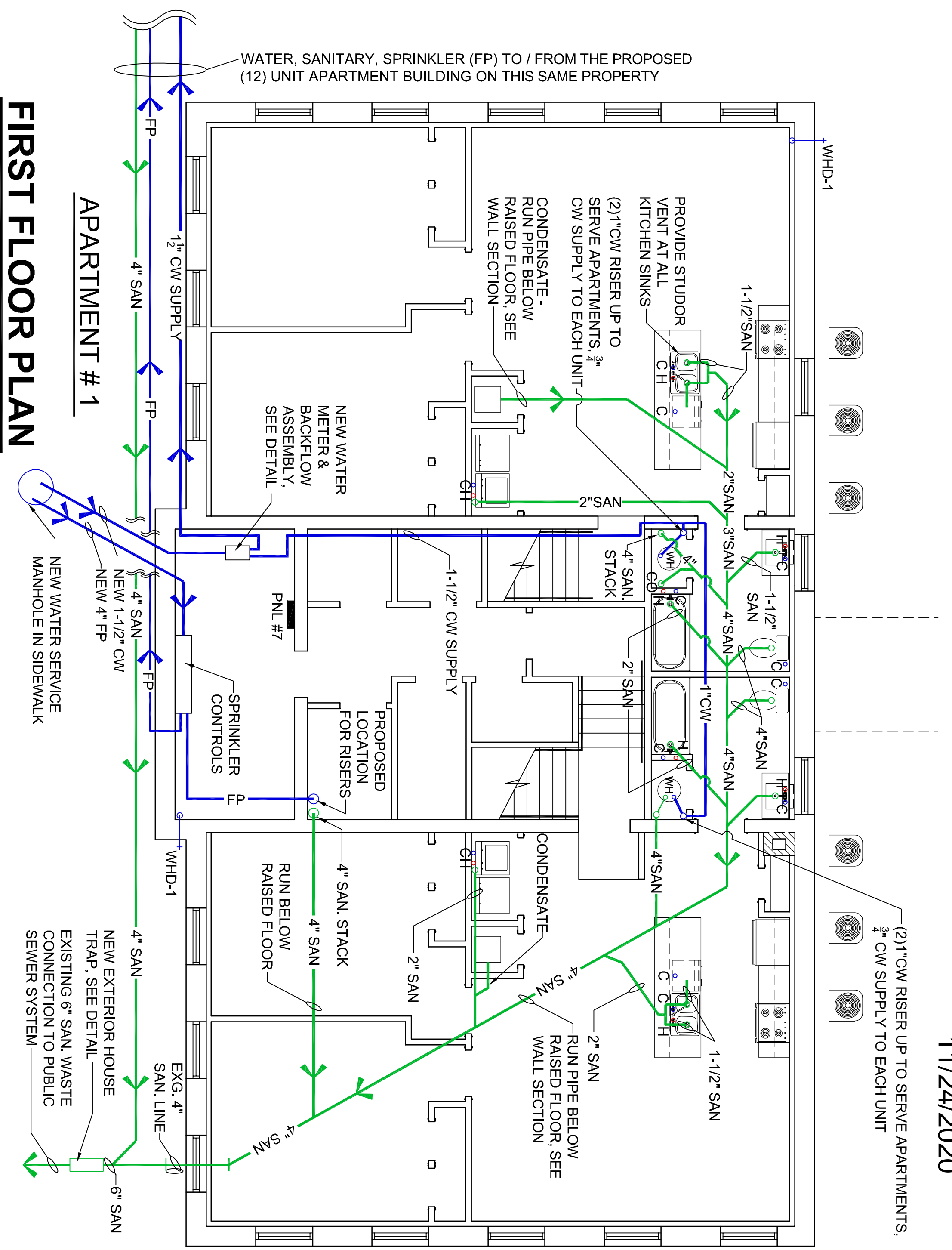
APPROVED SUBSTITUTES ALLOWED FOR ALL PLUMBING FIXTURES. SUBMIT CATALOG CUT DATA FOR OWNERS APPROVAL.

- SPRINKLER SYSTEM NOTES**
- IBC 903.3.1.2 NFPA 13R SPRINKLER SYSTEMS: FOR GROUP R-2 RESIDENTIAL BUILDINGS 4 STORIES AND UNDER, THE ENTIRE BUILDING SHALL RECEIVE A NFPA 13R SPRINKLER SYSTEM, AND COMPLY WITH 903.4 SPRINKLER SYSTEM SUPERVISION & ALARMS, COMPLIANCE NOTE. PROVIDE THROUGHOUT AS A "DELEGATED DESIGN" REQUIREMENT. SUBMIT SEPARATE CALCULATIONS & SHOP DRAWINGS.
 - RUN SPRINKLER SYSTEM PIPING EXPOSED THROUGHOUT.
 - REFER TO SHEET A-6, BUILDING CODE NOTES ITEM 38 FOR MORE REQUIREMENTS.



WATER METER / BACKFLOW DIAGRAM

EXTERIOR HOUSE TRAP DETAIL



SECOND FLOOR PLAN

0 1'-2" 4' 8' 16'

3/16"=1'-0"



11/24/2020

Eric Johnston

FIRST FLOOR PLAN

0 1'-2" 4' 8' 16'

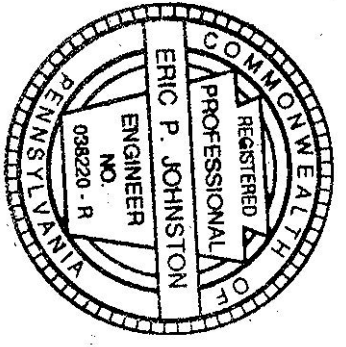
3/16"=1'-0"



PLUMBING FLOOR PLANS CONVERSION TO APARTMENTS
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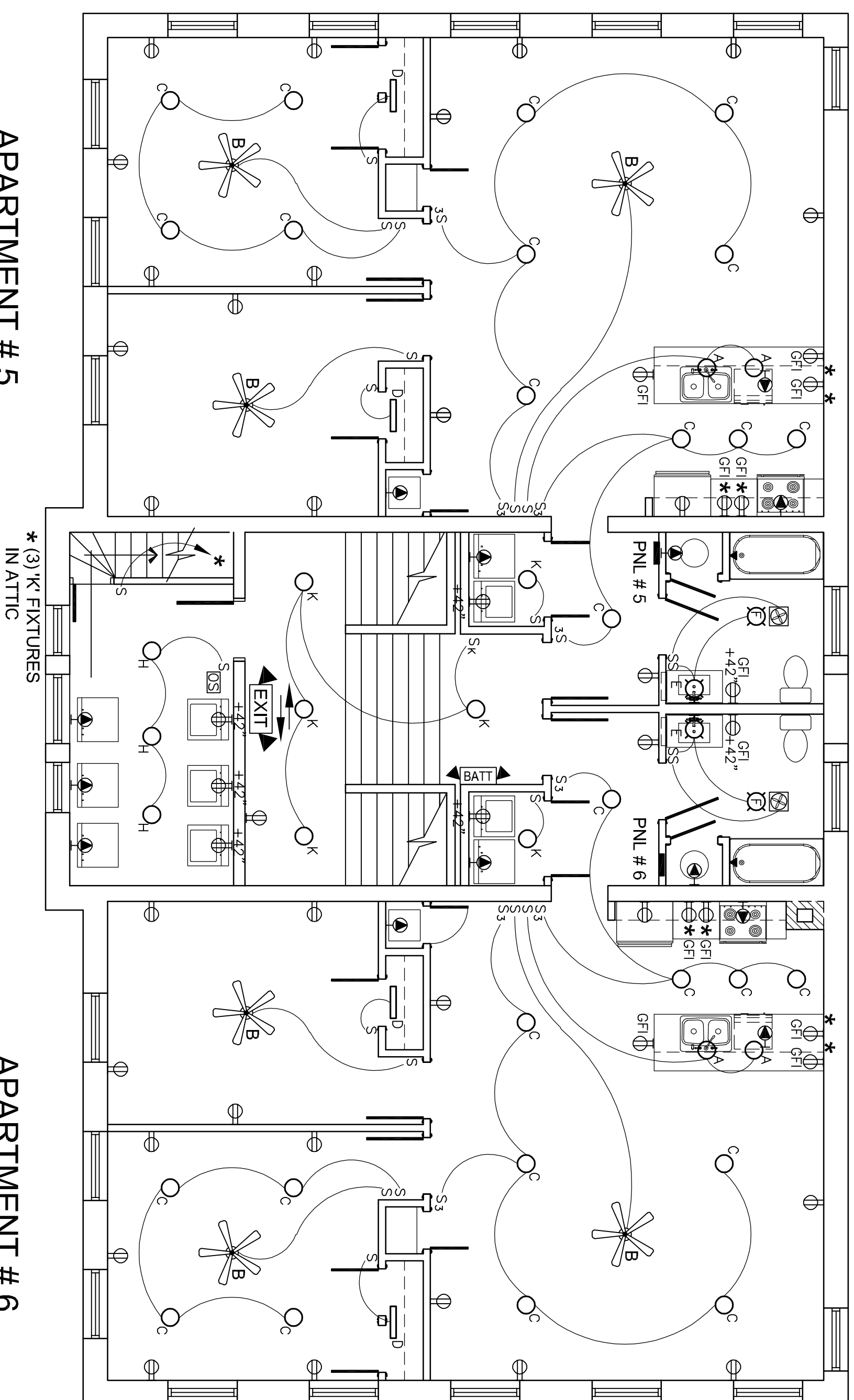
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P-1
 SHEET 8 OF 10



APARTMENT # 5

APARTMENT # 6



THIRD FLOOR PLAN
 0 1'-2" 4' 8' 16'
 3/16"=1'-0"

ELECTRICAL NOTES

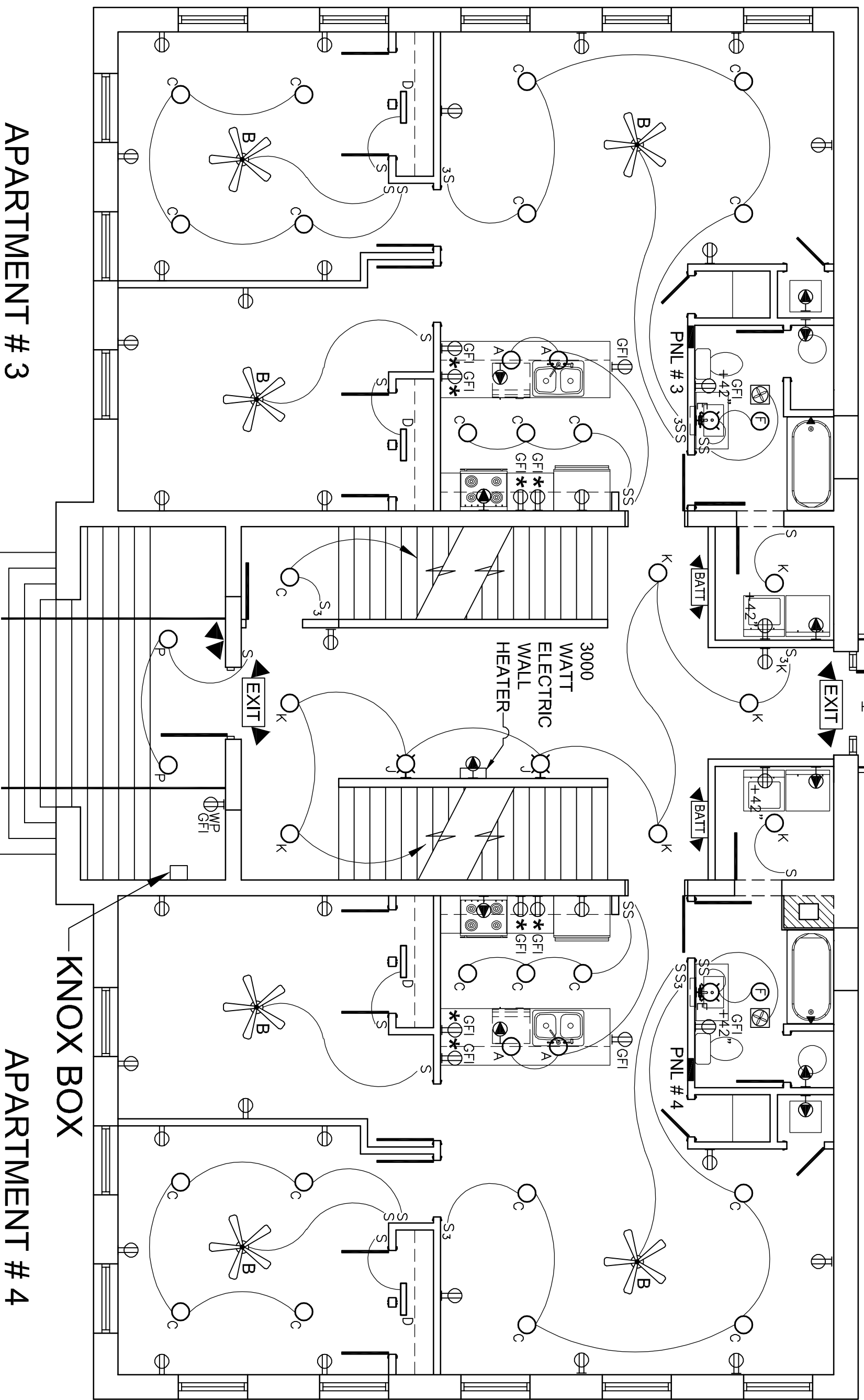
- AS REFERENCED BY IEBG AND IBC, NEW ELECTRICAL WORK SHALL COMPLY WITH NFPA 70 - 2014, NATIONAL ELECTRICAL CODE (NEC) AND IEC-2015. ELECTRICAL PLANS ARE SCHEMATIC AND FOR GENERAL LAYOUT AND OPERATION. THE LICENSED ELECTRICAL CONTRACTOR SHALL MEET CODE REQUIREMENTS AND COORDINATE INSPECTIONS WITH THE BUILDING OFFICIAL.
- WIRING & POWER LOADS, PANEL SCHEDULES, DISTRIBUTION METHODS, LIGHTING, SWITCHING, AND POWER OUTLETS SHALL COMPLY WITH NEC. INSTALLATIONS SHALL COMPLY WITH PRODUCT MANUFACTURER WRITTEN INSTRUCTIONS. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, PRODUCTS, WORKMANSHIP, AND FIELD COORDINATION TO ACHIEVE A COMPLETE SYSTEM THAT MEETS INDUSTRY STANDARDS FOR THIS BUILDING TYPE.
- EACH APARTMENT HAS A SEPARATE LOAD CENTER, SUPPLIED FROM A SEPARATE METER BASE.
- LED FIXTURES ARE TYPICAL THROUGHOUT.
- ALL WIRING SHALL BE RATED 600 VOLTS.
- MINIMUM CONDUCTOR SIZE SHALL BE #12.
- ALL DEVICES SHALL HAVE A MINIMUM RATING OF 20 AMPS.
- ALL EXTERIOR RECEPTACLES TO BE GFCI WEATHER RESISTANT AND WEATHER PROOF IN ACCORDANCE WITH NEC 406.9 A & B.
- A 120V CONVENIENCE OUTLET WITHIN 25' OF HVAC UNITS PER NEC 210.63.
- ALL INTERIOR CONDUIT SHALL BE IN EMT CONDUIT OR MC CABLE.
- BRANCH CIRCUIT WIRING SHALL BE THHN CU WIRING.
- SUB-PANEL FEEDS SHALL BE XHHW ALUMINUM WIRE.
- ALL FIREWALL PENETRATIONS SHALL BE SEALED TO ORIGINAL RATING.
- ALL FIXTURES AND DEVICES SHALL BE UL RATED.
- ALL POWER BRANCH CIRCUITS SHALL INCLUDE A GROUNDING CONDUCTOR SIZED PER NEC TABLE 250-122. MINIMUM #12 AWG.
- TYPICAL MOUNTING HEIGHTS FROM FINISHED FLOOR OR GRADE TO CENTERLINE OF BOX: LIGHT SWITCHES 46" AFF; OUTLETS 18" AFF; CONTROL PANELS, DISCONNECT SWITCHES, PANEL BOARDS, 4'-6" NOMINAL WITH TOP OF EQUIPMENT AT 6'-6" MAX.
- EQUIPMENT RATING, RACEWAY AND INSTALLATION SHALL MEET THE FOLLOWING CLASSIFICATION REQUIREMENTS:
 BELOW SLAB CONDUIT - SCHEDULE 40 PVC, 3/4" MIN.
 BUILDING INTERIOR LOCATIONS - ENCLOSURES NEMA-1, CONDUIT EMT 1/2" MIN. AND/OR MC CABLE.
 BUILDING EXTERIOR LOCATIONS - ENCLOSURES NEMA-3R, CONDUIT IMC 3/4" MIN. AND/OR SCHEDULE 40 PVC 1/2" MIN.
 CONDUIT SHALL BE SIZED IN ACCORDANCE WITH NEC ANNEX C.
 RECEPTACLE COVERS SHALL BE SELECTED BY OWNER.

ELECTRICAL LEGEND

- ◊ LED PENDANT (KIT. ISLAND)
- ✂ CEILING FAN w/ LIGHT KIT, SURFACE MTD. 120V (LIV/ BEDROOM)
- LED RECESSED, 120V (GENERAL)
- ▬ LED STRIP LIGHT, SURFACE MTD. 120V (CLOSET)
- ⊕ HAMPTON BAY 4 EWS54CH WALL MTD. 120V (VANITY)
- ⊕ LED SURFACE MTD. 120V (BATH)
- ⊕ LED RECESSED 50W, R20
- ⊕ BULB 120V (LAUNDRY)
- ⊕ LED WALL MTD. 120V (SCONCE)
- LED GLOBE SURFACE MTD. (STAR)
- TYPE 'P' EXTERIOR LIGHT FIXTURE
- ⊕ EXHAUST FAN, NUTONE #486, RECESSED MTD. 120V
- ↔ REMOTE DOUBLE EMERGENCY LIGHT
- ↔ EMERGENCY EXIT & LIGHT BATTERY PACK (DIRECTIONAL ARROWS AS INDICATED)
- ⊕ EMERGENCY LIGHT BATTERY PACK
- ⊕ DUPLEX RECEPTACLE, 20A, 120V, 1 PHASE, 2 POLE, 3 WIRE GROUNDING
- ⊕ DUPLEX RECEPT. WEATHERPROOF
- ⊕ GROUND FAULT INTERRUPTER
- ⊕ DUPLEX RECEPT., GROUND FAULT INTERRUPTER MTD AT 42" AFF
- ⊕ INTERRUPTER MTD AT COUNTER HGT +42"
- ⊕ DUPLEX RECEPT. MTD AT 42" AFF
- ⊕ DEDICATED CIRCUIT, DISHWASHER, WATER HEATER, HVAC UNIT, DRYER, RANGE
- ⊕ OCCUPANCY SENSOR, CEILING MTD.
- S SINGLE POLE TOGGLE SWITCH
- S THREE-WAY TOGGLE SWITCH
- S_K KEY SWITCH
- ⊖ ELECTRICAL PANEL
- ⊖ HOT WATER HEATER, 50 GAL., 4500 W.
- ⊖ DISCONNECT SWITCH w/ WEATHERPROOF ENCLOSURE

TYPICAL APARTMENT PANEL SCHEDULE			
DESIGNATION: PNL #1, PNL #2, PNL #3, PNL #4, PNL #5, PNL #6, PNL #7, PNL #8, PNL #9, PNL #10, PNL #11, PNL #12, PNL #13, PNL #14, PNL #15, PNL #16, PNL #17, PNL #18, PNL #19			
RATING: 100 AMPS MAIN CIRCUIT BREAKER, 120/240V, SINGLE PHASE, FOUR WIRE, ALUMINUM BUS.			
MINIMUM SHORT CIRCUIT RATING: 10K AIC			
CKT. NO.	SERVICE	BRK. POLES, BRK. AMP A & B	SERVICE
1	LIGHTS - LIV & DIN	20	RECEPT. - LIV & DIN
2	LIGHTS - BEDROOMS	20	RECEPT. - BR #1
3	LIGHTS - KIT, BATH, EXHAUST	20	RECEPT. - BR #2
4	LIGHTS - KIT, BATH, EXHAUST	20	REFRIG. & KITCHEN RECEPT. GFCI
5	LIGHTS - KIT, BATH, EXHAUST	20	REFRIG. & KITCHEN RECEPT. GFCI
6	LIGHTS - KIT, BATH, EXHAUST	20	REFRIG. & KITCHEN RECEPT. GFCI
7	DISHWASHER & KITCHEN RECEPT. GFCI	20	REFRIG. & KITCHEN RECEPT. GFCI
8	DISHWASHER & KITCHEN RECEPT. GFCI	20	REFRIG. & KITCHEN RECEPT. GFCI
9	MICRO. WASHER, BATH RECEPT. GFCI	20	RANGE
10	MICRO. WASHER, BATH RECEPT. GFCI	20	RANGE
11	HOT WATER HEATER	30	DRYER
12	HOT WATER HEATER	30	DRYER
13	HVAC HEAT PUMP - INSIDE UNIT	50	HVAC CONDENSER - OUTSIDE UNIT
14	HVAC HEAT PUMP - INSIDE UNIT	50	HVAC CONDENSER - OUTSIDE UNIT
15	SPARE		SPARE
16	SPARE		SPARE
17	SPARE		SPARE
18	SPARE		SPARE
19	SPARE		SPARE

BUILDING ELECTRICAL PANEL SCHEDULE			
DESIGNATION: PNL #7			
RATING: 200 AMPS MAIN CIRCUIT BREAKER, 120/240V, SINGLE PHASE, FOUR WIRE, ALUMINUM BUS.			
MINIMUM SHORT CIRCUIT RATING: 10K AIC			
CKT. NO.	SERVICE	BRK. POLES, BRK. AMP A & B	SERVICE
1	EMERGENCY LIGHT	20	DRYER RECEPT. - LAUNDRY
2	EMERGENCY LIGHT	20	DRYER RECEPT. - LAUNDRY
3	EMERGENCY LIGHT	20	DRYER RECEPT. - LAUNDRY
4	LIGHTS - STAIRWAY	20	DRYER RECEPT. - LAUNDRY
5	LIGHTS - STAIRWAY	20	DRYER RECEPT. - LAUNDRY
6	LIGHTS - STAIR, ENTRY	20	DRYER RECEPT. - LAUNDRY
7	LIGHTS - STAIR, ENTRY	20	DRYER RECEPT. - LAUNDRY
8	LIGHTS - 1ST FLOOR	20	LAUNDRY
9	LIGHTS - 1ST FLOOR	20	LAUNDRY
10	LIGHTS - PARKING LOT	20	RECEPT. - STAIRWAY
11	LIGHTS - PARKING LOT	20	RECEPT. - STAIRWAY
12	LIGHTS - PARKING LOT	20	RECEPT. - UTILITY
13	LIGHTS - PARKING LOT	20	RECEPT. - EXTERIOR
14	LIGHTS - PARKING LOT	20	RECEPT. - EXTERIOR
15	SPARE	20	SPARE
16	SPARE	20	SPARE
17	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
18	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
19	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
20	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
21	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
22	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
23	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
24	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
25	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
26	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
27	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
28	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
29	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
30	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
31	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
32	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
33	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
34	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
35	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
36	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
37	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
38	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
39	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY
40	SUBPANEL - SERVICE TO 12 UNIT APARTMENT BLDG	100	UNIT HEATER - UTILITY



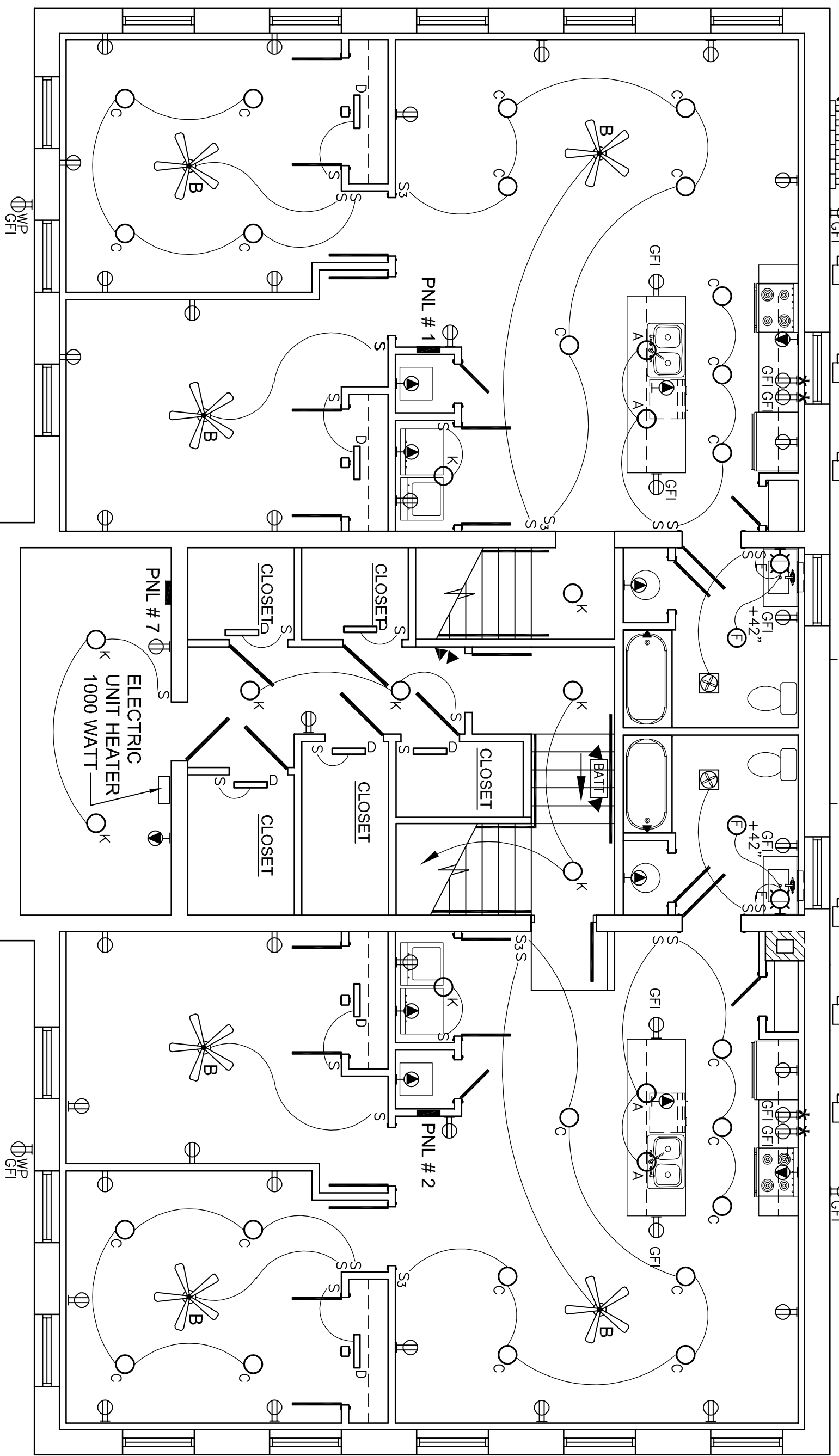
APARTMENT # 3

APARTMENT # 4



SECOND FLOOR PLAN
 0 1'-2" 4' 8' 16'
 3/16"=1'-0"

UNDERGROUND ELECTRICAL SERVICE
 800 AMP, 120 / 240 V, (1) PHASE, GROUP METERING;
 (18) 100 AMP, 1-PHASE APARTMENT METERS;
 (1) 200 AMP 1-PHASE OWNERS METER



APARTMENT # 1

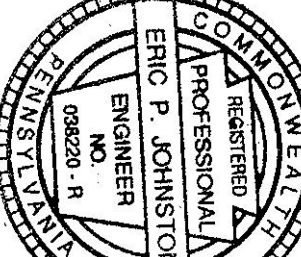
APARTMENT # 2

FIRST FLOOR PLAN
 0 1'-2" 4' 8' 16'
 3/16"=1'-0"

FIRST FLOOR PLAN
 0 1'-2" 4' 8' 16'
 3/16"=1'-0"

REVISIONS / SUBMISSIONS
 PERMIT DRAWINGS
 11/23/20

JON FREY
 Design + Drafting
 3437 HEATHER DRIVE
 YORK, PA 17408
 717-792-4304
 maxcad1234@aol.com



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 office (717) 793-9595 fax (717) 793-9696

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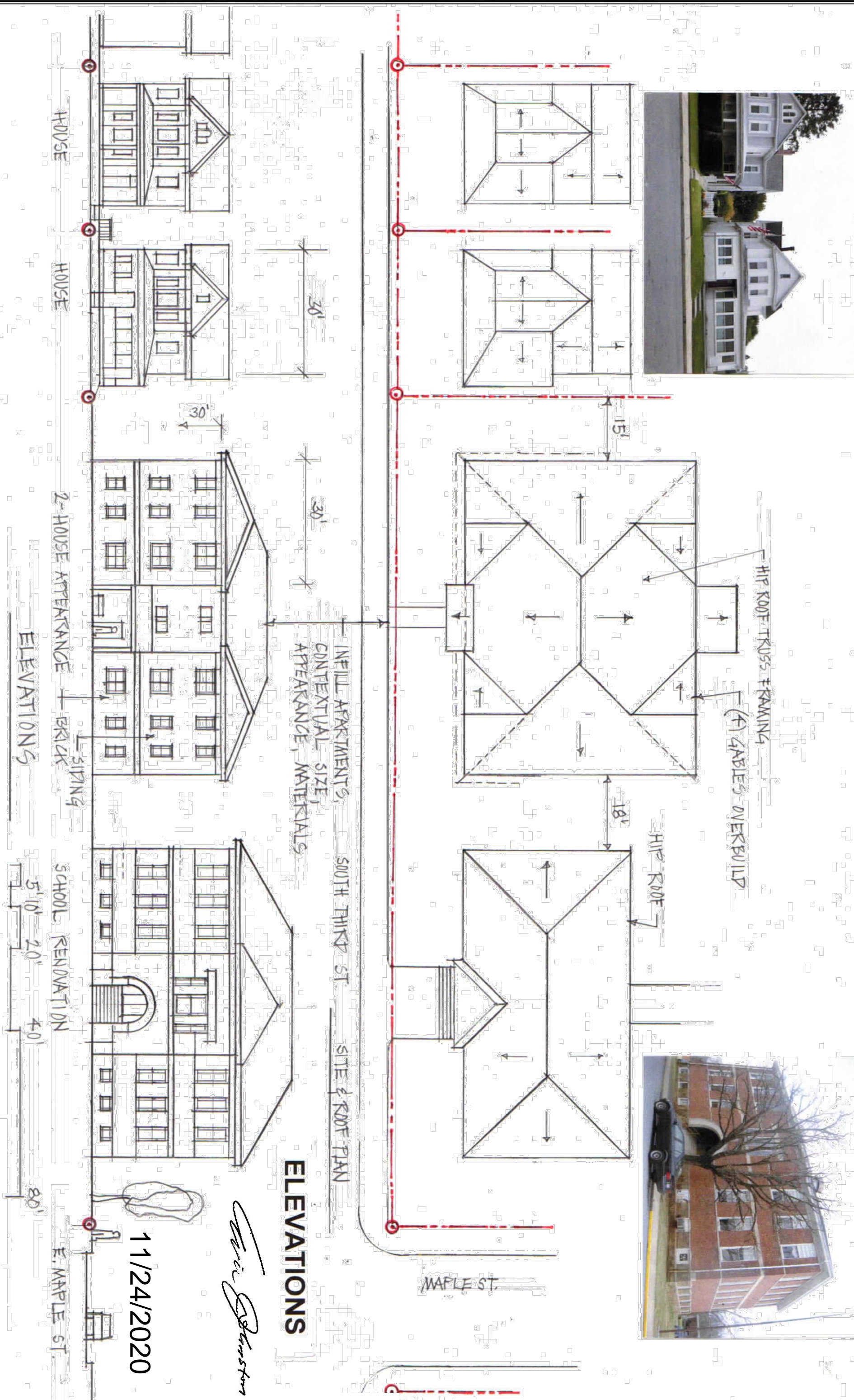
**ELECTRICAL FLOOR PLANS
 CONVERSION TO APARTMENTS**
 MOUNT WOLF SCHOOL BUILDING
 91 S. THIRD ST., MOUNT WOLF, PA 17347
 MOUNT WOLF BOROUGH, YORK COUNTY

SCALE AS NOTED
 DRAWN BY JACK SANDS
 DESIGN BY PHIL FREY, AIA
 SHEET 9 OF 10
E-1

SITE PLAN EXHIBITS: THE (4) DRAWINGS ON THIS SHEET WERE INCLUDED IN THE ZONING APPROVAL AS APPROVED BY THE MOUNT WOLF ZONING HEARING BOARD ON 11/17/2020.

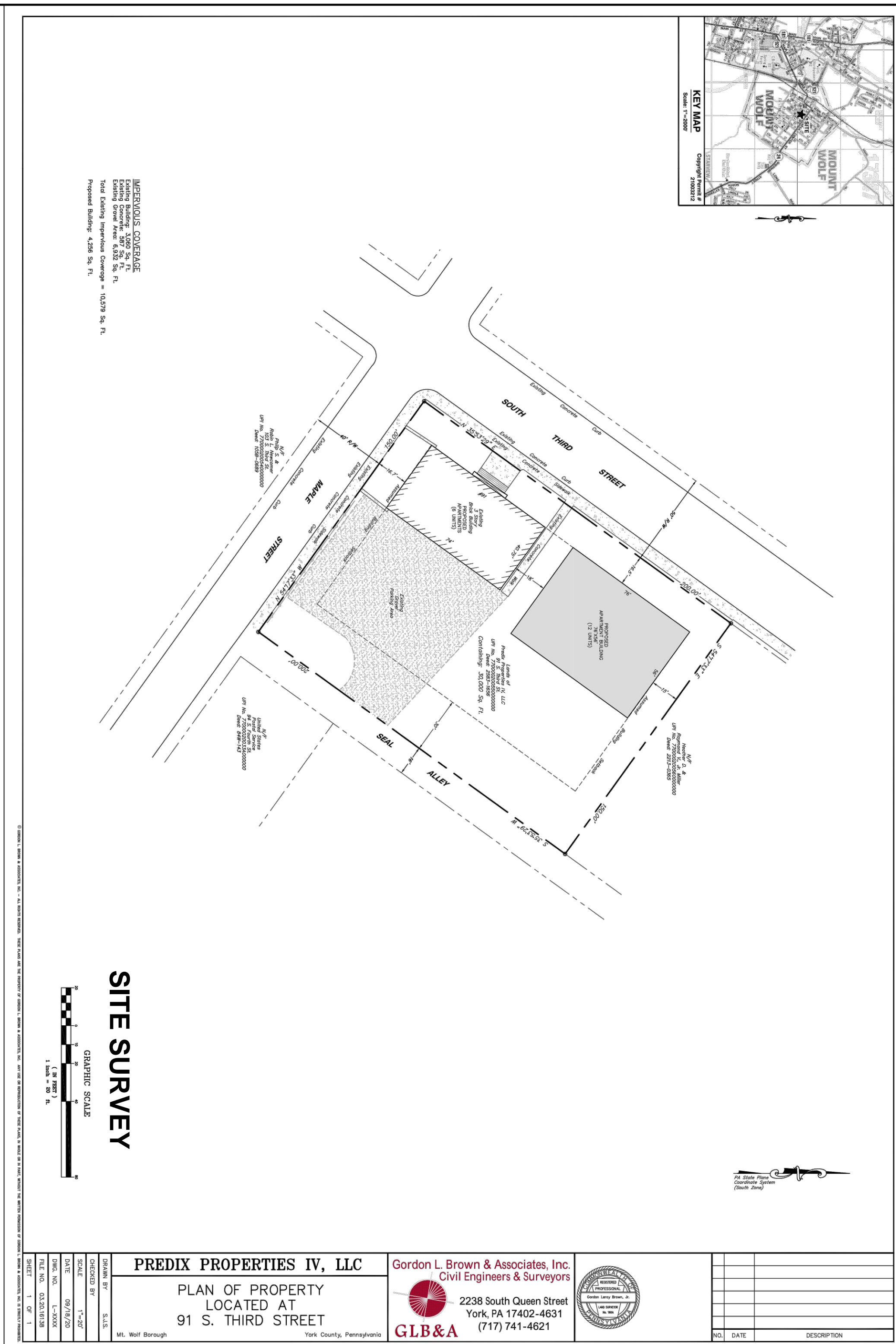


STREETSCAPE



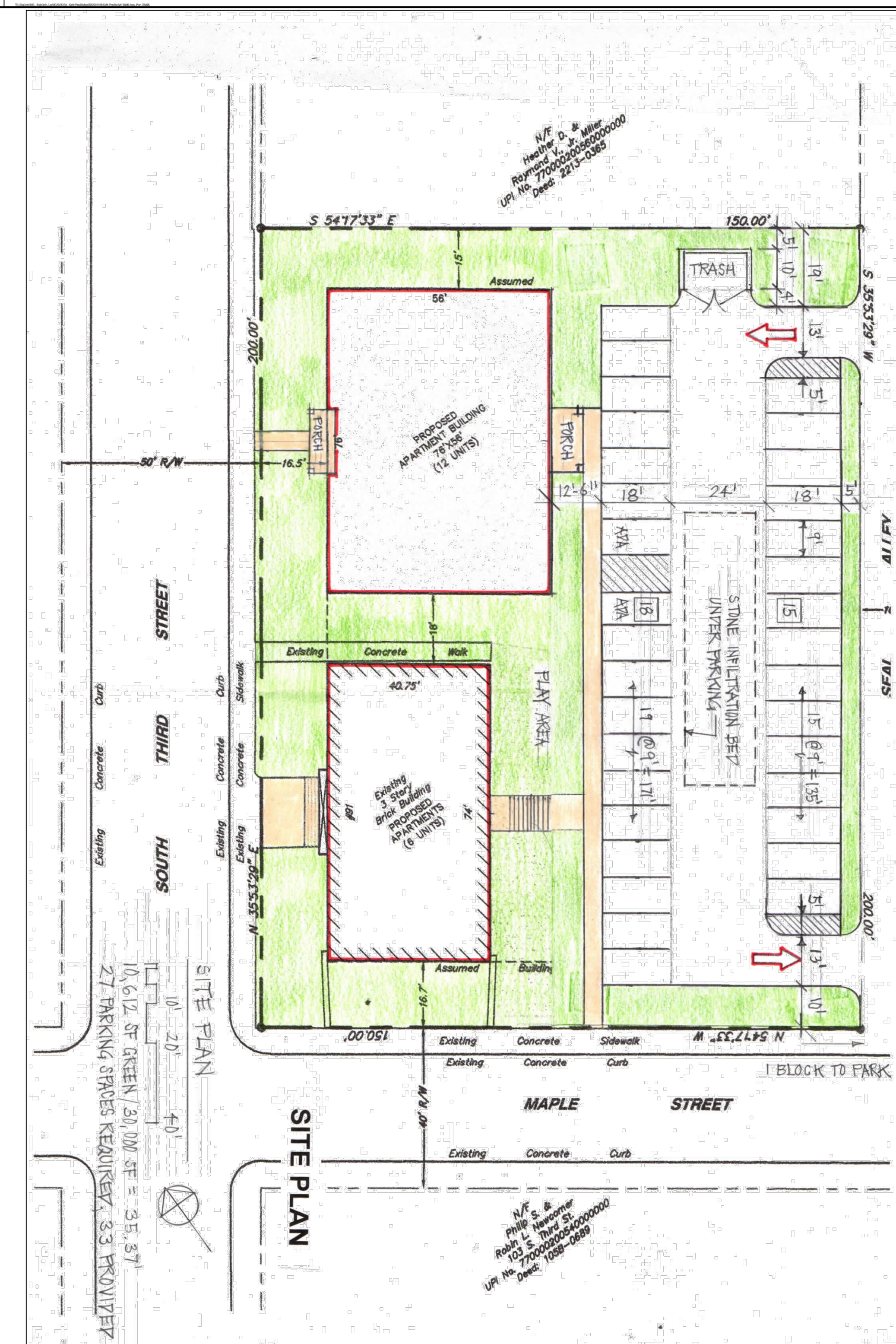
ELEVATIONS

11/24/2020



SITE SURVEY

PREDIX PROPERTIES IV, LLC PLAN OF PROPERTY LOCATED AT 91 S. THIRD STREET Mt. Wolf Borough, York County, Pennsylvania		Gordon L. Brown & Associates, Inc. Civil Engineers & Surveyors 2238 South Queen Street York, PA 17402-4631 (717) 741-4621 GLB&A	
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SITE PLAN

SITE PLAN & SURVEY CONVERSION TO APARTMENTS MOUNT WOLF SCHOOL BUILDING 91 S. THIRD ST., MOUNT WOLF, PA 17347 MOUNT WOLF BOROUGH, YORK COUNTY	PREDIX PROPERTY MANAGEMENT Seth Predix, Developer 815 N. GEORGE ST. SUITE 'A', YORK, PA 17404 OFFICE: 717-781-4856	JOHNSTON AND ASSOCIATES, INC. CONSULTING ENGINEERS LAND DEVELOPMENT CONSULTANTS STRUCTURAL ENGINEERS ERIC P. JOHNSTON, P.E. 2386 TAXVILLE ROAD YORK, PA 17404 OFFICE (717) 793-9595 FAX (717) 793-9696	JON FREY Design + Drafting 3437 HEATHER DRIVE YORK, PA 17408 717-792-4304 maxcad1234@aol.com	REVISIONS / SUBMISSIONS PERMIT DRAWINGS 11/23/20
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