



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date: June 11, 2020
Time: After 8:30 a.m.
Place: In conformity with the Governor's Executive Order N-29-20 (March 17, 2020) and due to concerns over COVID-19, the CPC meeting will be conducted entirely telephonically by Zoom [<https://zoom.us/>].

The meeting's telephone number and access code access number will be provided no later than 72 hours before the meeting on the meeting agenda published at <https://planning.lacity.org/about/commissions-boards-hearings> and/or by contacting cpc@lacity.org.

Public Hearing: To be held at the City Planning Commission meeting on June 11, 2020

Appeal Status: Off-Menu Density Bonus/Affordable Housing Incentive Program Review is not appealable to City Council. The On-Menu Density Bonus/Affordable Housing Incentive Program Review is appealable to City Council by adjacent and abutting owners and tenants only, limited to the timeline set forth in Assembly Bill 2162.

Expiration Date: June 22, 2020

Multiple Approval: No

PROJECT LOCATION: 1141-1145 South Crenshaw Boulevard

PROPOSED PROJECT: The project involves the demolition of an existing surface parking lot and the construction, use and maintenance of 43 Permanent Supportive Housing units, 42 restricted to Low Income Households and one (1) market-rate manager's unit, on a 15,547 square foot site. The proposed project includes a five-story building with a maximum building height of 65 feet, and a total of 56,240 square feet of floor area including 1,809 square feet of Support Service space, located on the ground floor. The project will provide eight (8) non-required vehicular parking spaces, 42 bicycle parking spaces; and will provide a total of 3,550 square feet of open space including rear yard, podium courtyard, decks, recreational rooms and multipurpose rooms, and 11 trees. The project qualifies as a Streamlined Infill Project ("SIP") pursuant to Assembly Bill ("AB") 2162 and California Government Code Section 65913.4 and is subject to ministerial review of Density Bonus Compliance as affordable housing pursuant to AB 1763 and California Government Code Section 65915.

Case No.: CPC-2020-516-DB-PSH-SIP
CEQA No.: N/A per AB 2162
Incidental Cases: N/A
Related Cases: N/A
Council No.: 10 – Wesson
Plan Area: Wilshire
Specific Plan: None
Certified NC: Olympic Park
GPLU: Low II Residential, Medium Residential, and Neighborhood Office Commercial
Zone: R1-1-O / R3-1-O, and C2-1-O
Applicant: 1141 Crenshaw LP
Representative: Dana Styles, AICP three6ixty

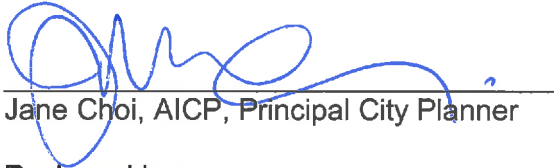
REQUESTED ACTION:

1. Pursuant to California Government Code Section 65651 and Public Resource Code Section 21080(b)(1), determine that the Supportive Housing Project is exempt from the California Environmental Quality Act (CEQA) as a ministerial project.
2. Pursuant to California Government Code Section 65650 through 65654, a ministerial review of a Supportive Housing Project for a development project that satisfies all of the requirements and objective planning standards of Government Code Section 65651(a) and (b), and is therefore subject to the streamlined, ministerial approval process provided by Government Code Section 65653.
3. Pursuant to CA Gov. Code Section 65915, a Density Bonus Compliance Review for a Supportive Housing Project totaling 43 dwelling units, reserving 42 units for Low Income Household occupancy for a period of 55 years, located within a one-half mile of transit, with the following:
 - a. A 65-percent increase in density for 43 dwelling units in lieu of the 26 units otherwise permitted by the R3-1-O and C2-1-O Zones; and
 - b. A height increase of up to an additional 20 feet for a maximum building height of 65 feet, in lieu of the 45 feet as otherwise permitted by the R3-1-O Zone.
4. Pursuant to CA Gov. Code Section 65915, a Density Bonus Compliance Review, the following Incentives and Waiver of Development Standards are requested:
 - a. An **On-Menu** Incentive to average density, FAR, parking and access across the R3-1-O and C2-1-O Zones, and averaging of required trees across the R1-1-O, R3-1-O and C2-1-O Zones;
 - b. An **Off-Menu** Incentive a 25-percent reduction in Open Space to permit 3,544 square feet in lieu of 4,725 square feet as otherwise required by LAMC Section 12.21 G.2;
 - c. An **Off-Menu** Incentive increase the total FAR from 3:1 in the R3-1-O Zone and 1.5:1 in the C2-1-O Zone to 4.91:1 across the R3-1-O and C2-1-O Zones; and
 - d. An **Off-Menu** Incentive to waive the transitional height requirements in LAMC Section 12.21.1 A.10 requiring a building height of 25 feet within 49 feet of an R1-1-O Zone to allow for a 65-foot tall building for the portion of the building on the C2-1-O Zone.
 - e. A **Waiver of Development Standards** to reduce the front yard setback on the portion of the building in the R3-1-O Zone to allow a 5-foot setback in lieu of a 15-foot setback as otherwise required by LAMC Section 12.10 C.1;
 - f. A **Waiver of Development Standards** to permit a 5-foot side yard setback on the northerly side yard in lieu of the 8-foot setback otherwise required by LAMC Section 12.14 C.2 for the C2-1-O Zone; and
 - g. A **Waiver of Development Standards** to permit a 5-foot side yard setback on the southerly side yard in lieu of the 8-foot setback otherwise required by LAMC Section 12.10 C.2 for the R3-1-O Zone.

RECOMMENDED ACTIONS:

1. **Determine**, pursuant to California Government Code Section 65651 and Public Resource Code Section 21080(b)(1), determine that the Supportive Housing Project is exempt from the California Environmental Quality Act (CEQA) as a ministerial project.
2. **Determine**, pursuant to California Government Code Section 65650 through 65654, that the project is a Supportive Housing Project that satisfies all of the requirements and objective planning standards of Government Code Section 65651(a) and (b), and is therefore subject to the streamlined, ministerial approval process provided by Government Code Section 65653.
3. **Determine**, Pursuant to CA Gov. Code Section 65915, a Density Bonus Compliance Review for a Supportive Housing Project totaling 43 dwelling units, reserving 42 units for Low Income Household occupancy for a period of 55 years, located within a one-half mile of transit, with the following:
 - a. A 65-percent increase in density for 43 dwelling units in lieu of the 26 units otherwise permitted by the R3-1-O and C2-1-O Zones; and
 - b. A height increase of up to an additional 20 feet for a maximum building height of 65 feet, in lieu of the 45 feet as otherwise permitted by the R3-1-O Zone.
4. **Approve**, pursuant to CA Gov. Code Section 65915, a Density Bonus Compliance Review, with following requested Incentives and Waiver of Development Standards:
 - a. An On-Menu Incentive to average density, FAR, parking and access across the R3-1-O and C2-1-O Zones, and averaging of required trees across the R1-1-O, R3-1-O and C2-1-O Zones;
 - b. An Off-Menu Incentive to allow a 25-percent reduction in Open Space to permit 3,544 square feet in lieu of 4,725 square feet as otherwise required by LAMC Section 12.21 G.2;
 - c. An Off-Menu Incentive increase of the total FAR from 3:1 in the R3-1-O Zone and 1.5:1 in the C2-1-O Zone to 4.91:1 across the R3-1-O and C2-1-O Zones;
 - d. An Off-Menu Incentive to waive the transitional height requirements in LAMC Section 12.21.1 A.10 requiring a building height of 25 feet within 49 feet of an R1-1-O Zone to allow for a 65-foot tall building for the portion of the building on the C2-1-O Zone;
 - e. A Waiver of Development Standards to reduce the front yard setback on the portion of the building in the R3-1-O Zone to allow a 5-foot setback in lieu of a 15-foot setback as otherwise required by LAMC Section 12.10 C.1;
 - f. A Waiver of Development Standards to permit a 5-foot side yard setback on the northerly side yard in lieu of the 8-foot setback otherwise required by LAMC Section 12.14 C.2 for the C2-1-O Zone; and
 - g. A Waiver of Development Standards to permit a 5-foot side yard setback on the southerly side yard in lieu of the 8-foot setback otherwise required by LAMC Section 12.10 C.2 for the R3-1-O Zone.

VINCENT P. BERTONI, AICP
Director of Planning



Jane Choi, AICP, Principal City Planner

Reviewed by:



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Prepared by:



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ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Requirements for submission of materials can be found on the Department of City Planning website at <https://planning.lacity.org/about/virtual-commission-instructions>. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than seven working days prior to the meeting by calling the Commission Secretariat at (213) 978-1295.

TABLE OF CONTENTS

Project Analysis	A-1
Project Summary	
Background	
Requested Actions	
Approval Timelines and Limited Appeals	
Conclusion	
Conditions of Approval.....	C-1
Findings	F-1
Supportive Housing Project Findings – AB 2162	
Density Bonus / Affordable Housing Incentives Program Findings	
Environmental Findings	
Public Hearing and Communications.....	P-1
Exhibits:	
A. – Project Plans	
B. – Maps	
• Vicinity Map	
• Radius Map	
• ZIMAS Map	
C. – Site Photos	
D. – Technical Correction to Ordinance 165,331 & Ordinance No. 165,331-SA9670	
E. – HCIDLA AB 2556 & SB 330 Determination Letters	
F. – Service Plan and AB 2162	
G. – Notice of Exemption	

PROJECT ANALYSIS

PROJECT SUMMARY

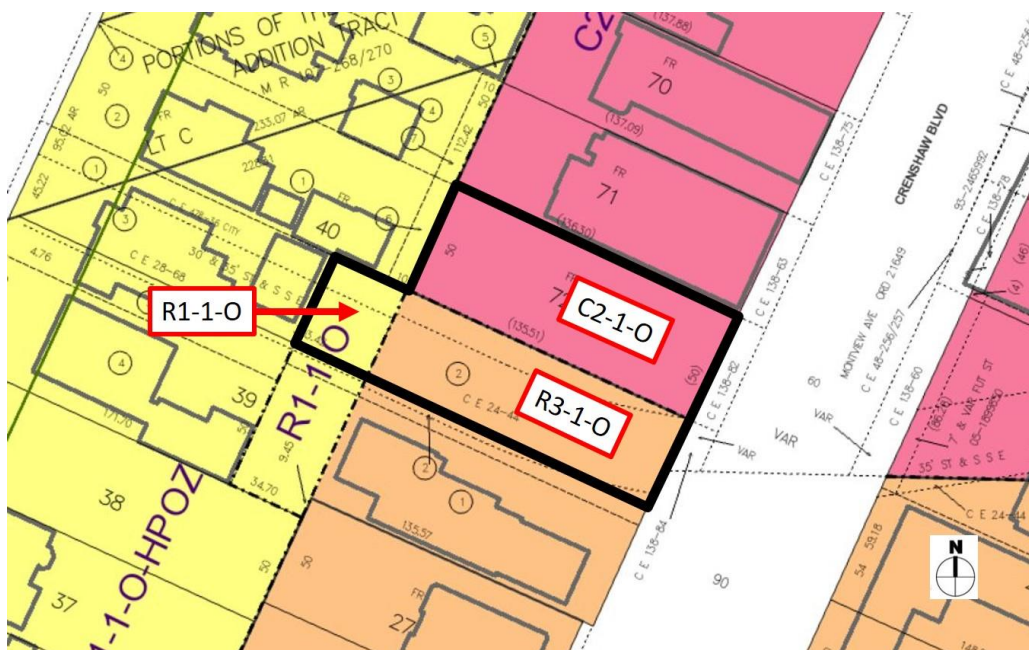
The project involves the demolition of an existing surface parking lot and the construction, use and maintenance of a five-story, 65-foot, residential building with 43 Permanent Supportive Housing units, 42 restricted to Low Income Households and one (1) market-rate manager's unit, on a 15,547 square foot site located within one-half mile of a major transit stop (Exhibit A). There are 26 one-bedroom and 17 two-bedroom units and the project will provide 1,809 square feet of Support Services space, located on the ground floor. The ground floor of the building will also include the main entry, lobby area, manager office, case manager offices, conference room, learning center, community room with kitchen area, laundry room, utility rooms, electrical and tank rooms, and trash room.

The proposed building will have a maximum building height of 65 feet pursuant to AB 1763, with 56,240 square feet of floor area at a 4.91:1 Floor Area Ratio (FAR) across the R3-1-O and C2-1-O Zones. A portion of the project site is zoned R1-1-O; however, the project does not utilize the rights of the R1 Zone for the purpose of FAR, density, buildable area, access, parking or usable open space. The project will provide eight (8) non-required automobile parking spaces, and 37 long-term bicycle parking spaces on the ground floor with an additional 5 short-term bicycle parking spaces at the front of the building. The project will also provide a total of 3,550 square feet of usable open space including the community room and rear yard on the ground floor, and a courtyard and on the second level. Additionally, the project will provide 11 trees across the R1-1-O, R3-1-O and C2-1-O Zones.

BACKGROUND

Site Description

The project site is an irregularly-shaped property that consists of two (2) rectangular-shaped lots that are unequal in length with a street frontage of approximately 101 feet on the west side of Crenshaw Boulevard and a total lot size of approximately 15,547 square feet (Exhibit B). The site is currently improved with an existing surface parking lot (Exhibit C).



Zoning and Land Use Designation

The project site is located within the Wilshire Community Plan. One (1) of the two (2) lots that make up the project site is split-zoned and designated R1-1-O, R3-1-O, while the other lot is zoned C2-1-O. These lots are designated as Low II Residential, Medium Residential, and Neighborhood Office Commercial land uses respectively. The “O” indicates an oil drilling district. There is no history of oil drilling at the project site. Height District 1 indicates unlimited height in the C2-1-O Zone and 45 feet in the R3-1-O Zone.

Ordinance No. 165,331-SA9670 changed the zone at 1145 S Crenshaw Boulevard from CR-1-O to R3-1-O. However, when the Ordinance was drafted, the legal description of the subject property was inadvertently omitted in the Subarea 9670 description. On February 20, 2020, a technical correction was issued to update the zone of the subject property to reflect the R3-1-O Zone on Zoning Information and Mapping Access System (ZIMAS) per Ordinance 165,331-SA9670 (Exhibit D).

As previously noted, the project does not utilize the R1-1-O Zone for the purpose of FAR, density, buildable area, access, parking, or usable open space. The applicant proposes use of the R1-1-O Zone as the location for the required trees only. Additionally, all setbacks are taken from the R1-1-O/R3-1-O Zone boundary line. The Height District 1 in the R3-1-O Zone permits residential density of one (1) dwelling unit per 800 square feet of land area with a maximum Floor Area Ratio (FAR) of 3:1, and the Height District 1 in the C2-1-O Zone permits a residential density of one (1) dwelling unit per 400 square feet of land area with a maximum FAR of 1.5:1.

The subject site is located in a methane buffer zone and an AO Flood Zone which indicates a 1-percent-annual-chance of shallow flooding. The project is subject to regulatory compliance measures, including the City of Los Angeles’ Specific Plan for the Management of Flood Hazards, Ordinance Number 172,081, to avoid or reduce flood impacts. The site is also located within a Transit Priority Area, a Transit Oriented Communities (TOC) Tier 3 area, and an Urban Agricultural Incentive Zone. The site is not located within any specific plan, community design overlay, or redevelopment area.

Surrounding Uses

The properties surrounding the area are characterized by a mix of residential and commercial structures. Properties surrounding the site are zoned R1-1-O, R3-1-O, C2-1-O, and R1-1-O-HPOZ. The Oxford Square Historical Preservation Overlay Zone (HPOZ) abuts the subject property on the west at the rear of the site. No part of the subject property is located within the HPOZ boundary.

Abutting the subject property to the north and south are single- and two-story commercial buildings. To the east, across Crenshaw Boulevard, are also single- and two-story commercial structures. To the west, in the R1-1-O Zone, are single-story residential buildings. The project site is approximately 1.2 miles north of the Santa Monica Freeway Interstate-10.

Streets and Circulation

Crenshaw Boulevard, adjoining the subject property to the east, is an Avenue II with a designated full right-of-way width of 86 feet and a roadway width of 56 feet. Crenshaw Boulevard is currently dedicated to half a right-of-way width of 45 feet and is improved with curb, gutter and sidewalk along the project’s street frontage. No dedications are required as part of the project.

Public Transit

The project site is located within 1,250 feet of the Los Angeles County Metropolitan Transportation Authority (Metro) bus stops at the intersection of Crenshaw Boulevard and Olympic Boulevard to the north and within 1,400 feet of Metro bus stops at the intersection of Crenshaw Boulevard and Pico Boulevard to the south. These bus stops serve Metro Local 28¹, 30/330², 210/710³, Metro Rapid 728⁴, and the Santa Monica Big Blue Bus Route 7⁵ and Rapid 7⁶.

Relevant Cases

Subject Property:

Ordinance No. 165,331-SA9670: The Ordinance became effective on January 14, 1990 and amended the zoning of the property from CR-1-O to R3-1-O. The ordinance refers to Map 129-B-189, which lists the subject property as being comprised of Lots 12 and 72, while ZIMAS lists the Subject Property as Lots 39, FR40, and 72. Per the ordinance, the property is zoned R3-1-O, R1-1-O, and C2-1-O. A technical correction was issued on February 20, 2020, to update the subject site zone to reflect the R3-1-O Zone designation.

Surrounding Properties:

VTT-73424-SL and ENV-2015-1229-MND: On July 25, 2016, the Deputy Advisory Agency conditionally approved a Vesting Tentative Tract Map to allow for the merger and subdivision of eight (8) existing parcels into 38 small lots located at 1102-1128 South Crenshaw Boulevard and 4116 West Country Club Drive. The proposed project involves the demolition of three (3) commercial buildings and surface parking and the construction, use and maintenance of 38 small lot homes on a 1.35 net acre site in the C2-1-O Zone. Each home will be 3-stories in height and will include two (2) parking spaces within private garages. Additionally, ten (10) guest parking spaces are proposed. On June 19, 2019, a six (6) year extension from the decision date for recording the final map was granted. The new expiration date for the map is July 25, 2025 and no further extension time to record a final map can be granted.

DENSITY BONUS LEGISLATION BACKGROUND

The California State Legislature has declared that "[t]he availability of housing is of vital statewide importance," and has determined that state and local governments have a responsibility to "make adequate provision for the housing needs of all economic segments of the community." Section 65580, subds. (a), (d). Section 65915 further provides that an applicant must agree to, and the municipality must ensure, the "continued affordability of all Low and Very Low-Income units that qualified the applicant" for the density bonus.

With Senate Bill 1818 (2004), state law created a requirement that local jurisdictions approve a density bonus and "concessions or incentives" for projects that include defined levels of affordable housing in their projects. In response to this requirement, the City created an ordinance that includes a menu of incentives (referred to as On-Menu incentives) comprised of eight zoning adjustments that meet the definition of concessions or incentives in state law (California

¹ Metro Local/Limited Line 28 Map and Schedule, Dated June 23, 2019

² Metro Local/Limited Line 30/330 Map and Schedule, Dated December 15, 2019

³ Metro Local/Limited Line 210/710 Map and Schedule, Dated December 16, 2018

⁴ Metro Rapid Line 728 Map and Schedule, Dated December 15, 2019

⁵ Santa Monica Big Blue Bus Route 7 Map and Schedule, Dated February 16, 2020

⁶ Santa Monica Big Blue Bus Rapid 7 Map and Schedule, Dated February 16, 2020

Government Code Section 65915). The eight on-menu incentives allow for: 1) reducing setbacks; 2) reducing lot coverage; 3) reducing lot width, 4) increasing floor area ratio (FAR); 5) increasing height; 6) reducing required open space; 7) allowing for an alternative density calculation that includes streets/alley dedications; and 8) allowing for “averaging” of FAR, density, parking or open space. In order to grant approval of an on-menu incentive, the City utilizes the same findings contained in state law for the approval of incentives or concessions.

AB 2222 also increases covenant restrictions from 30 to 55 years for projects approved after January 1, 2015. This determination letter reflects these 55-year covenant restrictions. Additionally, for specified affordable housing projects, per AB 1763 (2019), State Density Bonus Law grants various incentives to deviate from development standards in order to facilitate the provision of affordable housing at the site including by right increase in building height.

Under Government Code Sections 65915(a), 65915(d)(2)(C) and 65915(d)(3) the City of Los Angeles complies with the State Density Bonus law by adopting density bonus regulations and procedures as codified in Section 12.22 A.25 of the Los Angeles Municipal Code. Section 12.22 A.25 creates a procedure to waive or modify Zoning Code standards which may prevent, preclude or interfere with the effect of the density bonus by which the incentive or concession is granted, including legislative body review. The Ordinance must apply equally to all new residential development.

In exchange for setting aside a defined number of affordable dwelling units within a development, applicants may request incentives in addition to the density bonus and parking relief which are permitted by right. The incentives are deviations from the City’s development standards, thus providing greater relief from regulatory constraints.

REQUESTED ACTIONS

The Applicant proposes to utilize the State Density Bonus Law, Government Code Section 65915, and Assembly Bill (“AB”) 1763 to construct a total of 43 dwelling units for 100-percent Permanent Supportive Housing; 42 units restricted to Low Income Household occupancy for a period of 55 years within one-half mile of a major transit stop. In addition, the Density Bonus Ordinance grants various incentives to deviate from development standards in order to facilitate the provision of affordable housing at the site. Because the project meets criteria of Government Code Section 65915(b)(1)(G) (100-percent affordable and 1 manager’s unit), under Government Code Section 65915(f)(3)(D)(i) it is entitled to an 80-percent increase in density. Similarly, because the project meets criteria of Government Code Section 65915(b) (in accordance with Government Code Section 65915(d)(2)(D)), the applicant is entitled to a height increase of up to three stories or 33 feet, in addition to four (4) Density Bonus Incentives, including one (1) On-Menu Incentive and three (3) Off-Menu Incentives. The applicant has requested three (3) additional Waivers of Development Standards, as permitted by Government Code Section 65915. The applicant is providing supportive housing which meets specified criteria to qualify for streamlined ministerial processing in accordance with AB 2162.

Supportive Housing Project – Assembly Bill 2162

California Assembly Bill 2162 amended Sections 65583 and 65650-65656 of the California Government Code, and went into effect on January 1, 2019, aimed at addressing the state’s homelessness crisis. The intent of AB 2162 is to provide supportive housing to Californians experiencing chronic homelessness, streamlining and expediting the process of approving supportive housing applications and offer opportunities to exit chronic homelessness (Exhibit F). The law amends Section 65583 of, and adds Article 11 (commencing with Section 65650) to, Chapter 3 of Division 1 of Title 7 of, the Government Code, relating to land use, requiring that cities streamline the approval of qualified housing projects through a ministerial approval process,

removing the requirement for CEQA analysis and prohibit the local government from imposing any minimum parking requirement for units occupied by supportive housing residents if the development is located within one-half mile of a public transit stop.

Development Eligibility

To qualify to apply for Streamlined Approval, the development must meet the Development Eligibility criteria set forth in Assembly Bill 2162. In accordance with AB 2162, a Supportive Housing Project will be considered a use by right where multi-family and mixed-use developments are permitted if the proposed housing development meets specified criteria. The proposed project's eligibility is further described under the Findings Section in this report.

Streamlined Ministerial Approval

Pursuant to AB 2162 and Government Code Section 65651, a Supportive Housing Project that satisfies all of the requirements and objective planning standards of Government Code Section 65651(a) and (b) shall be a use by right and subject to the approval process provided in Government Code Section 65653.

Government Code Section 65651 requires that supportive housing be a use by right in zones where multifamily and mixed uses are permitted, including nonresidential zones permitting multifamily uses. If the proposed housing development meets the specified criteria, the local government is required to complete the review of a supportive housing development that complies with the specified criteria within specified time periods. Pursuant to Government Code Section 65653(b), local government shall complete its review of an application within 60 days after the application is complete for a project with 50 or fewer units, or within 120 days after the application is complete for a project with more than 50 units.

In accordance with AB 2162, and Government Code Section 65651(b), a local government must streamline the approval of a Supportive Housing Project and its consideration of the project shall be based on objective development standards and policies, as follows:

The local government may require a supportive housing development subject to this article to comply with objective, written development standards and policies; provided, however, that the development shall only be subject to the objective standards and policies that apply to other multifamily development within the same zone.

Density Bonus Incentives in Relation to AB 2162

In accordance with Government Code Section 65655, an application for a supportive housing project pursuant to Government Code Section 65651 does not preclude or limit the ability of a developer to seek a density bonus pursuant to Government Code Section 65915, State Density Bonus Law, or other land use policy or regulation that promotes the development of supportive housing. The City adopted Ordinance No. 179,681 (Density Bonus Ordinance), codified in LAMC Section 12.22 A.25, to implement the State Density Bonus Law. As recently amended pursuant to AB 1763, State Density Bonus Law provides that housing developments that consist of 100-percent affordable units for Lower Income Households, exclusive of a manager's unit, may be entitled to an 80-percent increase. The Density Bonus Ordinance and subsequent amendments to Government Code Section 65915 also allow applicants to seek Waivers of Development Standards and incentives. In addition, the State Density Bonus Law (Government Code Section 65915(n)) states:

The applicant requests a Density Bonus with one (1) On- Menu incentive for averaging of density, Floor Area Ration (FAR), parking, and access across the R3-1-O and C2-1-O Zones, and for the

averaging of trees across the R1-1-O, R3-1-O and C2-1-O Zones (no portion of the building or open space will be located in the R1-1-O Zone). The applicant also requests three (3) Off-Menu Incentives for a 25-percent reduction in required open space, an increase in FAR to 4.91:1 across the R3-1-O and C2-1-O Zones, and relief from the transitional height requirements in the C2-1-O Zone. Additionally, the applicant requests three (3) Waivers of Development Standards for a reduction in the front yard setback in the R3-1-O Zone, and one reduction of the side yard setbacks in both the R3-1-O and C2-1-O Zones, which counts for two (2) Waivers.

Density Bonus/Affordable Housing Incentives Program

Pursuant to the State Density Bonus Law, the City may grant up to four (4) incentives for a project that includes 100-percent of the total units for Lower Income Households that are within one-half mile of a major transit stop. The State Density Bonus Law further provides that a city may not apply any development standard that will have the effect of physically precluding the construction of a development, and allows applicants to submit to a city a proposal for the waiver or reduction of development standards that will have the effect of physically precluding the construction of a development. The City implements the State Density Bonus Law through the Density Bonus Ordinance, which allows On-Menu Incentives, Off-Menu Incentives, and additional Waivers of Development Standards.

The applicant proposes a project totaling 43 dwelling units; 100-percent of which, excluding the manager's unit, will be restricted to Low Income Households for a period of 55 years. As a result of setting aside 162-percent of the 26 base density units for Low Income Households, that is 42 units, the applicant qualifies for three (3) Off-Menu Incentives. The applicant seeks the following On- and Off-Menu Incentives and Waivers of Development Standards as set forth in the Density Bonus Ordinance:

- a. On-Menu: The averaging of density, FAR, parking, and access across the R3-1-O and C2-1-O Zones, and the averaging of required trees across the R1-1-O, R3-1-O, and C2-1-O Zones;
- b. Off-Menu: A 25-percent reduction in the required open space to permit 3,544 square feet;
- c. Off-Menu: A total of a 4.91:1 FAR across the R3-1-O and C2-1-O Zones; and
- d. Off-Menu: Relief from the transitional height standards in the C2-1-O Zone to permit a 65-foot building.
- e. Waiver: To permit a front yard setback of 5 feet in lieu of the otherwise required 15 feet in the R3-1-O Zone;
- f. Waiver: A reduction in the northern side yard setback to 5 feet in lieu of the otherwise required 8 feet for a five-story building in the C2-1-O Zone; and
- g. Waiver: A reduction in the southern side yard setback to 5 feet in lieu of the otherwise required 8 feet for a five-story building in the R3-1-O Zone.

CEQA

The proposed Supportive Housing Project that satisfies all of the objective planning standards set forth in AB 2162, Gov. Code Section 65651(a) and (b) is subject to the streamlined, ministerial approval process provided by Gov. Section 65653(a) and (b). The Notice of Exemption is attached to this report (Exhibit G).

APPROVAL TIMELINE AND LIMITED APPEALS

Government Code Section 65653(b) establishes timelines for streamlined ministerial review. The Departments of City Planning and Building and Safety, through the Parallel Design Permitting Program to check zoning, fire life safety and Disabled Access, must determine if a project is eligible for streamlining within 30 days of application submittal. If the Department provides written comments to a Project Applicant detailing how a project is not eligible as proposed, then the 30-day timeline will restart upon submittal of a revised application in response to the written notice. The Planning Department must complete its review of the complete application within 60 days for a project with 50 or fewer units, or within 120 days for a project with more than 50 units.

CONCLUSION

Based on the information submitted to the record, staff recommends that the City Planning Commission approve the requested On- and Off-Menu Incentives for averaging of density, FAR, parking and access cross the R3-1-O and C2-1-O Zones, and the averaging of trees across the R1-1-O, R3-1-O, and C2-1-O Zones; reduction in the required open space; a total FAR of 4.91:1 across the R3-1-O and C2-1-O Zones; relief from transitional height in the C2-1-O Zone; and approve the requested Waivers of Development Standards for front and side yard setbacks; determine that the project satisfied all of the specified criteria of AB 2162 and is therefore subject to the streamlining and expedited processing in approving a supportive housing application; and determine that the project is exempt from CEQA as a ministerial project pursuant to AB 2162 (Section 65583 of, and Article 11 (commencing with Section 65650), Chapter 3, Division 1, Title 7 of, the Government Code, relating to land use) and Public Resources Code Section 21080(b)(1).

CONDITIONS OF APPROVAL

Density Bonus Conditions

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped Exhibit "A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density (Incentive).** The project shall be limited to a maximum density of 43 residential units averaged across the R3-1-O and C2-1-O Zones.
3. **On-site Restricted Affordable Units.** A minimum of 42 units shall be reserved as Permanent Supportive Housing for Low Income Households as determined by the California Department of Housing and Community Development (HCD) units for a period of 55 years.
4. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make 42 units available to Low Income Households, for rental as determined to be affordable to such households by HCIDLA for a period of 55 years consistent with AB 1763 (Government Code Section 65915) and AB 2162 (Government Code Sections 65651). Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with any monitoring requirements established by the HCIDLA. Refer to the Density Bonus Legislation Background section of this determination.
5. **Covenant Length.** Units within the development are subject to a recorded affordability restriction for 55 years to satisfy Assembly Bill 1763 and Government Code Section 65650 through Section 65651.
6. **Affordability Requirement.** One hundred percent of the units, excluding managers' units, shall be dedicated to "lower income households" as defined in Section 50079.5 of the Health and Safety Code.
7. **Target Population.** At least 25-percent of the units shall be restricted to residents in supportive housing who meet criteria of the target population, as defined by Government Code Section 65650.
8. **Supportive Services Plan.** The applicant shall submit a plan for providing supportive services, to the satisfaction of the Department of City Planning, with documentation demonstrating that supportive services will be provided onsite to residents in the project. The description of those services shall include all of the following:
 - a. The name of the proposed entity or entities that will provide supportive services.
 - b. The proposed funding source or sources for the provided onsite supportive services.
 - c. Proposed staffing levels.

9. **Onsite Supportive Services.** At least 3-percent of the total nonresidential floor area shall be provided for onsite supportive services that are limited to tenant use, including, but not limited to, recreational rooms, service offices, interview rooms, and multipurpose rooms. The project will provide a minimum of 1,809 square feet of support service office space as provided in Exhibit "A".
10. **Kitchen Required.** Units within the development, excluding managers' units, shall include at least one bathroom and a kitchen or other cooking facilities, including, at minimum, a stovetop, a sink, and a refrigerator.
11. **Floor Area Ratio (FAR) (Incentive).** The project shall be permitted a maximum FAR of 4.91:1 for a maximum floor area of 56,240 square feet across the R3-1-O and C2-1-O Zone portions of the site.
12. **Building Height.** The project shall be limited to a maximum building height of 65 feet as measured from Grade pursuant to LAMC Section 12.03.
13. **Transitional Height (Incentive).** No transitional height or stepback shall apply to that portion of the project in the C2-1-O Zone in lieu of the otherwise required pursuant to LAMC Section 12.21.1 A.10.
14. **Front Yard Setback (Waiver).** The project shall provide a minimum front yard setback of 5 feet for that portion of the project in the R3-1-O Zone in lieu of the otherwise required 15 feet pursuant to LAMC Section 12.10 C.1.
15. **Rear Yard Setback.** The project shall provide a minimum rear yard setback of 17 feet as measured from the rear property line of the C2-1-O Zone and from the split R3-1-O/R1-1-O Zone line.
16. **Northerly Side Yard Setback (Waiver).** The project shall provide a minimum northerly side yard setback of 5 feet in lieu of the otherwise required 8-foot in the C2-1-O Zone pursuant to LAMC Section 12.10 C.2.
17. **Southerly Side Yard Setback (Waiver).** The project shall provide a minimum southerly side yard setback of 5 feet in lieu of the otherwise required 8-foot in the R3-1-O Zone pursuant to LAMC Section 12.10 C.2.
18. **Usable Open Space (Incentive).** The project shall provide a minimum of 3,544 square feet of Usable Open Space in lieu of the otherwise required 4,725 square feet pursuant to LAMC Section 12.21 G.
19. **Trees (Incentive).** The project shall provide eleven (11) 24-inch box trees on site averaged across the R1-1-O, R3-1-O, and C2-1-O Zones.
20. **Landscaping.** The project shall provide a minimum of 834 square feet of landscaping on the project site pursuant to LAMC Section 12.21 G.2.
21. **Landscaping Plans.** The landscape plan shall indicate landscape points for the project equivalent to 10-percent more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O".

22. **Automobile Parking.** Pursuant to AB 2162 and California Government Code Section 65654, no parking requirements shall apply for Supportive Housing Projects located within one-half mile of a public transit stop. No residential parking spaces are required. The project shall provide a minimum of one (1) automobile parking space for the manager's unit pursuant to AB 744.
23. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC 12.21 A.16.

Administrative Conditions

24. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
25. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
26. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
27. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
28. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
29. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
30. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of

subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.

- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

SUPPORTIVE HOUSING PROJECT FINDINGS – AB 2162

In accordance with Assembly Bill (AB) 2162, a Supportive Housing Project will be considered a use by-right where multifamily and mixed uses are permitted if the proposed housing development meets specified criteria. The specified criteria of AB 2162 are as follows:

- 1. Units within the development are subject to a recorded affordability restriction for 55 years.**

There will be 43 units in the project; 42 units are conditioned to be restricted to Low Income Housing units for a period of 55 years. As such, the project meets this criterion.

- 2. One hundred percent of the units, excluding managers' units, within the development are dedicated to lower income households and are receiving public funding to ensure affordability of the housing to lower income Californians. For purposes of this paragraph, "lower income households" has the same meaning as defined in Section 50079.5 of the Health and Safety Code.**

There will be 43 units in the project; 100-percent, excluding the manager's unit, that is 42 units, will be restricted to Low Income Housing units, as defined in Section 50079.5 of the California Health and Safety Code, for supportive housing. The housing development will also receive public funding from Proposition HHH and Measure H to provide subsidies to the affordability units. As such, the project meets this criterion.

- 3. At least 25 percent of the units in the development or 12 units, whichever is greater, are restricted to residents in supportive housing who meet criteria of the target population. If the development consists of fewer than 12 units, then 100 percent of the units, excluding managers' units, in the development shall be restricted to residents in supportive housing.**

The development will restrict 100-percent of units, that is 42 units, exclusive of the manager's unit, for residents in supportive housing. As such, the project meets this criterion.

- 4. The developer provides the planning agency with the information required by Section 65652.**

The developer has provided to the Department of City Planning a plan for providing supportive services. The plan identifies the Koreatown Youth and Community Center (KYCC) as the provider for supportive services. Funding for supportive services will be provided through the County of Los Angeles Department of Health Services (DHS) Housing for Healthy (HFH), for an estimated five (5) full-time employees including a service coordinator, case manager, behavioral health specialist, youth service coordinator, and financial capabilities specialist; who will be onsite to provide or connect residents to services that are voluntary and free of charge (Exhibit F). As such, the project meets this criterion.

- 5. Nonresidential floor area shall be used for onsite supportive services. For a development with 20 or fewer total units, at least 90 square feet shall be provided for onsite supportive services. For a development with more than 20 units, at least 3 percent of the total nonresidential floor area shall be provided for onsite supportive services that are limited to tenant use, including, but not limited to, community rooms, case management offices, computer rooms, and community kitchens.**

The 43-unit project is required to provide at 3-percent of the total nonresidential floor area for on-site supportive services. The project will provide case management offices, a manager office, lobby area, conference room, community room, and a learning center totaling 1,809 square feet, for on-site supportive services, as provided in Exhibit "A". As such, the project meets this criterion.

- 6. The developer replaces any dwelling units on the site of the supportive housing development in the manner provided in paragraph (3) of subdivision (c) of Section 65915.**

Per the January 3, 2019, AB 2556 Determination and the February 3, 2020, SB 330 Determination completed by the Los Angeles Housing and Community Investment Department (HCIDLA), no replacement affordable units are required for this project. As such, this criterion does not apply (Exhibit E).

- 7. Units within the development, excluding managers' units, include at least one bathroom and a kitchen or other cooking facilities, including, at minimum, a stovetop, a sink, and a refrigerator.**

All 43 units in the development include at least one bathroom and a kitchen with a stovetop, sink, and refrigerator as provided in Exhibit "A". As such, the project meets this criterion.

In addition, pursuant to California Government Code Section 65654, local governments cannot impose any minimum parking requirements for units occupied by supportive housing residents if the development is located within one-half mile of a public transit stop. The proposed development site is located within one-half mile to public transit stops (at the corner of Crenshaw and Olympic Boulevards and at the corner of Crenshaw and Pico Boulevards serviced by the Los Angeles County Metropolitan Transportation Authority (Metro) Local 28, 30/330, 210/710, Metro Rapid 728, and the Santa Monica Big Blue Bus Route 7 and Rapid 7). The project proposes one (1) manager's unit and 42 supportive housing units. The residential units require no parking spaces per AB 2162; however, the project is required to provide one (1) automobile parking space for the market-rate manager's unit pursuant to AB 744. The project is providing eight (8) automobile parking stalls.

DENSITY BONUS / AFFORDABLE HOUSING INCENTIVES PROGRAM FINDINGS

The applicant has requested one (1) On-Menu and three (3) Off-Menu Incentives, and three (3) Waivers of Development Standards, as listed below:

- a. To average density, FAR, parking, and access across the R3-1-O and C2-1-O Zones, and the average of required trees across the R1-1-O, R3-1-O, and C2-1-O Zones;
- b. A 25-percent reduction in the required open space to permit 3,544 square feet;
- c. A total of a 4.91:1 FAR across the R3-1-O and C2-1-O Zones;

- d. Relief from the transitional height standards in the C2-1-O Zone to permit a 65-foot tall building;
- e. To permit a front yard setback of 5 feet in lieu of the otherwise required 15 feet in the R3-1-O Zone;
- f. A reduction in the northern side yard setback to 5 feet in lieu of the otherwise required 8 feet for a five-story building in the C2-1-O Zone; and
- g. A reduction in the southern side yard setback to 5 feet in lieu of the otherwise required 8 feet for a five-story building in the R3-1-O Zone.

Based on the project having 100-percent of the units restricted for Low Income Households, excluding the manager's unit, and that the project site is within one-half mile of a major transit stop, the applicant is entitled to four (4) incentives under the Government Code. Therefore, the On- and Off-Menu requests qualify as the proposed development's Incentives. The remaining requests must be processed as Waivers of Development Standards.

Following is a delineation of the findings related to the request for On- and Off-Menu Incentives, pursuant to LAMC Section 12.22 A.25(g) and Government Code Section 65915.

Government Code Section 65915 and LAMC Section 12.22 A.25(c) state that the Commission shall approve a density bonus and requested incentive(s) unless the Commission finds that:

- 8. *The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.***

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25-percent gross income based on area median income thresholds dependent on affordability levels.

As proposed, the one (1) On-Menu and three (3) Off-Menu Incentives to average density, FAR, parking, and trees; reduce the usable open space; increase the floor area ratio; and eliminate the transitional height will allow for the construction of the multi-family housing building with 161-percent of the 26 base units, that is 42 units, restricted to Low Income Households. Absent the four incentives, the transitional height and open space requirements would restrict the ability to develop the site with 43 dwelling units of sufficient size with the requisite outdoor amenities and usable open space, while also setting aside 42 dwelling units for Low Income Households.

The requested incentives allow the developer to expand the building envelope so the additional and affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased. These incentives support the applicant's decision to set aside the specified number of dwelling units for Low Income Households for 55 years.

- 9. The incentive(s) will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Government Code Section 65915(d)(1)(B) and 65589.5(d)).**

There is no substantial evidence in the record that the proposed incentive(s) will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The Oxford Square Historical Preservation Overlay Zone (HPOZ) abuts the subject property on the west at the rear of the site. However, no part of the subject property is located within the HPOZ boundary. The subject site is located in a methane buffer zone and an AO Flood Zone which indicates a 1-percent-annual-chance of shallow flooding. The project is subject to regulatory compliance measures, including the City of Los Angeles' Specific Plan for the Management of Flood Hazards, Ordinance Number 172,081, to avoid or reduce flood impacts. Therefore, there is no substantial evidence that the proposed incentive(s) will have a specific adverse impact on public health and safety.

- 10. *The incentive(s) are contrary to state or federal law.***

There is no evidence in the record that the proposed incentives are contrary to state or federal law.

Following is a delineation of the findings related to the findings and the application of the relevant facts as related to the recommendation for three (3) Waivers of Development Standards to allow for the construction, use and maintenance of a five-story building with a maximum building height of 65 feet, and a total of 56,240 square feet of floor area containing 43 Permanent Supportive Housing units, 42 restricted to Low Income Households and one (1) market-rate manager's unit, on a 15,547 square foot site with eight (8) non-required vehicular parking spaces, 42 bicycle parking spaces, 3,550 square feet of open space, and 11 trees. Pursuant to Government Code Section 65915, the Commission shall approve a Density Bonus and requested Waivers unless the Commission finds that:

- 11. *The waiver(s) or reduction(s) of development standard(s) will not have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]" (Government Code Section 65915(e)(1)).***

A project that is located within one-half mile of a major transit stop and provides 100-percent of the total units, exclusive of a manager's unit, for Low Income Households qualifies for four (4) Incentives, and may request other "waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]" (Government Code

Section 65915(e)(1)). Therefore, the request for the following Waivers are recommended as Waiver of Development Standards.

- 1) A Waiver of Development Standards to reduce the front yard setback on the portion of the building in the R3-1-O Zone to allow a 5-foot setback in lieu of a 15-foot setback as otherwise required by LAMC Section 12.10 C.1;
- 2) A Waiver of Development Standards to permit a 5-foot side yard setback on the northerly side yard in lieu of the 8-foot setback otherwise required by LAMC Section 12.14 C.2 for the C2-1-O Zone; and
- 3) A Waiver of Development Standards to permit a 5-foot side yard setback on the southerly side yard in lieu of the 8-foot setback otherwise required by LAMC Section 12.10 C.2 for the R3-1-O Zone.

These development standards would have the effect of physically precluding construction of a development providing 43 residential units, of which 42 units will be set aside for Low Income Households. Compliance with the underlying setback limitations would require the removal of a significant amount of floor area that could otherwise be dedicated to the number, configuration and livability of affordable housing units. By waiving these development standards, the project is able to maximize ground floor square footage for other required uses. The reduced setbacks permit additional floor area for residential units and supportive services ensuring a configuration of amenities that will be accessible to all of the residents within the affordable housing development. The Off-Menu incentives and Waiver of Development Standards as recommended will allow the developer to building the proposed 43 residential units and expand the project's building envelope so that the units being constructed are of sufficient size, configuration, and quality.

12. *The waiver will have specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.*

There is no substantial evidence in the record that the proposed waiver(s) will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project does not involve the demolition of a historic structure that was placed on a national, state, or local historic register prior to the submission of the application. The subject site is located in a methane buffer zone and an AO Flood Zone which indicates a 1-percent-annual-chance of shallow flooding. The project is subject to regulatory compliance measures, including the City of Los Angeles' Specific Plan for the Management of Flood Hazards, Ordinance Number 172,081, to avoid or reduce flood impacts. Therefore, there is no substantial evidence that the proposed waivers of development standards will have a specific adverse impact on public health and safety.

ENVIRONMENTAL FINDINGS

Pursuant to Assembly Bill (AB) 2162 and California Government Code (Gov.) Sections 65583 and 65650 through 65654, a project that satisfies all of the objective planning standards of Gov. Section 65651(a) and (b) is subject to the streamlined, ministerial approval process provided by Gov. Section 65653(a) and (b). Therefore, the Supportive Housing Project is exempt from the California Environmental Quality Act (CEQA) as a ministerial project.

PUBLIC HEARING AND COMMUNICATIONS

The public hearing is scheduled for the City Planning Commission on June 11, 2020 after 8:30 a.m.

Staff has received general project and regulatory process inquiries from the two (2) members of the public. In addition, an inquiry was received by City Planning staff regarding the obstruction of the line-of-site of a nearby billboard.

EXHIBIT A

PLANS & RENDERINGS (April 6, 2020)

CPC-2020-516-DB-PSH-SIP

PROJECT SOLARIS APARTMENTS

An Affordable Housing Development

Five Story Residential Bldg (Type VA) over Podium Level (Type IA)
1141 S Crenshaw Blvd., Los Angeles, CA 90019

CLIENT DOMUS DEVELOPMENT

3424 Wilshire Blvd., Suite 1020, Los Angeles, CA 90010

PROJECT TEAM

ARCHITECT	CIVIL ENGINEER	STRUCTURAL ENGINEER	ELECTRICAL ENGINEER	PLUMBING / MECHANICAL ENGINEER	LANDSCAPE ARCHITECT	GEOTECHNICAL ENGINEER	ENERGY CONSULTANT / GREEN / HERS RATER
FSY Architects, Inc. 2902 Knox Ave, 2nd Floor Los Angeles, CA 90039 t: 323.255.4848 email: vsehgal@fsyarchitects.com	United Civil-L.A. Inc. 1180 Durfee Avenue, Suite 220 South El Monte, CA 91733 t: 626.575.9999 f: 626.575.9996 email: neo@uc-la.com	IMEG Corp. 300 N. Lake Ave., 14th Floor Pasadena, CA 91101 t: 626.643.2800 email: ed.t.garibans@imegcorp.com	Breen Engineering, Inc. 1963 W. 190th Street, Suite 200 Torrance, CA 90504 t: 310.464.8404 email:	Breen Engineering, Inc. 1963 W. 190th Street, Suite 200 Torrance, CA 90504 t: 310.464.8404 email: dmahony@breeneng.com	Yael Lir Landscape Arch 1010 Sycamore Ave, Suite 313 South Pasadena, CA 91030 t: 323.258.5222 f: 323.258.5333 email: yael@yaellir.com	Geocon West Inc. 3303 N San Fernando Blvd, Suite 100 Burbank, CA 91504 t: 818.841.8388 f: 818.841.1704 email: berliner@geoconinc.com	
CONTACT: VIJAY SEHGAL	CONTACT: CHRISTOPHER NEO	CONTACT: ED GHARIBANS	CONTACT:	CONTACT: DES MAHONEY	CONTACT: YAEL LIR	CONTACT: NEAL BERLINER	

PROJECT SUMMARY

LEGAL DESCRIPTION

Site Address	1141-1145 S CRENSHAW BLVD
ZIP Code	90019
Lot/Parcel Area	15,547.3 sf (PER SURVEY)
Thomas Brothers Grid	PAGE 633 - GRID F4
Assessor Parcel No. (APN)	5082-026-012, 5082-026-013
Tract	N.C. KELLEY'S MONTVIEW TRACT
Map Reference	M B 6-1, M B 12-141
Block	None
Lot	FR 72, FR 40, 39
Arb (Lot Cut Reference)	2, NONE
Map Sheet	129B189

ZONING ANALYSIS/DENSITY CALCULATIONS:

A. SITE ANALYSIS

ZONING	LOT AREA
C2-1-O	6,740 SF
R3-1-O	6,936 SF
R1-1-O	1,871 SF
TOTAL AREA:	= 15,547 SF (PER SURVEY)

B. ZONING ANALYSIS

OCCUPANCY GROUP = R-2, A-3, S-2
BUILDING HEIGHT PER ZONE

ZONE	ALLOWABLE	PROPOSED
C2-1-O	UL	65' *
R3-1-O	45'	65' *
R1-1-O	N/A	N/A

* = WITH HEIGHT BONUS THROUGH OFF-MENU D.B. INCENTIVE/WAIVERS, ALLOWABLE HEIGHT (45' + 33') = 78'

SETBACKS PER ZONE

ZONE	SIDE YARD (N.)	SIDE YARD (S.)	FRONT YARD	REAR YARD
	ALLOWABLE/PROPOSED	ALLOWABLE/PROPOSED	ALLOWABLE/PROPOSED	ALLOWABLE/PROPOSED
C2-1-O	8' / 5' *	8' / 5' *	0' / 0'	17' / 17'
R3-1-O	8' / 5' *	8' / 5' *	15' / 5' *	17' / 17'
R1-1-O	5' / -- **	5' / -- **	20% / -- **	15' / -- **

* = PROPOSED SETBACK REDUCTIONS THROUGH OFF-MENU D.B. INCENTIVE/WAIVERS
** = DEVELOPMENT OBSERVES BUILDING SETBACKS ON C2 AND R3 PORTIONS OF THE SITE. NO DEVELOPMENT IS PROPOSED ON THE R1 PORTION OF THE SPLIT ZONED LOT.

C. DENSITY CALCULATIONS

ZONE	LOT AREA	BASE DENSITY	PERMITTED W/ DENSITY BONUS (AB1763)
C2-1-O	6,740 SF	/ 400 = 17 UNITS	X 1.8 = 31 UNITS
R3-1-O	6,936 SF	/ 800 = 9 UNITS	X 1.8 = 17 UNITS

TOTAL DENSITY PERMITTED = 48 UNITS
TOTAL DENSITY PROPOSED = 43 UNITS

D. F.A.R. CALCULATIONS

C2 BUILDABLE AREA	= 6,740	SF
R3 BUILDABLE AREA (6,936 - (5 x 135.27) - (15 x (51.24 + 51.34)))	= 4,721	SF
TOTAL BUILDABLE AREA	= 11,461	SF

ALLOWABLE F.A.R. (C2-1-O)	= 1.5:1	
ALLOWABLE FLOOR AREA (C2-1-O) 1.5 X 6,740	= 10,110	SF
ALLOWABLE F.A.R. (R3-1-O)	= 3:1	
ALLOWABLE FLOOR AREA (R3-1-O) 3 X 4,720.95	= 14,162	SF
ALLOWABLE FLOOR AREA (BEFORE DB)	= 24,272	SF

PROPOSED FAR WITH DB (TOTAL) = 4.91:1 *
PROPOSED FLOOR AREA WITH DB (TOTAL) = 56,240 ** SF

* WITH OFF MENU D.B. INCENTIVE/WAIVER, TOTAL FAR ACROSS SITE (EXCLUDING R1 PORTION) IS 4.91:1

** 3% OF FLOOR AREA IS RESERVED FOR SUPPORTIVE SERVICE, INCLUDING LEARNING CENTER & COMMUNITY ROOM

STATEMENT OF SCOPE OF WORK:

Demolish Existing Parking Lot. New Construction of 4-Story Type VA Residential Building over 1-Story Type IA Podium.

- AFFORDABLE HOUSING UNITS	= 43 UNITS
- UNIT MIX (1-BR / 2-BR)	= 26 / 17
- PROPOSED BUILDING HEIGHT	= 63' / 5 STORIES
- PROPOSED BUILDING AREA	= 56,240 SF

UNIT SUMMARY

1. Housing (43 Units):

14	ONE BEDROOM UNITS	@ 500 SF/ UNIT
12	ONE BEDROOM UNITS	@ 550 SF/ UNIT
7	TWO BEDROOM UNITS	@ 760 SF/ UNIT
10	TWO BEDROOM UNITS	@ 770 SF/ UNIT
43	TOTAL UNITS	

BUILDING AREA SUMMARY

A. TYPE VA BUILDING AREA		
RESIDENTIAL UNITS	= 36,931	SF
CIRCULATION / SERVICES	= 9,500	SF
COMMON AREAS	= 1,568	SF
TOTAL TYPE VA BUILDING AREA	= 47,999	SF

B. TYPE IA BUILDING AREA		
GROUND FLOOR PARKING	= 5,285	SF*
CIRCULATION / SERVICES	= 4,359	SF
COMMON AREAS	= 2,382	SF
ADMINISTRATIVE SPACES	= 1,500	SF
TOTAL TYPE IA BUILDING AREA	= 13,526	SF

C. TOTAL BUILDING AREA = 56,240 SF

(Note: *= not counted towards FAR)

OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED PER LAMC 12.21G2:		
(26) 1B UNIT @ 100 SF / UNIT	= 2,600	sf
(17) 2B UNIT @ 125 SF / UNIT	= 2,125	sf
TOTAL REQUIRED (BASE)	= 4,725	sf
TOTAL REQUIRED (W/ 25% REDUCTION) = 3,544 sf *		
* 25% REDUCTION IN OPEN SPACE PER OFF-MENU D.B. INCENTIVE/WAIVERS (4,725 SF x .75 = 3,543.75 SF)		

COMMON OPEN SPACE PROVIDED:		
REAR YARD	= 2,000	sf
PODIUM COURTYARD	= 750	sf
COMMUNITY ROOM	= 800	sf
TOTAL PROVIDED: = 3,550 sf		

LANDSCAPE REQUIREMENTS:		
REQUIRED PLANTING *	= 688	SF
PROVIDED PLANTED AREA	= 834	SF
BOX TREES PROVIDED **	= 11	TREES

** 25% COMMON OPEN SPACE PER LAMC 12.21.G.2.a.3
1 x 24" BOX TREE PER 4 D.U. PER LAMC 12.21.G.2.a.3.
TREE REQUIREMENT IS INTENDED TO BE AVERAGED ACROSS ALL ZONES.

PARKING SUMMARY : (VEHICULAR)

PARKING REQUIRED PER AB2162:		
0 STALLS PER SUPPORTIVE HOUSING UNIT X 42 UNITS	= 0	STALLS
TOTAL PARKING REQUIRED = 0 STALLS		

PARKING REQUIRED PER AB744:		
0.5 STALLS PER UNIT X 1 UNIT	= 1	STALLS
TOTAL PARKING REQUIRED = 1 STALLS		

PARKING PROVIDED:		
ACCESSIBLE STALL	= 1	STALL
EVCS READY STALL	= 1	STALL
RESIDENTIAL STALLS	= 6	STALLS
TOTAL PROVIDED = 8 STALLS		

PARKING SUMMARY : (BICYCLE)

PARKING REQUIRED:		
1 LONG-TERM STALL / 1-25 UNITS	= 25	STALLS
1.5 LONG-TERM STALL / 26-43 UNITS	= 12	STALLS
1 SHORT-TERM STALL / 10 UNITS (1-25)	= 3	STALLS
1 SHORT-TERM STALL / 15 UNITS (26-43)	= 2	STALLS
TOTAL REQUIRED = 42 STALLS		

PARKING PROVIDED:		
1 LONG-TERM STALL	= 37	STALLS
1 SHORT-TERM STALL	= 5	STALLS
TOTAL PROVIDED = 42 STALLS		

SUPPORT SPACES SUMMARY

PROPOSED BUILDING AREA	= 56,240 SF
SUPPORT SPACES	
CASE MANAGEMENT OFFICES	= 283 SF
MANAGER OFFICE	= 159 SF
LOBBY / FRONT DESK	= 174 SF
CONFERENCE ROOM	= 182 SF
COMMUNITY ROOM	= 800 SF
LEARNING CENTER	= 211 SF
TOTAL PROPOSED SUPPORT SPACES	= 1,809 SF

SUPPORTIVE SERVICE TO FLOOR AREA PERCENTAGE
1,809 SF / 56,240 = .032 = 3%

DENSITY BONUS INCENTIVES AND WAIVERS

- ON MENU INCENTIVE (1)** - FOR AVERAGING OF DENSITY, FAR, PARKING, AND ACCESS ACROSS THE R3-1-O AND C2-1-O ZONES; AVERAGING OF TREE REQUIREMENTS ACROSS ALL ZONES.
- OFF MENU INCENTIVE (2)** - TO PERMIT UP TO A 25% REDUCTION IN THE REQUIRED OPEN SPACE;
- OFF MENU INCENTIVE (3)** - FOR A TOTAL FAR OF 4.91:1 ACROSS BOTH THE R3 AND C2 ZONES;
- OFF MENU INCENTIVE (4)** - FOR RELIEF FROM THE TRANSITIONAL HEIGHT STANDARDS OF LAMC SECTION 12.21.1-A-10 IN THE C2-1-O ZONE;
- WAIVER OF DEVELOPMENT STANDARDS (1)** - TO PERMIT A FRONT YARD OF 5-FEET, IN LIEU OF THE OTHERWISE REQUIRED 15-FEET IN THE R3-1-O ZONE;
- WAIVER OF DEVELOPMENT STANDARDS (2)** - TO PERMIT A WIDTH OF 5-FEET FOR BOTH SIDE YARDS (2) IN LIEU OF THE OTHERWISE REQUIRED 8-FEET, FOR A 5-STORY RESIDENTIAL BUILDING IN THE C2 AND R3 ZONES; PER AB1763, A BY-RIGHT REQUEST FOR 20-FEET OF ADDITIONAL HEIGHT FOR A TOTAL OF 65-FEET IN LIEU OF THE OTHERWISE PERMITTED 45-FEET IN THE R3-1-O ZONE;

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GENERAL NOTES:

APPLICABLE CODES:

PROJECT SHALL BE IN COMPLIANCE WITH ALL COMPONENTS OF THE FOLLOWING:

2017 CALIFORNIA BUILDING CODE W/ CITY OF LOS ANGELES AMENDMENTS.

2017 LOS ANGELES GREEN BUILDING CODE

2017 CALIFORNIA GREEN BUILDING CODE

2017 CALIFORNIA MECHANICAL CODE

2017 CALIFORNIA ELECTRICAL CODE

2017 CALIFORNIA PLUMBING CODE

COUNTY OF LOS ANGELES COMMUNITY DEVELOPMENT CORPORATION (LACDC) NOFA 23-A APPENDIX 7 ARCHITECTURAL DESIGN REQUIREMENTS INCLUDING UNIVERSAL DESIGN PRINCIPLES

FAIR HOUSING ACT DESIGN MANUAL 1998

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN W/ HUD EXCEPTIONS

PUBLICLY FUNDED PROJECTS SHALL ADHERE TO THE PROVISIONS OF THE CBC CHAPTER 11(B) AND TITLE III OF THE AMERICANS WITH DISABILITIES ACT (2010)

HUD SECTION 504

VICINITY MAP:



SITE LOCATION

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2902 KNOX AVE
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90039
323.255.4343
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PROJECT:
SOLARIS APARTMENTS

1141 CRENSHAW BLVD,
LOS ANGELES, CA 90019

CLIENT:
DOMUS DEVELOPMENT
3424 WILSHIRE BLVD, SUITE 1020
LOS ANGELES, CA 90010

DRAWING TITLE:

TITLE SHEET

PROJECT NUMBER

1823

NO. DESCRIPTION DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date 3/9/2020

Drawn by JZ

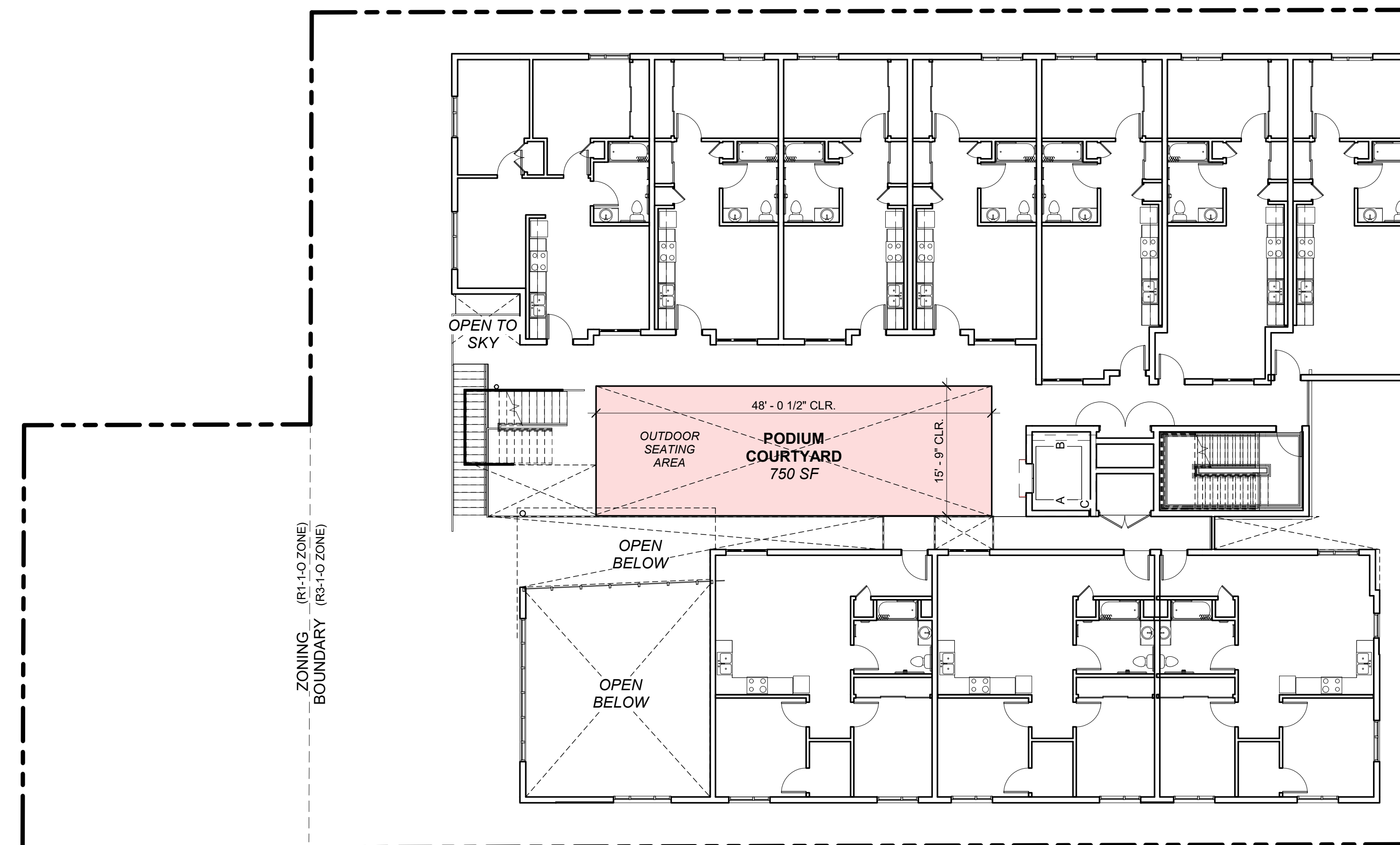
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A1.00

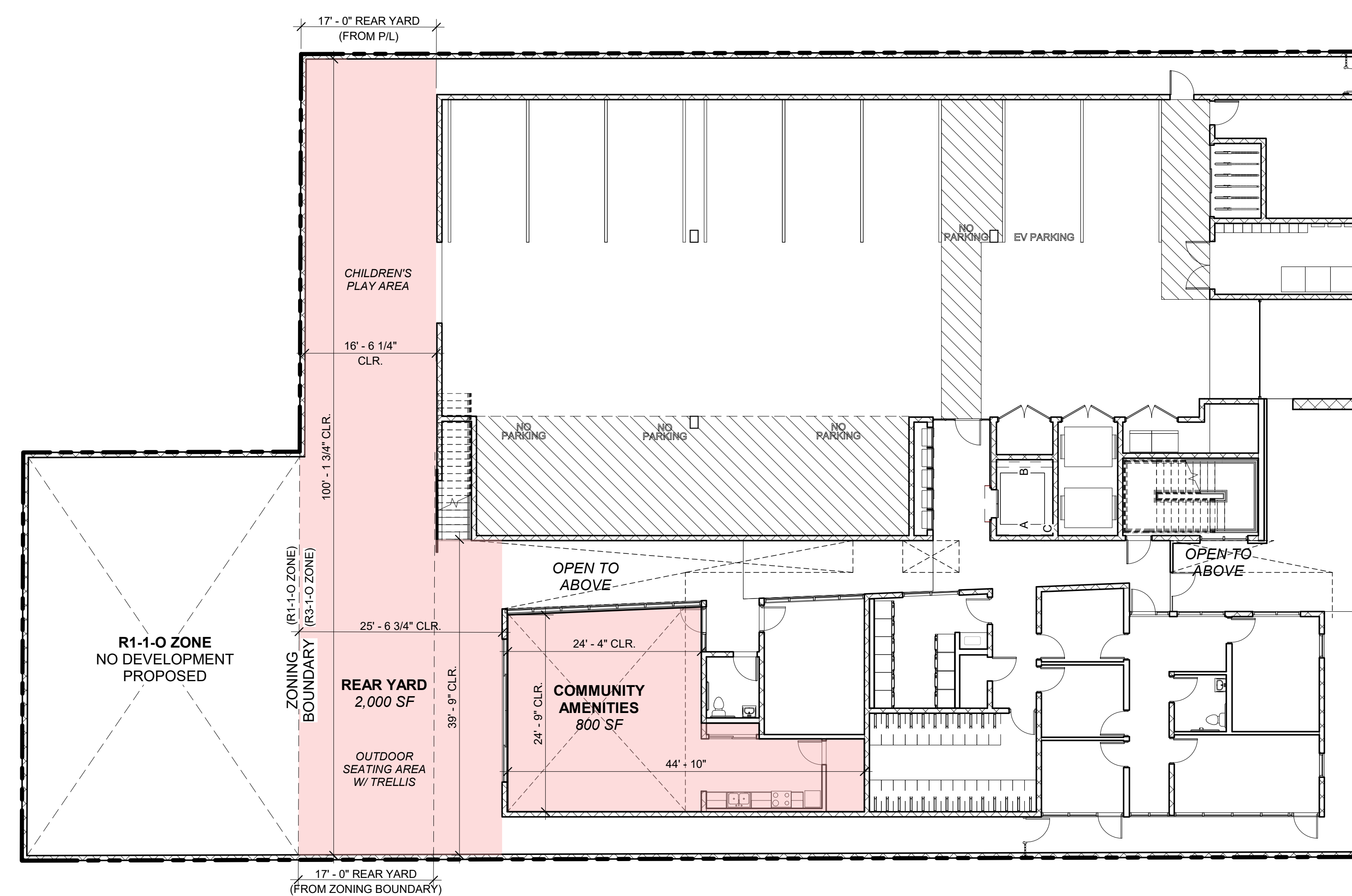
Scale
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GENERAL NOTES:



2 SECOND FLOOR PLAN - OPEN SPACE PLAN
3/32" = 1'-0"



1 FIRST FLOOR PLAN - OPEN SPACE PLAN
3/32" = 1'-0"

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SOLARIS APARTMENTS
1141 CRENSHAW BLVD,
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CLIENT:
DOMUS DEVELOPMENT
3424 WILSHIRE BLVD, SUITE 1020
LOS ANGELES, CA 90010

DRAWING TITLE:
OPEN SPACE PLAN

NO.	DESCRIPTION	DATE
PROJECT NUMBER		1823

NOT FOR CONSTRUCTION
ENTITLEMENT SET

Date	3/9/2020
Drawn by	Author
Checked by	Checker

A1.02
Scale 3/32" = 1'-0"

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GENERAL NOTES:

- LADWP UNDERGROUND TRANSFORMER VAULT. CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LADWP TRANSFORMER VAULT AND THROUGH TO PROPERTY LINE PER LADWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LADWP SERVICE PLAN.)
- (E) SIDEWALK
- DRIVEWAY APRON
- 6'-0" TALL PERIMETER FENCE
- WROUGHT IRON FENCE (8'-0" TALL)
- DOUBLE BIKE STALL TO BE USED AS RESIDENTIAL SHORT-TERM BIKE STORAGE, COMPLYING WITH BICYCLE PARKING ORDINANCE CF-12-1297-S1. BICYCLE STALLS SHALL USE THE STANDARD PLAN IN COMPLIANCE WITH S-671-1. SEE A10.02. 6 SHORT-TERM SPACES PROVIDED, TYP.
- LOWEST GRADE MEASURED WITHIN 5'-0" OF THE EXTERIOR WALL LINE OF THE BUILDING PER DOCUMENT NO. P/ZC 2002-008, REFERENCING LAMC SEC.12.03

GENERAL NOTES:

- BUILDING WILL BE PRE-WIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS IN MAIN ENTRIES, PARKING AREAS, EXTERIOR EXIT DOORS, AND COMMON AREAS. NOT DIRECTLY ADJACENT TO REGULARLY OCCUPIED ROOMS
- EXTERIOR LIGHTING AT PARKING AREAS, MAIN ENTRY, GRADE AREAS USED BY RESIDENTS TO BE COMPLIANT WITH CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN REQUIREMENTS.
- ALL PERIMETER FENCES AND ENTRANCE / EXIT GATES SHALL COMPLY WITH CPTED REQUIREMENTS
- UNIVERSALLY DESIGNED UNITS SHALL HAVE AN ISA SYMBOL OF MINIMUM 1" X 1", LOCATED WITHIN THE UNIT (BELOW THE DOOR VIEWER) AND MOUNTED PER CBC 2016, SECTION 1143A
- PROJECT TO COMPLY WITH STATE'S NOISE INSULATION STANDARDS (CALIFORNIA ADMINISTRATIVE CODE TITLE 25, SECTION 1092), AND COUNTY OF LOS ANGELES CONSTRUCTION NOISE STANDARDS FOR RESIDENTIAL CONSTRUCTION
- INSULATED OR SOLID CORE, FLUSH, PAINT OR STAIN GRADE EXTERIOR DOORS SHALL BE MADE OF METAL CLAD OR HARDWOOD FACES, WITH A STANDARD ONE-YEAR GUARANTEE AND ALL SIX (6) SIDES FACTORY PRIMED
- ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.
- PROVIDE A DIGITAL MASTER ANTENNA TELEVISION (MATV) FOR ALL DEVELOPMENTS WIRED TO AT LEAST ONE (1) OUTLET IN THE LIVING ROOM, AND ALL BEDROOMS. THE SIGNAL SHALL BE AMPLIFIED AS REQUIRED TO REACH ALL RECEPTACLES IN EACH UNIT
- BUILDING WILL BE PREWIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS

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PROJECT:
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1141 CRENSHAW BLVD.
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CLIENT:
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 LOS ANGELES, CA 90010

DRAWING TITLE:
 SITE PLAN / PLOT PLAN

PROJECT NUMBER 1823

NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

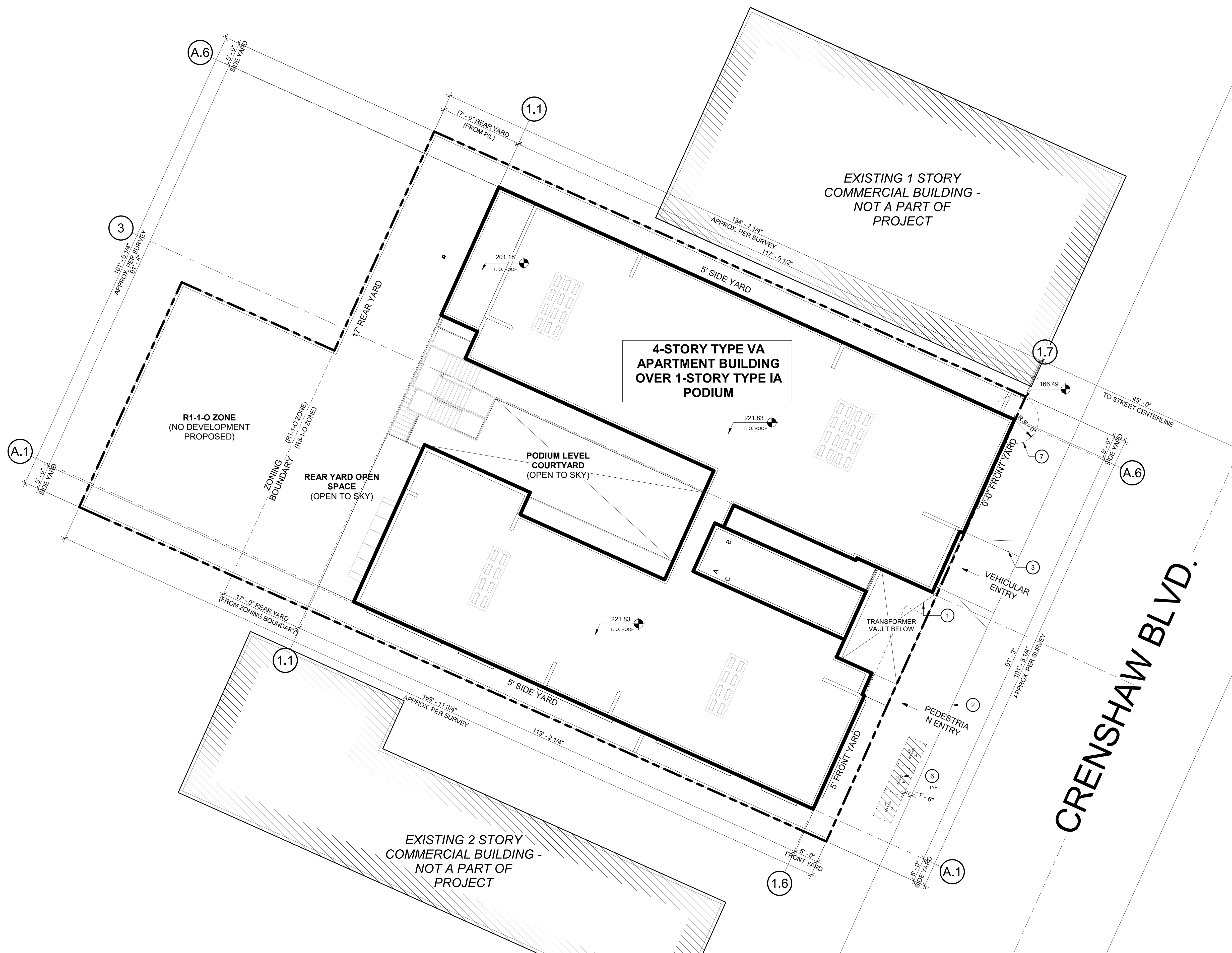
Date	3/9/2020
Drawn by	JZ
Checked by	HR

A2.00

Scale 1" = 10'-0"

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1 SITE PLAN
 1" = 10'-0"

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GENERAL NOTES:

- LADWP UNDERGROUND TRANSFORMER VAULT. CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LADWP TRANSFORMER VAULT AND THROUGH TO PROPERTY LINE PER LADWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LADWP SERVICE PLAN.)
- CONCRETE SLAB ON-GRADE
- STRUCTURAL COLUMN
- SOFTSCAPE LANDSCAPING / PLANTING
- DOUBLE STRIPING OF PARKING STALLS PER CITY OF LA BUILDING DEPARTMENT STANDARDS (TYP.)
- LONG-TERM WALL-MOUNTED BICYCLE STORAGE STALLS W/ DIMENSIONS COMPLYING WITH BICYCLE PARKING ORDINANCE CF 12-1297-S1. STALLS ARE ENCLOSED WITHIN WEATHERPROOF CLOSET W/ DOORS PER PLAN. SEE A10.02
- STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING).
- ELECTRICAL EQUIPMENT (SEE ELECTRICAL DRAWINGS)
- EDGE OF BUILDING/WALKWAY ABOVE
- WROUGHT IRON METAL FENCE (8'-0" TALL)
- ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS)
- EDGE OF OVERHEAD CANOPY
- WALL-MOUNTED PULL BOX (SEE ELECTRICAL DWGS.)
- USPS APPROVED MAILBOXES
- PERFORATED METAL PRIVACY SCREEN
- LONG-TERM FLOOR-MOUNTED TWO-TIERED BICYCLE STORAGE RACKS W/ DIMENSIONS COMPLYING WITH BICYCLE PARKING ORDINANCE OF 12-1297-S1 (SEE A10.02)
- DOUBLE BIKE STALL TO BE USED AS RESIDENTIAL SHORT-TERM BIKE STORAGE, COMPLYING WITH BICYCLE PARKING ORDINANCE CF-12-1297-S1. BICYCLE STALLS SHALL USE THE STANDARD PLAN IN COMPLIANCE WITH S-671.1. SEE A10.02. 6 SHORT-TERM SPACES PROVIDED, TYP.
- (5) FRONT LOAD ENERGY STAR ADA ACCESSIBLE COMMERCIAL DRYER (NON STACKED) MAYTAG MDE25PDAG OR APPROVED EQUAL
- (5) ENERGY STAR COMMERCIAL WASHER ADA ACCESSIBLE MAYTAG MHN33PDCWW OR APPROVED EQUAL

Department Legend

- COMMON SPACES
- COMMON SPACES SECONDARY
- SERVICES

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PROJECT: SOLARIS APARTMENTS
 1141 CRENSHAW BLVD.
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CLIENT: DOMUS DEVELOPMENT
 3424 WILSHIRE BLVD, SUITE 1020
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DRAWING TITLE: **FIRST FLOOR PLAN**

NO.	DESCRIPTION	DATE
PROJECT NUMBER	1823	

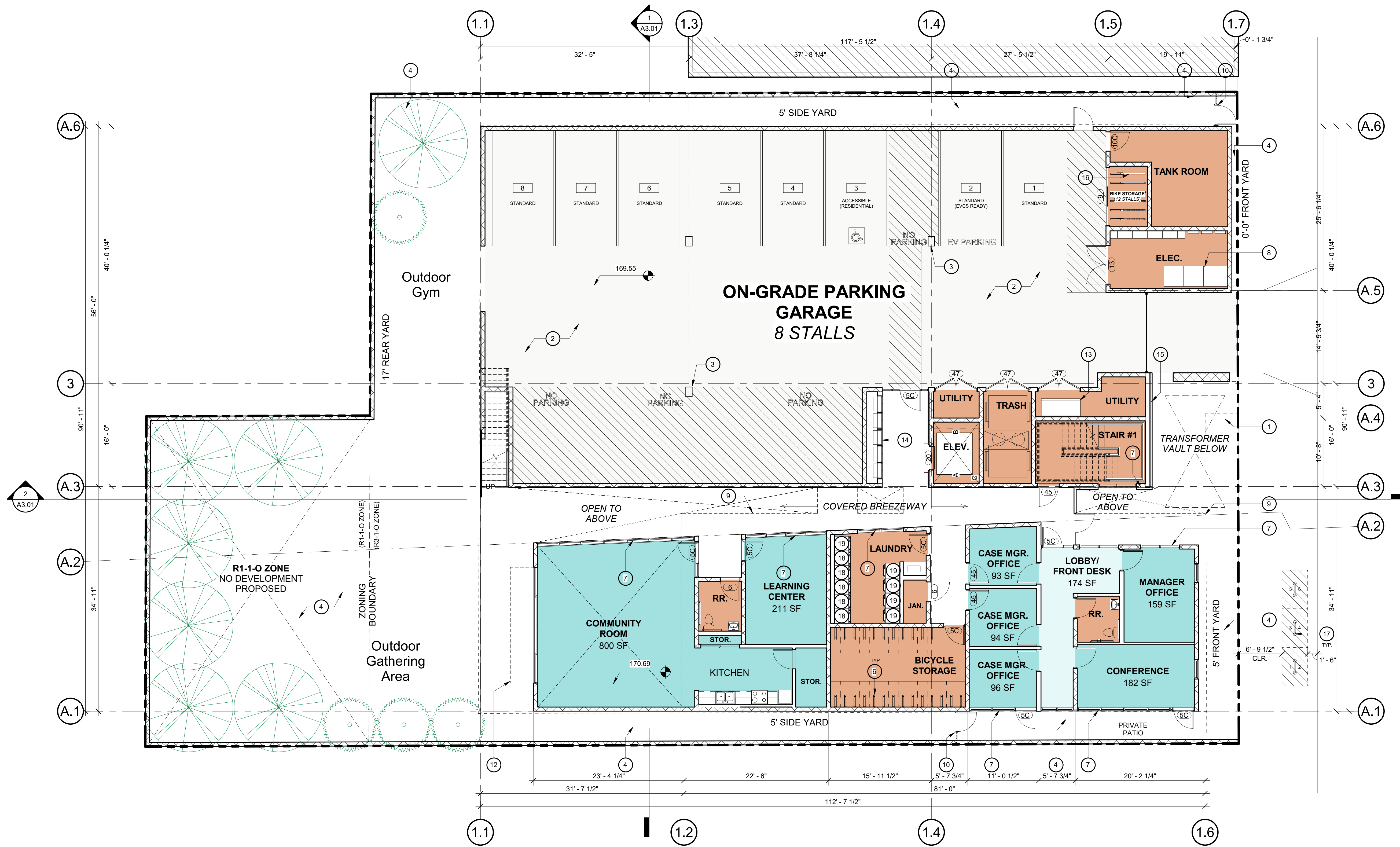
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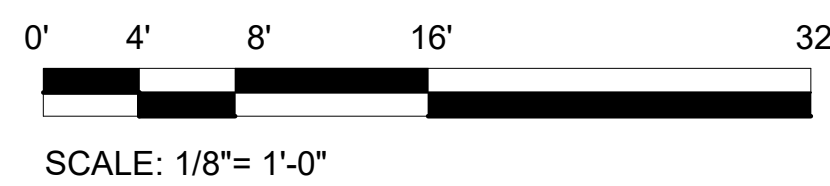
Date	3/9/2020
Drawn by	JZ
Checked by	HR

A2.01

Scale 1/8" = 1'-0"



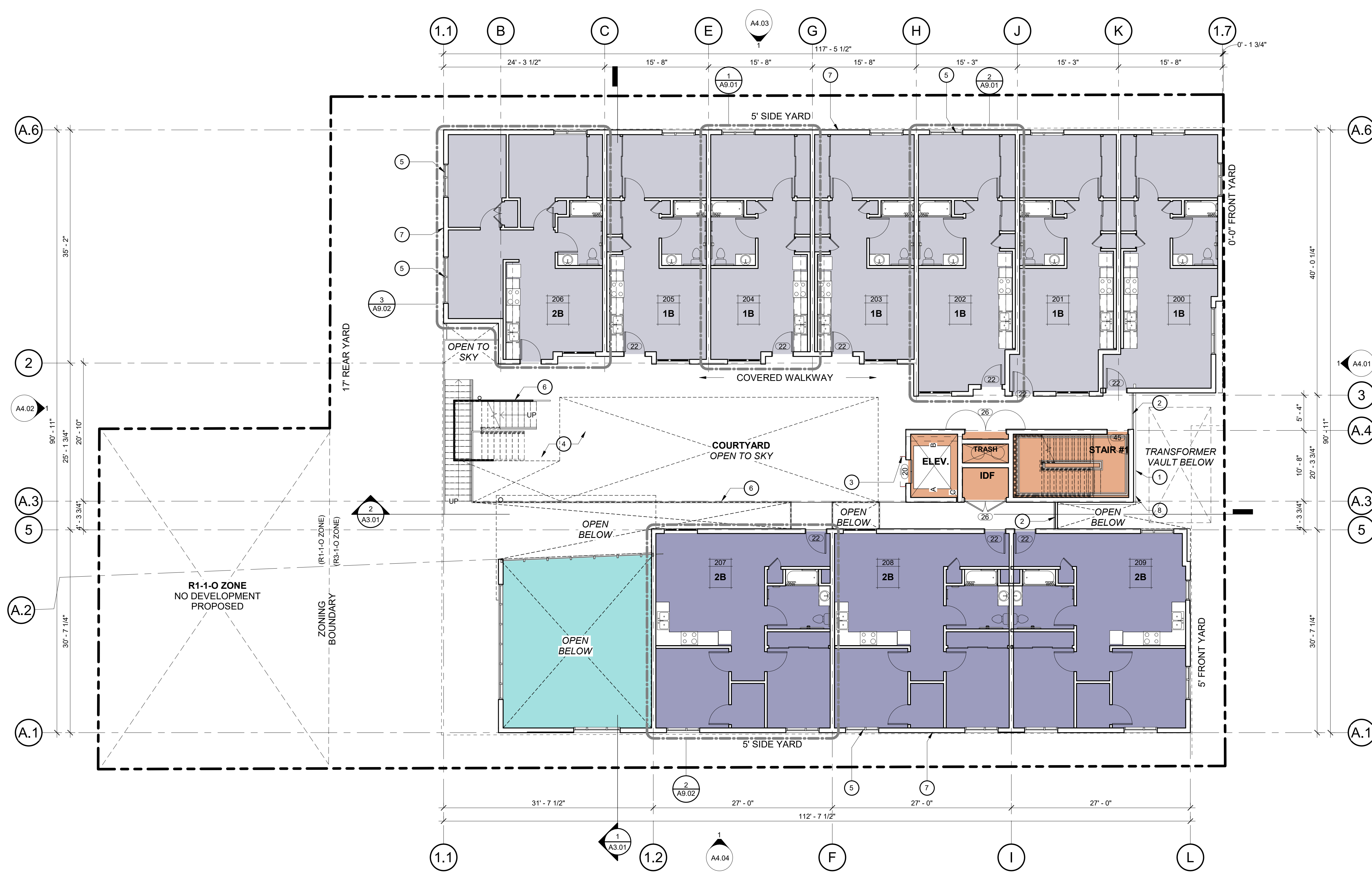
1 FIRST FLOOR PLAN
 1/8" = 1'-0"



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- GENERAL NOTES:**
1. MAIN STAIR TO INCLUDE PERMANENT SIGNAGE ENCOURAGING STAIR USE AND IS TO BE INTEGRATED WITH THE BUILDINGS WAY-FINDING PROGRAM. MAIN STAIR TO ALSO INCLUDE ARTWORK TO INCREASE VISUAL INTEREST WITHIN THE STAIRS. STAIR WIDTH OF 5' IS MORE THAN 20% OF REQUIRED CODE WIDTH
 2. 42" TALL METAL PICKET GUARDRAIL
 3. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC ESAC 77. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
 4. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
 5. VINYL WINDOW PER PLAN AND SCHEDULE
 6. PERFORATED METAL PANEL RAILING
 7. STUCCO FINISH (LA HABRA - COLOR VARIES)
 8. PERFORATED METAL PRIVACY SCREEN



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CLIENT:
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 LOS ANGELES, CA 90010

DRAWING TITLE:
 SECOND FLOOR PLAN

PROJECT NUMBER: 1823

NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION
ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
Checked by	HR

A2.02

Scale 1/8" = 1'-0"

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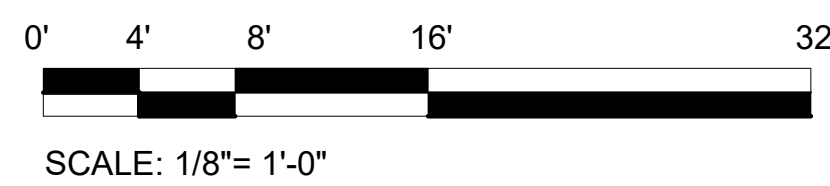
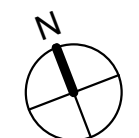
1 SECOND FLOOR PLAN
 1/8" = 1'-0"

4/3/2020 4:38:51 PM

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GENERAL NOTES:

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2. 42" TALL METAL PICKET GUARDRAIL
3. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC E5AC 77. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
4. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
5. VINYL WINDOW PER PLAN AND SCHEDULE
6. PERFORATED METAL PANEL RAILING
7. STUCCO FINISH (LA HABRA - COLOR VARIES)
8. PERFORATED METAL PRIVACY SCREEN



1 THIRD FLOOR PLAN
1/8" = 1'-0"



PROJECT:
SOLARIS APARTMENTS
1141 CRENSHAW BLVD,
LOS ANGELES, CA 90019

CLIENT:
DOMUS DEVELOPMENT
3424 WILSHIRE BLVD, SUITE 1020
LOS ANGELES, CA 90010

DRAWING TITLE:
THIRD FLOOR PLAN

PROJECT NUMBER: 1823

NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
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A2.03

Scale 1/8" = 1'-0"

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GENERAL NOTES:

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2. 42" TALL METAL PICKET GUARDRAIL
3. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC ESAC 77. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
4. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
5. VINYL WINDOW PER PLAN AND SCHEDULE
6. PERFORATED METAL PANEL RAILING
7. STUCCO FINISH (LA HABRA - COLOR VARIES)
8. PERFORATED METAL PRIVACY SCREEN



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PROJECT:
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CLIENT:
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DRAWING TITLE:
 FOURTH FLOOR PLAN

PROJECT NUMBER: 1823

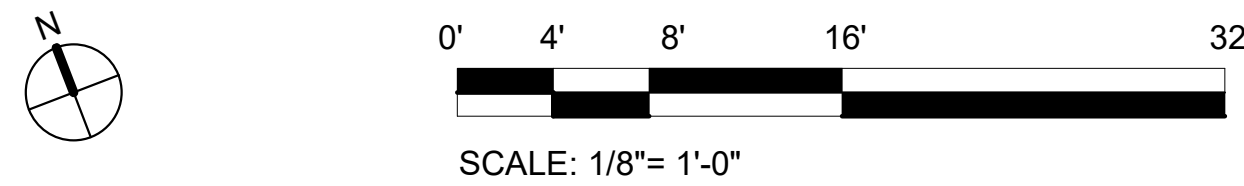
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION
ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
Checked by	HR

A2.04
 Scale 1/8" = 1'-0"

1 FOURTH FLOOR PLAN
 1/8" = 1'-0"



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GENERAL NOTES:

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2. 42" TALL METAL PICKET GUARDRAIL
3. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC ESAC 77. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
4. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
5. VINYL WINDOW PER PLAN AND SCHEDULE
6. PERFORATED METAL PANEL RAILING
7. STUCCO FINISH (LA HABRA - COLOR VARIES)
8. PERFORATED METAL PRIVACY SCREEN



1 FIFTH FLOOR PLAN
1/8" = 1'-0"



PROJECT:
SOLARIS APARTMENTS
1141 CRENSHAW BLVD,
LOS ANGELES, CA 90019

CLIENT:
DOMUS DEVELOPMENT
3424 WILSHIRE BLVD, SUITE 1020
LOS ANGELES, CA 90010

DRAWING TITLE:
FIFTH FLOOR PLAN

NO.	DESCRIPTION	DATE
PROJECT NUMBER	1823	

NOT FOR CONSTRUCTION
ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
Checked by	HR

A2.05
Scale 1/8" = 1'-0"

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- GENERAL NOTES:**
- 60MIL MIN. FIRESTONE ULTRAPLY WHITE OR EQUAL CLASS 'A' SINGLE PLY COOL ROOF OVER 1/4" DENS DECK PRIME SHEATHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TYPICAL. PROVIDE PENETRATION FLASHING AND TPO COATED SHEET METAL FLASHING PER MANUFACTURER REQUIREMENTS. MINIMUM 78 SRI (SOLAR REFLECTANCE INDEX) CONTRACTOR TO PROVIDE MINIMUM 20 YEAR NDL WARRANTY. ICC# ESR 2831 (REFER TO CUT SHEET S723-RFS-012, TIS #201 ON A10.04 FOR TECHNICAL INFORMATION)
 - PARAPET WALL
 - MECHANICAL/PLUMBING EQUIPMENT PAD (MIN. 8" A.F.F. HIGHEST ADJACENT ROOF FINISH ELEVATION OR PER MANUFACTURER RECOMMENDATIONS)
 - MECHANICAL CONDENSER UNITS
 - SOLAR PANELS / SOLAR ZONE
 - 18" LOW PARAPET WALL

GENERAL NOTES - SOLAR ZONE
 SOLAR ZONE AREA WITH TOTAL AREA EQUAL TO OR GREATER THAN 15% OF THE BUILDING'S TOTAL ROOF AREA PROVIDED (PER 2017 LAGBC 4.211.4).
 - ROOF AREA: 7,379 SF
 - SOLAR ZONE AREA REQUIRED: 7,379 SF x .15 = 1,107 SF
 - SOLAR ZONE AREA PROVIDED: 3,000 SF > 15%
 SOLAR PANELS SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT (PER 2017 LAGBC 4.211.4)

GENERAL NOTES - LID
 A. ROOF DRAINS AND DOWNSPOUTS TO DRAIN TO THE STORMWATER DRYWELL (TBD BY CIVIL ENGINEER)

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PROJECT:
 SOLARIS APARTMENTS
 1141 CRENSHAW BLVD.
 LOS ANGELES, CA 90019

CLIENT:
 DOMUS DEVELOPMENT
 3424 WILSHIRE BLVD, SUITE 1020
 LOS ANGELES, CA 90010

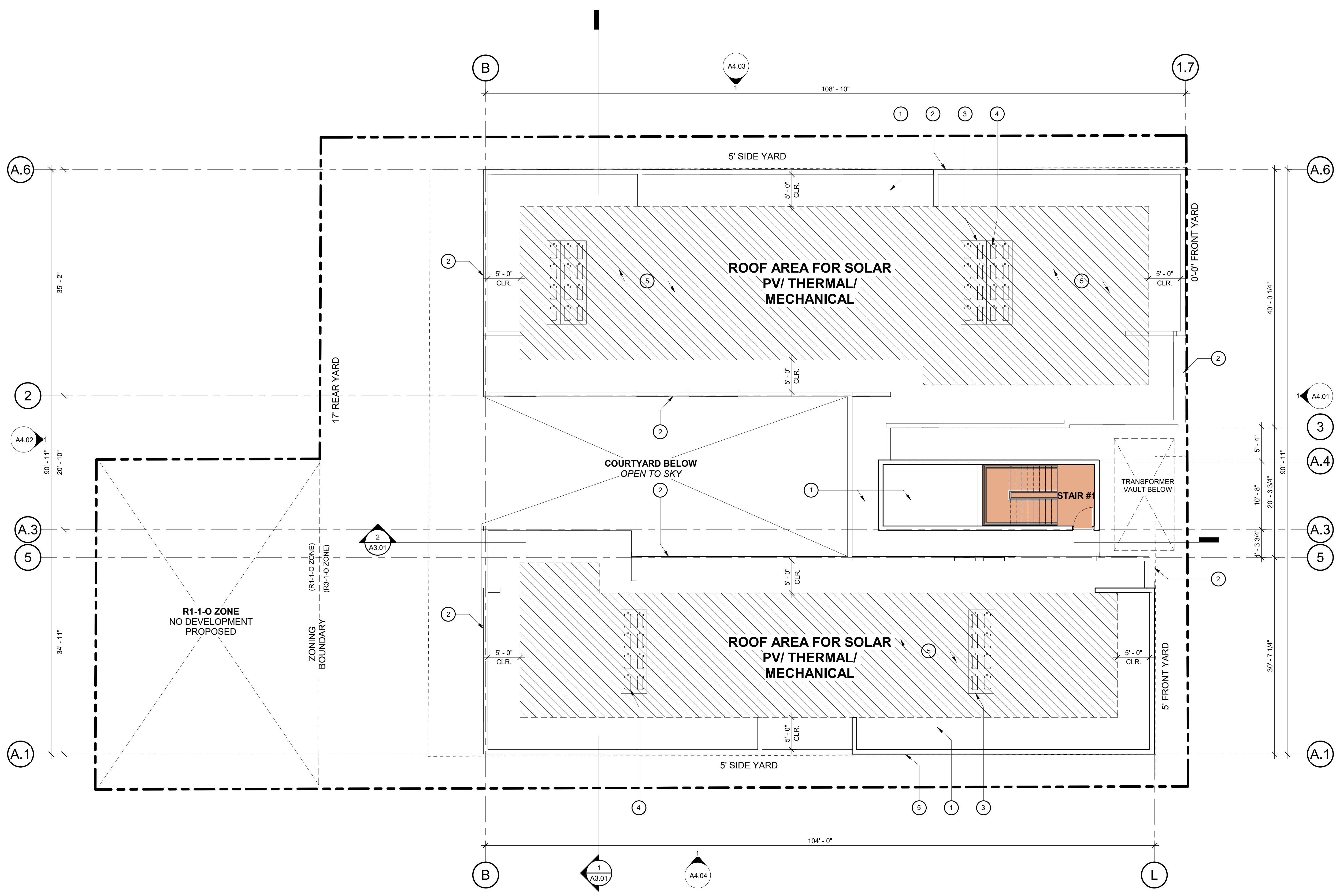
DRAWING TITLE:
ROOF PLAN

NO.	DESCRIPTION	DATE
PROJECT NUMBER	1823	

NOT FOR CONSTRUCTION
ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
Checked by	HR

A2.06
 Scale 1/8" = 1'-0"



1 ROOF PLAN
 1/8" = 1'-0"

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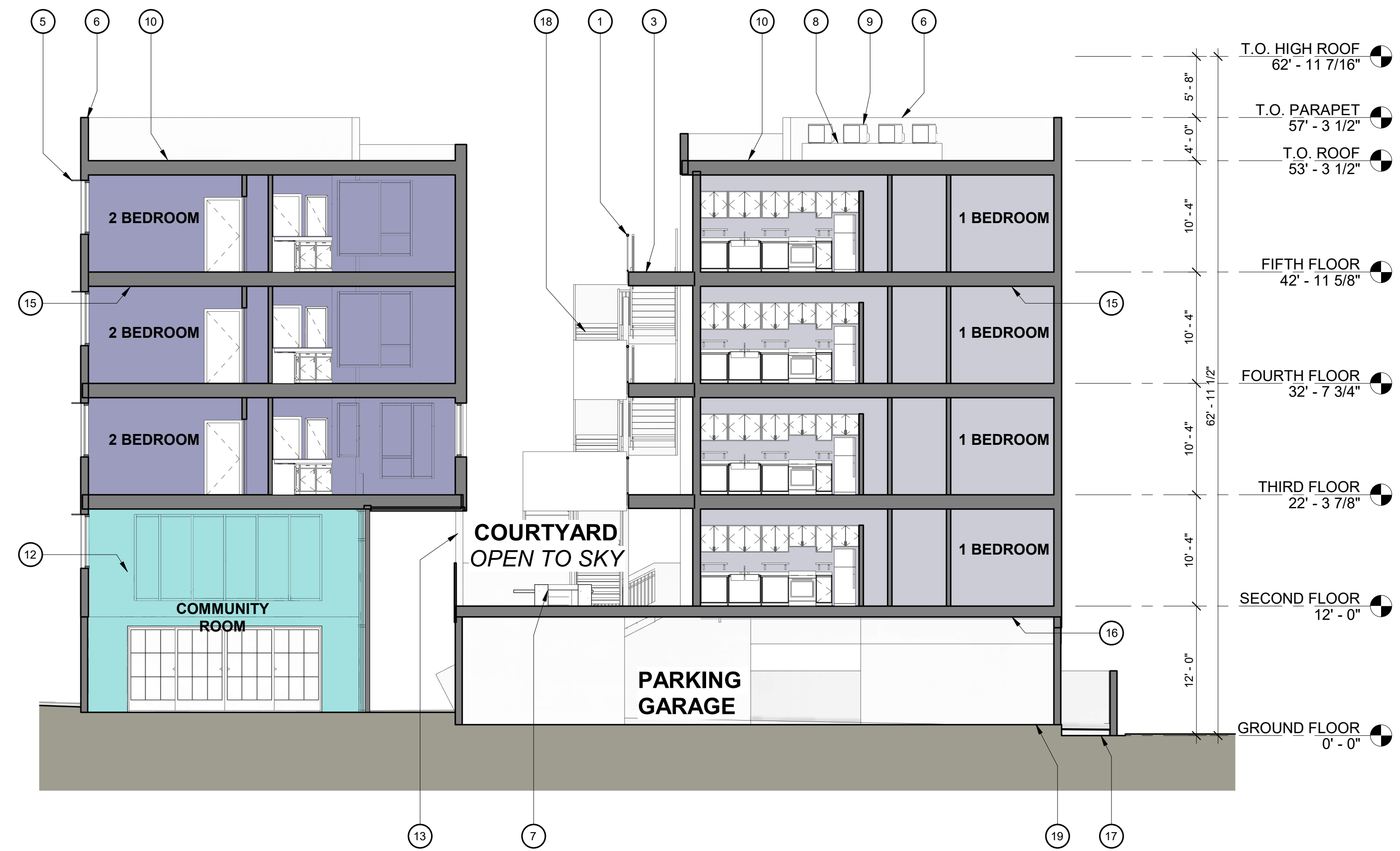
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GENERAL NOTES:

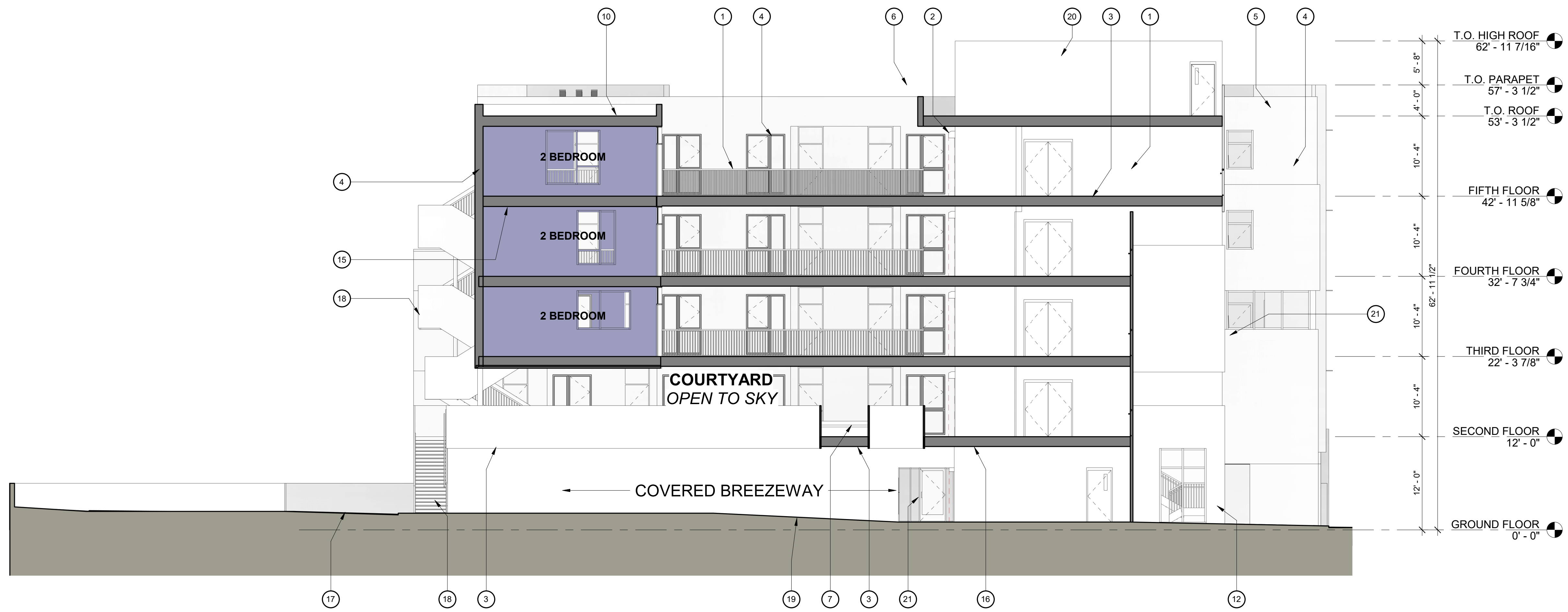
- A. ALL UNITS WILL BE COMPLY WITH UNIVERSAL DESIGN STANDARDS, AND WILL HAVE AN ISA SYMBOL OF MINIMUM 1" X 1", LOCATED WITHIN THE UNIT (BELOW THE DOOR VIEWER) AND MOUNTED PER CBC 1143A.
- B. PROJECT TO COMPLY WITH STATE'S NOISE INSULATION STANDARDS (CALIFORNIA ADMINISTRATIVE CODE TITLE 25, SECTION 1092), AND COUNTY OF LOS ANGELES CONSTRUCTION NOISE STANDARDS FOR RESIDENTIAL CONSTRUCTION
- C. INSULATED OR SOLID CORE, FLUSH, PAINT OR STAIN GRADE EXTERIOR DOORS SHALL BE MADE OF METAL CLAD OR HARDWOOD FACES, WITH A STANDARD ONE-YEAR GUARANTEE AND ALL SIX (6) SIDES FACTORY PRIMED
- D. ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- E. SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- F. PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.

GENERAL NOTES:

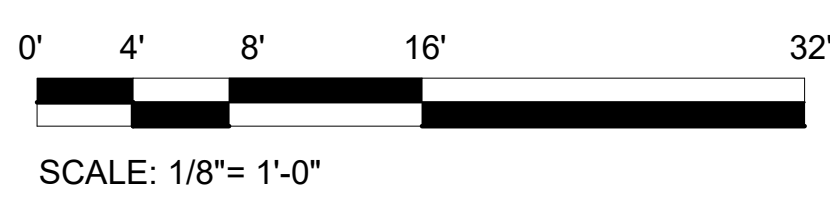
- 1. 42" TALL METAL PICKET GUARDRAIL
- 2. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC ESAC 77 - SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
- 3. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
- 4. VINYL WINDOW W/ ALUMINUM FINISH
- 5. STUD FRAMED SHEET METAL FINS W/ KYNAR FINISH (WHITE COLOR)
- 6. 48" TALL PARAPET WALL
- 7. SHEET METAL PLANTER (3'-0" TALL) W/ PLANTING (SEE LANDSCAPE DRAWINGS)
- 8. MECHANICAL/PLUMBING EQUIPMENT PAD (MIN. 8" A.F.F. HIGHEST ADJACENT ROOF FINISH ELEVATION OR PER MANUFACTURER RECOMMENDATIONS)
- 9. MECHANICAL CONDENSER UNITS
- 10. 60MIL MIN. FIRESTONE ULTRAPLY WHITE OR EQUAL CLASS 'A' SINGLE PLY COOL ROOF OVER 1/4" DENS DECK PRIME SHEATHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TYPICAL PROVIDE PENETRATION FLASHING AND TPO COATED SHEET METAL FLASHING PER MANUFACTURER REQUIREMENTS. MINIMUM 78 SRI (SOLAR REFLECTANCE INDEX) CONTRACTOR TO PROVIDE MINIMUM 20 YEAR NDL WARRANTY. ICC# ESR 2831 (REFER TO CUT SHEET S723-RFS-012, TIS #201 ON A10.04 FOR TECHNICAL INFORMATION)
- 11. ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS)
- 12. STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING).
- 13. STRUCTURAL CONCRETE COLUMN
- 14. 18" TALL LOW PARAPET
- 15. STUCCO CEILING FINISH (LA HABRA - CRYSTAL WHITE)
- 16. CONCRETE PODIUM (TBD BY STRUCTURAL ENGINEER)
- 17. PLANTING STRIP (SEE LANDSCAPING DRAWINGS)
- 18. METAL STAIR W/ TUBE METAL GUARDRAILS / HANDRAILS
- 19. CONCRETE SLAB ON-GRADE (TBD BY STRUCTURAL)
- 20. STAIR TOWER WITH ROOF ACCESS
- 21. PERFORATED METAL PRIVACY SCREEN



1 TRANSVERSE SECTION
1/8" = 1'-0"



2 LONGITUDINAL SECTION
1/8" = 1'-0"



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SOLARIS APARTMENTS
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LOS ANGELES, CA 90019

CLIENT:
DOMUS DEVELOPMENT
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LOS ANGELES, CA 90010

DRAWING TITLE:
SECTIONS

PROJECT NUMBER: 1823

NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
Checked by	HR

A3.01

Scale 1/8" = 1'-0"

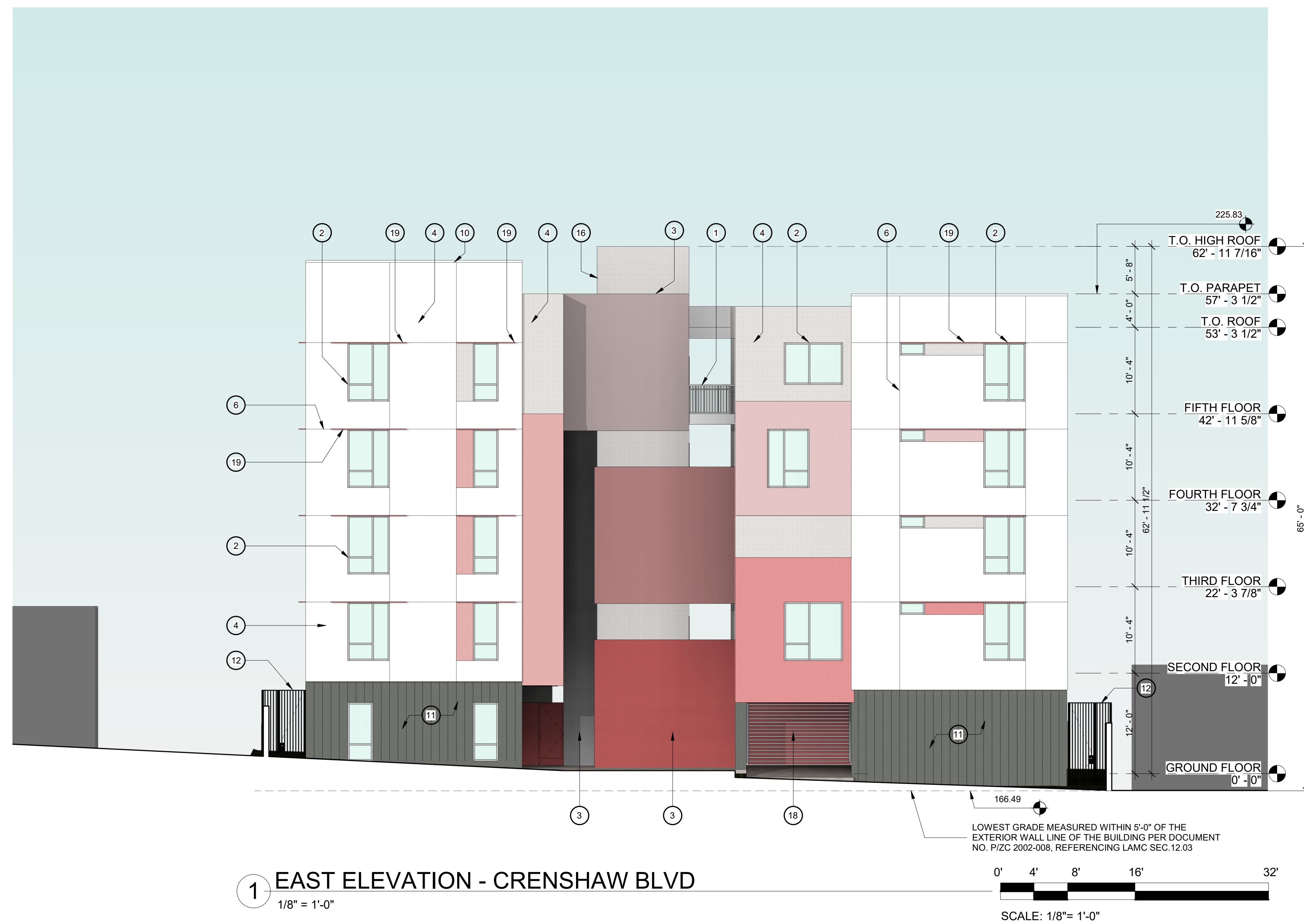
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GENERAL NOTES:

1. 42" TALL METAL PICKET GUARDRAIL
2. VINYL WINDOW W/ ALUMINUM FINISH
3. PERFORATED METAL PRIVACY PANEL WITH METAL FRAME
4. STUCCO FINISH PER FINISH SCHEDULE
5. STUCCO CONTROL JOINT
6. STUCCO AESTHETIC REVEAL JOINT
7. STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
8. STOREFRONT DOOR ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
9. STRUCTURAL CONCRETE COLUMN
10. SHEET METAL COPING (COLOR MATCHED TO STUCCO)
11. ARCHITECTURAL COLORED CONCRETE FINISH
12. WROUGHT IRON METAL FENCE (8'-0" TALL)
13. PERIMETER FENCE
14. ROUND STRUCTURAL COLUMN
15. METAL STAIR W/ TUBE METAL GUARDRAILS / HANDRAILS
16. STAIR TOWER WITH ROOF ACCESS
17. STUD FRAMED SHEET METAL FINIS W/ KYNAR FINISH
18. OVERHEAD GARAGE DOOR
19. METAL AWNING
20. PERFORATED METAL PANEL RAILING
21. SLIDING DOOR

GENERAL NOTES:

- A. ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- B. SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- C. PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.



1 EAST ELEVATION - CRENSHAW BLVD
1/8" = 1'-0"

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DRAWING TITLE:
EAST ELEVATION

PROJECT NUMBER	1823	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION
ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
Checked by	HR

A4.01
Scale 1/8" = 1'-0"

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GENERAL NOTES:

1. 42" TALL METAL PICKET GUARDRAIL
2. VINYL WINDOW W/ ALUMINUM FINISH
3. PERFORATED METAL PRIVACY PANEL WITH METAL FRAME
4. STUCCO FINISH PER FINISH SCHEDULE
5. STUCCO CONTROL JOINT
6. STUCCO AESTHETIC REVEAL JOINT
7. STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
8. STOREFRONT DOOR ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
9. STRUCTURAL CONCRETE COLUMN
10. SHEET METAL COPING (COLOR MATCHED TO STUCCO)
11. ARCHITECTURAL COLORED CONCRETE FINISH
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14. ROUND STRUCTURAL COLUMN
15. METAL STAIR W/ TUBE METAL GUARDRAILS / HANDRAILS
16. HANDRAILS
17. STAIR TOWER WITH ROOF ACCESS
18. STUD FRAMED SHEET METAL FINIS W/ KYNAR FINISH
19. OVERHEAD GARAGE DOOR
20. METAL AWNING
21. PERFORATED METAL PANEL RAILING
- SLIDING DOOR

GENERAL NOTES:

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1 WEST ELEVATION - REAR YARD
1/8" = 1'-0"

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LOS ANGELES, CA 90010

DRAWING TITLE:
WEST ELEVATION

PROJECT NUMBER	1823	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION
ENTITLEMENT SET

Date	3/9/2020
Drawn by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

A4.02

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GENERAL NOTES:

1. 42" TALL METAL PICKET GUARDRAIL
2. VINYL WINDOW W/ ALUMINUM FINISH
3. PERFORATED METAL PRIVACY PANEL WITH METAL FRAME
4. STUCCO FINISH PER FINISH SCHEDULE
5. STUCCO CONTROL JOINT
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8. STOREFRONT DOOR ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
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13. PERIMETER FENCE
14. ROUND STRUCTURAL COLUMN
15. METAL STAIR W/ TUBE METAL GUARDRAILS / HANDRAILS
16. STAIR TOWER WITH ROOF ACCESS
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18. OVERHEAD GARAGE DOOR
19. METAL AWNING
20. PERFORATED METAL PANEL RAILING
21. SLIDING DOOR

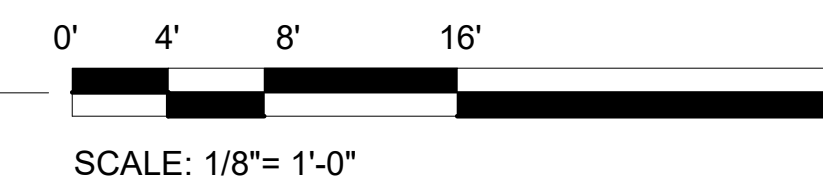
GENERAL NOTES:

- A. ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
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- C. PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.



1 NORTH ELEVATION - SIDE YARD
1/8" = 1'-0"

LOWEST GRADE MEASURED WITHIN 5'-0" OF THE EXTERIOR WALL LINE OF THE BUILDING PER DOCUMENT NO. P/2C 2002-006, REFERENCING LAMC SEC. 12.03



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CLIENT:
DOMUS DEVELOPMENT
3424 WILSHIRE BLVD, SUITE 1020
LOS ANGELES, CA 90010

DRAWING TITLE:

NORTH ELEVATION

PROJECT NUMBER 1823

NO.	DESCRIPTION	DATE
-----	-------------	------

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/9/2020
Drawn by	JZ
Checked by	HR

A4.03

Scale 1/8" = 1'-0"

Q:\1823 - Solaris Apartments\01 - Production\02_Schematic Design\Revit\1823 - Solaris Apartments - SD (2020).rvt

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GENERAL NOTES:

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20. PERFORATED METAL PANEL RAILING
21. SLIDING DOOR

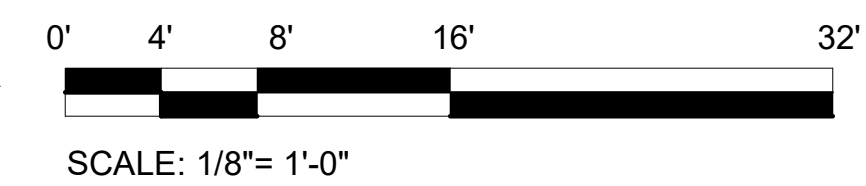
GENERAL NOTES:

- A. ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- B. SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- C. PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.



1 SOUTH ELEVATION - SIDE YARD
1/8" = 1'-0"

LOWEST GRADE MEASURED WITHIN 5'-0" OF THE EXTERIOR WALL LINE OF THE BUILDING PER DOCUMENT NO. P/ZC 2002-006, REFERENCING LAMC SEC. 12.03



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CLIENT:
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LOS ANGELES, CA 90010

DRAWING TITLE:
SOUTH ELEVATION

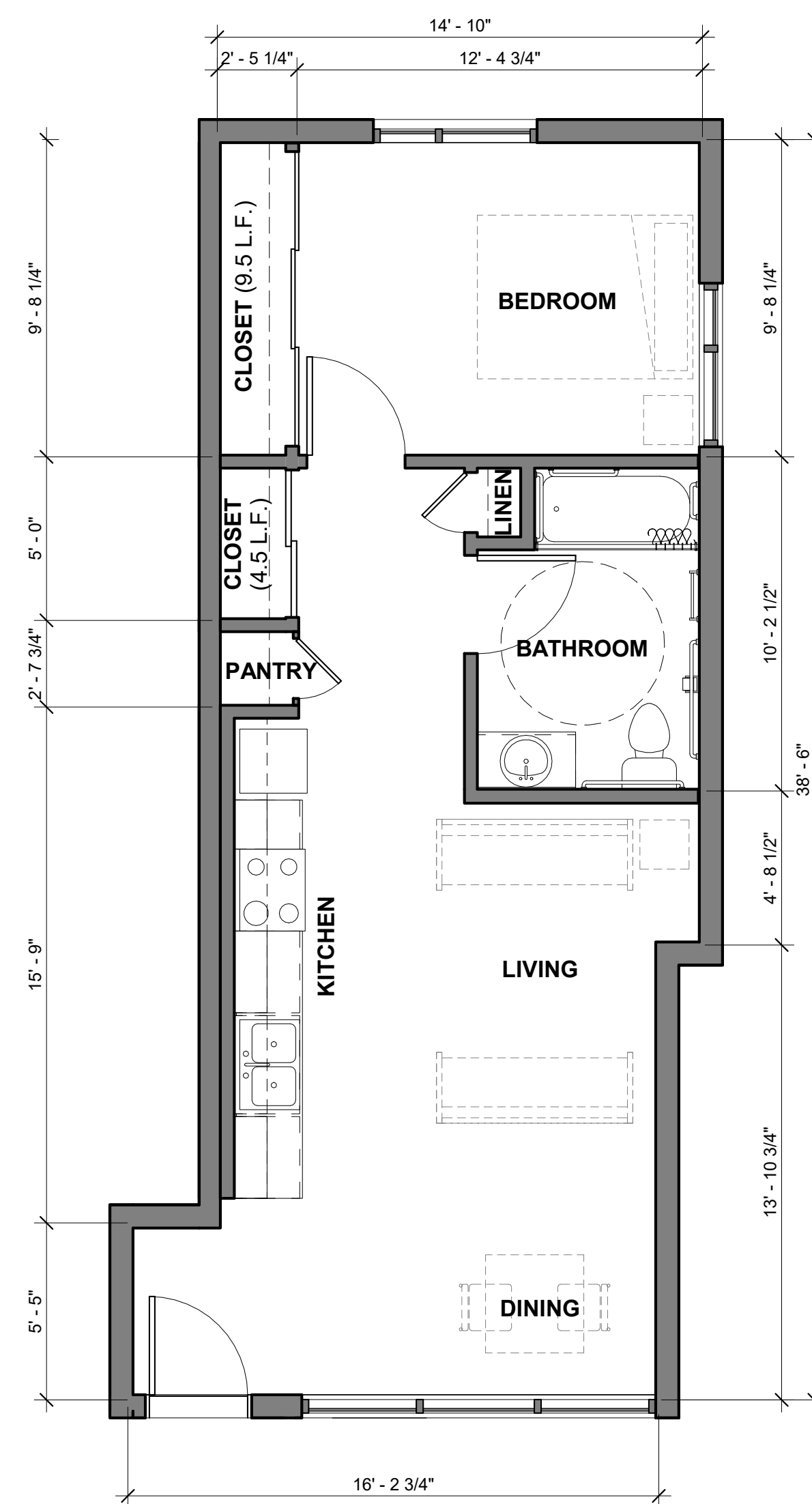
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NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION
ENTITLEMENT SET

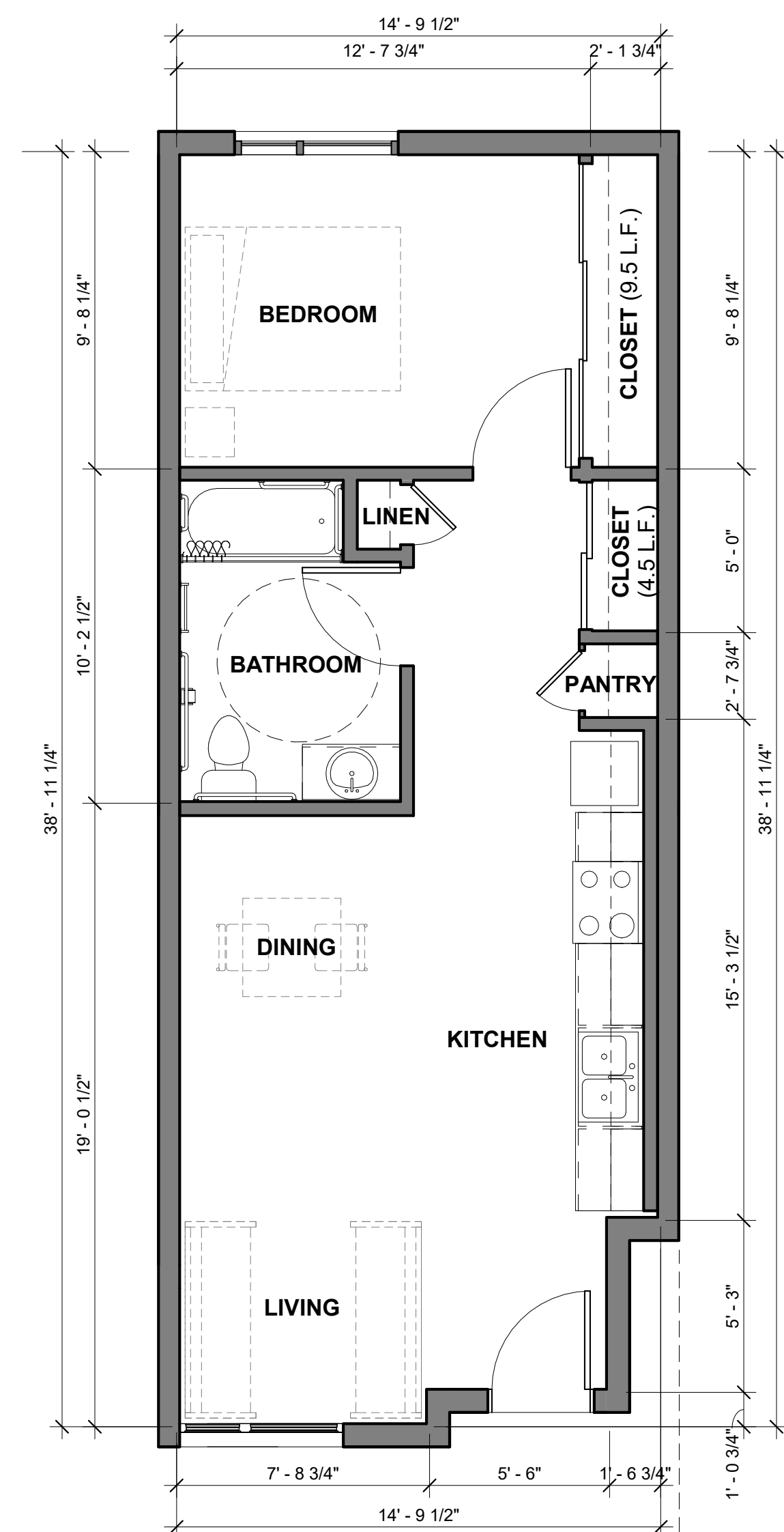
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Drawn by	JZ
Checked by	HR
Scale	1/8" = 1'-0"

A4.04

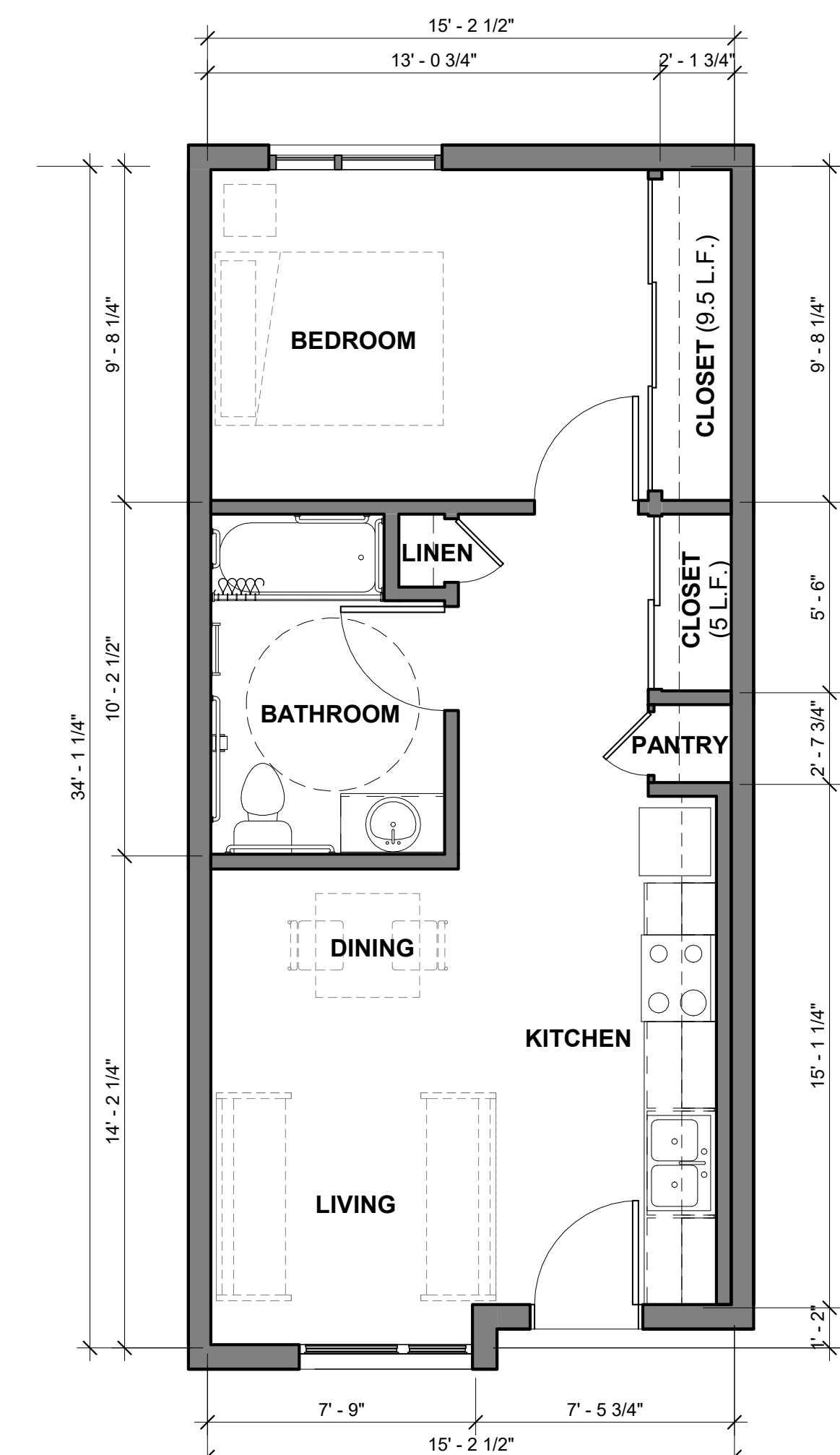
GENERAL NOTES:



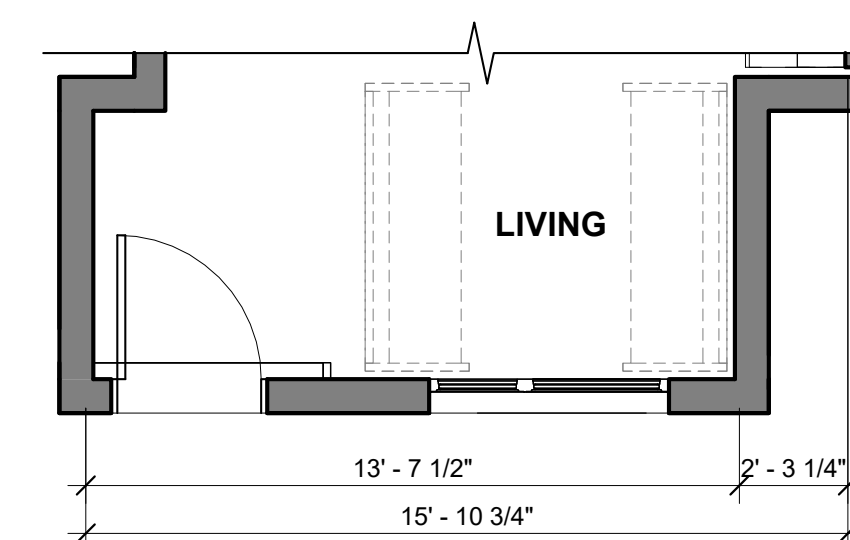
4 ONE BEDROOM - TYPE C
1/4" = 1'-0" UNIT SQ FT 550 SF



2 ONE BEDROOM - TYPE B
1/4" = 1'-0" UNIT SQ FT 550 SF



1 ONE BEDROOM - TYPE A
1/4" = 1'-0" UNIT SQ FT 500 SF



3 ONE BEDROOM - ALTERNATE ENTRY
1/4" = 1'-0"



PROJECT:
SOLARIS APARTMENTS

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LOS ANGELES, CA 90019

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LOS ANGELES, CA 90010

DRAWING TITLE:

ENLARGED UNIT PLANS

PROJECT NUMBER 1823

NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date 3/9/2020

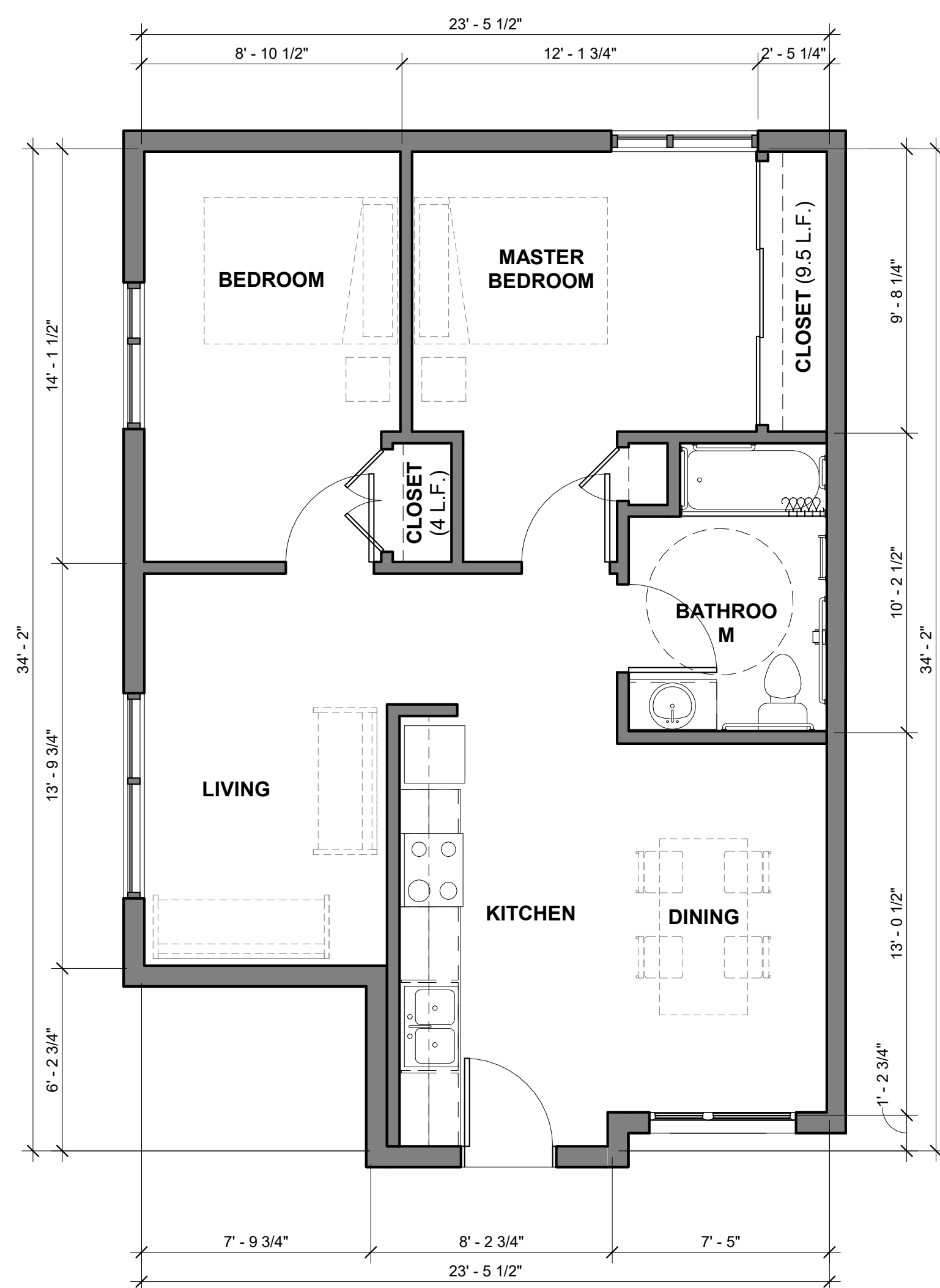
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Checked by HR

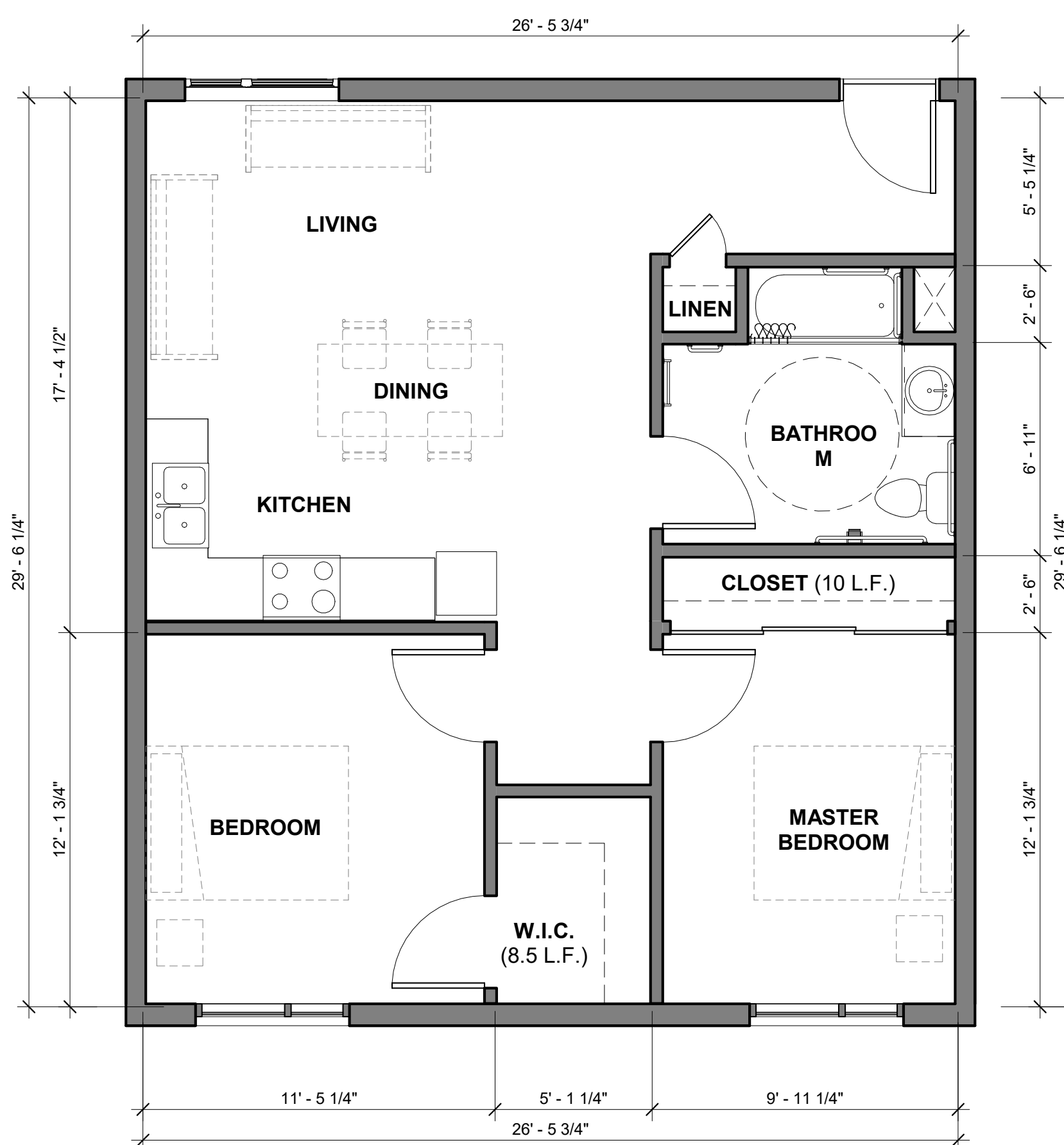
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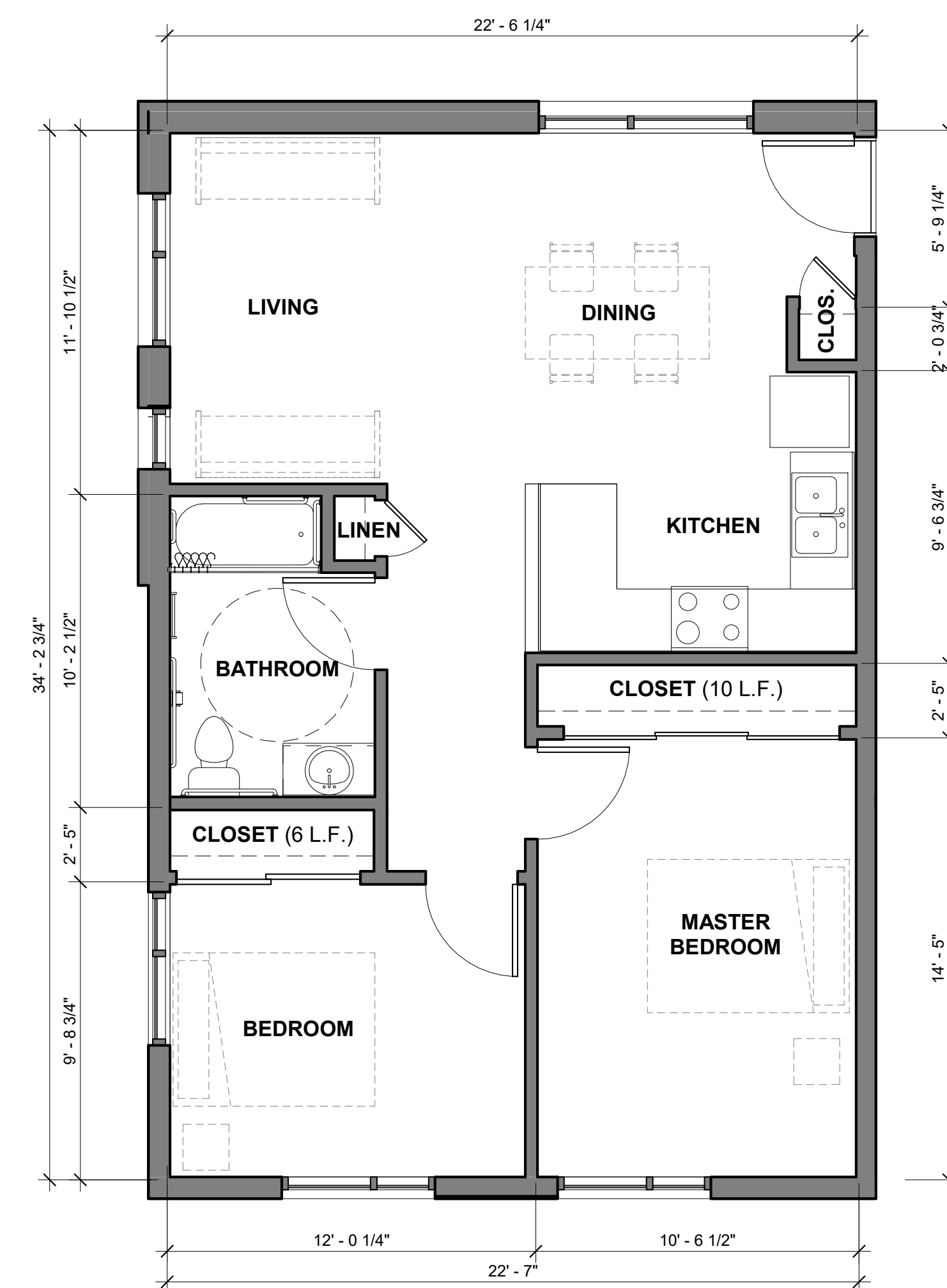
GENERAL NOTES:



3 TWO BEDROOM - TYPE C
1/4" = 1'-0" UNIT SQ FT 770 SF



2 TWO BEDROOM - TYPE B
1/4" = 1'-0" UNIT SQ FT 770 SF



1 TWO BEDROOM - TYPE A
1/4" = 1'-0" UNIT SQ FT 760 SF

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3424 WILSHIRE BLVD, SUITE 1020
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DRAWING TITLE:
ENLARGED UNIT PLANS

NO.	DESCRIPTION	DATE
PROJECT NUMBER		1823

NOT FOR CONSTRUCTION

ENTITLEMENT SET	
Date	3/9/2020
Drawn by	HR
Checked by	HR

A9.02

Scale 1/4" = 1'-0"

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GENERAL NOTES:



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LOS ANGELES, CA 90010

DRAWING TITLE:
PERSPECTIVE FROM CRENSHAW BLVD.

PROJECT NUMBER	1823	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET	
Date	3/9/2020
Drawn by	JZ
Checked by	HR

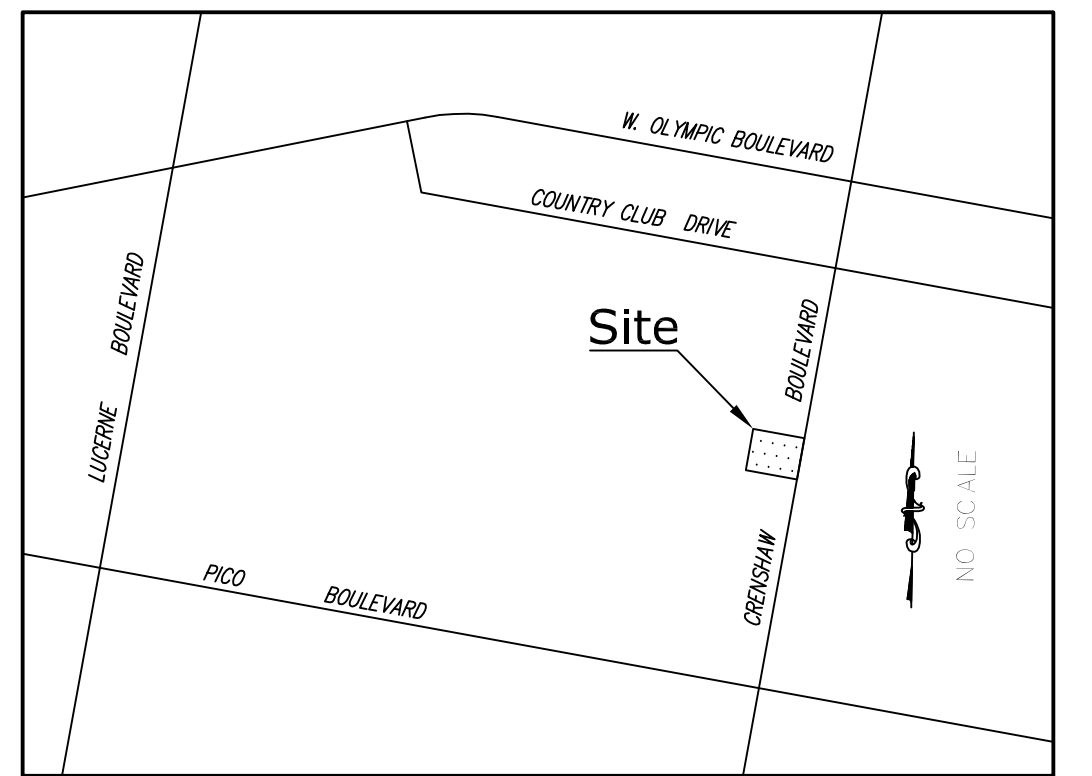
A10.01

Scale

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

1141-1145 Crenshaw Blvd., Los Angeles, CA 90006

VICINITY MAP



LEGAL DESCRIPTION

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF LOS ANGELES, CITY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL ONE: LOT 72 OF N.C. KELLEY'S MOUNTAIN VIEW TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 1 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL TWO: THE NORTHERLY 51.335 FEET (MEASURED AT RIGHT ANGLES) OF THOSE PORTIONS OF LOTS 39 AND 40 OF OXFORD SQUARE, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 141 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT 39, DISTANT SOUTHEASTERLY 137 FEET FROM THE SOUTHWEST CORNER OF SAID LOT; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT 39, SOUTH 65° 22' 55" EAST 34.7 FEET TO AN ANGLE IN SAID SOUTHERLY LINE; THENCE NORTH 24° 37' 05" EAST 9.45 FEET TO AN ANGLE IN SAID SOUTHERLY LINE; THENCE CONTINUING ALONG SAID SOUTHERLY LINE, SOUTH 65° 45' 25" EAST 135.57 FEET TO, TO THE SOUTHEAST CORNER OF SAID LOT 39 IN THE NORTHWESTERLY LINE OF CRENSHAW BOULEVARD; THENCE ALONG SAID BOULEVARD, NORTH 24° 16' 35" EAST 75.66 FEET, SOUTH 88° 36' EAST 16.20 FEET AND NORTH 24° 37' 05" EAST 18.90 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 40; THENCE ALONG THE NORTHEASTERLY LINE OF SAID LOT 40 AND PROLONGATION, NORTH 65° 22' 55" WEST 184.7 FEET TO A POINT DISTANT SOUTHEASTERLY ALONG SAID PROLONGATION 137.00 FEET FROM THE SOUTHEASTERLY LINE OF VICTORIA AVENUE (FORMERLY ALTA AVENUE), AS SHOWN ON THE MAP OF SAID OXFORD SQUARE; THENCE PARALLEL WITH THE SAID SOUTHEASTERLY LINE, SOUTH 24° 37' 05" WEST 110 FEET TO THE POINT OF BEGINNING.

SCHEDULE B ITEMS

BASED UPON TITLE REPORT NO. 1117019627-JM, DATED NOVEMBER 20, 2019 AS PREPARED BY OLD REPUBLIC TITLE COMPANY.

- TAXES (NOT A SURVEY MATTER).
- TAXES (NOT A SURVEY MATTER).
- TAXES (NOT A SURVEY MATTER).
- TAXES (NOT A SURVEY MATTER).
- TAXES (NOT A SURVEY MATTER).
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS (NOT A SURVEY MATTER).
- AN EASEMENT FOR STORM SEWER PURPOSES RECORDED SEPTEMBER 30, 1914 IN BOOK 5888, PAGE 259 OF DEEDS (PLOTTED HEREON).
- AN EASEMENT TO CONSTRUCT, MAINTAIN, INSPECT AND REPAIR A SANITARY SEWER AND STORM SEWER ALONG, IN OR THROUGH SAID LAND, AS CONDEMNED BY FINAL DECREE OF CONDEMNATION MADE IN CASE 89-17798 AND IN 89-32421, SUPERIOR COURT, CERTIFIED COPIES OF WHICH DECREE ARE RECORDED NOVEMBER 11, 1915, BOOK 6138 PAGE 106 AND RECORDED JUNE 27, 1917, BOOK 6488 PAGE 322 BOTH OF DEEDS (PLOTTED HEREON).
- AN EASEMENT FOR ELECTRIC WIRES AND TELEPHONE LINE RECORDED APRIL 19, 1928 IN BOOK 7890, PAGE 137 OF OFFICIAL RECORDS (PLOTTED HEREON).
- AN EASEMENT FOR PUBLIC STREET RECORDED SEPTEMBER 10, 1940 IN BOOK 17848, PAGE 22 OF OFFICIAL RECORDS (PLOTTED HEREON).
- AN EASEMENT FOR PUBLIC STREET RECORDED SEPTEMBER 23, 1940 IN BOOK 17852, PAGE 134 OF OFFICIAL RECORDS (PLOTTED HEREON).
- TERMS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT WHEREIN OWNERS AGREE TO HOLD SAID LAND AS ON PARCEL RECORDED MAY 6, 1960 IN BOOK M509, PAGE 332 OF OFFICIAL RECORDS (NOT A SURVEY MATTER).
- TERMS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT WHEREIN OWNERS AGREE TO HOLD SAID LAND AS ON PARCEL RECORDED OCTOBER 6, 1960 IN BOOK M620, PAGE 834 OF OFFICIAL RECORDS (NOT A SURVEY MATTER).
- OIL AND GAS LEASE FOR AND UPON THE TERMS, COVENANTS AND CONDITIONS RECORDED MARCH 7, 1961 AS INSTRUMENT NO. 2182 OF OFFICIAL RECORDS (NOT A SURVEY MATTER).
- RIGHTS OF THE PUBLIC, COUNTY AND/OR CITY, IN AND TO THAT PORTION OF SAID LAND LYING WITHIN THE LINES OF CRENSHAW BOULEVARD (PLOTTED HEREON).
- DEED OF TRUST (NOT A SURVEY MATTER).
- ANY FACTS, RIGHTS, INTERESTS, OR CLAIMS THAT ARE NOT SHOWN BY THE PUBLIC RECORD BUT THAT COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR THAT MAY BE ASSERTED BY PERSONS IN POSSESSION OF THE LAND (NOT A SURVEY MATTER).
- ANY UNRECORDED AND SUBSISTING LEASES (NOT A SURVEY MATTER).
- THE REQUIREMENT THAT THIS COMPANY BY PROVIDED WITH A SUITABLE OWNER'S DECLARATION (FORM ORT 174). THE COMPANY RESERVES THE RIGHT TO MAKE ADDITIONAL EXCEPTIONS AND/OR REQUIREMENTS UPON REVIEW OF THE OWNER'S DECLARATION (NOT A SURVEY MATTER).

SURVEYOR'S CERTIFICATE

TO 1141 CRENSHAW, L.P. A CALIFORNIA LIMITED PARTNERSHIP; OLD REPUBLIC TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS/LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(c), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, 14, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 4, 2020.

DATE OF PLAT OR MAP: MARCH 12, 2020.

ZONING RESTRICTIONS

NOTE: INDICATED ZONING INFORMATION IS FROM THE CITY OF LOS ANGELES ZONING ORDINANCES IN EFFECT AS OF THE DATE OF THIS SURVEY. ZONING AND RESTRICTIONS SHOWN HEREON WERE OBTAINED BY A GENERAL REQUEST AT THE PUBLIC COUNTER OF THE ABOVE NAMED DEPARTMENT. NO REPRESENTATION IS MADE FOR THE ACCURACY OR COMPLETENESS OF SAID THIRD PARTY INFORMATION. THIS FIRM IS NOT AN EXPERT IN THE REPRESENTATION OF COMPLEX ZONING ORDINANCES. COMPLIANCE IS BEYOND THE SCOPE OF THIS SURVEY. ANY USER OF SAID INFORMATION IS URGED TO CONTACT THE LOCAL AGENCY DIRECTLY.

ZONES: C2 (AREA 0.172 A.C. OR 7,500 SQ. FT.)
R3 (AREA 0.167 A.C. OR 7,267 SQ. FT.)
R1 (AREA 0.041 A.C. OR 1,784 SQ. FT.)

MINIMUM SETBACKS: FRONT: NOT REQUIRED
SIDE & REAR: NOT REQUIRED FOR BUILDINGS ERECTED AND USED EXCLUSIVELY FOR COMMERCIAL PURPOSES.

HEIGHT RESTRICTIONS: NONE SPECIFIED

ITEMS CORRESPONDING TO TABLE A ITEMS

- ITEM 14: THE NEAREST INTERSECTING STREET TO THE PROPERTY IS COUNTRY CLUB DRIVE TO THE NORTH AS SHOWN HEREON.
- ITEM 16: NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- ITEM 17: NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- ITEM 18: NO EVIDENCE OF WETLANDS ON THE SUBJECT PROPERTY. NO DELINEATION MARKERS OF WETLANDS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

SURVEYOR'S NOTES

- THE UTILITIES SHOWN HEREON ARE BASED ON OBSERVED EVIDENCE ONLY. THIS SURVEY WOULD NOT SHOW UTILITIES COVERED BY CARS/TRUCKS OR RECENTLY PAVED ASPHALT/CONCRETE OR OVERGROWN BRUSH, TREES AND SHRUBS.
- THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.
- UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "AO" (DEPTH 2 FEET) OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 960370192C, PANEL DATED DECEMBER 21, 2018. THIS PROPERTY IS NOT LOCATED IN AN AREA WHERE FLOOD HAZARDS EXIST AS DETERMINED BY FEMA. BY TELEPHONE CALL TO THE NATIONAL FLOOD INSURANCE PROGRAM (800-638-6620) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

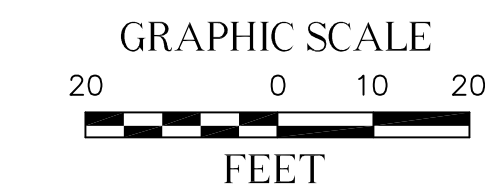
POSSIBLE ENCROACHMENT NOTES

THIS IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

- BLOCK WALL FALLS OUTSIDE THE PROPERTY ON THE NORTHWESTERLY SIDE.
- BLOCK WALL & POLE ARM OVERLAPS INTO THE PROPERTY LINE ON THE NORTHWESTERLY SIDE.
- GATE OVERLAPS INTO THE PROPERTY LINE ON THE NORTHERLY SIDE.
- IRON FENCE FALLS OUTSIDE THE PROPERTY ON THE SOUTHERLY SIDE.

LEGEND

APN	ASSESSOR'S PARCEL NUMBER	●	FOUND MONUMENT AS NOTED
CL	CENTERLINE	○	GUARD POST
Ø	DIAMETER OF EXISTING TREE	□	LIGHT STANDARD
DI	DRAIN INLET	—	POWER POLE
DW	DRIVEWAY	⊙	SEWER MANHOLE
FS	FINISH SURFACE	⊙	STORM DRAIN MANHOLE
FL	FLOW LINE	⊙	STREET LIGHT
GM	GAS METER	⊙	TREE (TYPICAL)
INV	INVERT	⊙	UTILITY POLE
NG	NATURAL GROUND	⊙	WATER FAUCET
POB	POINT OF BEGINNING	⊙	WATER METER
POC	POINT OF COMMENCING	⊙	WATER VALVE
PL	PROPERTY LINE	—	BLOCK WALL
R/W	RIGHT OF WAY	—	CANOPY
TC	TOP OF BERM	—	CENTERLINE
TB	TOP OF CURB	—	EASEMENT LINE
TG	TOP OF GRADE	—	EDGE OF PAVEMENT
TOP	TOP OF STRUCTURE	—	FLOW LINE
TW	TOP OF WALL	—	INTERIOR LOT LINE
TR	TRANSFORMER	—	MONUMENT LINE
WM	WATER METER	—	OVERHEAD LINE
—	ASPHALT PAVEMENT	—	PROPERTY LINE
—	CONCRETE PAVEMENT	—	RIGHT-OF-WAY
⊙	CONTROL POINT	—	SANITARY SEWER LINE
⊙	GAS VALVE	—	STORM DRAIN LINE
⊙	FIRE HYDRANT	—	WROUGHT IRON FENCE



POR LOT 40
M.B. 6/1
A.P.N. 5082-026-016
OWNER: CHONG K HO

POR LOT 40
M.B. 6/1
A.P.N. 5082-026-015
OWNER: BORROMEO
MASCARDO/CARMENCTA
MASCARDO

POR LOT 39 & 40
M.B. 6/1
A.P.N. 5082-026-014
OWNER: BYUNG K KANG

POR LOT 39
M.B. 6/1
A.P.N. 5082-025-023
OWNER: ALAN SILBERT/
JUDITH SILBERT

POR LOT 39
M.B. 6/1
A.P.N. 5082-025-024
OWNER: MOON YONG &
ARI LIVING TRUST

MONUMENT NOTES

MON.#	DESCRIPTION
M4	FD SPIKE & WASHER, DN. 02', PER PARCEL MAP 2005-3459, P.M.B. 341/85-86

LINE #	DIRECTION	LENGTH
L1	N65°28'54"W	45.01'
L2	N24°12'29"E	26.06'
L3	N88°40'06"W	16.20'
L4	N24°32'59"E	68.90'
L5	S65°28'54"E	30.00'
L6	N24°32'53"E	50.00'
L7	N65°28'54"W	34.75'
L8	N24°32'59"E	51.34'

CONTROL POINTS

CP#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP1	6321.42'	5911.77'	169.72'	SET MAG/TIN
CP2	6281.12'	6042.84'	167.94'	SET 60D

NO.	DATE	REVISIONS	BY
0	03/06/20	SUBMITTAL	RM
1	03/12/20	NEW ZONING	HP

UTILITY STATEMENT

BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE, RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH CALVADA SURVEYING, INC. OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF SUCH INFORMATION. IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. CALVADA SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.

Underground Service Alert

Call: TOLL FREE 1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

PREPARED FOR

UNITED CIVIL
1180 DUFFRE AVE., SUITE 220
SOUTH EL MONTE, CA 91733
PHONE: (626) 575-9999

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF CRENSHAW BOULEVARD, BEING N 24°32'59" E PER PARCEL MAP L.A. NO. 2005-3459, RECORDED IN BOOK 341 PAGES 85 AND 86 OF PARCEL MAPS, RECORDER IN THE OFFICE OF THE CITY OF LOS ANGELES.

BENCHMARK

THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE SMARTNET NORTH AMERICA C.O.R.S. CASH ELEVATION 218.41 FEET (NAVD 88).

SITE INFORMATION

SITE ADDRESS: 1141-1145 CRENSHAW BLVD., LOS ANGELES, CA 90006

PARCEL ONE (5082-026-012)
PROPERTY AREA: 0.172 A.C. OR 7,500 SQ. FT.
PARKING COUNT: 34 PARKING STALLS

PARCEL TWO (5082-026-013)
PROPERTY AREA: 0.208 A.C. OR 9,051 SQ. FT.
PARKING COUNT: 5 REGULAR PARKING STALLS
24 DOUBLE PARKING STALLS
29 TOTAL PARKING STALLS

TOTAL PROPERTY: 0.380 A.C. OR 16,551 SQ. FT.

SURVEYOR OF RECORD FIELD COMPLETION DATE: MARCH 4, 2020.

CALVADA SURVEYING, INC.

411 Jenks Cir., Suite 205, Corona, CA 92880
Phone: 951-280-9960 Fax: 951-280-9746
Toll Free: 800-CALVADA www.calvada.com

EST. 1989 JOB NO. 20038-1

Armando D. DuFont
Registration No. 7780

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	* Arbutus 'Marina'	Strawberry Tree	24"box	5		low 0.3
⊙	* Laurus nobilis	Sweet Bay	15-gal	14	hedge	low 0.3
⊙	* Cercis canad. 'Forest pansy'	Eastern Redbud	24"box	2		low 0.3
⊙	* Podocarpus g. 'Ice Blue'	Fern Pine	24"box	4		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	* Carex divulsa	Berkeley Sedge	5-gal	23		low 0.3
⊙	* Carpenteria californica	Bush Anemone	5-gal	8		low 0.3
⊙	* Dietes bicolor	Fortnight Lily	5-gal	18		low 0.3
⊙	* Distictis rivers	Royal Trumpet Vine	5-gal	8	train to wall	low 0.3
⊙	* Duchesnea indica	Indian Mock Strawberry	flats	6"oc		low 0.3
⊙	* Heuchera maxima	Island Alum Root	5-gal	24"oc		low 0.3
⊙	* Muhlenbergia rigens	Deer Grass	5-gal	11		low 0.3
⊙	* Myoporum p. 'Pink'	Pink Australian Racer	5-gal	5'oc		low 0.3
⊙	* Salvia l. 'Midnight'	Mexican Sage	5-gal	10		low 0.3
⊙	* Strelitzia juncea	Narrow-leafed Bird of Paradise	5-gal	7		low 0.3
⊙	* Portulacaria afra 'Aurea'	Yellow Rainbow Bush	5-gal	36"oc		low 0.3

* Points claimed

All trees to be planted with commercial root barriers. 3" deep shredded Cedar bark to spread between plants.

NOTE: 1x 24" BOX TREE PER 4 D.U. PER LAMC 12.21.6.2.a.3. TREE REQUIREMENT IS INTENDED TO BE AVERAGED ACROSS ALL ZONES. NO PORTION OF BUILDING OR STRUCTURE LOCATED IN R1 ZONE.

NOTE: All groundcover areas where plants are 4' or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE: REAR SETBACK (17-feet) TAKEN FROM ZONE BOUNDARY LINE BETWEEN R1/R3 ZONES. REFER TO ARCHITECTURAL PLANS FOR MORE DETAIL.

NOTE: Waterproofing and drains in planters by others.



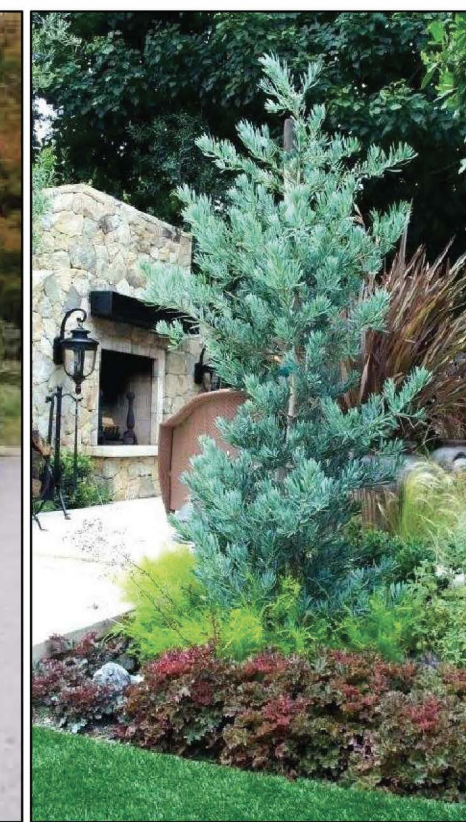
Arbutus 'Marina' / Strawberry Tree



Cercis canad. 'Forest pansy' / Eastern Redbud



Laurus nobilis / Sweet Bay



Podocarpus g. 'Ice Blue' / Fern Pine



Carpenteria californica / Bush Anemone



Myoporum p. 'Pink' / Pink Australian Racer



Dietes bicolor / Fortnight Lily



Distictis rivers / Royal Trumpet Vine



Duchesnea indica / Indian Mock Strawberry



Heuchera maxima / Island Alum Root



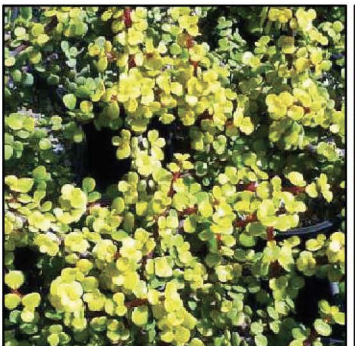
Muhlenbergia rigens / Deer Grass



Salvia l. 'Midnight' / Mexican Sage



Strelitzia juncea / Narrow-leafed Bird of Paradise



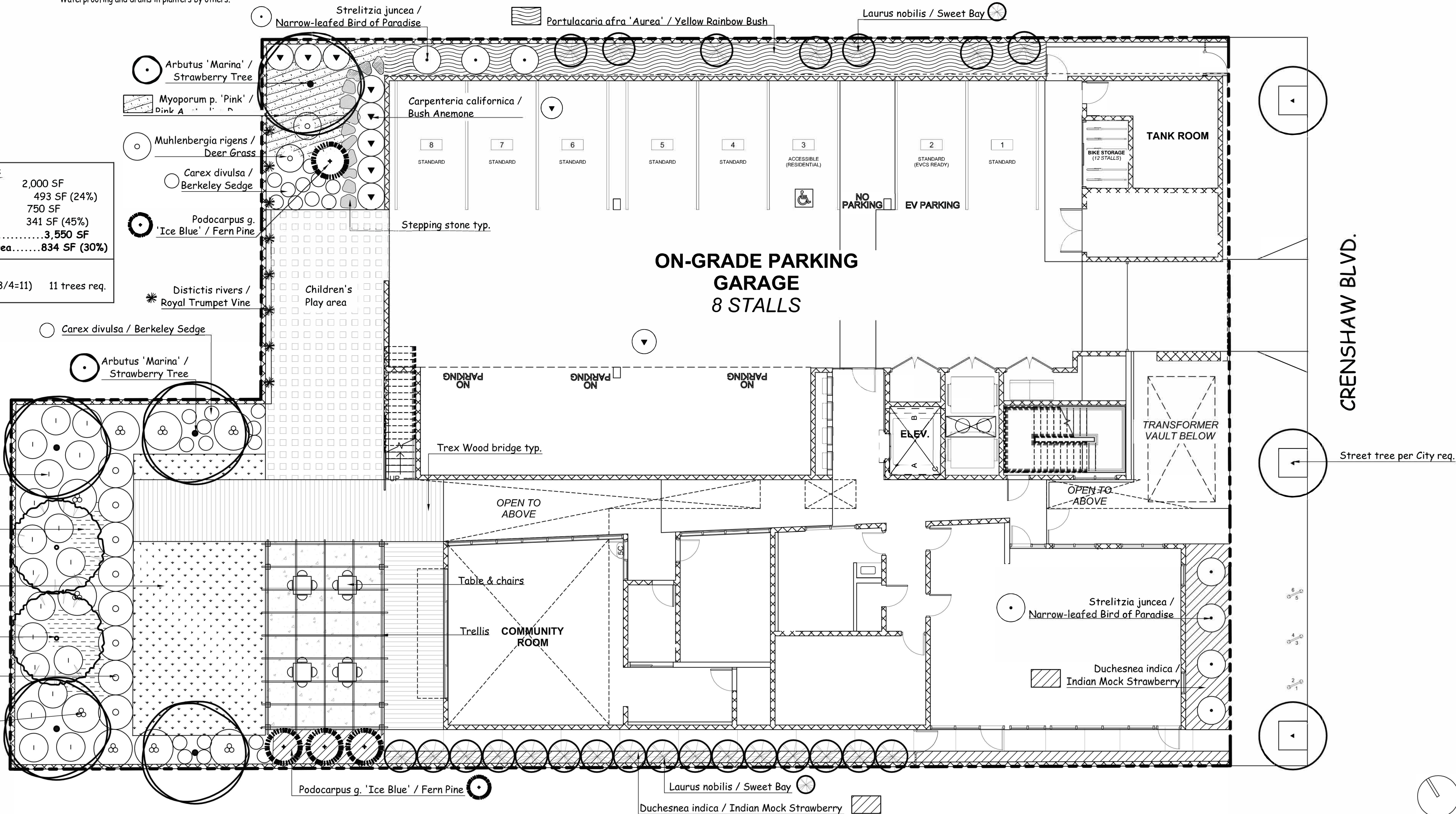
Portulacaria afra 'Aurea' / Yellow Rainbow Bush



Carex divulsa / Berkeley Sedge

Open Space Provided:	
Rear Yard	2,000 SF
Area landscaped	493 SF (24%)
Podium Courtyard	750 SF
Area landscaped	341 SF (45%)
Total Provided	3,550 SF
Total Landscaped area	834 SF (30%)

Trees Required:	
1 Tree per 4 units (43/4=11)	11 trees req.



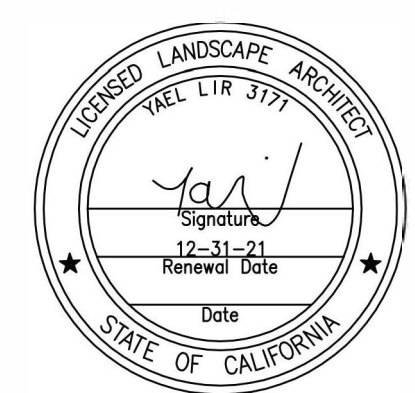
REVISIONS	DATE
1.	3.04.20
2.	
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4.	
5.	
6.	
7.	
8.	
9.	



ASLA
 Yael Lir Landscape Architects
 1010 Sycamore Ave. Suite 313
 South Pasadena, CA 91030
 Tel 323.258.5222
 Fax 323.258.5333
 yael@yaellir.com

SOLARIS APARTMENTS
 43 UNIT
 1141 CRENSHAW BLVD.
 LOS ANGELES, CA 90010

GROUND FLOOR PLANTING PLAN



DATE: MAY 8, 2019
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 210519
 DRAWN BY:

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	* Aspidistra elatior	Cast Iron Plant	5-gal	12		low 0.3
⊙	* Bambusa m. 'Alphonse Karr'	Alphonse Karr Bamboo	5-gal	57		low 0.3
⊙	* Chondropetalum tectorum	Cape Rush	5-gal	3		low 0.3
⊙	* Lomandra longifolia 'Breeze'	Breeze Mat-Rush	5-gal	3		low 0.3

* Points claimed

3" deep shredded Cedar bark to spread between plants.

NOTE:

Waterproofing and drains in planters by others.

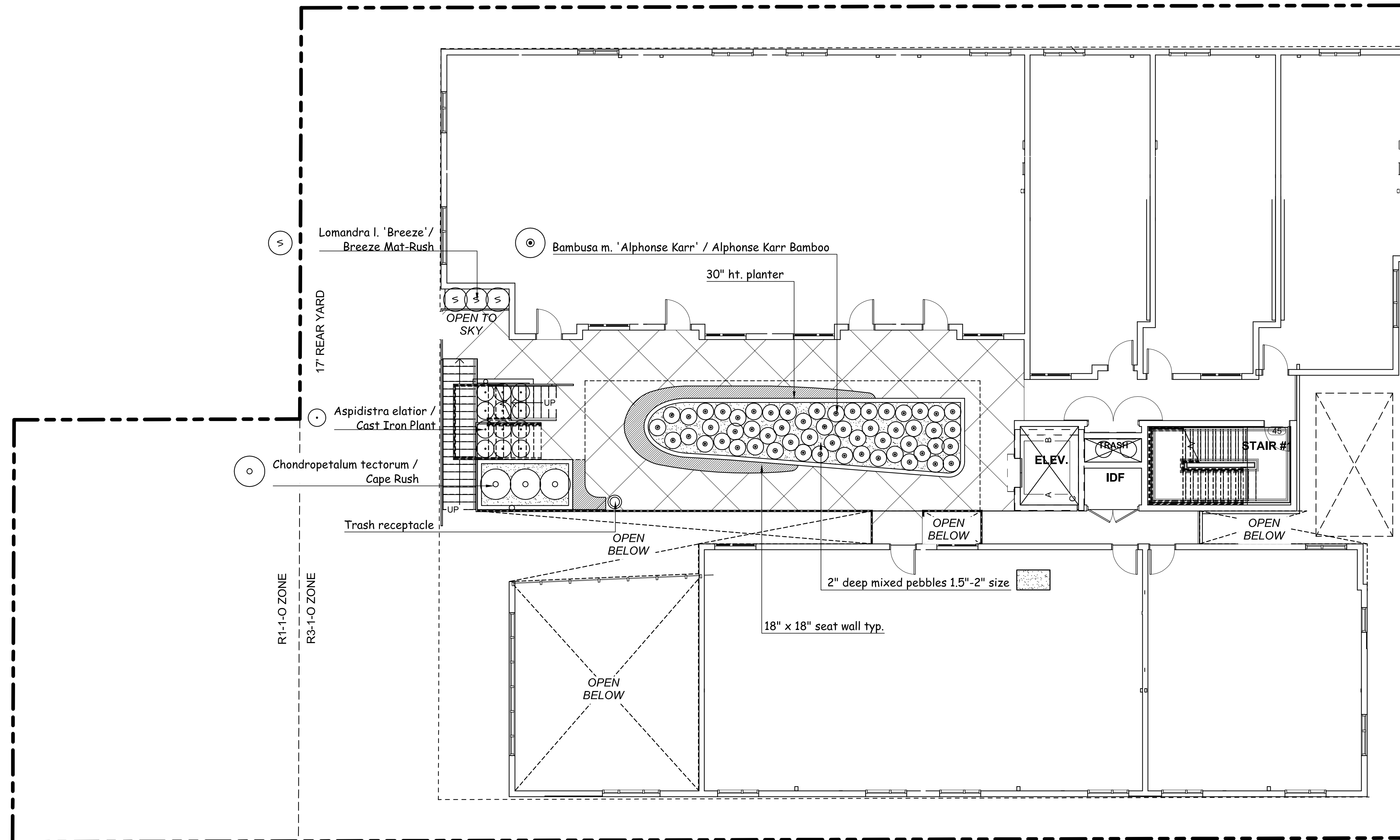


Aspidistra elatior /
Cast Iron Plant

Bambusa m. 'Alphonse Karr' /
Alphonse Karr Bamboo

Chondropetalum tectorum /
Cape Rush

Lomandra longifolia 'Breeze' /
Breeze Mat-Rush



REVISIONS	DATE
1.	3.04.20
2.	
3.	
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5.	
6.	
7.	
8.	
9.	



ASLA
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1010 Sycamore Ave. Suite 313
South Pasadena, CA 91030
Tel 323.258.5222
Fax 323.258.5333
yael@yaellir.com

SOLARIS APARTMENTS
43 UNIT
1141 CRENSHAW BLVD.
LOS ANGELES, CA 90010

SECOND FLOOR
PLANTING PLAN



DATE: MAY 8, 2019
SCALE: 1/8" = 1'-0"
JOB NUMBER: 210519
DRAWN BY:

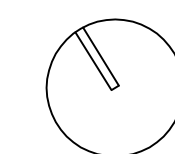


EXHIBIT B

Maps

CPC-2020-516-DB-PSH-SIP