

# Streetsville Neighborhood: Zoning Review



## Mississauga's Current Housing Context

All levels of government are making housing options a priority:

- Federal – Housing Accelerator Fund
- Provincial – Bill 23: three units per lot; removal of site plan approval; 1.5 million home target
- Municipal – City of Mississauga's Housing Action Plan endorsed by Council February 2023

## Goal 1: Increase Supply

The following actions will allow Mississauga to increase supply of housing over the next 4 years:

- **Action 1: Increase 'Missing Middle' Housing in Residential Neighbourhoods**

The Increasing Housing Choices in Neighbourhoods study will look at reducing exclusionary zoning throughout Mississauga to allow as of right gentle densification in low density neighbourhoods. This could result in more semis, townhouses, plexes, garden suites and garage conversions. This action will specifically look at the needs of families, older adults, students and workforce housing.

#	SUBACTION	PLANNED TIMEFRAME	STATUS
1.1	Update Official Plan to reflect Bill 23 provisions permitting 3 units per lot	2023	Ongoing
1.2	Update zoning with appropriate setbacks, heights, coverages, emergency access, etc. to allow for additional units	2023-2024	Ongoing
1.3	Revise and implement the on-street permit parking policies program	2023-2026	Ongoing

# Introduction:

## Zoning Services – What Do We do?

The City periodically amends the Zoning By-law to:

- Clarify wording;
- Update definitions;
- Delete or modify outdated regulations;
- Address new trends; and/or,
- Assist in zoning interpretation issues.

# How We Got Here:

## Revisions to the Infill Exception Regulations – Timeline:

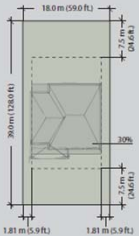
- In 2009, as a result of increasing intensification within the Streetsville neighborhood, staff undertook a comprehensive review of the Zoning By-law to determine whether additional regulations were required.
- It should be noted, the catalyst for such a review was the then absence of any type of “cheque-and-balance” system within the City, as it pertained to this type of infill development.
- Meaning that larger, potentially incompatible residential structures were generally permitted as-of-right, without any subsequent review from Planning Staff.

# How We Got Here:

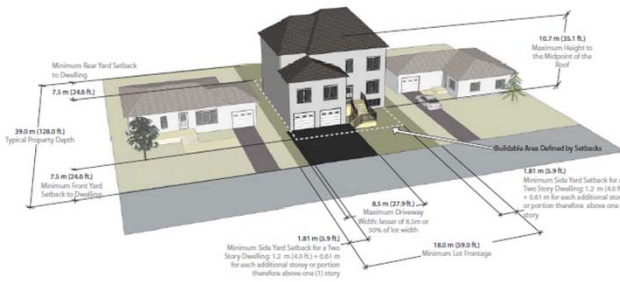
## Historic Concerns – Something of the Past?

### R2-7: Existing Zoning

- Maximum Lot Coverage: 30 %
- Maximum Height to Midpoint of the Roof 10.7 m (35.1 ft.)

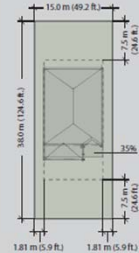


Maximum Dwelling Size (Maximum GFA):  
 One Storey: 211 m<sup>2</sup> (2271 sq. ft.)  
 Two Storey: 422 m<sup>2</sup> (4542 sq. ft.)

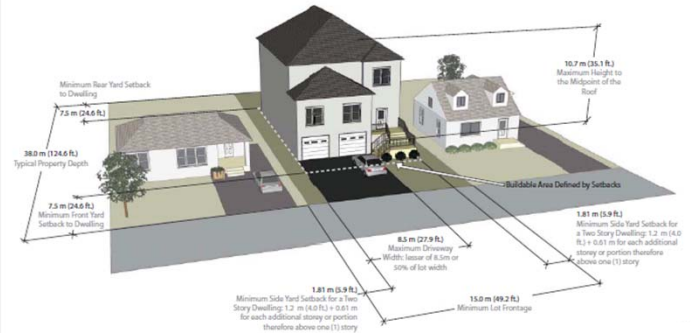


### R3: Existing Zoning

- Maximum Lot Coverage: 35 %
- Maximum Height to Midpoint of the Roof 10.7 m (35.1 ft.)



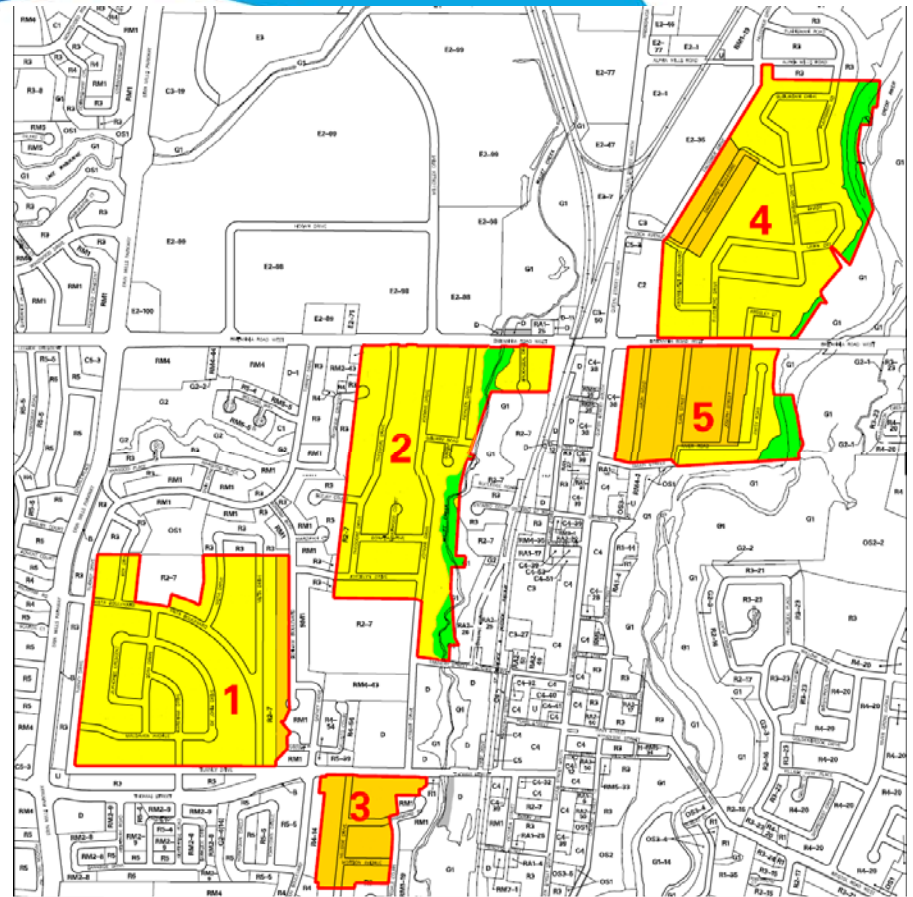
Maximum Dwelling Size (Maximum GFA):  
 One Storey: 200 m<sup>2</sup> (2153 sq. ft.)  
 Two Storey: 400 m<sup>2</sup> (4306 sq. ft.)



# How We Got Here:

## Study Areas:

- Study Areas were determined by identifying neighborhoods which were most likely to experience the greatest degree of potential incompatibility.
- This was accomplished by comparing the existing built-form in each of the Streetsville neighborhoods and identifying areas consisting of relatively large lots, with older, predominantly one, or one-and-a-half storey dwellings.
- As a result of this criteria, 5 Study Areas were created.



# How We Got Here:

## Areas of Interest or Interesting Areas?

- As part of this comprehensive review, Planning Staff, in conjunction with the public, identified several key elements that they felt were responsible for the creation of communal characteristics.
- These elements included:
  - Lot coverage;
  - Dwelling heights;
  - Yard setbacks;
  - Garage projections;
  - Standardized Dwelling depth; and,
  - Gross Floor Area requirements.
- It was determined through this process that the zoning regulations most effective at addressing future compatibility were those that control building mass.



# How We Got Here:

## Striking a Balance – Policy Direction:

- Later that year, Planning Staff brought forward a series of amendments, that were subsequently approved by Council.
- It's important to note that the direction of these amendments was never to stymie new development, nor was it to capture a standardized building type across any of the 5 study areas.
- It was to create a suitable transition.
- “There are already a number of side split, back split, and full two (2) storey dwellings existing within the Streetsville Infill Study Area. Therefore, restricting dwelling to one (1) storey is not recommended”.

# How We Got Here:

## In(sight)fill Regulations – R2-50 & R3-69

- As a result of this comprehensive review, the five Study Areas were subsequently granted either a R2-50 or R3-69 zoning classification.
- These two zoning classifications represent some of the most restrictive regulations within the City; incorporating the following supplemental performance standards:
  - Capping the Gross Floor Area (GFA);
  - Reducing Lot Coverage;
  - Reducing the max. height of both sloped and flat roofs;
  - Including a max. height measured to the eaves;
  - Including a max. dwelling depth;
  - Restricting garage projections;
  - Incorporating min. combined side yards setbacks.

# How We Got Here:

## In(sight)fill Regulations – R2-50 & R3-69

4.2.3.50	Exception: R2-50	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.50.1	Maximum <b>lot coverage</b>	25%	
4.2.3.50.2	Maximum <b>gross floor area - infill residential</b>	150 m <sup>2</sup> plus 0.2 times the <b>lot area</b>	
4.2.3.50.3	Minimum <b>front yard</b>	7.5 m	
4.2.3.50.4	Minimum <b>interior side yard</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	
4.2.3.50.5	Minimum setback to <b>garage face - interior lot</b>	7.5 m	
4.2.3.50.6	Maximum <b>height - highest ridge: sloped roof</b>	9.0 m	
4.2.3.50.7	Maximum <b>height: flat roof</b>	7.5 m	
4.2.3.50.8	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.3.50.9	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	2.0 m	
4.2.3.50.10	Maximum <b>dwelling unit depth</b>	20.0 m	

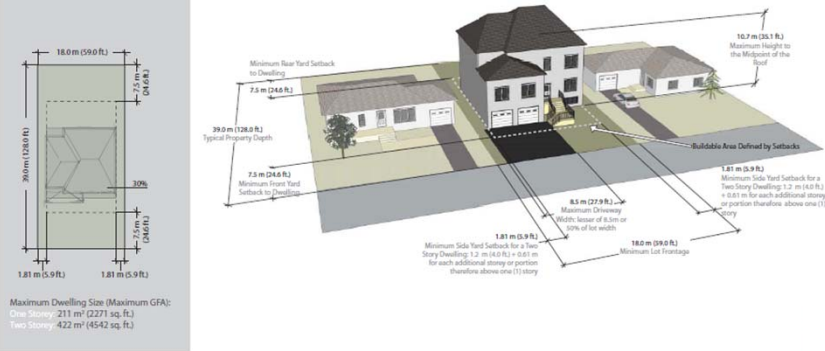
4.2.4.69	Exception: R3-69	Map # 38W, 39E, 45W	By-law: 0380-2009/ OMB Order 2010 September 13, 0308-2011
In a R3-69 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.69.1	Maximum <b>lot coverage</b>	30%	
4.2.4.69.2	Maximum <b>gross floor area - infill residential</b>	150 m <sup>2</sup> plus 0.2 times the <b>lot area</b>	
4.2.4.69.3	Maximum <b>height - highest ridge: sloped roof</b>	9.0 m	
4.2.4.69.4	Maximum <b>height: flat roof</b>	7.5 m	
4.2.4.69.5	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.4.69.6	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	2.0 m	
4.2.4.69.7	Maximum <b>dwelling unit depth</b>	20.0 m	

# How We Got Here:

## Infill Regulations in Practice – R2-50

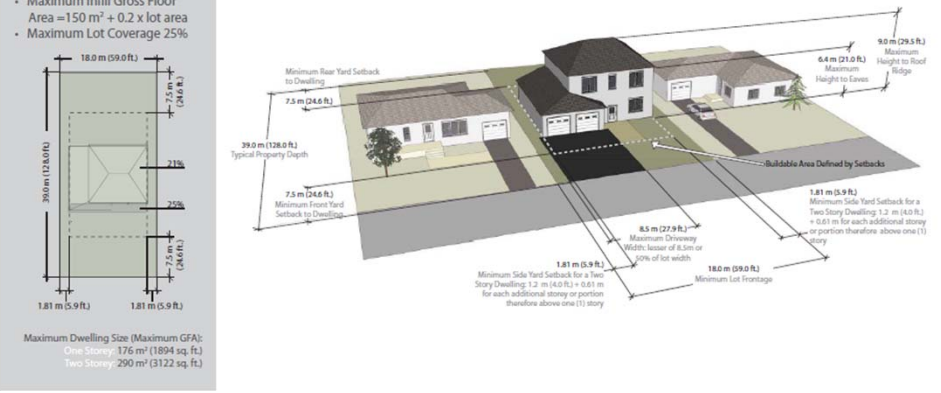
### R2-7: Existing Zoning

- Maximum Lot Coverage: 30 %
- Maximum Height to Midpoint of the Roof 10.7 m (35.1 ft.)



### R2-7: Height Caps + Maximum Infill Gross Floor Area Cap

- Maximum Height to Ridge of Roof 9.0 m (29.5 ft.)
- Maximum Height to Eaves of Roof 6.4 m (21.0 ft.)
- Maximum Infill Gross Floor Area = 150 m<sup>2</sup> + 0.2 x lot area
- Maximum Lot Coverage 25%

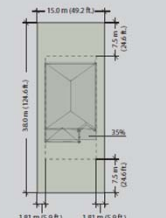


# How We Got Here:

## Infill Regulations in Practice – R3-69

### R3: Existing Zoning

- Maximum Lot Coverage: 35 %
- Maximum Height to Midpoint of the Roof 10.7 m (35.1 ft.)

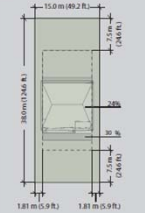


Maximum Dwelling Size (Maximum GFA):  
 One Storey: 200 m<sup>2</sup> (2153 sq. ft.)  
 Two Storey: 400 m<sup>2</sup> (4306 sq. ft.)



### R3: Height Caps + Maximum Infill Gross Floor Area Cap

- Maximum Height to Ridge of Roof 9.0 m (29.5 ft.)
- Maximum Height to Eaves of Roof 6.6 m (21.6 ft.)
- Maximum Infill Gross Floor Area = 150 m<sup>2</sup> + 0.2 x lot area
- Maximum Lot Coverage 30%



Maximum Dwelling Size (Maximum GFA):  
 One Storey: 171 m<sup>2</sup> (1841 sq. ft.)  
 Two Storey: 264 m<sup>2</sup> (2842 sq. ft.)

## How We Got Here:

- The City received a petition regarding a perceived trend in the Committee of Adjustment's approval of increasingly larger residential structures.
- In response, Planning Staff drafted a survey targeting the 5 Streetsville neighbourhoods governed by residential infill zoning regulations which continue to experience on-going redevelopment.
- The purpose of this survey was to better understand the scope and scale in which the local community experienced this concern.
- This survey would help Staff in determining the prevalence of such an issue, and ascertain what factors were driving these concerns.

## How We Got Here:

- The Committee of Adjustment is an independent quasi-judicial body administrative tribunal that makes decisions under the Planning Act on applications for minor variances and land severances.
- The same legislative document (the Planning Act) which allows for the City to implement infill regulations, also identifies the ability of property owners to apply for Minor Variances to amend them.

# Streetsville Neighbourhood Survey:

## Survey Components:

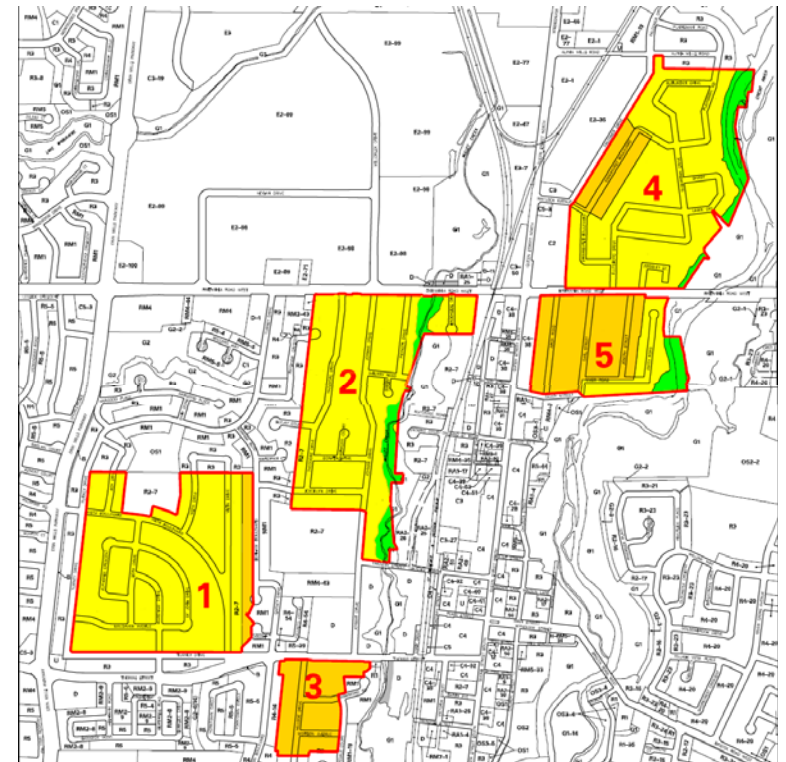
- The survey asked the following questions:
  1. The respondent's address?
  2. Their age group? \*
  3. How long they had lived within their community? \*
  4. Their general perception of the homes within their neighbourhood?
  5. Their level of satisfaction of the new houses being constructed? \*
  6. Their level of support regarding stricter regulations governing home sizes? \*
  7. Their general overall thoughts regarding the characteristics of the newly-constructed houses within their neighbourhood?
- “\*” are questions which provided respondents with a selection of pre-generated choices (“strongly satisfied”, “satisfied”, etc.) to ensure that a direct, quantitative analysis could be performed.



# Streetsville Neighbourhood Survey:

## Results:

- The 5 Study Areas contain a total of **981** properties.
- The City received a total of **87** survey responses.
- This represents a survey response rate of **8.9%**.
- Key takeaways from the Survey included:
  - Respondents were not in favor of C of A applications;
  - Development was not shared across the 5 Study Areas, nor was it reflective of who was responding.



# Moving Forward:

## Planning for the Future, in the Year 2023

- Based on the response rate of the survey, the policy context, and competing housing priorities, staff have recommended to Councillor Butt not to proceed with any changes to the infill regulations for Streetsville