

# INSPECTION REPORT



For the Property at:  
**1000 FARM RD**  
FORNEY, TX 75126

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Prepared for: JANE DO  
Inspection Date: Thursday, February 8, 2024  
Prepared by: Jeffrey Knight, 25885



Knight Home Inspection  
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# SUMMARY

1000 Farm Rd, Forney, TX February 8, 2024

Report No. 1246, v.7

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SUMMARY

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### **SLOPED ROOFING \ Asphalt shingles**

#### **1. Condition:** • [Damage](#)

Tree limb has caused damage to the asphalt shingles recommend a professional licensed roofing contractor and arborist make repairs

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Exterior east/rear



1. Damage



2. Damage

#### **2. Condition:** • Tree branches touching roof

Recommend a professional licensed tree arborist make repairs

**Implication(s):** Shortened life expectancy of material

**Location:** Exterior east roof/various locations



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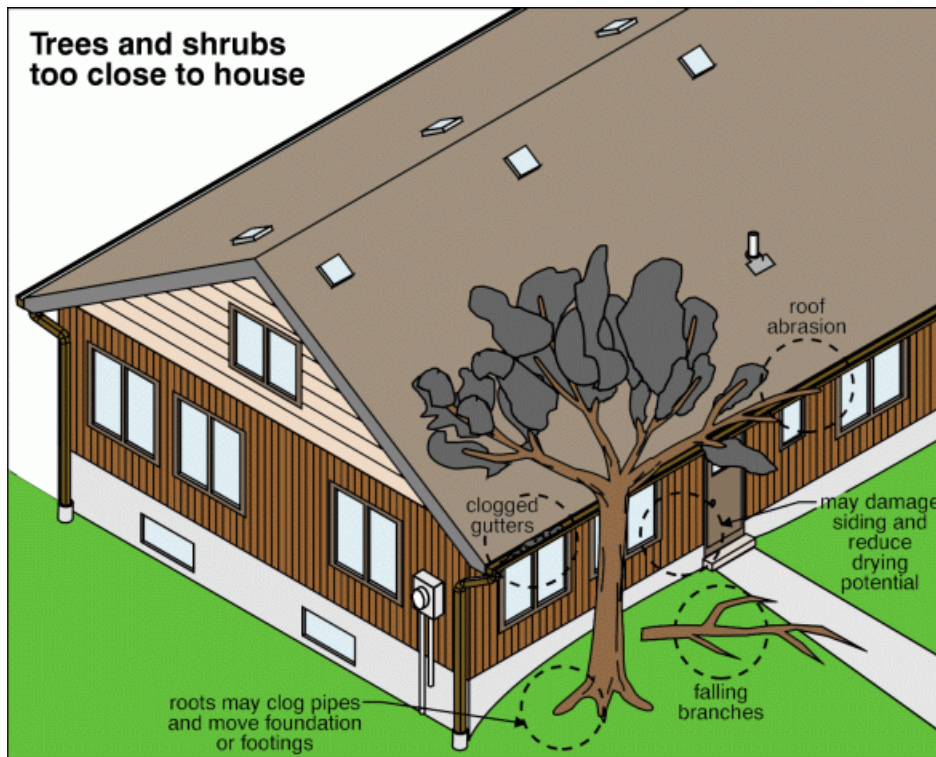
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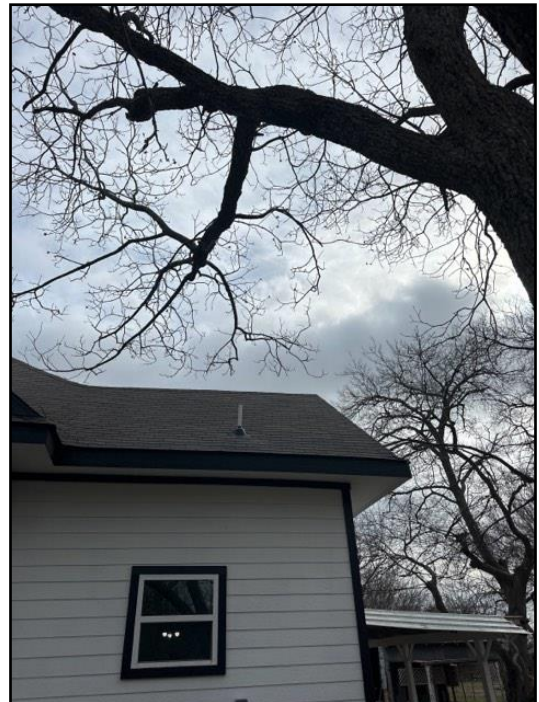
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3. Tree branches touching roof



4. Tree branches touching roof

## **SLOPED ROOF FLASHINGS \ Drip edge flashings**

3. Condition: • [Loose](#)

Drip edge loose, recommend a professional licensed contractor make repairs

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**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Exterior front/various locations throughout the exterior



5. Loose



6. Loose

## Exterior

### ROOF DRAINAGE \ Gutters

4. Condition: • [Clogged](#)

Gutters clogged recommend a professional, licensed contractor, clean the gutters

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Exterior rear



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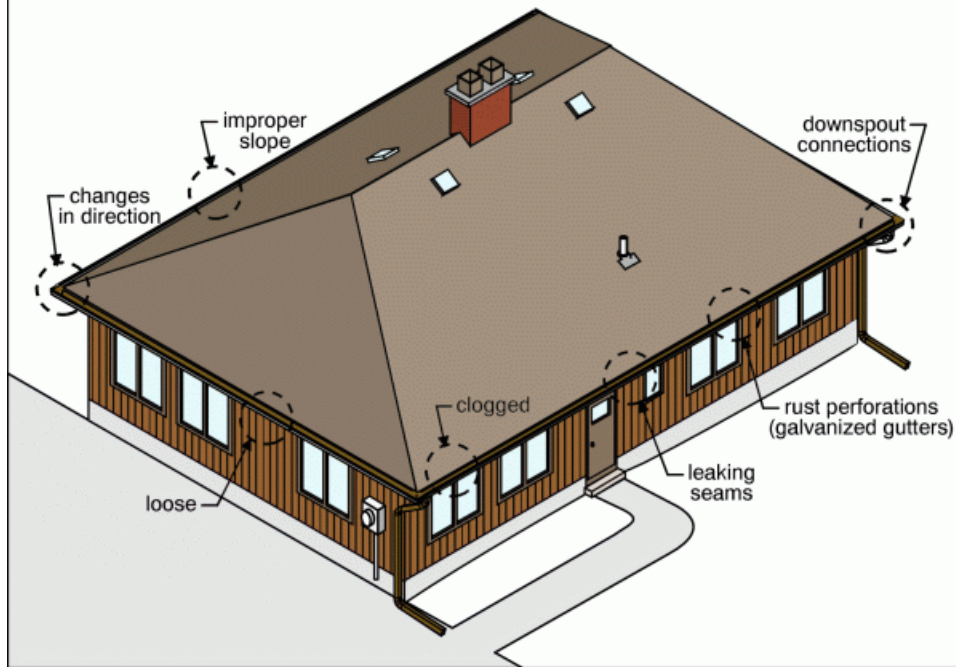
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## Gutters - common reasons for leakage



7. Clogged

### 5. Condition: • Damage

Recommend a professional, licensed gutter contractor make repairs

**Location:** Exterior rear

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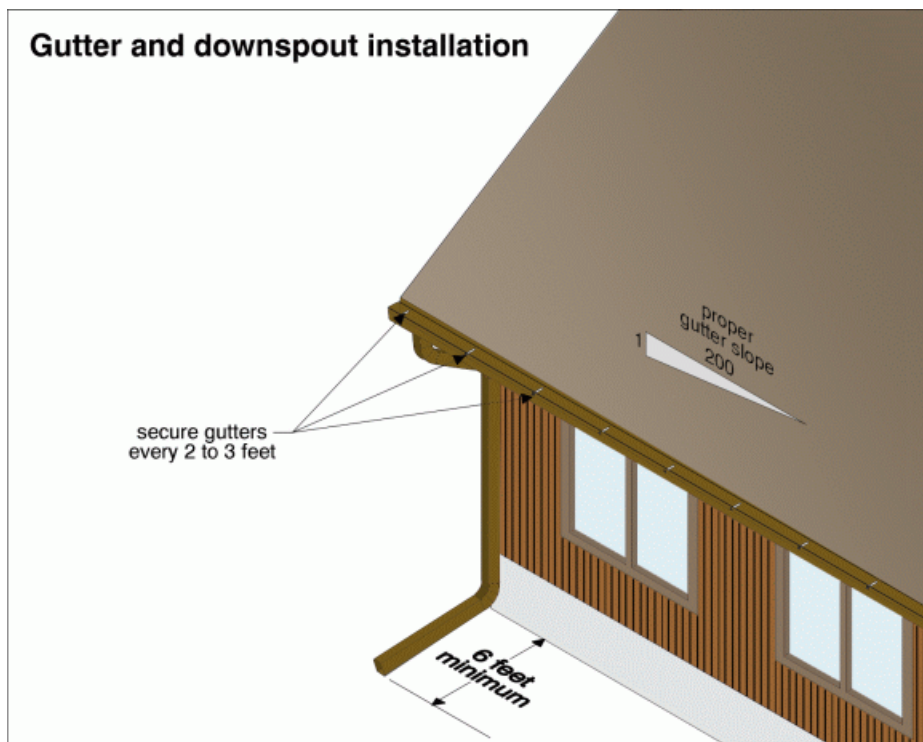
8. Damage

## 6. Condition: • [Missing](#)

Gutters missing throughout most of the home, gutters are only installed in the rear of the home but are damaged and clogged. Recommend a professional, licensed contractor install gutters and make repairs.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Throughout exterior of the home, the rear has damaged gutters on the porch in the exterior rear only



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9. Missing

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

### 7. Condition: • Poorly built

Rear porch cover is not safely built and the post are leaning and not structurally sound. Additionally, the gutters are damaged and the electrical is unsafe. recommend a professional licensed contractor further evaluate make repairs

**Implication(s):** Weakened structure

**Location:** Exterior rear



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10. Poorly built



11. Poorly built



12. Poorly built



13. Poorly built



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14. Poorly built

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Skirting

8. Condition: • [Wood/soil contact](#)

Recommend a licensed professional contractor make repairs

**Implication(s):** Rot | Insect damage

**Location:** Throughout exterior

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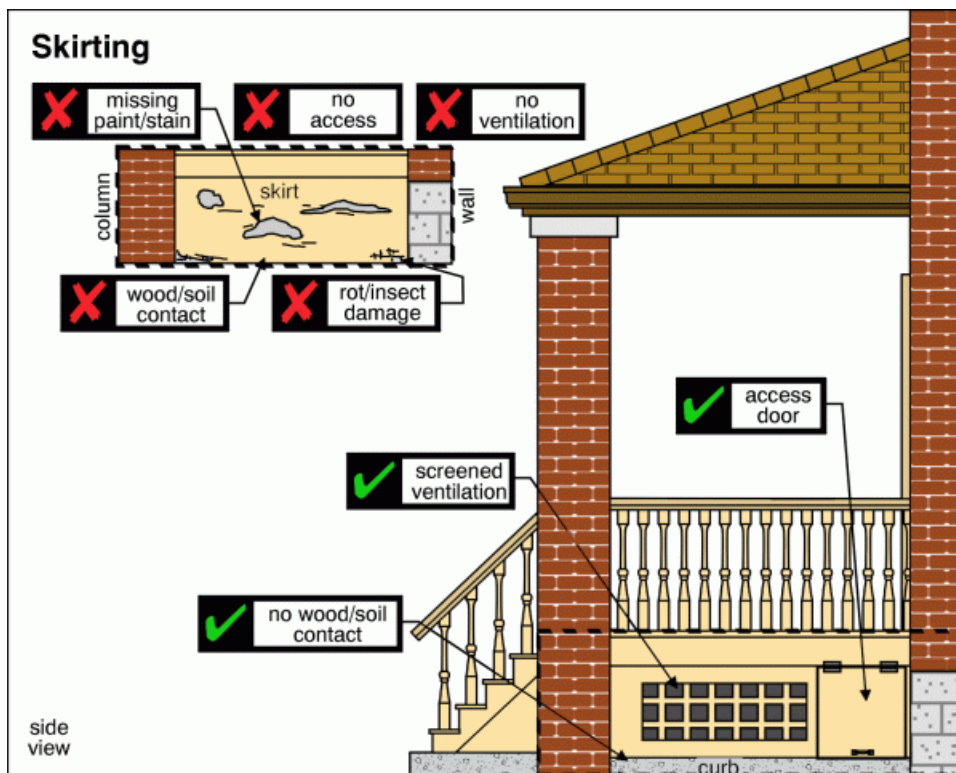
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15. Wood/soil contact

## **PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards**

**9. Condition:** • Stairs has slight damage recommend a professional licensed contractor, make repairs

**Implication(s):** Fall hazard, cosmetic issues, safety issues



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**Location:** Exterior front both stairs



16.

**10. Condition:** • [Missing](#)

Hand railings missing recommended, professional license, contractor, make repairs

**Implication(s):** Fall hazard

**Location:** Exterior front/exterior rear

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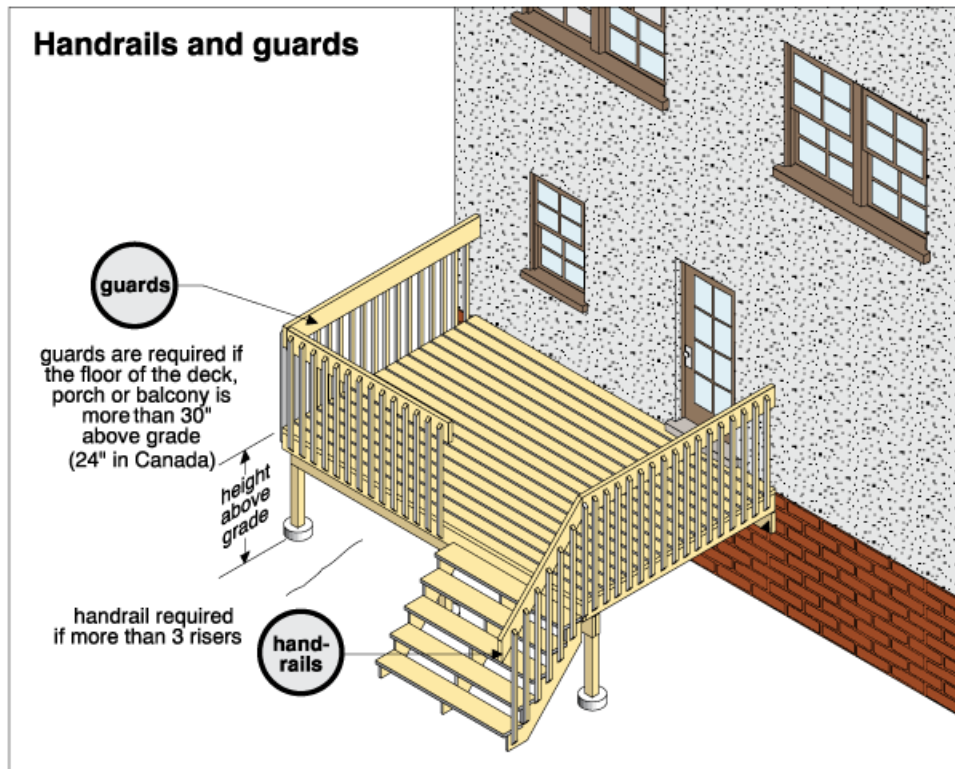
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17. Missing



18. Missing

## LANDSCAPING \ Lot grading

11. Condition: • [Improper slope or drainage](#)

Lot has a slight slope towards the home recommend a professional, licensed drainage, expert further evaluate and make



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required adjustments or repairs

**Implication(s):** Chance of water damage to structure, finishes and contents

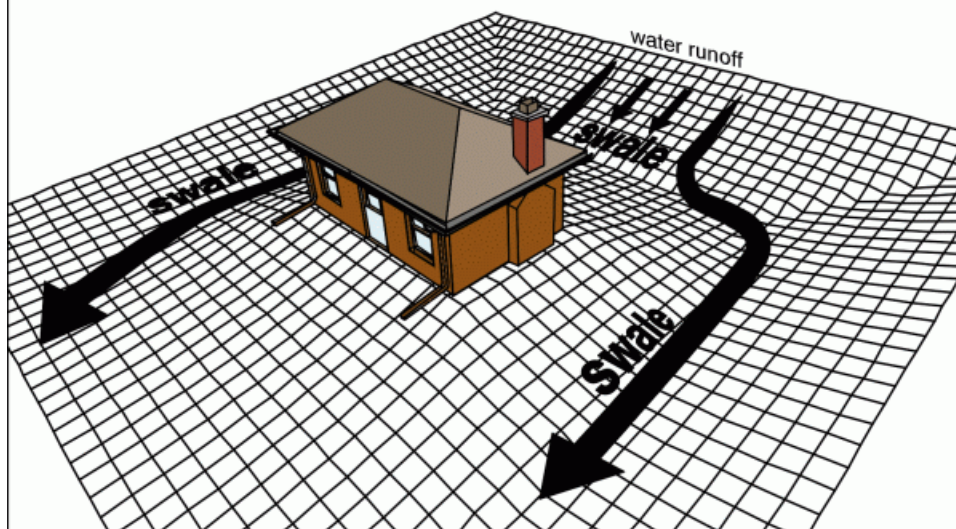
**Location:** Exterior rear/various locations

## Recommended grading slopes



## Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



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19. *Improper slope or drainage*

## LANDSCAPING \ Walkway

12. **Condition:** • [Cracked or damaged surfaces](#)

Front walk way has cracking recommend a professional licensed contractor make repairs

**Implication(s):** Trip or fall hazard

**Location:** Exterior front



20. *Cracked or damaged surfaces*



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## LANDSCAPING \ Fence

### 13. Condition: • Damage

Rear gate has several damaged areas that are open recommend a professional license contract and make repairs

**Implication(s):** Material deterioration

**Location:** Exterior various locations



21. Damage

## Structure

### FOUNDATIONS \ General notes

#### 14. Condition: • [Large trees close to building](#)

Large tree close to home. This can present foundation issues as well as roof issues recommend a professional, licensed arborist further evaluate and make repairs.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Exterior east/

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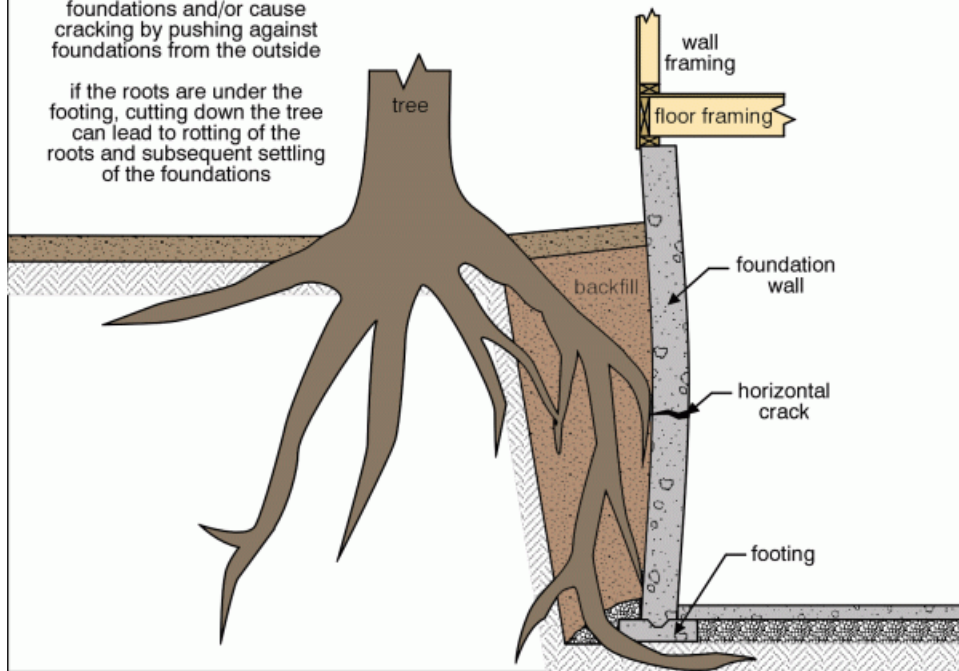
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## Foundation cracks related to tree roots

tree roots can heave foundations and/or cause cracking by pushing against foundations from the outside

if the roots are under the footing, cutting down the tree can lead to rotting of the roots and subsequent settling of the foundations



22. Large trees close to building

## ROOF FRAMING \ Rafter/trusses

15. Condition: • [Rot, fire or insect damage](#)

Attic rafters and some structural components, have damage. Recommend a professional licensed structural contractor,

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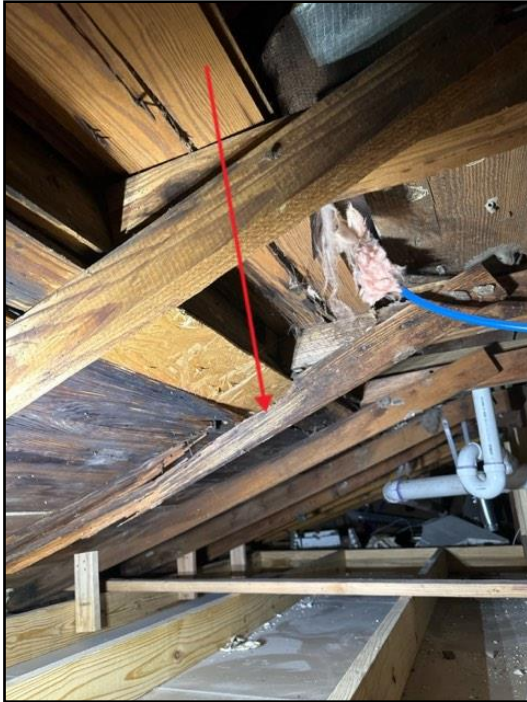
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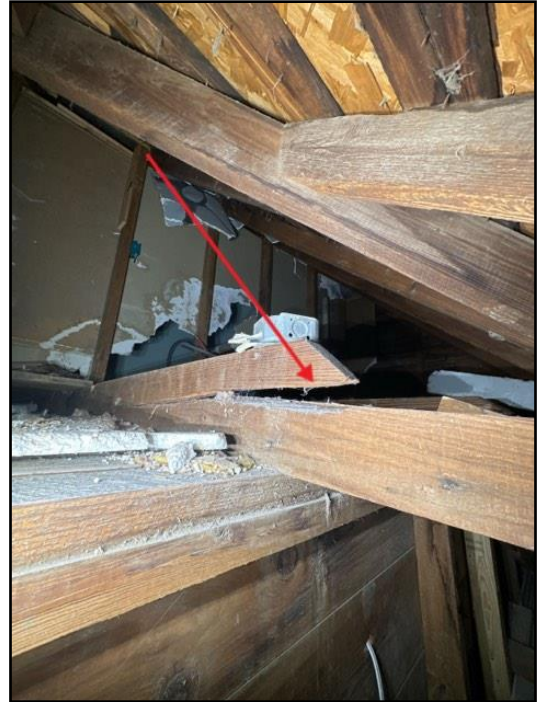
further evaluate and make repairs

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Attic various locations



23. Rot, fire or insect damage



24. Rot, fire or insect damage



25. Rot, fire or insect damage

## **ROOF FRAMING \ Sheathing (roof/attic)**

16. Condition: • Damage



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Roof sheeting has areas that are damaged recommend a professional licensed structural contractor, further evaluate and make repairs

**Implication(s):** Chance of water damage to structure, finishes and contents | Weakened structure

**Location:** Attic



26. Damage

## Electrical

### **SERVICE DROP AND SERVICE ENTRANCE \ Service drop**

17. **Condition:** • [Branches / vines interfering with wires](#)

Recommend a professional tree, arborist or utility make repairs

**Implication(s):** Damage to wire | Electric shock | Interruption of electrical service

**Location:** Exterior Northwest

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27. Branches / vines interfering with wires

## SERVICE BOX, GROUNDING AND PANEL \ Service box

### 18. Condition: • [Damage](#)

Main electrical meter tamper lock is damaged recommend a professional, licensed utility electrician make repairs

**Implication(s):** Equipment inoperative | Electric shock | Fire hazard

**Location:** Exterior west



28. Damage

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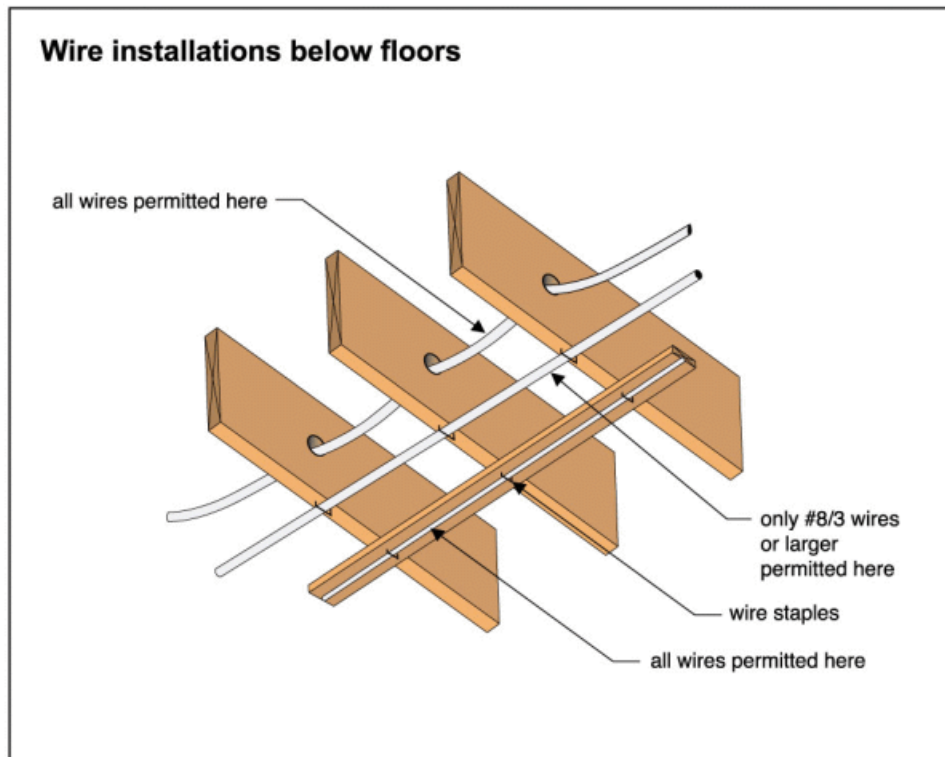
## DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

### 19. Condition: • [Exposed on walls or ceilings](#)

Exposed electrical Romax wiring recommend a professional, licensed electrician make repairs

**Implication(s):** Electric shock

**Location:** Exterior rear/attic Westside/attic south access/attic various locations



29. Exposed on walls or ceilings



30. Exposed on walls or ceilings



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31. Exposed on walls or ceilings



32. Exposed on walls or ceilings



33. Exposed on walls or ceilings



34. Exposed on walls or ceilings

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35. Exposed on walls or ceilings



36. Exposed on walls or ceilings

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

20. Condition: • [Inoperative](#)

GFCI outlet in the master bathroom not functional recommend a professional license electrician make repairs

**Implication(s):** Equipment inoperative

**Location:** Master bathroom/



37. Inoperative



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**21. Condition:** • Receptacle within 5 ½ feet of floor not tamper resistant

Recommend a professional, licensed electrician, update, plugs or install child safety covers, these type of plugs can present a hazard for children, sticking their fingers or objects into them

**Location:** Throughout the home



**38.** Receptacle within 5 ½ feet of floor not...

## **DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at**

**22. Condition:** • Laundry area

No GFCI protection in the laundry area. It is recommended by the national electric code, and the Texas real estate commission standards of practice to have GFCI protection in the laundry area. Recommend a professional license electrician make repairs.



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39. Laundry area

**23. Condition:** • Dishwasher

Although there is no dishwasher, installed the dishwasher outlet should be GFCI protected recommend a professional license electrician install GFCI protection to avoid electrical shock hazard

**Location:** Under kitchen sink



40. Dishwasher

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## DISTRIBUTION SYSTEM \ Cover plates

### 24. Condition: • [Missing](#)

Recommend a professional, licensed electrician, install a cover plate

**Implication(s):** Electric shock

**Location:** Second-floor west/



41. *Missing*

## DISTRIBUTION SYSTEM \ Lights

### 25. Condition: • [Inoperative](#)

Lightbulbs appear to be new, but lights are inoperative using normal switches, recommend a professional, licensed electrician, further evaluate to make repairs.

**Implication(s):** Inadequate lighting

**Location:** Exterior front/dining room/various locations

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42. Inoperative



43. Inoperative



44. Inoperative



45. Inoperative

## **DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

26. Condition: • Missing

No smoke alarm present outside sleeping areas it is recommended to have a smoke alarm outside all sleeping areas and inside bedrooms



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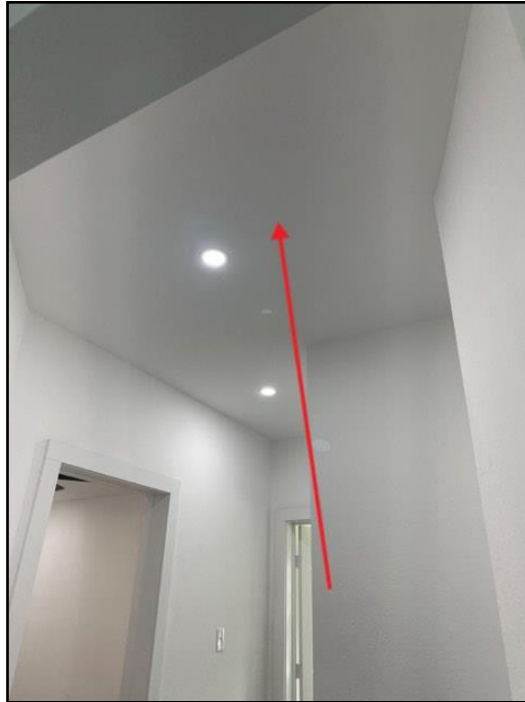
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**Implication(s):** Safety issue

**Location:** First floor outside sleeping area/



46. Missing

## Cooling & Heat Pump

### AIR CONDITIONING \ Evaporator coil

27. **Condition:** • [Temperature split across cooling coil too low](#)

Recommend a professional, licensed, HVAC, technician further evaluate and make required adjustments or repairs to the system

**Implication(s):** Equipment not operating properly | Increased cooling costs | Reduced comfort

**Location:** Throughout the home

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## Measure temperature drop across inside coil

plenum temperature  
(typically 55 F to 60 F)



the temperature drop across  
the evaporator coil should be  
15 F to 20 F

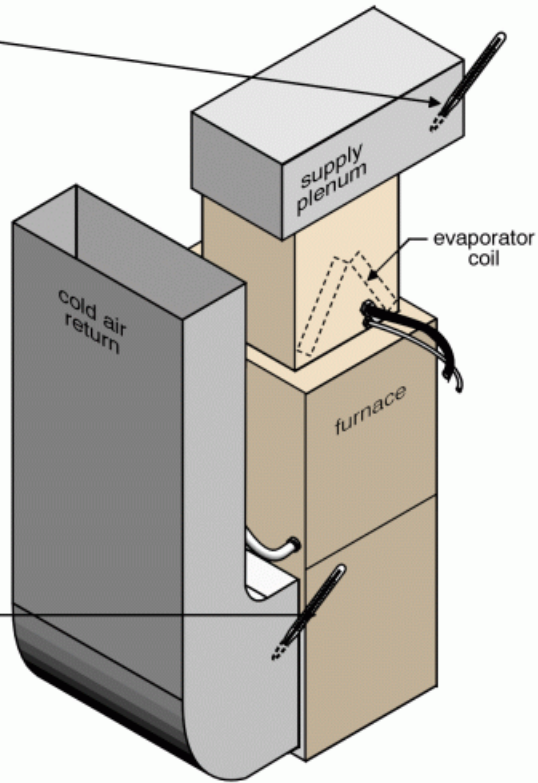
(the A/C should be running for  
at least 15 minutes before  
performing this test)



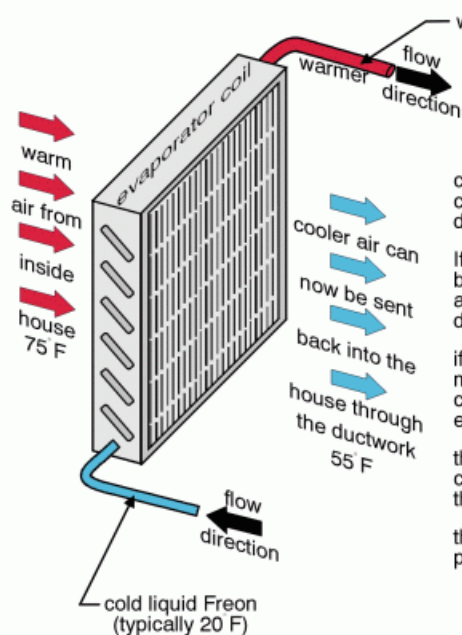
return temperature  
(typically 75 F)

**note:**

this test goes  
beyond the Standards



## Evaporator coil - inspection procedures



check the temperature above and below the coil - a 15 F to 20 F temperature drop is desirable (beyond the Standards)

If the coil is visible, look for bent fins, dirt buildup or a dirty air filter that could reduce airflow - expect an increased temperature drop in this case

if the temperature drop is less than 15° or 20°, more Freon may be required or the compressor may not be working at peak efficiency

the coil should be uniformly wet with condensation (dryness at the top may mean the unit is low on Freon)

there should be no ice buildup on the coils - if present, this may indicate low airflow

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## AIR CONDITIONING \ Condensate system

### 28. Condition: • [No float switch](#)

No condensation float switch for air-conditioning air handler. Recommend a professional licensed, HVAC technician install a float switch for added protection against water damage to your structure.

**Implication(s):** Chance of water damage to structure, finishes and contents | Damage to equipment

**Location:** Hallway closet



47. No float switch

## Insulation and Ventilation

### ATTIC/ROOF \ Insulation

### 29. Condition: • [Amount inadequate](#)

Missing insulation, recommend a professional, licensed insulation expert make repairs and install the proper amount of insulation

**Implication(s):** Increased heating and cooling costs

**Location:** Various locations throughout the attic



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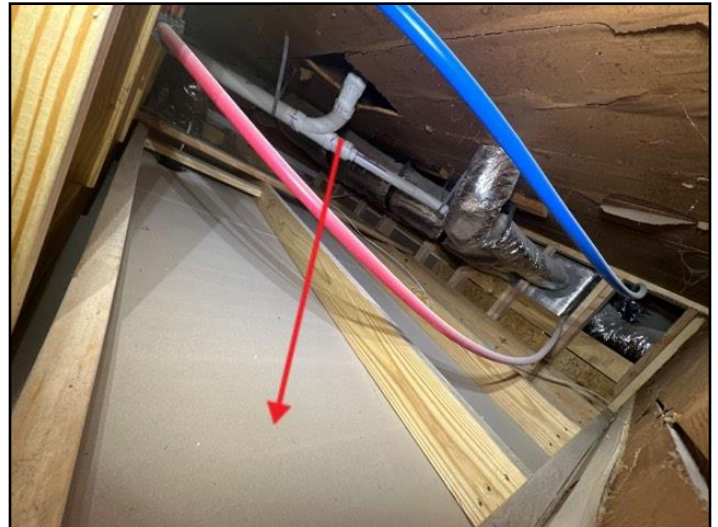
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48. Amount inadequate



49. Amount inadequate



50. Amount inadequate



51. Amount inadequate

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52. Amount inadequate



53. Amount inadequate

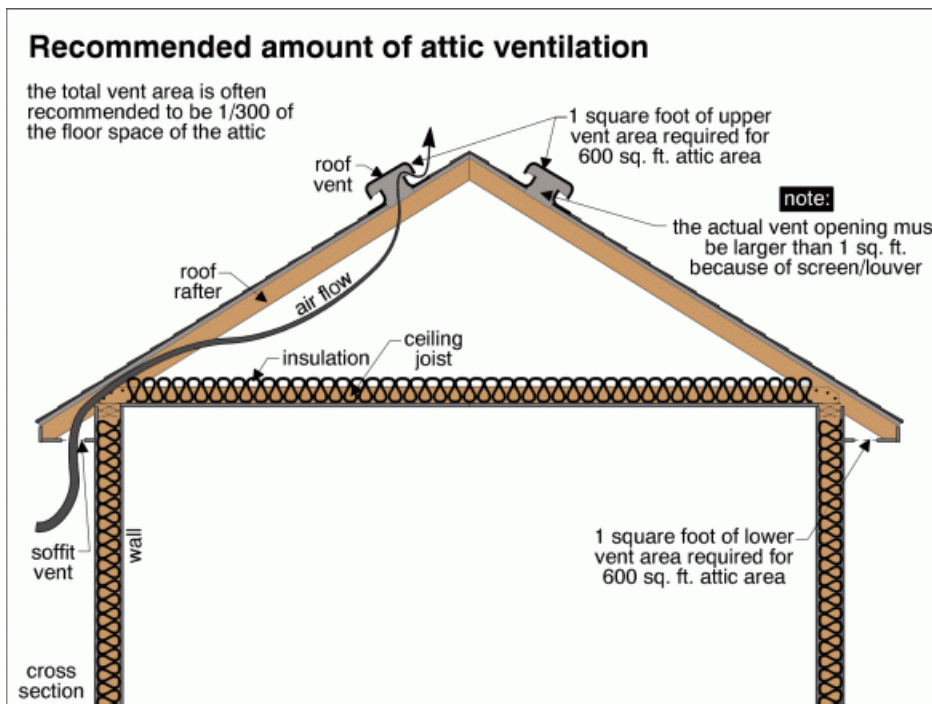
## ATTIC/ROOF \ Roof vents

### 30. Condition: • [Missing](#)

Missing eave and attic ventilation, Recommend a professional licensed HVAC contractor further evaluate and make required repairs.

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Throughout





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54. Missing

## Plumbing

### FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

31. Condition: • [Damage](#)

Recommend a professional, licensed plumber make repairs

**Implication(s):** Leakage | Equipment inoperative

**Location:** Exterior front



55. Damage

32. Condition: • [Backflow prevention missing](#)

Recommend a professional, licensed plumber, install a hose bib anti-siphon device

**Implication(s):** Contaminated drinking water

**Location:** Exterior front/exterior rear



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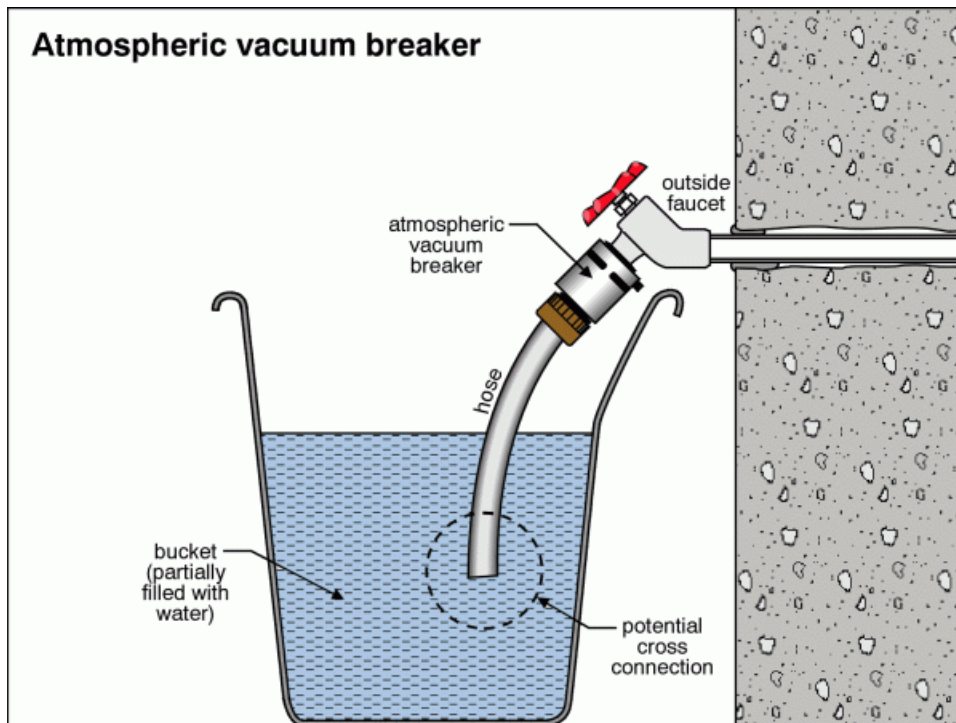
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56. Backflow prevention missing

## FIXTURES AND FAUCETS \ Shower stall

33. Condition: • [Grout loose, missing or deteriorated](#)

Recommend a professional licensed contractor make repairs

Implication(s): Chance of water damage to structure, finishes and contents

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**Location:** Second-floor bathroom



57. Grout loose, missing or deteriorated

## **FIXTURES AND FAUCETS \ Toilet**

**34. Condition:** • [Loose](#)

Toilet loose at base, recommend a professional licensed plumber make repairs

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Second-floor hallway bath

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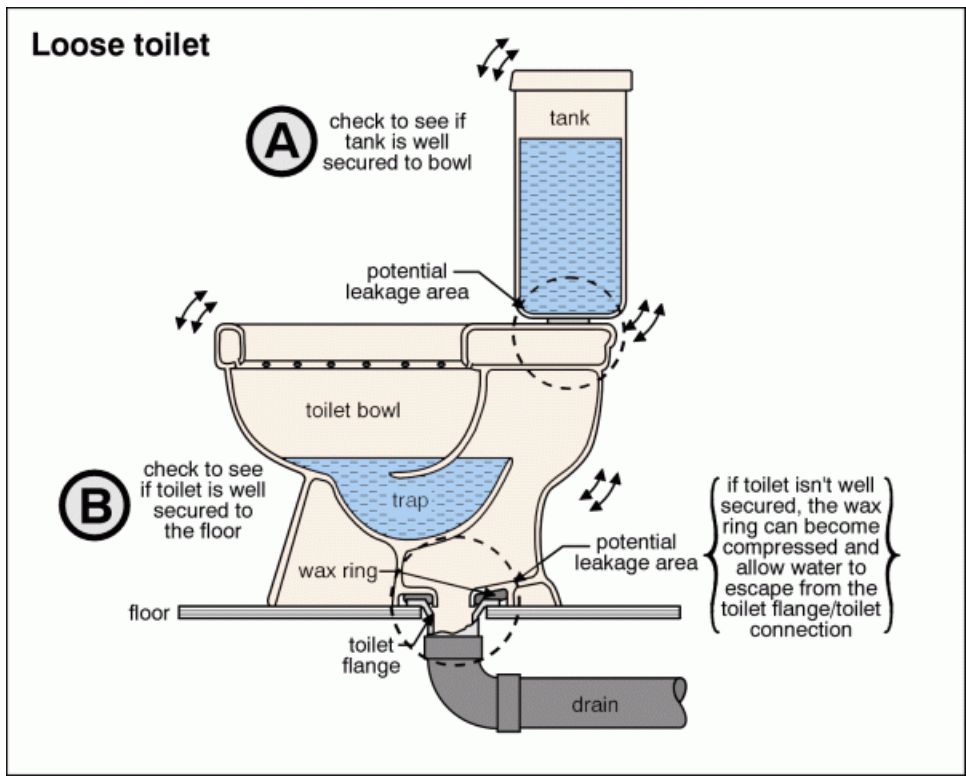
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58. Loose



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## Interior

### CEILINGS AND WALLS \ General notes

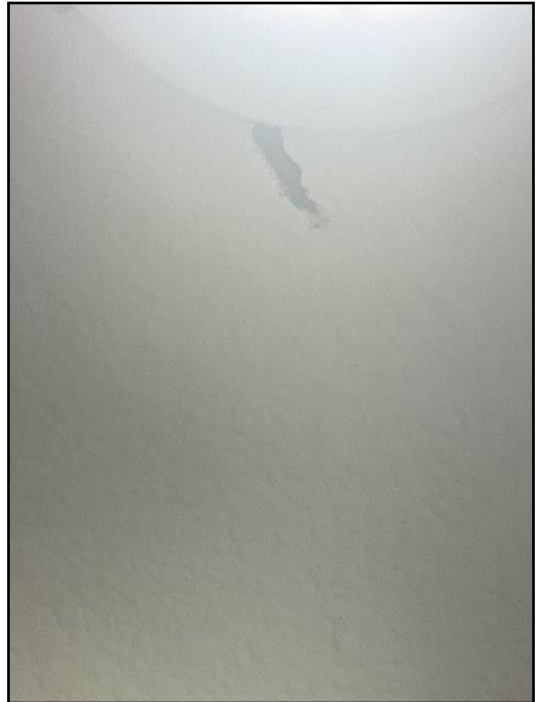
**35. Condition:** • Typical minor flaws

Some typical minor flaws located throughout the home, overall the interior looks clean and has a nice new paint job recommend touchup repairs

**Location:** Various locations



59. Typical minor flaws



60. Typical minor flaws

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61. *Typical minor flaws*

## WALLS \ General notes

**36. Condition:** • Damage

Recommend a professional licensed contractor make repairs

**Implication(s):** Damage or physical injury due to falling materials

**Location:** Second-floor east bedroom

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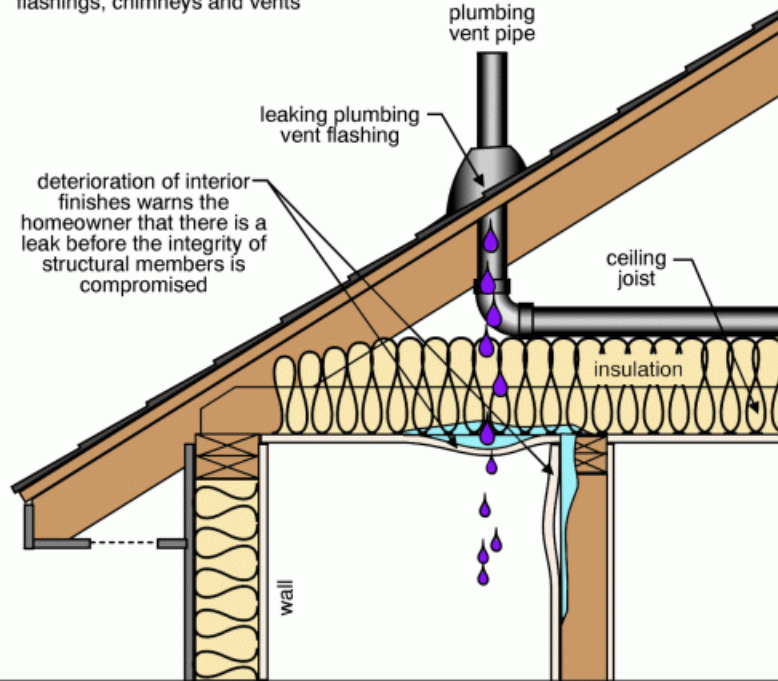
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## Common locations for water damage

water damage to walls is common below windows, bathrooms, roof flashings, chimneys and vents



62. Damage



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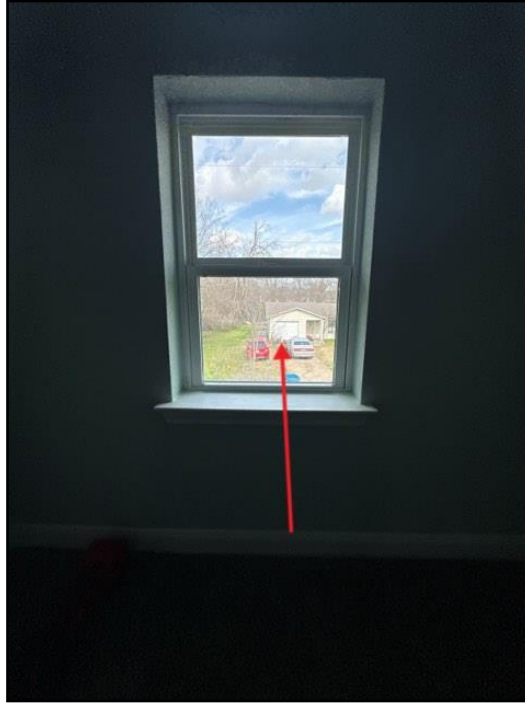
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## WINDOWS \ Sill height

**37. Condition:** • Recommend installing window safety locks due to a potential fall hazard with small children or people

**Implication(s):** Fall hazard, especially for small children

**Location:** Second floor



63.

## DOORS \ Hardware

**38. Condition:** • [Inoperable](#)

Doorhandle does not latch recommend repair

**Implication(s):** System inoperative or difficult to operate

**Location:** Rear door/second-floor east bedroom closet/

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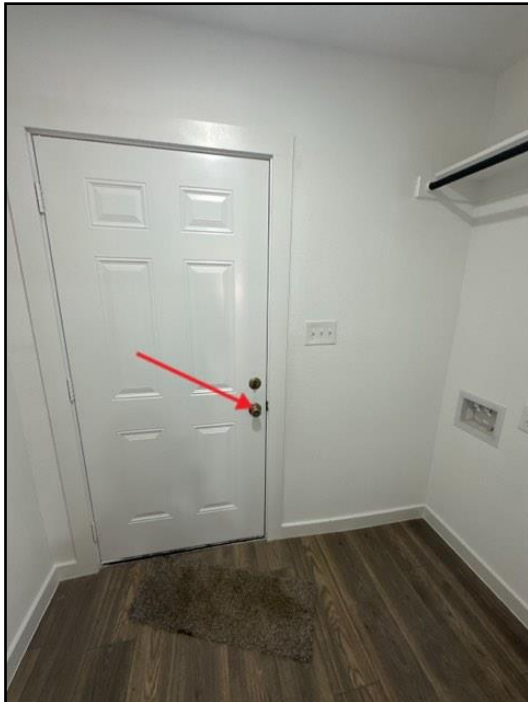
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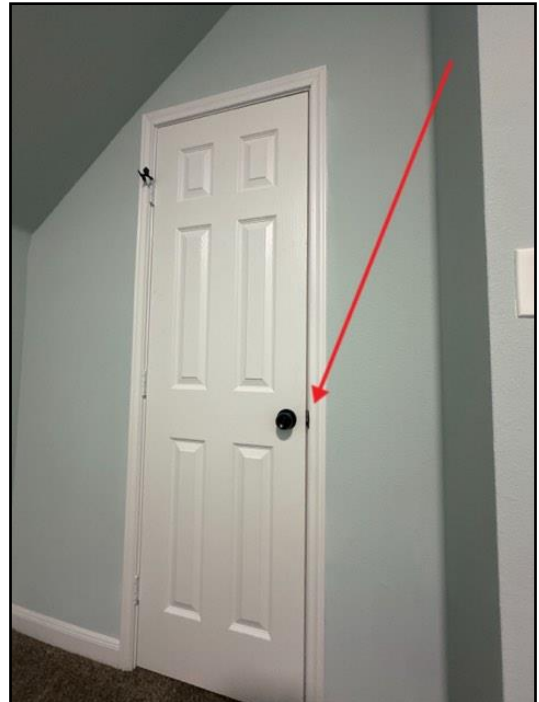
[www.knighthomeinspection.com](http://www.knighthomeinspection.com)

SUMMARY

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64. Inoperable



65. Inoperable

## DOORS \ Interior trim

39. Condition: • [Doorstops missing or ineffective](#)

Recommend installing doorstops

Implication(s): Chance of damage to finishes

Location: First floor hallway bath/



66. Doorstops missing or ineffective

# SUMMARY

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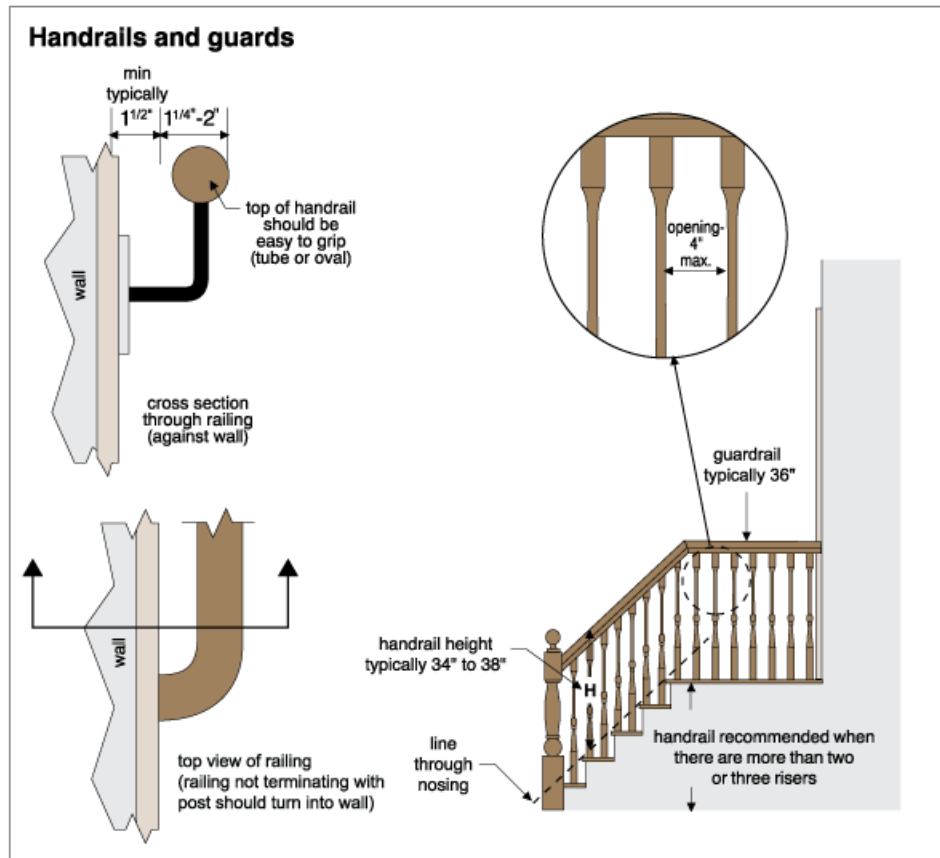
## STAIRS \ Spindles or balusters

### 40. Condition: • [Too far apart](#)

Stair spindles too far apart at the top of the stairs, this can present a hazard for small children falling or getting their head stuck in between them, recommend a professional licensed contractor make repairs

**Implication(s):** Fall hazard

**Location:** Top of stairs





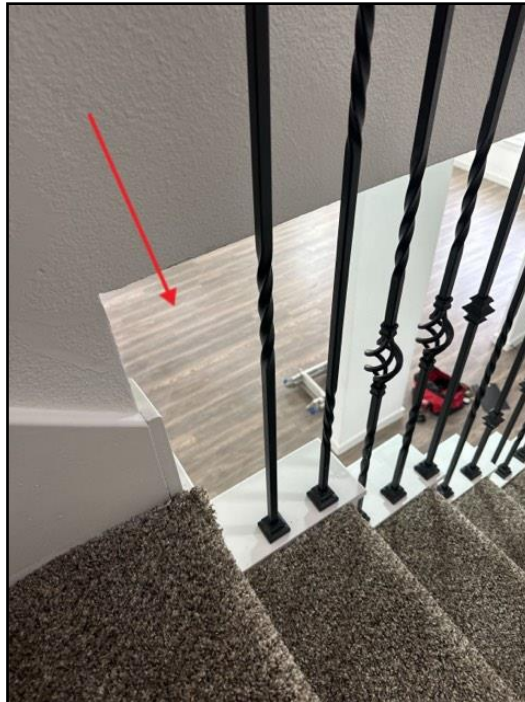
# SUMMARY

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67. Too far apart

## EXHAUST FANS \ Duct

41. Condition: • [Not vented to exterior](#)

Recommend a professional licensed contractor, make repairs on exhaust vent

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Attic



68. Not vented to exterior

# SUMMARY

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## APPLIANCES \ Oven

### **42. Condition:** • Anti-tipping device missing

No oven anti-tipping device installed. This can present a hazard when children stand on the oven door and the oven flips over on them, recommend a professional licensed contract to make repairs.

**Implication(s):** Physical injury

**Location:** Kitchen



**69.** *Anti-tipping device missing*

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[https://hcloud.blob.core.windows.net/hrbpdfs/HRB\\_11\\_Life\\_Cycles\\_2013.pdf](https://hcloud.blob.core.windows.net/hrbpdfs/HRB_11_Life_Cycles_2013.pdf)

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS