# Dual Occupancy @ 9 George St, Dromana

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A12.02 TH2 WINDOW & DOOR SCHEDULE

A1. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.

A2. ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL BY LAWS AND CURRENT BUILDING CODE OF AUSTRALIA (BCA) AND LATEST AUSTRALIAN

STANDARDS AND CODES WHERE APPLICABLE A3. BUILDER & RESPECTIVE CONTRACTORS & TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP

• ALL SERVICES TO BE VERIFIED BY BUILDER ON SITE. • ANY DISCREPANCIES FOUND ON THE DRAWINGS ARE TO BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

A4. ALL FITTINGS & FIXTURES TO BE INSTALLED IN-ACCORDANCE WITH MANUFACTURER'S SPECIFICATION & INSTRUCTIONS. A5. INTERNAL CEILING HEIGHTS AS SPECIFIED ON DRAWINGS. FLOOR TO CEILING DIMENSIONS AS SHOWN ON ELEVATIONS/SECTIONS ARE FROM FINISHED FLOOR SURFACES TO UNDER SIDE OF FINISHED PLASTERBOARD CEILINGS A6. BUILDER TO RECTIFY ANY DAMAGE DURING CONSTRUCTION TO FOOTPATH, KERBS OR ROADS ETC TO THE APPROVAL OF LOCAL AUTHORITIES

REDUNDANT CROSSOVERS TO BE REMOVED AND MATCHING KERB AND CHANNEL, FOOTPATH, ETC TO BE REINSTATED TO APPROVAL OF COUNCIL. A7. BUILDING(S) AND SITE TO BE LEFT CLEAN AND READY FOR OCCUPATION UPON COMPLETION OF ALL SITE WORKS A8. SUPPLY IF REQUIRED BY THE LOCAL MUNICIPALITY REQUIREMENTS OF BCA APPROVED MECHANICAL TERMITE SHIELDS OR NATURAL ETHICAL

SUBSTANCE IN ACCORDANCE WITH SUPPLIER'S RECOMMENDATION. • COMPLY WITH AS 3660 IN SELECTING APPROPRIATE MATERIAL. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS AS 3660.

• PROVIDE PERMANENTLY FIXED CERTIFICATE IN THE METER BOX STATING PROTECTION MEASURES TAKEN I.E. PHYSICAL/CHEMICAL A9. THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH ALL APPLICABLE HEALTH AND SAFETY CODES OF PRACTICE, GUIDANCE NOTES, AUSTRALIAN STANDARDS AND OTHER RELEVANT DOCUMENTATION A10. IF REQUIRED, BEFORE CONSTRUCTION COMMENCES, A CONSTRUCTION MANAGEMENT PLAN MUST BE PREPARED BY THE BUILDER AND APPROVED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

A11. NO PORTION OF THIS BUILDING IS TO PROJECT BEYOND ANY OTHER OF THE TITLE BOUNDARIES / EASEMENT WITHOUT PRIOR WRITTEN CONSENT FROM RELEVANT AUTHORITIES A12. SET DOWN IN FLOOR LEVELS (STRUCTURAL FLOOR LEVELS) SFL: FLOOR LEVELS SHOWN ARE FINISHED STRUCTURAL FLOOR LEVELS.

A13. SET DOWN IN FLOOR LEVELS (FINISHED FLOOR LEVELS) FFL: FLOOR LEVELS SHOWN ARE FINISHED FLOOR LEVELS. A14. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT SPECIFICATIONS, REPORTS & ALL OTHER CONSULTANTS DRAWINGS, INCLUDING ALL TOWN PLANNING APPROVED DRAWINGS & PERMITS & CONDITIONS. A15. DESIGN OF RETAINING WALLS TO BE TO THE SATISFACTION OF ENGINEER AND OR IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS IN

THE CASE OF A PROPRIETARY SYSTEM BEING USED. A16. ALL MATERIALS AND METHODS OF CONSTRUCTION, TESTING ETC SHALL CONFORM WITH CURRENT, BUT NOT LIMITED TO THE RELEVANT CODES & SPECIFICATIONS, THE "NATIONAL CONSTRUCTION CODE" AND WITH THE BY-LAWS OF LOCAL AUTHORITIES AND ALL OTHER RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

BW. BRICK WORK / BLOCK WORK

BW4. WEEP HOLES AT 1200MM CENTRES.

BW1. ALL MASONRY WORK TO COMPLY WITH AS 3700 & RELEVANT SUBSEQUENT STANDARDS BW2. PROVIDE CONTROL JOINTS IN BRICKWORK AND BLOCKWORK @ 6M CTRS MAX. PROVIDE CORRESPONDING CONTROL JOINTS IN RENDER FINISHES AND TO RECOMMENDATION OF MANUFACTURER, DO NOT RENDER OVER CONTROL IQINTS. BW3. FINISH TO JOINTS TO BE AS PER PROJECT SPECIFICATION TO SATISFACTION OF ARCHITECT

BW5. INSTALL DPC. WALLTIES, REINFORCEMENT, FLASHING TO AS 3700 BW6. CEMENT COLOR TO BE AS PER PROJECT SPECIFICATION TO SATISFACTION OF ARCHITECT

**CONCRETE NOTES** 

C1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF FC 27 MPA UNLESS OTHERWISE NOMINATED BY STRUCTURAL ENGINEER. C2. THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT AND ENGINEERS' DRAWINGS

 $AD \textit{V} \textit{ISE} \textit{ ARCHITECT } \textit{IMMEDIATELY } \textit{IF CONFLICT EXISTS BETWEEN ARCHITECTURAL SPECIFICATIONS, RECOMMENDATIONS OF SOIL REPORT AND \\$ ENGINEERS DRAWINGS TO BE BROUGHT.

C3. FOOTINGS ARE NOT TO ENCROACH OVER TITLE BOUNDARIES AND EASEMENT LINES. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE BUILT WITHIN CLOSE PROXIMITY OF TITLE BOUNDARIES A SURVEY BE CARRIED OUT BY A LICENSED LAND SURVEYOR TO RE-ESTABLISH THE TITLE BOUNDARIES. ALL WORKS IN CLOSE PROXIMITY TO TITLE BOUNDARY LINES TO BE CARRIED OUT IN ACCORDANCE WITH PROTECTION WORKS NOTICES TO THE

SATISFACTION OF THE RESPONSIBLE BUILDING SURVEYOR. C4 CONCRETE AND STEEL PLACEMENT TO COMPLY WITH ENGINEERS DESIGN AND COMPUTATIONS

C5. TOP SOIL AND VEGETATION UNDER CONCRETE SLABS TO BE REMOVED.

C6. FOR POLISHED CONCRETE AREAS FLOOR AREAS ALLOWS FOR ADDITIONAL OF 50MM SCREED OVER STRUCTURAL FLOOR LEVEL C7. FOR BATHROOMS FLOOR AREAS PROVIDE 50MM SET DOWN FOR FALLS TO FLOOR WASTES WHERE NOMINATED. PROVIDE 1:60 MIN FALLS TO TILED

C8. WATER STOP SEAL - XYPEX KUNISEAL C-31 OS OR SIMILIAR - TO BE INSTALLED BETWEEN DIFFERENT ELEMENTS I.E. BAND BEAM & FLOOR SLAB.

CP CARPARKING / BASEMENTS

CP1. PARKING FACILITIES TO BE IN ACCORDANCE WITH AS 2890 PART 1,1993

CP2. CARPARK LINE MARKING AND NUMBERING TO BE IN SUITABLE WHITE LINE MARKING PAINT AND TO BE NUMBERED IN ACCORDANCE WITH PLAN OF SUBDIVISION AND / OR APPROVED PLANNING PERMIT & DRAWINGS. CONFIRM DETAILS WITH ARCHITECT AND CLIENT PRIOR TO LINE MARKING

DO1. REFER TO FLOOR PLANS FOR DOOR LEAF SIZES, TYPES, LOCATIONS AND DIRECTION OF SWING.

DO2. ALL DOOR FRAMES TO BE MIN 50MM OFFSET FROM ADJACENT WALL FACE; OR AS PER SET OUT DIMENSIONS.

DO3 CONFIRM ALL DOOR OPENING SIZES ON SITE PRIOR TO FABRICATION DO4. TYPICALLY PROVIDE DOOR STOPS AND BUFFERS TO ALL DOORS TO THE APPROVAL OF THE ARCHITECT

DOS. REFER HARDWARE SCHEDULE IF APPLICABLE FOR FULL DOOR FURNITURE REQUIREMENTS. DOOR HARDWARE AS NOMINATED BY THE ARCHITECT /

DO6. ALL DOOR HANDLES TO BE INSTALLED 1050MM ABOVE FFL GENERALLY UNLESS OTHERWISE NOTED.

DO7. PAINT FINISH TO BE APPLIED TO THE TOP & SIDES OF INTERNAL DOORS TO MATCH VERTICAL FACES.

DO8. MEASUREMENT TO LEAF SIZE TYPICALLY.

DO9. INWARD SWINGING TOILET DOORS WITHIN 1200mm OF A TOILET PAN ARE TO BE REMOVABLE FROM OUTSIDE, (I.E. LIFT OFF HINGES) AND DOORS TO BE TOP CUT SMALLER THAN DOOR FRAME TO ENABLE REMOVAL OF DOOR LEAF. INSTALLATION TO BE TO THE SATISFACTION OF BUILDING SURVEYOR AND MANUFACTURER'S INSTRUCTIONS

**EC. EXCAVATION** 

EC1. ALL EXCAVATION, TRENCHES FOR FOOTINGS, SEWERAGE, DRAINAGE ETC., TO BE CARRIED OUT IN ACCORDANCE WITH CONTROLLING **AUTHORITIES REQUIREMENTS** 

**EL. ELECTRICAL** 

ELL ALL ELECTRICAL SWITCHBOARDS ARE TO BE ENCLOSED IN METAL OR OTHER NON-COMBUSTIBLE CABINETS WITH SMOKE PROOF DOORS EL2. REFER ELECTRICAL PLANS FOR ALL GPO LOCATIONS - JOINER TO MAKE ALLOWANCE FOR GPOS & PLUG HOLES IN PARTITION PANELS WHERE

EL3. BUILDER TO ALLOW FOR TELEVISION ANTENNA TO BE LOCATED TO APPROVAL OF ARCHITECT & INSTALLER/ ENGINEER, ENSURING LOCATION IS NOT PROMINENT FROM STREET

EL4. SWITCHBOARDS SHALL BE FITTED WITH CIRCUIT BREAKERS AND APPROVED SAFETY DEVICE. RECESS INTO WALLS.

EL5. LIGHTING AND POWER OUTLETS AND SWITCHES SHALL BE INSTALLED GENERALLY IN THE POSITION SHOWN ON THE DRAWINGS. POWER OUTLETS SHALL BE MOUNTED 30MM CLEAR OF TOP OF SKIRTING LEVEL AND MIN. 150 ABOVE FLOOR, AND 150MM ABOVE BENCH TOPS. EL6. BEFORE FINALISING POSITION OF LIGHTS AND POWER OUTLETS ALL LOCATIONS ARE TO BE CONFIRMED ON SITE BY THE CLIENT / ARCHITECT.

EL7. ALL ELECTRICAL INSTALLATION WORKS SHALL COMPLY WITH THE REQUIREMENTS OF BUILDING CODE OF AUSTRALIA AND ALL RELEVANT STANDARD INCLUDING: VICTORIAN SERVICES AND INSTALLATION RULES, LOCAL POWER COMPANY REQUIREMENTS, RECOMMENDATIONS OF MANUFACTURERS, SUPPLIERS, PROFESSIONAL AND TRADE ASSOCIATIONS EL8. PROVIDE 240V HARD WIRED SELF-CONTAINED SMOKE ALARMS AS LOCATED ON DRAWINGS, IN ACCORDANCE WITH AS 3786 & TO APPROVAL OF

RELEVANT BUILDING SURVEYOR EL9. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE ELECTRICAL SERVICES WITH ALL OTHER TRADES AND AUTHORITIES SERVICES

PARTICULARLY WITH RESPECT TO THE EXISTING AND NEW UNDERGROUND WORKS FL10. SUBSTITUTES WILL NOT BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.

EL11. MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE SPECIFICATION, THE CURRENT REVISION OF ALL RELEVANT CODES, THE REQUIREMENTS OF THE VICTORIA BUILDING REGULATION, THE BUILDING CODE OF AUSTRALIA, LOCAL AUTHORITIES AND THE PROVISIONS OF THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT.

EL12. THE DRAWINGS ARE DIAGRAMMATIC ONLY. THE CONTRACTOR MUST ALLOW FOR ALL WORKS NECESSARY TO PROVIDE AN INSTALLATION WHICH IS COMPLETE AND COMPLY WITH THE SCOPE ITS INTENT AND ALL CODES AND STANDARDS EL13. CONTRACTORS SHALL ENSURE THAT LOCATIONS OF ALL UNDERGROUND SERVICES ARE IDENTIFIED AND COORDINATED PRIOR TO

COMMENCEMENT OF WORKS AND EXCAVATIONS EL14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE BEFORE SUBMITTING A TENDER, TO VERIFY EXISTING CONDITIONS AND ANY ISSUES

WITH MAY IMPACT ON THE CONTRACT. EL15. PROVIDE WIRING FOR PAY TV TO ALL POINTS. CONTRACTOR TO LIAISE WITH PAY TV COMPANY TO ENSURE METHOD OF CONNECTION TO SITE IE. SATELLITE DISH VS. OVER HEAD CONNECTION VS. UNDERGROUND CONNECTION. CONTRACTOR TO ENSURE ALL ON-SITE BACK BONING IS PERFORMED IN ACCORDANCE WITH PAY TV COMPANY REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON SITE WORKS, AND IS TO ARRANGE FOR

F1. PROVIDE A 2A20B(E) DRY CHEMICAL FIRE EXTINGUISHER MINIMUM OF 2000MM FROM ANY ELECTRICAL SWITCHBOARDS.

F2. ALL PORTABLE FIRE EXTINGUISHERS ARE TO COMPLY WITH AS2444 F3. ALL FIRE HOSE REEL INSTALLATION ARE TO COMPLY WITH AS1221 AND AS2441

WORKS ON SITE THAT CAN ONLY BE CONDUCTED BY PAY TV COMPANY.

F4. SMOKE ALARMS/DETECTORS ARE TO BE HARD-WIRED AND IN ACCORDANCE WITH AS3786. AND TO THE SATISFACTION OF THE **BUILDING SURVEYOR** 

F5. ALTERATIONS TO THE SPRINKLER SYSTEM WILL BE DOCUMENTED, INSPECTED AND APPROVED AS COMPLYING WITH AS2118 BY AN APPROVED SPRINKLER INSPECTION AND TESTING SERVICE AND THEIR WRITTEN APPROVAL PROVIDED TO THE RELEVANT BUILDING SURVEYOR ON COMPLETION OF THE WORKS. F6. FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES ARE TO COMPLY WITH SPECIFICATION OF AUSTRALIA.

F7. SIGNS REQUIRED TO FIRE DOORS INDICATING "FIRE SAFETY'DOOR - DO NOT OBSTRUCT (DO NOT HOLD OF LETTER IN A CONTRASTING COLOUR. F8. 90/90/90 FIRE RATING REQUIRED TO ALL LOAD BEARING & STRUCTURAL COMPONENTS IN ACCORDANCE WIT F9. ALL FIRE RATED WALLS ARE TO HAVE ALL SERVICES (GPO'S, SWITCHES, ETC.) FIRE SEALE

WHERE THESE PENETRATE OR REDUCE MATERIALS THAT PROVIDE RATING F10. ALL PENETRATIONS TO MAINTAIN INTEGRITY AND RATINGS OF FIRE & ACOUSTIC RATED WALLS AND FLOORS F11. ALL PENETRATIONS THROUGH FIRE RESISTING STRUCTURE TO BE SEALED OR COLLARED TO PROVIDE FIRE RESISTANCE EQUAL

TO STRUCTURE THROUGH WHICH PENETRATION IS MADE THE BUILDING SURVEY

F13. ALL SMOKE / FIRE-RATED WALLS ARE TO BE EXTENDED FULL HEIGHT ABOVE, ALL PENETRATIONS ARE TO BE SMOKE SEALED. OR FLOOR SURFACE TO THE UNDERSIDE OF T F14. FIRE DOORS TO HAVE SELF CLOSING MECHANISMS TO THE SATISFACTION OF TH BCA AND BUILT

EX1. EXIT DOORS THAT SWING AGAINST THE DIRECTION OF EXIT TRAVEL ARE TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION EX2. ALL EXIT DOORS AND DOORS IN THE PATH OF TRAVEL TO EXITS ARE TO BE CAPABLE OF BEING OPENED AT ALL TIMES FROM THE SIDE FACING A PERSON SEEKING EGRESS FROM THE BUILDING WITH A SINGLE HANDED DOWNWARD OR PUSHING ACTION ON A SINGLE DEVICE WITHOUT THE USE OF

A KEY AND LOCATED BETWEEN 900 MM AND 1200 MM ABOVE FLOOR LEVEL. EX3. POWER OPERATED SLIDING DOORS SERVING AS EXITS ARE TO BE CAPABLE OF BEING OPENED BY HAND UNDER A FORCE OF NOT MORE THAT 11ON

UPON MALFUNCTION OR FAILURE OF THE POWER SOURCE.

EX4. ARTIFICIAL LIGHTING IS TO BE INSTALLED IN ACCORDANCE WITH AS1680. EX5. ALL EXIT SIGNS AND EMERGENCY LIGHTS ARE TO COMPLY WITH AS2293.

N. INSULATION ACOUSTIC / THERMAL

N1. INSULATION AND BUILDING SEALING SHALL BE COMPLETED IN ACCORDANCE WITH THE 6 STAR ENERGY REPORT PROVIDED BY AN EXTERNAL CONTRACTOR. ALL EXHAUST FANS, EXTERNAL DOORS AND OTHER PENETRATIONS SHAL BE FITTED WITH AN APPROPRIATE WEATHER SEAL. IN ACCORDANCE WITH THE ENERGY REPORT

N2. SEPARATING WALLS THAT EXTEND UP TO THE ROOF COVERING MUST BE PACKED WITH A SUITABLE FIRE RESISTING MATERIAL. N3. THE ACOUSTIC/FIRE WALL TYPES SHOWN ON THIS ARE BASED ON THE NOMINATED SYSTEMS. TO ACHIEVE THE ACOUSTIC/FIRE RATING SPECIFIED,

THE SPECIFIC PLASTER BOARD AND INSULATION NOMINATED ARE REQUIRED TO BE USED. TO USE ALTERNATIVES, ACOUSTIC OPINIONS ARE REQUIRED TO THE SATISFACTION OF THE BUILDING SURVEYOR. N4 ROOES WALLS AND FLOOR MUST BE INSULATED IN ACCORDANCE WITH BCA AND LOCAL COLINCIL BY-LAWS TO A MINIMUM OF ROOF OR CEILING. R 3.5. EXTERNAL WALLS R 2.5. GROUND FLOOR R 1.0

UNI ESS NOMINATED OTHERWISE ON ENERGY RATING ASSESSMENT. N5. THE SEPARATING WALL BETWEEN A BATHROOM, SANITARY COMPARTMENT, LAUNDRY OR KITCHEN AND ADJOINING HABITABLE ROOMS ARE TO

HAVE A MINIMUM RW +CTR LEVEL OF 50 AND A MINIMUM RW +CTR LEVEL OF 45 IN ANY OTHER CASE. N6. ALL HORIZONTAL AND VERTICAL WASTE PIPES MUST ACHIEVE RW 45 IF ABOVE A BEDROOM AND RW 30 IF ABOVE A BATHROOM OF ANOTHER APARTMENT UNLESS OTHERWISE SPECIFIED BY HYDRAULIC ENGINEER.

N8. IF A DUCT, SOIL, WASTE STORMWATER OR WATER SUPPLY PIPE INCLUDING A DUCT OR PIPE THAT IS LOCATED IN WALL OR FLOOR CAVITY, SERVES OR PASSES THROUGH MORE THAN ONE APARTMENT, THE DUCT OR PIPE MUST BE SEPARATED FROM THE ROOMS OF ANY APARTMENTS BY CONSTRUCTION WITH AN RW+CTR (AIRBORNE) NOT LESS THAT:

• 40 IF THE ADJACENT ROOM IS A HABITABLE ROOM (OTHER THAN KITCHEN); OR

• 25 IF THE ADJACENT ROOM IS A KITCHEN OR NON-HABITABLE ROOM.

J. JOINERY J1. PROVIDE MAGNETIC RELEASES ON ALL OVERHEAD CUPBOARD DOORS

J2. ALL JOINERY CARCASSES COMPONENTS SHALL BE CONSTRUCTED OF WATER RESISTANT MDF

J3. KICK RAILS SHALL BE CONSTRUCTED OF 20MM THICK KDHW LAMINATED WITH SELECTED COLOUR LAMINATE J4. ALL DRAWER RUNNERS SHALL BE BALL-BEARING TYPE WITHSTANDING 30KG LOAD MINIMUM.

15. VANITY WASTE PIPES TO BE CONCEALED IN STUD WALL 16. ROBE SHELVES TO BE PROVIDED IN MELAMINE FINISH U.N.O.

17. CONTRACTOR TO CONFIRM ALL DIMENSIONS OF JOINERY ON SITE AND CHECK OTHER SPECIFIC REQUIREMENTS OF APPLIANCES AND THE LIKE WITH RESPECTIVE MANUFACTURERS/SUPPLIERS PRIOR TO FABRICATION AND ADJUST JOINERY WHERE NECESSARY. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CHANGING IOINERY DESIGN.

18. PROVIDE 2MM ABS EDGE STRIPING TO MATCH LAMINATE TO ALL JOINERY EDGES

J9. POST FORM LAMINATE BENCH TOPS: WHERE BENCH TOP RETURNS TO FLOOR MITRE CUT IS REQUIRED BETWEEN THE HORIZONTAL AND VERTICAL

110. HINGES TO BE 180 DEGREE SELECLOSING HINGES BLUM OR APPROVED EQUIVALENT 111. RECONSTITUTED STONE BENCH TOPS: WHERE BENCH TOP RETURNS TO FLOOR MITRE CUT IS REQUIRED BETWEEN THE HORIZONTAL AND VERTICAL

PLANE, MINIMAL 1MM ARRIS REQUIRED ON ALL LEADING EDGE OF BENCH TOPS. 112. PROVIDE WHITE PLASTIC CUTLERY INSERT, HAFELE OR APPROVED SIMILAR, TO TOP DRAW IN EACH BANK, CUT TO EXACT INTERNAL DRAWER

113. SELECTED COLOR LAMINATE TO ALL EXPOSED EDGES

J14. ROBES CONSTRUCT ENDS AND DIVIDING PANELS AND SHELVES GENERALLY OF 36MM MDF PARTICLE BOARD WITH 0.8MM WHITE LAMINATE FINISH INTERNALLY U.N.O. FINISH EXPOSED EDGES WITH 2MM ABS EDGE STRIPING TO MATCH LAMINATE COLOUR. ENSURE SHELVES ARE ADEQUATELY SUPPORTED WITH FIXING GROUNDS, & THAT SHELF SPANS ARE SUPPORTED TO ENSURE NO SAG TO SHELF. FIT 19MM DIA C.P. HANGING RAILS AND

SHELVES WHERE SCHEDULED IN DRAWING 135. WASHING MACHINE WASTES TO BE PROVIDED WITH DIRECT DRAINAGE CONNECTION (IE NOT INTO TROUGH) VIA PENETRATION TO SIDE OF IOINERY CARCASS.

J16. PROVIDE THERMAL LINING BOARD (EG MILLBOARD) BEHIND GAS COOKTOPS WHERE GLASS SPLASHBACKS ARE TO BE INSTALLED AND COOKTOP BURNERS ARE WITHIN 200MM OF GLASS SPLASHBACK.

J17. PROVIDE FIXING GROUNDS TO ALL TOWEL RAILS, TOILET ROLL HOLDERS, SOAP HOLDERS AND WALL HUNG BASINS ETC.

LA1. REFER TO COUNCIL ENDORSED LANDSCAPE PLAN FOR EXTENT AND SCOPE OF PLANTING AND LANDSCAPE WORKS LA2. EXISTING TREES THAT ARE TO BE RETAINED ARE TO BE PROTECTED DURING CONSTRUCTION WORKS IN ACCORDANCE WITH RELEVANT AUTHORITIES REQUIREMENTS & TOWN PLANNING PERMIT REQUIREMENTS IF APPLICABLE.

LA3. ALL LANDSCAPE AREAS TO INCLUDE IN-GROUND IRRIGATION SYSTEM. REFER TO LANDSCAPE PLAN IF APPLICABLE.

MB1. PROVIDE A MINIMUM NUMBER OF MAILBOXES WITH FRONT MAIL RETRIEVAL, KEY LOCK AND ENGRAVED NUMBER ON BOX. POWER COATED FINISH.

MC. MECHANICAL

MC1. RANGE-HOODS ARE TO BE DUCTED TO DISCHARGE DIRECTLY TO OUTSIDE AIR. MC2. EXHAUST FANS ARE TO DISCHARGE DIRECTLY TO OUTSIDE AIR AT A RATE OF AT LEAST 25 L/S.

MC3. EXHAUST AIR OUTLETS ARE NOT TO BE LOCATED CLOSER THAN 6 METRES TO FRESH AIR INLETS. MC4. ALL MECHANICAL VENTILATION SYSTEM ARE TO COMPLY WITH AS1668.2AND AS3666.

MC5. IF APPLICABLE, REFER TO MECHANICAL DRAWINGS FOR DOOR GRILLE & UNDERCUT LOCATION AND SIZES.

P. PLUMBING

P1. SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

P2. HOT & COLD WATER SUPPLY PIPE WORK TO BE CONCEALED. HOT WATER PIPE WORK TO BE THERMALLY LAGGED P3. LOCATE ALL SERVICES AS CLOSE AS POSSIBLE TO UNDERSIDE OF CONCRETE FLOOR SLAB IN THE CAR PARK AND ALL APARTMENT FLOORS. P4 ALL PLUMRING AND DRAINAGE WORKS TO BE IN STRICT COMPLIANCE WITH RELEVANT PLUMRING & DRAINAGE REGULATIONS. THE NATIONAL CONSTRUCTION CODE AND LOCAL ALITHORITY REQUIREMENTS. MINIMUM COVER TO STORMWATER DRAINS TO BE 100mm LINDER CONCRETE & 200mm FLSEWHERE. THE BUILDER SHALL ENSURE ALL SWD. PIPES AND THE LIKE ARE LOCATED AT SUFFICIENT DISTANCE FROM ANY BUILDINGS. FOOTINGS AND OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY

BUILDINGS AND ITS FOOTING SYSTEM P5. ALL NEW STORM WATER DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER DRAINAGE SYSTEM.

P6\_STORMWATER DRAINS TO BE TAKEN TO LAWFUL POINT OF DISCHARGE AS DIRECTED BY LOCAL COLINCIL

P7. STORMWATER DRAINS TO BE IN ACCORDANCE WITH CIVIL ENGINEERS DRAWINGS. P8. WASHING MACHINE WASTES TO BE PROVIDED WITH DIRECT DRAINAGE CONNECTION (IE NOT INTO TROUGH) VIA PENETRATION TO SIDE OF

IOINERY CARCASS P9. PROVIDE THERMAL LINING BOARD (EG MILLBOARD) BEHIND GAS COOKTOPS WHERE SPLASHBACK ARE TO BE INSTALLED AND COOKTOP BURNERS ARE WITHIN 200MM OF SPLASHBACK

P10. ALL HORIZONTAL AND VERTICAL WASTE PIPES MUST ACHIEVE RW 45 IF ABOVE A BEDROOM AND RW 30 IF ABOVE A BATHROOM OF ANOTHER APARTMENT UNLESS OTHERWISE SPECIFIED BY HYDRAULIC ENGINEER.

RP. ROOF PLUMBING RP1. USE CONCEALED CLIP FIXINGS TO ALL EXPOSED/ VISIBLE PARAPET CAPPING.

RP2. METAL TRAY DECK ROOFING TO BE INSTALLED USING CONCEALED FIXINGS WITH WIRE MESH & BULK INSULATION & SARKING AS PER MANUFACTURER'S SPECIFICATIONS.

RP3. ALL DOWNPIPES TO BE 100X75 MM RECTANGULAR U.N.O. RP4. CAPPING AND FLASHINGS TO BE IN COLORBOND MATERIAL IN COLOUR TO MATCH ADJACENT WALL. FINAL COLOUR TO BE APPROVED BY

RP5. BOX GUTTERS TO BE A MINIMUM OF 300 WIDE AND 150 DEEP CONSTRUCTED FROM ZINCALUME U.N.O. RPG. WHERE METAL ELEMENTS ARE IN CONTACT WITH DISSIMILAR METALS, THE METALS WILL BE APPROPRIATELY ISOLATED AGAINST BI-METAL

RP7. FASTENERS TO BE SELECTED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND TO BE FIT FOR PURPOSE AND COMPATIBLE WITH MATERIAL(S) IN WHICH THEY ARE USED RP8. PROVIDE MARINE GRADE ROOFING AND RAINWATER GOODS FOR COASTAL ENVIRONMENT CONDITIONS AND COMPLY WITH ALL RECOMMENDED

INSTALLATION PROCEDURES RP9. FLASH & MAKE WATERTIGHT ALL PENETRATIONS TO ROOF, SHOWN & NOT SHOWN IN THESE DRAWINGS. SIZE & LOCATIONS TO BE CONFIRMED

SI. SIGNAGE

SI1. PROVIDE NATURAL ANODIZED ALUMINIUM CUT OUT LETTERS TO ALL STATUTORY SIGNS, APARTMENT NUMBERS AND LEVEL

MM MIN RISER WITH MIN 2040MM ALL STAIRS AND LANDINGS, OPENINGS IN STAIRS IS TO BE 2100 MM AND 1000 MM

SN1. STRUCTURAL STEEL TO COMPLY WITH ENGINEER'S DESIGN AND COMPUTATIONS SN2. STEEL LINTELS IN EXTERNAL WALLS AND ALL EXPOSED STRUCTURAL STEEL TO BE HOT DIPPED GALVANISED

SN3. PROVIDE SHOP DRAWINGS (PRIOR TO FABRICATION) FOR THE ARCHITECT'S APPROVAL OF ALL STEEL WORK

TZ, FOR BATHROOMS FLOOR AREAS PROVIDE TO FLOOR WASTES WHERE NOMINATED, PROVIDE 1:60 MIN FALLS TO WASTES IN TILED SHOWER RECESSES T8. ALL BALCONIES AND EXTERNAL COURTYARDS TO HAVE A MINIMUM FALL OF 1:100 AWAY FROM DOORS

AS FAR AS POSSIBLE, SET OUT WORK SO THAT NO TILE LESS THAN HALF SIZE OCCURS.

T3. SILICONE COLOURS TO MATCH GROUT. REFER UNCERTAIN COLOUR MATCHES TO ARCHITECT FOR RESOLUTION.

T6. PROVIDE WATERPROOF SEAL IN MATCHING COLOUR BETWEEN TILES AND FLOOR FINISHES OUTSIDE BATHROOM.

T1. PROVIDE FLEXIBLE WATERPROOF CONTINUOUS SEAL BETWEEN FIXTURES, JOINERY AND TILE WORK FITTINGS, PIPE WORK ETC. COLOUR TO MATCH

T5. PROVIDE FALLS IN FLOOR WITHIN WET AREAS WHERE FLOOR WASTES (FW) ARE INDICATED TO THE SATISFACTION OF BUILDING SURVEYOR. PROVIDE

ALUMINIUM ANGLE WATER BAR AT CHANGES OF FLOOR FINISHES IN WET AREAS. TURN UP WATERPROOF MEMBRANE AT WATER BAR BEFORE LAYING

T4. PROVIDE WATER BAR AT ALL BATHROOMS, ENSUITE AND LAUNDRY DOORS AND UPTURN MEMBRANE BEFORE LAYING SCREED AND TILES.

ALIGN JOINTS IN FLOOR TILE AT RIGHT ANGLES TO EACH OTHER AND STRAIGHT WITH WALLS TO CONFORM TO PATTERNS SELECTED.

 SEAL WITH SILICONE SEALANT TO MATCH GROUT COLOUR TO ALL TILE JUNCTIONS SUCH AS WALL/ FLOOR JUNCTIONS AND JUNCTIONS OF SPLASHBACKS, AND BENCH TOPS ETC

• IF USING SAME WALL AND FLOOR TILE SIZE OR GAUGE, SET OUT FLOOR TILES TO RUN IN SAME LINE AS WALL TILES.

 SET OUT TO USE ONLY WHOLE TILES WHERE PRACTICAL OR TO GIVE EQUAL MARGINS OF CUT TILE, HALF TILES OR LARGER. CUT TILES NEATLY AROUND FITTINGS AND AT MARGINS WHERE NECESSARY.

• RETURN TILES INTO THE REVEALS AND OPENINGS. BUTT UP TO RETURNS, FRAMES, FITTINGS AND OTHER FINISHES

LAY TILES DEAD LEVEL AND/OR TO SPECIFIED FALLS.

GENERALLY SET OUT WALL TILES TO CENTRE LINE OF WALLS

T2. PROVIDE MATCHING SILICONE SEAL BETWEEN FLOOR AND WALL TILES.

SCREED + TILE FINISH

 ALL EXTERNAL CORNER TILE JUNCTIONS SHALL BE NEATLY BUTT JOINTED TO ANODISED ALUMINIUM TILING ANGLE UNLESS OTHERWISE INSTRUCTED,

JUNCTIONS WITH OTHER FLOOR FINISHES TO BE FINISHED WITH A METAL JUNCTION ANGLE STRIP.

• INSTALL GROUT OF SELECTED COLOUR TO MANUFACTURER'S INSTRUCTIONS.

2 & 4 AND TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS DRAWINGS.

• TILES SHALL BE LAID TO FINISH LEVEL WITH ADJOINING FLOOR FINISHES. PROVIDE EXPANSION JOINTS ON FLOORS AT MAXIMUM 4.5M CENTRES AND ALSO WHERE THERE ARE EXISTING STRUCTURAL JOINTS IN THE FLOOR.

CLEAN EACH SURFACE ON COMPLETION

TF. TIMBER FRAMING TF1. ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH TIMBER FRAMING MANUAL AND AS1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION PARTS

TF2. VENTILATION TO SUB-FLOOR TO BE PROVIDED BY MEANS OF OPENINGS IN SUB FLOOR STRUCTURE. TF3. SUB FLOOR CLEARANCE BETWEEN GROUND LEVEL AND UNDERSIDE OF BEARERS TO BE A MINIMUM OF 200MM. OR AS OTHERWISE REQUIRED BY

THE BUILDING SURVEYOR TF4. PROTECTION FROM TERMITES IS TO BE INSTALLED IN ACCORDANCE WITH AS3660.1.

TF5. ROOF TRUSSES WHEN USED SHALL, UNLESS OTHERWISE DESIGNED, BE SUPPORTED AT ENDS AND NOT ON INTERMEDIATE WALLS. TRUSSES TO BE

DESIGNED BY MANUFACTURER IN COMPLIANCE WITH ALL CODES & REGULATIONS. TF6. RAFTERS ARE TO BE ADEQUATELY TIED DOWN TO WALL FRAMES OR STRUCTURE. TF7. PROVIDE FIXING GROUNDS FOR ALL TOWEL RAILS, TOILET ROLL HOLDERS, SOAP HOLDERS, DRYERS, CISTERNS, WALL HUNG BASINS ETC.

TES PROVIDE DOUBLE STUDS TO SUPPORT ENDS OF ALL TIMBER LINTELS. TF9. ALL DOOR FRAMES TO BE MIN 50MM OFFSET FROM ADIACENT WALL FACE: OR AS PER SET-OUT DIMENSIONS

TF10. PAINT PRIME ALL EXPOSED TIMBERS WEATHERBOARDS, JOISTS TO DECKS ETC BEFORE FIXING INTO POSITION, ALL TREATED TIMBER TO BE **RE-TREATED IF CUT** 

WG1. WINDOWS TO BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH WINDOW SCHEDULE, E.S.D. REPORT & ACOUSTIC REPORT IF APPLICABLE. CONFIRM ALL DIMENSIONS ON SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO FABRICATION AND INSTALLATION.

WG3. REFER ELEVATIONS & PLANS FOR SITUATIONS WHERE WINDOW ELEVATIONS ARE MIRRORED.

ALL ROOMS U.N.O - WITHIN 500mmVERTICAL OF FLOOR LEVEL.

WG4. ALL GLAZING TO COMPLY WITH AS 1288-2006 & RELEVANT CODES & SPECIFICATIONS, O SAFETY GLAZING TO BE USED IN THE FOLLOWING

ALL PROPOSED WINDOWS IN WET AREAS UP TO 2.0m ABOVE F.F.L (REFER TO AS 1288-2006) DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS.

WG5. ALL GLAZING TO EXTERNAL WINDOWS, EXTERNAL SLIDING DOORS, ADJUSTABLE LOUVRES AND SHOP FRONTS TO BE IN ACCORDANCE WITH AS2047 AND ALL OTHER GLAZED ASSEMBLIES ARE TO BE IN ACCORDANCE WITH AS 1288.

WG6. OBSCURE GLAZING IS TO BE USED TO ALL BATHROOMS UNLESS OTHERWISE NOTED AND TO ALL OTHER AREAS WHERE OBSCURE GLAZING IS SHOWN ON DRAWINGS: GLASS TYPE OBSCURE WHITE GLASS, FLOAT GLASS WITH WHITE OBSCURE INTER LAYER, NO PATTERN. WG7. PROVIDE POWDERCOATED ALUMINIUM FLYWIRE SCREEN WITH BLACK PLASTIC MESH TO ALL OPENABLE WINDOW SASHES

WG8. ALL OPENABLE WINDOWS TO BE PROVIDED WITH KEYED LOCKS. ALL WINDOWS TO BE KEYED ALIKE FOR EACH DWELLING. WG9. PROVIDE 125MM MAX OPENING LIMIT TO ALL AWNING WINDOWS WITH OVER 2.0M VERTICAL FALL TO OUTSIDE GROUND SURFACE.

WG10. ALL WINDOWS AND EXTERNAL DOORS TO BE SELECTED POWDERCOAT FINISH ALUMINIUM FRAMES U.N.O. WG11 ALL WINDOWS GLAZING TO BE IMPROVED ALLIMINILIM FRAMES WITH CLEAR GLASS LLN O

WG12. WINDOW/DOOR SUITES, HARDWARE AND MECHANISMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS

 $WG13.\ PROVIDE\ AND\ INSTALL\ ALL\ NECESSARY\ FLASHING,\ TRIM,\ REVEALS\ AND\ SILL\ TRAYS\ TO\ MAKE\ SUITE\ WEATHERPROOF\ AND\ FINISH\ TO\ MATCH$ ALUMINIUM GLAZING

WG14 ALLOW FOR ALL HEAD/SILL TRAY FLASHINGS AND COLUMN COVER PLATES AS REQUIRED. FINISH TO MATCH ALLMINIUM GLAZED SUITES. WG15. CHECK ALL NUMBERING AND QUANTITIES AGAINST PLANS AND ELEVATIONS AND NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND. WG16. CHECK ALL SILL LEVELS AGAINST FLOOR LEVELS

WG18. GLASS SIZES ARE SUGGESTED THICKNESS ONLY, MANUFACTURER TO CONFIRM SIZES ARE IN ACCORDANCE WITH CODE REQUIREMENTS AND AS WG19. GLAZED SUITES TO BE CAPRAL 400 SERIES WINDOWS WITH 200 SERIES DOORS U.N.O.

WG20. PROVIDE SHOP DRAWINGS AND DESIGN CALCULATIONS (PRIOR TO FABRICATION) FOR THE ARCHITECT'S APPROVAL AND CONFIRM SECTIONS

FALL WITHIN RELEVANT DESIGN LOADS IN ACCORDANCE TO THE AUSTRALIAN STANDARDS WG21. REFER TO PLANS FOR LOCATION AND SWING OF ALL DOORS

WG22. SUPPLY AND INSTALL ALUMINIUM DOORS THAT APPEAR IN WINDOW SCHEDULE

WG23. WHERE APPLICABLE, POWDERCOAT AND COLORBOND COLOURS TO BE SELECTED FROM THE DULUX FULL RANGE OF COLOURS, COLOURS AS WG24. WINDOW DIMENSIONS GIVEN REFER TO OPENING DIMENSIONS, FRAME AND GLAZING SIZES TO BE CONFIRMED ON SITE AND ADJUSTED

ACCORDINGLY. DOOR DIMENSIONS AS LABELLED.

150MM ABOVE FINISHED FLOOR LEVEL AROUND ENTIRE PERIMETER OF WET AREA

WG25. DOOR HARDWARE TO BE NOMINATED BY THE ARCHITECT / CLIENT WG26. TYPICALLY PROVIDE DOOR STOPS AND BUFFERS TO THE APPROVAL OF THE ARCHITECT / CLIENT.

WG27. ALL DOOR HANDLES TO BE INSTALLED 1050MM ABOVE F.F.L GENERALLY UNLESS OTHERWISE NOTED. WG28. FIRE RATED DOORS & SMOKE DOORS, FRAMES, COSERS, SEALS AND HARDWARE TO SATISFY AUSTRALIAN STANDARDS, BCA REQUIREMENTS &

FIRE ENGINEERING REPORT IF APPLICABLE.

FLOOR SLAB

WG17. DO NOT SCALE OFF DRAWINGS

**WP. WATER PROOFING** WP1. ALL WET AREAS TO BE IMPERVIOUS TO WATER I.E. WALL SURFACES AND SUBSTRATES OF SHOWER ENCLOSURES TO A HEIGHT OF 1800 MM AND BEHIND ANY BATH, BASIN, SINK OR THE LIKE IF WITHIN 75 MM OF A WALL TO A HEIGHT OF 150 MM ABOVE THE FIXTURE. TURN-UP WALL A MINIMUM OF

PENETRATIONS, UP-STANDS, ETC. AS INSTRUCTED BY THE MANUFACTURER. WP3. INSTALL WATERPROOF MEMBRANE TO DOORSILLS SUBSTRATES ON BALCONIES PRIOR TO DOOR SUB-SILL OF DOOR OR WINDOW BEING INSTALLED

WP4. WET AREAS TO BE IMPERVIOUS TO WATER IN ACCORDANCE WITH AS3740 - 1994. WATERPROOFING MEMBRANES TO INTERNAL WET AREAS ARE TO COMPLY WITH AS/NZS 4858 WP5. PROVIDE FALLS IN FLOOR WITHIN WET AREAS WHERE FLOOR WASTES (FW) ARE INDICATED TO THE SATISFACTION OF THE BUILDING SURVEYOR.

WP2. INSTALL WATER PROOF MEMBRANE STRICTLY IN ACCORDANCE WITH WRITTEN INSTRUCTIONS OF MANUFACTURER. EXECUTE SEALS AROUND

WP6. IN WET AREAS USE VILLABOARD ONLY OR EQUIVALENT APPROVED TO ALL WET AREA WALL LINING. WP7. PROVIDE 50MM SET DOWN TO ALL BATH ROOMS AND ENSUITE FLOORS FOR SCREED BEDS & FALLS TO FLOOR WASTES. WP8. WATER STOP SEA L - XYPEX KUNISEAL C-31 OS OR EQUIVALENT APPROVED - TO BE INSTALLED BETWEEN DIFFERENT ELEMENTS IE; BAND BEAM &

WP9. ALL EXTERNAL FLOOR AREAS TO BE GRADED & WATERPROOFED TO COMPLY WITH AS/NZS4654 PARTS 1 & 2 - 2012

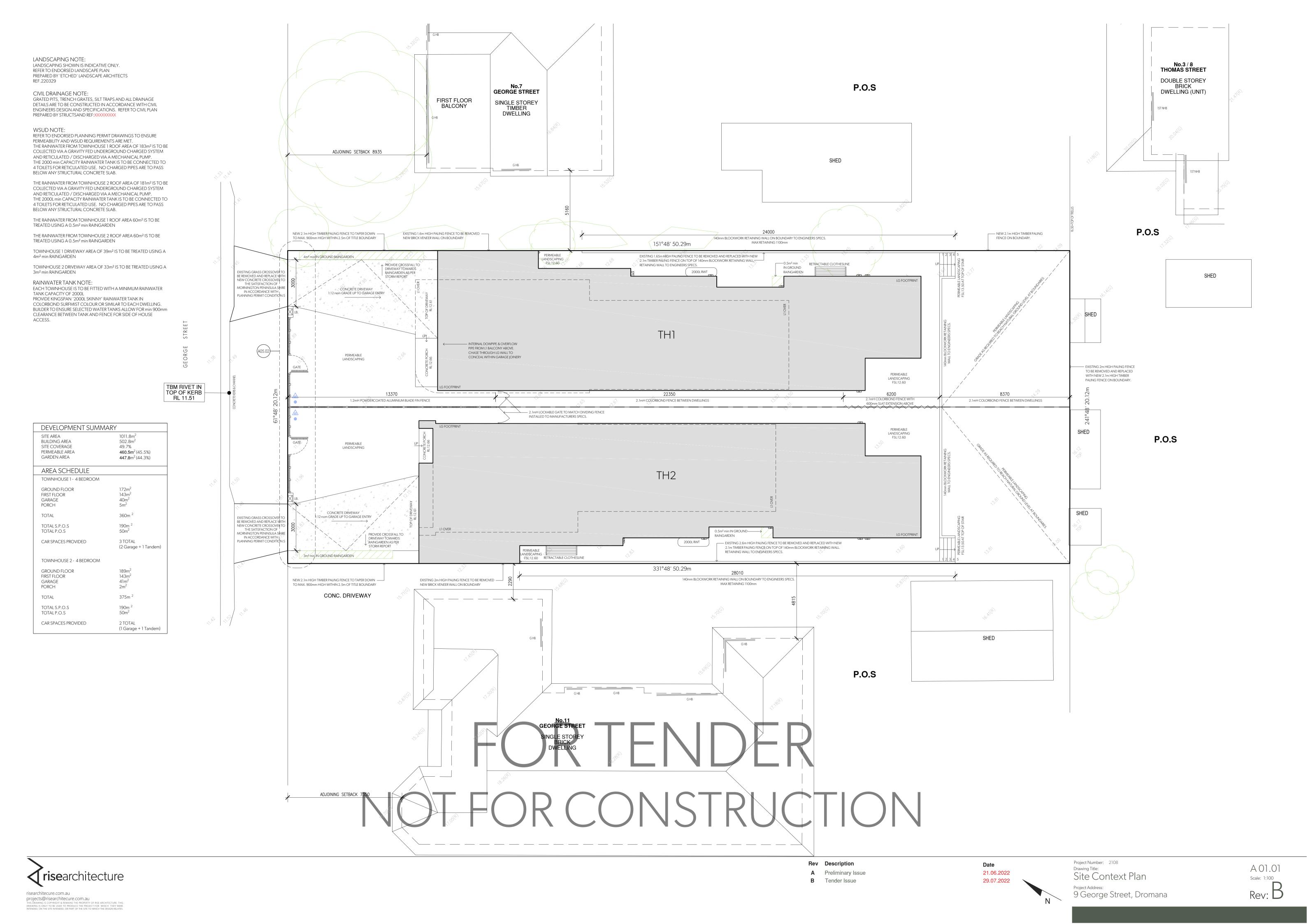
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Date

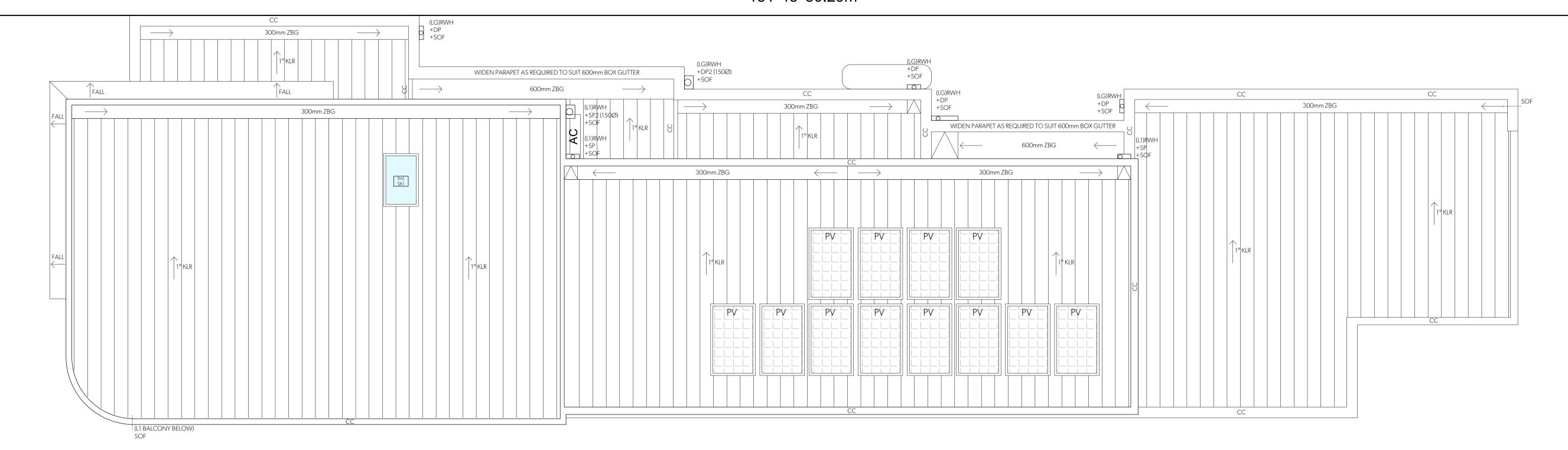
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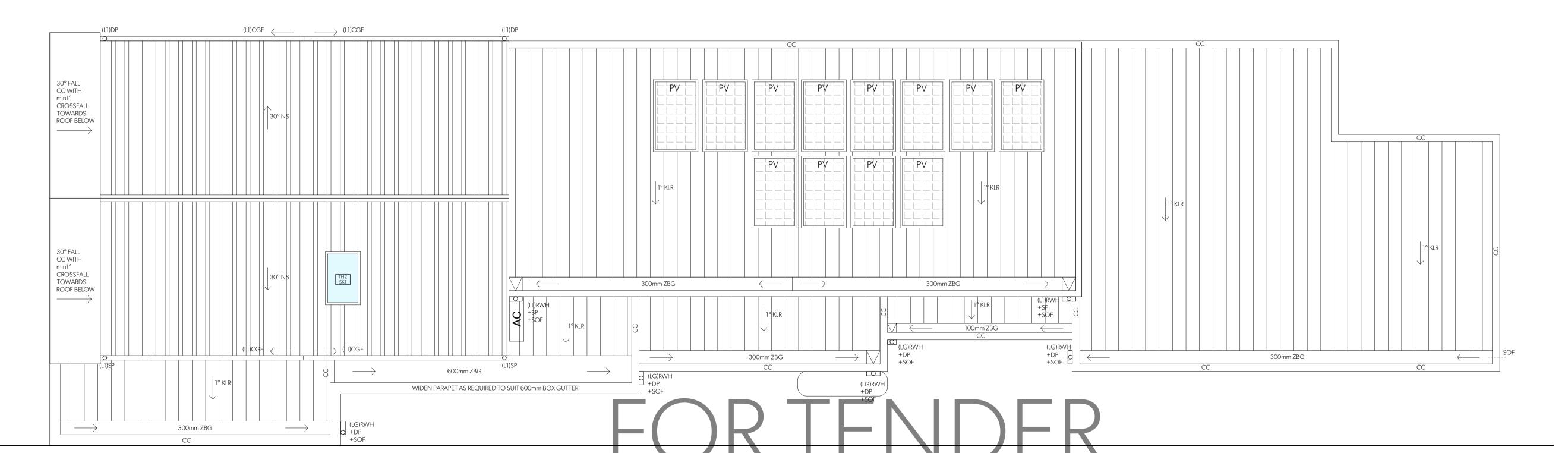
General Notes & Sheet Index





### 151°48' 50.29m





### NOT FOR CONSTRUCTION

**rise**architecture

risearchitecure.com.au projects@risearchitecure.com.au Rev Description

A Preliminary Issue **B** Tender Issue

Date 21.06.2022 29.07.2022

Project Number: 2108 Drawing Title: Roof Plan 9 George Street, Dromana

A01.02 Scale: 1:50 Rev: D

### LEGEND

FW FLOOR WASTE PS PLUMBING STACK (150Ø) DP 90Ø min DOWN PIPE

DP2 150Ø min DOWN PIPE OF 90Ø min RAINWATER OVERFLOW PIPE

OF2 150Ø min RAINWATER OVERFLOW PIPE SOF SIDE OVER FLOW

SP 90Ø min SPREADER PIPE SP2 150Ø min SPREADER PIPE

CC COLORBOND PARAPET CAPPING FALL TOWARDS ROOF / GUTTER (U.N.O)

CGF COLORBOND METAL GUTTER & FASCIA

1:200 (U.N.O) FALL TOWARDS OUTLET ZBG ZINCALUME BOX GUTTER WITH MIN

1:200 (U.N.O)FALL TOWARDS OUTLET KLR KLIP-LOK ZINCALUME ROOFING (BMT-0.48mm) 1° FALL TOWARDS GUTTER U.N.O

NS NAILSTRIP METAL CLADDING WITH 38mm RIB 30° FALL TOWARDS GUTTER

AC AIR CONDITIONER CONDENSER RAINWATER HEAD WITH DOWNPIPE

SUMP WITH INTERNAL DOWNPIPE SUMP

& SIDE OVERFLOW

SUMP SIZE AS PER ADJACENT BOX GUTTER NOMINÁTION

### **GENERAL NOTES**

- 1. TO BE READ IN CONJUNCTION WITH STRUCTURAL, CIVIL, MECHANICAL, HYDRAULIC AND ELECTRICAL ENGINEERS DESIGN AND SPECIFICATIONS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- 2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL/ CIVIL ENGINEERS DRAWINGS PREPARED BY STRUCSAND. ANY DISCREPANCIES FOUND ON THE DRAWINGS ARE TO BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH ANY
- 3. REFER TO STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS FOR ALL FOOTINGS, CONCRETE SLAB & BLOCK WALLS DETAILS FOR THE LOCATIONS OF ANY SAW CUTS AND CONTROL JOINTS. ANY CONTROL JOINTS IN FIRE RATED ELEMENTS ARE TO BE FIRE STOPPED.
- 4. PROVIDE ACOUSTIC LAGGING/INSULATION TO ALL INTERNAL HYDRAULIC PIPES IN ACCORDANCE WITH D.T.S ACOUSTIC REQUIREMENTS.

TREATED USING A 0.5m<sup>2</sup> min RAINGARDEN

### WSUD NOTE:

REFER TO ENDORSED PLANNING PERMIT DRAWINGS TO ENSURE PERMEABILITY AND WSUD REQUIREMENTS ARE MET. THE RAINWATER FROM TOWNHOUSE 1 ROOF AREA OF 183m<sup>2</sup> IS TO BE COLLECTED VIA A GRAVITY FED UNDERGROUND CHARGED SYSTEM AND RETICULATED / DISCHARGED VIA A MECHANICAL PUMP. THE 2000 min CAPACITY RAINWATER TANK IS TO BE CONNECTED TO 4 TOILETS FOR RETICULATED USE. NO CHARGED PIPES ARE TO PASS BELOW ANY STRUCTURAL CONCRETE SLAB.

THE RAINWATER FROM TOWNHOUSE 2 ROOF AREA OF 181m<sup>2</sup> IS TO BE COLLECTED VIA A GRAVITY FED UNDERGROUND CHARGED SYSTEM AND RETICULATED / DISCHARGED VIA A MECHANICAL PUMP.

THE 2000L min CAPACITY RAINWATER TANK IS TO BE CONNECTED TO 4 TOILETS FOR RETICULATED USE. NO CHARGED PIPES ARE TO PASS BELOW ANY STRUCTURAL CONCRETE SLAB. THE RAINWATER FROM TOWNHOUSE 1 ROOF AREA 60m<sup>2</sup> IS TO BE

THE RAINWATER FROM TOWNHOUSE 2 ROOF AREA 60m<sup>2</sup> IS TO BE TREATED USING A 0.5m<sup>2</sup> min RAINGARDEN

TOWNHOUSE 1 DRIVEWAY AREA OF 39m<sup>2</sup> IS TO BE TREATED USING A 4m<sup>2</sup> min RAINGARDEN

TOWNHOUSE 2 DRIVEWAY AREA OF 33m<sup>2</sup> IS TO BE TREATED USING A 3m<sup>2</sup> min RAINGARDEN

TO BE APPROPRIATELY SHIELDED.

CONDENSER NOTE CONDENSER UNITS TO SIT ON GALVANIZED STEEL FRAME VIA NEOPRENE PADS AS TYPICAL SUPPORTS IN ACCORDANCE WITH MANUFACTURERS SPECS. LOCATIONS SHOWN INDICATIVELY. BUILDER TO ALLOW NOMINATED CLEARANCES AS NOMINATED BY MANUFACTURER. ALL EXPOSED REFRIGERANT PIPES ARE

### SKYLIGHT NOTE

SKYLIGHTS ARE TO BE INSTALLED. FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06.02 FOR TYPICAL SKYLIGHT DETAIL.

### SOLAR ARRAY NOTE

BUILDER TO PROVIDE A SOLAR P.V SYSTEM TO BE INSTALLED ON THE ROOF OF THE DEVELOPMENT IN ACCORDANCE WITH THE PERFORMANCE SOLUTION REPORT PREPARED BY FRATER CONSULTING SERVICES REFXXXXXXXXXXX.

### **LEGEND**

SK SINK
DW DISH WASHER
HP HOTPLATE
RH RANGE HOOD
REF REFRIGERATOR
OV WALL OVEN
OHC OVERHEAD CUPBOARDS
PTY PANTRY
TR TROUGH
WM WASHING MACHINE
DRY DRYER
CL RETRACTABLE CLOTHESLINE
VB UNDER-MOUNT VANITY BASIN WITH OVERFLOW
WB WALL BASIN
WC TOILET
SHR ENCLOSED SHOWER
BATH FREESTANDING BATHTUB
FP 'LUMINAR 2000' GAS FIREPLACE INSTALLED TO
MANUFACTURERS SPECS.

J JOINERY\*
TIPF TIMBER PALLING FENCE
LIN LINEN CUPBOARD\*
BIR BUILT IN WARDROBE
HR CONTINUOUS HANDRAIL TO min 1 SIDE OF STAIR
BALL min 1m HIGH BALUSTRADE
LIH LIFT-OFF HINGES
FW FLOOR WASTE\*
W DOMESTIC WATER METER
G DOMESTIC GAS METER
MSB ELECTRICAL MAINS SWITCHBOARD
AJ ARTICULATION JOINT (AS 3700-2011)
SD STRIP DRAIN
SON STRIP DRAIN

MSB ELECTRICAL MAINS SWITCHBOARD
AJ ARTICULATION JOINT (AS 3700-2011)
SD STRIP DRAIN
DP 90Ø DOWN PIPE
DP2 150Ø DOWN PIPE
OF 90Ø RAINWATER OVERFLOW PIPE
OF2 150Ø RAINWATER OVERFLOW PIPE
SP 90Ø SPREADER PIPE
SP2 150Ø SPREADER PIPE
RWH RAIN WATER HEAD
SOF SIDE OVERFLOW

HARDWIRED SMOKE ALARM FLOOR FINISHES

NCON NATURAL CONCRETE FLOOR
TIM TIMBER FLOORBOARDS
CARP CARPET
PAV EXTERNAL CONC. PAVERS
LAWN LANDSCAPING
T TILED FINISH

STRUCTURAL MEMBERS
TC TIMBER COLUMN
COL STEEL COLUMN

STEEL COLUMN

STEEL COLUMN

STEEL COLUMN

SIZES TO ENGINEER'S DETAILS

GENERAL NOTES:

REFER TO CIVIL PLAN FOR ALL STORM WATER REQUIREMENTS AND DETAILS.

J - REFER TO JOINERY SHOP DRAWINGS FOR ALL JOINERY DETAILS.

 WET AREAS TO BE IMPERVIOUS TO WATER I.E. WALL SURFACES AND SUBSTRATES OF SHOWER ENCLOSURES, OR IF UNENCLOSED, WITHIN 1.5m HORIZONTALLY TO A HEIGHT OF 1.8m ABOVE THE FLOOR; AND BEHIND ANY BASIN, SINK ETC. IF WITHIN 75mmOF A WALL TO A HEIGHT OF 150mm ABOVE THE FIXTURE.

RAKED CEILING ABOVE



## FORTENDER NOT FOR CONSTRUCTION









A 02.01 Scale: 1:100 Rev: B

# SK SINK DW DISH WASHER HP HOTPLATE RH RANGE HOOD REF REFRICERATOR OV WALL OVEN OHC OVERHEAD CUPBOARDS PTY PANTRY TR TROUGH WM WASHING MACHINE DRY DRYER CL RETRACTABLE CLOTHESLINE UNDER-MOUNT VANITY BASIN WITH OVERFLOW WB WALL BASIN WC TOILET SHR ENCLOSED SHOWER BATH FREESTANDING BATHTUB FP 'LUMINAR 2000' GAS FIREPLACE INSTALLED TO MANUFACTURERS SPECS. J DINERY\* TPF TIMBER PAILING FENCE LIN LINEN CUPBOARD\* BIR BUILT IN WARDROBE HR CONTINUOUS HANDRAIL TO min 1 SIDE OF STAIR min 1m HIGH BALUSTRADE LH LIFT-OFF HINGES FW FLOOR WASTE\* W DOMESTIC WATER METER G DOMESTIC GAS METER MSB ELECTRICAL MAINS SWITCHBOARD AJ ARTICULATION JOINT (AS 3700-2011) SD STRIP DRAIN DP 90Ø DOWN PIPE DP2 150Ø PAINWATER OVERFLOW PIPE SP 90Ø SREADER PIPE SP2 150Ø SREADER PIPE RWH RAIN WATER HEAD SOF SIDE OVERFLOW LEGEND

HARDWIRED SMOKE ALARM FLOOR FINISHES

NCON NATURAL CONCRETE FLOOR
TIM TIMBER FLOORBOARDS
CARP CARPET
PAV EXTERNAL CONC. PAVERS
LAWN LANDSCAPING
T TILED FINISH

STRUCTURAL MEMBERS
TC TIMBER COLUMN
COL STEEL COLUMN
STEEL COLUMN
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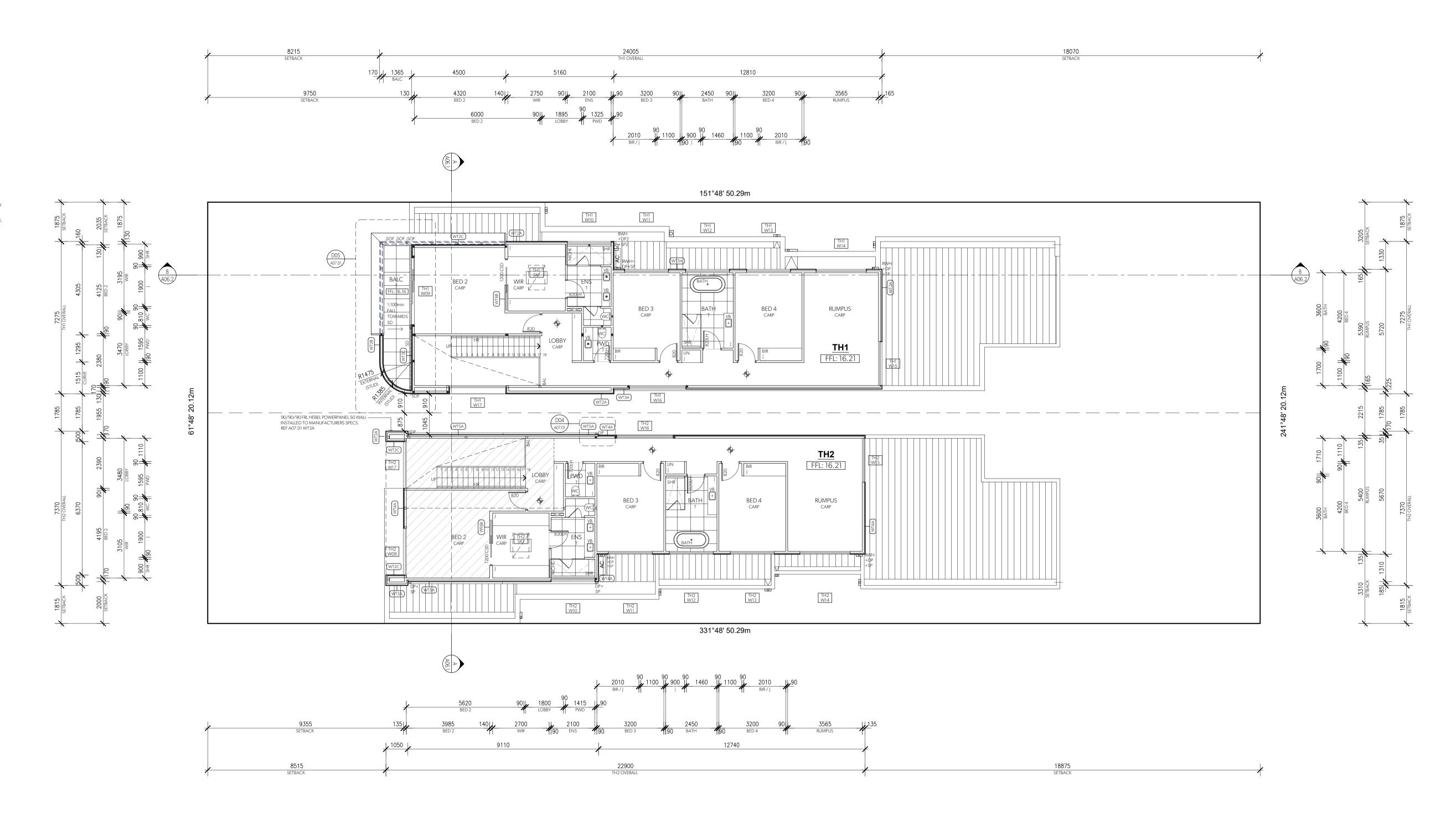
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RAKED CEILING ABOVE



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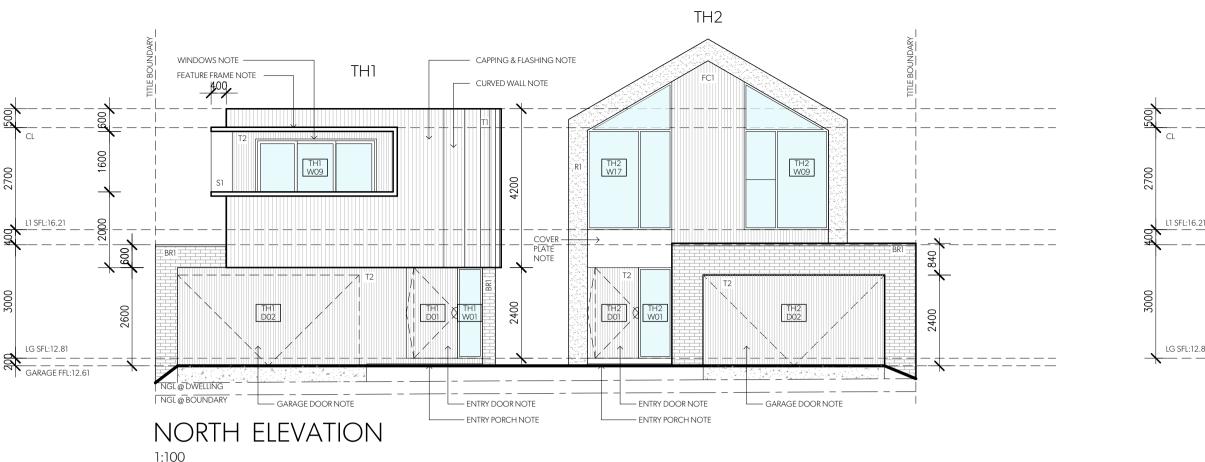


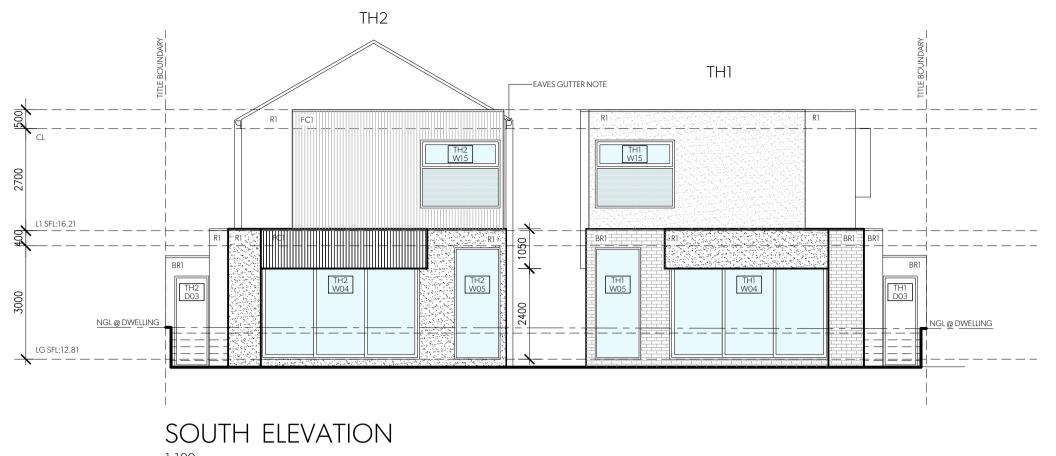


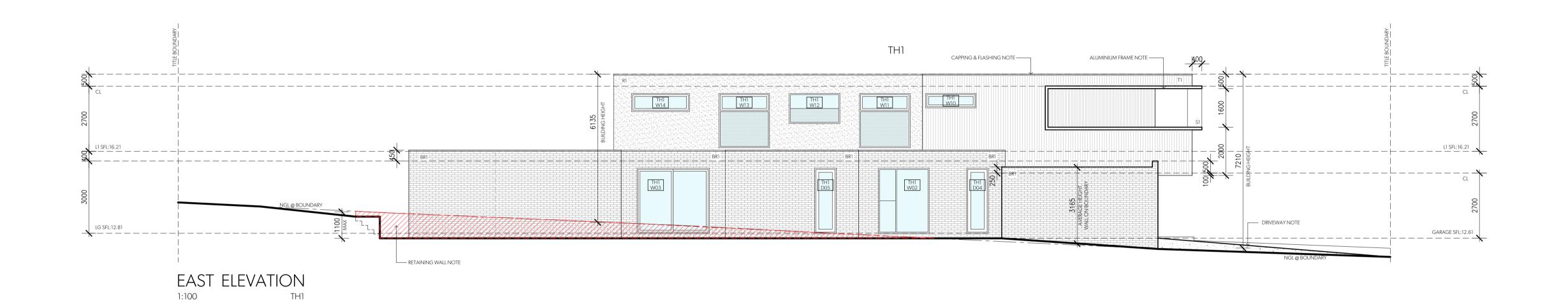












WINDOWS POWDERCOATED ALUMINIUM FRAME WINDOWS. WINDOW U & SHGC VALUES AS PER ENDORSED ENERGY RATING REPORT. THI WINDOW FRAMES TO BE 'NIGHT SKY' COLOUR OR SIMILAR. TH2 WINDOW FRAMES TO BE 'PEARL WHITE' COLOUR OR SIMILAR.

FEATURE FRAME POWDERCOATED ALUMINIUM CLADDING TO LIGHTWEIGHT FRAME TO ENGINEERS SPECS. 'PEARL WHITE' COLOUR OR SIMILAR. 6000mm nom PROJECTION FROM EXTERNAL WALL. REFER TO A06 AND ENGINEERS DRAWINGS FOR DETAILS

CURVED WALL SCLUPTFORM FLAT 150x12 CLICK-ON CLADDING TO TH1 CURVED FACADE. REFER TO A02.02 FIRST FLOOR PLAN FOR RADIUS DIMENSIONS. CLADDING BATTENS INSTALLED ON CURVED MOUNTING TRACK AS PER MANUFACTURERS SPECS.

ENTRY DOOR
SCLUPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME PIVOT DOOR.
REFER TO A07.01 WT2D CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

GARAGE DOOR

SCLUPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME TILT UP DOOR. REFER TO A07.01 WT2E CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

<u>COVER PLATE</u> POWDERCOATED ALUMINIUM COVER PLATE TO MATCH ADJACENT WINDOW FRAMES.

DRIVEWAY \_\_\_\_\_\_\_EXPOSED AGGREGATE CONCRETE DRIVEWAY AT nom 1:12 GRADE UP TO GARAGE FLOOR LEVEL.

CAPPING & FLASHING NOTE COLORBOND CAPPING & FLASHING TO ALL PARAPET WALLS. CAPPING TO MATCH WALL COLOUR. MIN 1:100 FALL TOWARDS BOX GUTTER OR ROOFING BELOW.

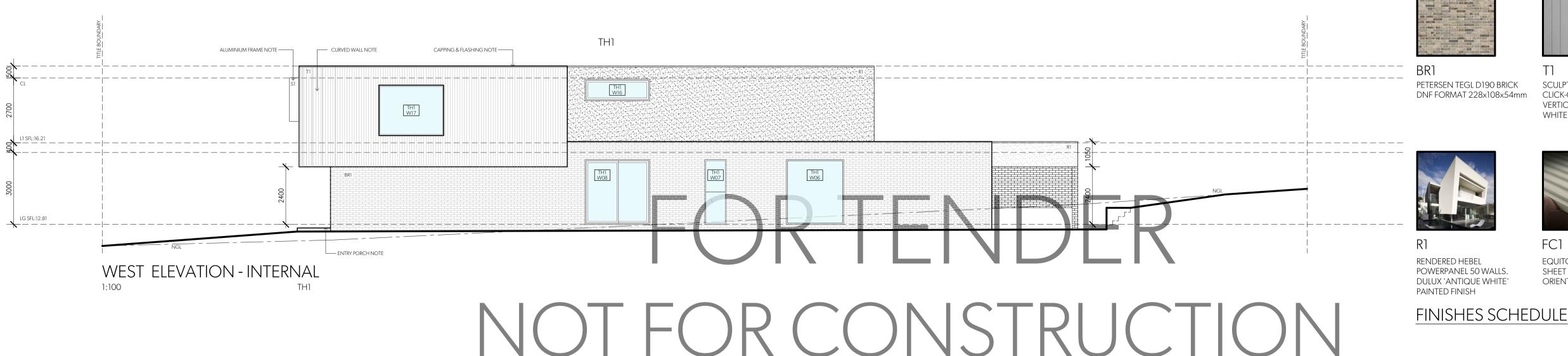
RETAINING WALL NOTE RETAINING WALLS TO ENGINEERS SPECS.
REFER TO A01.01 FOR EXTENT OF RETAINING WALLS. 1100mm MAX RETAINING

EAVES GUTTER NOTE \_ LYSAGHT HALF ROUND GUTTER AND METAL FASCIA INSTALLED TO MANUFACTURERS SPECS. COLOUR TO MATCH ADJACENT ROOF SHEETING.

SKYLIGHT NOTE
SKYLIGHTS ARE TO BE INSTALLED, FLASHED &
WATERPROOFED IN ACCORDANCE WITH
MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06.02 FOR TYPICAL SKYLIGHT DETAIL.

ENTRY PORCH NOTE 100mm CONCRETE PAVING SLAB. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21554

TH1 SFL-PORCH: 12.66 TH2 SFL - PORCH: 12.66









SCULPTFORM FLAT 150x12 CLICK-ON CLADDING -VERTICAL ORIENTATION. WHITE WASH OAK FINISH

FC1

EQUITONE LT90 F.C

SHEET IN VERTICAL

ORIENTATION.



SCULPTFORM FLAT 75×12 CLICK-ON CLADDING -VERTICAL ORIENTATION. **BLACKBUTT FINISH** 



MATTE WHITE POWDERCOATED ALUMINIUM METAL SUN SHADE



MC1 'NAILSTRIP' 38mm RIB HEIGHT VERTICAL METAL CLADDING. COLORBOND WINDSPRAY COLOUR OR SIMILAR.



POWDERCOATED ALUMINIUM BLADE FENCE. WHITE COLOUR

Rev Description

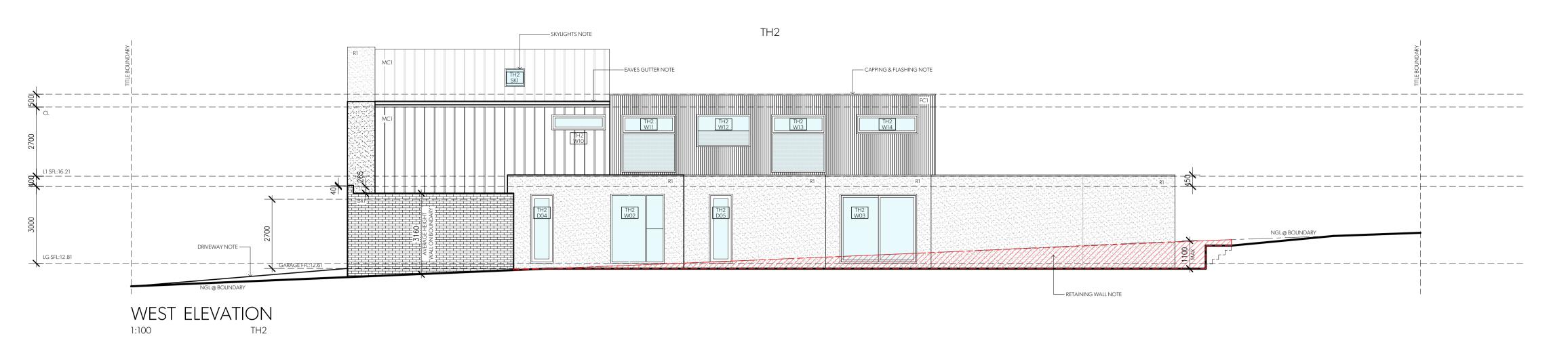
A Preliminary Issue **B** Tender Issue

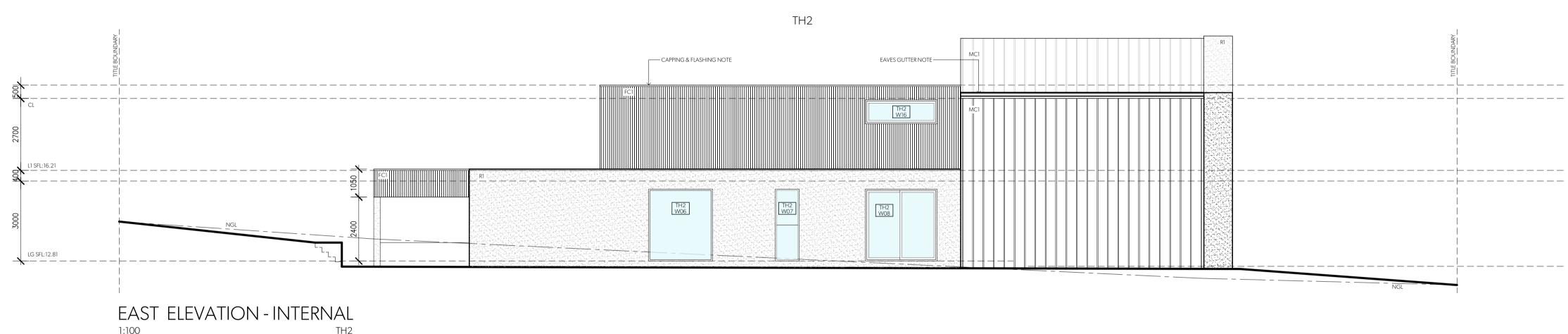
Date 21.06.2022 29.07.2022

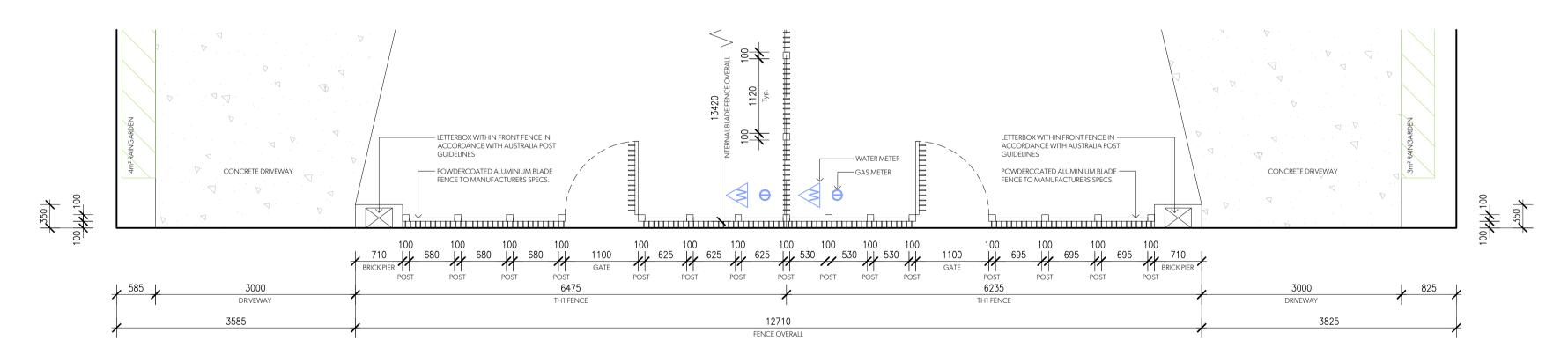
Elevations, Finishes Project Address: 9 George Street, Dromana

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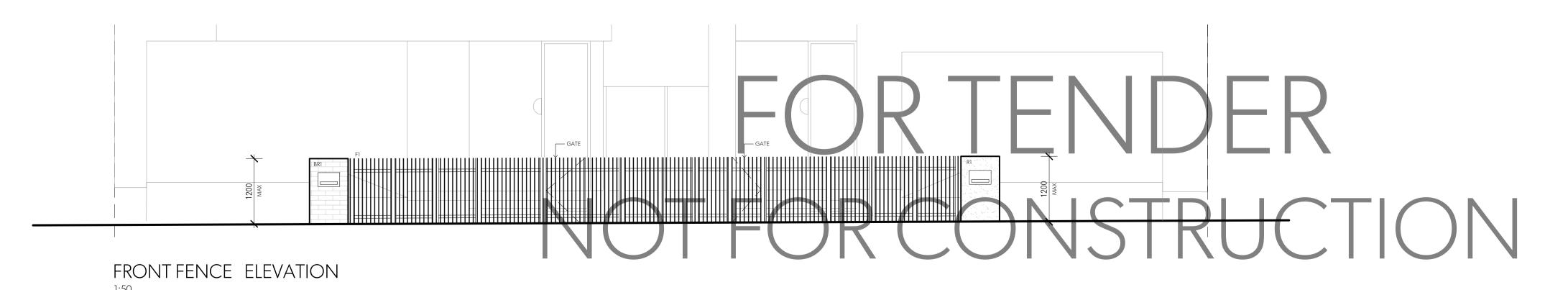








FRONT FENCE PLAN





PETERSEN TEGL D190 BRICK DNF FORMAT 228x108x54mm



SCULPTFORM FLAT 150x12 CLICK-ON CLADDING -VERTICAL ORIENTATION. WHITE WASH OAK FINISH



SCULPTFORM FLAT 75×12 CLICK-ON CLADDING -VERTICAL ORIENTATION. **BLACKBUTT FINISH** 



POWDERCOATED ALUMINIUM FRAME WINDOWS. WINDOW U & SHGC VALUES AS PER ENDORSED ENERGY RATING REPORT. THI WINDOW FRAMES TO BE 'NIGHT SKY' COLOUR OR SIMILAR. TH2 WINDOW FRAMES TO BE

FEATURE FRAME
POWDERCOATED ALUMINIUM CLADDING TO
LIGHTWEIGHT FRAME TO ENGINEERS SPECS. 'PEARL

WHITE' COLOUR OR SIMILAR. 6000mm nom PROJECTION FROM EXTERNAL WALL. REFER TO A06 AND ENGINEERS

CURVED WALL SCLUPTFORM FLAT 150x12 CLICK-ON CLADDING TO TH1 CURVED FACADE. REFER TO A02.02 FIRST FLOOR PLAN FOR RADIUS DIMENSIONS. CLADDING BATTENS

INSTALLED ON CURVED MOUNTING TRACK AS PER

ENTRY DOOR SCLUPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME PIVOT DOOR.
REFER TO A07.01 WT2D

CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

GARAGE DOOR
SCLUPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME TILT UP DOOR.

CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

<u>COVER PLATE</u> POWDERCOATED ALUMINIUM COVER PLATE TO MATCH

EXPOSED AGGREGATE CONCRETE DRIVEWAY AT nom

CAPPING & FLASHING NOTE— COLORBOND CAPPING & FLASHING TO ALL PARAPET WALLS. CAPPING TO MATCH WALL COLOUR. MIN 1:100

FALL TOWARDS BOX GUTTER OR ROOFING BELOW.

RETAINING WALL NOTE RETAINING WALLS TO ENGINEERS SPECS.
REFER TO A01.01 FOR EXTENT OF RETAINING WALLS.

EAVES GUTTER NOTE \_\_ LYSAGHT HALF ROUND GUTTER AND METAL FASCIA INSTALLED TO MANUFACTURERS SPECS. COLOUR TO

SKYLIGHT NOTE SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL

SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06.02 FOR TYPICAL

REFER TO STRUCTURAL ENGINEERING PLANS PREPARED

1:12 GRADE UP TO GARAGE FLOOR LEVEL.

'PEARL WHITE' COLOUR OR SIMILAR.

DRAWINGS FOR DETAILS

MANUFACTURERS SPECS.

REFER TO A07.01 WT2E

ADJACENT WINDOW FRAMES.

1100mm MAX RETAINING

SKYLIGHT DETAIL.

MATCH ADJACENT ROOF SHEETING.

ENTRY PORCH NOTE 100mm CONCRETE PAVING SLAB.

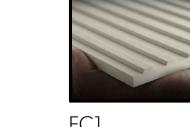
BY STRUCSAND REF:21554

TH1 SFL-PORCH: 12.66 TH2 SFL - PORCH: 12.66



FINISHES SCHEDULE

RENDERED HEBEL POWERPANEL 50 WALLS. DULUX 'ANTIQUE WHITE' PAINTED FINISH



FC1 EQUITONE LT90 F.C SHEET IN VERTICAL ORIENTATION.



MC1 'NAILSTRIP' 38mm RIB HEIGHT VERTICAL METAL CLADDING. COLORBOND WINDSPRAY COLOUR OR SIMILAR.



POWDERCOATED ALUMINIUM BLADE FENCE. WHITE COLOUR

Rev Description

A Preliminary Issue **B** Tender Issue

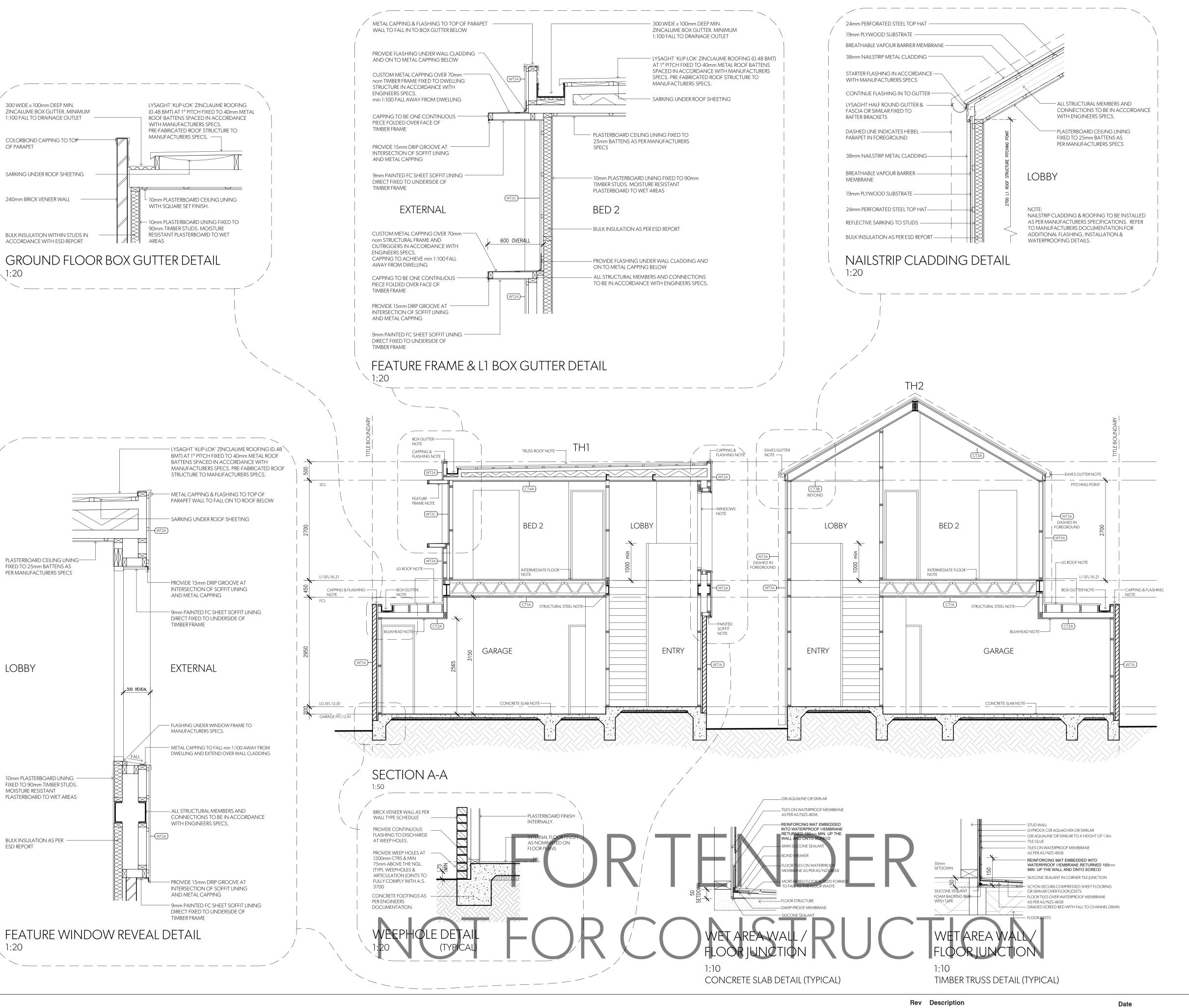
21.06.2022 29.07.2022

Date

Elevations, Finishes, Front Fence Project Address: 9 George Street, Dromana

A 05.02 Scale: 1:100,50 Rev: B





<u>WINDOWS</u> POWDERCOATED ALUMINIUM FRAME WINDOWS. WINDOW U & SHGC VALUES AS PER ENDORSED ENERGY RATING REPORT. THI WINDOW FRAMES TO BE 'NIGHT SKY' COLOUR OR SIMILAR. TH2 WINDOW FRAMES TO BE 'PEARL WHITE' COLOUR OR SIMILAR.

FEATURE FRAME\_POWDERCOATED ALUMINIUM CLADDING TO LIGHTWEIGHT FRAME TO ENGINEERS SPECS. 'PEARL WHITE' COLOUR OR SIMILAR. 6000mm nom PROJECTION FROM EXTERNAL WALL. REFER TO A06 AND ENGINEERS

DRAWINGS FOR DETAILS

CURVED WALL
SCLUPTFORM FLAT 150x12 CLICK-ON CLADDING TO TH1 CURVED FACADE. REFER TO A02.02 FIRST FLOOR PLAN FOR RADIUS DIMENSIONS. CLADDING BATTENS INSTALLED ON CURVED MOUNTING TRACK AS PER

MANUFACTURERS SPECS. ENTRY DOOR\_ SCLUPTFORM FLAT 75x12 CLICK-ON CLADDING TO

CUSTOM GALVANIZED STEEL FRAME PIVOT DOOR. REFER TO A07.01 WT2D CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1) GARAGE DOOR SCLUPTFORM FLAT 75x12 CLICK-ON CLADDING TO

CUSTOM GALVANIZED STEEL FRAME TILT UP DOOR. REFER TO A07.01 WT2E CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

POWDERCOATED ALUMINIUM COVER PLATE TO MATCH ADJACENT WINDOW FRAMES.

EXPOSED AGGREGATE CONCRETE DRIVEWAY AT nom 1:12 GRADE UP TO GARAGE FLOOR LEVEL.

CAPPING & FLASHING NOTE
COLORBOND CAPPING & FLASHING TO ALL PARAPET

FALL TOWARDS BOX GUTTER OR ROOFING BELOW. RETAINING WALL NOTE RETAINING WALLS TO ENGINEERS SPECS.

WALLS. CAPPING TO MATCH WALL COLOUR. MIN 1:100

REFER TO A01.01 FOR EXTENT OF RETAINING WALLS. 1100mm MAX RETAINING

EAVES GUTTER NOTE LYSAGHT HALF ROUND GUTTER AND METAL FASCIA INSTALLED TO MANUFACTURERS SPECS. COLOUR TO MATCH ADJACENT ROOF SHEETING.

SKYLIGHT NOTE
SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06.02 FOR TYPICAL SKYLIGHT DETAIL.

100mm CONCRETE PAVING SLAB. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF: 21554

TH1 SFL - PORCH: 12.66 TH2 SFL - PORCH: 12.66 CONCRETE SLAB NOTE STRUCTURAL SLAB, ASSOCIATED SLAB FOLDS, SET

DOWNS, STAIRS, STRIP FOOTINGS, SOLDIER PILES, BEAM WIDENING, UNDERPINNING, WATERPROOFING ETC ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN AND DETAILING. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21554

TH1 SFL: 12.81 TH1 SFL - GARAGE: 12.61

TH2 SFL: 12.81 TH2 SFL - GARAGE: 12.61

50mm SHOWER SETDOWNS TO BE PROVIDED (TYP). NOMINAL 30mm NOMINAL ALLOWANCE FOR FLOOR COVERING. SCREED TOPPING LEVEL TO BE ADJUSTED WHEN FINAL TILES SELECTION IS MADE.

BOOmm WIDE x 100mm DEEP MIN ZINCALUME BOX GUTTER ON 20mm NOM GUTTER BOARD (Typ) U.N.O. ALL BOX GUTTERS ARE TO HAVE A MIN FALL OF 1:100 TOWARDS OUTLET. REFER TO A01.02 FOR ALL BOX GUTTER LOCATIONS. REFER TO A06 FOR BOX GUTTER

TRUSS ROOF NOTE 1° LYSAGHT KLIP-LOK 700 HI-STRENGTH (0.48BMT) SHEET ROOFING ON STEEL BATTENS SPACED AS PER MANUF. SPECS & IN COMPLIANCE WITH AS.1562.1. OVER PRE-FABRICATED TRUSSES. TO BE CONSTRUCTED

IN ACCORDANCE WITH ENGINEERS DESIGN AND SPECIFICATIONS.

1° LYSAGHT KLIP-LOK 700 HI-STRENGTH (0.48BMT) SHEET ROOFING ON GRADED TIMBER BATTENS SPACED AS PER MANUF. SPECS & IN COMPLIANCE WITH AS.1562.1. ROOF FRAMING AS PER ENGINEERS SPECS.

INTERMEDIATE FLOOR NOTE SOLID FLOOR JOISTS, AS NOMINATED BY THE ENGINEER, TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS, INTEGRATED STRUCTURAL MEMBERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN AND DETAILING. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21554 50mm SHOWER SETDOWNS TO BE PROVIDED (TYP). REFER TO A06 FOR WATERPROOFING DETAILS.

TH1 L1 SFL: 16.18 - FFL: 16.21 TH2 L1 SFL: 16.18 - FFL: 16.21

NOMINAL 30mm ALLOWANCE FOR FLOOR COVERING.

STRUCTURAL STEEL NOTE REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF: 21554 FOR ALL STRUCTURAL MEMBERS AND CONNECTION DETAILS.

BOX OUT CEILING TO ACHIEVE CEILING HEIGHT AS NOMINATED ON ELECTRICAL LAYOUT PLAN A09 TO ALLOW FOR HEATING AND COOLING DUCTS

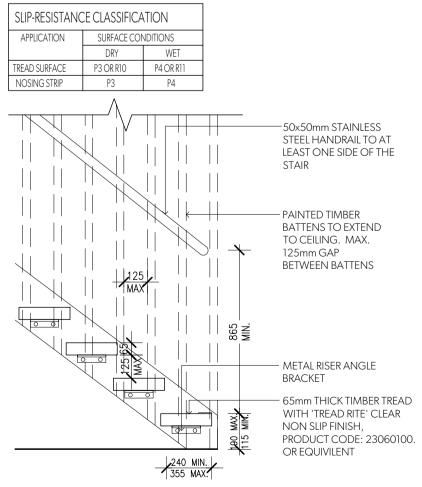
PAINTED SOFFIT NOTE
9mm PAINTED F.C. SHEET DIRECT FIXED TO TIMBER MEMBER IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS U.N.O. PROVIDE DRIP GROOVE AT INTERSECTION OF SOFFIT LINING AND EXTERNAL WALL CLADDING

TIMBER LINED SOFFIT NOTE
SCULPTFORM FLAT 75x12 CLICK ON CLADDING 'BLACKBUTT' FINISH TO MATCH ADJACENT WALL. FIXED TO TIMBER MEMBERS AS PER WALL TYPE WT2C AND IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. PROVIDE DRIP GROOVE AT INTERSECTION OF SOFFIT LINING AND EXTERNAL WALL CLADDING

SKYLIGHT NOTE SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL CONSTRUCTION. REFER TO A06 FOR TYPICAL SKYLIGHT

TREADS MUST HAVE A SURFACE WITH A SLIP-RESISTANT FINISH OR A NOSING STRIP WITH A MIN. CLASSIFICATION LISTED IN TABLE BELOW, WHEN TESTED

IN ACCORDANCE WITH AS 4586.



**EXPOSED STRINGER STAIR DETAIL** 1:20 **TYPICAL** 

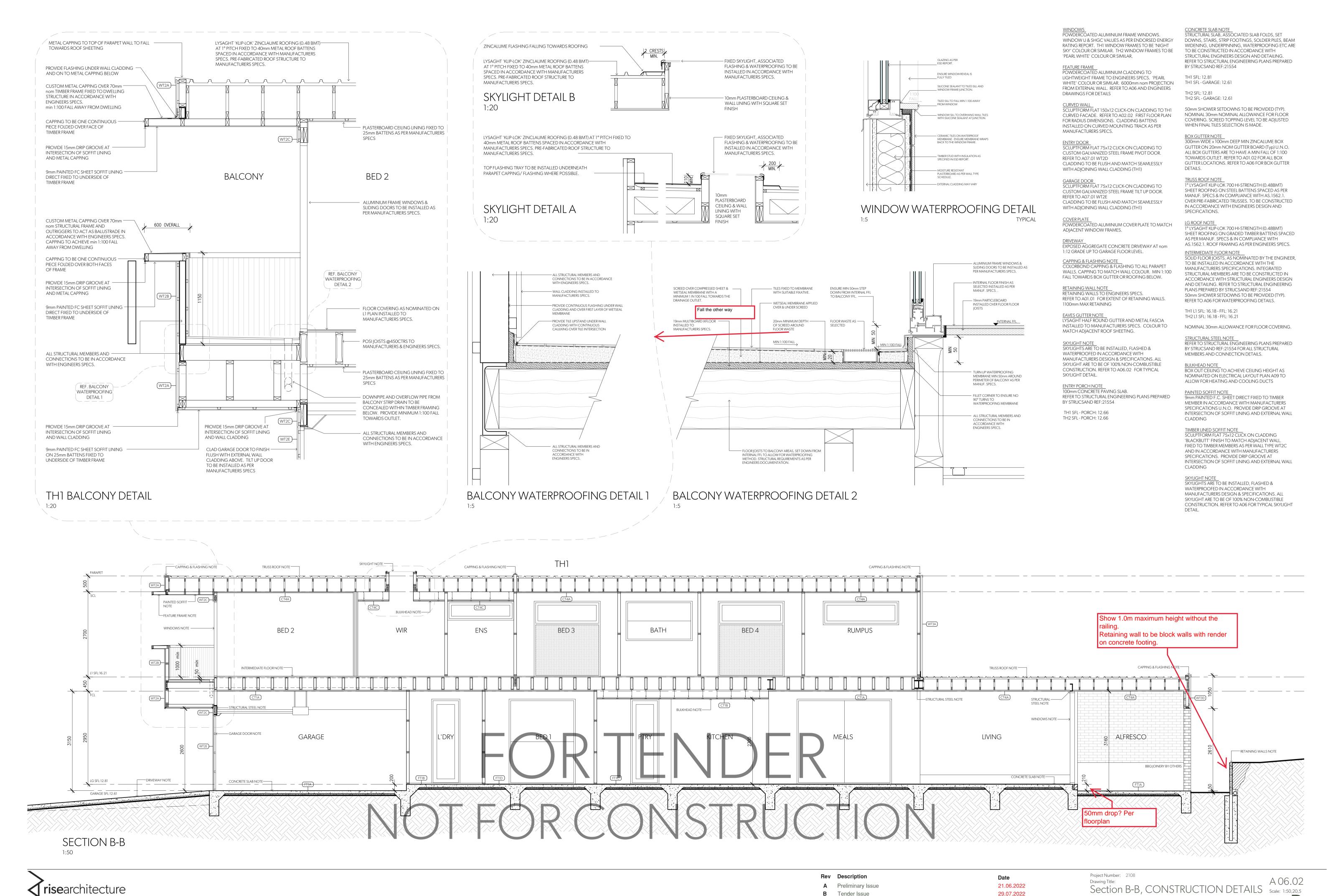
A Preliminary Issue **B** Tender Issue

21.06.2022 29.07.2022

Project Number: 2108 Section A-A, CONSTRUCTION DETAILS

Rev: D

**rise**architecture



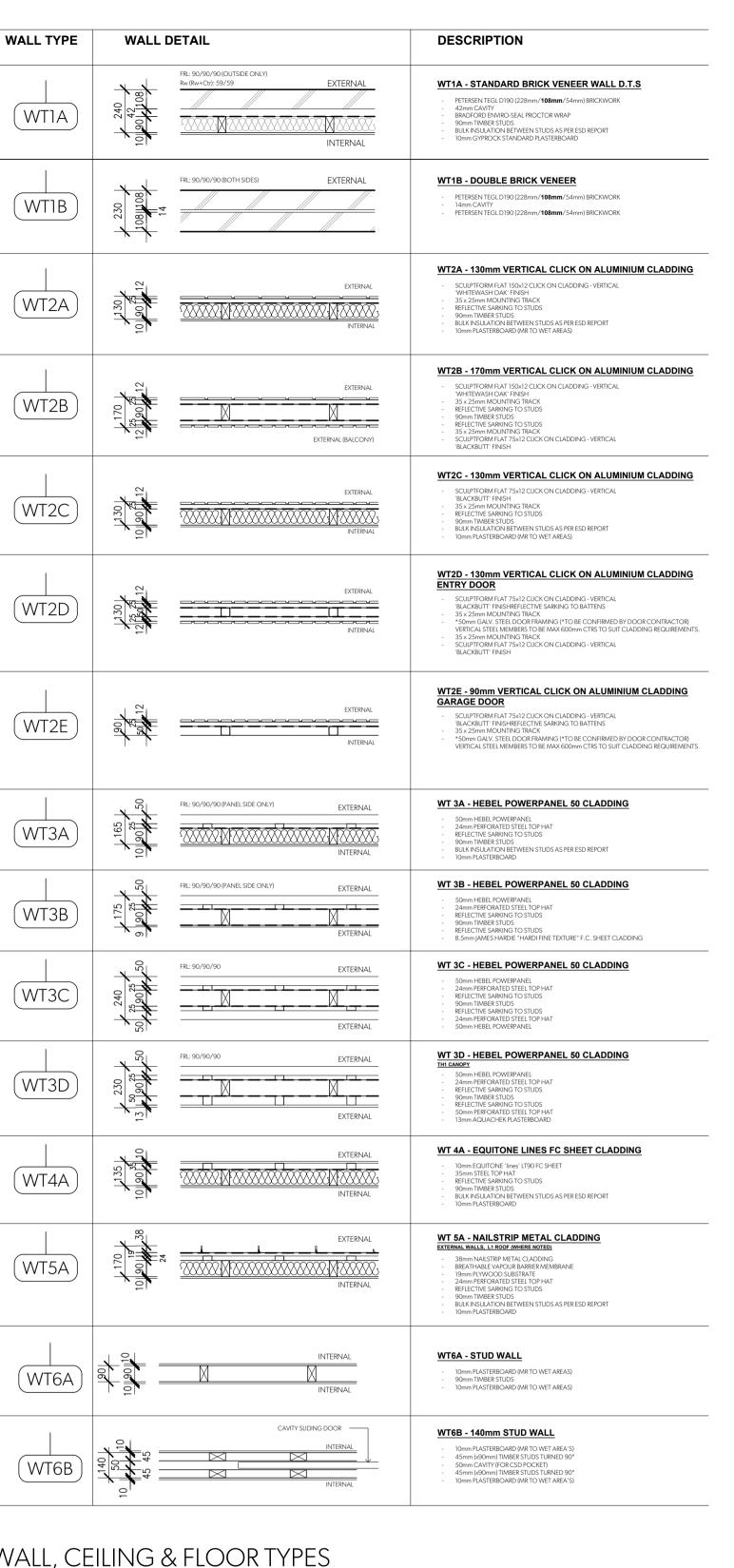
9 George Street, Dromana

Rev: D

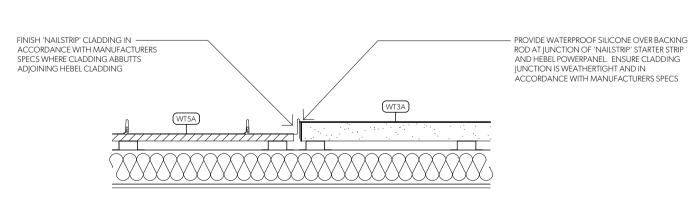
risearchitecure.com.au

projects@risearchitecure.com.au

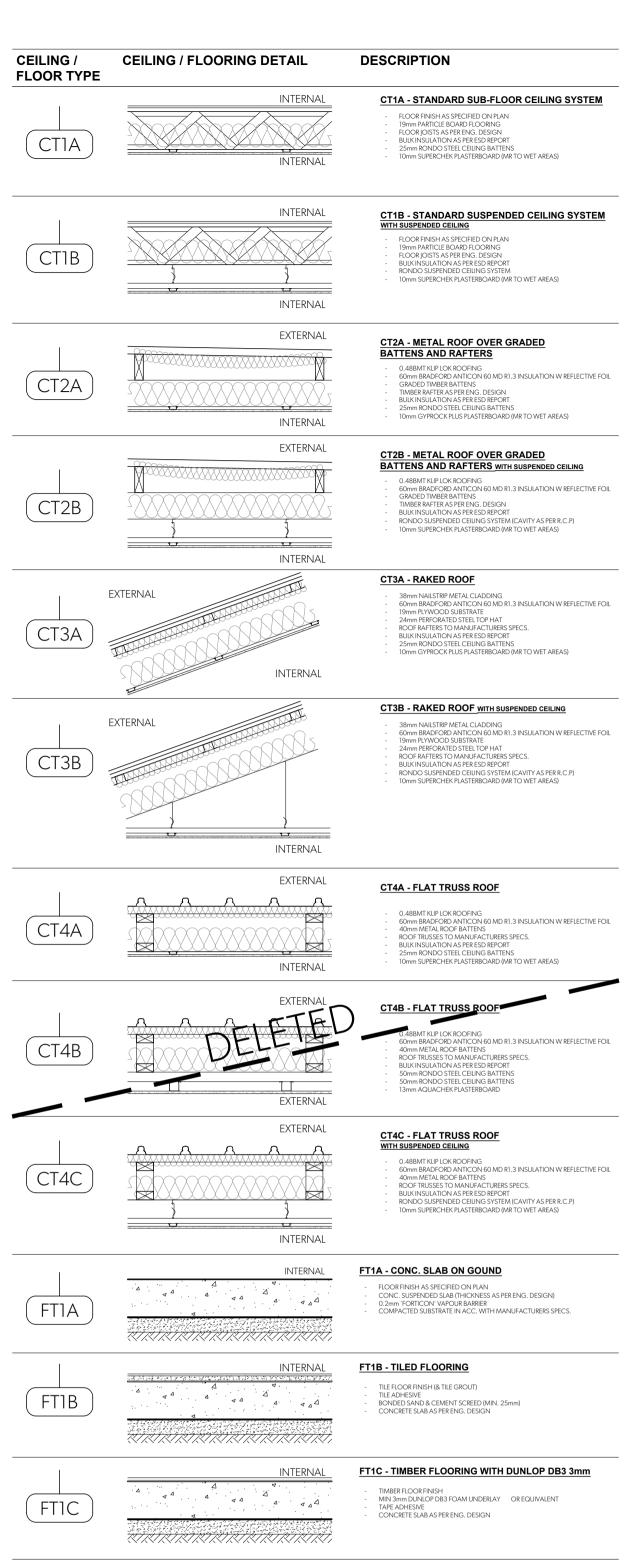
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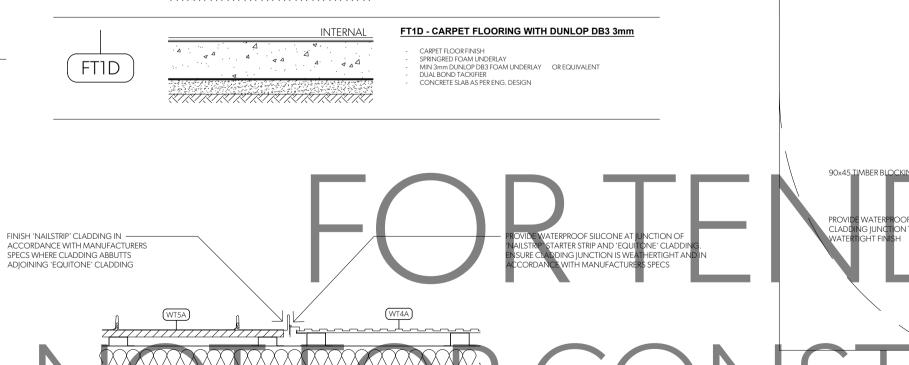


### WALL, CEILING & FLOOR TYPES



D03 CLADDING JUNCTION DETAIL - LG

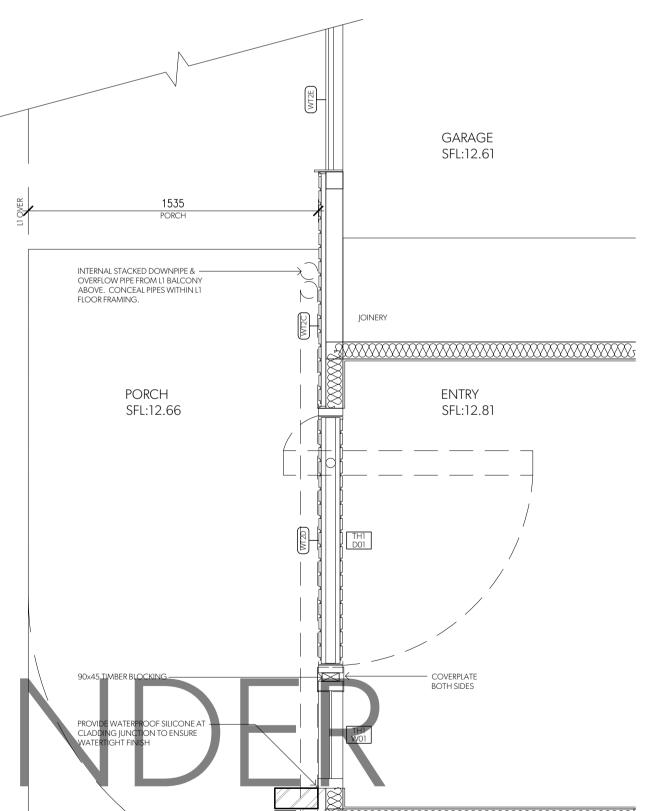


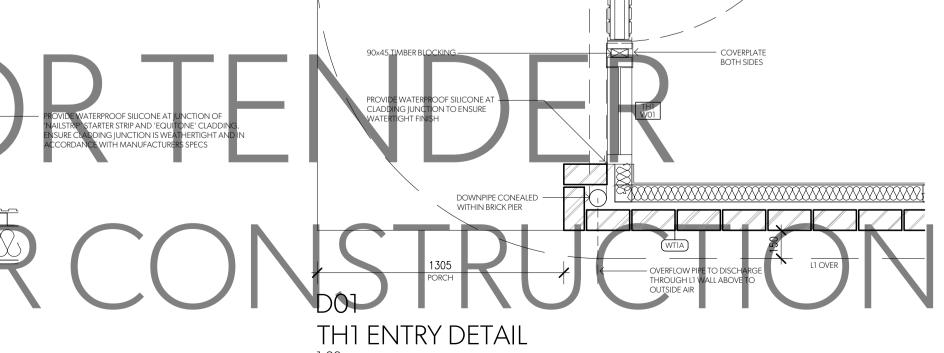


CLADDING JUNCTION DETAIL - L1

PROVIDE WATERPROOF SILICONE SEALANT OVER BACKING ROD AT JUNCTION OF 'NAILSTRIP' STARTER STRIP AND HEBEL POWERPANEL TO ENSURE HEBEL POWERPANEL TO CONTINUE PAST PLYWOOD SUBSTRATE OF NAILSTRIP CLADDING SYSTEM. REQUIRED TO FIX SCULPTORM MOUNTING TRACK, END TRIM & SHADOW LINE TRIM AS PER MANUFACTURERS SPECS & DETAILS.— WT2C CLADDING JUNCTION TO ENSURE EXTERNAL WALL CLADDING OF ADIACENT WALL TO OVERLAP DOOR FRAME TO CREATE SEAMLESS JUNCTION WITH DOOR FACE. CAULK AT JUNCTION TO ENSURE WATERTIGHT FINISH 90x45 TIMBER BLOCKING ----PORCH ENTRY SFL:12.66 SFL:12.81 WTIA GARAGE SFL:12.61 BRICKWORK OVER TO ENGINEERS SPECS.

TH2 ENTRY DETAIL





- **WALL NOTES:** 
  - ALL PENTRATIONS THROUGH FIRE ISOLATED WALLS AND CEILINGS ARE TO BE PROTECTED VIA APPROVED FIRE COLLAR, FIRE DAMPENERS AND FIRE RATED PUTTY.

    DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT ACOUSTIC REPORT, ESD REPORT & ENERGY RATING REPORT.

    DRAWING IS TO BE READ IN CONJUNCTION WITH SELEVANT FIRE ENGINEERS REPORT

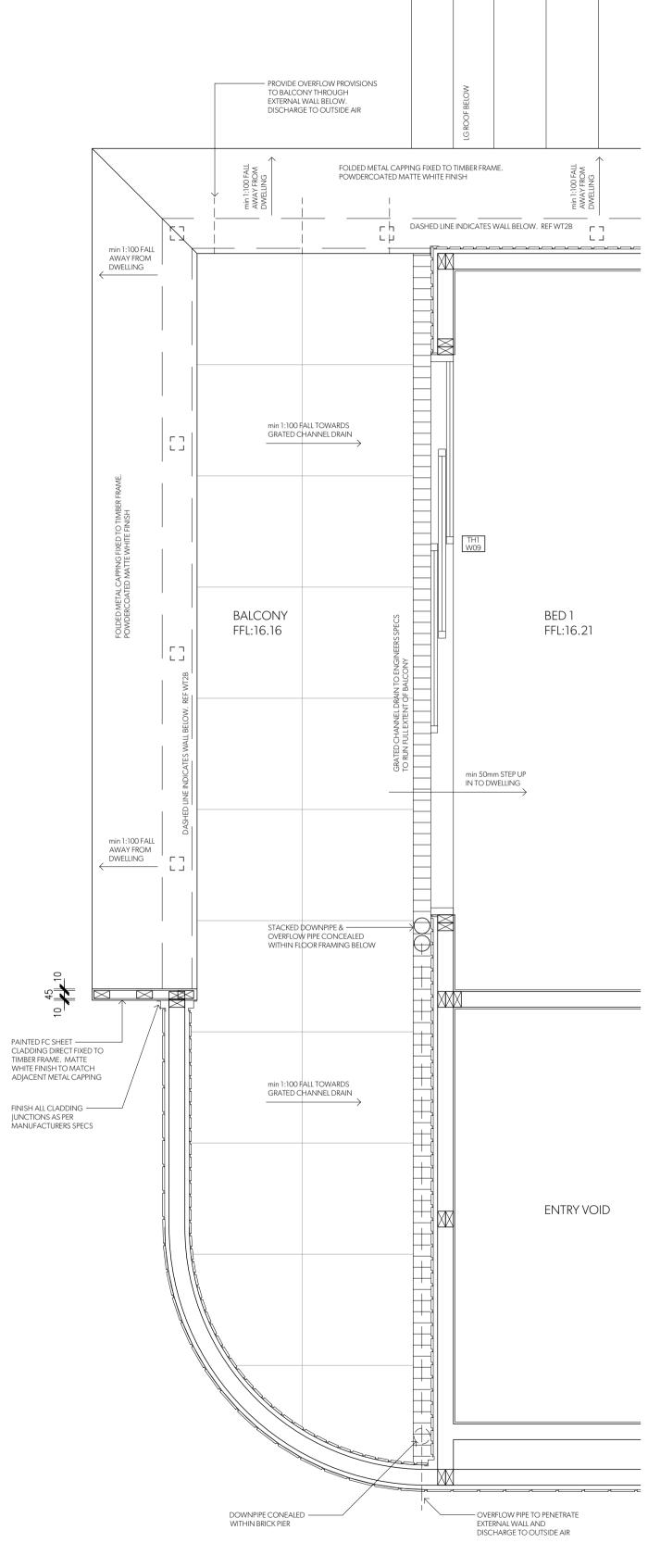
    DRAWING IS TO BE READ IN CONJUNCTION WITH SELEVANT FIRE ENGINEERS SEPORT

    DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SECTIONS, SECTION AND PLAN DETAILS, RCP'S & WET AREA DRAWINGS. ARCHITECT TO NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
  - DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SECTIONS, SECTION AND PLAN DETAILS, RCP'S & WET AREA DRAWINGS. ARCHITECT TO NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES
     ALL WALL AND CEILING TYPES TO BE IN ACCORDANCE WITH WITH CSR REDBOOK SPECIFICATIONS. WALL PARTITION JUNCTION DETAILS TO BE IN ACCORDANCE WITH BOTH CSR REDBOOK, ACOUSTIC ENGINEERS SPECIFICATIONS AND ENERGY RATING REPORT
     ALM WALL LINING TO WET AREAS TO BE REPLACED WITH MOISTURE RESISTANT PLASTERBOARD. WHERE WET AREA ABUTTS A FIRE RATED WALL, MOISTURE RESISTANT FYRCHEK OF SAME THICKNESS TO BE PROVIDED TO MAINTAIN REQUIRED ACOUSTIC AND FIRE REQUIREMENTS.
     PROVIDE 9MM MILLBOARD WALL LINING BEHIND ALL GLASS / MIRRORED KITCHEN SPLASHBACKS. WHERE SPLASHBACKS ABUTT A FIRE RATED WALL, 9MM MILLBOARD WALL LINING IS TO BE PROVIDED OVER THE TOP OF THE REQUIRED OF PLASTERBOARD WALL LINING TO MAINTAIN REQUIRED ACOUSTIC AND FIRE REQUIREMENTS.
     LAG ALL FLOOR PERDOTRATIONS WITH VIBRALAGE SKIGMS. FOAM BLACK. LOADED VINYL
     ENSURE LAGGING IS OVERLAPPED SOMM AND TAPED AIRTIGHT WITH ALUMINIUM TAPE. WHERE SERVICES PENETRATE THE CEILING AND FLOOR STRUCTURE PROVIDE FIRE RATED COLLARS TO CFINING IFFE! ONLY

- CEILING LEVEL ONLY

  11. MASONARY BLOCK WALLS TO HAVE RENDER FINISH

  12. ALL WALL INSULATION TO FIRE RATED WALLS TO BE NON COMBUSTIBLE



TH1 BALCONY DETAIL

### Rev Description

- A Preliminary Issue
- **B** Tender Issue

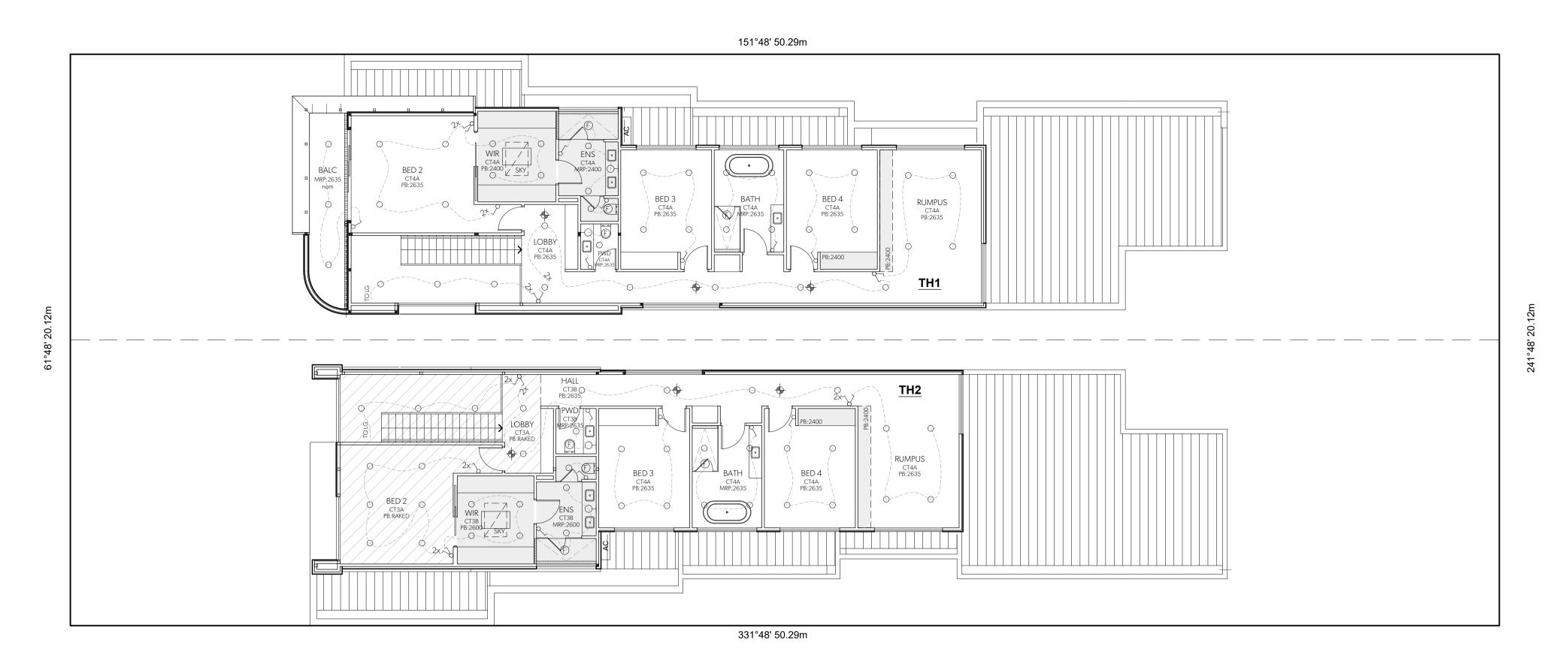
Date 21.06.2022 29.07.2022

Project Number: 2108 Wall Types, Plan Details 9 George Street, Dromana

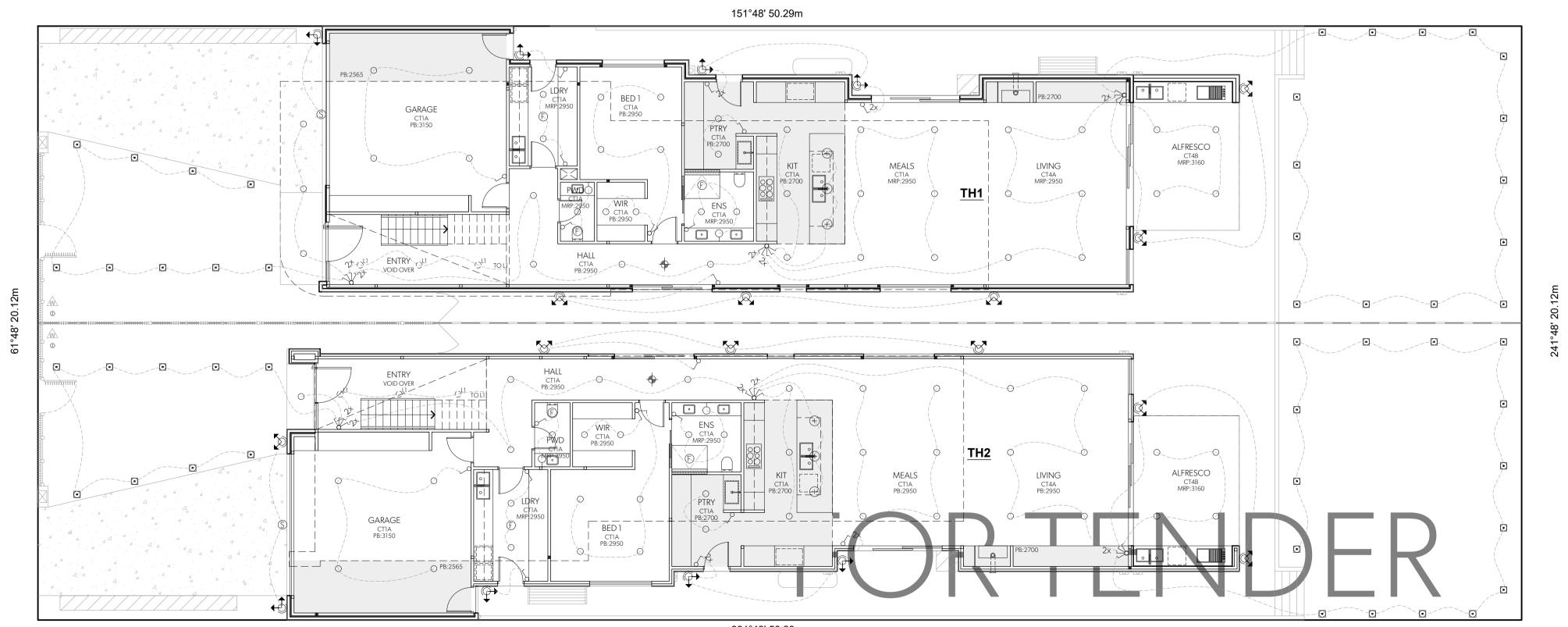
A 07.01 Scale: 1:20,10 Rev: **B** 



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FIRST FLOOR PLAN 1:100



GROUND FLOOR PLAN 1:100

331°48' 50.29m

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENDORSED TOWN PLANNING DRAWINGS, PLANIING PERMIT AND ANY ASSOCIATED CONDITIONS ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DOCUMENTATION (STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL ENGINEERS). ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA NCC, AUSTRALIAN STANDARDS AND ALL OTHER RELEVANT AUTHORITIES REQUIREMENTS

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE ORDERING OR MANUFACTURE OF ANY MATERIAL. ARCHITECT **TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES**.

DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT 6 STAR ENERGY RATING REPORT / ESD REPORT AND WALLTYPES. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WHERE LIGHT SWITCHES ARE LOCATED ABOVE GPO'S, CONTRACTOR TO ENSURE THEY ALIGN VERTICALLY.
ALL LIGHT SWITCHES ARE TO BE LOCATED AT 1100MM AFFL UNLESS OTHERWISE NOTED

PROVIDE HARD WIRED SMOKE DETECTORS / ALARMS IN ACCORDANCE WITH THE NCC. SMOKE ALARMS MUST BE CONNECTED DIRECTLY TO MAINS POWER. KITCHEN RANGE HOOD TO BE MECHANICALLY EXHAUSTED TO TO

EXTERNAL OPEN, CLEAR AIR. ALL MECHANICAL EXHAUSTING TO LAUNDRIES, BATHROOMS AND KITCHENS TO COMPLY WITH THE NCC AND AS1680 CONTRACTOR TO VERIFY POWER AND LIGHTING LAYOUT WITH CLIENT/ARCHITECT PRIOR TO INSTALLATION

ALL ELECTRICAL INSTALLATIONS ARE TO AS/NZS 3000, AS/NZS 3008.1.1 AND SAA HB301  $\,$ PROVIDE ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO SWITCHES, DIMMERS, SOCKET OUTLETS AND TELECOMMUNICATIONS OUTLETS. ALL ACCESSORIES LOCATED IN CLOSE PROXIMITY SHALL BE OF THE SAME MANUFACTURE, SIZE AND

CONCEAL CABLES AND CONDUITS: PROVIDE CONDUITS AS NECESSARY TO ALLOW WIRING REPLACEMENT WITHOUT STRUCTURAL WORK OR THE REMOVAL OF CLADDING, LINING, PLASTER OR CEMENT RENDERING.

LIGHTS AND LUMINAIRES TO BE INSTALLED TO PERFORMANCE STANDARDS: TO AS/NZS 4783.2 AND AS/NZS 4782.2. ANTENNAS: PROVIDE AND LOCATE ANTENNAS TO RECEIVE ALL LOCALLY AVAILABLE FREE-TO-AIR TELEVISION STATIONS. PROVIDE A COAXIAL CABLING SYSTEM SUITABLE FOR SATELLITE OR CABLE NETWORK

OPERATORS SERVICES. INSTALLATIONS TO WET AREAS: (CONTAINING BATHS SHOWERS OR OTHER FIXED WATER CONTAINERS) TO COMPLY WITH THE

REQUIREMENTS OF AS/NZS 3000. ALL LIGHT SWITCHES TO BE MOUNTED  $\ensuremath{\textit{@}}\xspace$  1000mm above FFL unless otherwise stated

ALL SOCKET OUTLETS, AND TV AND DATA OUTLETS TO BE MOUNTED @ 250MM ABOVE FFL UNLESS OTHERWISE STATED. TRANSFORMERS FOR RECESSED DOWNLIGHTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

DIRECT WIRE RANGEHOODS OVER COOKTOP REFER TO HEATING AND COOLING CONSULTANTS DESIGN AND SPECIFICATION FOR ALL HEATING AND AIRCONDITIONING WORKS. ALLOWANCES FOR POWER, DUCTING AND VENTILLATION GRILLES AS PER THEIR DESIGN AND CLIENT APPROVAL

### TOWNIHOUSE 1

NOT	1HOr	JSE 1			
LIGHTI	NG C	CALCULATIONS			
GROUND	FLOOR				
AREA	FITTING		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWED
LIVING (MAX. 5W/m2)	0	12W LED DOWNLIGHT	32	444	865
	$\oplus$	20W LED PENDANT LIGHT	3		
PORCH & ALF. (MAX. 4W/m2)	٥	15W OUTDOOR WALL MOUNTED LED	-	84	120
	0	12W LED DOWNLIGHT	7		
GARAGE (MAX. 3W/m2)	0	12W LED DOWNLIGHT	4	48	114
FIRST FLO	OR			•	•
AREA	FITTING		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWED
LIVING (MAX. 5W/m2)	0	12W LED DOWNLIGHT	36	432	715
BALC. (MAX. 4W/m2)	٥	15W OUTDOOR WALL MOUNTED LED	-	36	40
	0	12W LED DOWNLIGHT	3		

### TOWNHOUSE 2

LIGHTI	NG C	CALCULATIONS			
GROUND	FLOOR				
AREA	FITTING		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWE
LIVING (MAX. 5W/m2)	0	12W LED DOWNLIGHT	32	- 444	895
	$\oplus$	20W LED PENDANT LIGHT	3		
PORCH & ALF. (MAX. 4W/m2)	<b>U</b>	15W OUTDOOR WALL MOUNTED LED	-	60	84
	0	12W LED DOWNLIGHT	5		
GARAGE (MAX. 3W/m2)	0	12W LED DOWNLIGHT	4	48	123
FIRST FLO	OR			•	•
AREA	FITTING		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWE
LIVING (MAX. 5W/m2)	0	12W LED DOWNLIGHT	38	456	690

### ELECTRICAL LEGEND

- EXTERNAL WALL LIGHT
- EXTERNAL RECESSED WALL LIGHT
- EXTERNAL LANDSCAPE UPLIGHT INTERNAL WALL LIGHT
- FIXED RECESSED DOWNLIGHT

PENDANT LIGHT FITTING TRACK LIGHT

RECESSED LED STRIP LIGHT FLOURESCENT TUBE LIGHT

SINGLE GPO @250MM AFFL CLIPSAL 200 SLIMLINE SERIES - WHITE

EXTERIOR FLOODLIGHT

DOUBLE GPO @250MM AFFL CLIPSAL 200 SLIMLINE SERIES - WHITE

FREE TO AIR MATV PAYTV / COMMUNICATIONS

DATA / COMMUNICATIONS

TELEPHONE NBN

MECHANICAL EXHAUST FAN EXTRACT TO EXTERNAL / OPEN AIR

HARD WIRED SMOKE ALARM

MAIN ELECTRICAL SWITCHBOARD **HOTWATER UNIT** 

AC AIR CONDITIONING UNIT

**AUTOMATIC SENSOR** 

COLOUR DAY/NIGHT CAMERA CONNECTED TO HARDDRIVE AND REMOTE ACCESS

> AUDIO INTERCOM ALARM PIN PAD

WIRELESS ACCESS POINT

SINGLE LIGHT SWITCH

MULTIPLE LIGHT SWITCHES

LIGHT WAY SWITCH - 2 WAY

PUSH BUTTON LIGHT SWITCH WATER TAP & FLOOR WASTE

BULKHEAD

HEATING & COOLING OUTLET RECESSED PELMET

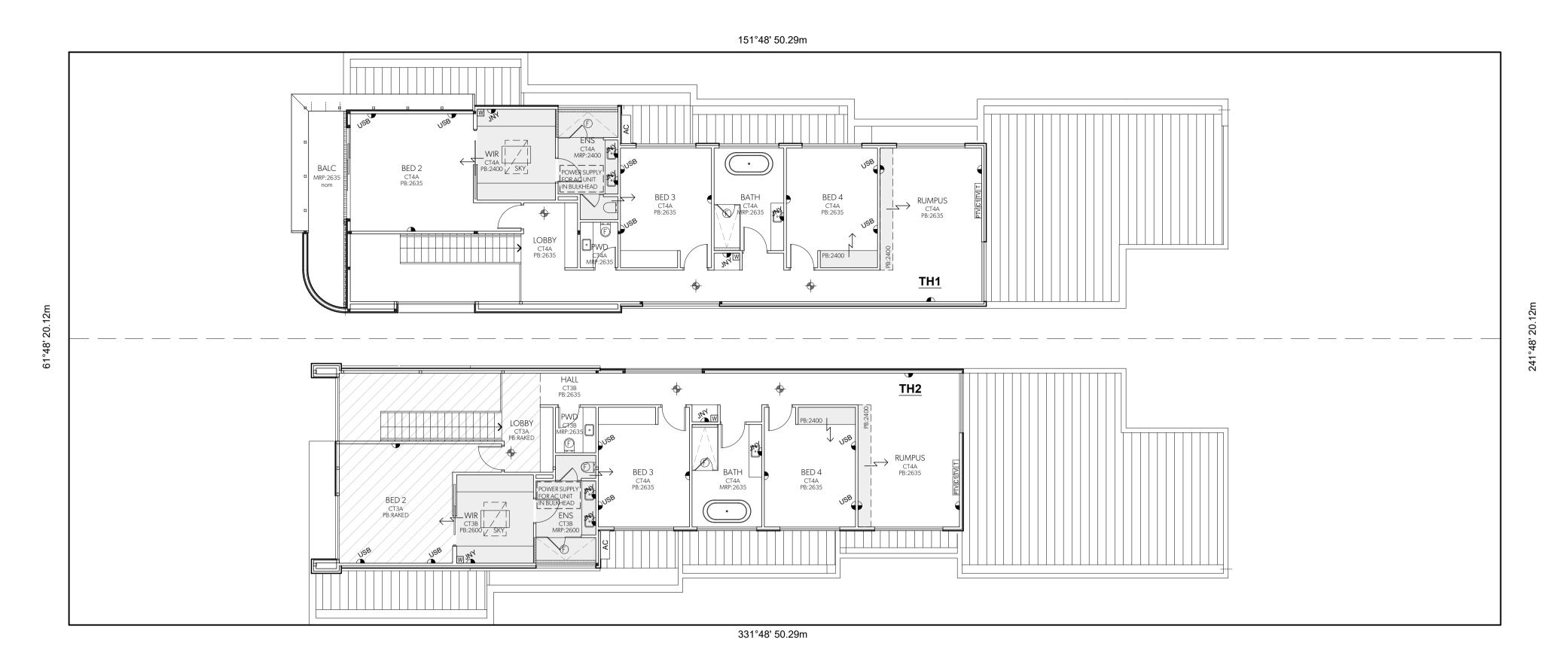
**RAKED CEILING** 

90/90/90 FIRE RATED SOFFIT CSR SYSTEM 6134 INSTALLED TO MARK IN TO A STANKING TO STANKING CSR SYSTEM 6134
INSTALLED TO MANUFACTURERS SPECS.

@1500 GPO AT NOMINATED HEIGHT

GPO ABOVE BENCH GPO IN JOINERY

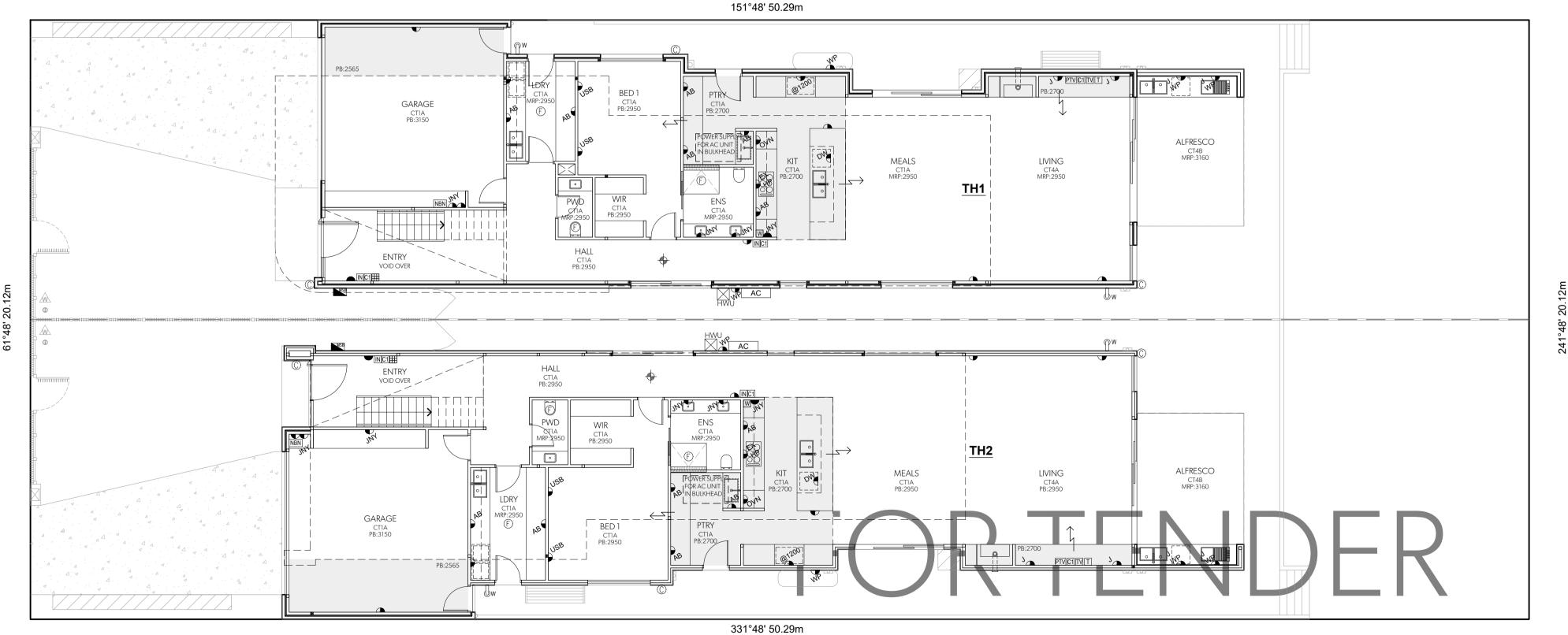
GPO INJOINERT
GPO FOR OVEN
GPO FOR FRIDGE @1200 AFFL
GPO FOR DISHWASHER
GPO WITH USB
GPO AT CEILING
WEATHER PROOF GPO



FIRST FLOOR PLAN 1:100

GROUND FLOOR PLAN

1:100



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OPERATORS SERVICES. INSTALLATIONS TO WET AREAS: (CONTAINING BATHS SHOWERS OR

REQUIREMENTS OF AS/NZS 3000. ALL LIGHT SWITCHES TO BE MOUNTED  $\ensuremath{\textit{@}}\xspace$  1000mm above FFL unless otherwise stated

ALL SOCKET OUTLETS, AND TV AND DATA OUTLETS TO BE MOUNTED @ 250MM ABOVE FFL UNLESS OTHERWISE STATED.

TRANSFORMERS FOR RECESSED DOWNLIGHTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. DIRECT WIRE RANGEHOODS OVER COOKTOP

REFER TO HEATING AND COOLING CONSULTANTS DESIGN AND SPECIFICATION FOR ALL HEATING AND AIRCONDITIONING WORKS. ALLOWANCES FOR POWER, DUCTING AND VENTILLATION GRILLES AS PER THEIR DESIGN AND CLIENT APPROVAL

### TOWNHOUSE 1

IOWN	MOC	JSE I			
LIGHTI	NG C	CALCULATIONS			
GROUND	FLOOR				
AREA	FITTING		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWED
LIVING (MAX. 5W/m2)	0	12W LED DOWNLIGHT	32	- 444	865
	$\oplus$	20W LED PENDANT LIGHT	3		
PORCH & ALF. (MAX. 4W/m2)	4	15W OUTDOOR WALL MOUNTED LED	-	84	120
	0	12W LED DOWNLIGHT	7		
GARAGE (MAX. 3W/m2)	0	12W LED DOWNLIGHT	4	48	114
FIRST FLO	OR				
AREA	FITTING		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWED
LIVING (MAX. 5W/m2)	0	12W LED DOWNLIGHT	36	432	715
BALC. (MAX. 4W/m2)	4	15W OUTDOOR WALL MOUNTED LED	-	26	40
	0	12W LED DOWNLIGHT	3	36	40

### TOWNHOUSE 2

LIVING (MAX. 5W/m2)						
AREA FITTING   QTY   TOTAL   TO   WATTS   USED   A    LIVING (MAX. 5W/m2)   — 12WLED   32   444    — 20WLED   PENDANT LIGHT   3   444    — 20WLED   PENDANT LIGHT   3   60    PORCH & ALF. (MAX. 4W/m2)   — 12WLED   5    GARAGE (MAX. 3W/m2)   — 12WLED   5    GARAGE (MAX. 3W/m2)   — 12WLED   4   48    FIRST FLOOR   4   48    LIVING   12WLED   A    LIVING   12WLED   A	LIGHT	ING C	CALCULATIONS			
LIVING (MAX. 5W/m2)	GROUND	FLOOR				
(MAX. 5W/m2)         O DOWNLIGHT         32         444           + 20W LED PENDANT LIGHT         3         444           PORCH & ALF. (MAX. 4W/m2)         15W OUTDOOR WALL MOUNTED LED         -         60           GARAGE (MAX. 3W/m2)         O 12W LED DOWNLIGHT         5         60           FIRST FLOOR         AREA FITTING         QTY TOTAL WATTS WATTS WATTS USED         A           LIVING         12W LED DOWNLIGHT         A         A	AREA	FITTING		QTY	WATTS	TOTAL WATTS ALLOWE
## 20W LED PENDANT LIGHT   3   3   60    PORCH & ALF. (MAX. 4W/m2)	(MAX.	0	1211122	32	444	895
& ALF. (MAX. 4W/m2)         MOUNTED LED         -         60           GARAGE (MAX. 3W/m2)         O 12W LED DOWNLIGHT         4         48           FIRST FLOOR         AREA         FITTING         QTY TOTAL WATTS W		+		3		
12W LED	& ALF. (MAX.	4		-	60	84
(MAX. 3W/m2) O 12WLED 4 48  FIRST FLOOR  AREA FITTING QTY TOTAL TO WATTS W. USED A  LIVING 12WLED		0		5		
AREA FITTING QTY TOTAL TO WATTS W USED A	(MAX.	0		4	48	123
UVING 12W/JED WATTS W	FIRST FLO	OR				
12W/IED	AREA	FITTING		QTY	WATTS	TOTAL WATTS ALLOWE
5W/m2) DOWNLIGHT 36 436	(MAX.	0		38	456	690

### ELECTRICAL LEGEND

EXTERNAL WALL LIGHT

EXTERNAL RECESSED WALL LIGHT

EXTERNAL LANDSCAPE UPLIGHT INTERNAL WALL LIGHT

FIXED RECESSED DOWNLIGHT PENDANT LIGHT FITTING

TRACK LIGHT RECESSED LED STRIP LIGHT

FLOURESCENT TUBE LIGHT

EXTERIOR FLOODLIGHT

SINGLE GPO @250MM AFFL CLIPSAL 200 SLIMLINE SERIES - WHITE

DOUBLE GPO @250MM AFFL CLIPSAL 200 SLIMLINE SERIES - WHITE

FREE TO AIR MATV PAYTV / COMMUNICATIONS

DATA / COMMUNICATIONS

TELEPHONE

NBN HARD WIRED SMOKE ALARM

MECHANICAL EXHAUST FAN EXTRACT TO EXTERNAL / OPEN AIR MAIN ELECTRICAL SWITCHBOARD

**HOTWATER UNIT** 

AC AIR CONDITIONING UNIT

**AUTOMATIC SENSOR** 

COLOUR DAY/NIGHT CAMERA CONNECTED TO HARDDRIVE AND REMOTE ACCESS

AUDIO INTERCOM

ALARM PIN PAD WIRELESS ACCESS POINT

SINGLE LIGHT SWITCH MULTIPLE LIGHT SWITCHES

LIGHT WAY SWITCH - 2 WAY

PUSH BUTTON LIGHT SWITCH

WATER TAP & FLOOR WASTE

BULKHEAD HEATING & COOLING OUTLET

**RAKED CEILING** 

RECESSED PELMET

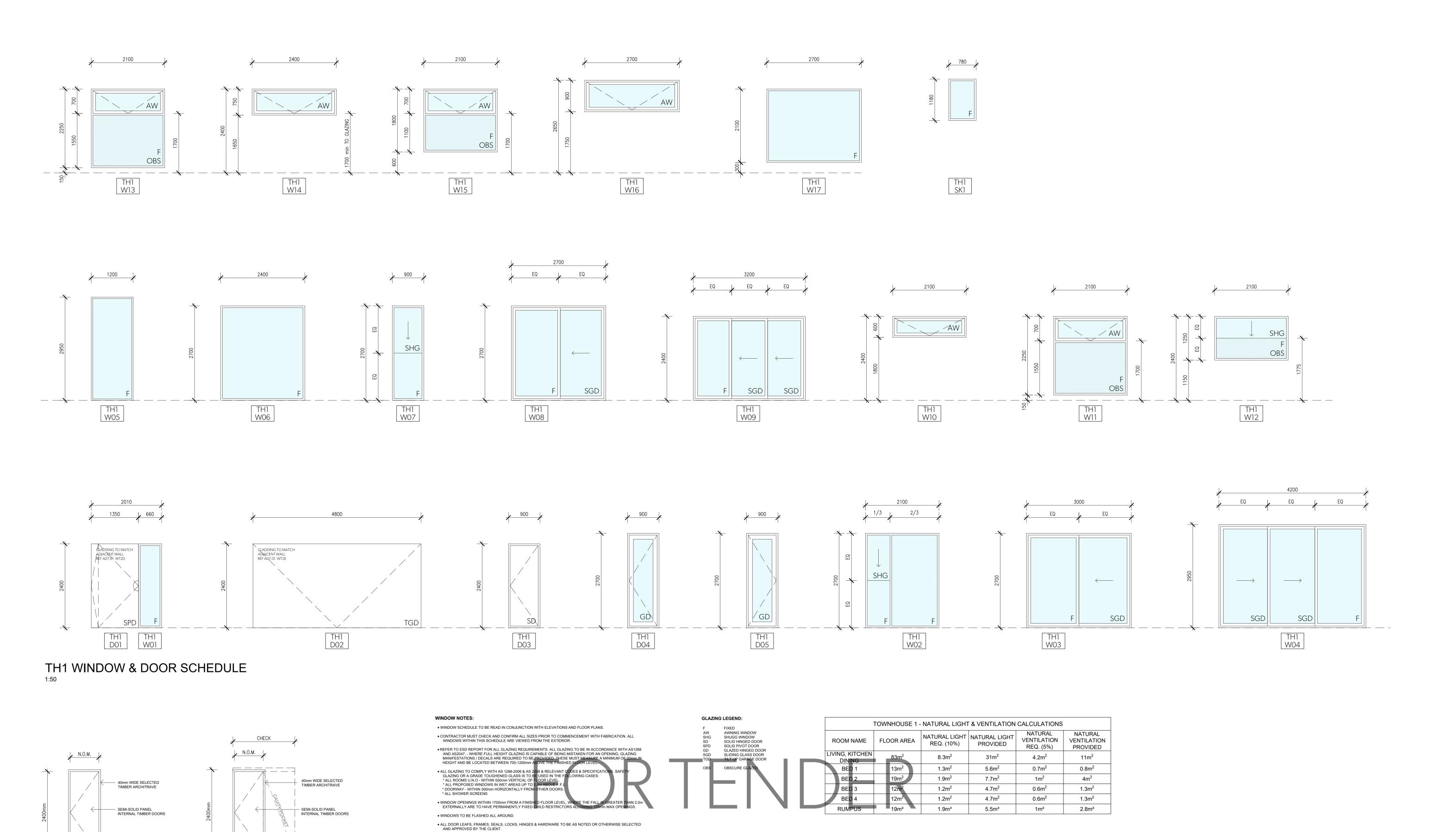
90/90/90 FIRE RATED SOFFIT CSR SYSTEM 6134 INSTALLED TO MARK IN TO A STANKING TO STANKING CSR SYSTEM 6134
INSTALLED TO MANUFACTURERS SPECS.

@1500 GPO AT NOMINATED HEIGHT

GPO ABOVE BENCH GPO IN JOINERY

GPO INJOINERT
GPO FOR OVEN
GPO FOR FRIDGE @1200 AFFL
GPO FOR DISHWASHER
GPO WITH USB
GPO AT CEILING
WEATHER PROOF GPO

Date





1:50

720 & 820 HINGED DOORS

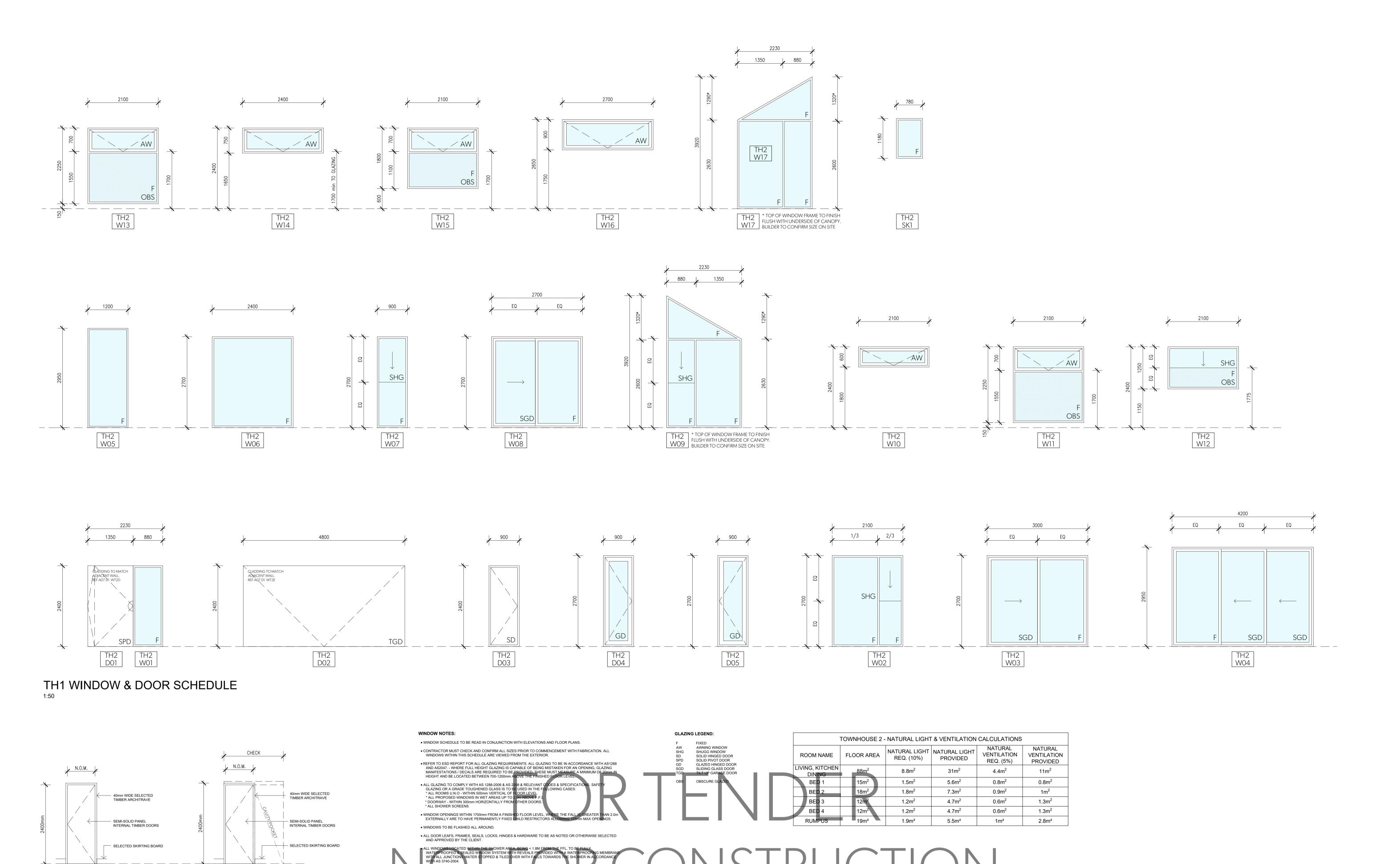
SELECTED SKIRTING BOARD

TYPICAL INTERNAL DOORS

— SELECTED SKIRTING BOARD

• ALL SGHC & U VALUES FOR ASSOCIATED GLAZING IS TO BE IN ACCORDANCE WITH THE 6-STAR ENERGY RATING REPORT SPECIFIED BY COMPLIANCE ENERGY.

720 & 820 CAVITY SLIDING DOORS





1:50

720 & 820 HINGED DOORS

TYPICAL INTERNAL DOORS

720 & 820 CAVITY SLIDING DOORS

ALL SGHC & U VALUES FOR ASSOCIATED GLAZING IS TO BE IN ACCORDANCE WITH THE 6-STAR ENERGY RATING REPORT SPECIFIED BY COMPLIANCE ENERGY.

A Preliminary Issue **B** Tender Issue

29.07.2022

Project Number: 2108 TH2 Window & Door Schedule Project Address: 9 George Street, Dromana