

LANDSCAPING NOTE:
 LANDSCAPING SHOWN IS INDICATIVE ONLY.
 REFER TO ENDORSED LANDSCAPE PLAN
 PREPARED BY 'ETCHED' LANDSCAPE ARCHITECTS
 REF. 220329

CIVIL DRAINAGE NOTE:
 GRATED FITS, TRENCH GRATES, SILT TRAPS AND ALL DRAINAGE
 DETAILS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CIVIL
 ENGINEERS DESIGN AND SPECIFICATIONS. REFER TO CIVIL PLAN
 PREPARED BY STRUCTSAND REF:XXXXXXXXXX

WSUD NOTE:
 REFER TO ENDORSED PLANNING PERMIT DRAWINGS TO ENSURE
 PERMEABILITY AND WSUD REQUIREMENTS ARE MET.
 THE RAINWATER FROM TOWNHOUSE 1 ROOF AREA OF 183m² IS TO BE
 COLLECTED VIA A GRAVITY FED UNDERGROUND CHARGED SYSTEM
 AND RETICULATED / DISCHARGED VIA A MECHANICAL PUMP.
 THE 2000L min CAPACITY RAINWATER TANK IS TO BE CONNECTED TO
 4 TOILETS FOR RETICULATED USE. NO CHARGED PIPES ARE TO PASS
 BELOW ANY STRUCTURAL CONCRETE SLAB.

THE RAINWATER FROM TOWNHOUSE 2 ROOF AREA OF 181m² IS TO BE
 COLLECTED VIA A GRAVITY FED UNDERGROUND CHARGED SYSTEM
 AND RETICULATED / DISCHARGED VIA A MECHANICAL PUMP.
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THE RAINWATER FROM TOWNHOUSE 1 ROOF AREA 60m² IS TO BE
 TREATED USING A 0.5m² min RAINGARDEN

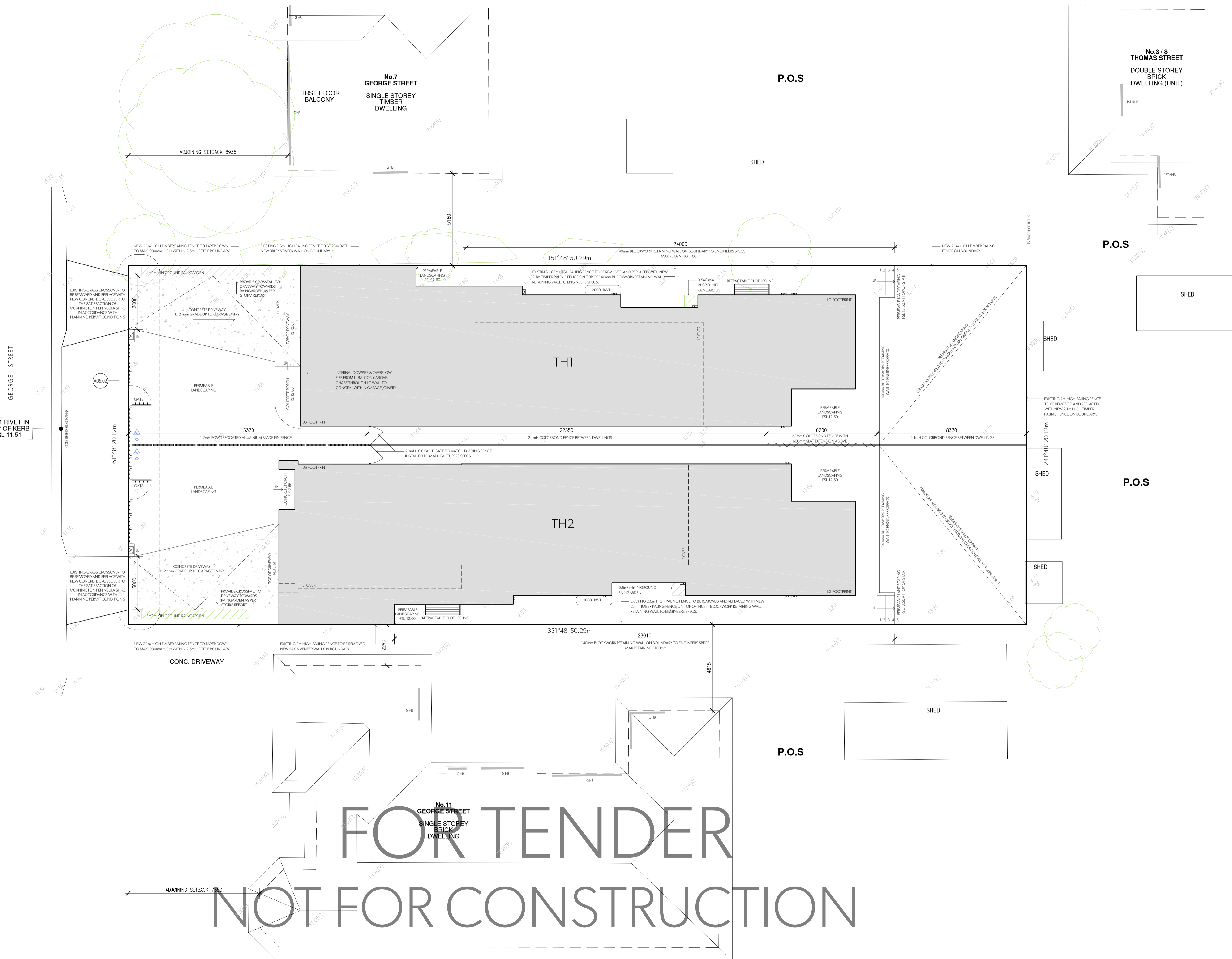
THE RAINWATER FROM TOWNHOUSE 2 ROOF AREA 60m² IS TO BE
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TOWNHOUSE 1 DRIVEWAY AREA OF 39m² IS TO BE TREATED USING A
 4m² min RAINGARDEN

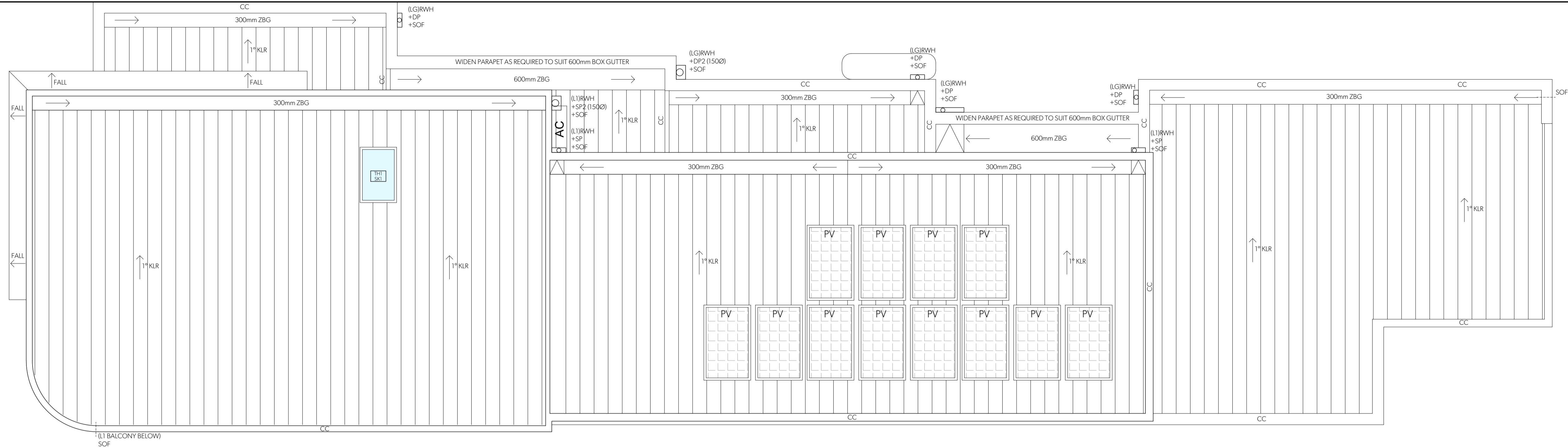
TOWNHOUSE 2 DRIVEWAY AREA OF 33m² IS TO BE TREATED USING A
 3m² min RAINGARDEN

RAINWATER TANK NOTE:
 EACH TOWNHOUSE IS TO BE FITTED WITH A MINIMUM RAINWATER
 TANK CAPACITY OF 2000L
 PROVIDE KINGSPIRIT '2000L SKINNY' RAINWATER TANK IN
 COLORBOND SURFMIST COLOUR OR SIMILAR TO EACH DWELLING.
 BUILDER TO ENSURE SELECTED WATER TANKS ALLOW FOR min 900mm
 CLEARANCE BETWEEN TANK AND FENCE FOR SIDE OF HOUSE
 ACCESS.

DEVELOPMENT SUMMARY	
SITE AREA	1011.8m ²
BUILDING AREA	502.8m ²
SITE COVERAGE	49.7%
PERMEABLE AREA	460.5m ² (45.5%)
GARDEN AREA	447.8m ² (44.3%)
AREA SCHEDULE	
TOWNHOUSE 1 - 4 BEDROOM	
GROUND FLOOR	172m ²
FIRST FLOOR	143m ²
GARAGE	40m ²
PORCH	5m ²
TOTAL	360m ²
TOTAL S.P.O.S	190m ²
TOTAL P.O.S	50m ²
CAR SPACES PROVIDED	
3 TOTAL	(2 Garage + 1 Tandem)
TOWNHOUSE 2 - 4 BEDROOM	
GROUND FLOOR	189m ²
FIRST FLOOR	143m ²
GARAGE	41m ²
PORCH	2m ²
TOTAL	375m ²
TOTAL S.P.O.S	190m ²
TOTAL P.O.S	50m ²
CAR SPACES PROVIDED	
2 TOTAL	(1 Garage + 1 Tandem)



151°48' 50.29m



LEGEND

- FW FLOOR WASTE
- PS PLUMBING STACK (1500)
- DP 900 min DOWN PIPE
- DP2 1500 min DOWN PIPE
- OF 900 min RAINWATER OVERFLOW PIPE
- OF2 1500 min RAINWATER OVERFLOW PIPE
- SOF SIDE OVER FLOW
- SP 900 min SPREADER PIPE
- SP2 1500 min SPREADER PIPE
- CC COLORBOND PARAPET CAPPING
- FALL TOWARDS ROOF / GUTTER (U.N.O)
- CGF COLORBOND METAL GUTTER & FASCIA
- 1:200 (U.N.O) FALL TOWARDS OUTLET
- ZBG ZINCALUME BOX GUTTER WITH MIN
- 1:200 (U.N.O) FALL TOWARDS OUTLET
- KLR KUPLOK ZINCALUME ROOFING
- (BMT: 0.48mm) 1° FALL TOWARDS GUTTER U.N.O
- NS NAILSTRIP METAL CLADDING WITH 38mm RIB
- 30° FALL TOWARDS GUTTER
- AC AIR CONDITIONER CONDENSER
- ☐ RAINWATER HEAD WITH DOWNPIPE & SIDE OVERFLOW
- ☐ SUMP WITH INTERNAL DOWNPIPE
- ☐ SUMP
- SUMP SIZE AS PER ADJACENT BOX GUTTER NOMINATION

GENERAL NOTES

1. TO BE READ IN CONJUNCTION WITH STRUCTURAL, CIVIL, MECHANICAL, HYDRAULIC AND ELECTRICAL ENGINEERS DESIGN AND SPECIFICATIONS. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL/ CIVIL ENGINEERS DRAWINGS PREPARED BY STRUCTAND. ANY DISCREPANCIES FOUND ON THE DRAWINGS ARE TO BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
3. REFER TO STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS FOR ALL FOOTINGS, CONCRETE SLAB & BLOCK WALLS DETAILS FOR THE LOCATIONS OF ANY SAW CUTS AND CONTROL JOINTS. ANY CONTROL JOINTS IN FIRE RATED ELEMENTS ARE TO BE FIRE STOPPED.
4. PROVIDE ACOUSTIC LAGGING/INSULATION TO ALL INTERNAL HYDRAULIC PIPES IN ACCORDANCE WITH D.T.S ACOUSTIC REQUIREMENTS.

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THE RAINWATER FROM TOWNHOUSE 1 ROOF AREA 60m² IS TO BE TREATED USING A 0.5m² min RAINGARDEN

THE RAINWATER FROM TOWNHOUSE 2 ROOF AREA 60m² IS TO BE TREATED USING A 0.5m² min RAINGARDEN

TOWNHOUSE 1 DRIVEWAY AREA OF 39m² IS TO BE TREATED USING A 4m² min RAINGARDEN

TOWNHOUSE 2 DRIVEWAY AREA OF 33m² IS TO BE TREATED USING A 3m² min RAINGARDEN

CONDENSER NOTE

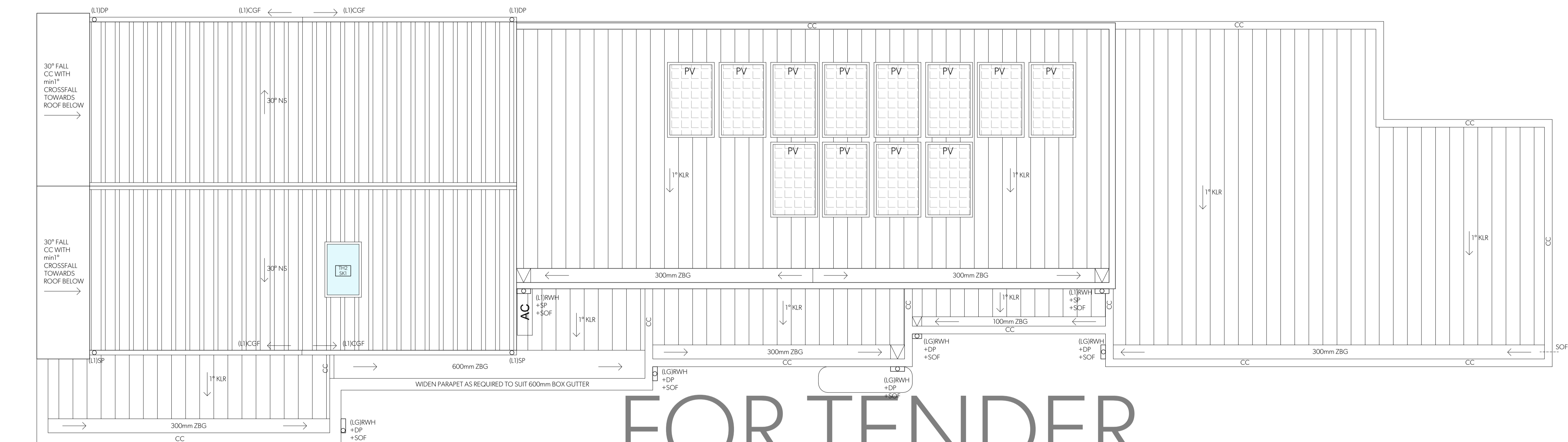
CONDENSER UNITS TO SIT ON GALVANIZED STEEL FRAME VIA NEOPRENE PADS AS TYPICAL SUPPORTS IN ACCORDANCE WITH MANUFACTURERS SPECS. LOCATIONS SHOWN INDICATIVELY. BUILDER TO ALLOW NOMINATED CLEARANCES AS NOMINATED BY MANUFACTURER. ALL EXPOSED REFRIGERANT PIPES ARE TO BE APPROPRIATELY SHIELDED.

SKYLIGHT NOTE

SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06.02 FOR TYPICAL SKYLIGHT DETAIL.

SOLAR ARRAY NOTE

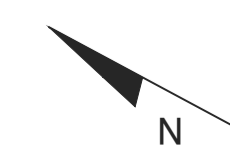
BUILDER TO PROVIDE A SOLAR P.V SYSTEM TO BE INSTALLED ON THE ROOF OF THE DEVELOPMENT IN ACCORDANCE WITH THE PERFORMANCE SOLUTION REPORT PREPARED BY FRATER CONSULTING SERVICES REF:0000000000.



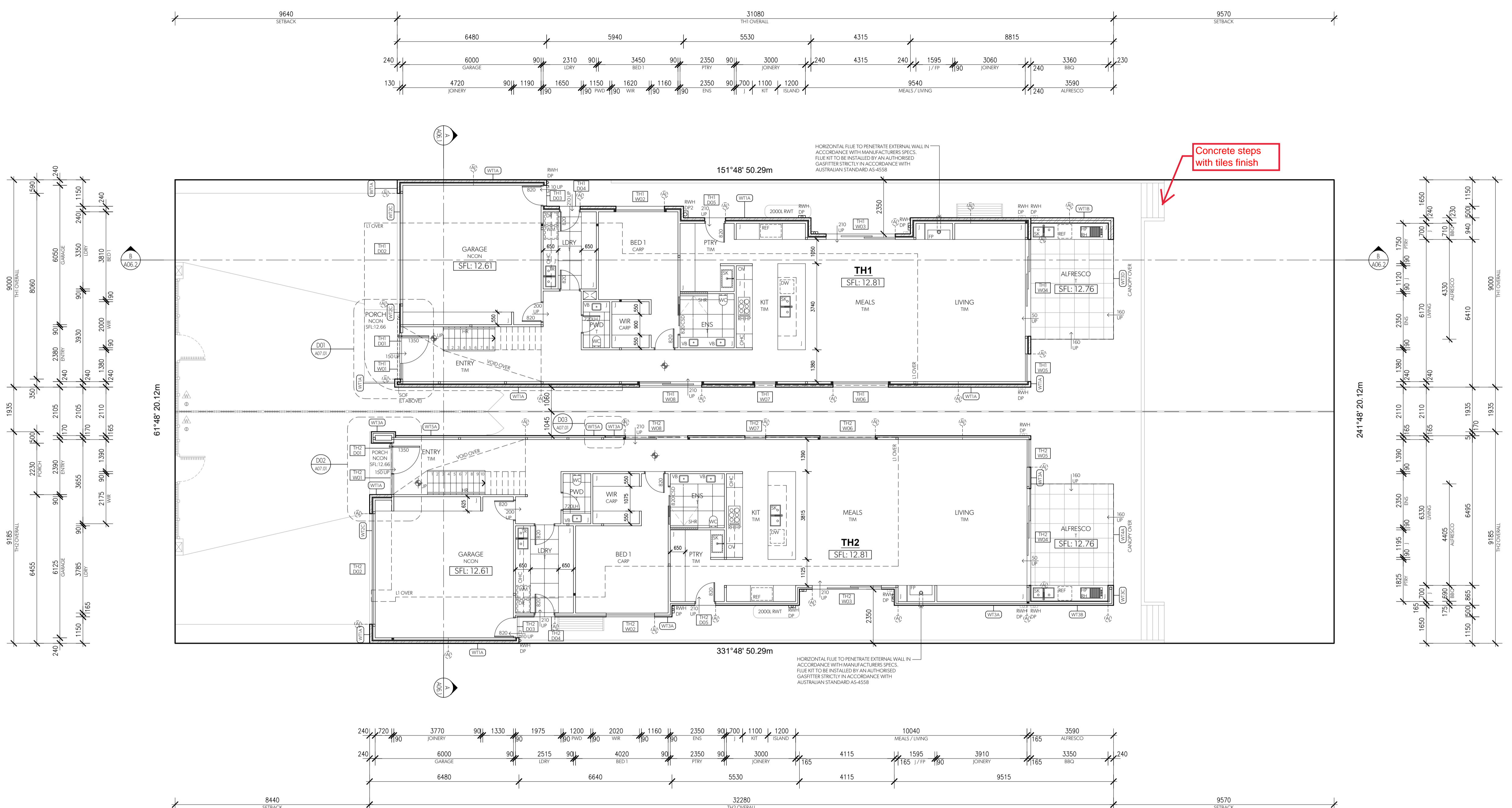
331°48' 50.29m

FOR TENDER

NOT FOR CONSTRUCTION



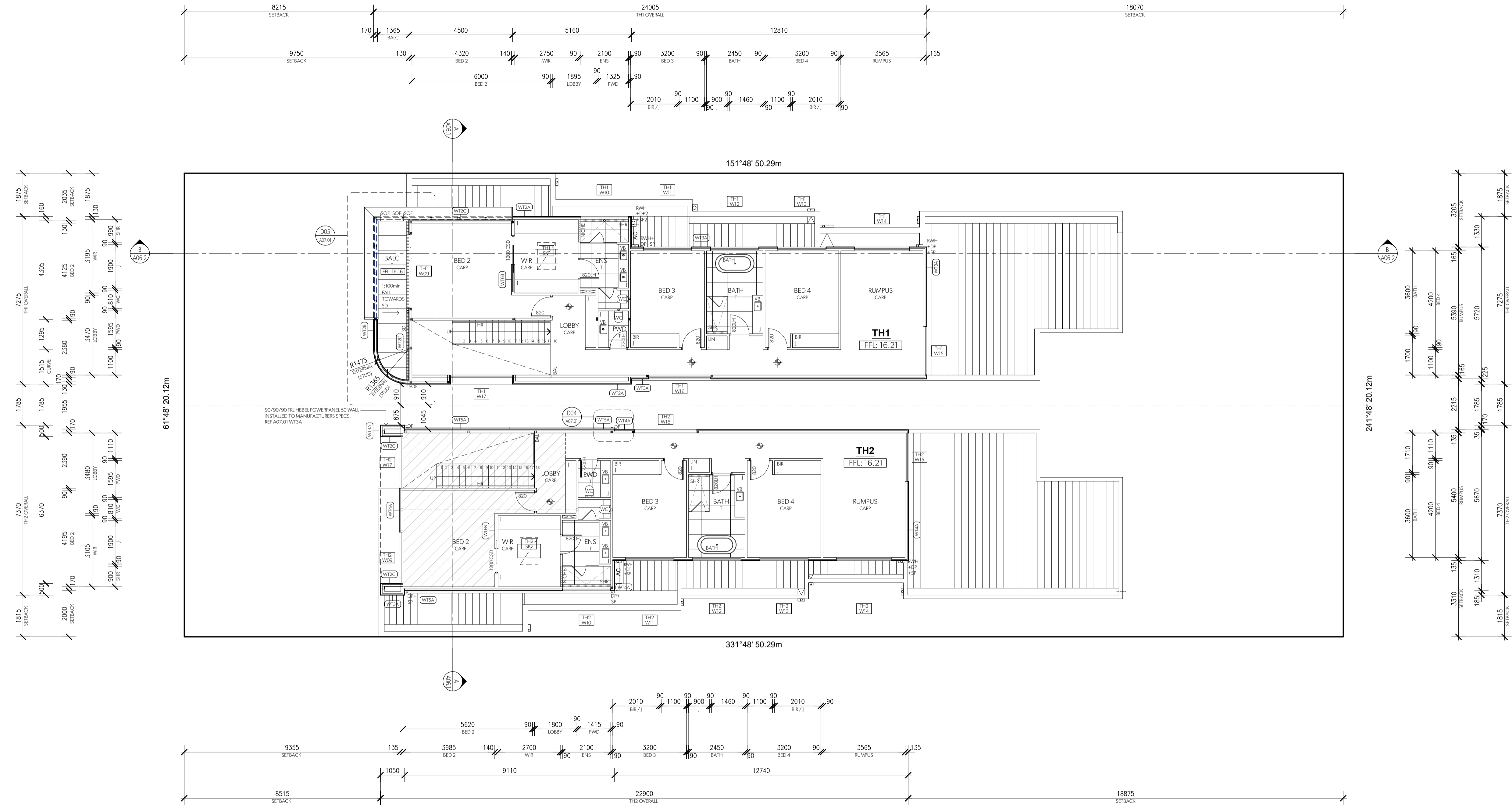
- LEGEND**
- SK SHK
 - DW DSH WASHER
 - HT HOT TAP
 - RH RANGE HOOD
 - REF REFRIGERATOR
 - OV WALL OVEN
 - OCB OVERHEAD CUPBOARDS
 - PTY PANTRY
 - TR TROUGH
 - WM WASHING MACHINE
 - DWY DRYER
 - CL RETRACTABLE CLOTHESLINE
 - VB UNDERMOUNT VANITY BASIN WITH OVERFLOW
 - WB WALL BASIN
 - WC TOILET
 - SHR ENCLOSED SHOWER
 - BATH FREESTANDING BATH/TUB
 - FP LUMINAIR 3000 GAS FIREPLACE INSTALLED TO MANUFACTURERS SPECS.
 - I JOINERY*
 - TRF TIMBER FENCING
 - LN LINEN CUPBOARD*
 - BR BUILT IN BARRIERS
 - HR CONTINUOUS HANDRAIL TO MIN 1 SIDE OF STAIR
 - BAH BAL WITH HIGH BALUSTRADE
 - LH LIFT OFF HINGES
 - FW FLOOR WASTE
 - W DOMESTIC WATER METER
 - G DOMESTIC GAS METER
 - MSB ELECTRICAL MAINS SWITCHBOARD
 - AL ALI STRIP DRAIN
 - DP 5000 DOWN PIPE
 - OP 5000 RAINWATER OVERFLOW PIPE
 - CF2 5000 RAINWATER OVERFLOW PIPE
 - SP2 5000 SPREADER PIPE
 - RWH RAIN WATER HEAD
 - SCF SIDE OVERFLOW
 - HARDWIRED SMOKE ALARM
- FLOOR FINISHES**
- NCON NATURAL CONCRETE FLOOR
 - TIM TIMBER FLOORING/BOARDS
 - CARP CARPET
 - EXC EXTERNAL CONC. PAVERS
 - LAWN LANDSCAPING
 - TEF TILE FINISH
- STRUCTURAL MEMBERS**
- TO TIMBER COLUMN
 - COL STEEL COLUMN
- GENERAL NOTES:**
- * REFER TO CHIEF PLAN FOR ALL STORM WATER REQUIREMENTS AND DETAILS.
 - J REFER TO JOINERY SHOP DRAWINGS FOR ALL JOINERY DETAILS.
 - WET AREAS TO BE IMPERVIOUS TO WATER (E. WALL SURFACE AND SUBSTRATE OF SHOWER ENCLOSURES, OR IF UNENCLOSED, WITHIN 1.5m HORIZONTALLY TO A HEIGHT OF 1.8m ABOVE THE FLOOR, AND BEHIND ANY BASIN, SINK ETC. WITHIN 75mm OF A WALL TO A HEIGHT OF 150mm ABOVE THE FLOOR).
- RAISED CEILING ABOVE



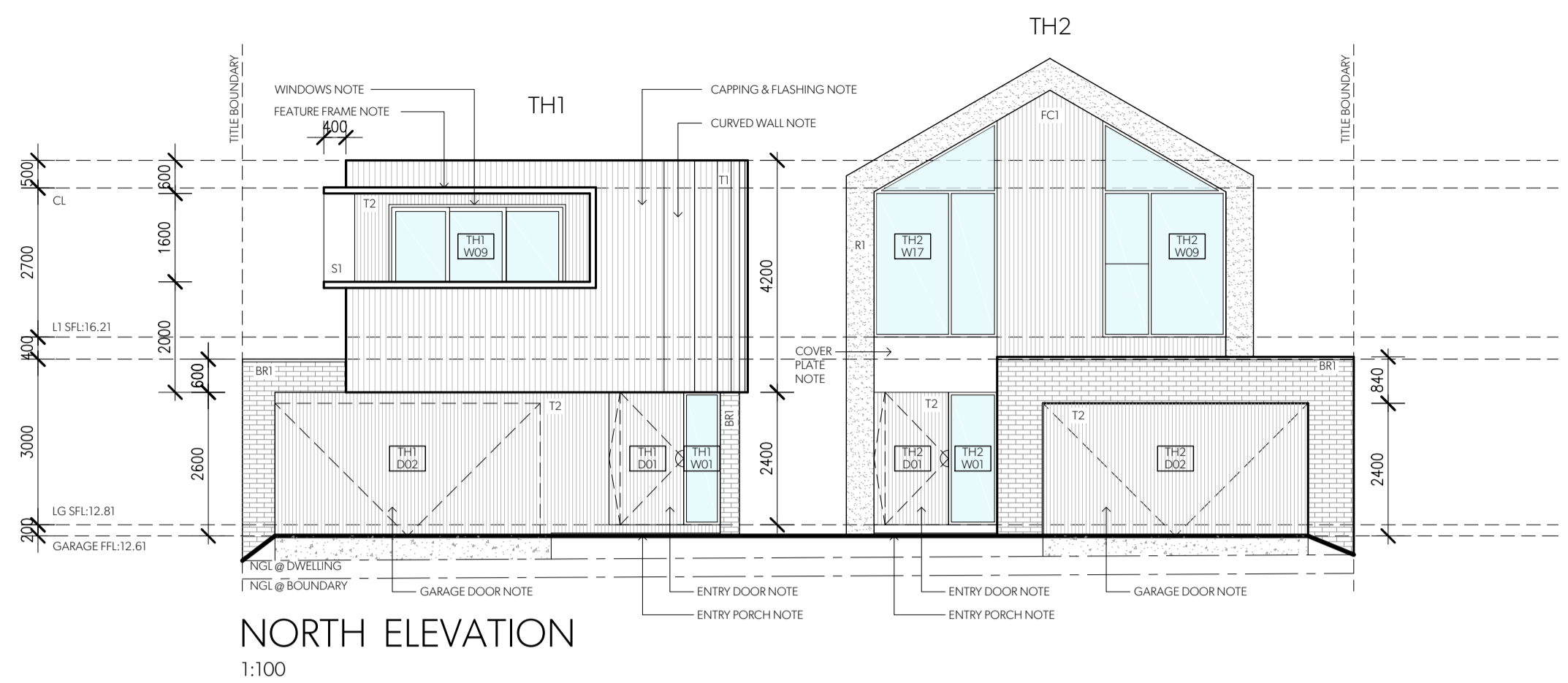
FOR TENDER
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- LEGEND**
- SK SHK SINK
 - DW DWH WASHER
 - HP HOT PLATE
 - BR BAKE HOOD
 - REF REFRIGERATOR
 - OV WALL OVEN
 - CWC OVERHEAD CUPBOARDS
 - PTY PANTRY
 - TR TROUGH
 - WM WASHING MACHINE
 - DWY DRYER
 - CL RETRACTABLE CLOTHESLINE
 - VS UNDERMOUNT VANITY BASIN WITH OVERFLOW
 - WB WALL BASIN
 - WC TOILET
 - SHR ENCLOSED SHOWER
 - BATH FREESTANDING BATH/TUB
 - FP LUMINAIR 2000 GAS FIREPLACE INSTALLED TO MANUFACTURERS SPECS.
 - I IONICITY
 - TR TRIMMER FENCING
 - LN LINEN CUPBOARD
 - BR BUILT IN BENCHWARE
 - HR CONTINUOUS HANDRAIL TO min 1 SIDE OF STAIR
 - BR min 1m HIGH BALUSTRADE
 - LH LIFT-OFF HINGES
 - FW FLOOR WASTE
 - W DOMESTIC WATER METER
 - G DOMESTIC GAS METER
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 - HARDWARE: SMOKE ALARM
- FLOOR FINISHES**
- NCON NATURAL CONCRETE FLOOR
 - TRM TRIMMER FENCING
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 - PAV EXTERNAL CONC. PAVERS
 - LAWN LANDSCAPING
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- TC TIMBER COLUMN SIZES TO ENGINEER'S DETAILS
 - COL STEEL COLUMN SIZES TO ENGINEER'S DETAILS

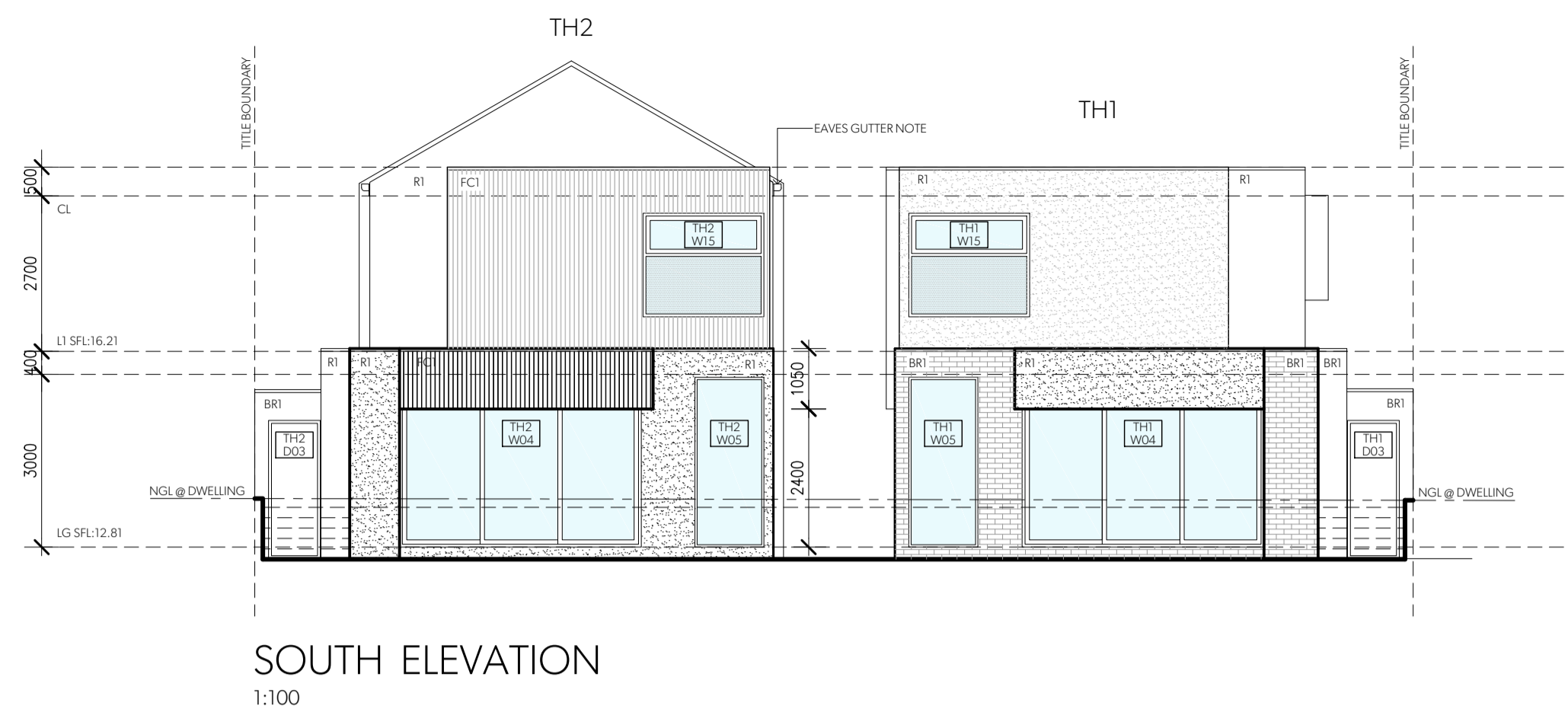
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- RAISED CEILING ABOVE



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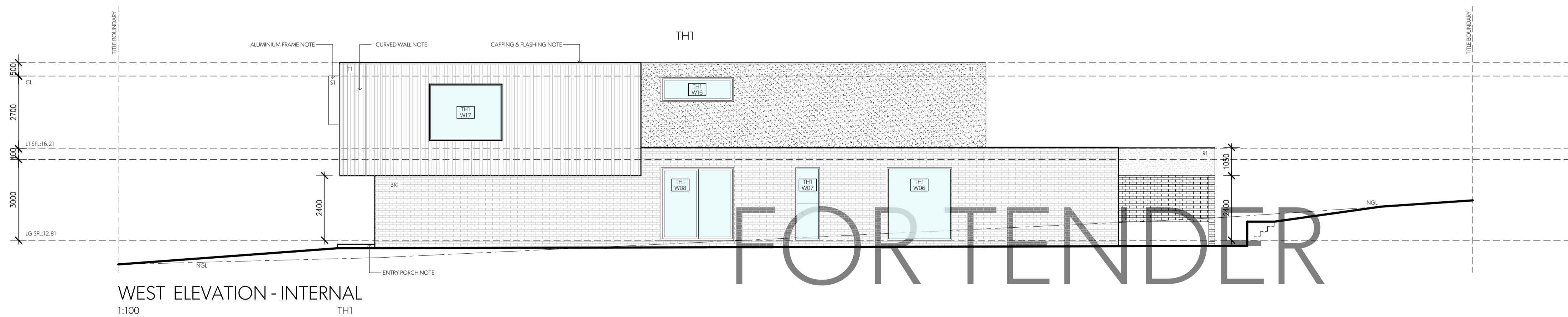
NORTH ELEVATION
1:100



SOUTH ELEVATION
1:100



EAST ELEVATION
1:100



WEST ELEVATION - INTERNAL
1:100

FOR TENDER
NOT FOR CONSTRUCTION

WINDOWS
POWDERCOATED ALUMINIUM FRAME WINDOWS.
WINDOW U1 & SHGC VALUES AS PER ENDORSED ENERGY RATING REPORT. TH1 WINDOW FRAMES TO BE 'NIGHT SKY' COLOUR OR SIMILAR. TH2 WINDOW FRAMES TO BE 'PEARL WHITE' COLOUR OR SIMILAR.

FEATURE FRAME
POWDERCOATED ALUMINIUM CLADDING TO LIGHTWEIGHT FRAME TO ENGINEERS SPECS. 'PEARL WHITE' COLOUR OR SIMILAR. 600mm from PROJECTION FROM EXTERNAL WALL. REFER TO A06 AND ENGINEERS DRAWINGS FOR DETAILS

CURVED WALL
SCULPTFORM FLAT 150x12 CLICK-ON CLADDING TO TH1 CURVED FACADE. REFER TO A02.02. FIRST FLOOR PLAN FOR RADIUS DIMENSIONS. CLADDING BATTENS INSTALLED ON CURVED MOUNTING TRACK AS PER MANUFACTURERS SPECS.

ENTRY DOOR
SCULPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME PIVOT DOOR. REFER TO A07.01 W12Z. CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

GARAGE DOOR
SCULPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME TILT UP DOOR. REFER TO A07.01 W2Z. CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

COVER PLATE
POWDERCOATED ALUMINIUM COVER PLATE TO MATCH ADJACENT WINDOW FRAMES.

DRIVEWAY
EXPOSED AGGREGATE CONCRETE DRIVEWAY AT FROM 1:12 GRADE UP TO GARAGE FLOOR LEVEL.

CAPPING & FLASHING NOTE
COLORBOND CAPPING & FLASHING TO ALL PARAPET WALLS. CAPPING TO MATCH WALL COLOUR. MIN 1:100 FALL TOWARDS BOX GUTTER OR ROOFING BELOW.

RETAINING WALL NOTE
RETAINING WALLS TO ENGINEERS SPECS. REFER TO A01.01 FOR EXTENT OF RETAINING WALLS. 1100mm MAX RETAINING

EAVES GUTTER NOTE
LYSAGHT HALF ROUND GUTTER AND METAL FASCIA INSTALLED TO MANUFACTURERS SPECS. COLOUR TO MATCH ADJACENT ROOF SHEETING.

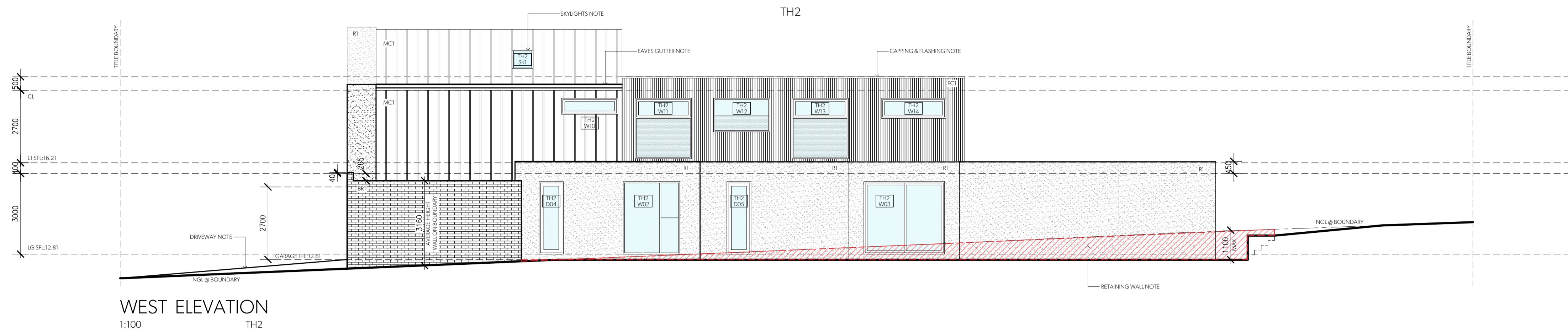
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ENTRY PORCH NOTE
100mm CONCRETE PAVING SLAB. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF: 21554

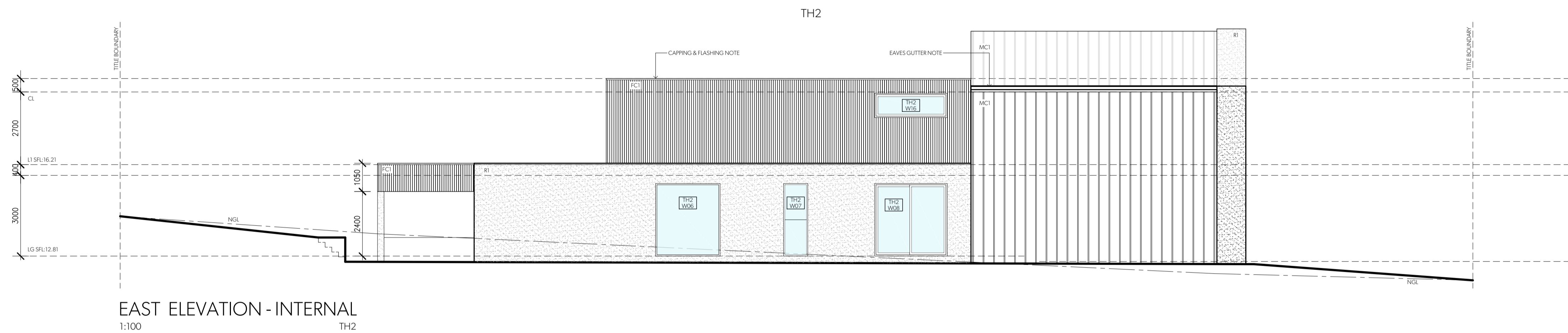
TH1 SFL - PORCH: 12.66
TH2 SFL - PORCH: 12.66

BR1 PETERSEN TEQL D190 BRICK DNF FORMAT 228x108x54mm	T1 SCULPTFORM FLAT 150x12 CLICK-ON CLADDING - VERTICAL ORIENTATION, WHITE WASH OAK FINISH	T2 SCULPTFORM FLAT 75x12 CLICK-ON CLADDING - VERTICAL ORIENTATION, BLACKBUTT FINISH	S1 MATTE WHITE POWDERCOATED ALUMINIUM METAL SUN SHADE
R1 RENDERED HEBEL POWERPANEL 50 WALLS, DULUX 'ANTIQUE WHITE' PAINTED FINISH	FC1 EQUITONE LT90 F.C SHEET IN VERTICAL ORIENTATION.	MC1 'NAILSTRIP' 38mm RIB HEIGHT VERTICAL METAL CLADDING, COLOURBOND WINDSPRAY COLOUR OR SIMILAR.	F1 POWDERCOATED ALUMINIUM BLADE FENCE, WHITE COLOUR

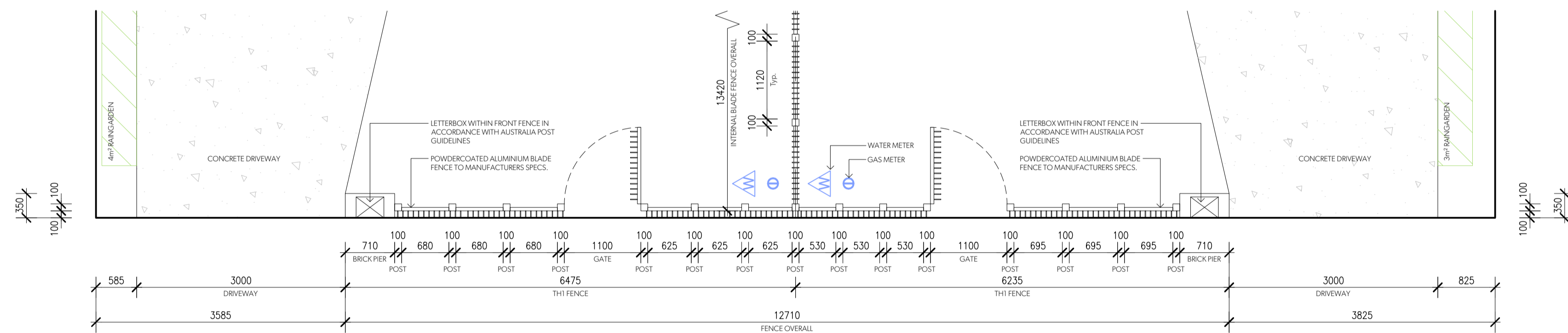
FINISHES SCHEDULE



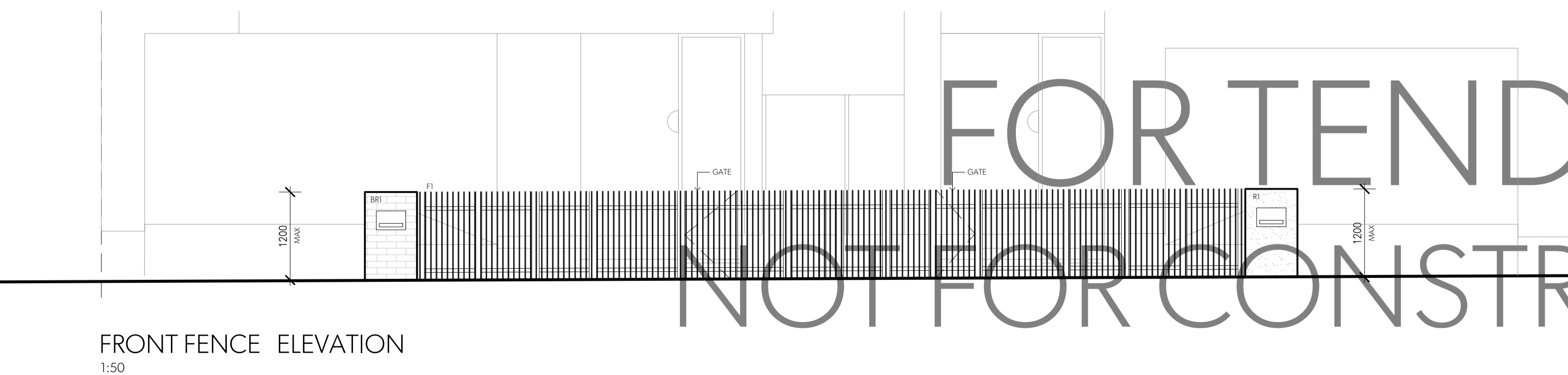
WEST ELEVATION
1:100 TH2



EAST ELEVATION - INTERNAL
1:100 TH2



FRONT FENCE PLAN
1:50



FRONT FENCE ELEVATION
1:50

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POWDERCOATED ALUMINIUM FRAME WINDOWS.
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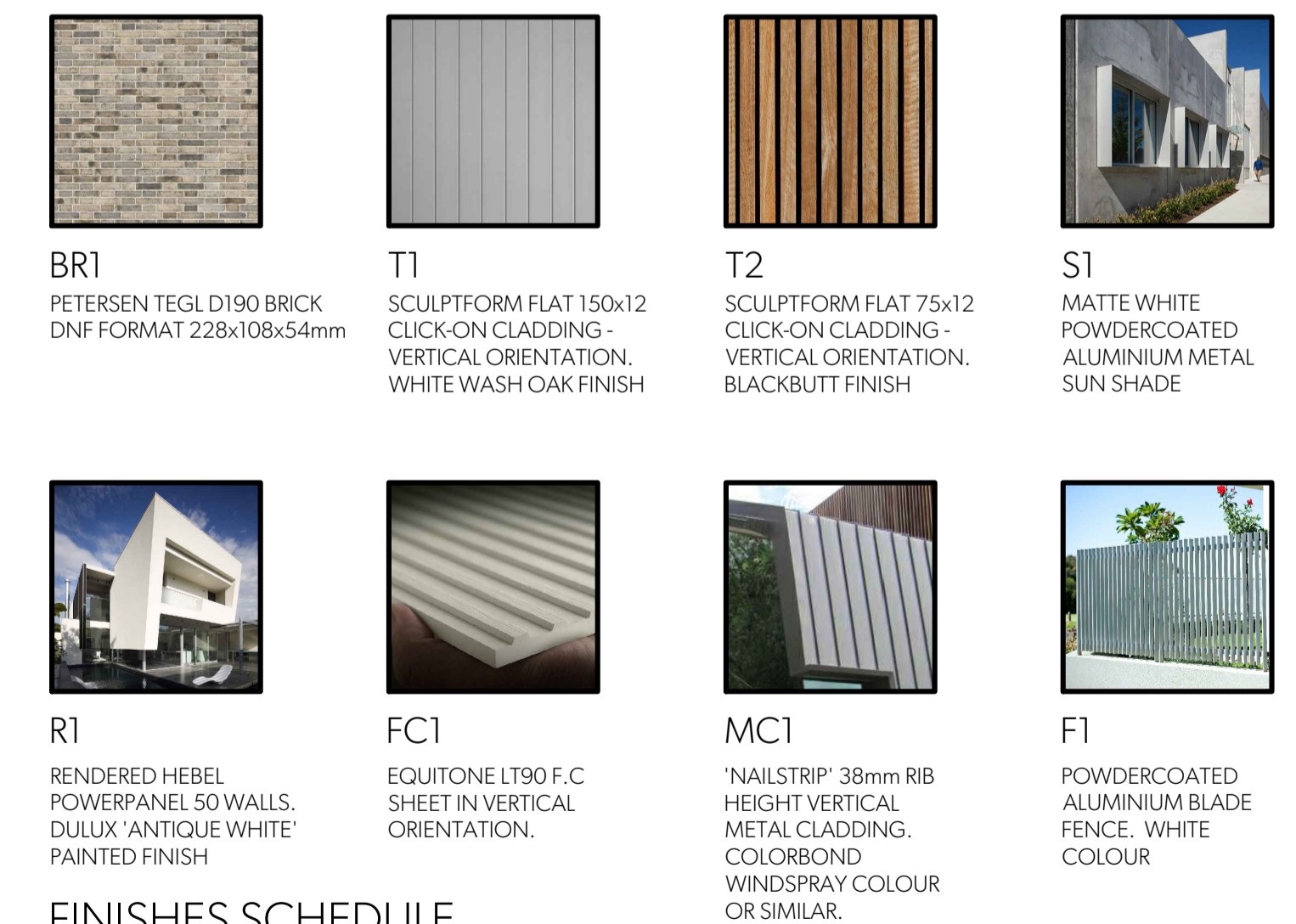
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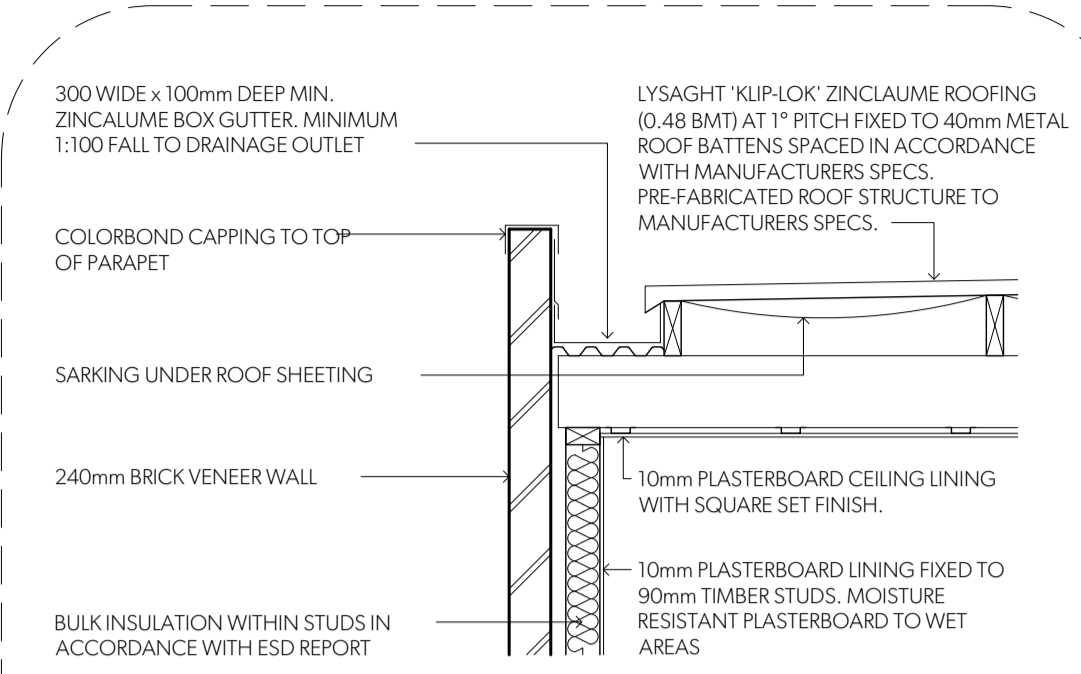
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100mm CONCRETE PAVING SLAB. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21954

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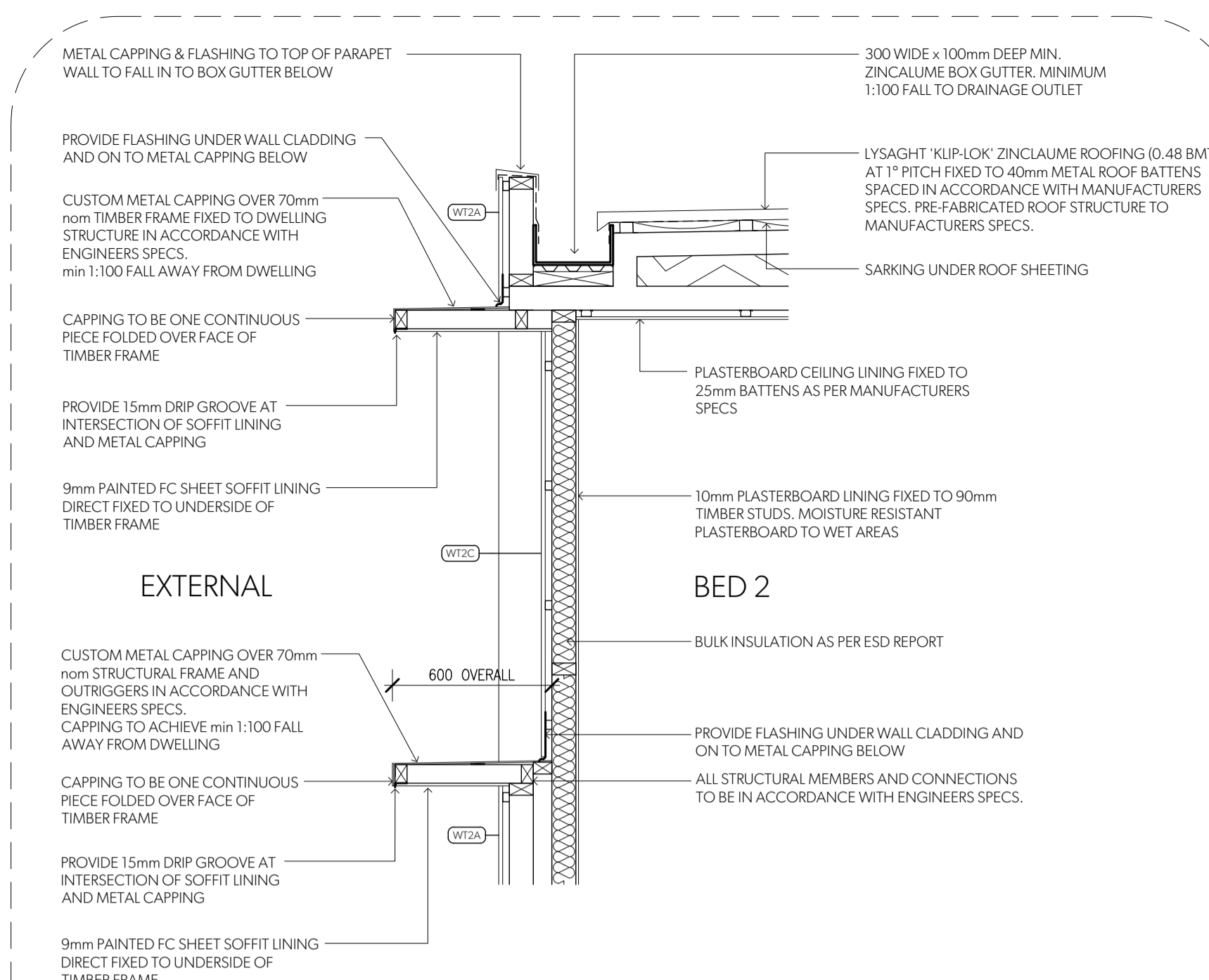


FINISHES SCHEDULE

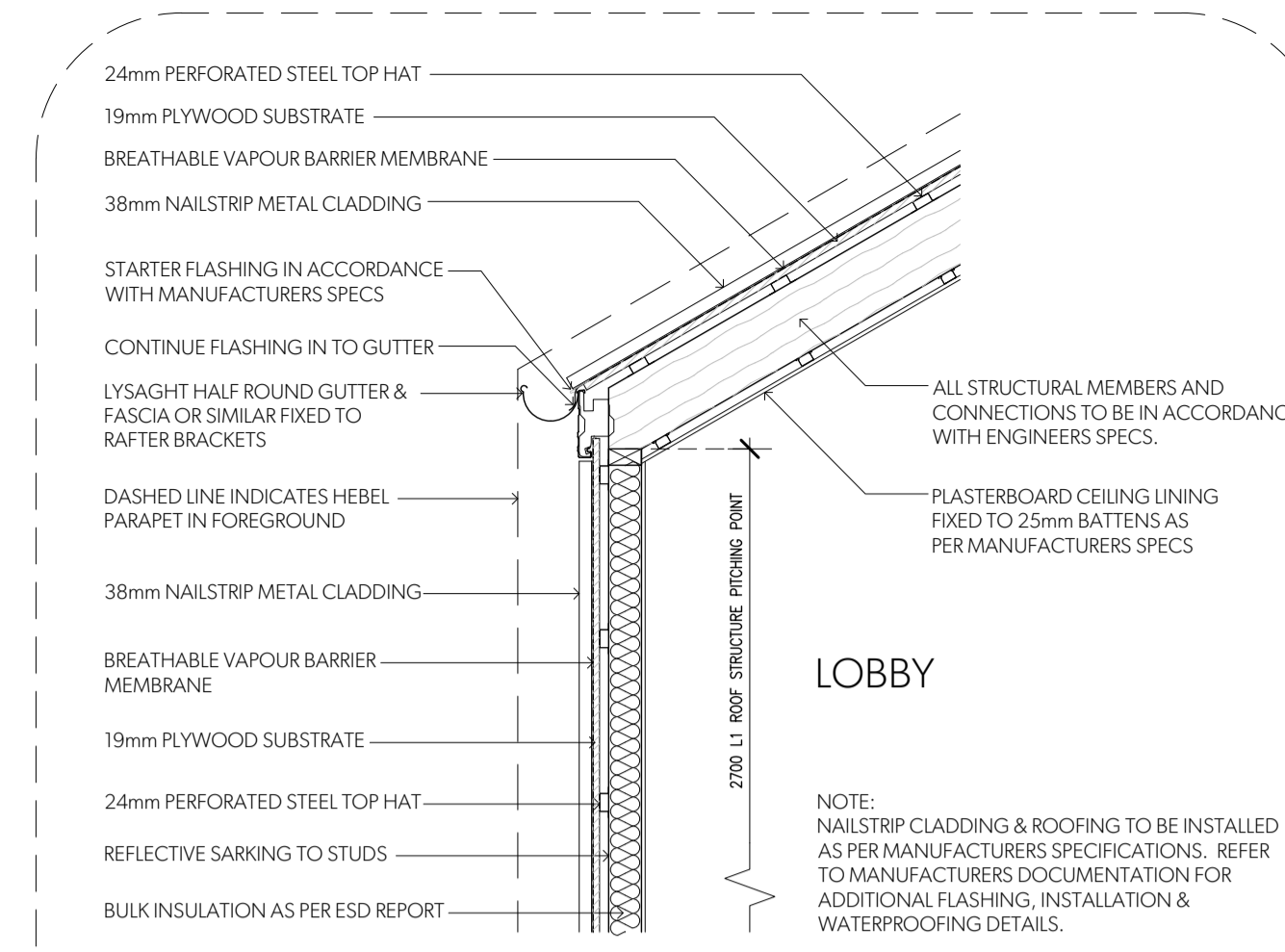
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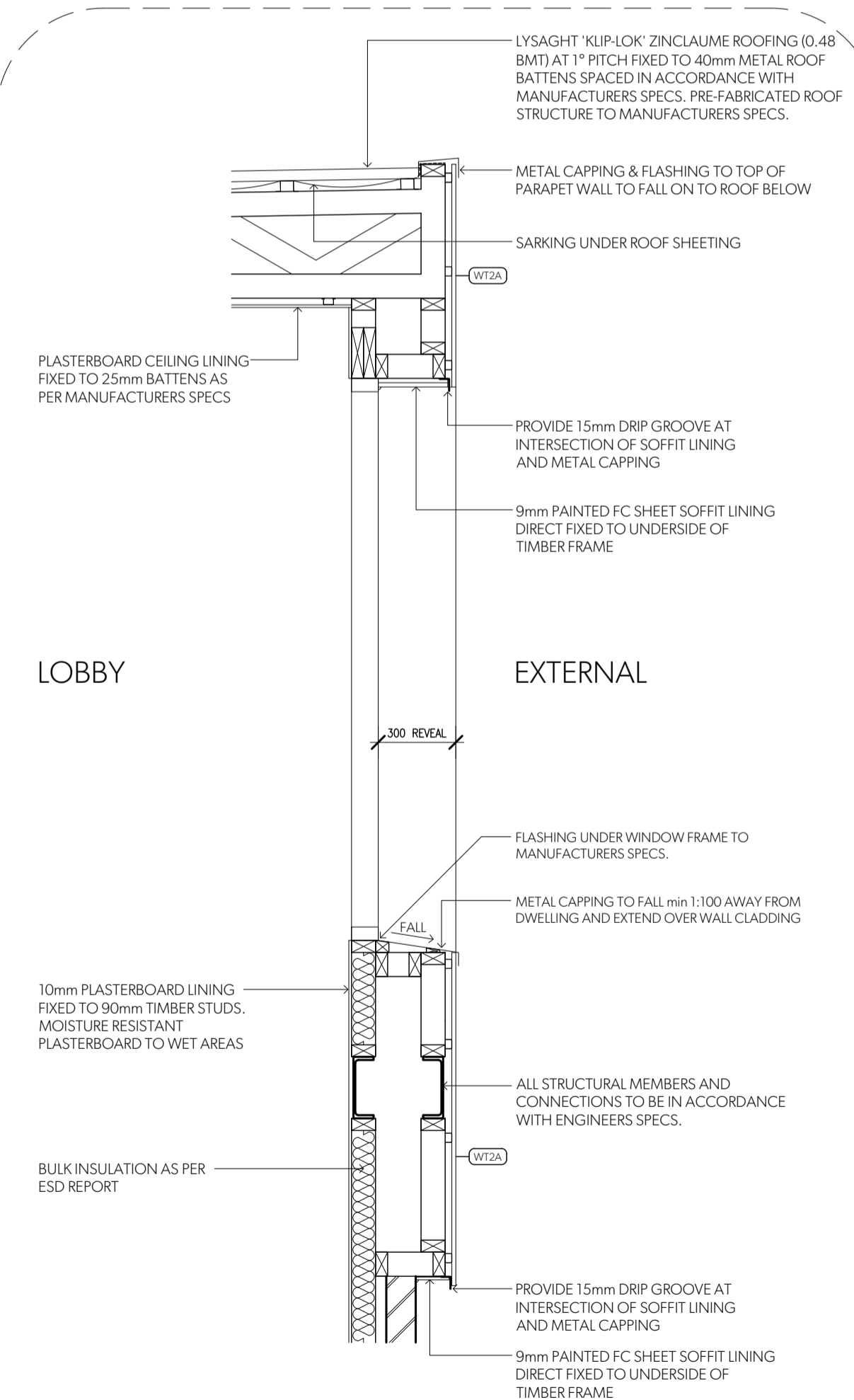
GROUND FLOOR BOX GUTTER DETAIL
1:20



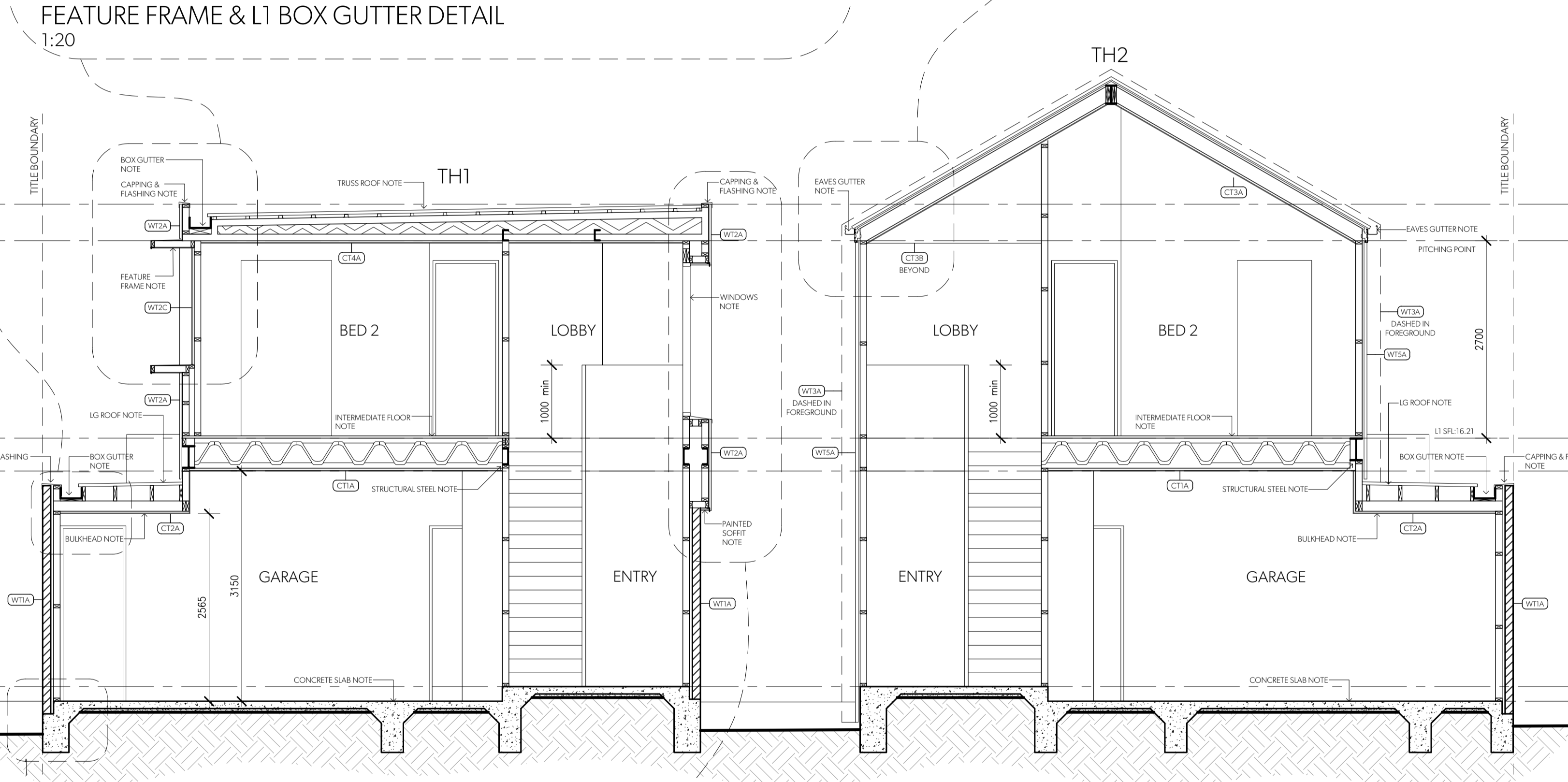
FEATURE FRAME & L1 BOX GUTTER DETAIL
1:20



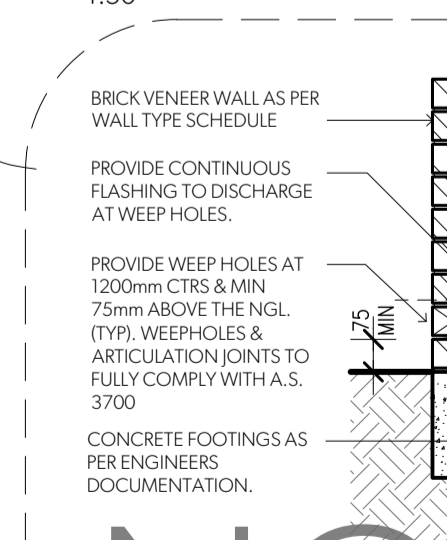
NAILSTRIP CLADDING DETAIL
1:20



FEATURE WINDOW REVEAL DETAIL
1:20



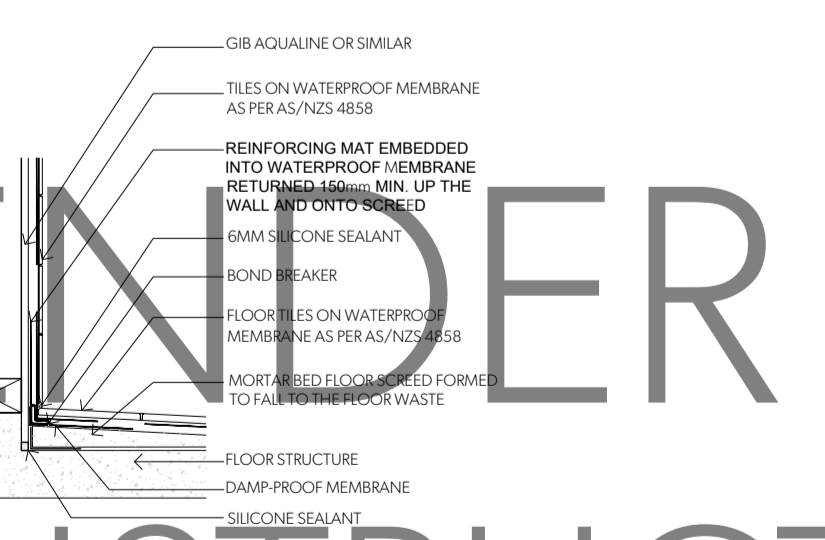
SECTION A-A
1:50



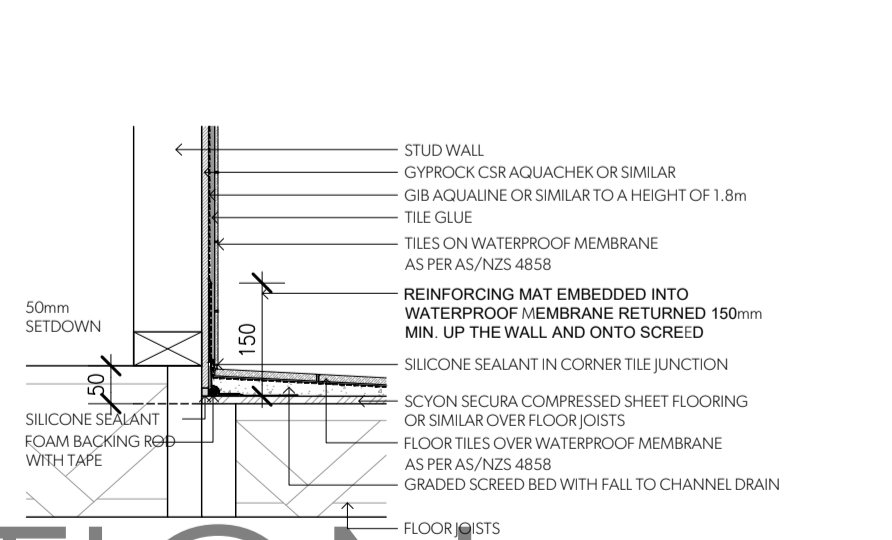
WEEPHOLE DETAIL (TYPICAL)
1:20



WET AREA WALL / FLOOR JUNCTION
1:10



WET AREA WALL / FLOOR JUNCTION
1:10



WET AREA WALL / FLOOR JUNCTION
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POWDERCOATED ALUMINIUM FRAME WINDOWS. WINDOW U & SHGC VALUES AS PER ENDORSED ENERGY RATING REPORT. TH1 WINDOW FRAMES TO BE 'NIGHT SKY' COLOUR OR SIMILAR. TH2 WINDOW FRAMES TO BE 'PEARL WHITE' COLOUR OR SIMILAR.

FEATURE FRAME:
POWDERCOATED ALUMINIUM CLADDING TO LIGHTWEIGHT FRAME TO ENGINEERS SPECS. 'PEARL WHITE' COLOUR OR SIMILAR. 6000mm NOM PROJECTION FROM EXTERNAL WALL. REFER TO A06 AND ENGINEERS DRAWINGS FOR DETAILS.

CURVED WALL:
SCULPTFORM FLAT 150x12 CLICK-ON CLADDING TO TH1 CURVED FACADE. REFER TO A02.02 FIRST FLOOR PLAN FOR RADIUS DIMENSIONS. CLADDING BATTENS INSTALLED ON CURVED MOUNTING TRACK AS PER MANUFACTURERS SPECS.

ENTRY DOOR:
SCULPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME PIVOT DOOR. REFER TO A07.01 WT2D CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1).

GARAGE DOOR:
SCULPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME TILT UP DOOR. REFER TO A07.01 WT2E CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1).

COVER PLATE:
POWDERCOATED ALUMINIUM COVER PLATE TO MATCH ADJACENT WINDOW FRAMES.

DRIVEWAY:
EXPOSED AGGREGATE CONCRETE DRIVEWAY AT NOM 1:12 GRADE UP TO GARAGE FLOOR LEVEL.

CAPPING & FLASHING NOTE:
COLORBOND CAPPING & FLASHING TO ALL PARAPET WALLS. CAPPING TO MATCH WALL COLOUR. MIN 1:100 FALL TOWARDS BOX GUTTER OR ROOFING BELOW.

RETAINING WALL NOTE:
RETAINING WALLS TO ENGINEERS SPECS. REFER TO A01.01 FOR EXTENT OF RETAINING WALLS. 1100mm MAX RETAINING.

EAVES GUTTER NOTE:
LYSAGHT HALF ROUND GUTTER AND METAL FASCIA INSTALLED TO MANUFACTURERS SPECS. COLOUR TO MATCH ADJACENT ROOF SHEETING.

SKYLIGHT NOTE:
SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06.02 FOR TYPICAL SKYLIGHT DETAIL.

ENTRY PORCH NOTE:
100mm CONCRETE FINISHING SLAB. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21554

TH1 SFL: PORCH: 12.66
TH2 SFL: PORCH: 12.66

CONCRETE SLAB NOTE:
STRUCTURAL SLAB ASSOCIATED SLAB FLOORS, SET DOWNS, STAIRS, STRIP FOOTINGS, SOLDIER PILES, BEAM WIDENING, UNDERPINNING, WATERPROOFING ETC ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN AND DETAILING. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21554

TH1 SFL: 12.81
TH1 SFL - GARAGE: 12.61

TH2 SFL: 12.81
TH2 SFL - GARAGE: 12.61

50mm SHOWER SETDOWNS TO BE PROVIDED (TYP). NOMINAL 30mm NOMINAL ALLOWANCE FOR FLOOR COVERING. SCREED TOPPING LEVEL TO BE ADJUSTED WHEN FINAL TILES SELECTION IS MADE.

BOX GUTTER NOTE:
300mm WIDE x 100mm DEEP MIN ZINCALUME BOX GUTTER ON 20mm NOM GUTTER BOARD (TYP) U.N.O. ALL BOX GUTTERS ARE TO HAVE A MIN FALL OF 1:100 TOWARDS OUTLET. REFER TO A07.02 FOR ALL BOX GUTTER LOCATIONS. REFER TO A06 FOR BOX GUTTER DETAILS.

TRUSS ROOF NOTE:
1" LYSAGHT KLIP-LOK 700 HI STRENGTH (0.48BMT) SHEET ROOFING ON STEEL BATTENS SPACED AS PER MANUF. SPECS & IN COMPLIANCE WITH AS.1562.1. OVER PRE-FABRICATED TRUSSES. TO BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERS DESIGN AND SPECIFICATIONS.

IG ROOF NOTE:
1" LYSAGHT KLIP-LOK 700 HI STRENGTH (0.48BMT) SHEET ROOFING ON GRATED TIMBER BATTENS SPACED AS PER MANUF. SPECS & IN COMPLIANCE WITH AS.1562.1. ROOF FRAMING AS PER ENGINEERS SPECS.

INTERMEDIATE FLOOR NOTE:
SOLID FLOOR JOISTS, AS NOMINATED BY THE ENGINEER, TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. INTEGRATED STRUCTURAL MEMBERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN AND DETAILING. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21554

50mm SHOWER SETDOWNS TO BE PROVIDED (TYP). REFER TO A06 FOR WATERPROOFING DETAILS.

TH1 L1 SFL: 16.18 - FFL: 16.21
TH2 L1 SFL: 16.18 - FFL: 16.21

NOMINAL 30mm ALLOWANCE FOR FLOOR COVERING.

STRUCTURAL STEEL NOTE:
REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF:21554 FOR ALL STRUCTURAL MEMBERS AND CONNECTION DETAILS.

BULKHEAD NOTE:
BOX OUT CEILING TO ACHIEVE CEILING HEIGHT AS NOMINATED ON ELECTRICAL LAYOUT PLAN A05 TO ALLOW FOR HEATING AND COOLING DUCTS

PAINTED SOFFIT NOTE:
9mm PAINTED F.C. SHEET DIRECT FIXED TO TIMBER MEMBER IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS U.N.O. PROVIDE DRIP GROOVE AT INTERSECTION OF SOFFIT LINING AND EXTERNAL WALL CLADDING

TIMBER LINED SOFFIT NOTE:
SCULPTFORM FLAT 75x12 CLICK ON CLADDING BLACKBUTT FINISH TO MATCH ADJACENT WALL. FIXED TO TIMBER MEMBERS AS PER WALL TYPE WT2C AND IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. PROVIDE DRIP GROOVE AT INTERSECTION OF SOFFIT LINING AND EXTERNAL WALL CLADDING

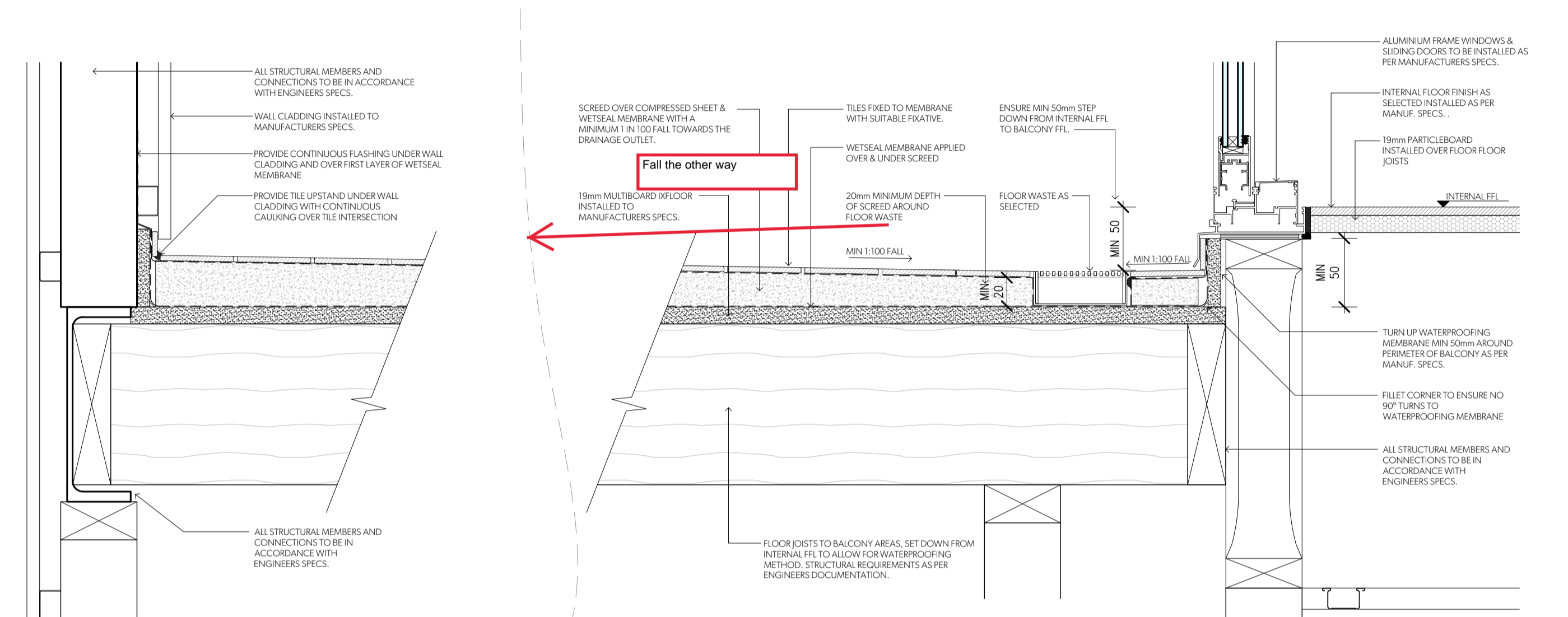
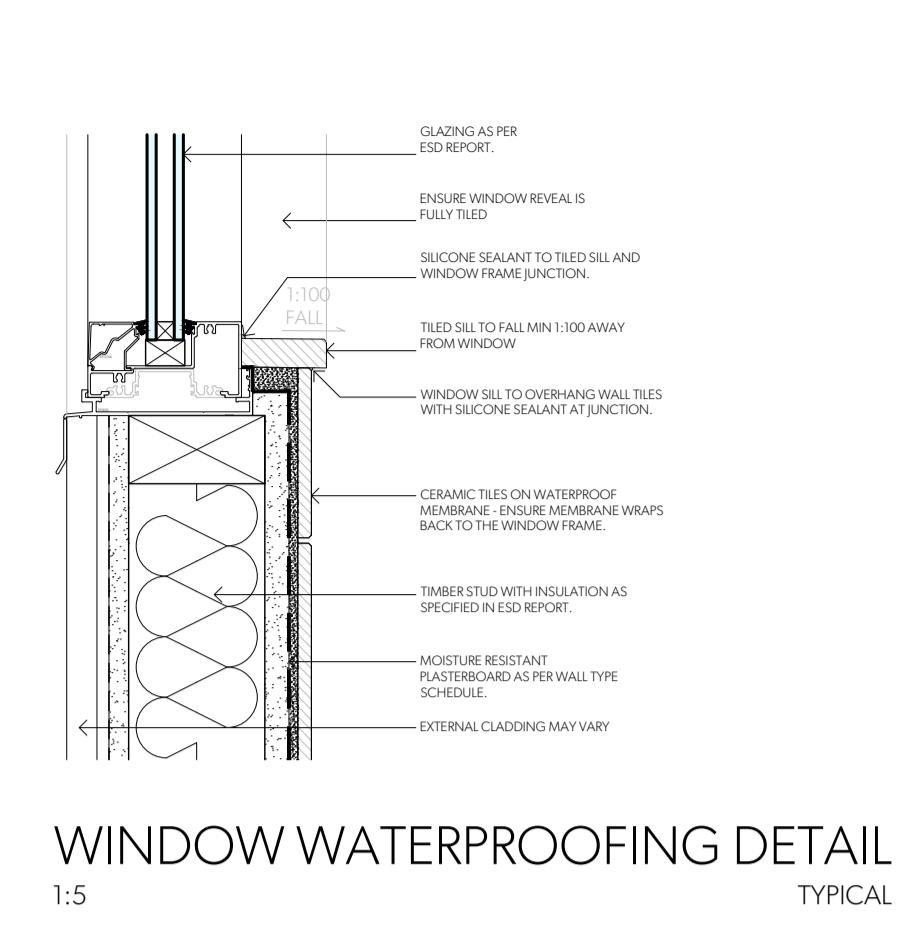
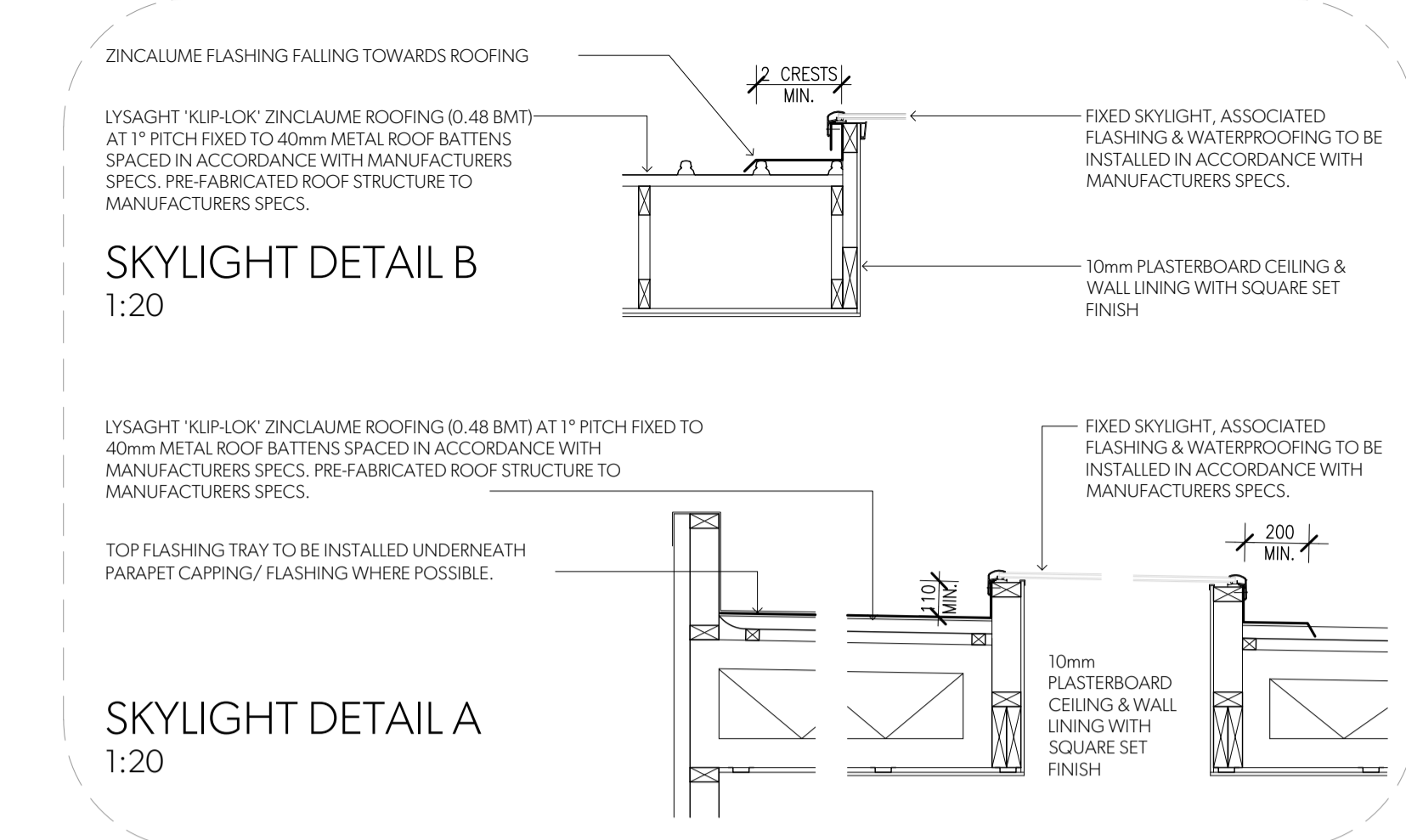
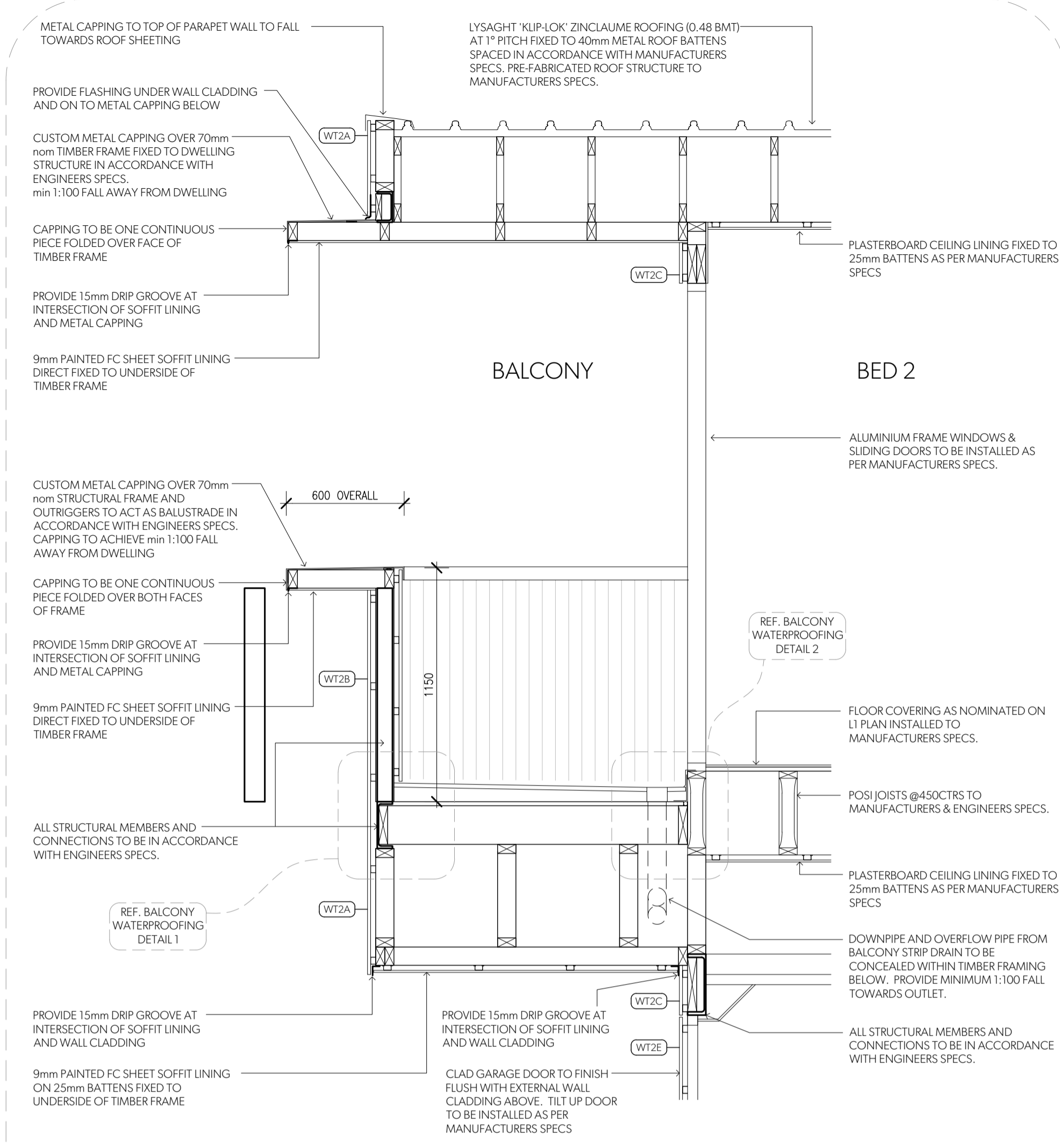
SKYLIGHT NOTE:
SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06 FOR TYPICAL SKYLIGHT DETAIL.



EXPOSED STRINGER STAIR DETAIL
1:20

TRENDS MUST HAVE A SURFACE WITH A SLIP-RESISTANT FINISH OR A NOSING STRIP WITH A MIN. CLASSIFICATION LISTED IN TABLE BELOW. WHEN TESTED IN ACCORDANCE WITH AS 4586.

APPLICATION	SURFACE CONDITIONS	
	DRY	WET
TREAD SURFACE	P3 OR R10	P4 OR R11
NOSING STRIP	P3	P4



WINDOWS:
POWDERCOATED ALUMINIUM FRAME WINDOWS, WINDOW U & SHGC VALUES AS PER ENDORSED ENERGY RATING REPORT. TH1 WINDOW FRAMES TO BE 'NIGHT SKY' COLOUR OR SIMILAR. TH2 WINDOW FRAMES TO BE 'PEARL WHITE' COLOUR OR SIMILAR.

FEATURE FRAME:
POWDERCOATED ALUMINIUM CLADDING TO LIGHTWEIGHT FRAME TO ENGINEERS SPECS. 'PEARL WHITE' COLOUR OR SIMILAR. 6000mm NOM PROJECTION FROM EXTERNAL WALL. REFER TO A06 AND ENGINEERS DRAWINGS FOR DETAILS

CURVED WALL:
SCULPTFORM FLAT 150x12 CLICK-ON CLADDING TO TH1 CURVED FACADE. REFER TO A02.02 FIRST FLOOR PLAN FOR RADIUS DIMENSIONS. CLADDING BATTENS INSTALLED ON CURVED MOUNTING TRACKS AS PER MANUFACTURERS SPECS.

ENTRY DOOR:
SCULPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME PIVOT DOOR. REFER TO A07.01 WT2D
CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

GARAGE DOOR:
SCULPTFORM FLAT 75x12 CLICK-ON CLADDING TO CUSTOM GALVANIZED STEEL FRAME TILT UP DOOR. REFER TO A07.01 WT2E
CLADDING TO BE FLUSH AND MATCH SEAMLESSLY WITH ADJOINING WALL CLADDING (TH1)

COVER PLATE:
POWDERCOATED ALUMINIUM COVER PLATE TO MATCH ADJACENT WINDOW FRAMES.

DRIVEWAY:
EXPOSED AGGREGATE CONCRETE DRIVEWAY AT NOM 1:12 GRADE UP TO GARAGE FLOOR LEVEL.

CAPPING & FLASHING NOTE:
COLORBOND CAPPING & FLASHING TO ALL PARAPET WALLS. CAPPING TO MATCH WALL COLOUR. MIN 1:100 FALL TOWARDS BOX GUTTER OR ROOFING BELOW.

RETAINING WALL NOTE:
RETAINING WALLS TO ENGINEERS SPECS. REFER TO A01.01 FOR EXTENT OF RETAINING WALLS. 1100mm MAX RETAINING

FAVES GUTTER NOTE:
LYSAGHT HALF ROUND GUTTER AND METAL FASCIA INSTALLED TO MANUFACTURERS SPECS. COLOUR TO MATCH ADJACENT ROOF SHEETING.

SKYLIGHT NOTE:
SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06.02 FOR TYPICAL SKYLIGHT DETAIL.

ENTRY PORCH NOTE:
100mm CONCRETE FINISH SLAB.
REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF: 21554

TH1 SFL - PORCH: 12.66
TH2 SFL - PORCH: 12.66

CONCRETE SLAB NOTE:
STRUCTURAL SLAB ASSOCIATED SLAB FOLDS, SET DOWNS, STAIRS, STRIP FOOTINGS, SOLDIER PILES, BEAM WIDENING, UNDERPINNING, WATERPROOFING ETC ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN AND DETAILING. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF: 21554

TH1 SFL: 12.81
TH1 SFL - GARAGE: 12.61

TH2 SFL: 12.81
TH2 SFL - GARAGE: 12.61

50mm SHOWER SETDOWNS TO BE PROVIDED (TYP). NOMINAL 30mm NOMINAL ALLOWANCE FOR FLOOR COVERING. SCREED TOPPING LEVEL TO BE ADJUSTED WHEN FINAL TILES SELECTION IS MADE.

BOX GUTTERS NOTE:
300mm WIDE x 100mm DEEP MIN ZINCALUME BOX GUTTER ON 20mm NGM GUTTER BOARD (TYP) U.N.O. ALL BOX GUTTERS ARE TO HAVE A MIN FALL OF 1:100 TOWARDS OUTLET. REFER TO A01.02 FOR ALL BOX GUTTER LOCATIONS. REFER TO A06 FOR BOX GUTTER DETAILS.

TRUSS ROOF NOTE:
1° LYSAGHT 'KLIPI-LOK' 700 HI-STRENGTH (0.48BMT) SHEET ROOFING ON STEEL BATTENS SPACED AS PER MANUF. SPECS & IN COMPLIANCE WITH AS.1562.1. OVER PRE-FABRICATED TRUSSES. TO BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERS DESIGN AND SPECIFICATIONS.

IG ROOF NOTE:
1° LYSAGHT 'KLIPI-LOK' 700 HI-STRENGTH (0.48BMT) SHEET ROOFING ON GRADED TIMBER BATTENS SPACED AS PER MANUF. SPECS & IN COMPLIANCE WITH AS.1562.1. ROOF FRAMING AS PER ENGINEERS SPECS.

INTERMEDIATE FLOOR NOTE:
SOLID FLOOR JOISTS, AS NOMINATED BY THE ENGINEER, TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. INTEGRATED STRUCTURAL MEMBERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN AND DETAILING. REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF: 21554

50mm SHOWER SETDOWNS TO BE PROVIDED (TYP). REFER TO A06 FOR WATERPROOFING DETAILS.

TH1 LI SFL: 16.18 - FFL: 16.21
TH2 LI SFL: 16.18 - FFL: 16.21

NOMINAL 30mm ALLOWANCE FOR FLOOR COVERING.

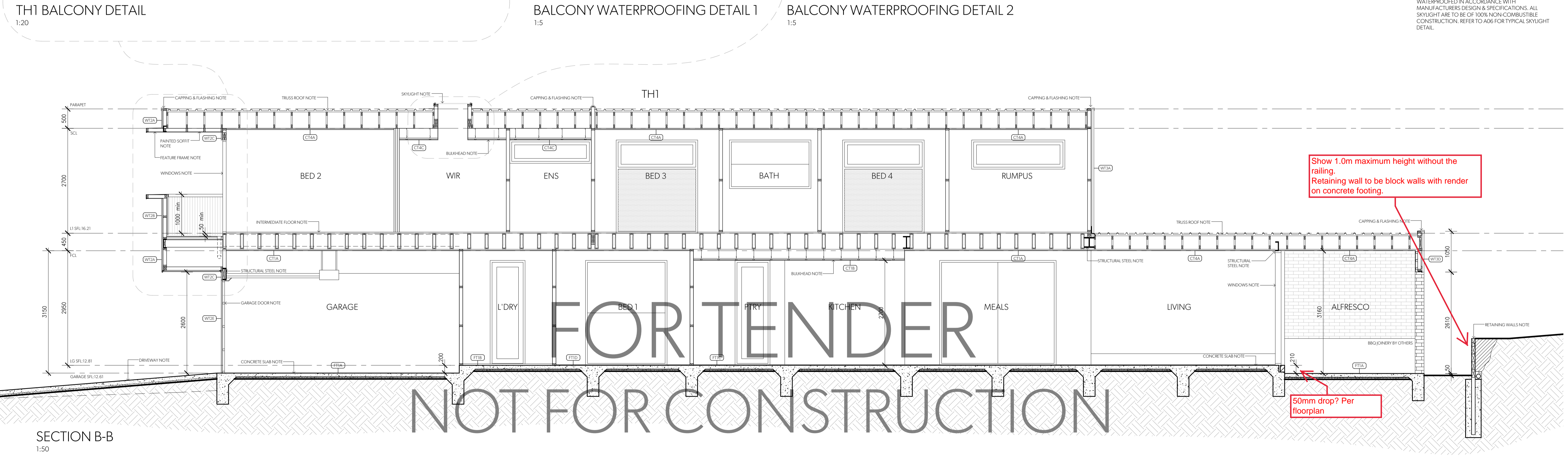
STRUCTURAL STEEL NOTE:
REFER TO STRUCTURAL ENGINEERING PLANS PREPARED BY STRUCSAND REF: 21554 FOR ALL STRUCTURAL MEMBERS AND CONNECTION DETAILS.

BULKHEAD NOTE:
BOX OUT CEILING TO ACHIEVE CEILING HEIGHT AS NOMINATED ON ELECTRICAL LAYOUT PLAN A09 TO ALLOW FOR HEATING AND COOLING DUCTS

PAINTED SOFFIT NOTE:
9mm PAINTED F.C. SHEET DIRECT FIXED TO TIMBER MEMBER IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS U.N.O. PROVIDE DRIP GROOVE AT INTERSECTION OF SOFFIT LINING AND EXTERNAL WALL CLADDING

TIMBER LINED SOFFIT NOTE:
SCULPTFORM FLAT 75x12 CLICK-ON CLADDING BLACKBUTT FINISH TO MATCH ADJACENT WALL. FIXED TO TIMBER MEMBERS AS PER WALL TYPE WT2C AND IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. PROVIDE DRIP GROOVE AT INTERSECTION OF SOFFIT LINING AND EXTERNAL WALL CLADDING

SKYLIGHT NOTE:
SKYLIGHTS ARE TO BE INSTALLED, FLASHED & WATERPROOFED IN ACCORDANCE WITH MANUFACTURERS DESIGN & SPECIFICATIONS. ALL SKYLIGHT ARE TO BE OF 100% NON-COMBUSTIBLE CONSTRUCTION. REFER TO A06 FOR TYPICAL SKYLIGHT DETAIL.



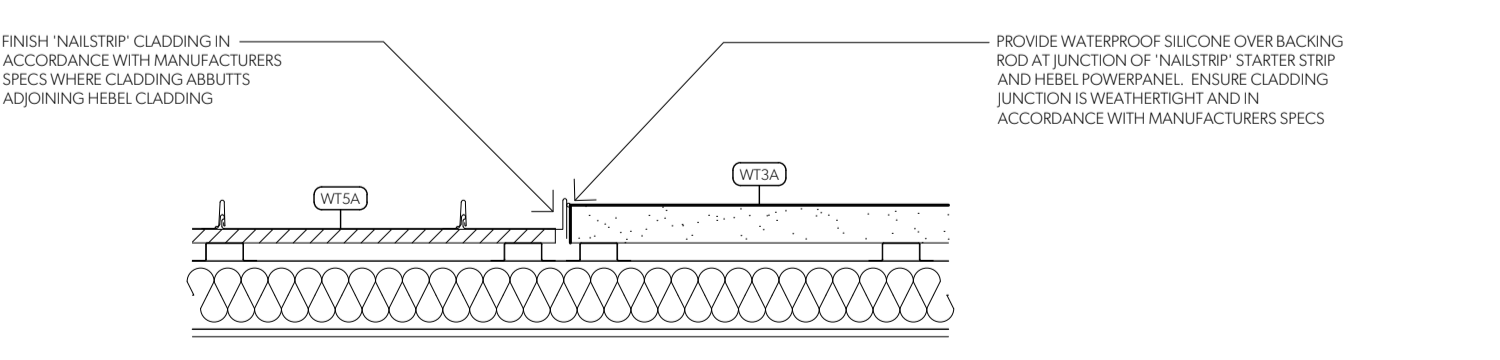
Show 1.0m maximum height without the railing.
Retaining wall to be block walls with render on concrete footing.

50mm drop? Per floorplan

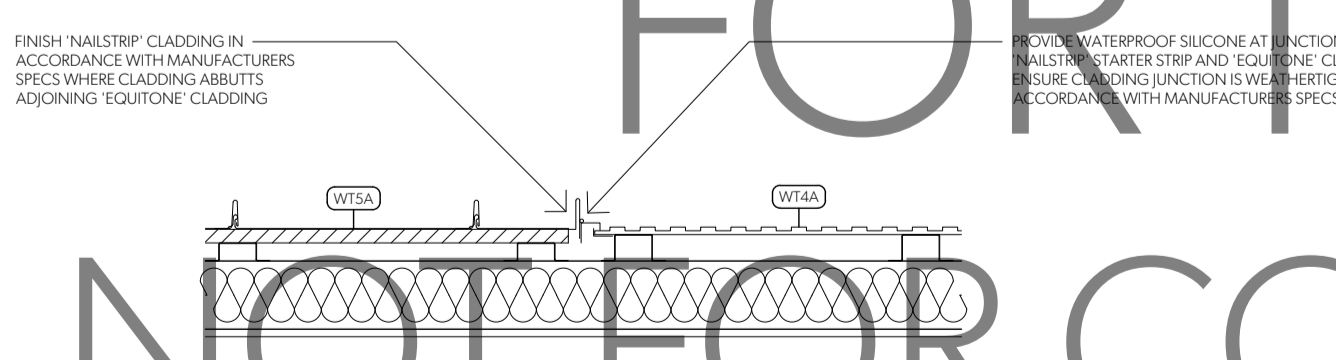
WALL TYPE	WALL DETAIL	DESCRIPTION
WT1A		WT1A - STANDARD BRICK VENEER WALL D.T.S. <ul style="list-style-type: none"> PETRESEN TIGL D190 (220mm x 108mm / 54mm) BRICKWORK BACKFORD ENVELOPE SEAL PROCTOR WRAP 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm SUPERCHER PLASTERBOARD (WR TO WET AREAS)
WT1B		WT1B - DOUBLE BRICK VENEER <ul style="list-style-type: none"> PETRESEN TIGL D190 (220mm x 108mm / 54mm) BRICKWORK 10mm Cavity PETRESEN TIGL D190 (220mm x 108mm / 54mm) BRICKWORK
WT2A		WT2A - 130mm VERTICAL CLICK ON ALUMINIUM CLADDING <ul style="list-style-type: none"> SCULPTFORM FLAT 150x2 CLICK ON CLADDING - VERTICAL WHITEWASH CAV. FINISH 35x 25mm MOUNTING TRACK REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD (WR TO WET AREAS)
WT2B		WT2B - 170mm VERTICAL CLICK ON ALUMINIUM CLADDING <ul style="list-style-type: none"> SCULPTFORM FLAT 150x2 CLICK ON CLADDING - VERTICAL WHITEWASH CAV. FINISH 35x 25mm MOUNTING TRACK REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD (WR TO WET AREAS)
WT2C		WT2C - 130mm VERTICAL CLICK ON ALUMINIUM CLADDING <ul style="list-style-type: none"> SCULPTFORM FLAT 150x2 CLICK ON CLADDING - VERTICAL BLACKSHUTT FINISH 35x 25mm MOUNTING TRACK REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD (WR TO WET AREAS)
WT2D		WT2D - 130mm VERTICAL CLICK ON ALUMINIUM CLADDING ENTRY DOOR <ul style="list-style-type: none"> SCULPTFORM FLAT 150x2 CLICK ON CLADDING - VERTICAL BLACKSHUTT FINISH REFLECTIVE SARKING TO BATTENS 35x 25mm MOUNTING TRACK REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD (WR TO WET AREAS)
WT2E		WT2E - 80mm VERTICAL CLICK ON ALUMINIUM CLADDING GARAGE DOOR <ul style="list-style-type: none"> SCULPTFORM FLAT 150x2 CLICK ON CLADDING - VERTICAL BLACKSHUTT FINISH REFLECTIVE SARKING TO BATTENS 35x 25mm MOUNTING TRACK REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD (WR TO WET AREAS)
WT3A		WT3A - HEBEL POWERPANEL 50 CLADDING <ul style="list-style-type: none"> 50mm HEBEL POWERPANEL 24mm PERFORATED STEEL TOP HAT REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD
WT3B		WT3B - HEBEL POWERPANEL 50 CLADDING <ul style="list-style-type: none"> 50mm HEBEL POWERPANEL 24mm PERFORATED STEEL TOP HAT REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD
WT3C		WT3C - HEBEL POWERPANEL 50 CLADDING <ul style="list-style-type: none"> 50mm HEBEL POWERPANEL 24mm PERFORATED STEEL TOP HAT REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD
WT3D		WT3D - HEBEL POWERPANEL 50 CLADDING <ul style="list-style-type: none"> 50mm HEBEL POWERPANEL 24mm PERFORATED STEEL TOP HAT REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD
WT4A		WT4A - EQUITONE LINES FC SHEET CLADDING <ul style="list-style-type: none"> 10mm EQUITONE LINES FC SHEET 24mm PERFORATED STEEL TOP HAT REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD
WT5A		WT5A - NAILSTRIP METAL CLADDING <ul style="list-style-type: none"> 10mm NAILSTRIP METAL CLADDING 24mm PERFORATED STEEL TOP HAT REFLECTIVE SARKING TO STUDS 100mm TIMBER STUDS BULK INSULATION BETWEEN STUDS AS PER ESO REPORT 10mm PLASTERBOARD
WT6A		WT6A - STUD WALL <ul style="list-style-type: none"> 10mm PLASTERBOARD (WR TO WET AREAS) 90mm TIMBER STUDS 10mm PLASTERBOARD (WR TO WET AREAS)
WT6B		WT6B - 140mm STUD WALL <ul style="list-style-type: none"> 10mm PLASTERBOARD (WR TO WET AREAS) 140mm TIMBER STUDS TURNED 90° 10mm CAVITY (PER FOR PROTECT) 140mm TIMBER STUDS TURNED 90° 10mm PLASTERBOARD (WR TO WET AREAS)

CEILING / FLOOR TYPE	CEILING / FLOORING DETAIL	DESCRIPTION
CT1A		CT1A - STANDARD SUB-FLOOR CEILING SYSTEM <ul style="list-style-type: none"> FLOOR FINISH AS SPECIFIED ON PLAN 10mm PARTICLE BOARD FLOORING 100mm FIBRE CEMENT BOARD BULK INSULATION AS PER ESO REPORT 25mm RONDO STEEL CEILING BATTENS 10mm SUPERCHER PLASTERBOARD (WR TO WET AREAS)
CT1B		CT1B - STANDARD SUSPENDED CEILING SYSTEM WITH SUSPENDED CEILING <ul style="list-style-type: none"> FLOOR FINISH AS SPECIFIED ON PLAN 10mm PARTICLE BOARD FLOORING BULK INSULATION AS PER ESO REPORT RONDO SUSPENDED CEILING SYSTEM (WR TO WET AREAS)
CT2A		CT2A - METAL ROOF OVER GRADED BATTENS AND RAFTERS <ul style="list-style-type: none"> 0.48MM RUF FOR ROOFING 60mm BRADFORD ANTONCOX MD R1.3 INSULATION IN REFLECTIVE FOIL 24mm PERFORATED STEEL TOP HAT ROOF RAFTERS TO MANUFACTURERS SPECS. BULK INSULATION AS PER ESO REPORT 25mm RONDO STEEL CEILING BATTENS 10mm SUPERCHER PLASTERBOARD (WR TO WET AREAS)
CT2B		CT2B - METAL ROOF OVER GRADED BATTENS AND RAFTERS WITH SUSPENDED CEILING <ul style="list-style-type: none"> 0.48MM RUF FOR ROOFING 60mm BRADFORD ANTONCOX MD R1.3 INSULATION IN REFLECTIVE FOIL 24mm PERFORATED STEEL TOP HAT ROOF RAFTERS TO MANUFACTURERS SPECS. BULK INSULATION AS PER ESO REPORT RONDO SUSPENDED CEILING SYSTEM (WR TO WET AREAS)
CT3A		CT3A - RAKED ROOF <ul style="list-style-type: none"> 10mm NAILSTRIP METAL CLADDING 60mm BRADFORD ANTONCOX MD R1.3 INSULATION IN REFLECTIVE FOIL 10mm FIBROCK SUBSTRATE 24mm PERFORATED STEEL TOP HAT ROOF RAFTERS TO MANUFACTURERS SPECS. BULK INSULATION AS PER ESO REPORT 25mm RONDO STEEL CEILING BATTENS 10mm SUPERCHER PLASTERBOARD (WR TO WET AREAS)
CT3B		CT3B - RAKED ROOF WITH SUSPENDED CEILING <ul style="list-style-type: none"> 10mm NAILSTRIP METAL CLADDING 60mm BRADFORD ANTONCOX MD R1.3 INSULATION IN REFLECTIVE FOIL 10mm FIBROCK SUBSTRATE 24mm PERFORATED STEEL TOP HAT ROOF RAFTERS TO MANUFACTURERS SPECS. BULK INSULATION AS PER ESO REPORT RONDO SUSPENDED CEILING SYSTEM (WR TO WET AREAS)
CT4A		CT4A - FLAT TRUSS ROOF <ul style="list-style-type: none"> 0.48MM RUF FOR ROOFING 60mm BRADFORD ANTONCOX MD R1.3 INSULATION IN REFLECTIVE FOIL 24mm PERFORATED STEEL TOP HAT ROOF TRUSSES TO MANUFACTURERS SPECS. BULK INSULATION AS PER ESO REPORT 25mm RONDO STEEL CEILING BATTENS 10mm SUPERCHER PLASTERBOARD (WR TO WET AREAS)
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CT4C		CT4C - FLAT TRUSS ROOF WITH SUSPENDED CEILING <ul style="list-style-type: none"> 0.48MM RUF FOR ROOFING 60mm BRADFORD ANTONCOX MD R1.3 INSULATION IN REFLECTIVE FOIL 24mm PERFORATED STEEL TOP HAT ROOF TRUSSES TO MANUFACTURERS SPECS. BULK INSULATION AS PER ESO REPORT RONDO SUSPENDED CEILING SYSTEM (WR TO WET AREAS)
FT1A		FT1A - CONC. SLAB ON GROUND <ul style="list-style-type: none"> FLOOR FINISH AS SPECIFIED ON PLAN CONC. SUSPENDED SLAB THICKNESS AS PER ENG. DESIGN 120mm FIBROCK UNDERLAY COMPACTED SUBSTRATE IN ACC. WITH MANUFACTURERS SPECS.
FT1B		FT1B - TILED FLOORING <ul style="list-style-type: none"> TILE FLOOR FINISH (S/T/G) TILE ADHESIVE BONDED SAND & CEMENT SCREED (MIN. 25mm) CONCRETE SLAB AS PER ENG. DESIGN
FT1C		FT1C - TIMBER FLOORING WITH DUNLOP DB3 3mm <ul style="list-style-type: none"> TIMBER FLOOR FINISH MIN 3mm DUNLOP DB3 FOAM UNDERLAY OR EQUIVALENT TILE ADHESIVE CONCRETE SLAB AS PER ENG. DESIGN
FT1D		FT1D - CARPET FLOORING WITH DUNLOP DB3 3mm <ul style="list-style-type: none"> CARPET FLOOR FINISH SPRINGED FOAM UNDERLAY MIN 3mm DUNLOP DB3 FOAM UNDERLAY OR EQUIVALENT DUAL BOND TACKLEF CONCRETE SLAB AS PER ENG. DESIGN

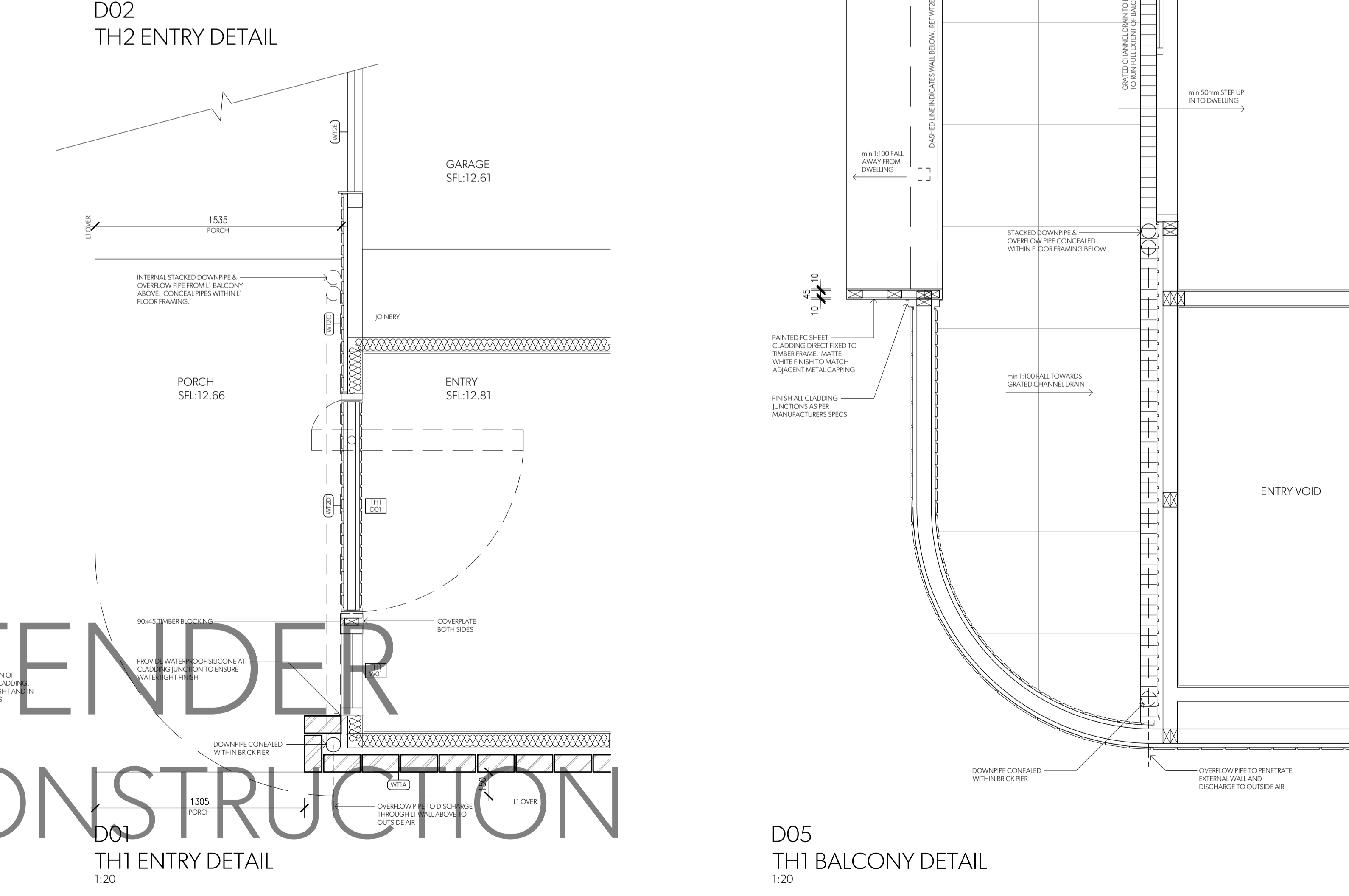
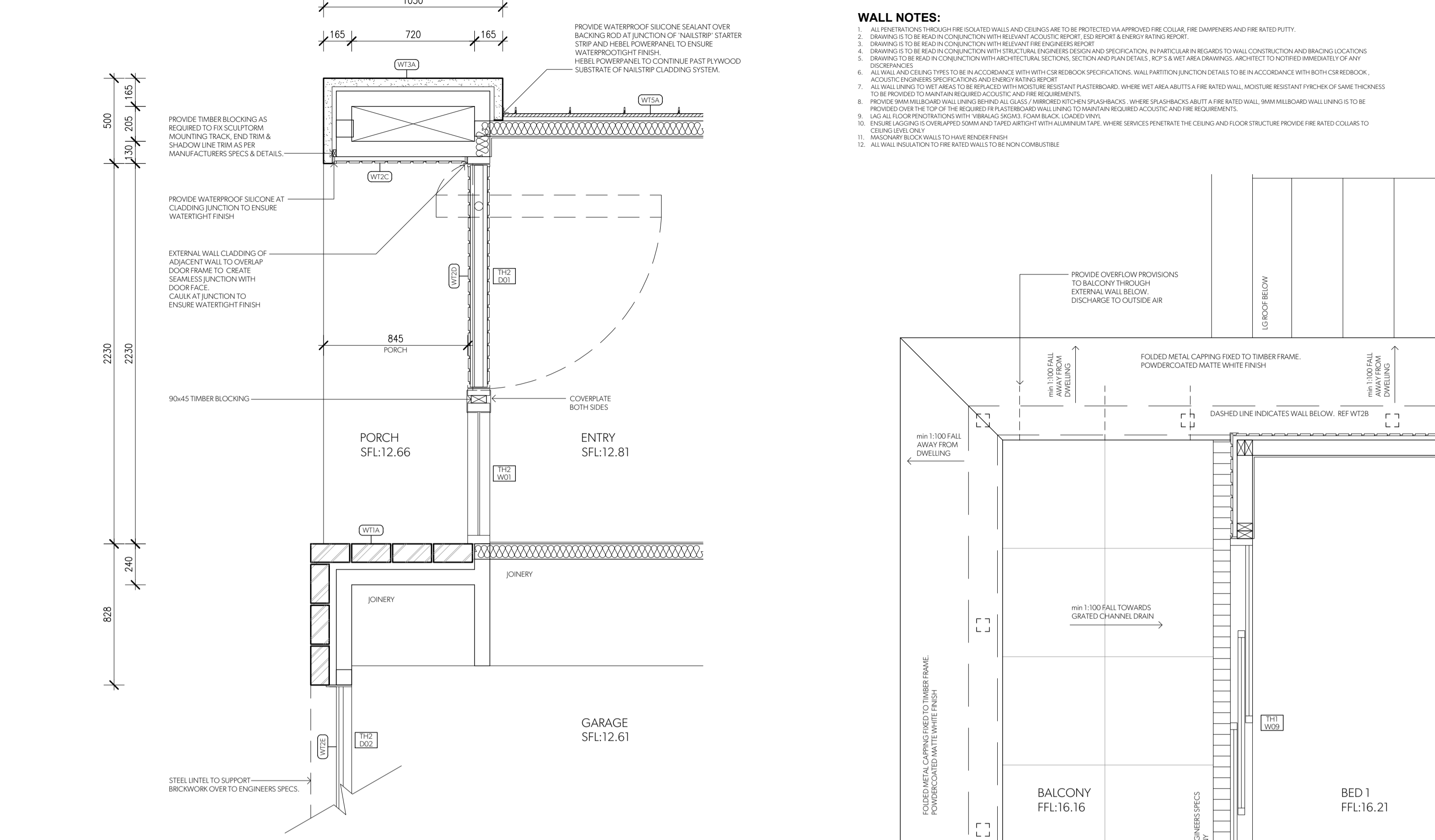
WALL, CEILING & FLOOR TYPES
1:20



D03
CLADDING JUNCTION DETAIL - LG
1:10



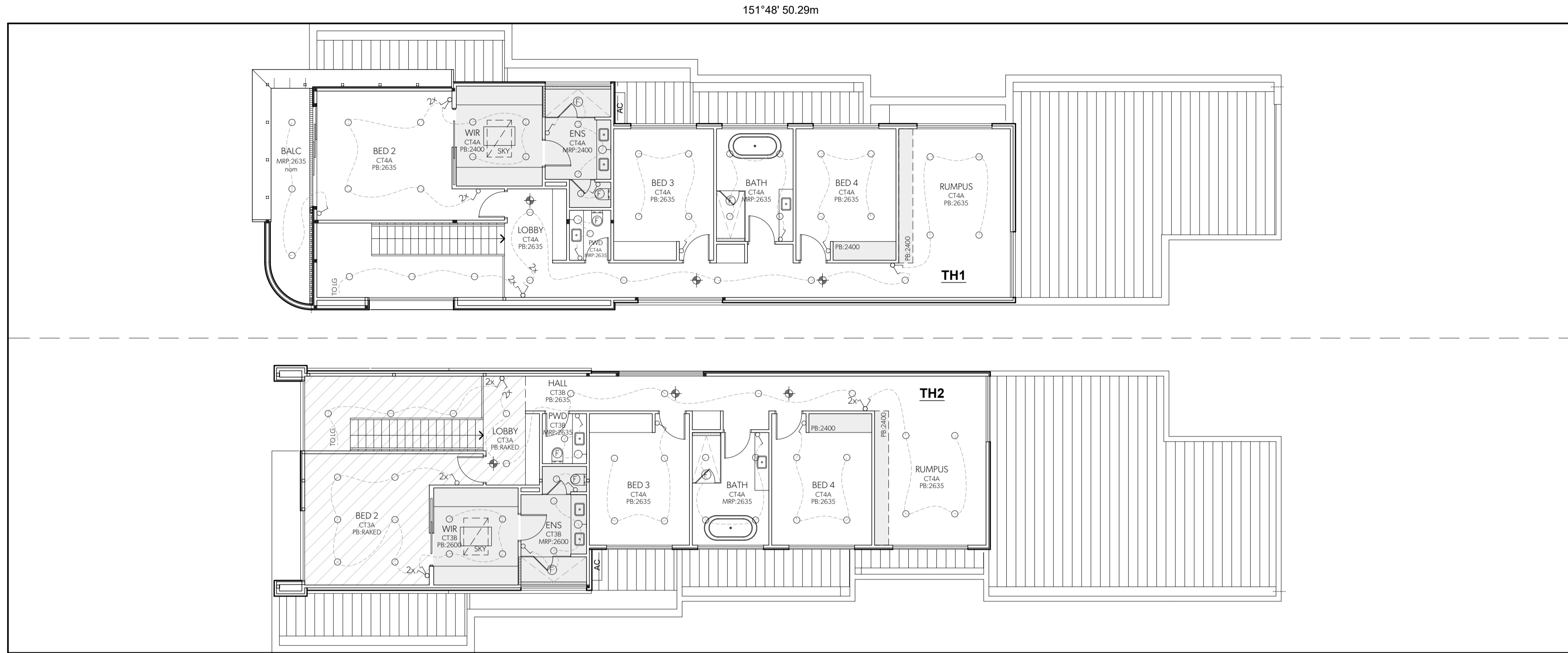
D04
CLADDING JUNCTION DETAIL - LI
1:10



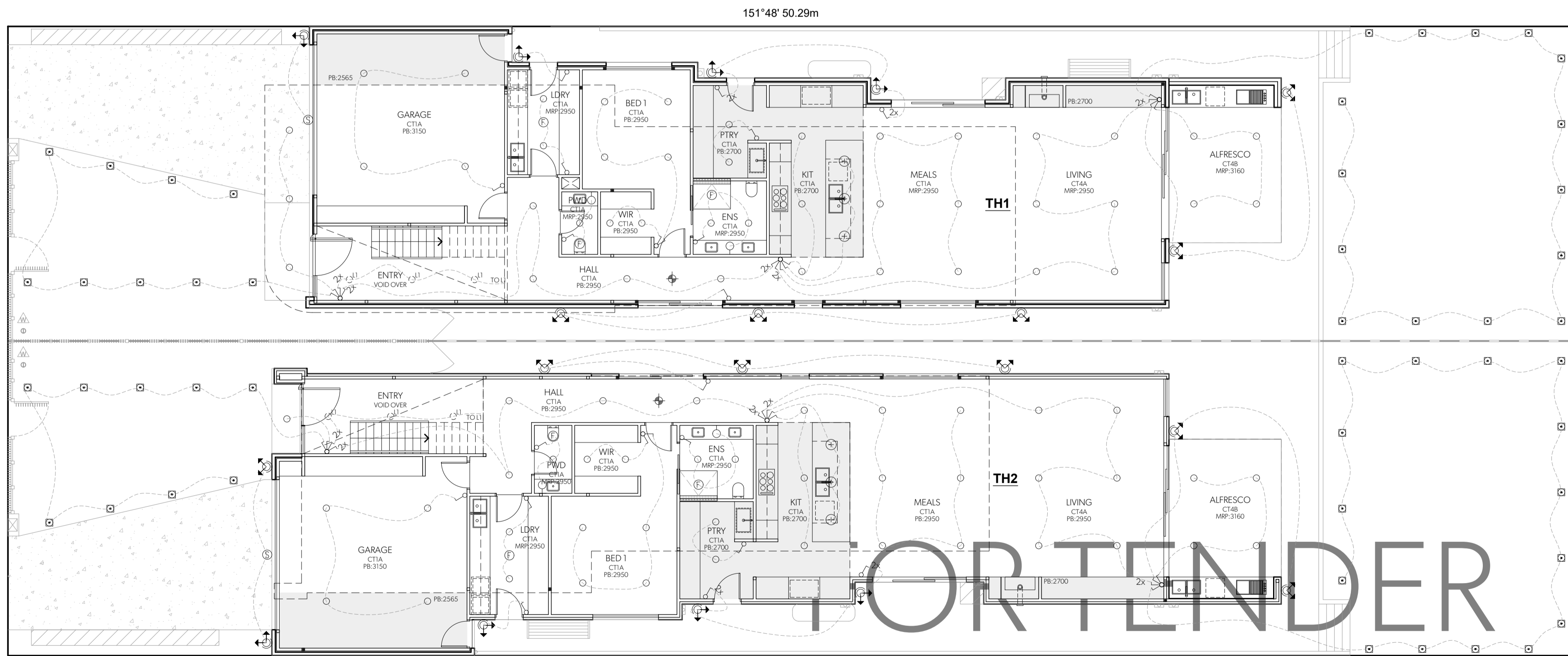
D01
TH1 ENTRY DETAIL
1:20

D05
TH1 BALCONY DETAIL
1:20

- WALL NOTES:**
- ALL FINE TRACKING THROUGH FIRE ISOLATED WALLS AND GUNDS ARE TO BE PROTECTED VIA APPROVED FIRE COLLAR, FIRE DAMPERS AND FIRE RATED PUTTY.
 - DRAWINGS IS TO BE READ IN CONJUNCTION WITH RELEVANT ACUSTIC REPORT. ESD ENTRY, FIRE RATING REPORT.
 - DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT FIRE ENGINEERS REPORT.
 - DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DESIGN AND SPECIFICATION. IN PARTICULAR IN REGARDS TO WALL CONSTRUCTION AND BRACING LOCATIONS.
 - DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SECTIONS, SECTION AND PLAN DETAILS. RCP & WET AREA DRAWINGS. ARCHITECT TO NOTIFY IMMEDIATELY OF ANY DISCREPANCY.
 - ALL WALL AND CEILING TYPES TO BE IN ACCORDANCE WITH WITH CSR REDBOOK SPECIFICATIONS. WALL PARTITION JUNCTION DETAILS TO BE IN ACCORDANCE WITH BOTH CSR REDBOOK. ACUSTIC ENGINEERS SPECIFICATIONS AND ARCHITECTURAL REPORT.
 - ALL WALL LINING TO WET AREAS TO BE REPLACED WITH MOISTURE RESISTANT PLASTERBOARD. WHERE WET AREA ABUTTS A FIRE RATED WALL, MOISTURE RESISTANT PRIMER OF SAME THICKNESS TO BE PROVIDED TO MATCH FIRE RATED WALL AND THE REQUIREMENTS.
 - PROVIDE 100MM MILD STEEL LINING BEHIND ALL GLASS / AMBROCK WITH EN SHASBACKS. WHERE GLASS BACKS ABUT A FIRE RATED WALL, 100MM MILD STEEL LINING IS TO BE PROVIDED OVER THE TOP OF THE REQUIRED ACUSTIC AND FIRE REQUIREMENTS.
 - USE ALL FLOOR PENETRATIONS WITH VIBRACIL SIGNS. FOAM BLACK. LOADED WITH.
 - ENSURE LAGGING IS COVERED 50MM AND TRIM REPORT WITH ALUMINUM TRIM, WHERE SERVICES PENETRATE THE CEILING AND FLOOR STRUCTURE PROVIDE FIRE RATED COLARS TO CEILING LEVEL ONLY.
 - MANUALY ROCK WALLS TO HAVE RENDER FRESH.
 - ALL WALL INSULATION TO FIRE RATED WALLS TO BE NON COMBUSTIBLE.



FIRST FLOOR PLAN
1:100



GROUND FLOOR PLAN
1:100

NOT FOR CONSTRUCTION

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENHANCED TOWN PLANNING DRAWINGS, PLANNING POINT AND ANY ASSOCIATED CONDITIONS.

ALL ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DOCUMENTATION (STRUCTURAL, MECHANICAL, HYDRAULIC, ELECTRICAL AND CIVIL ENGINEERS), ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA / NCC, AUSTRALIAN STANDARDS AND ALL OTHER RELEVANT AUTHORITIES REQUIREMENTS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE ORDERING OR MANUFACTURE OF ANY MATERIAL. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT 6 STAR ENERGY RATING REPORT / EES REPORT AND WALL TYPES. ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.

WHERE LIGHT SWITCHES ARE LOCATED ABOVE GPO'S, CONTRACTOR TO ENSURE THEY ALIGN VERTICALLY.

ALL LIGHT SWITCHES ARE TO BE LOCATED AT 100MM AFFL UNLESS OTHERWISE NOTED.

PROVIDE HARD WIRED SMOKE DETECTORS / ALARMS IN ACCORDANCE WITH THE NCC. SMOKE ALARMS MUST BE CONNECTED DIRECTLY TO MAINS POWER.

KITCHEN RANGE HOOD TO BE MECHANICALLY EXHAUSTED TO TO EXTERNAL OPEN CLEAR AIR.

ALL MECHANICAL EXHAUSTING TO LAUNDRIES, BATHROOMS AND KITCHENS TO COMPLY WITH THE NCC AND AS1680.

CONTRACTOR TO VERIFY POWER AND LIGHTING LAYOUT WITH CLIENT/ARCHITECT PRIOR TO INSTALLATION.

ALL ELECTRICAL INSTALLATIONS ARE TO AS/NZS 3000, AS/NZS 3008.1.1 AND SAA HES1.

PROVIDE ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO SWITCHES, DIMMERS, SOCKET OUTLETS, AND TELECOMMUNICATIONS OUTLETS. ALL ACCESSORIES LOCATED IN CLOSE PROXIMITY SHALL BE OF THE SAME MANUFACTURE, SIZE AND MATERIAL.

CONCEAL CABLES AND CONDUITS. PROVIDE CONSULTANTS AS NECESSARY TO ALLOW WIRING REPLACEMENT WITHOUT STRUCTURAL WORK OR THE REMOVAL OF CEILING LINING, PLASTER OR CEILING RENDERING.

LIGHTS AND LUMINAIRE TO BE INSTALLED TO PERFORMANCE STANDARDS: TO AS/NZS 4783.2 AND AS/NZS 4782.2.

ANTENNAS: PROVIDE AND LOCATE ANTENNAS TO RECEIVE ALL LOCALLY AVAILABLE FREE TO AIR TELEVISION STATIONS. PROVIDE A CABLED CABLE SYSTEM SUITABLE FOR SATELLITE OR CABLE NETWORK OPERATORS SERVICES.

INSTALLATIONS TO WET AREAS: IFCONTAINING BATHS SHOWERS OR OTHER WET AREAS CONTRACTORS TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3000.

ALL LIGHT SWITCHES TO BE MOUNTED @ 1000MM ABOVE FFL UNLESS OTHERWISE STATED.

ALL SOCKET OUTLETS, AND TV AND DATA OUTLETS TO BE MOUNTED @ 250MM ABOVE FFL UNLESS OTHERWISE STATED.

TRANSFORMERS FOR RECESSED DOWNLIGHTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

DIRECT WIRE RANGEHOODS OVER COOKTOP.

REFER TO HEATING AND COOLING CONSULTANTS DESIGN AND SPECIFICATION FOR ALL HEATING AND AIR CONDITIONING WORKS. ALLOWANCES FOR POWER, DUCTING AND VENTILATION GRILLES AS PER THEIR DESIGN AND CLIENT APPROVAL.

- ELECTRICAL LEGEND**
- EXTERNAL WALL LIGHT
 - EXTERNAL RECESSED WALL LIGHT
 - EXTERNAL LANDSCAPE UPLIGHT
 - INTERNAL WALL LIGHT
 - FIXED RECESSED DOWNLIGHT
 - PENDANT LIGHT FITTING
 - TRACK LIGHT
 - RECESSED LED STRIP LIGHT
 - FLUORESCENT TUBE LIGHT
 - EXTERIOR FLOODLIGHT
 - SINGLE GPO @ 250MM AFFL CUPSAL 200 SLMINE SERIES - WHITE
 - DOUBLE GPO @ 250MM AFFL CUPSAL 200 SLMINE SERIES - WHITE
 - FREE TO AIR MATV
 - PAY TV / COMMUNICATIONS
 - DATA / COMMUNICATIONS
 - TELEPHONE
 - NBN
 - HARD WIRED SMOKE ALARM
 - MECHANICAL EXHAUST FAN EXTRACT TO EXTERNAL / OPEN AIR
 - MAIN ELECTRICAL SWITCHBOARD
 - HOT WATER UNIT
 - AIR CONDITIONING UNIT
 - AUTOMATIC SENSOR
 - COLOUR DAY/NIGHT CAMERA CONNECTED TO HARD DRIVE AND REMOTE ACCESS
 - AUDIO INTERCOM
 - ALARM PIN PAD
 - WIRELESS ACCESS POINT
 - SINGLE LIGHT SWITCH
 - MULTIPLE LIGHT SWITCHES
 - LIGHT WAY SWITCH - 2 WAY
 - PUSH BUTTON LIGHT SWITCH
 - WATER TAP & FLOOR WASTE
 - BULKHEAD
 - HEATING & COOLING OUTLET
 - RECESSED PELMET
 - RAKED CEILING
 - 90/90/90 FIRE RATED SOFFIT CSR SYSTEM 6134 INSTALLED TO MANUFACTURERS SPECS.
 - GPO AT NOMINATED HEIGHT GPO ABOVE BENCH GPO IN JOINERY GPO FOR OVEN GPO FOR DISHWASHER GPO WITH USB CL GPO AT CEILING WEATHER PROOF GPO

TOWNHOUSE 1

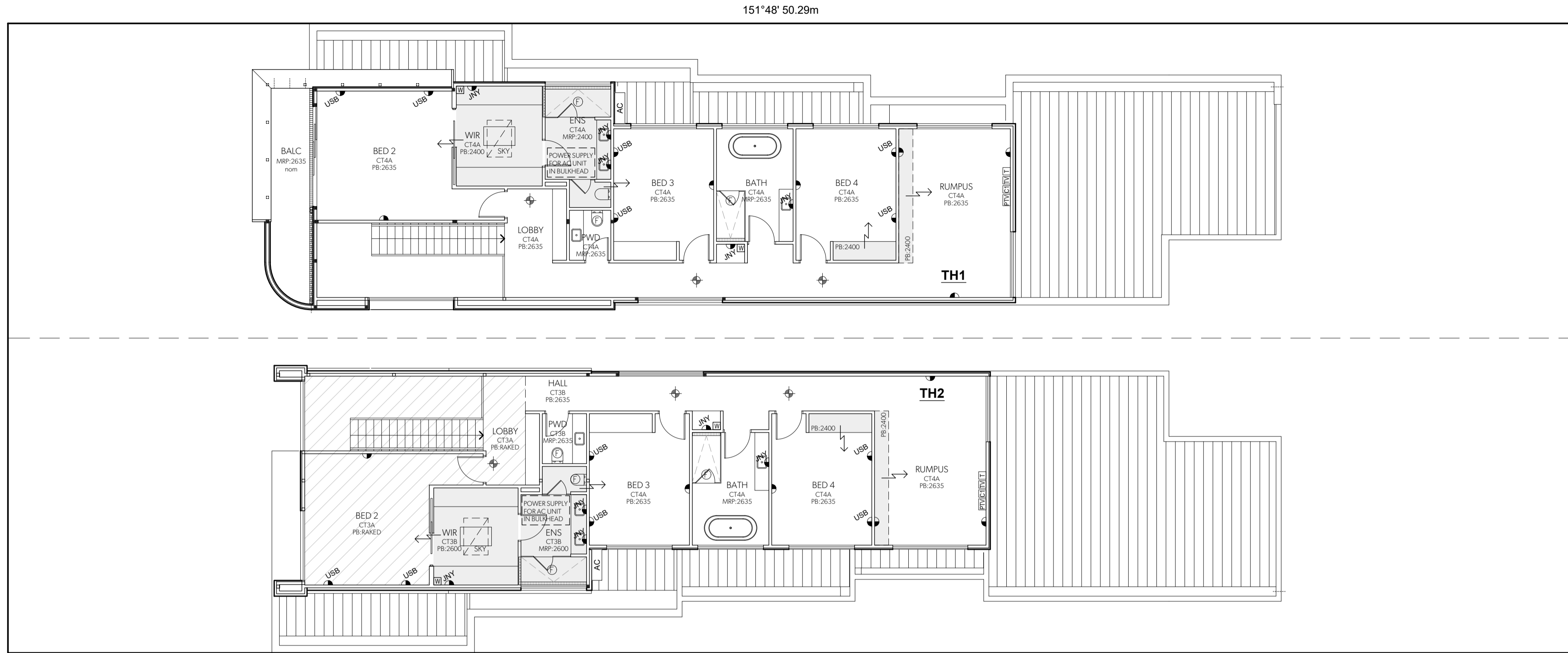
LIGHTING CALCULATIONS

GROUND FLOOR		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWED
LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	32	444	865
PORCH & ALF. (MAX. 4W/m ²)	15W OUTDOOR WALL MOUNTED LED	3	84	120
GARAGE (MAX. 3W/m ²)	12W LED DOWNLIGHT	4	48	114
FIRST FLOOR				
LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	36	432	715
BALC. (MAX. 4W/m ²)	12W LED DOWNLIGHT	3	36	40

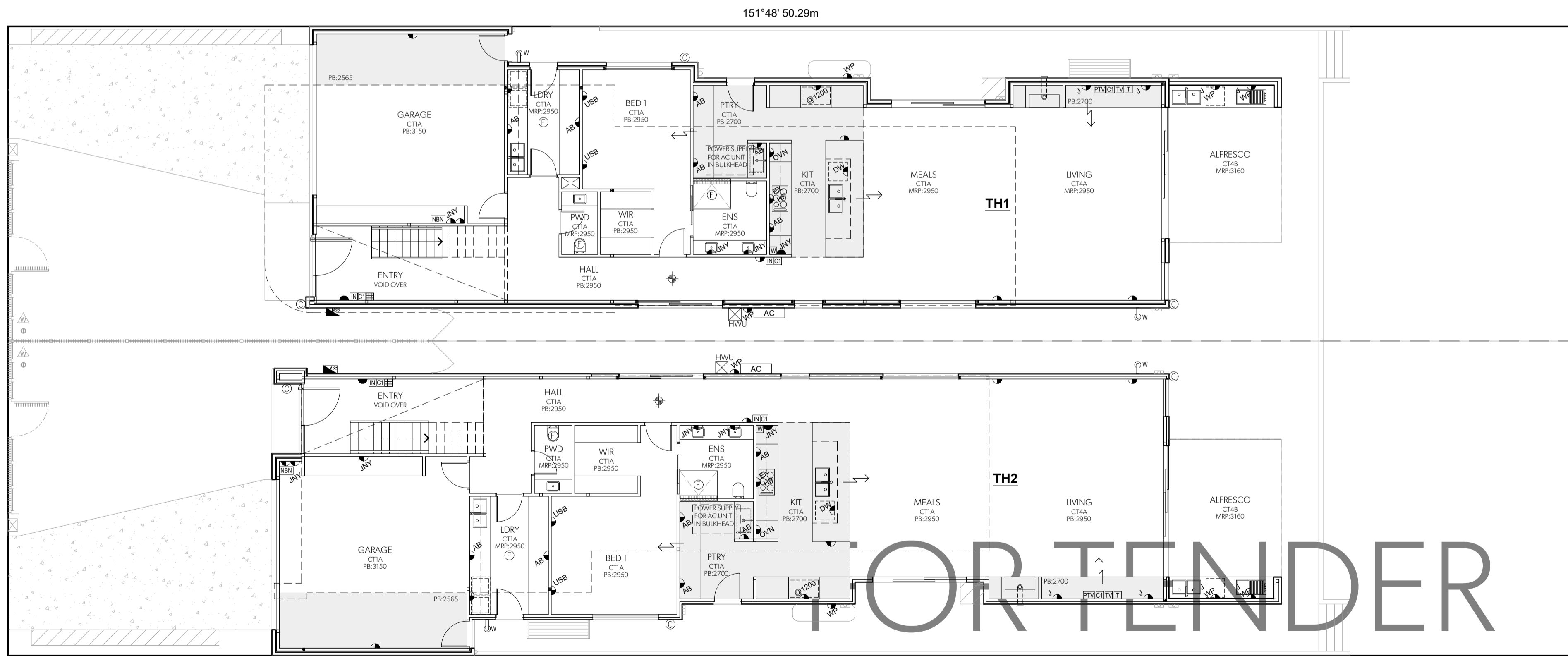
TOWNHOUSE 2

LIGHTING CALCULATIONS

GROUND FLOOR		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWED
LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	32	444	895
PORCH & ALF. (MAX. 4W/m ²)	15W OUTDOOR WALL MOUNTED LED	5	60	84
GARAGE (MAX. 3W/m ²)	12W LED DOWNLIGHT	4	48	123
FIRST FLOOR				
LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	38	456	690



FIRST FLOOR PLAN
1:100



GROUND FLOOR PLAN
1:100

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 - EXTERNAL RECESSED WALL LIGHT
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 - SINGLE GPO @ 250MM AFFL CUPSAL 200 SLMINE SERIES - WHITE
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 - FREE TO AIR M/TV
 - PAY TV / COMMUNICATIONS
 - DATA / COMMUNICATIONS
 - TELEPHONE
 - NBN
 - HARD WIRED SMOKE ALARM
 - MECHANICAL EXHAUST FAN EXTRACT TO EXTERNAL / OPEN AIR
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 - AUTOMATIC SENSOR
 - COLOUR DAY/NIGHT CAMERA CONNECTED TO HARD DRIVE AND REMOTE ACCESS
 - AUDIO INTERCOM
 - ALARM PIN PAD
 - WIRELESS ACCESS POINT
 - SINGLE LIGHT SWITCH
 - MULTIPLE LIGHT SWITCHES
 - LIGHT WAY SWITCH - 2 WAY
 - PUSH BUTTON LIGHT SWITCH
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 - GPO AT NOMINATED HEIGHT GPO ABOVE BENCH GPO IN JOINERY GPO FOR OVEN GPO FOR DISHWASHER GPO WITH USB GPO AT CEILING WEATHER PROOF GPO

TOWNHOUSE 1

LIGHTING CALCULATIONS

GROUND FLOOR		QTY	TOTAL WATTS USED	TOTAL WATTS ALLOWED
LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	32	444	865
	20W LED PENDANT LIGHT	3		
PORCH & ALF. (MAX. 4W/m ²)	15W OUTDOOR WALL MOUNTED LED	7	84	120
	12W LED DOWNLIGHT			
GARAGE (MAX. 3W/m ²)	12W LED DOWNLIGHT	4	48	114
FIRST FLOOR				
LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	36	432	715
BALC. (MAX. 4W/m ²)	15W OUTDOOR WALL MOUNTED LED			
	12W LED DOWNLIGHT	3	36	40

TOWNHOUSE 2

LIGHTING CALCULATIONS

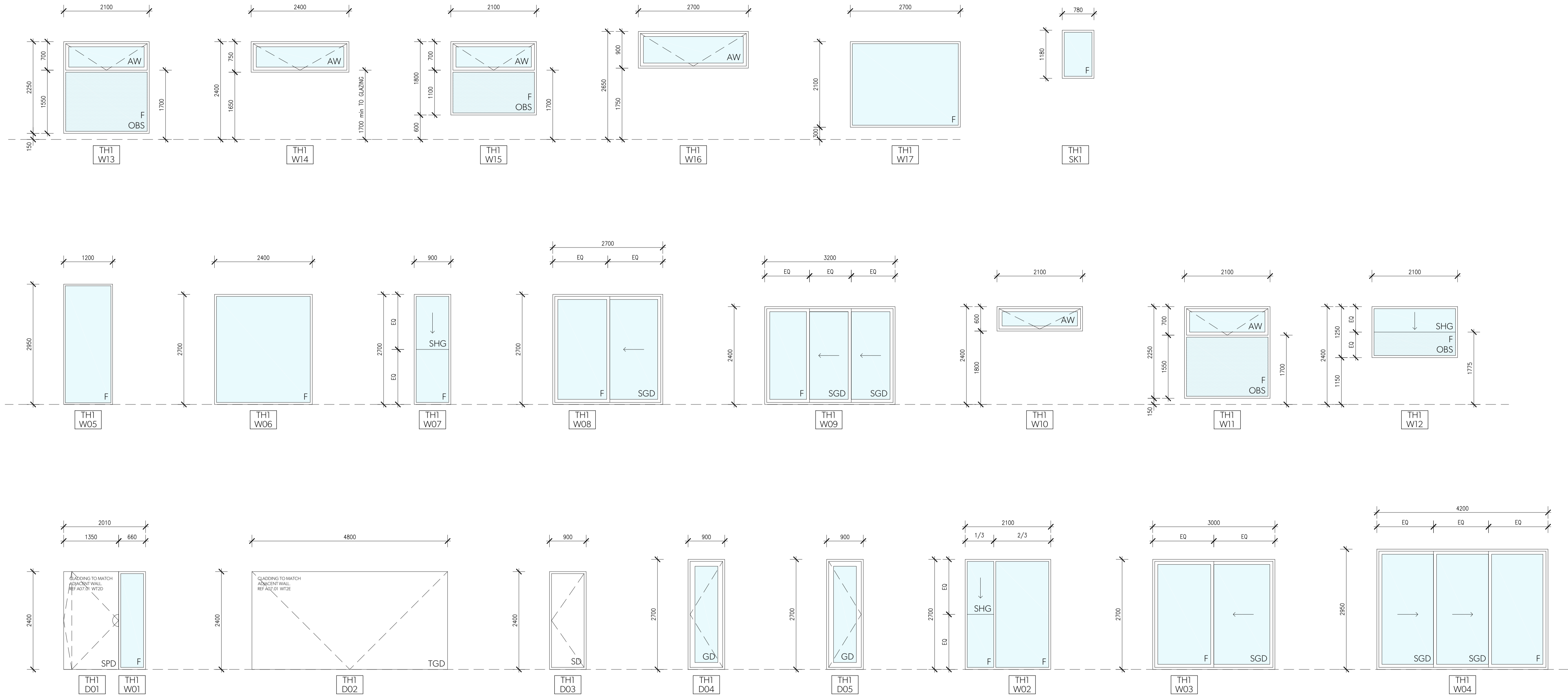
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LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	32	444	895
	20W LED PENDANT LIGHT	3		
PORCH & ALF. (MAX. 4W/m ²)	15W OUTDOOR WALL MOUNTED LED	5	60	84
	12W LED DOWNLIGHT			
GARAGE (MAX. 3W/m ²)	12W LED DOWNLIGHT	4	48	123
FIRST FLOOR				
LIVING (MAX. 3W/m ²)	12W LED DOWNLIGHT	38	456	690

Rev	Description	Date
A	Preliminary Issue	21.06.2022
B	Tender Issue	29.07.2022

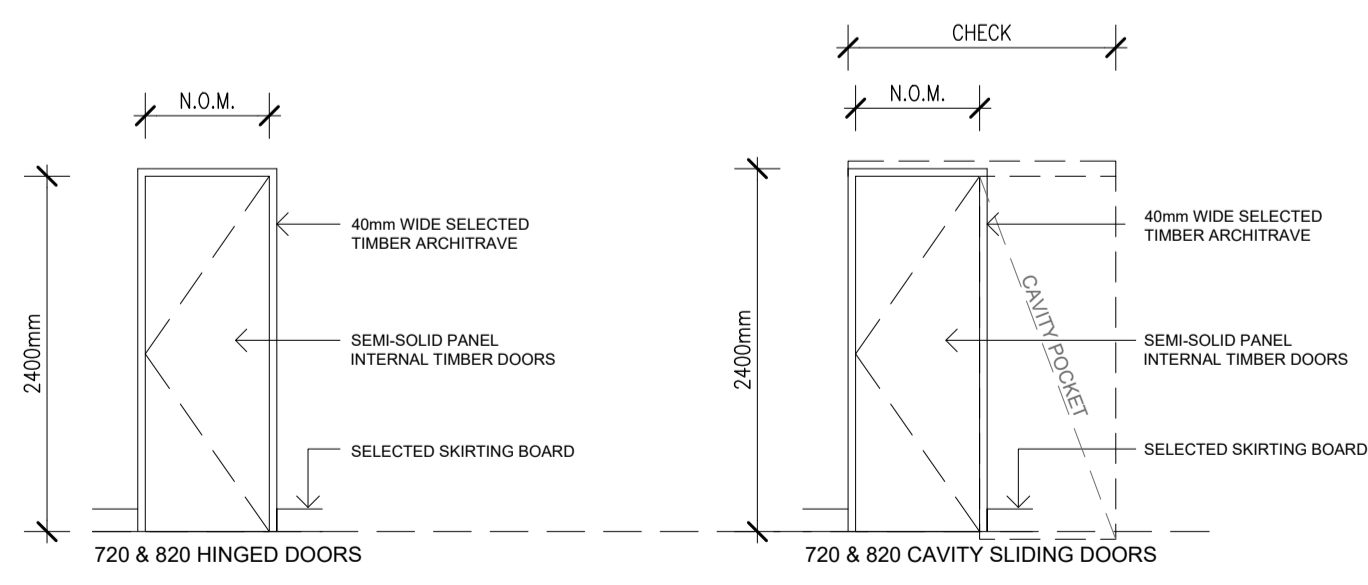
Date
21.06.2022
29.07.2022

Project Number: 2108
Drawing Title:
Lighting Layout Plan
Project Address:
9 George Street, Dromana

A 09.01
Scale: 1:100
Rev: B



TH1 WINDOW & DOOR SCHEDULE
1:50



TYPICAL INTERNAL DOORS
1:50

WINDOW NOTES:

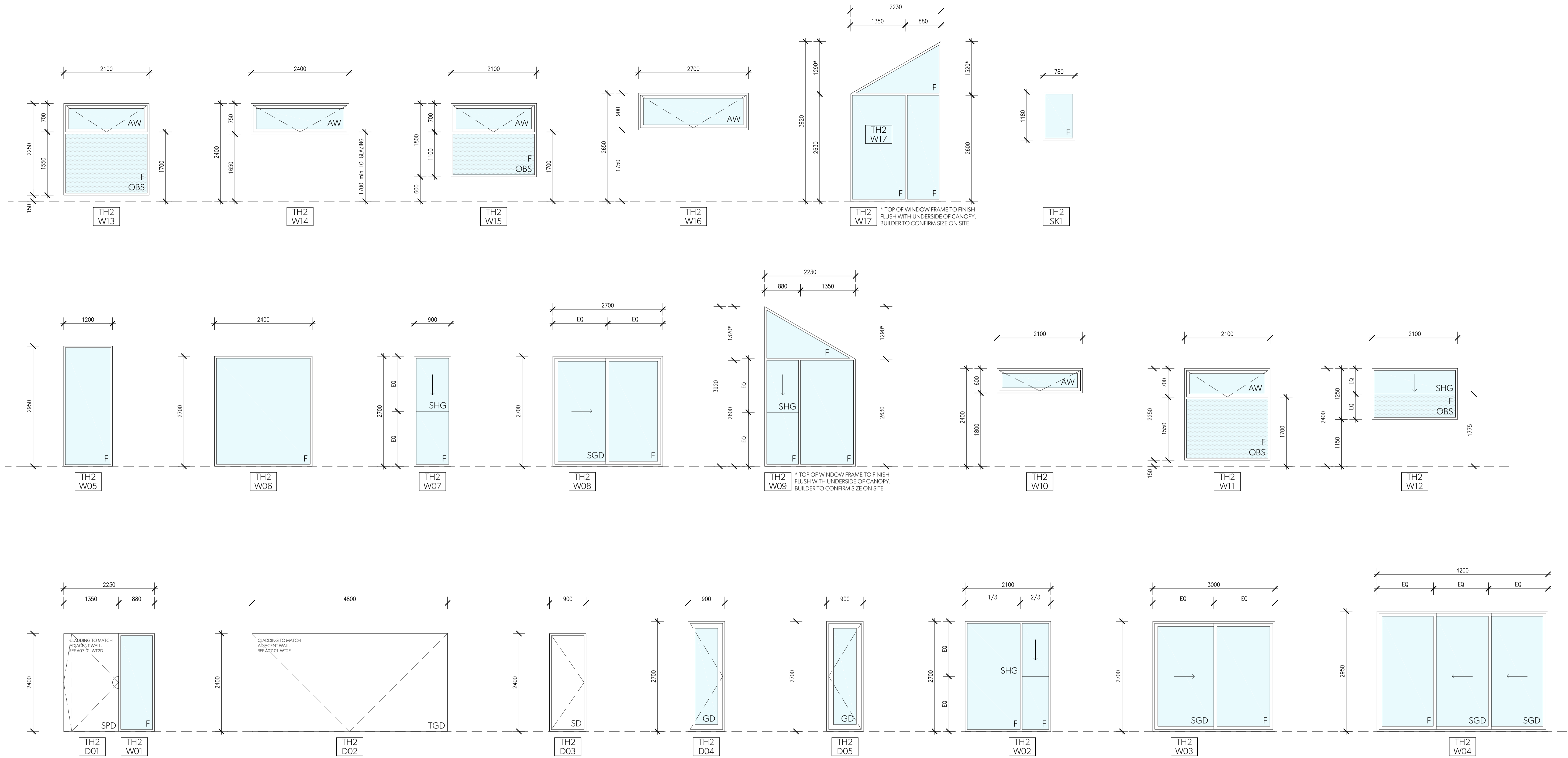
- WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH ELEVATIONS AND FLOOR PLANS.
- CONTRACTOR MUST CHECK AND CONFIRM ALL SIZES PRIOR TO COMMENCEMENT WITH FABRICATION. ALL WINDOWS WITHIN THIS SCHEDULE ARE VIEWED FROM THE EXTERIOR.
- REFER TO ESO REPORT FOR ALL GLAZING REQUIREMENTS. ALL GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047 - WHERE FULL HEIGHT GLAZING IS CAPABLE OF BEING MISTAKEN FOR AN OPENING, GLAZING MANIFESTATIONS / DETAILS ARE REQUIRED TO BE PROVIDED. THESE MUST MINIMIZE A MINIMUM OF 200mm IN HEIGHT AND BE LOCATED BETWEEN 700-1000mm ABOVE THE FINISHED FLOOR LEVELS.
- ALL GLAZING TO COMPLY WITH AS 1288:2006 & AS 2288 & RELEVANT CODES & SPECIFICATIONS. SAFETY GLAZING OR A GRADE TOUGHENED GLASS IS TO BE USED IN THE FOLLOWING CASES:
 - ALL ROOMS UNLESS WITHIN 900mm VERTICAL OF FLOOR LEVEL.
 - ALL PROPOSED WINDOWS IN WET AREAS UP TO 2.1m ABOVE F.F.L.
 - DOORWAY - WITHIN 300mm HORIZONTALLY FROM OTHER DOORS.
 - ALL SHOWER SCREENS.
- WINDOW OPENINGS WITHIN 1700mm FROM A FINISHED FLOOR LEVEL, WHERE THE FALL IS GREATER THAN 2.0m EXTERNALLY ARE TO HAVE PERMANENTLY FIXED CHILD RESTRICTORS ALLOWING 150mm MAX OPENINGS.
- WINDOWS TO BE FLASHED ALL AROUND.
- ALL DOOR LEAFS, FRAMES, SEALS, LOCKS, HINGES & HARDWARE TO BE AS NOTED OR OTHERWISE SELECTED AND APPROVED BY THE CLIENT.
- ALL WINDOWS TO BE LOCATED WITHIN THE POWER AREAS <math>< 1.8m</math> FROM THE FTL TO BE FLASHED.
- WATERPROOFING TO BE PROVIDED WITH REVEALS PROVIDED WITH A WATERPROOFING MEMBRANE WITH ALL JUNCTIONS WATER STOPPED & TILED OVER WITH FALLS TOWARDS THE SHOWER IN ACCORDANCE WITH AS 3740:2004.
- WINDOWS TO BE 'NON-EMIT' COLOURED ALUMINIUM FRAMES USING CAPITAL 42 NARROW PROFILE SECTION UNLESS OTHERWISE SPECIFIED IN WINDOW SCHEDULE.
- ALL OPERABLE WINDOW PANELS TO HAVE FLY SCREENS TO EXTERIOR, ALLOW TO BE MADE BY BUILDER TO PROVIDE & INSTALL TO THE SATISFACTION OF THE CLIENT.
- ALL SHGC & U VALUES FOR ASSOCIATED GLAZING IS TO BE IN ACCORDANCE WITH THE 6-STAR ENERGY RATING REPORT SPECIFIED BY COMPLIANCE ENERGY.

GLAZING LEGEND:

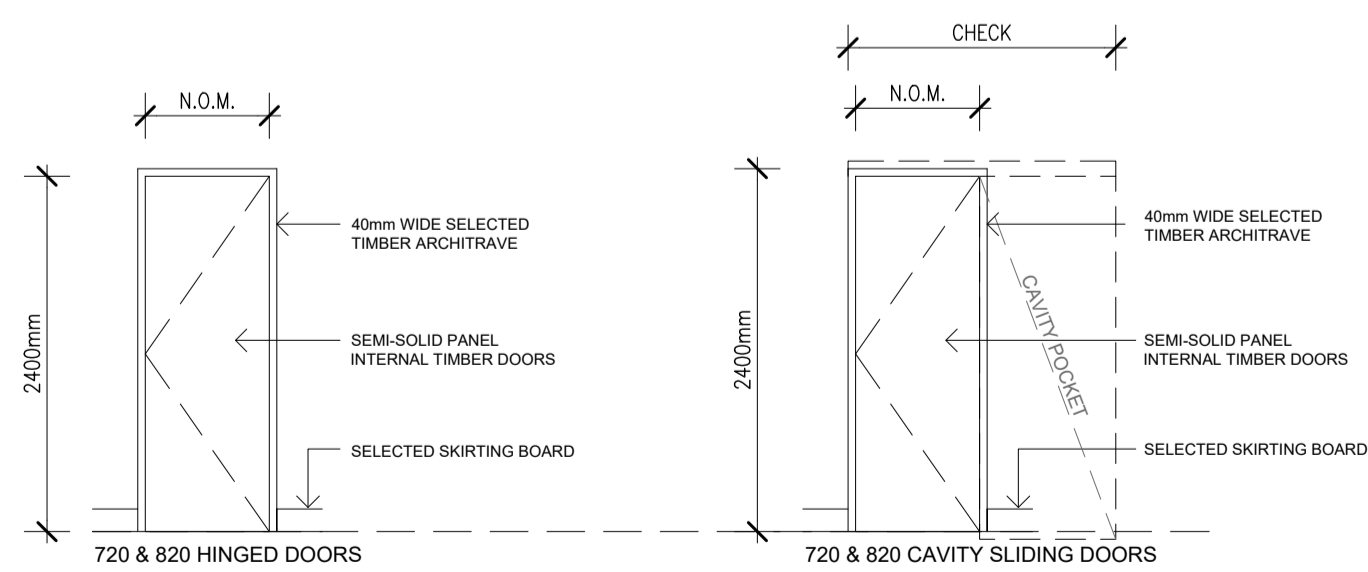
- F FIXED
- AW AWNING WINDOW
- SHG SHUDDING WINDOW
- SD SOLID HINGED DOOR
- SPD SOLID PIVOT DOOR
- SGD GLAZED HINGED DOOR
- SGD SLIDING GLASS DOOR
- TGD TALL UP GARAGE DOOR
- OBS OBSCURE GLAZED

TOWNHOUSE 1 - NATURAL LIGHT & VENTILATION CALCULATIONS					
ROOM NAME	FLOOR AREA	NATURAL LIGHT REQ. (10%)	NATURAL LIGHT PROVIDED	NATURAL VENTILATION REQ. (5%)	NATURAL VENTILATION PROVIDED
LIVING, KITCHEN DINING	83m ²	8.3m ²	31m ²	4.2m ²	11m ²
BED 1	13m ²	1.3m ²	5.6m ²	0.7m ²	0.8m ²
BED 2	19m ²	1.9m ²	7.7m ²	1m ²	4m ²
BED 3	12m ²	1.2m ²	4.7m ²	0.6m ²	1.3m ²
BED 4	12m ²	1.2m ²	4.7m ²	0.6m ²	1.3m ²
RUMPUS	19m ²	1.9m ²	5.5m ²	1m ²	2.8m ²

NATURAL LIGHT & VENTILATION CONSTRUCTION



TH1 WINDOW & DOOR SCHEDULE
1:50



TYPICAL INTERNAL DOORS
1:50

WINDOW NOTES:

- WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH ELEVATIONS AND FLOOR PLANS.
- CONTRACTOR MUST CHECK AND CONFIRM ALL SIZES PRIOR TO COMMENCEMENT WITH FABRICATION. ALL WINDOWS WITHIN THIS SCHEDULE ARE VIEWED FROM THE EXTERIOR.
- REFER TO ESO REPORT FOR ALL GLAZING REQUIREMENTS. ALL GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047 - WHERE FULL HEIGHT GLAZING IS CAPABLE OF BEING MISTAKEN FOR AN OPENING, GLAZING MANIFESTATIONS/DECALS ARE REQUIRED TO BE PROVIDED. THESE MUST BE MINIMUM 20mm IN HEIGHT AND BE LOCATED BETWEEN 700-1000mm ABOVE THE FINISHED FLOOR LEVELS.
- ALL GLAZING TO COMPLY WITH AS 1288:2006 & AS 2288 & RELEVANT CODES & SPECIFICATIONS. SAFETY GLAZING OR A GRADE TOUGHENED GLASS IS TO BE USED IN THE FOLLOWING CASES:
 - * ALL ROOMS UNDOOR WITHIN 900mm VERTICAL OF EGRESS LEVELS.
 - * ALL PROPOSED WINDOWS IN WET AREAS UP TO 2.1m ABOVE F.F.L.
 - * DOORWAY - WITHIN 300mm HORIZONTALLY FROM OTHER DOORS.
 - * ALL SHOWER SCREENS.
- WINDOW OPENINGS WITHIN 1700mm FROM A FINISHED FLOOR LEVEL, WHERE THE FALL IS GREATER THAN 2.5m EXTERNALLY ARE TO HAVE PERMANENTLY FIXED CHILD RESTRICTORS ALLOWING 150mm MAX OPENINGS.
- WINDOWS TO BE FLASHED ALL AROUND.
- ALL DOOR LEAFS, FRAMES, SEALS, LOCKS, HINGES & HARDWARE TO BE AS NOTED OR OTHERWISE SELECTED AND APPROVED BY THE CLIENT.
- ALL WINDOWS TO BE 'MONUMENT' COLOURED ALUMINIUM FRAMES USING CAPITAL 42 NARROW PROFILE SECTION UNLESS OTHERWISE SPECIFIED IN WINDOW SCHEDULE.
- ALL OPERABLE WINDOW PANELS TO HAVE FLY SCREENS TO EXTERIOR, ALLOW TO BE MADE BY BUILDER TO PROVIDE & INSTALL TO THE SATISFACTION OF THE CLIENT.
- ALL SHGC & U VALUES FOR ASSOCIATED GLAZING IS TO BE IN ACCORDANCE WITH THE 6-STAR ENERGY RATING REPORT SPECIFIED BY COMPLIANCE ENERGY.

GLAZING LEGEND:

- F FIXED
- AW AIRING WINDOW
- SHG SHUUS WINDOW
- SD SOLID HINGED DOOR
- SPD SOLID PIVOT DOOR
- GD GLAZED HINGED DOOR
- SGD SLIDING GLASS DOOR
- TGD TALL UP GARAGE DOOR
- OBS OBSCURE GLAZING

TOWNHOUSE 2 - NATURAL LIGHT & VENTILATION CALCULATIONS					
ROOM NAME	FLOOR AREA	NATURAL LIGHT REQ. (10%)	NATURAL LIGHT PROVIDED	NATURAL VENTILATION REQ. (5%)	NATURAL VENTILATION PROVIDED
LIVING, KITCHEN DINING	88m ²	8.8m ²	31m ²	4.4m ²	11m ²
BED 1	15m ²	1.5m ²	5.6m ²	0.8m ²	0.8m ²
BED 2	18m ²	1.8m ²	7.3m ²	0.9m ²	1m ²
BED 3	12m ²	1.2m ²	4.7m ²	0.6m ²	1.3m ²
BED 4	12m ²	1.2m ²	4.7m ²	0.6m ²	1.3m ²
RUMPUS	19m ²	1.9m ²	5.5m ²	1m ²	2.8m ²

NATURAL LIGHT & VENTILATION CONSTRUCTION