

# Thriving Families

## THRIVING FAMILIES LEVEL 2 - PRICING DOCUMENTS

### PROJECT DIRECTORY

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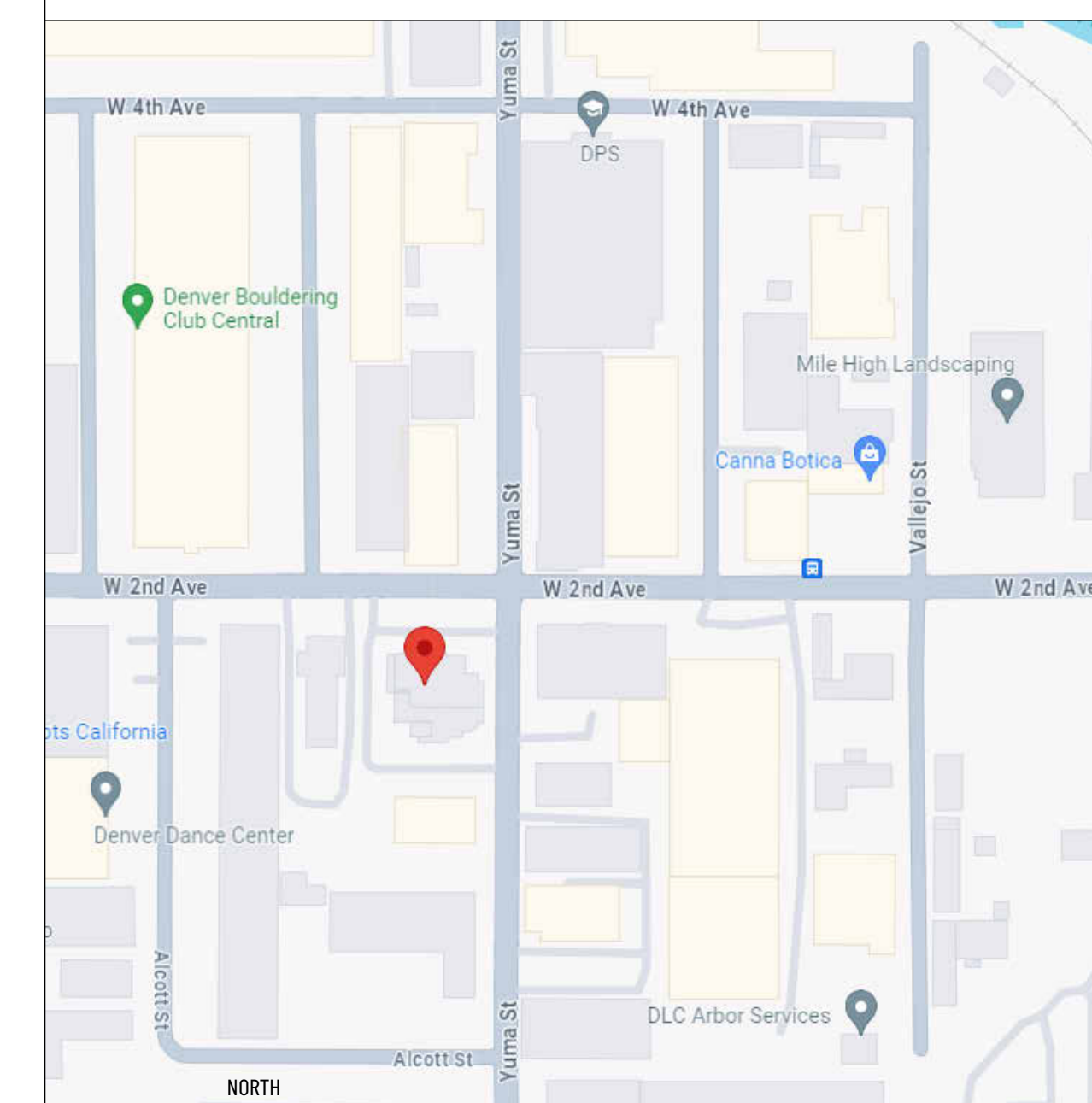
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### DESCRIPTION OF WORK

#### DESCRIPTION:

RENOVATION BY OWNER OF LEVEL 2 SPACE.

### VICINITY MAP



**Clic.**  
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THRIVING FAMILIES  
191 YUMA ST, DENVER, CO 80223

ISSUANCE: DATE  
FOR PRICING: 2024.04.10

REVISION: DATE

PROJECT NUMBER: 2315.01

SHEET TITLE:

COVER SHEET - LEVEL 02

SHEET NUMBER:

**A0.0.2**

GENERAL NOTES

- 1. THE FOLLOWING GENERAL NOTES APPLY TO THE ENTIRE SET OF DRAWINGS AND ARE NOT SPECIFIC TO ANY ONE DISCIPLINE.
2. THE GENERAL NOTES, SYMBOLS AND DEFINITIONS APPLICABLE TO EACH DISCIPLINE CAN BE FOUND AT THE FRONT OF EACH DISCIPLINE SET OF DRAWINGS AND IS LISTED AS PART OF THE OVERALL PROJECT INDEX OF DRAWINGS.
3. BASIC FIRE PROTECTION AND EXITING CONCEPTS ARE ILLUSTRATED BY THE LIFE SAFETY AND CODE PLANS ON THE CODE ANALYSIS & LIFE SAFETY SHEETS. THE CONTRACTOR SHALL BE FAMILIAR WITH REQUIREMENTS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH REFERENCED FIRE RATED ASSEMBLY TESTS AND STANDARDS. SEE ALSO PARTITION TYPES SHEETS.
4. THE ARCHITECTURAL DRAWINGS ESTABLISHED TAKE PRECEDENCE FOR THE FINISHED APPEARANCE AND EXACT LOCATION OF ALL EXPOSED ELEMENTS OF THE WORK OF ALL TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES.
5. THE DRAWINGS MAY MAKE REFERENCE TO AND/OR ILLUSTRATE ITEMS WHICH ARE NOT PART OF THE WORK OF THE CONTRACT. THESE "NOT IN CONTRACT" ITEMS ARE INDICATED AS REFERENCED AND/OR ILLUSTRATED FOR THE CONTRACTORS REFERENCE, INFORMATION AND COORDINATION ONLY.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND SUPPLIERS WITH REQUIREMENTS OF THE CONTRACT BEFORE COMMENCING CONSTRUCTION, AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
7. THE WORK DESCRIBED BY THE DRAWINGS OF ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED ON DRAWINGS OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO THE DRAWINGS OF ANOTHER DISCIPLINE. PARTIAL SETS OF DRAWINGS ARE INCOMPLETE AND SHOULD NOT BE DISTRIBUTED OR UTILIZED BY THE CONTRACTOR.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND AGENCIES HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS TO BUILD TO SATISFY THESE CODES AND CALL FOR ALL NECESSARY INSPECTIONS. SUCH REQUIREMENTS MAY NOT BE REFLECTED BY THESE DRAWINGS AND SPECIFICATIONS.
9. THE DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS THEREOF USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO THE CONTRACTOR WITHOUT THE APPROVAL OF THE ARCHITECT.
10. THE CONTRACTOR SHALL MAINTAIN CURRENT/UPDATED RECORD DRAWINGS ON SITE AT ALL TIMES.
11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS AND SEQUENCES OF CONSTRUCTION.
12. EACH INSTALLER SHALL EXAMINE THE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY ADVISE THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. INSTALLATION OF PRODUCTS SHALL SIGNIFY ACCEPTANCE BY THE INSTALLER OF THE SUBSTRATE CONDITIONS.
13. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
14. THE GENERAL CONTRACTOR IS SUPPLIED, HEREIN WITH THE CONSTRUCTION DOCUMENTS FOR USE IN PRICING AND CONSTRUCTION OF THIS PROJECT. EXISTING CONDITIONS SHOWN ARE FROM AVAILABLE RECORD DRAWINGS AND/OR VISUAL FIELD SURVEYS. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING, START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
15. ARCHITECT IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS SHOWN IN THESE DOCUMENTS. GC SHALL CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE FIELD.
16. THE CONTRACTOR SHALL COORDINATE INFORMATION THAT IS PART OF ONE OR MORE SEPARATE BID PACKAGES WITH ADDITIONAL INFORMATION ISSUED IN THIS BID PACKAGE. THE MULTIPLE BID PACKAGES, AS OCCURS, SHALL CONSTITUTE A COMPLETE PROJECT.
17. FOR THE PURPOSE OF PRICING/ESTIMATES, WHEN THERE IS A CONFLICT/DISCREPANCY IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR IS TO PRICE THE HIGHER COST ITEM.
18. THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY IN WRITING TO THE ARCHITECT CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES, AND DISCREPANCIES BETWEEN THE DOCUMENTS AND THE ACTUAL CONDITIONS AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW REASONABLE AND ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT AND OWNER PRIOR TO PROCEEDING.
19. THE DRAWINGS AND SPECIFICATIONS ESTABLISH DETAILED MINIMUM REQUIREMENTS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.
20. SOME DRAWINGS ARE TYPICALLY SCHEMATIC IN NATURE. MODIFICATIONS IN ELEMENTS (SUCH AS) DUCTS, PIPING, CONDUIT, WIRING, ETC) MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS.
21. THE CONTRACTOR SHALL COORDINATE ALL MECHANICAL CHASE SIZES WITH MECHANICAL SUB-CONTRACTOR.
22. HAZARDOUS MATERIALS: REMOVAL OF ANY DISCOVERED HAZARDOUS MATERIALS IS OUTSIDE THE SCOPE OF THIS DRAWING. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY BUILDING OWNER.
23. ALL FINISH MATERIALS SHALL CONFORM TO I.B.C. FOR FLAME SPREAD AND SMOKE DEVELOPMENT. REFER TO SPECIFIC MATERIAL SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS. SEE CODE ANALYSIS SHEETS FOR FURTHER REQUIREMENTS.
24. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR BUILDING RULES AND REGULATIONS, AND ANY REQUIRED SUBCONTRACTORS.
25. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.

- 26. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS AND DETAILS ARE TO FINISH FACE OF WALL, MASONRY, CONCRETE OR STRUCTURAL GRID LINES, UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING.
27. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
28. "I.F." ON DRAWINGS REFERS TO FIELD VERIFICATION FOR CORRECT DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
29. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDE, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, LIGHT FIXTURES, CEILING SYSTEMS AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE.
30. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL WALL AND CEILING FRAMING MEMBERS TO FACILITATE THE INSTALLATION OF ALL WALL AND CEILING MOUNTED ELECTRICAL AND MECHANICAL DEVICES, ETC., PER THE ARCHITECT'S DRAWINGS. REFER TO INTERIOR ELEVATIONS AND RCP FOR EXACT LOCATIONS OF DEVICES. IF NOT INDICATED, COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
31. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL LOUVERS.
32. EXISTING LOW VOLTAGE WIRING FROM THE ELECTRICAL CLOSET TO THE STAIRWELL ELECTRIC LOCKS MUST BE KEPT INTACT AND SHOULD BE SUPPORTED PER CODE, AN POWER TO STAIRWELL ELECTRIC LOCKS IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
33. ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY BUILDING CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION AND TYPE OF ACCESS PANEL W/ OTHER CONTRACTORS' WORK AND RECEIVE APPROVAL OF THE ARCHITECT. NO ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHOUT THE EXPRESSED APPROVAL OF THE ARCHITECT. PAINT PANELS TO MATCH ADJACENT FINISH CONDITION OR AS APPROVED BY ARCHITECT.
34. IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. IN THE CASE OF A CONFLICT IN THE DRAWINGS AND DETAILS, THE DETAILS WITH THE LARGER SCALE OR THE ASSEMBLY WHICH PRODUCES THE HIGHER QUALITY ASSEMBLY AND FINISH SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING WITH THE WORK.
35. ALL DUCT PENETRATIONS THROUGH PARTITIONS AND CEILINGS SHALL BE PROVIDED WITH THE NECESSARY FRAMES AND BRACING AROUND THE OPENING.
36. THE CONTRACTOR SHALL PROVIDE AND COORDINATE ALL BLOCK-OUTS, SLEEVES, INSERTS, BOLTS, PLATES, ETC. FOR ALL TRADES PRIOR TO PLACING CONCRETE OR MASONRY.
37. THE SPECIFICATIONS AND ALL CONSULTANT DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANT'S WORK AND TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS EXPENSE AND AT NO EXPENSE TO THE ARCHITECT, HIS CONSULTANTS, OR THE OWNER.
38. THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPEDITED OR NECESSARY. PRIOR TO PRECEDING WITH WORK, REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECTS AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY THE CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
39. ALL SMOKE DETECTORS TO BE PROPERLY BAGGED DURING CONSTRUCTION AND UNCOVERED AFTER SHIFT WORK IS COMPLETE. ALSO, IT IS RECOMMENDED THAT FLOOR BE TAKEN OUT OF SCAN DURING THE WORK AND PUT BACK IN SCAN AFTER SHIFT WORK IS COMPLETE.
40. GC TO ENSURE THAT DEMO AND/OR PLUMBING CONTRACTOR SEAL ALL DEMO'D DRAIN PIPING TO PRECLUDE ESCAPE OF INSECTS. THIS SHOULD INCLUDE ANY FLOOR DRAINS.
41. FINAL CLEAN UP AND DISPOSAL SHALL INCLUDE REMOVAL OF DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO PERTAINING FEDERAL STATE AND LOCAL LAWS, REGULATIONS AND ORDERS UPON COMPLETION OF WORK. ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM CLEAN AND FREE FROM DEBRIS, CLEAN ALL DUST, DIRT STAINS, MARKS, PAINT SPOTS, DROPPINGS AND OTHER BLEMISHES. THE CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER FOR DETAILS RELATED TO ALL SITE ACCESS AND REMOVAL PLANS.
42. IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT THE REQUIREMENT OF THIS CONTRACT CONFLICTS WITH, OR IS IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, HE/SHE SHALL NOT PROCEED WITH WORK IN QUESTION, EXCEPT AT HIS/HER OWN RISK UNTIL THE ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY THE ARCHITECT, WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE SUCH WORK WITH ALL NEW COMPLYING WORK AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
43. ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
44. ALL ELEVATIONS SHOWN ON PLANS AND BUILDING ELEVATIONS ARE TAKEN RELATIVE TO THE TOP OF FINISHED FLOOR.
45. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.I.C.) OR (F.O.D.). ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL CURRENT AND APPLICABLE LOCAL CODES, GOVERNING REGULATION AND THE CONTRACT DOCUMENTS.
46. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN AND PROTECT NEW WORK AS WELL AS EXISTING SYSTEMS AND ELEMENTS WHICH ARE TO REMAIN. ANY DAMAGE TO SUCH SYSTEMS AND ELEMENTS SHALL BE IMMEDIATELY REPAIRED IN A MANNER ACCEPTABLE TO THE ARCHITECT. IF SATISFACTORY REPAIRS CANNOT BE MADE, THE CONTRACTOR SHALL REPLACE SYSTEMS AND ELEMENTS WITH "NEW" PRODUCTS ACCEPTABLE TO THE ARCHITECT. ALL REPAIRS AND REPLACEMENT COSTS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.

- 47. SPECIAL NOTICE TO CONTRACTORS: ALL CONTRACTORS PERFORMING WORK ON THE PREMISES SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM INCLUDING BUT NOT LIMITED TO THE ISOLATION OF WORK AREAS AND THE PROMPT REMOVAL OF ANY DEBRIS OR TOOLS WHICH MIGHT ENDANGER VISITORS AND STAFF OF THE OWNER OR ARCHITECT.
48. LANDLORD WILL DESIGNATE WHICH RESTROOM ON WORK FLOOR WILL BE USED. GC WILL BE RESPONSIBLE TO PROVIDE ADEQUATE FINISH PROTECTION TO ALL SURFACES. GC WILL BE RESPONSIBLE TO CLEAN DESIGNATED RESTROOM; BOP WILL STOCK WITH PAPER SUPPLIES.
49. LANDLORD WILL PROVIDE ASBESTOS INSPECTION REPORTS FOR CONSTRUCTION AREAS. NOTE THAT ASBESTOS MAY BE PRESENT IN THE FOLLOWING AREAS: IN PASTIC PLUMBING INSULATION, IN THE COATING ON THE UNDERSIDE OF STEEL SINKS, OR IN MONOTONE INSULATION USED FOR PATCHING. IF THE PROVIDED REPORT SHOWS THAT ASBESTOS IS PRESENT IN THE CONSTRUCTION AREA, IT IS NOT TO BE DISTURBED AS PART OF CONSTRUCTION ACTIVITIES. IF DISTURBANCE IS UNAVOIDABLE, THE ASBESTOS SHOULD BE ABATED PURSUANT TO FEDERAL AND COLORADO LAW.
50. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACINGS, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
51. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.
52. THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKERS' USE. EXISTING FACILITIES SHALL NOT BE USED OR WILL NEED TO BE APPROVED FOR USE.
53. THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF WATER, ELECTRICAL, GAS, TELEPHONE AND TELEVISION COMPANIES TO VERIFY AVAILABLE FACILITIES AND IF APPLICABLE, TO ESTABLISH TEMPORARY FACILITIES.
54. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES REQUIRED NOT NEGOTIATED AS THE OWNER'S RESPONSIBILITY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS. THE CONTRACTOR SHALL FURNISH COPIES OF ALL SUCH ITEMS TO THE OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT OF SUCH ITEMS. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK, OR IF PERMITS ARE DELAYED FOR ANY REASON, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.
55. GC AND OR SUBS ARE RESPONSIBLE TO DRAW A HOT-WORK PERMIT THROUGH THE DOCK MASTER. HOT WORK REQUESTS MUST BE MADE PRIOR TO 3:30 PM. PERMITS MUST BE CLOSED OUT WITH ENGINEERING AFTER 6 AM OR TURNED OVER TO SECURITY AFTER 6 PM.
56. THE CONTRACTOR SHALL COORDINATE AND OBTAIN ALL REQUIRED INSPECTIONS OF WORK, INCLUDING THAT PERFORMED BY OWNER. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS.
57. ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE OF QUALITY SPECIFIED, FREE FROM DEFECTS, WILL BE PERMITTED ON THE PROJECT.
58. EGRESS ROUTES SHALL ALWAYS BE MAINTAINED DURING CONSTRUCTION.

- 59. SUBSTITUTIONS:
A. REFERENCE TO MAKERS, BRANDS, MODELS, ETC., IS TO ESTABLISH THE TYPE AND QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED IF APPROVED BY THE ARCHITECT PRIOR TO BID, UNLESS NOTED OTHERWISE. SUBSTITUTIONS FOR FLOOR, CEILING AND CASEWORK FINISHES WILL NOT BE ACCEPTED ON THIS PROJECT UNLESS THE SPECIFIED PRODUCT IS NO LONGER AVAILABLE OR HAS BEEN OTHERWISE DISCONTINUED.
B. THE ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR THE DESIGN FOR THIS PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN.
60. SHOP DRAWINGS:
A. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL EQUIPMENT AND MATERIALS WHICH MUST INTERFACE AND COORDINATE WITH OTHERS, WHETHER DETAILED OR NOT.
B. SHOP DRAWINGS SHALL BE SUBMITTED ELECTRONICALLY, OR AS OTHERWISE INDICATED IN THE SPECIFICATIONS.
61. THE CONTRACTOR SHALL PROVIDE A BLANKET ONE (1) YEAR GUARANTEE FOR THE CONTRACT PROJECT WITH SEPARATE GUARANTEES AS SPECIFIED FOR TRADES/EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING MAINTENANCE BROCHURES AND GUARANTEES AS REQUIRED.
62. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF AS-BUILT REPRODUCIBLE DRAWINGS INDICATING ALL DISCREPANCIES, CHANGES, ETC., AND ACTUAL LOCATIONS OF CONCEALED WORK TO THE ARCHITECT AT THE COMPLETION OF WORK PRIOR TO FINAL PAYMENT. CHANGES MUST BE DRAFTED. NO FREEHAND REVISIONS WILL BE ACCEPTED, UNLESS EXPRESSED OTHERWISE.
63. DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECEIVED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
64. THE CONTRACTOR SHALL PROVIDE AND INSTALL APPROVED FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE PROTECTION DISTRICT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
65. THE CONTRACTOR SHALL PROVIDE ROOF PATCH AND FLASHING CONDITIONS AT ALL ROOF PENETRATIONS/CURBS TO BE COMPATIBLE WITH EXISTING ROOF MEMBRANE. PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED. EXECUTE WORK SO AS TO MAINTAIN ANY EXISTING ROOF WARRANTIES.
66. THE CONTRACTOR SHALL PROVIDE BLOCKING AT LOCATIONS TO RECEIVE WALL MOUNTED SHELVING. COORDINATE TYPE, LOCATIONS, HEIGHTS AND LENGTHS WITH ARCHITECT. COMBUSTIBLE BLOCKING MAY NOT BE USED IN RATED WALLS.
67. COLOR SELECTION OF ALL ELECTRICAL WALL PLATES TO BE APPROVED BY ARCHITECT.
68. PROVIDE FIRE SAFE SLIP JOINTS AT ALL RATED PARTITIONS.
69. DURING BIDDING PHASE, SUBCONTRACTORS ARE REQUIRED TO CROSS REFERENCE FOOD SERVICE DRAWINGS AND EQUIPMENT CUT SHEETS WITH ENGINEERED DRAWINGS AND REQUEST CLARIFICATION THROUGH GENERAL CONTRACTOR IF CONFLICT IS FOUND. EQUIPMENT SUPPLY AND INSTALLATION IS BY OWNERS VENDOR. FINAL ROUGH-IN CONNECTIONS ARE IN GENERAL CONTRACTORS SCOPE OF WORK.
70. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE OWNER'S VENDORS DURING INSTALL. THIS INCLUDES BUT IS NOT LIMITED TO KITCHEN EQUIPMENT, AUDIO/VISUAL, POINT OF SALE (P.O.S.), SECURITY AND FURNISHING DELIVERY.
71. ALL DISSIMILAR METALLIC MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.
72. ALL PENETRATIONS THROUGH FIRE-RATED FLOORS, WALLS AND CEILINGS SHALL BE INSTALLED WITH FIRE DAMPERS, FIRE SEAL, ECT., SO AS TO MAINTAIN THE REQUIRED FIRE RESISTIVE RATING AND STRUCTURAL INTEGRITY OF THE ASSEMBLY.
73. WHEN A FLOOR, WALL OR CEILING PENETRATION IS REQUIRED, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAKING THE PENETRATION NEAT AND ORDERLY. THE RESPONSIBLE CONTRACTOR WILL ALSO PATCH, REPAIR AND PAINT THE AREA TO MATCH ADJACENT FINISHES, UNLESS NOTED OTHERWISE.

DRAWING INDEX

Table with columns SHEET NO. and SHEET NAME. Includes GENERAL, CODE ANALYSIS & LIFE SAFETY, INTERIOR DEMOLITION, INTERIORS, MECHANICAL, PLUMBING, ELECTRICAL, and STRUCTURAL sections.



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FOR PRICING NOT FOR CONSTRUCTION

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PROJECT ABBREVIATIONS

Table of project abbreviations with columns for symbol, description, and full name. Includes categories like FURN, MECH, REIN, VET, etc.

GENERAL SYMBOL LEGEND

Diagrammatic legend for symbols used in drawings. Includes Building Elevation, Interior Elevation, Structural Grid, Building Section, Wall Section, Call Out Detail, Spot Elevation/Datum, and Revision Tag.

PROJECT NUMBER: 2315.01 SHEET TITLE: SHEET INDEX & GENERAL NOTES - LEVEL 02 SHEET NUMBER:

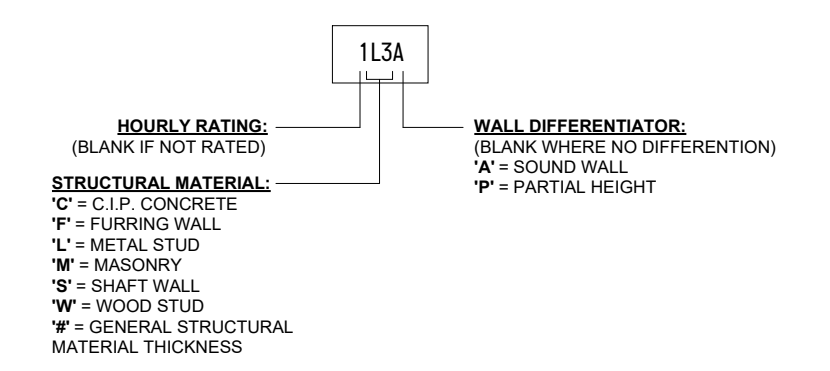
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### INTERIOR WALL TYPE LEGEND



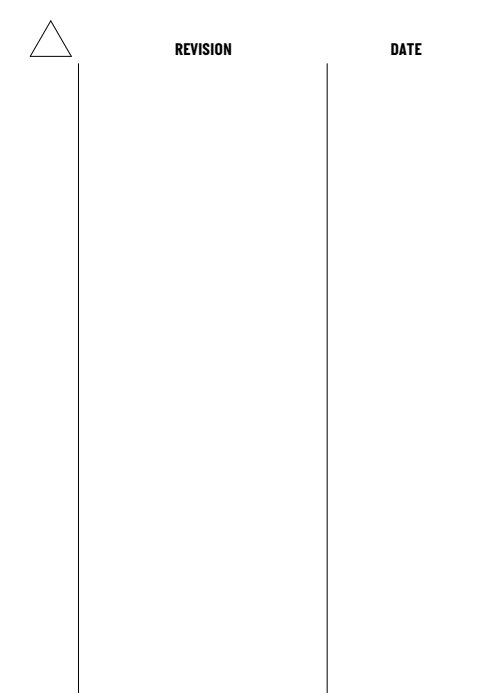
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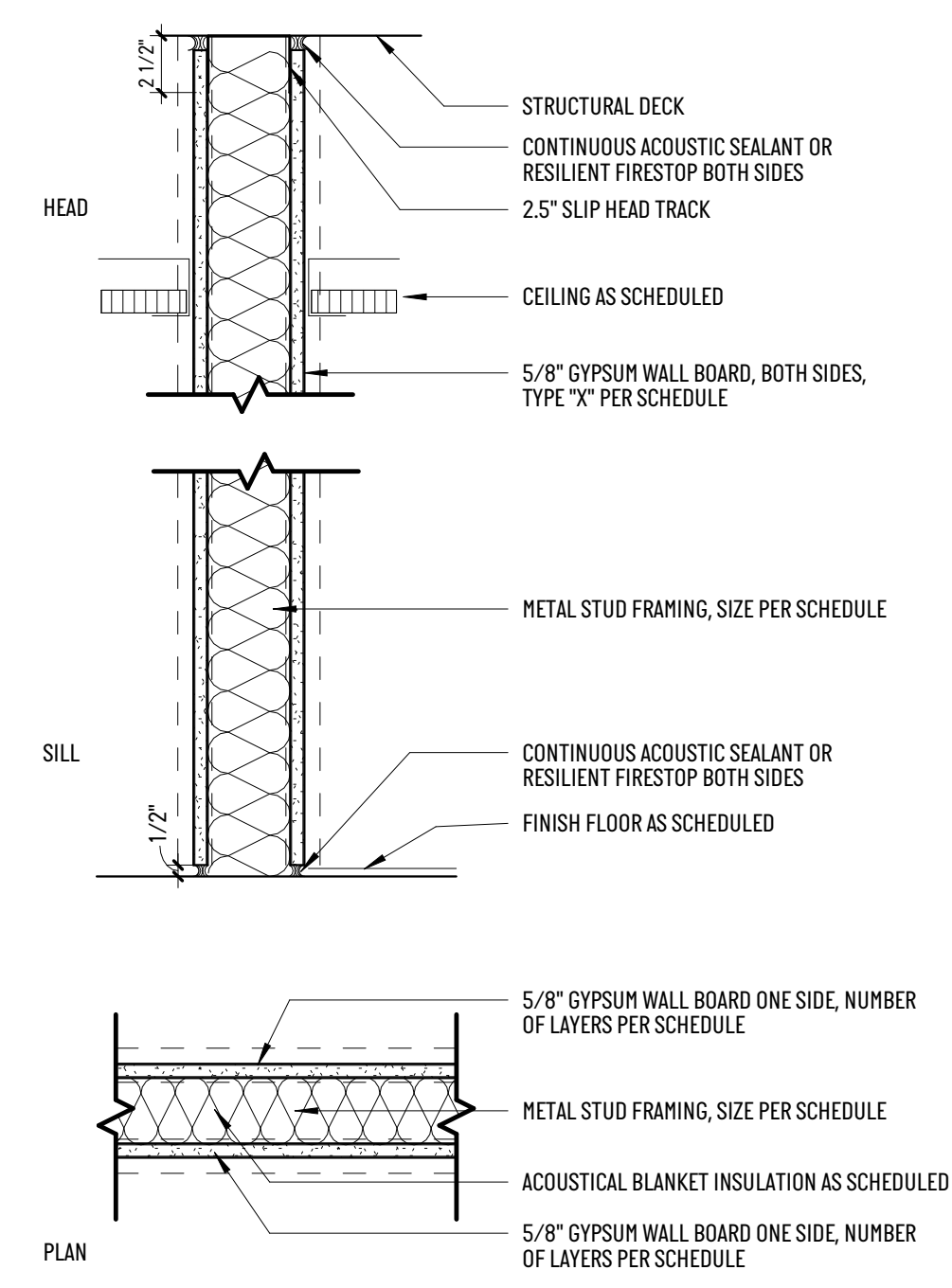
**THRIVING FAMILIES**  
 191 YUMA ST, DENVER, CO 80223

ISSUANCE: FOR PRICING DATE: 2024.04.10



PROJECT NUMBER: 2315.01  
 SHEET TITLE: PARTITION TYPES - INTERIOR - LEVEL 2  
 SHEET NUMBER:

# A0.02.2



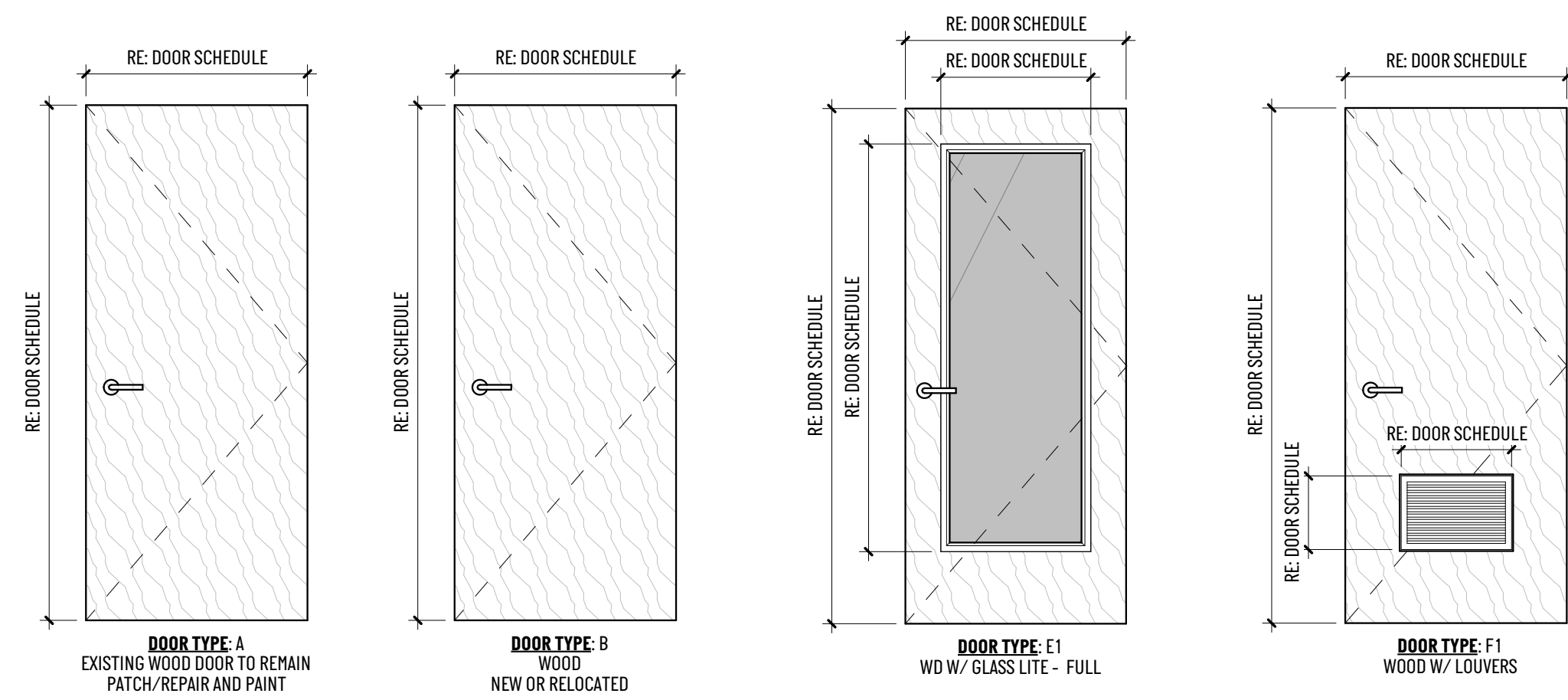
### PARTITION S012 - WALL TO STRUCTURE

TYPE	TOTAL THICKNESS	STUD SIZE	FIRE RATING	STC #	GA / UL #	ACOUSTIC INSULATION	COMMENTS
S012	4 7/8"	NR					DiagramS01

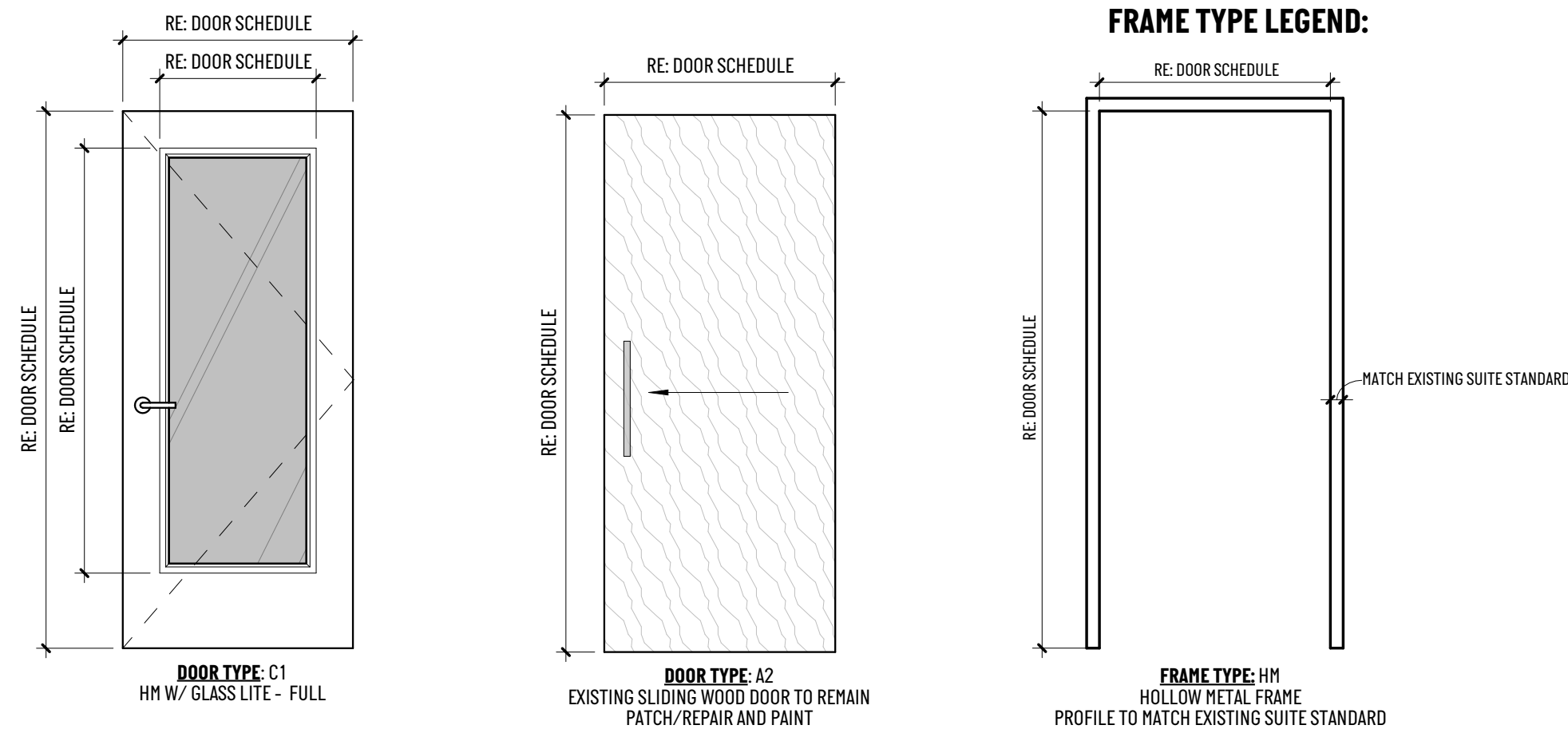
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15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

**DOOR TYPE LEGEND:**



**FRAME TYPE LEGEND:**



**DOOR HARDWARE TYPES:**

- TYPE 1: STOREROOM FUNCTION**
- 4 BUTT HINGES
  - 1 LOCKSET - STOREROOM FUNCTION
  - 1 ADA CONCEALED OVERHEAD CLOSER
  - 1 WALL/FLOOR MOUNTED STOP
  - 1 SET SILENCERS
- TYPE 2: STANDARD PASSAGE SET**
- 4 BUTT HINGES
  - 1 LEVER SET - PASSAGE FUNCTION
  - 1 WALL/FLOOR MOUNTED STOP
  - 1 SET SILENCERS
- TYPE 3: DOOR WITH CARD READER**
- 1 ELECTRIC HINGE
  - 3 BUTT HINGES
  - 1 ELECTRONIC LEVER SET
  - 1 CARD READER (PROVIDED BY SECURITY VENDOR)
  - 1 ADA CONCEALED OVERHEAD CLOSER
  - 1 WALL/FLOOR MOUNTED STOP
  - 1 BOTTOM SWEEP
- TYPE 4: RELOCATED DOORS**
- EXISTING HARDWARE TO BE RELOCATED WITH DEMOLISHED DOOR AND FRAME TO BE RELOCATED
- TYPE 5: EXISTING DOORS TO REMAIN**
- EXISTING HARDWARE TO REMAIN
- TYPE 6: PRIVACY SET**
- 4 BUTT HINGES
  - 1 PRIVACY LOCKSET WITH OCCUPANCY INDICATOR
  - 1 WALL/FLOOR MOUNTED STOP
  - 1 SET SILENCERS

**NOTE: ALL NEW DOOR HARDWARE AND FINISH TO MATCH EXISTING SUITE STANDARD**

**LEVER SET:**  
MATCH EXISTING SUITE STANDARD  
LEVEL MD

**HINGES (HEAVY DUTY):**  
IVES OR EQUAL

**HINGES (STANDARD DUTY):**  
IVES OR EQUAL

**HINGES (CONCEALED):**  
FRYE REGLET

**MORTISE LOCKS:**  
MATCH BUILDING STANDARD

**CLOSERS:**  
NORTON DOOR CONTROLS OR EQUAL

**WALL STOP:**  
ROCKWOOD 406 OR EQUAL, BRUSHED ALUMINUM FINISH

**FLOOR STOP:**  
ROCKWOOD 480 OR EQUAL, BRUSHED ALUMINUM FINISH

**SILENCERS:**  
ROCKWOOD 608 OR EQUAL

**COAT HOOKS:**  
ROCKWOOD RM801

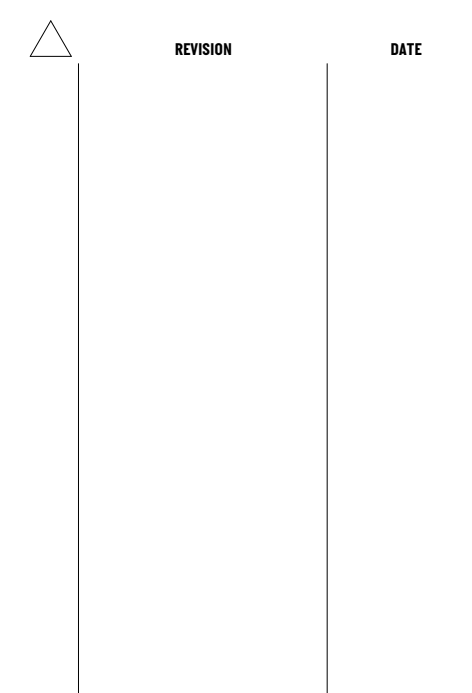
**DOOR HARDWARE NOTES:**

- ALL DOOR FRAMES TO MATCH BUILDING STANDARDS. ALL EXISTING FRAMES TO BE PAINTED P-1 U.N.D.
- ALL DOORS TO BE PATCHED / REPAIRED TO NEW-LIKE CONDITION BEFORE PAINTING P-1.
- PAINT ALL EXISTING DOORS P-1.
- ALL HARDWARE TO BE ADA COMPLIANT AND UL RATED AND MATCH EXISTING TENANT STANDARD.
- SECURITY VENDOR TO COORDINATE CARD READER ACCESS WITH BUILDING SYSTEM AND OWNER REQUIREMENTS. REFER TO SCHEDULE AND CONSTRUCTION PLANS FOR INTENDED LOCATIONS OF CARD READERS. MOUNT CARD READERS 4'-4" AFF TO CENTERLINE OF DEVICE, TYP. TOP OF CARD READER SHALL NOT BE MOUNTED ABOVE 48" AFF.
- SECURITY VENDOR SHALL OBTAIN A SEPARATE ACCESS CONTROL PERMITS FROM THE BUILDING DEPARTMENT PRIOR TO INSTALLATION OF ANY ACCESS CONTROL DEVICES OR EQUIPMENT.
- PROVIDE COAT HOOKS BEHIND ALL NEW PRIVATE OFFICE AND WORKROOM DOORS.
- KICK PLATES SHALL BE 8" HIGH, STAINLESS STEEL TO MATCH BASE BUILDING FINISH AND SHALL BE APPLIED TO KICK SIDE OF DOOR U.N.D.
- ALL LOCKSETS SHALL BE KEYED TO THE BUILDING MASTER. COORDINATE REQUIREMENTS WITH OWNER

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THRIVING FAMILIES  
191 YUMA ST, DENVER, CO 80223

ISSUANCE: FOR PRICING  
DATE: 2024.04.10



PROJECT NUMBER: 2315.01  
SHEET TITLE: DOOR SCHEDULE/LEGEND - LEVEL 2  
SHEET NUMBER:

**A0.03.2**



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**1 CODE ANALYSIS & LIFE SAFETY - LEVEL 02 - ARCH D**  
1/8" = 1'-0"

CONCENTRATED BUSINESS BUSINESS	
AREA	1,429 SF
OLF	1/50
OCC	29

ACTUAL OCCUPANTS: 35

STORAGE BUSINESS	
AREA	51 SF
OLF	1/300
OCC	1

STORAGE BUSINESS	
AREA	221 SF
OLF	1/300
OCC	1

PATIO BUSINESS	
AREA	485 SF
OLF	1/15
OCC	33

BREAK BUSINESS	
AREA	347 SF
OLF	1/15
OCC	24

OFFICE BUSINESS	
AREA	4,107 SF
OLF	1/100
OCC	42

CONFERENCE BUSINESS	
AREA	303 SF
OLF	1/100
OCC	4

PART OF 7% ALLOWABLE

STORAGE BUSINESS	
AREA	65 SF
OLF	1/300
OCC	1

STORAGE Area	
AREA	45 SF
OLF	1/300
OCC	1

EGRESS ACCESS - LEVEL 02	
CODE TRAVEL NAME	CODE DISTANCES
LEVEL 2, COMMON PATH A	46'-3"
LEVEL 2, COMMON PATH B	37'-3"
LEVEL 2, COMMON PATH C	56'-6"
LEVEL 2, ROUTE A	46'-10"
LEVEL 2, ROUTE B	140'-7"
LEVEL 2, ROUTE C	149'-5"
LEVEL 2, ROUTE D	165'-7"

**BUILDING CODE DATA**

**JURISDICTION**  
CITY OF DENVER BUILDING DEPARTMENT  
CITY OF DENVER FIRE DEPARTMENT

**CODES IN EFFECT**  
DENVER AMENDMENTS, 2022 (IBC, IFCA, IMCA, IPCA, ETC.)  
DENVER BUILDING AND FIRE CODE, 2022 EDITION  
DENVER POLICY - "BUSINESS OFFICE OCCUPANT LOAD DETERMINATION ALTERNATIVE" 4/1/2020  
INTERNATIONAL BUILDING CODE, 2021 EDITION  
INTERNATIONAL EXISTING BUILDING CODE, 2021 EDITION  
INTERNATIONAL PLUMBING CODE, 2021 EDITION  
INTERNATIONAL MECHANICAL CODE, 2021 EDITION  
INTERNATIONAL FIRE CODE, 2021 EDITION  
INTERNATIONAL ENERGY CONSERVATION CODE, 2021 EDITION  
INTERNATIONAL FUEL GAS CODE, 2021 EDITION  
NATIONAL ELECTRIC CODE, 2023 EDITION  
ICC/ANSI A17.1 ACCESSIBILITY STANDARD, 2017

**BUILDING TYPE**  
CONSTRUCTION CLASSIFICATION TYPE II - A, FULLY SPRINKLERED

**CODE SUMMARY**

- BUILDING USE CLASSIFICATION (IBC CHAPTER 3)
  - PROJECT OCCUPANCY CLASSIFICATION (IBC 302) OFFICE GROUP B (IBC 302.1)
- BUILDING HEIGHT AND AREA (IBC CHAPTER 5)
  - BUILDING HEIGHT - 2 STORIES
  - LEVEL 2 FLOOR AREA: 6,879 USF
- TYPE OF CONSTRUCTION (IBC CHAPTER 6)
  - CONSTRUCTION CLASSIFICATION: TYPE I - B (IBC 503)
- FIRE PROTECTION SYSTEMS (IBC CHAPTER 9)
  - BUILDING IS FULLY SPRINKLERED.
- MEANS OF EGRESS (IBC CHAPTER 10)
  - OCCUPANT LOAD (IBC 1004) FOR PROJECT AREAS
 

NAME	OCC	AREA	RATIO	TOTAL
OFFICE	B	4,108 S.F.	100 SF/OCC	42 OCC
CONFERENCE	B	303 S.F.	100 SF/OCC	4 OCC
STORAGE	S-1	286 S.F.	300 SF/OCC	2 OCC
BREAK	B	387 S.F.	15 SF/OCC	24 OCC
PATIO	B	485 S.F.	15 SF/OCC	33 OCC
CONCENTRATED BUSINESS	B	1,313 S.F.	50 SF/OCC	35 OCC

**LEVEL 2 TOTAL**  
NOTE: DESIGN TEAM REVIEWED OCCUPANCY REQUIREMENTS OF 2022 DENVER AMENDMENTS 1004.5 RELATING TO 1:100 NSF VS. 1:150 GSF AND HAVE USED THE OCCUPANT LOAD FACTOR THAT RESULTS IN THE GREATEST OCCUPANT LOAD.

PER 2020 BUSINESS OFFICE OCCUPANT LOAD DETERMINATION ALTERNATIVE (POLICY 2, ITEM B), OPEN COLLABORATION SPACES ARE CALCULATED AT PRIMARY BUSINESS FUNCTION OLF.  
 • NET FLOOR AREA = 6,879 SF  
 • LESS ASSEMBLY AREA: 671 SF  
 • 7% OF NET FLOOR AREA: 6,008 SF / 0.07 = 420 SF  
 • CONFERENCE ROOM 217 = 303 SF

- EXISTING EGRESS WIDTH PROVIDED (INCHES) PER OCCUPANT SERVED  
STAIRWAYS - 0.3  
OTHER EGRESS COMPONENTS - 0.2
- ACCESSIBLE MEANS OF EGRESS (IBC 1007.1, EXCEPTION 1)  
NOT REQUIRED IN ALTERATIONS TO EXISTING BUILDINGS
- MAXIMUM TRAVEL DISTANCE = 300 FT. (IBC TABLE 1017.2)
- COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100'-0" (IBC 1006.2.1)
- CORRIDOR FIRE RESISTANCE RATING (IBC TABLE 1020.1)  
0 HOURS (WITH SPRINKLER SYSTEM)
- MINIMUM CORRIDOR WIDTH = 44" (IBC 1020.4)
- DEAD END CORRIDORS (IBC 1020.4)  
50 FT. MAXIMUM (IBC 1020.4) FOR BUSINESS OCCUPANCY (EXCEPTION 2)  
20 FT. MAXIMUM FOR ASSEMBLY OCCUPANCY
- MINIMUM NUMBER OF EXITS (IBC TABLE 1021.2)  
2 EXITS

6.0 STAIR WIDTH PROVIDED (INCHES) PER OCCUPANT SERVED

LEVEL	#OCC	# EXITS	MIN. WIDTH	PROVIDED WIDTH
2	140	2	140 X .3 = 42.0"	46"

7.0 EGRESS WIDTH PROVIDED (INCHES) PER OCCUPANT SERVED

LEVEL	#OCC	# EXITS	MIN. WIDTH	PROVIDED WIDTH
2	140	2	140 X .2 = 28.0"	34.5"

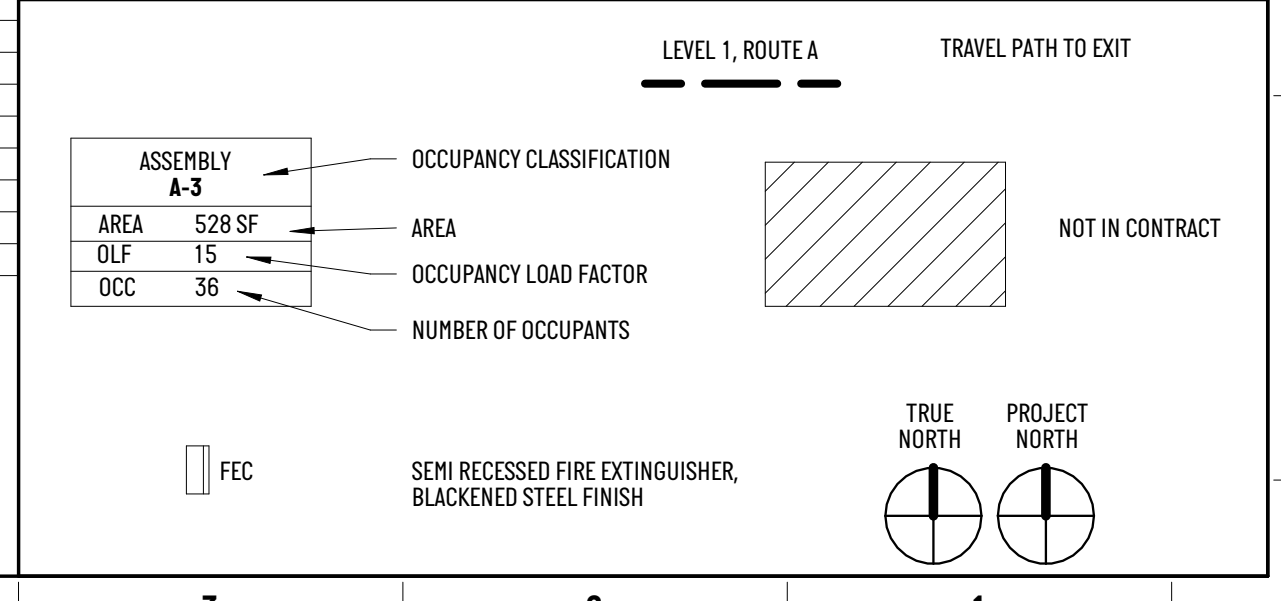
- 8.0 ACCESSIBILITY (IBC CHAPTER 11)
- ACCESSIBILITY STANDARDS IN AREA OF NEW CONSTRUCTION TO BE PER IBC (TBL 1106.1) AND ANSI 117
  - EXISTING BASE BUILDING RESTROOMS TO REMAIN  
(1) NEW ADA RESTROOM PROVIDED

9.0 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (IBC CHAPTER 29 TABLE 2902.1)

A LEVEL	OCCUPANCY	WATER CLOSETS	LAVATORIES	DRINKING FTN.	SERVICE SINK		
		H	W				
2	B	2,4	2,4	1,75	1,75	2	1
	OCC./2 (M&W) EA. REQ. 70	3	3	2	2	2	1
	FLOOR PROVIDED:						

\*INCLUDES NEW ADA RESTROOM  
\*1 WATER DISPENSER AT BREAK ROOM SINK

**CODE LEGEND**



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ISSUANCE: DATE  
FOR PRICING: 2024.04.10

REVISION: DATE

PROJECT NUMBER: 2315.01

SHEET TITLE:  
**CODE ANALYSIS & LIFE SAFETY**

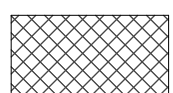
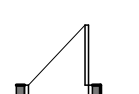

SHEET NUMBER:

**AC1.0.2**



**1 DEMOLITION PLAN - LEVEL 02**  
1/8" = 1'-0"

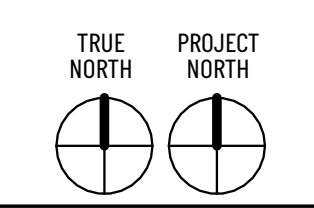
### DEMOLITION PLAN LEGEND

-  NOT IN CONTRACT
-  EXISTING CORE/SHELL CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED

- ### DEMOLITION PLAN NOTES
1. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS/HER BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT.
  2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING BEFORE STARTING ANY WORK.
  3. EXISTING WALLS, FLOORS, CEILINGS AND ALL EXPOSED SURFACES THAT HAVE BEEN DAMAGED OR DISTURBED BY DEMOLITION OR CONSTRUCTION WORK SHALL BE REPAIRED, REPLACED AND/OR RECONDITIONED SUCH THAT THEY CANNOT BE DISTINGUISHED FROM NEW OR ADJACENT EXISTING SURFACES AND FINISHES.
  4. REFER TO CONSTRUCTION PLAN FOR NEW LAYOUT DIMENSIONS TO DETERMINE EXTENT OF DEMOLITION. DEMOLITION SHALL BE PERFORMED TO THE MINIMUM EXTENT POSSIBLE TO ACHIEVE NEW LAYOUT REQUIREMENTS.
  5. ALL WALLS NOTED TO BE REMOVED SHALL BE FULLY REMOVED. CONSULT THE CONSTRUCTION PLAN TO CONFIRM EXTENT. NO PONY WALLS ABOVE THE CEILING TO REMAIN. RE-ATTACH/ RELOCATE ANY REQUIRED ITEMS TO REMAIN WHICH MAY HAVE BEEN ATTACHED TO WALL.
  6. SALVAGE SIDELITES, DOORS, FRAMES AND HARDWARE FOR REUSE OR OWNER STORAGE. VERIFY USE OF REMAINING ITEMS WITH OWNER AND TENANT.
  7. EXISTING ACOUSTICAL CEILING TILE, GRID, AND LIGHT FIXTURES ARE TO REMAIN U.N.O.
  8. SALVAGE AND PROTECT EXISTING WINDOW COVERINGS AT PERIMETER WINDOWS. ENSURE ALL BLINDS ARE IN WORKING ORDER WITH STRAIGHT SLATS AND OPERABLE WANDS/CORDS. REPAIR OR REPLACE AS REQUIRED.
  9. REMOVE ALL ELECTRICAL DEVICES WITHIN THE DEMOLISHED WALLS.
  10. ALL SIGNAGE TO BE REMOVED AND DISPOSED OF, NEW SIGNAGE TO BE PROVIDED AND INSTALLED BY GC.
  11. DEMOLISH ALL FLOOR FINISHES AND WALL BASE IN AREA OF WORK, U.N.O. PREP FOR NEW FINISH.
  12. GC SHALL REMOVE ANY EXISTING FIRE EXTINGUISHER CABINETS AND SALVAGE FOR REUSE.
  13. COORDINATE ALL STORAGE AND CONSTRUCTION LOGISTICS OF EXISTING OWNER EQUIPMENT AND FURNISHINGS WITH THE OWNER AND/OR RESPECTIVE VENDOR AS REQUIRED.
  14. FULLY REMOVE UTILITIES TO THE SOURCE AND PREP FOR NEW WORK AS REQUIRED.
  15. REMOVE ALL EXISTING ABANDONED PLUMBING AND ELECTRICAL ASSOCIATED WITH REMOVED MILLWORK, U.N.O.
  16. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR FURTHER DEMOLITION INFORMATION.
  17. REMOVE EXISTING WALLCOVERING AND PREPARE WALL FOR NEW FINISH, U.N.O.

### SHEET NOTES

VALUE	
D2	PREPARE COLUMN FOR NEW EXPOSED FINISH.
D3	DEMOLISH TO EXTENT NECESSARY FOR NEW DOOR OR SIDELITE (RE-CONSTRUCTION PLANS FOR FURTHER INFORMATION).
D4	SALVAGE SIDELITE FOR REUSE.
D5	EXISTING MILLWORK TO REMAIN.
D6	DEMOLISH ALL EXISTING MILLWORK.



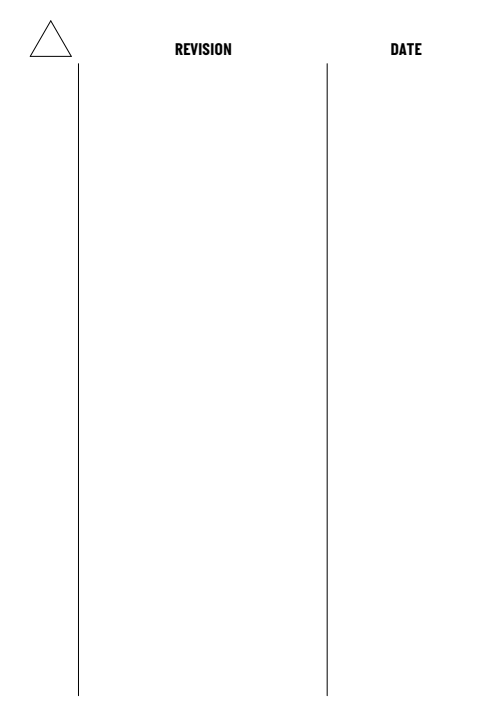
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ISSUANCE: FOR PRICING DATE: 2024.04.10



PROJECT NUMBER: 2315.01  
SHEET TITLE: DEMOLITION PLAN - LEVEL 02  
SHEET NUMBER:

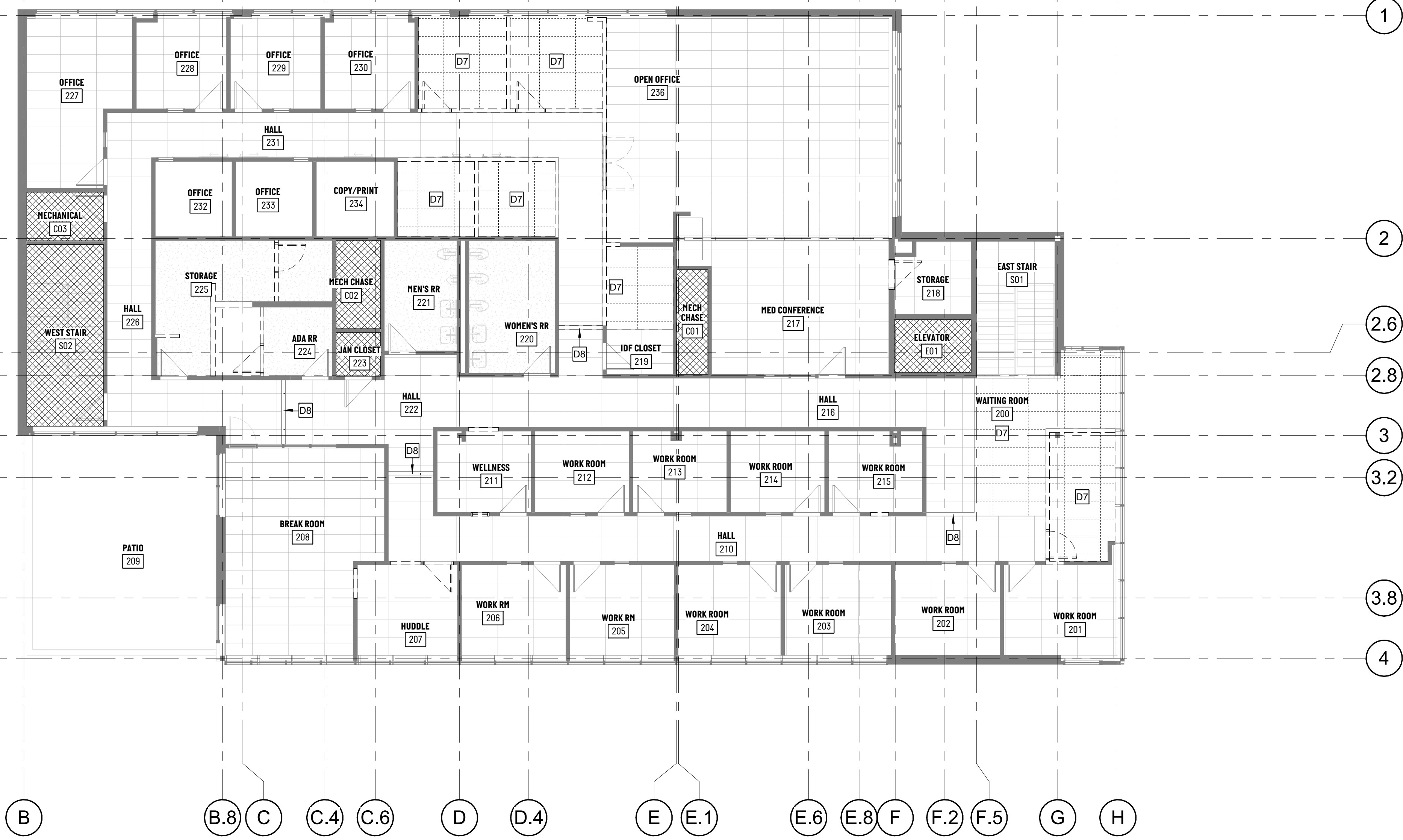
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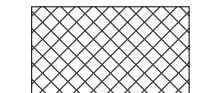
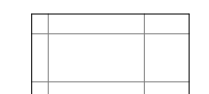
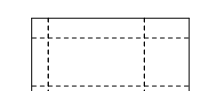

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A B (B.8) C (C.4) (C.6) D (D.4) E (E.1) (E.6) (E.8) F (F.2) (F.5) G H



**DEMO REFLECTED CEILING PLAN LEGEND**

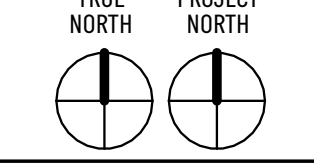
-  NOT IN CONTRACT
-  ACT - EXISTING TO REMAIN
-  ACT - TO BE DEMOLISHED
-  GB-1

**REFLECTED CEILING PLAN NOTES**

1. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
2. PATCH AND REPAIR EXISTING GYP CEILINGS AND ACT AS REQUIRED PER NEW CONSTRUCTION.
3. ALL CEILINGS TO BE 8'-8" A.F.F., U.N.O.
4. ALL GYPSUM BOARD CEILINGS TO BE PAINTED P-1 FLAT SHEEN, U.N.O.
5. ALL EXPOSED DUCTWORK, CONDUIT, EQUIPMENT, AND CEILINGS OPEN TO STRUCTURE ABOVE TO BE PAINTED P-1, U.N.O.
6. ALL CEILINGS TO BE ACT-1, U.N.O.
7. ALL ACOUSTICAL CEILING GRIDS TO BE CENTERED IN THE ROOM, U.N.O.
8. LIGHTS SHOWN ARE FOR REFERENCE ONLY. RE: ARCHITECTURAL LIGHTING AND ELECTRICAL DRAWINGS FOR SPECIFICATION INFORMATION, NEW LIGHTING LOCATIONS TO TAKE PRECEDENCE OVER ALL OTHER CEILING AND PLENUM MOUNTED ITEMS. GC TO COORDINATE ANY DISCREPANCIES OF ANY ITEMS WITH ARCHITECT PRIOR TO INSTALLATION.
9. LOCATE ALL LIGHT FIXTURES PER THE ARCHITECTURAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN A AND E DRAWINGS.
10. GC SHALL COORDINATE SPRINKLER HEAD PLACEMENT WITH MECHANICAL AND ELECTRICAL FIXTURES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
11. INSTALL SPRINKLER HEADS AND DOWNLIGHTS AT CENTER OF 2'X2' PORTION OF ACOUSTIC CEILING TILE. U.N.O. CONTRACTOR TO MARK ALL LIGHT FIXTURE LOCATIONS AND OBTAIN REVIEW FROM ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
12. SPRINKLER HEADS TO BE CONCEALED AT ALL FRONT OF HOUSE LOCATIONS. USE PAINTABLE CAULK AROUND TRIM OF RECESSED HEADS IN GYPSUM BOARD CEILINGS.
13. SPRINKLERS SHALL BE QUICK RESPONSE HEADS - RELIABLE #F1 FR, 656-56 / 65-42 OR APPROVED EQUIVALENT.
14. PROVIDE NEW ACOUSTICAL CEILING GRID, ACT-1. FOR ALL AREAS INDICATED ON PLAN, U.N.O. RE: SPECS, SECTION 095113, ACOUSTICAL PANEL CEILINGS.
15. PROVIDE CEILING MANUFACTURER'S STANDARD PROFILE WALL MOLDING AT ALL AREAS WHERE ACOUSTICAL CEILING SYSTEM ABUTS PARTITIONS, SOFFITS OR HEADERS.
16. ALL FIRE PROTECTION DEVICES TO BE LOCATED AND MOUNTING HEIGHT TO BE REVIEWED BY ARCHITECT
17. ALL FRONT OF HOUSE LIGHT FIXTURES TO BE CONNECTED TO DIMMING CONTROL PANEL UND. EC TO COORDINATE ALL LOW VOLTAGE WIRING REQUIRED FOR HFS'S DIMMING CONTROL PANEL.
18. REVIEW PLANS FOR SIGNAGE LOCATIONS REQUIRING POWER. SIGNAGE TO BE CONTROLLED BY A PROGRAMMABLE TIMECLOCK.
19. EC MUST CROSS REFERENCE ALL A, E AND FS SHEETS AND INCLUDE ANY ADDITIONAL SCOPE FROM EITHER SET OR REQUEST CLARIFICATION DURING THE BIDDING PHASE.
20. REFER TO ELECTRICAL DRAWINGS FOR LIGHT SWITCH LOCATIONS.
21. PAINT ALL REGISTERS, DIFFUSER, ACCESS PANELS TO MATCH ADJACENT CEILING FINISH, UNLESS OTHERWISE NOTED.
22. ALL DIMENSIONS TO CENTERLINE OF LIGHT FIXTURE, UNLESS NOTED OTHERWISE.
23. CENTER ACCESS PANELS BETWEEN LIGHTS, UNLESS DIMENSIONED OTHERWISE. VERIFY LOCATIONS OF ALL ACCESS PANELS W/ARCHITECT PRIOR TO INSTALL.
24. NO "NIGHT LIGHTING" OR FIXTURES TO BE ON AT ALL TIMES IN THE FRONT OF HOUSE DINING AREAS. ALL FRONT OF HOUSE LIGHT FIXTURES TO BE CONNECTED TO DIMMING CONTROL PANEL UND.
25. VERIFY LOCATIONS OF T-STATS, FIRE ALARM EQUIPMENT, ETC. W/ ARCHITECT PRIOR TO INSTALL.
26. PROVIDE EMERGENCY BALLASTS PER ELECTRICAL ENGINEERED PLANS.
27. FOR ALL LED TAPE LIGHTING EC SHALL PROVIDE ALL COMPONENTS NECESSARY FOR COMPLETE WORKING SYSTEM INCLUDING, BUT NOT LIMITED TO, POWER SUPPLIES, CONTROLLERS, CONNECTORS, MOUNTING CHANNEL, ETC. COORDINATE ALL LENGTHS IN FIELD PRIOR TO PURCHASE. LED TAPE LIGHTING TO CONNECT TO DIMMING CONTROL PANEL. REVIEW ALL DETAILS FOR MOUNTING LOCATION.
28. EC SHALL VERIFY FINISH COLOR OF LIGHT FIXTURE TRIM WITH ARCHITECT PRIOR TO PURCHASE THROUGH SUBMITTAL PROCESS.
29. EC SHALL VERIFY COLOR OF DEVICES AND DEVICE COVER PLATES FOR EACH LOCATION WITH ARCHITECT.
30. ALL MECHANICAL DIFFUSERS TO HAVE FACE MOUNTED DAMPERS NOTIFY ARCHITECT IF MECH DESIGN CONFLICTS.
31. ALL ACCESS PANELS TO BE TRIMLESS AND FINISHED FOR A CONCEALED APPEARANCE.
32. CONTRACTOR SHALL MARK ALL ACCESS PANEL LOCATIONS AND OBTAIN REVIEW FROM ARCHITECT AND BUILDING OWNER IN THE FIELD PRIOR TO INSTALLATION. ACCESS PANELS TO MATCH ADJ. WALL FINISH, RE: SPECS FOR FURTHER INFO.
33. G.C. TO PROVIDE SMOKE DETECTORS, ALARM SYSTEM, AND STROBES FOR LAYOUT TO MEET APPLICABLE LOCAL BUILDING AND FIRE CODES, AS WELL AS ADA GUIDELINES. G.C. TO SUBMIT STROBE LOCATIONS TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION
34. SOUNDMASKING SYSTEM TO BE PROVIDED BY OTHERS. G.C. TO COORDINATE INSTALLATION AND INTERFACE WITH VENDOR SUPPLIED COMPONENTS AS REQUIRED.

**SHEET NOTES**

VALUE	
D7	SALVAGE DEMOLISHED ACT TO GREATEST EXTENT POSSIBLE FOR REUSE.
D8	DEMOLISH, PATCH, AND REPAIR EXISTING CEILING GRID AND TILE TO ACCOMMODATE NEW PARTITIONS.



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ISSUANCE: FOR PRICING DATE: 2024.04.10

REVISION: DATE:

PROJECT NUMBER: 2315.01

SHEET TITLE: DEMO RCP - LEVEL 02

SHEET NUMBER:

**AD1.1.2**

**1 DEMO REFLECTED CEILING PLAN - LEVEL 02**

1/8" = 1'-0"

4/10/2024 1:34:15 PM

**1 CONSTRUCTION PLAN - LEVEL 02**  
1/8" = 1'-0"

### CONSTRUCTION PLAN LEGEND

### CONSTRUCTION PLAN NOTES

- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS/HER BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING BEFORE STARTING ANY WORK.
- EXISTING WALLS, FLOORS, CEILINGS AND ALL EXPOSED SURFACES THAT HAVE BEEN DAMAGED OR DISTURBED BY DEMOLITION OR CONSTRUCTION WORK SHALL BE REPAIRED, REPLACED AND/OR RECONDITIONED SUCH THAT THEY CANNOT BE DISTINGUISHED FROM NEW OR ADJACENT EXISTING SURFACES AND FINISHES.
- WATER RESISTANT GYP BOARD TO BE USED ON ALL WALLS AND CEILINGS IN WET AREAS. CEMENT BACKER BOARD TO BE USED WHERE WALL TILE IS APPLIED. RE: SPECS.
- PROVIDE NONCOMBUSTIBLE FIRE RETARDANT TREATED WOOD BLOCKING IN WALLS AS REQUIRED FOR WALL MOUNTED PANELS, EQUIPMENT, SHELVING, CABINETS, WALL STOPS, FURNITURE, SCREENS, ETC.
- TOUCH UP FIREPROOFING AT SUPPORT BEAMS/TRUSSES AS REQUIRED TO MEET FIRE PROOFING REQUIREMENTS.
- PROVIDE FIRE EXTINGUISHER CABINETS PER CODE. FIRE EXTINGUISHER CABINETS TO MATCH BUILDING STANDARD.
- CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS FOR NEW DOOR ASSEMBLIES.
- ALL ADHESIVE USED IN CONSTRUCTION OF NEW FACILITY TO BE NON-TOXIC AND ENVIRONMENTALLY SAFE.
- ALL WALLS FINISHED TO HEIGHT OF CEILING OR TOP OF CEILING COFFER, UNO.
- ALL NEW PARTITIONS SHALL BE TYPE S012, U.N.O.
- REFER TO ELEVATIONS AND SECTIONS FOR HEIGHTS OF WALL FINISHES AND WALL SUBSTRATE SPECIFIC TO FINISH.
- PREP WALL SURFACE AS REQUIRED TO RECEIVE NEW LEVEL 4 FINISH, U.N.O.
- ALL GLAZING SHALL BE 3/8" THICK TEMPERED CLEAR GLAZING, U.N.O.
- SUBMIT SHOP DRAWINGS FOR MILLWORK AND FINISH SAMPLES TO ARCHITECT FOR APPROVAL.
- ALL MDF AND/OR MILLWORK SUBSTRATE TO BE FORMALDEHYDE FREE.
- REPAIR FLOOR TO SMOOTH LEVEL SURFACE BEFORE INSTALLING NEW FLOORING, WALLS, AND MILLWORK. FLOAT FLOOR AS REQUIRED TO ELIMINATE ANY CHANGE IN FINISH ELEVATION BETWEEN ADJACENT MATERIALS.
- PROVIDE FLOOR LEVELING AS REQUIRED FOR NEW CONSTRUCTION THROUGHOUT.
- ALL DIMENSIONS SHOWN FROM FINISHED SURFACE.
- MOUNTING HEIGHTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING EQUIPMENT: ACCESSORIES, CONTROL DEVICES, ACCESS CONTROL DEVICES, DOOR HARDWARE, FIRE EXTINGUISHERS, SIGNAGE, ETC. SHALL COMPLY WITH THE LATEST EDITION OF ANSI 117 AND ICC ACCESSIBLE AND USABLE BUILDING AND FACILITIES.
- REFER TO DETAILS FOR TOP OF LOW WALL HEIGHTS. GC TO DETERMINE HEIGHT OF TOP METAL TRACK BASED ON MEANS AND METHODS OF MILLWORK/FINISH INSTALLATION.
- TYPICAL GYPSUM BASE JOINT COMPOUND AND TAPE ASSEMBLY ARE NOT ALLOWED AT CEMENT BOARD SEAMS; MUST BE CEMENT BASED.
- PROVIDE FR BLOCKING IN WALLS FOR ALL LIGHTING FIXTURES, ARTWORK AND SIGNAGE, AND REFERENCE INTERIOR ELEVATIONS FOR MILLWORK AND OWNER ART/SIGNAGE REQUIRING BLOCKING.
- PROVIDE DEFLECTION SLIP TRACK AT HEAD OF ALL PARTITIONS TO DECK. 1-1/2" DEFLECTION SPACE MINIMUM.
- PROVIDE ABOVE CEILING DIAGONAL BRACING TO DECK AS REQ'D AT ALL PARTITIONS.
- PROVIDE STUD GAGE AS RECOMMENDED BY MFR. FOR HEIGHT AND STUD SPACING. DO NOT MIX STUD GAGES ON SITE.
- FURRING WALLS AT COLUMN WRAPS ARE CRITICAL AND TO BE VERIFIED ON SITE. COORDINATE DISCREPANCIES WITH ARCHITECT. FURRING WALLS AT COLUMNS DIRECTLY CORRELATES WITH CEILING DESIGN. SEE RCPS AND CEILINGS DETAILS FOR MORE INFORMATION.
- PROVIDE COPPER WATER LINE TO ALL COFFEE MAKERS, WATER DISPENSERS, ICE MACHINES AND FULL SIZE REFRIGERATORS LOCATIONS. RE: PLUMBING DRAWINGS.
- THE CONTRACTOR SHALL PATCH ALL UNUSED ELECTRICAL AND DATA DEVICES AT PERIMETER AND CORE.
- THE CONTRACTOR BE RESPONSIBLE FOR DUST PARTITIONING AT BASE BUILDING FACILITIES THROUGHOUT CONSTRUCTION.
- PROVIDE FILM AT ALL GLASS SIDELIGHT LOCATIONS. RE: AF001 & SPECIFICATION.
- ROOM SIGNAGE N.I.C. TO BE PROVIDED BY VENDOR.
- GC TO PROVIDE ALLOWANCE FOR ALL INTERIOR ROOM SIGNAGE.
- GC TO PROVIDE CODE REQUIRED SIGNAGE AND MAXIMUM OCCUPANCY SIGNAGE AS REQUIRED.
- ALL PRINTERS/ SCANNERS/ COPIERS ARE PROVIDED BY OWNER, U.N.O.
- REFER TO AV VENDOR FOR SPECIFICATION OF AV EQUIPMENT AND LOCATION / MOUNTING INSTRUCTIONS.

SHEET NOTES	
VALUE	
C1	LOCATION OF WALL MOUNTED TV. PROVIDE PLYWOOD BLOCKING INSIDE OF WALL AS NECESSARY.
C2	NEW GLASS SIDELITE, MATCH EXISTING BUILDING STANDARD CONSTRUCTION. GC TO UTILIZE DEMOLISHED GLASS PANELS TO GREATEST EXTENT POSSIBLE IN NEW LAYOUT.
C3	WELD ON ADDITIONAL HANDRAIL ON TOP OF EXISTING CENTER HANDRAIL TO BRING INTO COMPLIANT HEIGHT RANGE. PAINT TO MATCH EXISTING.
C4	REPAIR OR REPLACE EXISTING THUMB TURN LOCK TO MAINTAIN FREE EGRESS FROM PATIO.
C5	EXISTING OPERABLE PARTITION TO REMAIN.



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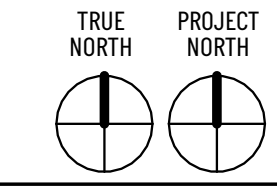
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**1 REFLECTED CEILING PLAN - LEVEL 02**  
1/8" = 1'-0"

### REFLECTED CEILING PLAN LEGEND

- NOT IN CONTRACT
- ACT - EXISTING TO REMAIN
- ACT-2
- GB-1

- ### REFLECTED CEILING PLAN NOTES
1. PRIOR TO STARTING WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
  2. PATCH AND REPAIR EXISTING GYP CEILINGS AND ACT AS REQUIRED PER NEW CONSTRUCTION.
  3. ALL CEILINGS TO BE 8'-6" A.F.F., U.N.O.
  4. ALL GYPSUM BOARD CEILINGS TO BE PAINTED P-1 FLAT SHEEN, U.N.O.
  5. ALL EXPOSED DUCTWORK, CONDUIT, EQUIPMENT, AND CEILINGS OPEN TO STRUCTURE ABOVE TO BE PAINTED P-1, U.N.O.
  6. ALL CEILINGS TO BE ACT-1, U.N.O.
  7. ALL ACOUSTICAL CEILING GRIDS TO BE CENTERED IN THE ROOM, U.N.O.
  8. LIGHTS SHOWN ARE FOR REFERENCE ONLY. RE: ARCHITECTURAL LIGHTING AND ELECTRICAL DRAWINGS FOR SPECIFICATION INFORMATION. NEW LIGHTING LOCATIONS TO TAKE PRECEDENCE OVER ALL OTHER CEILING AND PLENUM MOUNTED ITEMS. GC TO COORDINATE ANY DISCREPANCIES OF ANY ITEMS WITH ARCHITECT PRIOR TO INSTALLATION.
  9. LOCATE ALL LIGHT FIXTURES PER THE ARCHITECTURAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN A AND E DRAWINGS.
  10. GC SHALL COORDINATE SPRINKLER HEAD PLACEMENT WITH MECHANICAL AND ELECTRICAL FIXTURES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
  11. INSTALL SPRINKLER HEADS AND DOWNLIGHTS AT CENTER OF 2X2 PORTION OF ACOUSTIC CEILING TILE. U.N.O. CONTRACTOR TO MARK ALL LIGHT FIXTURE LOCATIONS AND OBTAIN REVIEW FROM ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
  12. SPRINKLER HEADS TO BE CONCEALED AT ALL FRONT OF HOUSE LOCATIONS. USE PAINTABLE CAULK AROUND TRIM OF RECESSED HEADS IN GYPSUM BOARD CEILINGS.
  13. SPRINKLERS SHALL BE QUICK RESPONSE HEADS - RELIABLE #1 FR, G56-56 / G5-42 OR APPROVED EQUIVALENT.
  14. PROVIDE NEW ACOUSTICAL CEILING GRID, ACT-1, FOR ALL AREAS INDICATED ON PLAN, U.N.O. RE: SPECS, SECTION 095113, ACOUSTICAL PANEL CEILINGS.
  15. PROVIDE CEILING MANUFACTURER'S STANDARD PROFILE WALL MOLDING AT ALL AREAS WHERE ACOUSTICAL CEILING SYSTEM ABUTS PARTITIONS, SOFFITS OR HEADERS.
  16. ALL FIRE PROTECTION DEVICES TO BE INSTALLED AND MOUNTING HEIGHT TO BE REVIEWED BY ARCHITECT
  17. ALL FRONT OF HOUSE LIGHT FIXTURES TO BE CONNECTED TO DIMMING CONTROL PANEL UNO. EC TO COORDINATE ALL LOW VOLTAGE WIRING REQUIRED FOR HFR'S DIMMING CONTROL PANEL.
  18. REVIEW PLANS FOR SIGNAGE LOCATIONS REQUIRING POWER. SIGNAGE TO BE CONTROLLED BY A PROGRAMMABLE TIMECLOCK.
  19. EC MUST CROSS REFERENCE ALL A, E AND FS SHEETS AND INCLUDE ANY ADDITIONAL SCOPE FROM EITHER SET OR REQUEST CLARIFICATION DURING THE BIDDING PHASE.
  20. REFER TO ELECTRICAL DRAWINGS FOR LIGHT SWITCH LOCATIONS.
  21. PAINT ALL REGISTERS, DIFFUSERS, ACCESS PANELS TO MATCH ADJACENT CEILING FINISH, UNLESS OTHERWISE NOTED.
  22. ALL DIMENSIONS TO CENTERLINE OF LIGHT FIXTURE, UNLESS NOTED OTHERWISE.
  23. CENTER ACCESS PANELS BETWEEN LIGHTS, UNLESS DIMENSIONED OTHERWISE. VERIFY LOCATIONS OF ALL ACCESS PANELS W/ARCHITECT PRIOR TO INSTALL.
  24. NO "NIGHT LIGHTING" OR FIXTURES TO BE ON AT ALL TIMES IN THE FRONT OF HOUSE DINING AREAS. ALL FRONT OF HOUSE LIGHT FIXTURES TO BE CONNECTED TO DIMMING CONTROL PANEL UNO.
  25. VERIFY LOCATIONS OF T-STATS, FIRE ALARM EQUIPMENT, ETC. W/ ARCHITECT PRIOR TO INSTALL.
  26. PROVIDE EMERGENCY BALLASTS PER ELECTRICAL ENGINEERED PLANS.
  27. FOR ALL LED TAPE LIGHTING EC SHALL PROVIDE ALL COMPONENTS NECESSARY FOR COMPLETE WORKING SYSTEM INCLUDING, BUT NOT LIMITED TO, POWER SUPPLIES, CONTROLLERS, CONNECTORS, MOUNTING CHANNEL, ETC. COORDINATE ALL LENGTHS IN FIELD PRIOR TO PURCHASE. LED TAPE LIGHTING TO CONNECT TO DIMMING CONTROL PANEL. REVIEW ALL DETAILS FOR MOUNTING LOCATION.
  28. EC SHALL VERIFY FINISH COLOR OF LIGHT FIXTURE TRIM WITH ARCHITECT PRIOR TO PURCHASE THROUGH SUBMITTAL PROCESS.
  29. EC SHALL VERIFY COLOR OF DEVICES AND DEVICE COVER PLATES FOR EACH LOCATION WITH ARCHITECT.
  30. ALL MECHANICAL DIFFUSERS TO HAVE FACE MOUNTED DAMPERS NOTIFY ARCHITECT IF MECH DESIGN CONFLICTS.
  31. ALL ACCESS PANELS TO BE TRIMLESS AND FINISHED FOR A CONCEALED APPEARANCE.
  32. CONTRACTOR SHALL MARK ALL ACCESS PANEL LOCATIONS AND OBTAIN REVIEW FROM ARCHITECT AND BUILDING OWNER IN THE FIELD PRIOR TO INSTALLATION. ACCESS PANELS TO MATCH ADJ. WALL FINISH, RE: SPECS FOR FURTHER INFO.
  33. G.C. TO PROVIDE SMOKE DETECTORS, ALARM SYSTEM AND STROBES FOR LAYOUT TO MEET APPLICABLE LOCAL BUILDING AND FIRE CODES, AS WELL AS ADA GUIDELINES. G.C. TO SUBMIT STROBE LOCATIONS TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION
  34. SOUND/MASKING SYSTEM TO BE PROVIDED BY OTHERS. G.C. TO COORDINATE INSTALLATION AND INTERFACE WITH VENDOR SUPPLIED COMPONENTS AS REQUIRED.

### SHEET NOTES

VALUE	
R1	INSTALL SALVAGED ACT TO GREATEST EXTENT POSSIBLE AND ALIGN WITH EXISTING GRID.
R2	CEILING CONDITION TO BE PAINTED PT-1
R3	CEILING CONDITION TO BE APPLIED WITH WC-1, WRAP ALL CORNERS.

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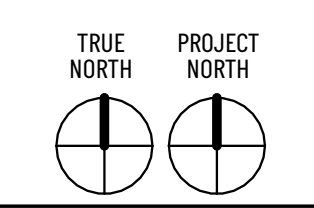
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**1 FINISH PLAN - LEVEL 02**  
1/8" = 1'-0"

**FINISH PLAN LEGEND**

- NOT IN CONTRACT
- LVT-1
- CPT-1
- T-1
- WALL & BASE FINISH TAG

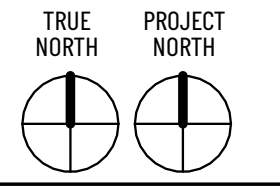
NOTE: REFER TO FINISH SCHEDULES FOR ADDITIONAL FINISH INFORMATION

**FINISH PLAN NOTES**

1. REFERENCE SPECIFICATIONS AND SCHEDULES SHEETS AND LEGENDS FOR ALL OTHER MATERIALS.
2. ALL INTERIOR PARTITIONS AND COLUMNS TO BE P-1, U.N.O.
3. RUBBER BASE B-1 TO BE USED THROUGHOUT, U.N.O.
4. ALL PARTITIONS IN WET AREAS SHALL BE PAINTED WITH A SEMI-GLOSS FINISH.
5. ALL ACCESS PANELS SHALL BE PAINTED WITH ELECTROSTATIC PAINT TO MATCH ADJACENT FINISH.
6. PATCH/REPAIR ALL DAMAGED EXISTING FINISHES.
7. GENERAL CONTRACTOR TO PREPARE FLOOR AND INSTALL ADHESIVES, FLOORING MATERIALS AND BASE.
8. REFER TO REFLECTED CEILING PLANS FOR EXTENT OF DRYWALL CEILING TO BE PAINTED.
9. SCHEDULED FLOOR FINISH SHALL CONTINUE UNDER CASEWORK WITH ATTACHED TOE KICKS, EQUIPMENT, AND FREESTANDING FURNITURE.
10. FLOOR FINISHES TO BE COORDINATED WITH BUILT-IN CASEWORK. CASEWORK IS DESIGNATED IN PLANS BY HALF-TONE DASHED LINES. SEE THE CONSTRUCTION PLAN FOR CASEWORK INFORMATION.
11. ALL FLOORING TRANSITIONS TO OCCUR AT CENTERLINE OF DOORWAYS, U.N.O.
12. WALL TEXTURE TO BE LEVEL 4 WALL FINISH, U.N.O. CEILING TO BE LEVEL 4 FINISH, U.N.O.
13. ALL INTERIOR WALL AND CEILING FINISHES IN MAIN SPACES TO HAVE CLASS AC INTERIOR FINISH CLASS (TABLE 803.1.1)
14. ALL INTERIOR WALL AND CEILING FINISHES IN EXIT STAIRWAYS AND ELEVATOR LOBBY TO HAVE CLASS B INTERIOR FINISH CLASS (TABLE 803.1.1)
15. REFER TO ELEVATIONS, DETAILS AND FINISH PLANS FOR ALL FINISH DESIGNATIONS.
16. ALL EXISTING DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL FINISH IN A SEMI-GLOSS FINISH, U.N.O.
17. TERMINATE PAINT AT EDGE OF GLASS WHERE APPLICABLE.
18. BUILDING STANDARD MECHSHADES TO BE INSTALLED AT ALL WINDOWS WHERE THEY DO NOT CURRENTLY EXIST.
19. ELEVATOR DOORS AND FRAMES TO BE PAINTED WITH A SCUFFMASTER PAINT, P-S.
20. PROVIDE FINISH MATERIAL SAMPLES FOR APPROVAL BY ARCHITECT.
21. ALL WALL TILES TO HAVE TILE BACKER BOARD, GLASS FACED OR CEMENT BOARD.
22. PROVIDE CRACK ISOLATION MEMBRANE BELOW ALL TILED FLOORS.
23. ENSURE ALL FINISH MATERIAL CHANGES ARE CAULKED AND SEALED.
24. REPAIR FLOOR TO SMOOTH LEVEL SURFACE BEFORE INSTALLING NEW FLOORING AND MILLWORK. FLOAT FLOOR AS REQUIRED TO ELIMINATE ANY CHANGE IN FINISH ELEVATION BETWEEN ADJACENT MATERIALS.
25. ENSURE TOP OF FINISHED FLOOR IS LEVEL WITH ADJACENT FLOOR ASSEMBLY. GRC TO NOTIFY ARCHITECT IF FLOOR FINISHES CANNOT BE LEVEL TO EACH OTHER AT TRANSITION.
26. PROVIDE FLOOR LEVELING AS REQUIRED FOR NEW CONSTRUCTION THROUGHOUT. SKIM COAT AND FLOORSTONE FLOORS PRIOR TO STAINING CONCRETE.
27. ASSUME SOME FLOOR LEVELING REQUIRED FOR NEW FLOORING FINISH.
28. FURNISH AND INSTALL SCHLUTER SCHIENE TRANSITION STRIP AT ALL FLOORING MATERIAL CHANGES. PROVIDE ALLOWANCE FOR TOP TIER METAL FINISH. ARCHITECT TO SPECIFY FINISH FOR EACH TRANSITION.
29. ENSURE ELECTRICAL DEVICES ARE FULLY COORDINATED WITH WALL COLOR. ENSURE TO ISSUE A DEVICE AND COVER PLATE SUBMITTAL TO ARCHITECT PRIOR TO PURCHASING.
30. DURING TILE INSTALLATIONS, A TILE LESS THAN A 3/4" SLIVER IS NOT ACCEPTABLE. DISCUSS REVISED LAYOUT WITH ARCHITECT SHOULD THIS BE AN ISSUE.
31. ALL GFI OUTLETS TO BE INTEGRAL TO THE CIRCUIT BREAKER.
32. ALL S OUTLETS TO BE ON A DEDICATED CIRCUIT, UNO BY ELEC. ENGINEER.
33. MOUNT ALL OUTLETS IN LOW WALLS ABOVE A COUNTER HORIZONTAL, INC. CUSTOMER SIDE OF BAR DIE WALL.
34. ALL WOOD paneled walls to have 1/2" FRP PLYWOOD SUBSTRATE UNO.
35. EXISTING CALL LAMTURNS DEVICES CAN BE REMOVED BY CONTRACT WITH OTIS ELEVATOR COMPANY, AND OPENING CAN BE COVERED WITH NEW FINISHES. RE ELEVATION FOR EXTENT OF ELEVATOR LOBBY FINISHES.
36. CONTRACTOR TO VERIFY ALL DIMENSIONS IN PLAN AND TO COORDINATE DISCREPANCIES WITH ARCHITECT.

**SHEET NOTES**

VALUE	
F1	CUSTOM GRAPHIC WALL COVERING TO COVER ENTIRE WALL FROM LEVEL 1 FLOOR TO LEVEL 2 CEILING. COORDINATE DESIGN WITH INTERIOR ARCHITECT.
F2	FINAL PAINT COLOR SELECTION TO BE DETERMINED BY FINAL FURNITURE SELECTIONS. COORDINATE WITH INTERIOR ARCHITECT.
F3	PREP AND PAINT ALL EXISTING COLLAPSIBLE PARTITION PANELS PT-2.
F4	WRAP EXISTING ELEVATOR CAB PANELS WITH DI-NDC & NEW CPT-1 ON FLOOR OF ELEV CAB.
F5	REPLACE STAIR CARPET WITH NEW BROADLOOM CARPET, ASSUME \$28/SQ YD MATERIAL COST ONLY.



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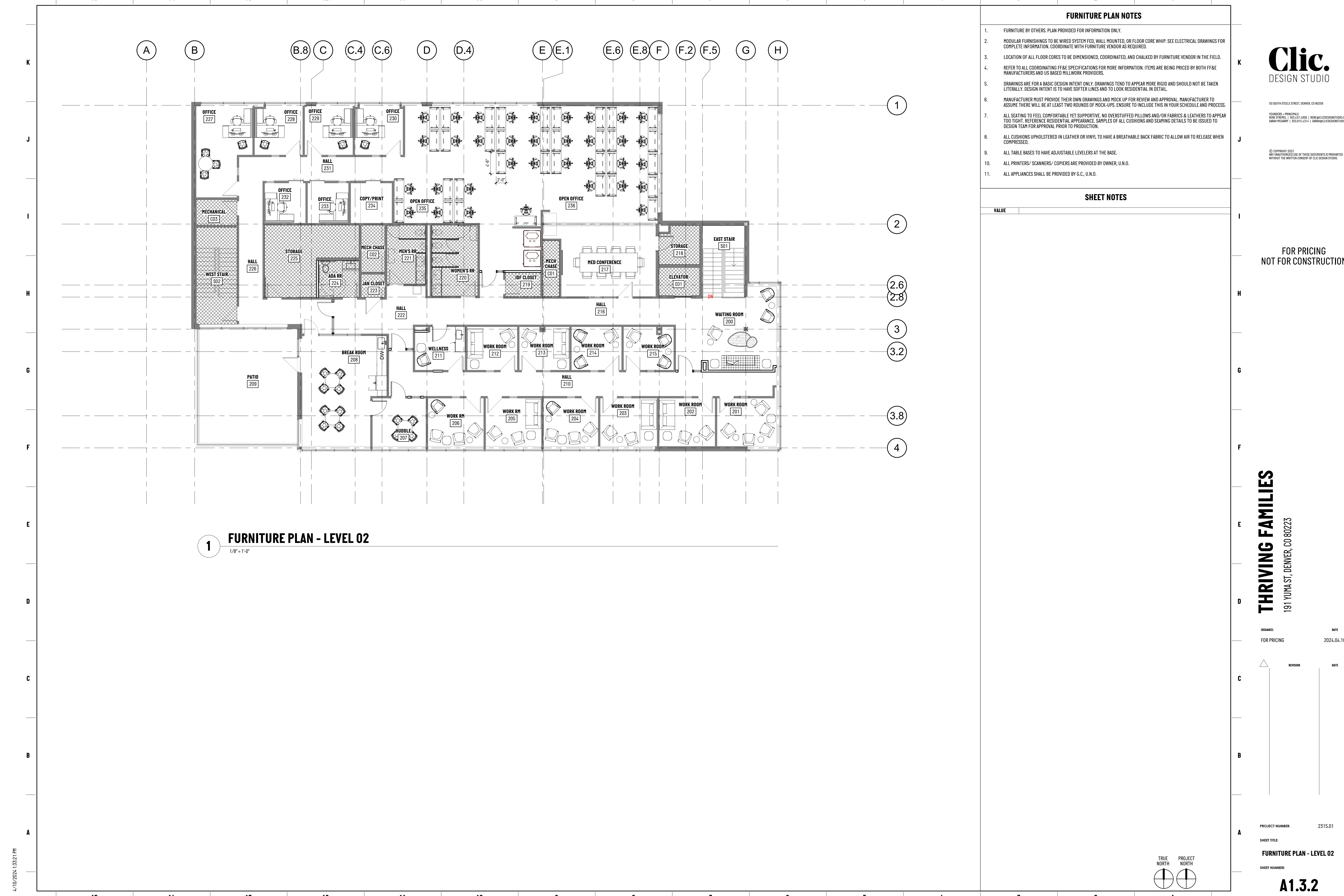
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SHEET NUMBER:

**A1.2.2**

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**1 FURNITURE PLAN - LEVEL 02**  
1/8" = 1'-0"

**FURNITURE PLAN NOTES**

1. FURNITURE BY OTHERS. PLAN PROVIDED FOR INFORMATION ONLY.
2. MODULAR FURNISHINGS TO BE WIRED SYSTEM FED, WALL MOUNTED, OR FLOOR CORE WHIP. SEE ELECTRICAL DRAWINGS FOR COMPLETE INFORMATION. COORDINATE WITH FURNITURE VENDOR AS REQUIRED.
3. LOCATION OF ALL FLOOR CORES TO BE DIMENSIONED, COORDINATED, AND CHALKED BY FURNITURE VENDOR IN THE FIELD.
4. REFER TO ALL COORDINATING FF&E SPECIFICATIONS FOR MORE INFORMATION. ITEMS ARE BEING PRICED BY BOTH FF&E MANUFACTURERS AND US BASED MILLWORK PROVIDERS.
5. DRAWINGS ARE FOR A BASIC DESIGN INTENT ONLY. DRAWINGS TEND TO APPEAR MORE RIGID AND SHOULD NOT BE TAKEN LITERALLY. DESIGN INTENT IS TO HAVE SOFTER LINES AND TO LOOK RESIDENTIAL IN DETAIL.
6. MANUFACTURER MUST PROVIDE THEIR OWN DRAWINGS AND MOCK UP FOR REVIEW AND APPROVAL. MANUFACTURER TO ASSUME THERE WILL BE AT LEAST TWO ROUNDS OF MOCK-UPS. ENSURE TO INCLUDE THIS IN YOUR SCHEDULE AND PROCESS.
7. ALL SEATING TO FEEL COMFORTABLE YET SUPPORTIVE. NO OVERSTUFFED PILLOWS AND/OR FABRICS & LEATHERS TO APPEAR TOO TIGHT. REFERENCE RESIDENTIAL APPEARANCE. SAMPLES OF ALL CUSHIONS AND SEAMING DETAILS TO BE ISSUED TO DESIGN TEAM FOR APPROVAL PRIOR TO PRODUCTION.
8. ALL CUSHIONS UPHOLSTERED IN LEATHER OR VINYL TO HAVE A BREATHABLE BACK FABRIC TO ALLOW AIR TO RELEASE WHEN COMPRESSED.
9. ALL TABLE BASES TO HAVE ADJUSTABLE LEVELERS AT THE BASE.
10. ALL PRINTERS/ SCANNERS/ COPIERS ARE PROVIDED BY OWNER, U.N.O.
11. ALL APPLIANCES SHALL BE PROVIDED BY G.C., U.N.O.

**SHEET NOTES**

VALUE



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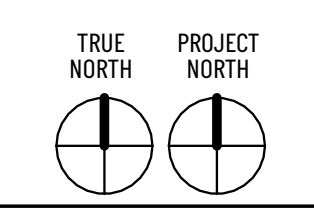
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INTERIOR ELEVATION NOTES

- 1. GENERAL NOTE
- 2. GENERAL NOTE



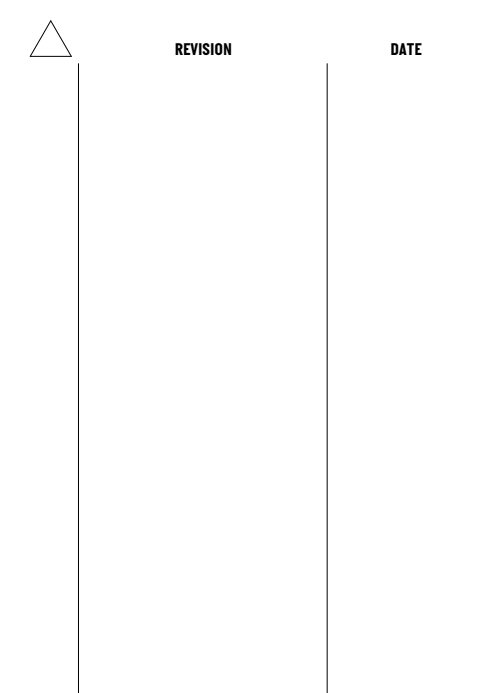
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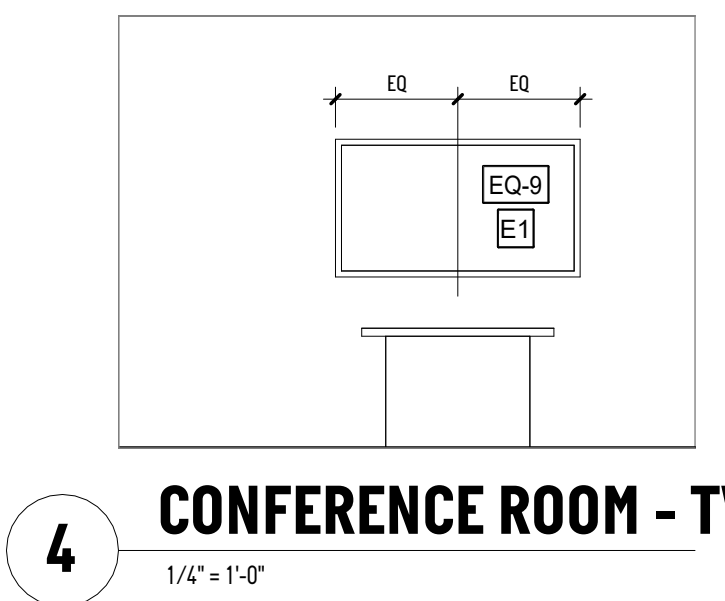
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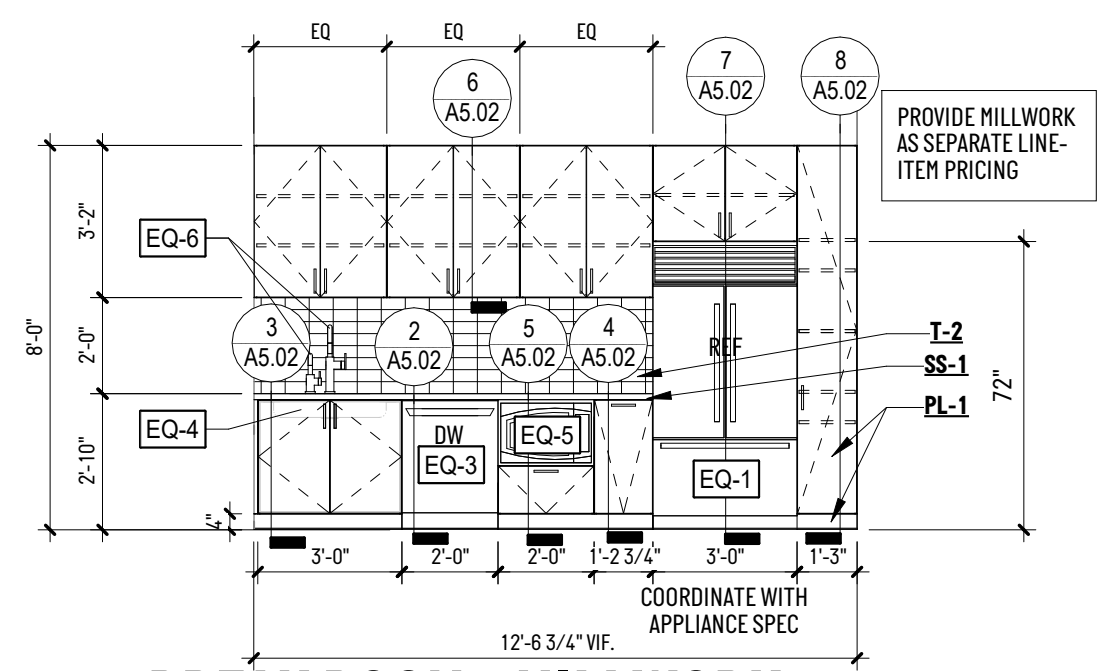
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 SHEET NUMBER:

A2.0.2

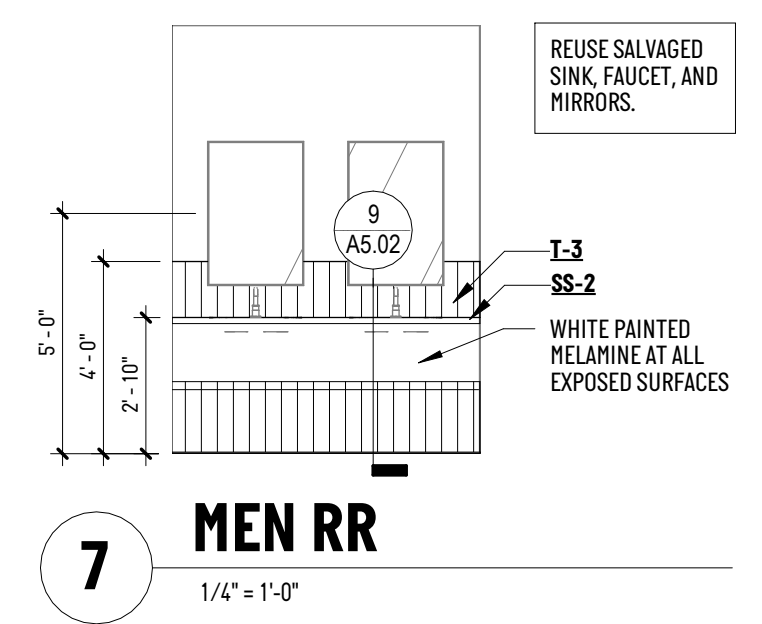
K  
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B  
A



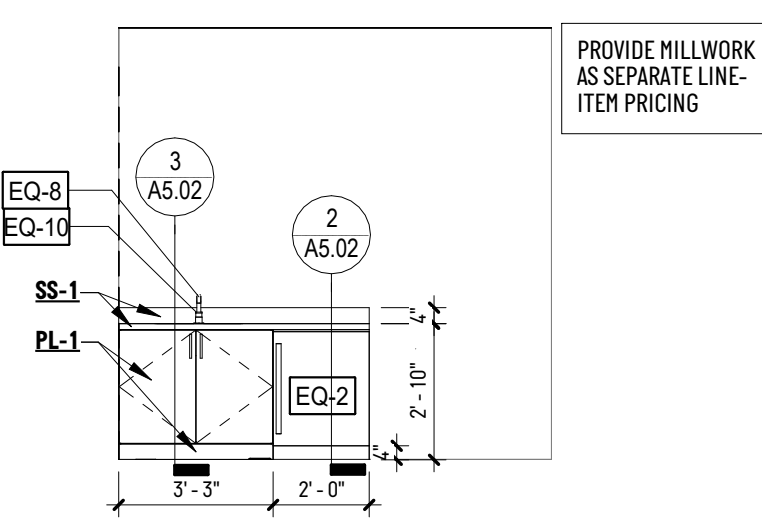
**4 CONFERENCE ROOM - TV**  
 1/4" = 1'-0"



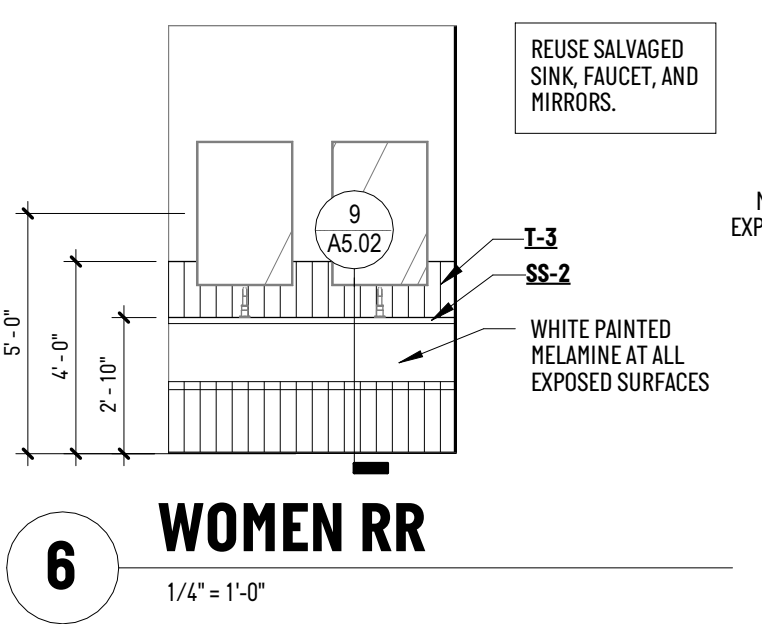
**3 BREAK ROOM - MILLWORK**  
 1/4" = 1'-0"



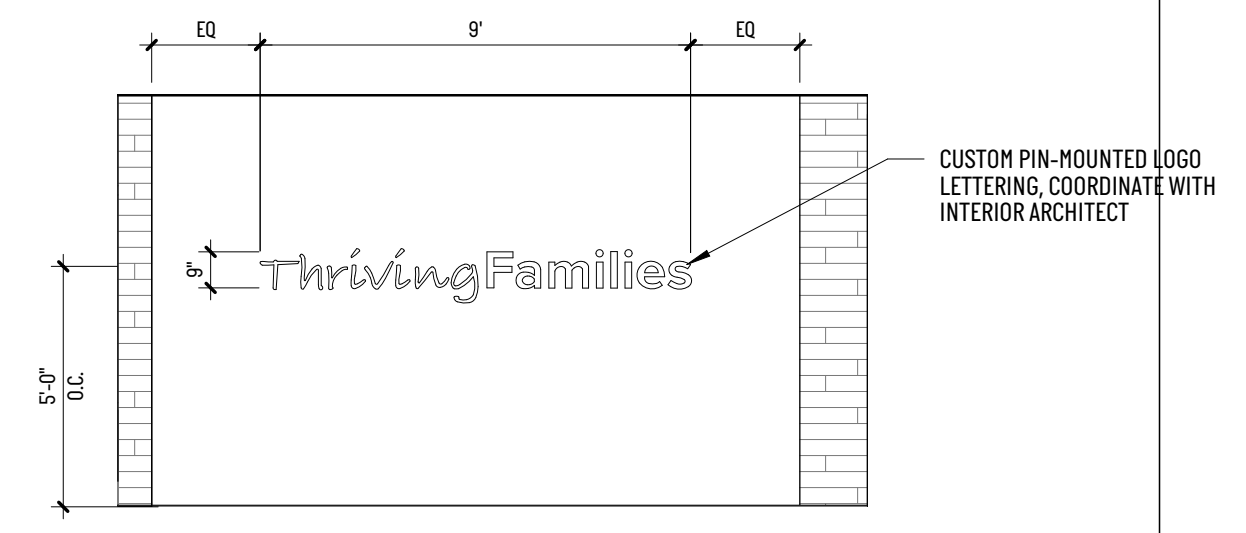
**7 MEN RR**  
 1/4" = 1'-0"



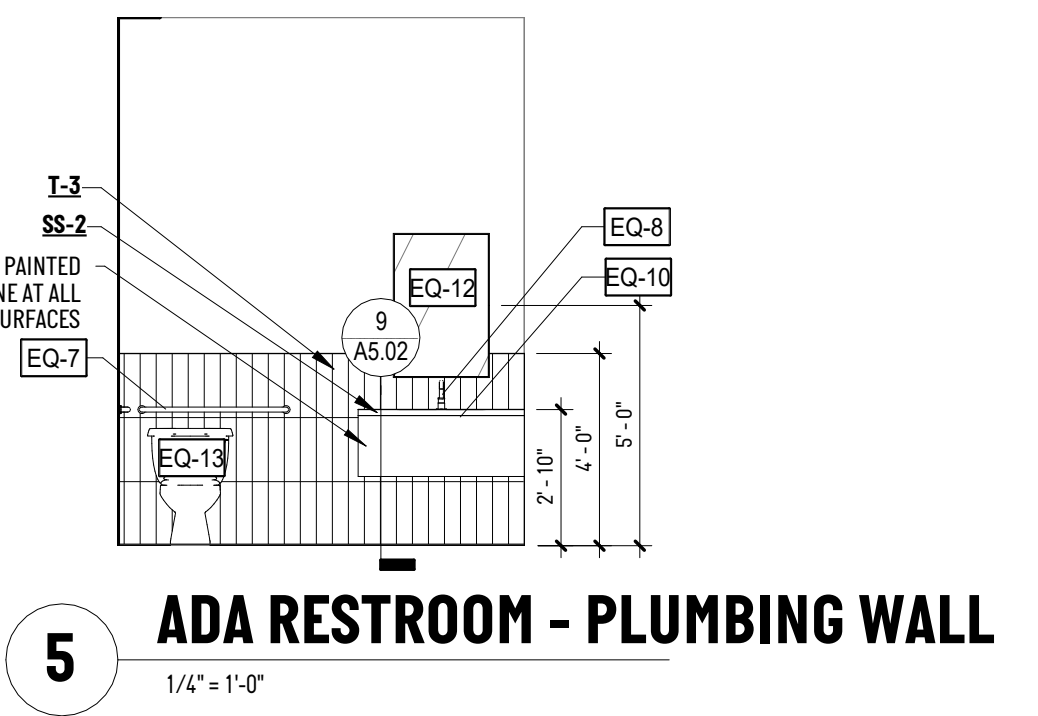
**2 WELLNESS - LEVEL 02**  
 1/4" = 1'-0"



**6 WOMEN RR**  
 1/4" = 1'-0"

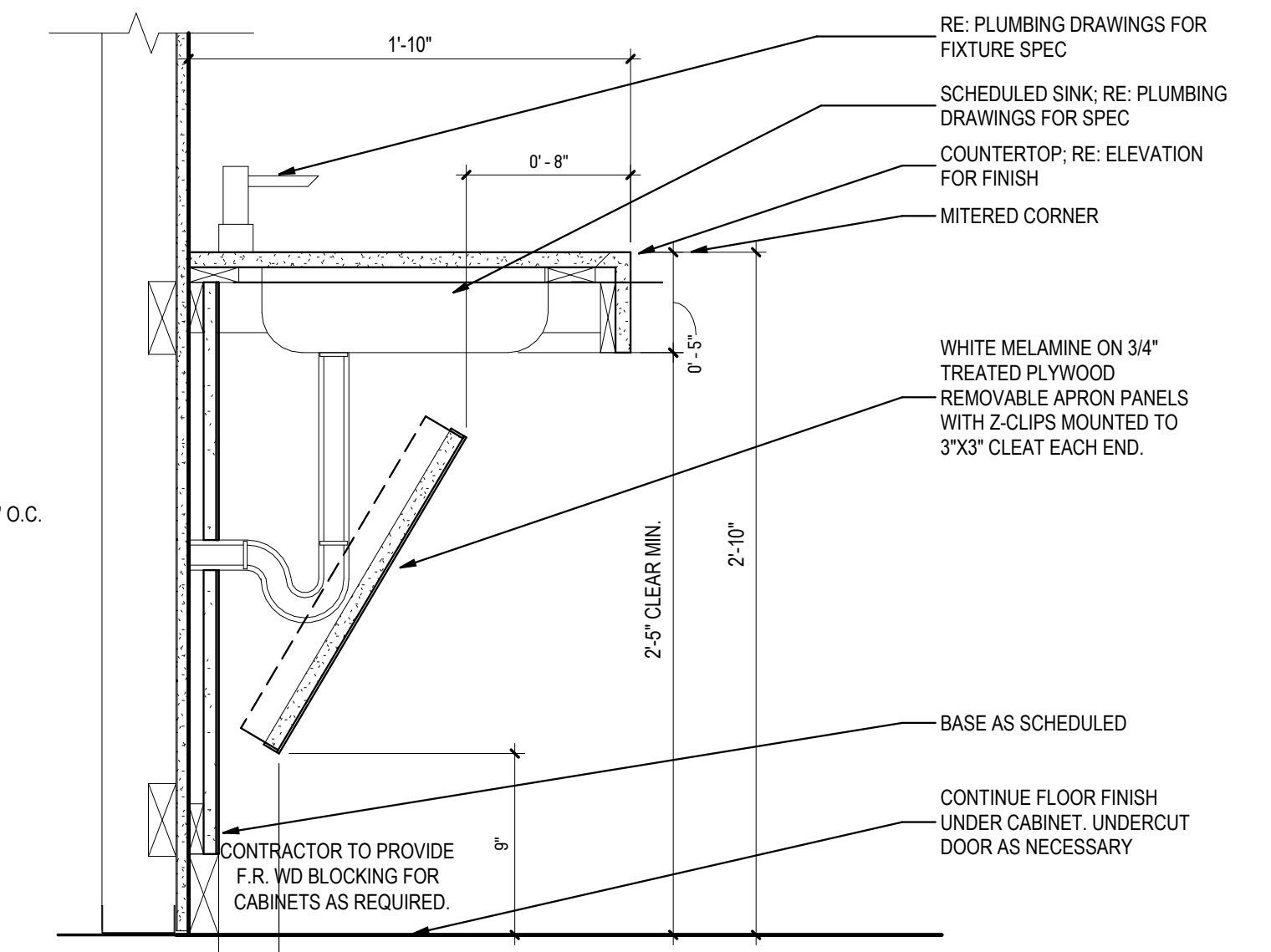


**1 LEVEL 02 - SIGNAGE**  
 1/4" = 1'-0"

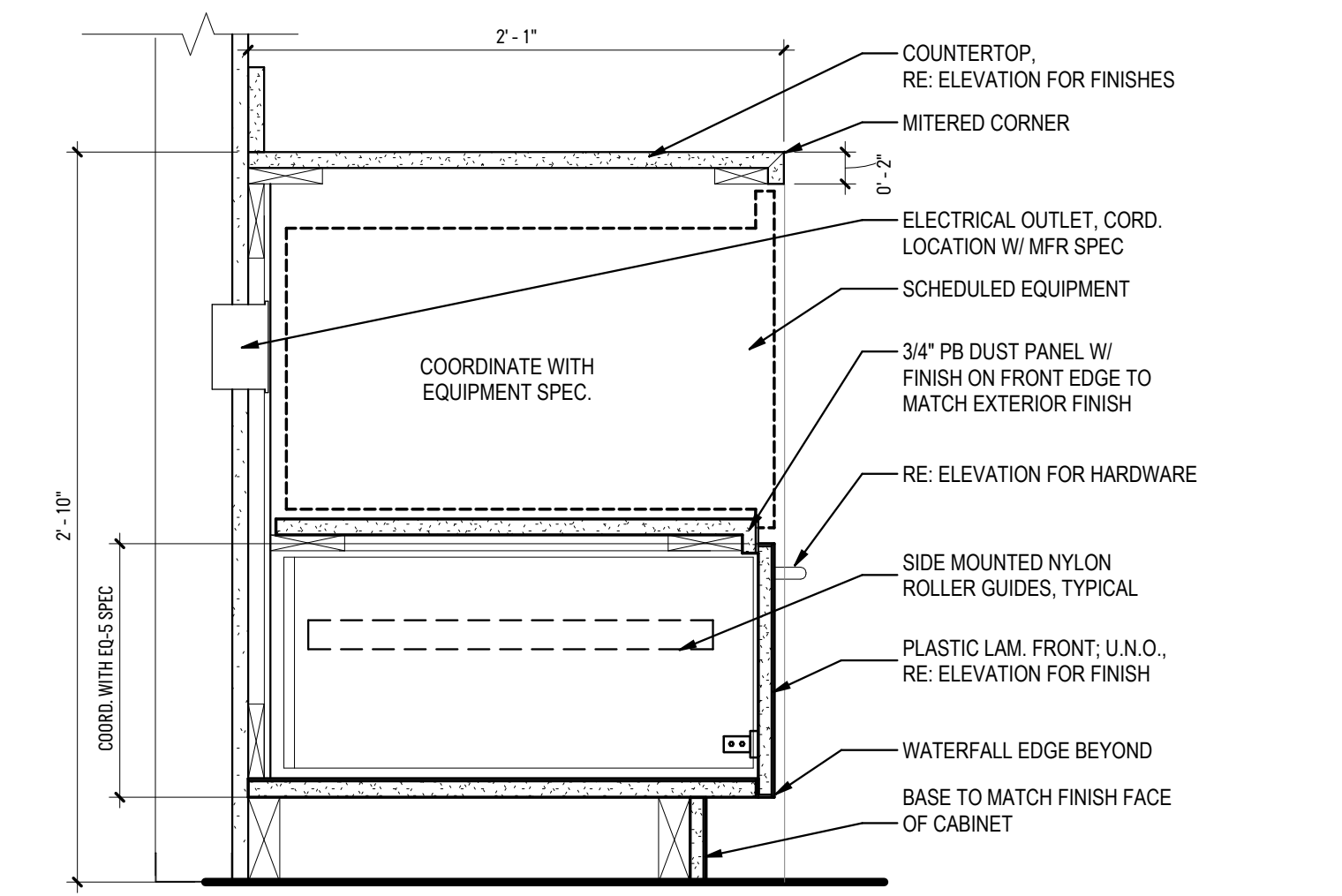


**5 ADA RESTROOM - PLUMBING WALL**  
 1/4" = 1'-0"

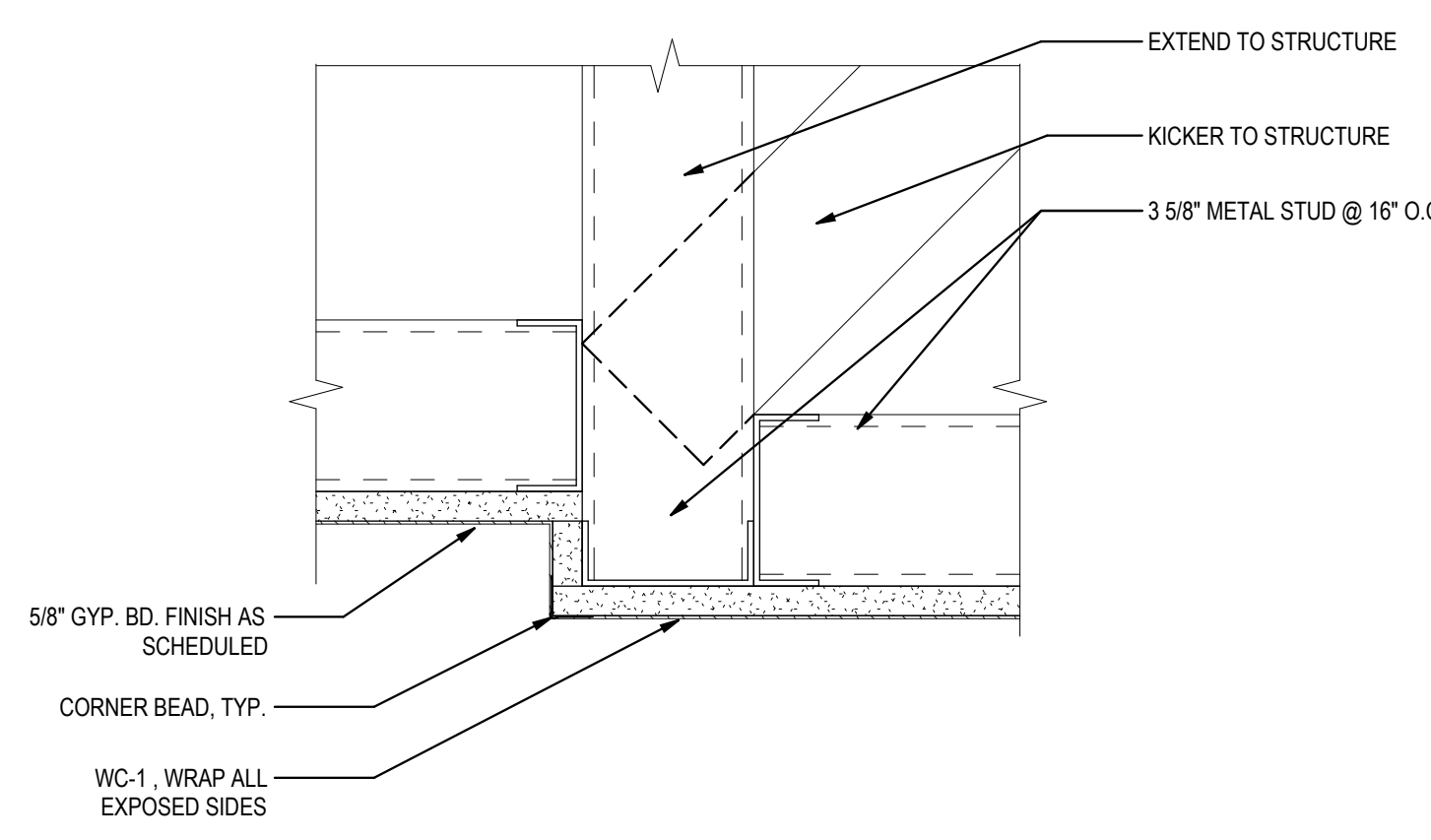
4/10/2024 1:33:24 PM



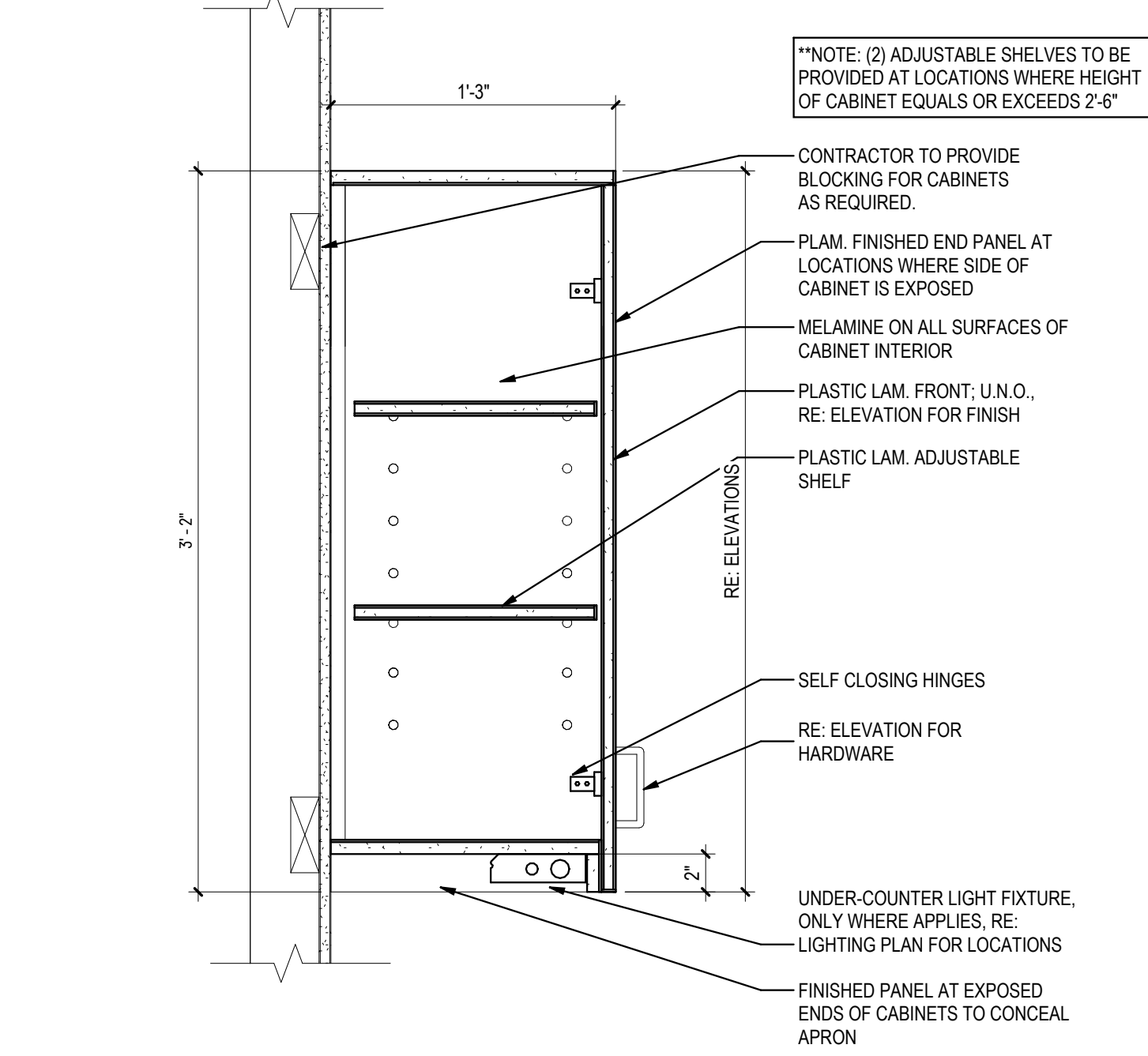
**9 ADA COMPLIANT LAVATORY**  
1 1/2" = 1'-0"



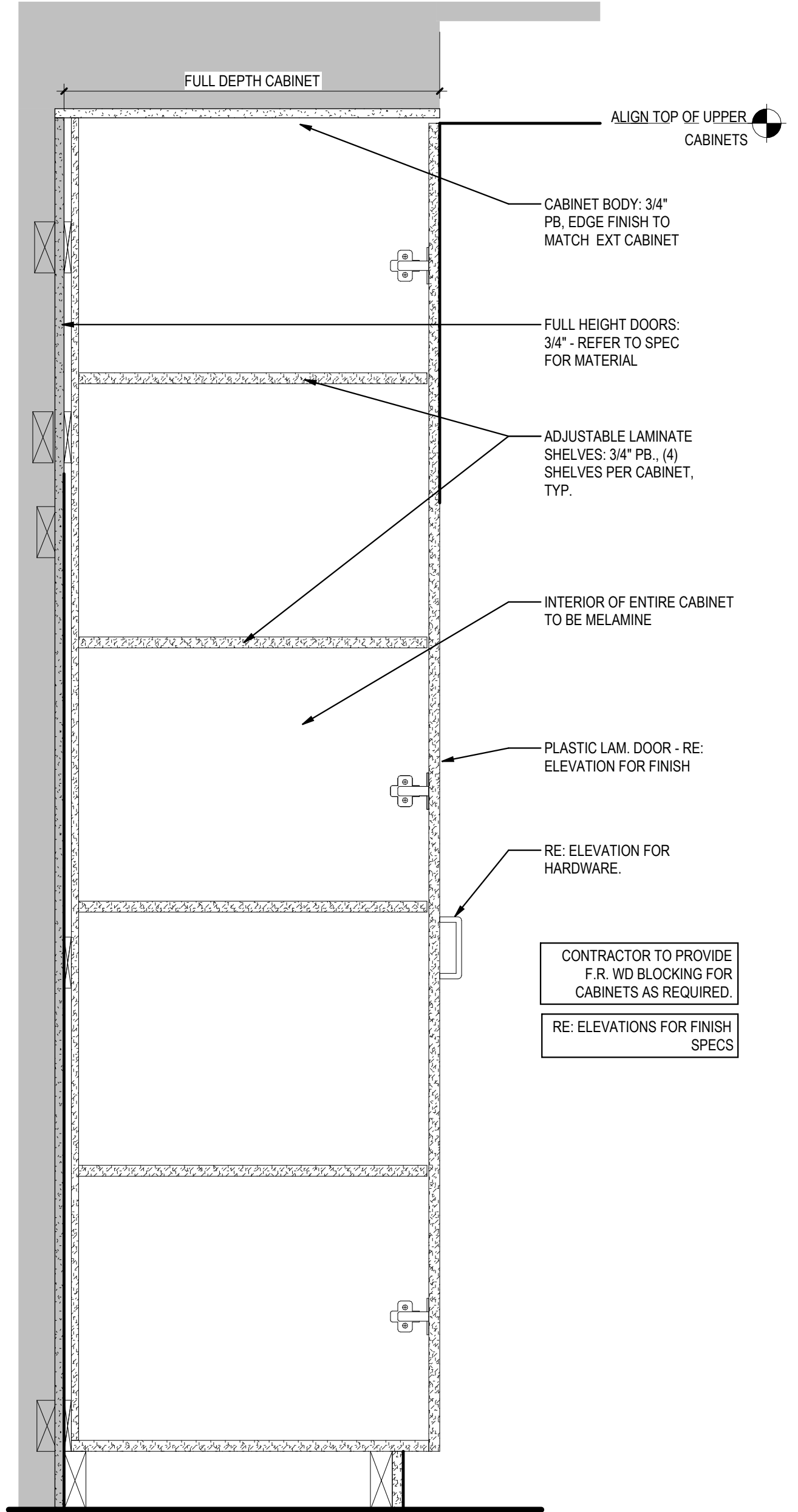
**5 MICROWAVE DRAWER**  
1 1/2" = 1'-0"



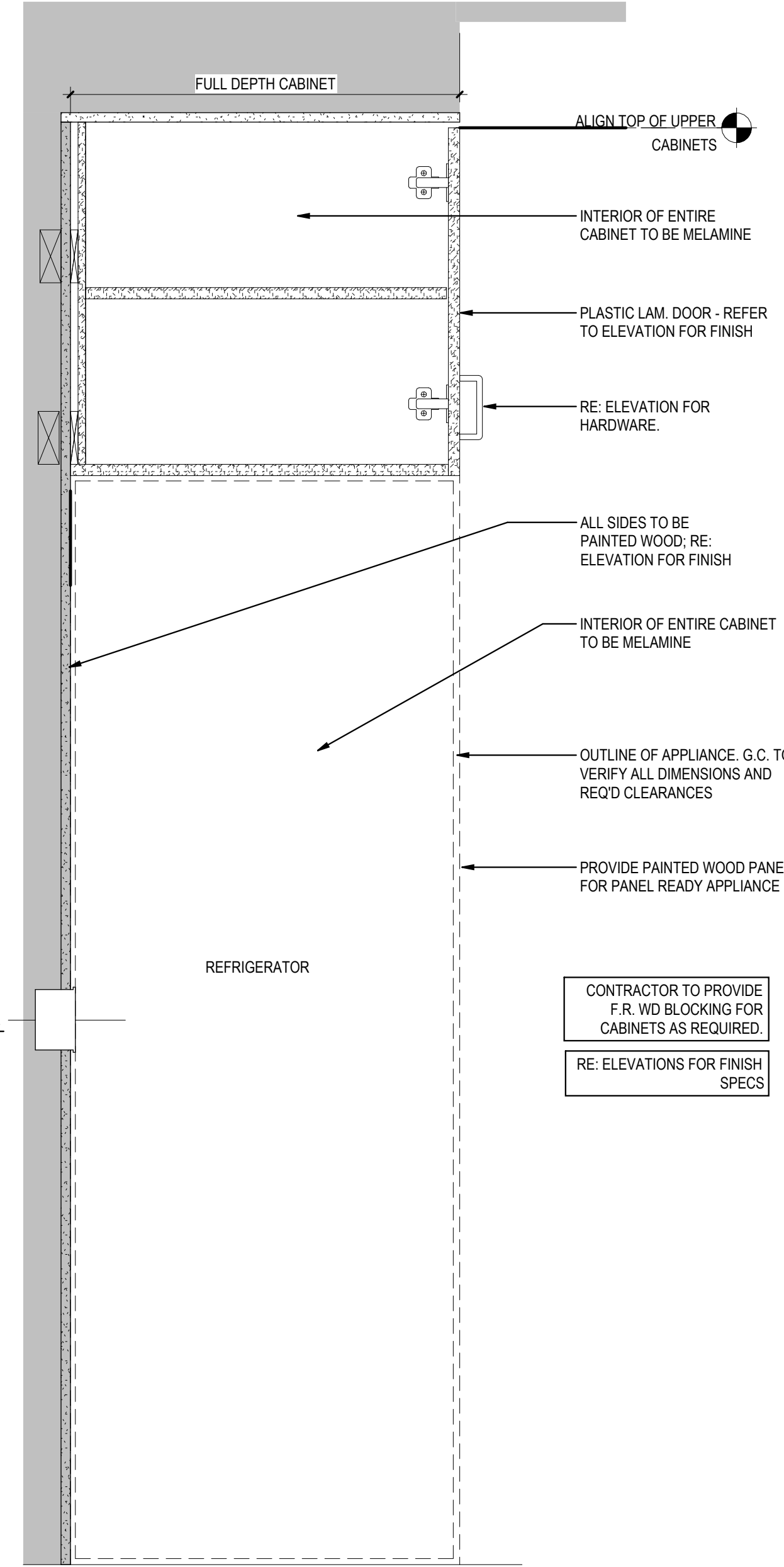
**10 GYP - GYP RECESS**  
3" = 1'-0"



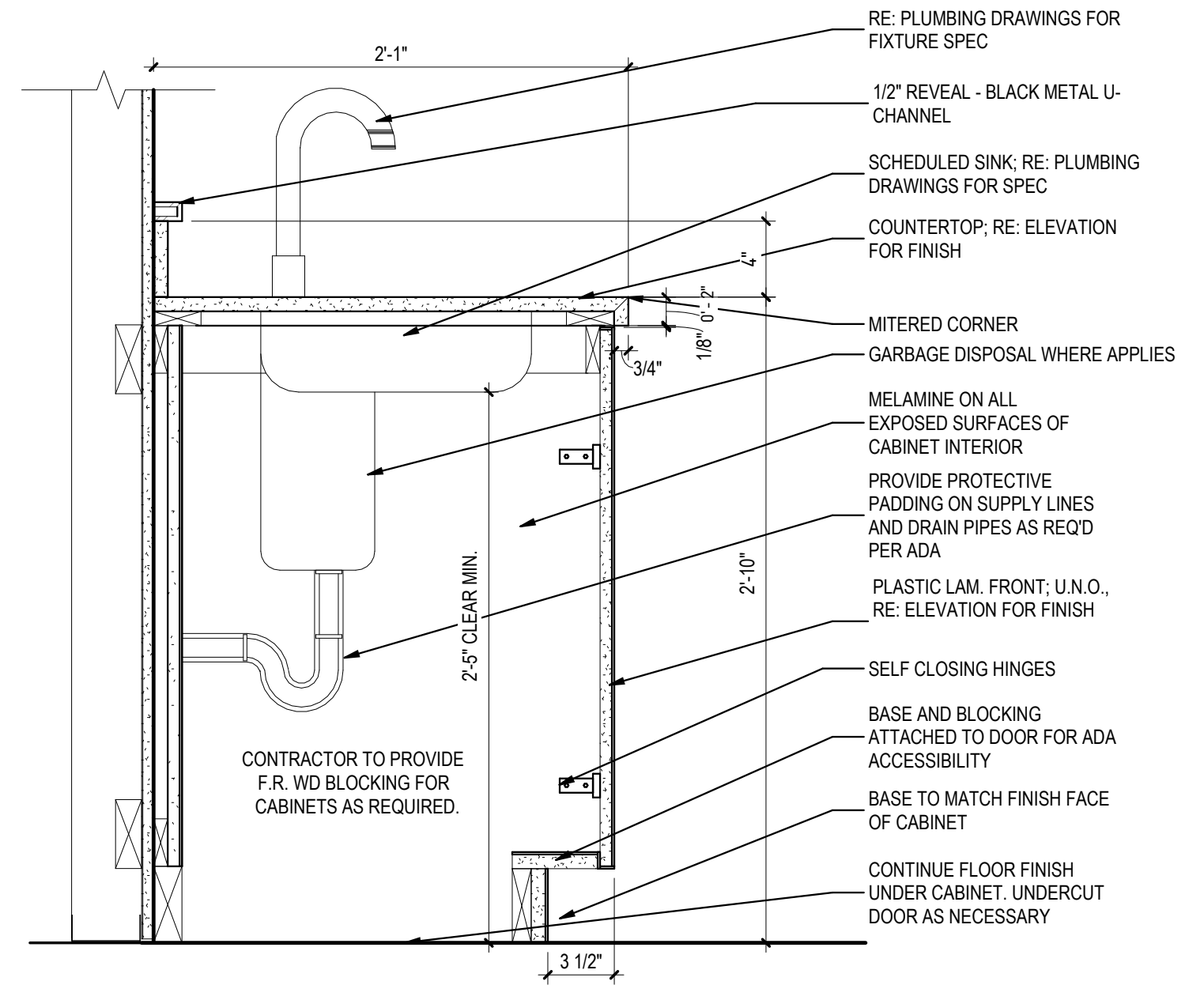
**6 UPPER CABINET**  
1 1/2" = 1'-0"



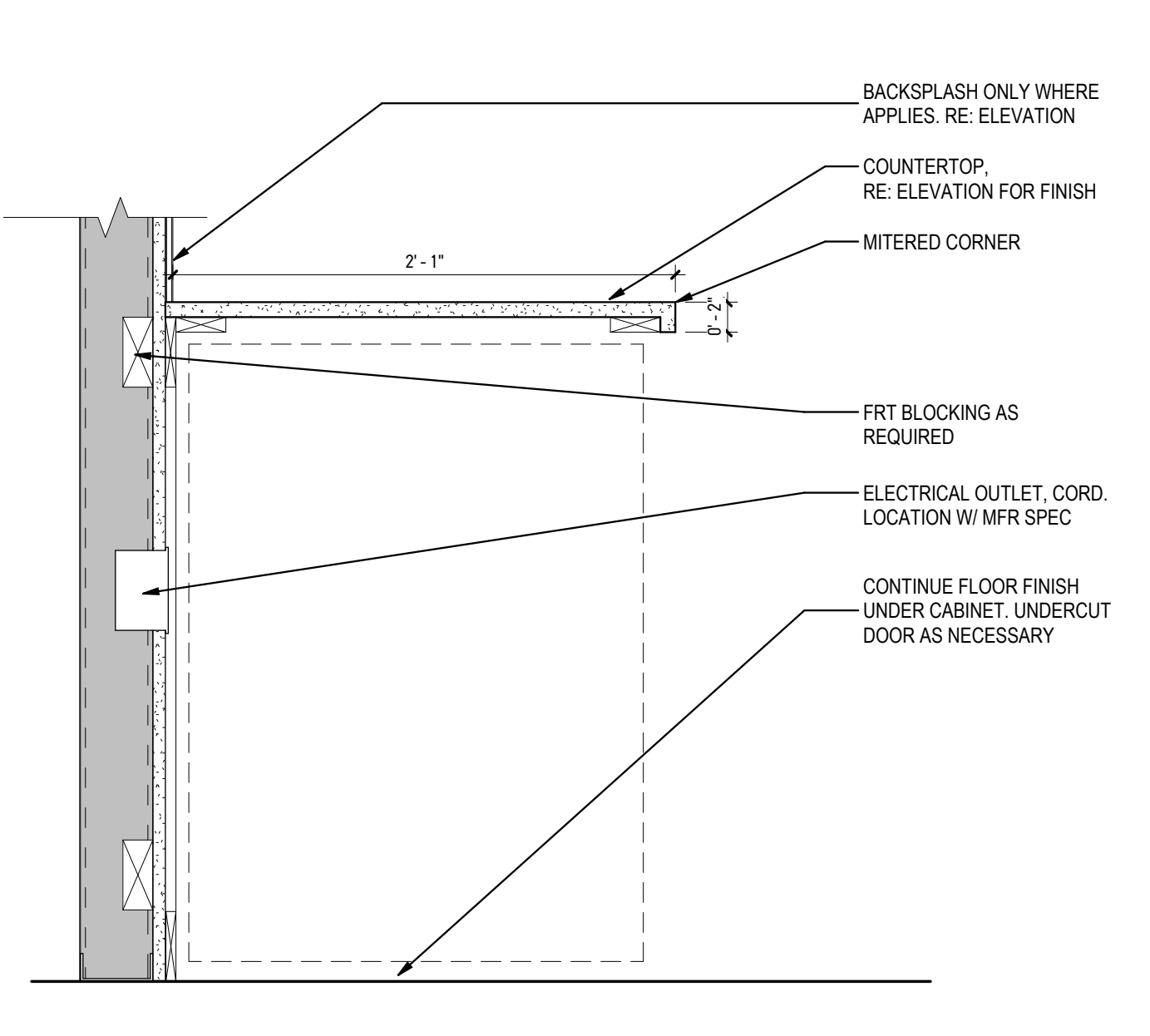
**8 FULL HEIGHT CABINET**  
1 1/2" = 1'-0"



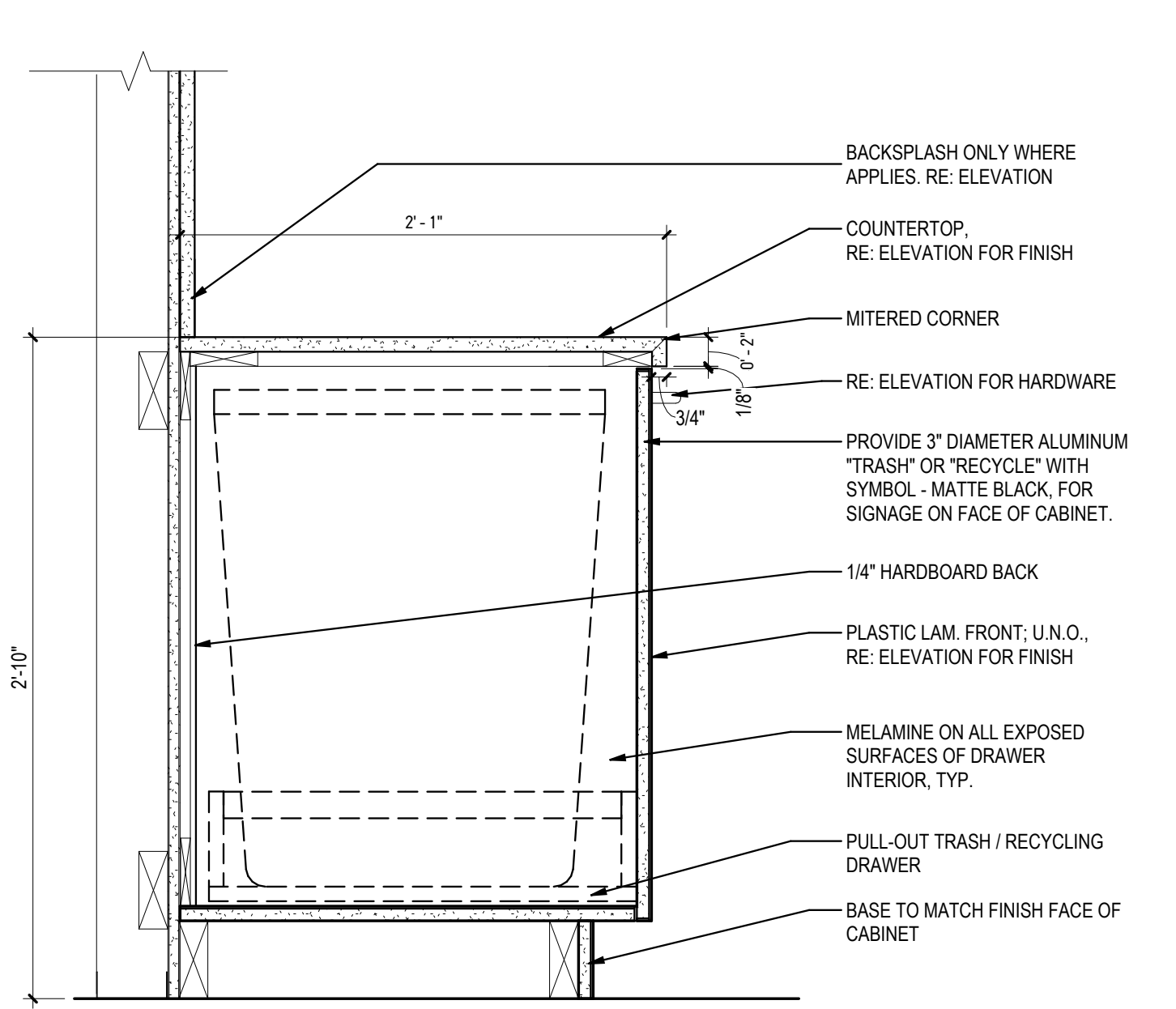
**7 UPPER CAB - REFRIGERATOR**  
1 1/2" = 1'-0"



**3 BASE CABINET - ADA SINK**  
1 1/2" = 1'-0"



**2 APPLIANCE OPENING**  
1 1/2" = 1'-0"



**4 BASE CABINET - 1 DRAWER**  
1 1/2" = 1'-0"

4/10/2024 1:33:25 PM

INTERIOR FINISH SCHEDULE

Table with columns: TAG, MANUFACTURER, PRODUCT, COLOR/FINISH, SIZE, NOTES, REFERENCE DETAIL, REVISION. Includes sections for Acoustic Ceiling Tile, Carpet, Glass Film, Luxury Vinyl Tile, Paint, Plastic Laminate, Solid Surface, Tile, Wall Base, and Wall Covering.



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THRIVING FAMILIES  
191 YUMA ST, DENVER, CO 80223

ISSUANCE: DATE  
FOR PRICING 2024.04.10

REVISION: DATE

PROJECT NUMBER: 2315.01

SHEET TITLE:

INTERIOR FINISH SCHEDULE

SHEET NUMBER:

A6.01

SPECIALTY EQUIPMENT SCHEDULE

Table with columns: TYPE MARK, DESCRIPTION, MANUFACTURER, MODEL, COMMENTS, BY GC, BY OWNER. Lists equipment such as Refrigerator, Dishwasher, Microwave, Faucets, TV, Sink, Baby Changing Station, Mirror, and Toilet.