

INSPECTION REPORT



For the Property at:
1000 FARM RD
FORNEY, TX 75126

Prepared for: JANE DO
Inspection Date: Thursday, February 8, 2024
Prepared by: Jeffrey Knight, 25885



Knight Home Inspection
10121 Bantry Lane
Forney, TX 75126
214-566-5243

www.knighthomeinspection.com
knighthomeinspector@gmail.com

Excellence in home inspection.

ROOFING

1000 Farm Rd, Forney, TX February 8, 2024

Report No. 1246, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

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Description

Types of Roof Covering:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles



3. Asphalt shingles



4. Asphalt shingles



5. Asphalt shingles



6. Asphalt shingles

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7. Asphalt shingles



8. Asphalt shingles



9. Asphalt shingles

- [Metal](#)

Roof Viewed From: • The ground with binoculars • Drone

Roofing material: • [Asphalt shingles](#)

Flashing material: • Metal

Observations and Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • [Damage](#)

Tree limb has caused damage to the asphalt shingles recommend a professional licensed roofing contractor and arborist make repairs

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior east/rear

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10. Damage



11. Damage

2. Condition: • Tree branches touching roof

Recommend a professional licensed tree arborist make repairs

Implication(s): Shortened life expectancy of material

Location: Exterior east roof/various locations

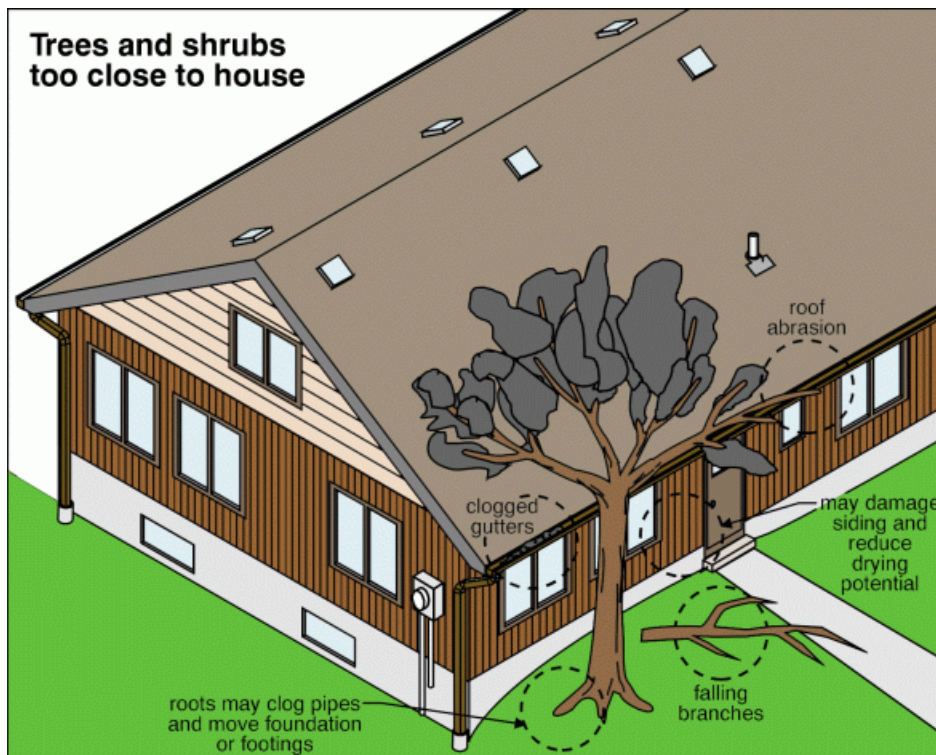
ROOFING

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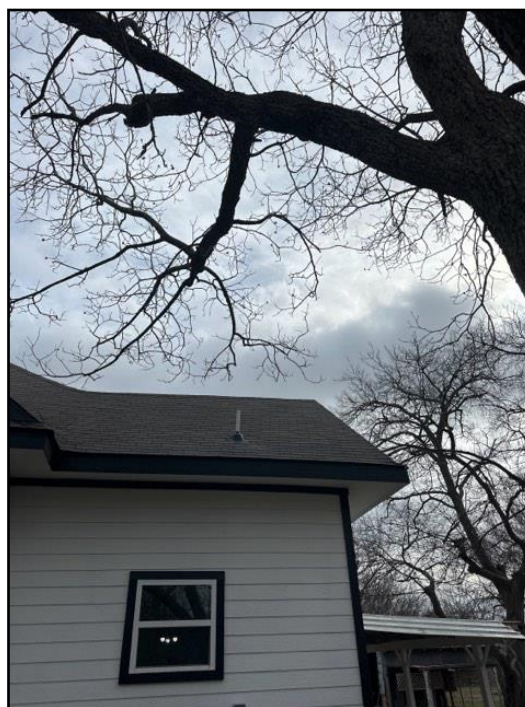
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12. Tree branches touching roof



13. Tree branches touching roof

SLOPED ROOF FLASHINGS \ Drip edge flashings

3. Condition: • [Loose](#)

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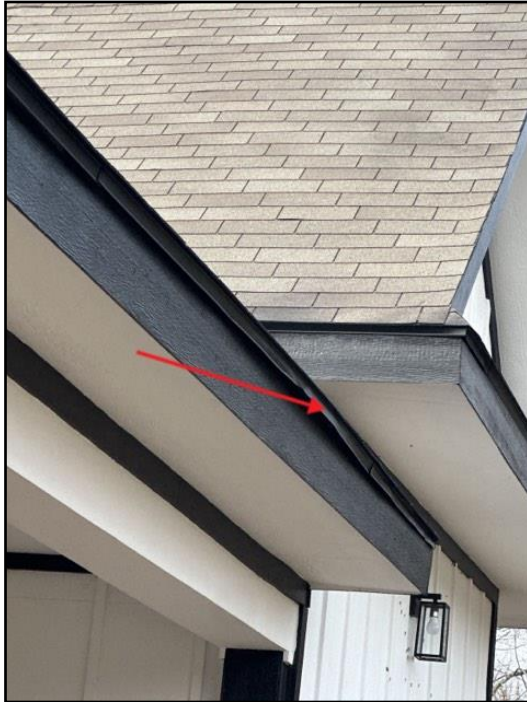
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Drip edge loose, recommend a professional licensed contractor make repairs

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior front/various locations throughout the exterior



14. Loose



15. Loose

Inspection Methods and Limitations

General: • Notice: All levels and surfaces of the roof may not be accessible or visible. This inspection does not evaluate the roof for life expectancy or insurability. If any concern exists about the future performance of the roof, a roofing specialist should be consulted. The inspector cannot and does not offer an opinion or warranty on whether or not the roof has hail damage, leaked in the past, has current leaks, or may be subject to future leaks.

You are strongly encouraged to have your insurance company physically inspect the roof, prior to closing, to fully evaluate the insurability of the roof.

Inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • With binoculars from the ground • With a drone

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Antennas • Not readily accessible interiors of vent systems, flues, and chimneys • Dish • Roof solar panels are not part of this inspection.

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Description

Gutter & downspout material: • [Aluminum](#)

Lot slope:

• [Away from building](#)

Lot slopes away from the building in the front and the sides of the home. The rear lot has a slight slope towards the home

• [Towards building](#)

Lot has a slight slope towards the building at the rear of the home

Wall surfaces and trim:

• Fiber cement siding

This is a non-invasive inspection, but the siding appears to be fiber cement

Garage vehicle door operator (opener): • Not present

Observations and Recommendations

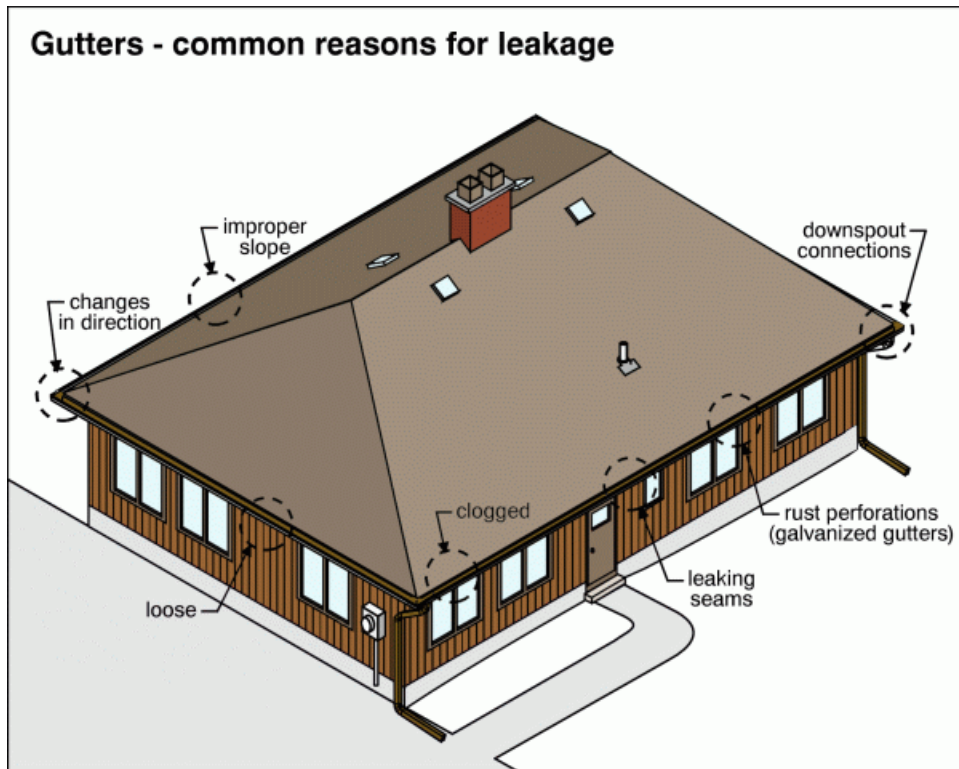
ROOF DRAINAGE \ Gutters

4. Condition: • [Clogged](#)

Gutters clogged recommend a professional, licensed contractor, clean the gutters

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior rear



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16. Clogged

5. Condition: • Damage

Recommend a professional, licensed gutter contractor make repairs

Location: Exterior rear



17. Damage

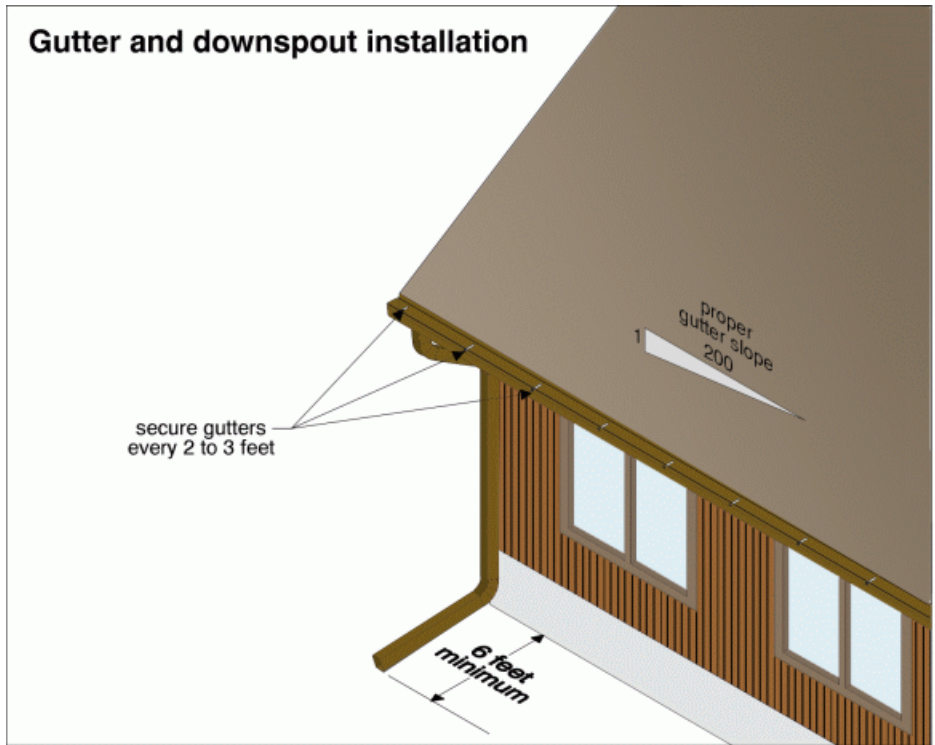
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6. Condition: • [Missing](#)

Gutters missing throughout most of the home, gutters are only installed in the rear of the home but are damaged and clogged. Recommend a professional, licensed contractor install gutters and make repairs.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout exterior of the home, the rear has damaged gutters on the porch in the exterior rear only



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18. Missing

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

7. Condition: • Poorly built

Rear porch cover is not safely built and the post are leaning and not structurally sound. Additionally, the gutters are damaged and the electrical is unsafe. recommend a professional licensed contractor further evaluate make repairs

Implication(s): Weakened structure

Location: Exterior rear

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19. Poorly built



20. Poorly built



21. Poorly built



22. Poorly built

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23. Poorly built

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Skirting

8. Condition: • [Wood/soil contact](#)

Recommend a licensed professional contractor make repairs

Implication(s): Rot | Insect damage

Location: Throughout exterior

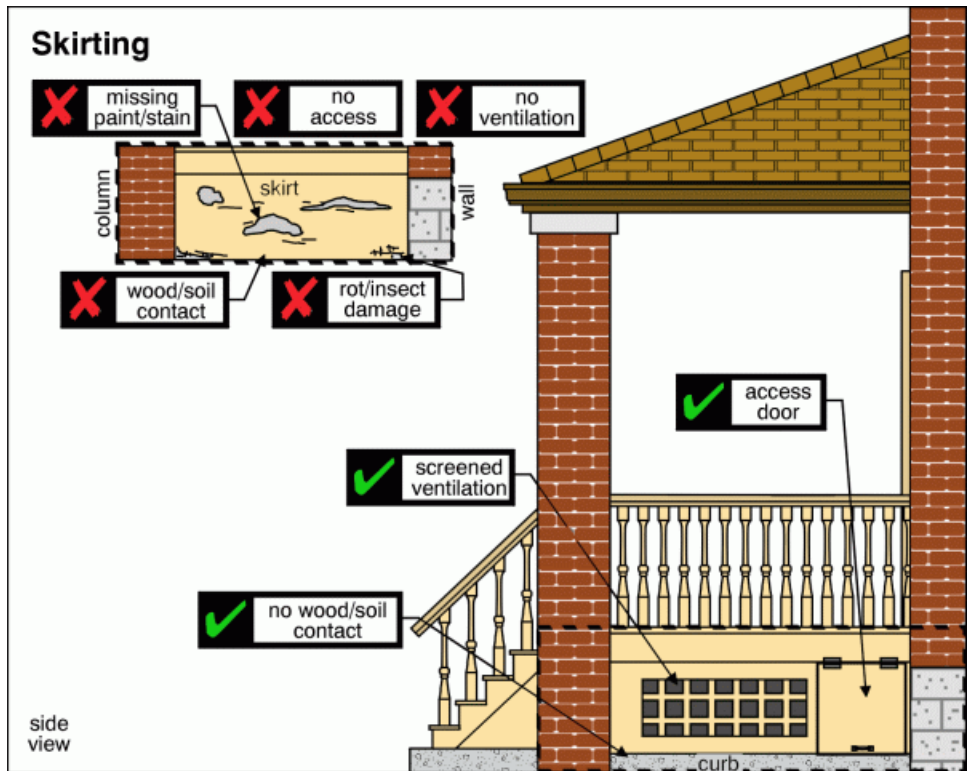
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24. Wood/soil contact

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

9. Condition: • [Missing](#)

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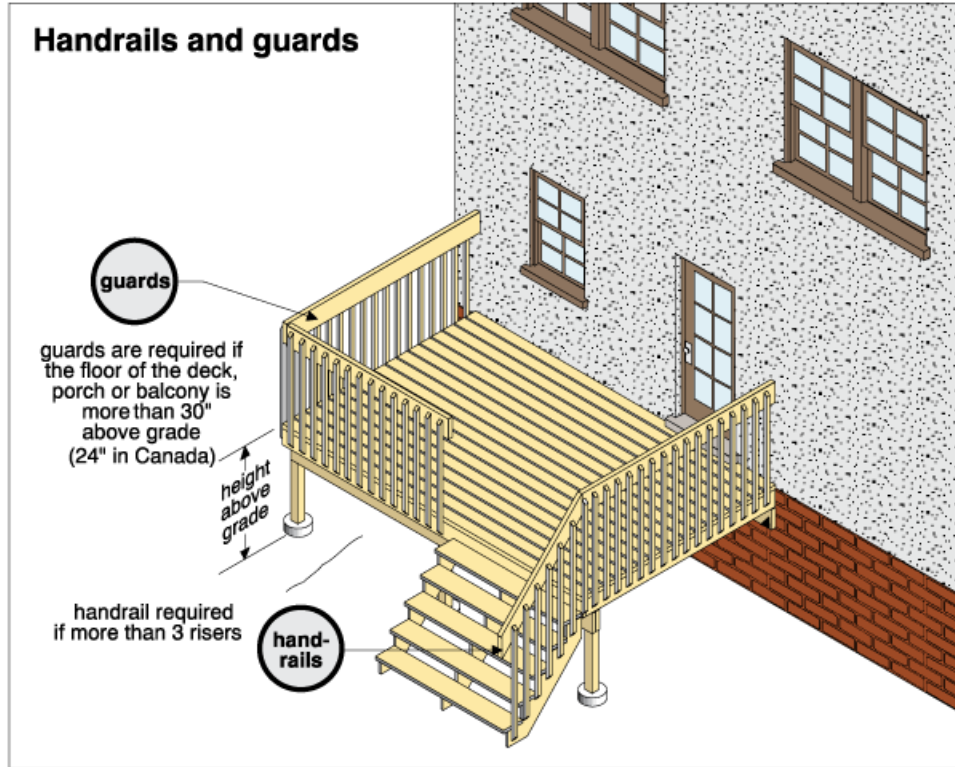
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Hand railings missing recommended, professional license, contractor, make repairs

Implication(s): Fall hazard

Location: Exterior front/exterior rear



25. Missing



26. Missing

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10. Condition: • Stairs has slight damage recommend a professional licensed contractor, make repairs

Implication(s): Fall hazard, cosmetic issues, safety issues

Location: Exterior front both stairs



27.

LANDSCAPING \ Lot grading

11. Condition: • [Improper slope or drainage](#)

Lot has a slight slope towards the home recommend a professional, licensed drainage, expert further evaluate and make required adjustments or repairs

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior rear/various locations

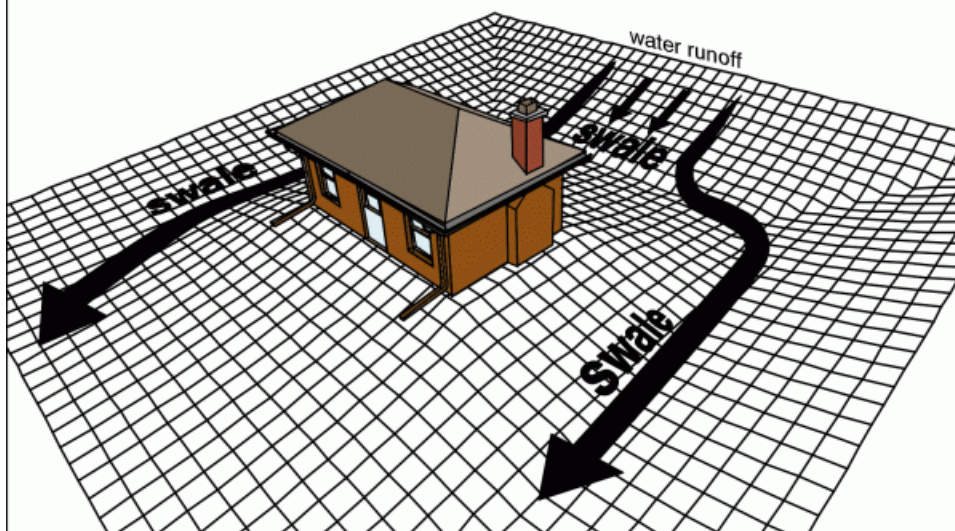
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Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



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28. *Improper slope or drainage*

LANDSCAPING \ Walkway

12. **Condition:** • [Cracked or damaged surfaces](#)

Front walk way has cracking recommend a professional licensed contractor make repairs

Implication(s): Trip or fall hazard

Location: Exterior front

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29. Cracked or damaged surfaces

LANDSCAPING \ Fence

13. Condition: • Damage

Rear gate has several damaged areas that are open recommend a professional license contract and make repairs

Implication(s): Material deterioration

Location: Exterior various locations

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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30. Damage

Inspection Methods and Limitations

Upper floors inspected from: • Ground level

Not included as part of a building inspection:

- Underground components (e.g., oil tanks, septic fields, underground drainage systems)

This includes anything underground

- Geological and soil conditions
- Recreational facilities
- Erosion control, earth stabilization measures

Not included as part of a building inspection: • The land, the condition of the land/property is not part of this inspection. Only the lot slope/drainage directly surrounding the home is reported on. • Sheds

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

General: • blank note

Type of Foundation(s): • Pier and beam

Foundation Performance Opinion:

• Satisfactory

There are very slight elevation changes in the flooring and the floor sheeting throughout the home that indicates typical settlement. No secondary indicators throughout the exterior/interior of the home, but the interior was completely remodeled and can sometimes conceal secondary indicators that may revile more moderate settlement has occurred. Some secondary indicators would be moderate cracking throughout the interior/exterior, over doors, windows, doors out of square, windows out of square etc. Overall the foundation is graded as satisfactory. If any concern exist about the foundation performance it is recommended to have a foundation expert further evaluate the foundation and crawlspace structure prior to the option period ending.

Roof Structures and Attics Viewed From: • The attic

Configuration: • [Piers](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#)

Exterior wall construction: • Not visible

Roof and ceiling framing: • Rafters/ceiling joists

Observations and Recommendations

FOUNDATIONS \ General notes

14. Condition: • [Large trees close to building](#)

Large tree close to home. This can present foundation issues as well as roof issues recommend a professional, licensed arborist further evaluate and make repairs.

Implication(s): Weakened structure | Chance of structural movement

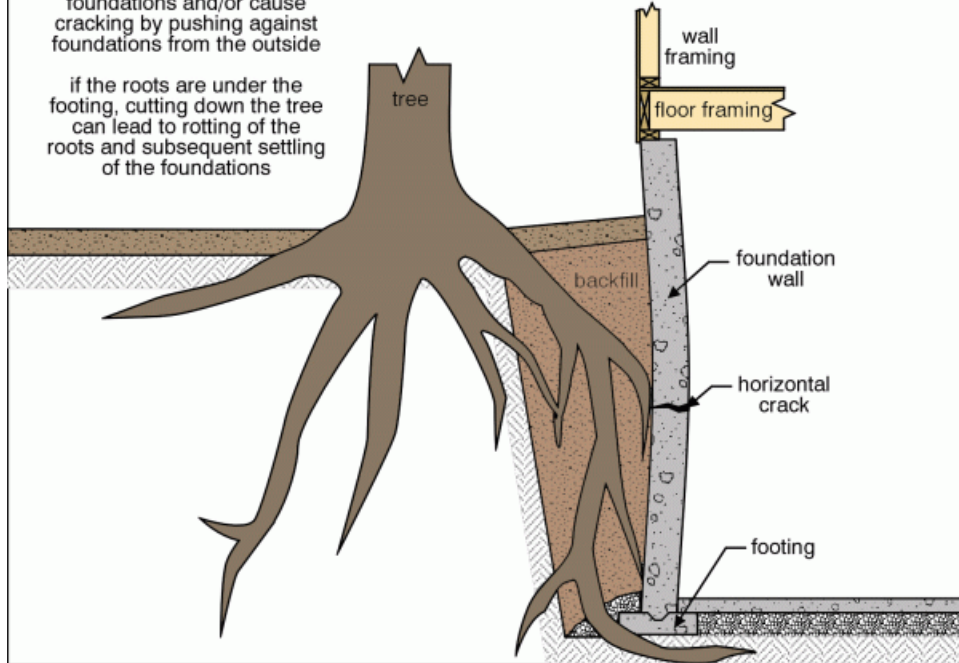
Location: Exterior east/

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Foundation cracks related to tree roots

tree roots can heave foundations and/or cause cracking by pushing against foundations from the outside

if the roots are under the footing, cutting down the tree can lead to rotting of the roots and subsequent settling of the foundations



31. Large trees close to building

ROOF FRAMING \ Rafter/trusses

15. Condition: • [Rot, fire or insect damage](#)

STRUCTURE

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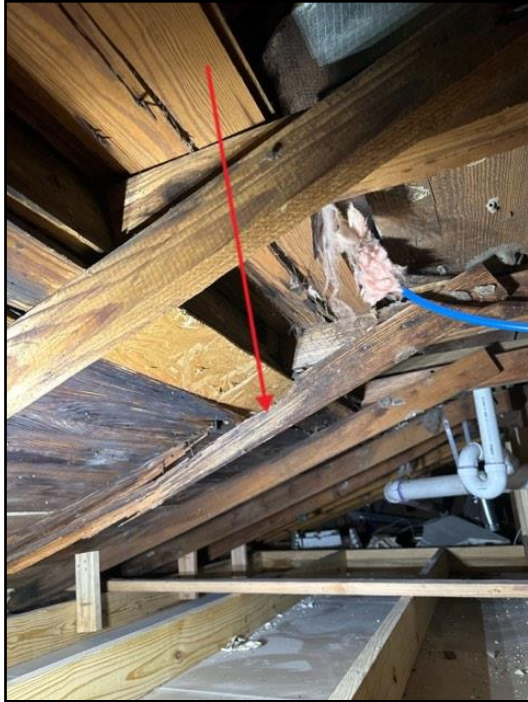
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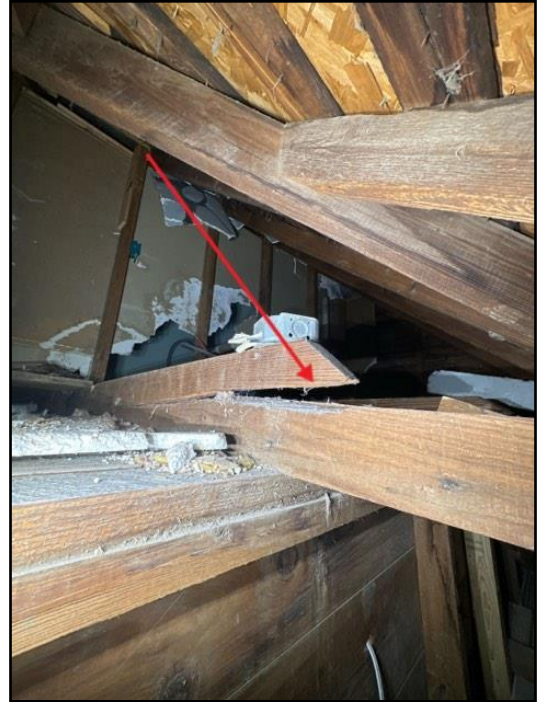
Attic rafters and some structural components, have damage. Recommend a professional licensed structural contractor, further evaluate and make repairs

Implication(s): Weakened structure | Chance of structural movement

Location: Attic various locations



32. Rot, fire or insect damage



33. Rot, fire or insect damage



34. Rot, fire or insect damage

ROOF FRAMING \ Sheathing (roof/attic)

16. Condition: • Damage

Roof sheathing has areas that are damaged recommend a professional licensed structural contractor, further evaluate and make repairs

Implication(s): Chance of water damage to structure, finishes and contents | Weakened structure

Location: Attic



35. Damage

Inspection Methods and Limitations

Attic/roof space: • Entered but access was limited • Limited attic access

Crawlspace:

• Entered but access was limited

Entered the crawlspace, but access was very limited. There are many obstacles such as electrical wiring, plumbing, etc. blocking my free movement.

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Description

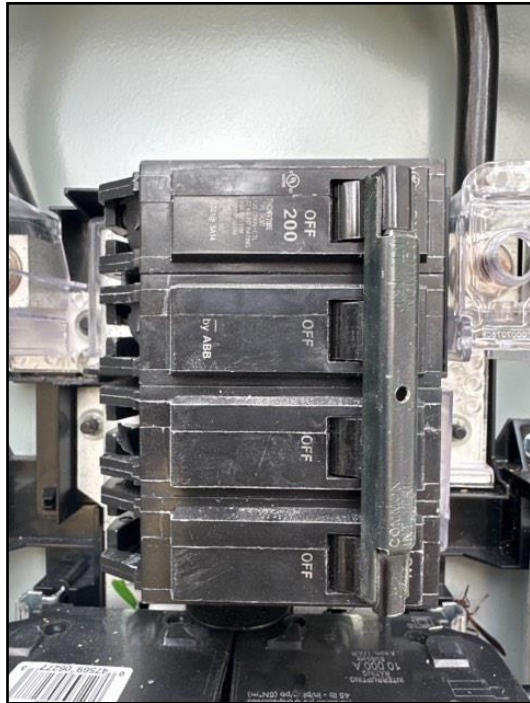
General: • blank note

Type of Wiring: • [Copper - non-metallic sheathed](#)

Service entrance cable and location: • [Overhead copper](#)

Service size:

- [200 Amps \(240 Volts\)](#)



36. 200 Amps (240 Volts)



37. 200 Amps (240 Volts)

Main disconnect/service box type and location:

- [Breakers - exterior wall](#)



38. Breakers - exterior wall

System grounding material and type: • [Copper - ground rods](#)

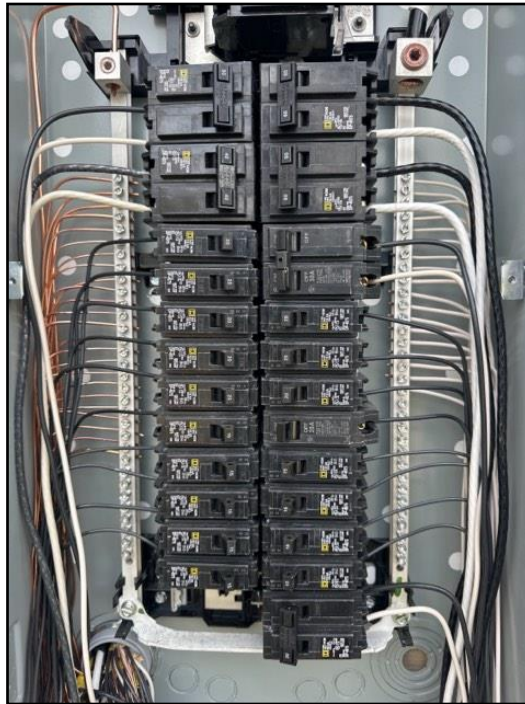
Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- [GFCIs present](#)
- No AFCI

Recommend a professional, licensed electrician, install AFCI protection to avoid an electrical fire

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39. No AFCI

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • None noted

Observations and Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

17. Condition: • [Branches / vines interfering with wires](#)

Recommend a professional tree, arborist or utility make repairs

Implication(s): Damage to wire | Electric shock | Interruption of electrical service

Location: Exterior Northwest



40. Branches / vines interfering with wires

SERVICE BOX, GROUNDING AND PANEL \ Service box

18. Condition: • [Damage](#)

Main electrical meter tamper lock is damaged recommend a professional, licensed utility electrician make repairs

Implication(s): Equipment inoperative | Electric shock | Fire hazard

Location: Exterior west



41. Damage

DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed

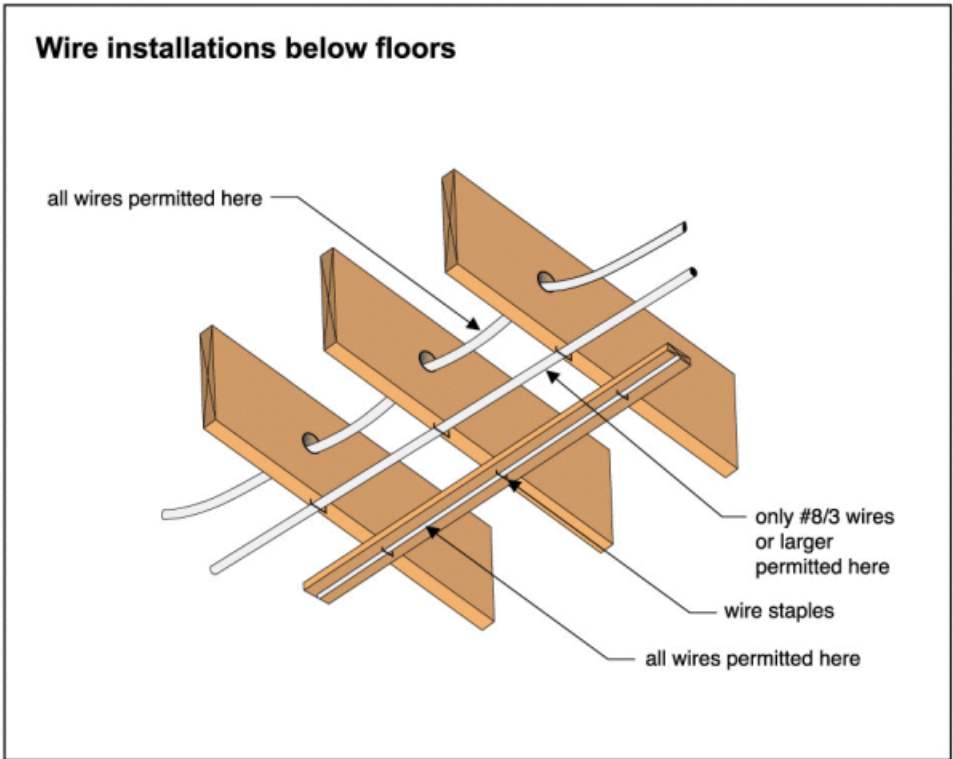
19. Condition: • [Exposed on walls or ceilings](#)

Exposed electrical Romax wiring recommend a professional, licensed electrician make repairs

Implication(s): Electric shock

Location: Exterior rear/attic Westside/attic south access/attic various locations

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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42. Exposed on walls or ceilings



43. Exposed on walls or ceilings

ELECTRICAL

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44. Exposed on walls or ceilings



45. Exposed on walls or ceilings



46. Exposed on walls or ceilings



47. Exposed on walls or ceilings

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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48. Exposed on walls or ceilings



49. Exposed on walls or ceilings

DISTRIBUTION SYSTEM \ Outlets (receptacles)

20. Condition: • [Inoperative](#)

GFCI outlet in the master bathroom not functional recommend a professional license electrician make repairs

Implication(s): Equipment inoperative

Location: Master bathroom/



50. Inoperative

21. Condition: • Receptacle within 5 ½ feet of floor not tamper resistant

Recommend a professional, licensed electrician, update, plugs or install child safety covers, these type of plugs can present a hazard for children, sticking their fingers or objects into them

Location: Throughout the home

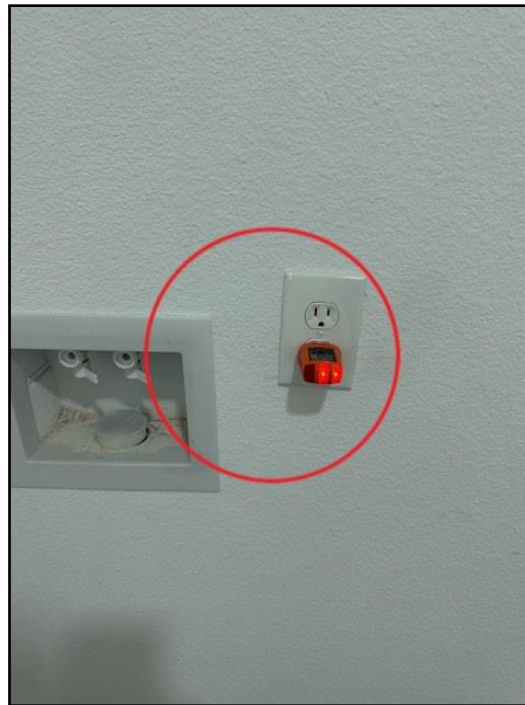


51. Receptacle within 5 ½ feet of floor not...

DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at

22. Condition: • Laundry area

No GFCI protection in the laundry area. It is recommended by the national electric code, and the Texas real estate commission standards of practice to have GFCI protection in the laundry area. Recommend a professional license electrician make repairs.



52. Laundry area

23. Condition: • Dishwasher

Although there is no dishwasher, installed the dishwasher outlet should be GFCI protected recommend a professional license electrician install GFCI protection to avoid electrical shock hazard

Location: Under kitchen sink



53. Dishwasher

DISTRIBUTION SYSTEM \ Cover plates

24. Condition: • [Missing](#)

Recommend a professional, licensed electrician, install a cover plate

Implication(s): Electric shock

Location: Second-floor west/



54. Missing

DISTRIBUTION SYSTEM \ Lights

25. Condition: • [Inoperative](#)

Lightbulbs appear to be new, but lights are inoperative using normal switches, recommend a professional, licensed electrician, further evaluate to make repairs.

Implication(s): Inadequate lighting

Location: Exterior front/dining room/various locations

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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55. Inoperative



56. Inoperative



57. Inoperative



58. Inoperative

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

26. Condition: • Missing

No smoke alarm present outside sleeping areas it is recommended to have a smoke alarm outside all sleeping areas and

inside bedrooms

Implication(s): Safety issue

Location: First floor outside sleeping area/



59. Missing

Inspection Methods and Limitations

Inspection limited/prevented by: • All wire material verification is only verified at the main service panel, this inspection is non-invasive.

System ground: • Continuity not verified

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Remote control devices • Low voltage wiring systems and components • Solar, wind, and other renewable energy systems • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms • Cannot visually inspect concealed electrical wiring behind walls, under insulation,, any areas with no access etc. • Night time motion activated lighting

Not included as part of a building inspection: • Night time motion activated lighting

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Description

General: • blank note
Type of Systems: • Central air
Energy Sources: • [Electricity](#)
Heating system type: • [Electric plenum heater](#)
Fuel/energy source: • [Electricity](#)
Approximate capacity: • [90,000 BTU/hr](#)
Approximate age: • [1 year](#)
Supply temperature: • 95°



60.

Return temperature: • 52°

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Temperature difference: • 43°

Fireplace/stove: • None

Location of the thermostat for the heating system: • Hallway

Inspection Methods and Limitations

Heat loss calculations: • Not done as part of a building inspection

Fireplace/wood stove: • Not present

COOLING & HEAT PUMP

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Type of Systems: • Central air

Air conditioning type: • Central

Heat pump type: • None present

Manufacturer:

• Lennox



62. *Lennox*

Cooling capacity:

• [5 Tons](#)

COOLING & HEAT PUMP

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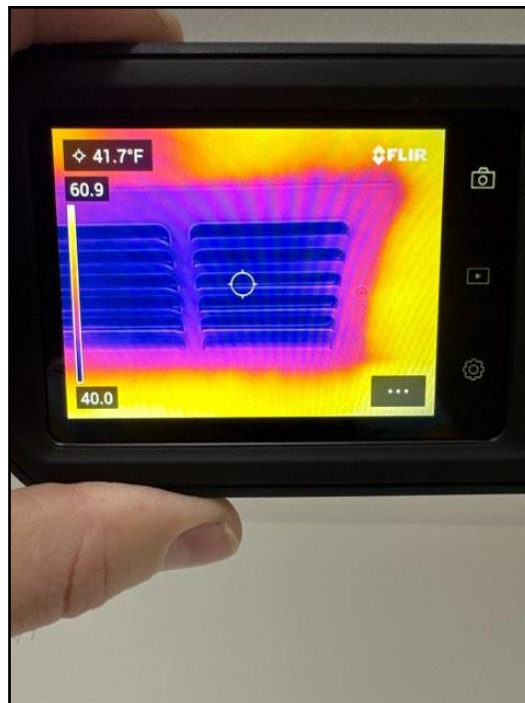
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63. 5 Tons

Compressor approximate age: • 1 year

Supply temperature: • 41°



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COOLING & HEAT PUMP

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COOLING

INSULATION

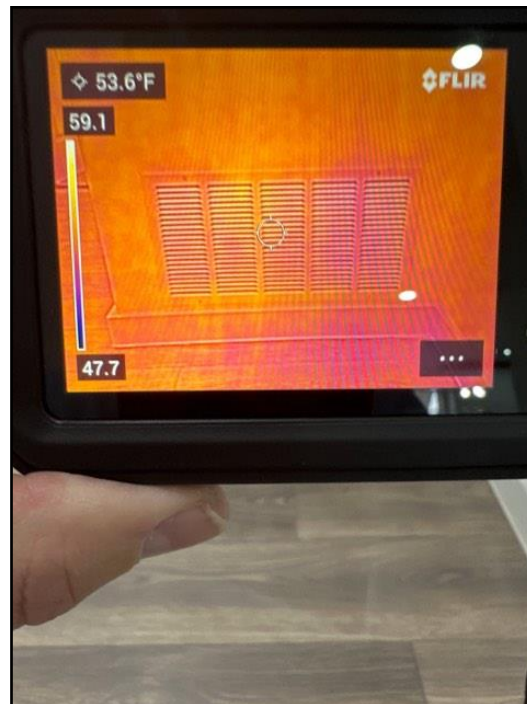
PLUMBING

INTERIOR

SITE INFO

REFERENCE

Return temperature: • 53°



65.

Temperature difference across cooling coil: • 12° • This suggests performance issues. Service may be needed.

Air filter: • Disposable

Location of the thermostat for the cooling system: • Hallway

Condensate system: • Discharges to exterior

Observations and Recommendations

AIR CONDITIONING \ Evaporator coil

27. Condition: • [Temperature split across cooling coil too low](#)

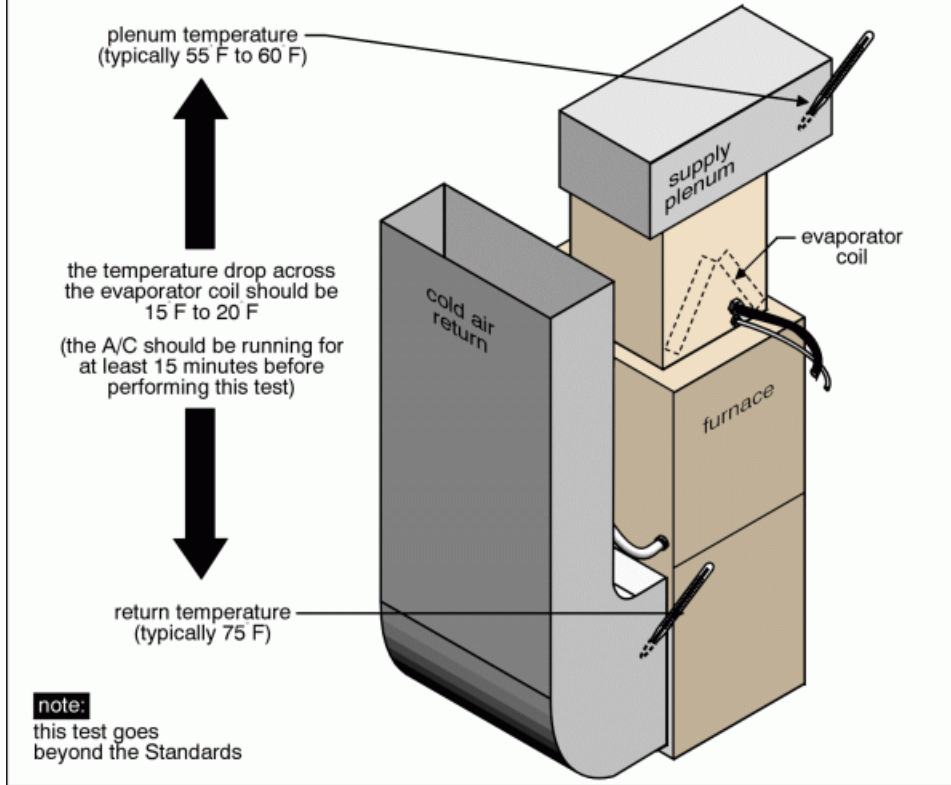
Recommend a professional, licensed, HVAC, technician further evaluate and make required adjustments or repairs to the system

Implication(s): Equipment not operating properly | Increased cooling costs | Reduced comfort

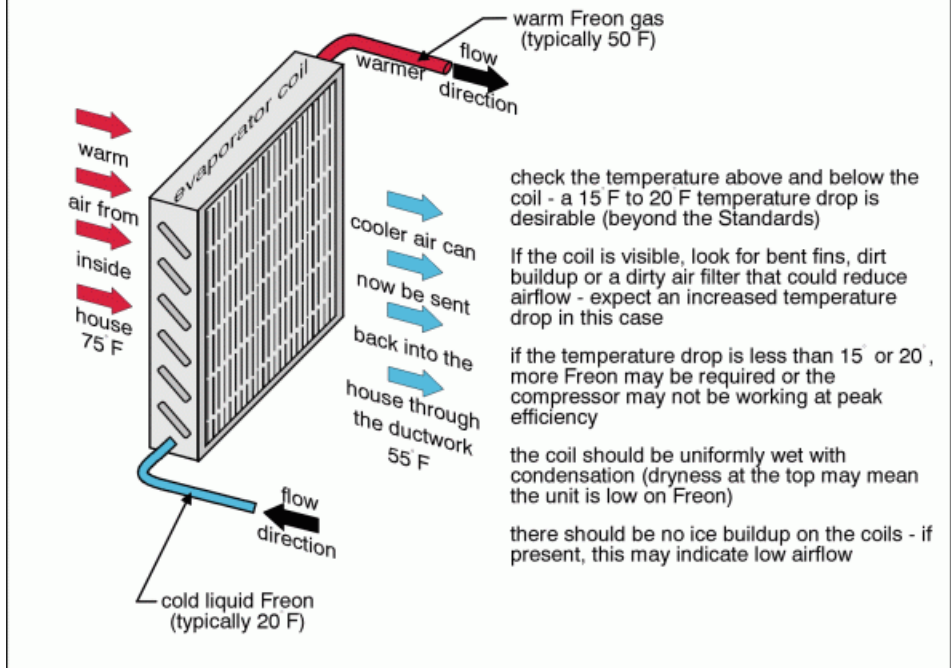
Location: Throughout the home

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Measure temperature drop across inside coil



Evaporator coil - inspection procedures



AIR CONDITIONING \ Condensate system

28. Condition: • [No float switch](#)

No condensation float switch for air-conditioning air handler. Recommend a professional licensed, HVAC technician install a float switch for added protection against water damage to your structure.

Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Hallway closet



66. No float switch

Inspection Methods and Limitations

Heat gain calculations: • Not done as part of a building inspection

Heat gain/loss calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

Not included as part of a building inspection: • Cooling system distribution balance

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Description

Approximate Average Depth of Insulation:

- None

No attic insulation noted in all of the visible areas recommend a professional, licensed insulation, expert further evaluate and make repairs

Attic/roof insulation material: • None

Attic/roof air/vapor barrier: • [None found](#)

Wall insulation material: • Not visible

Wall insulation amount/value: • Not visible

Wall air/vapor barrier: • Not visible

Floor above basement/crawlspace insulation material: • None found

Floor above basement/crawlspace insulation amount/value: • [None found](#)

Floor above basement/crawlspace air/vapor barrier: • None found

Observations and Recommendations

ATTIC/ROOF \ Insulation

29. Condition: • [Amount inadequate](#)

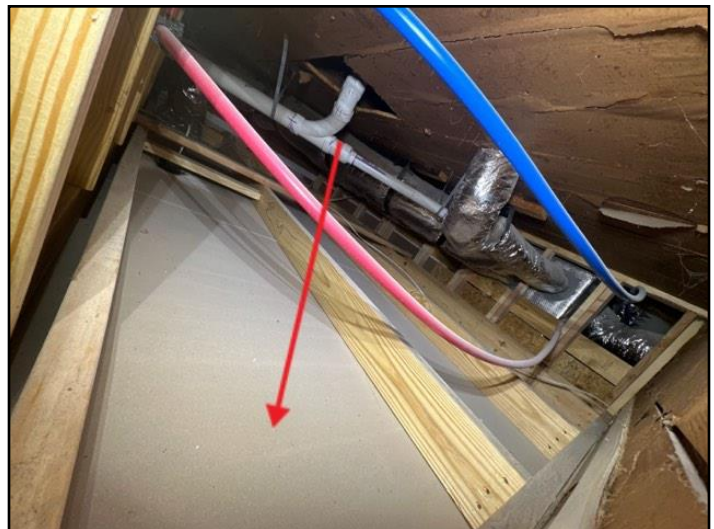
Missing insulation, recommend a professional, licensed insulation expert make repairs and install the proper amount of insulation

Implication(s): Increased heating and cooling costs

Location: Various locations throughout the attic



67. Amount inadequate



68. Amount inadequate

INSULATION AND VENTILATION

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



69. Amount inadequate



70. Amount inadequate



71. Amount inadequate



72. Amount inadequate

ATTIC/ROOF \ Roof vents

30. Condition: • [Missing](#)

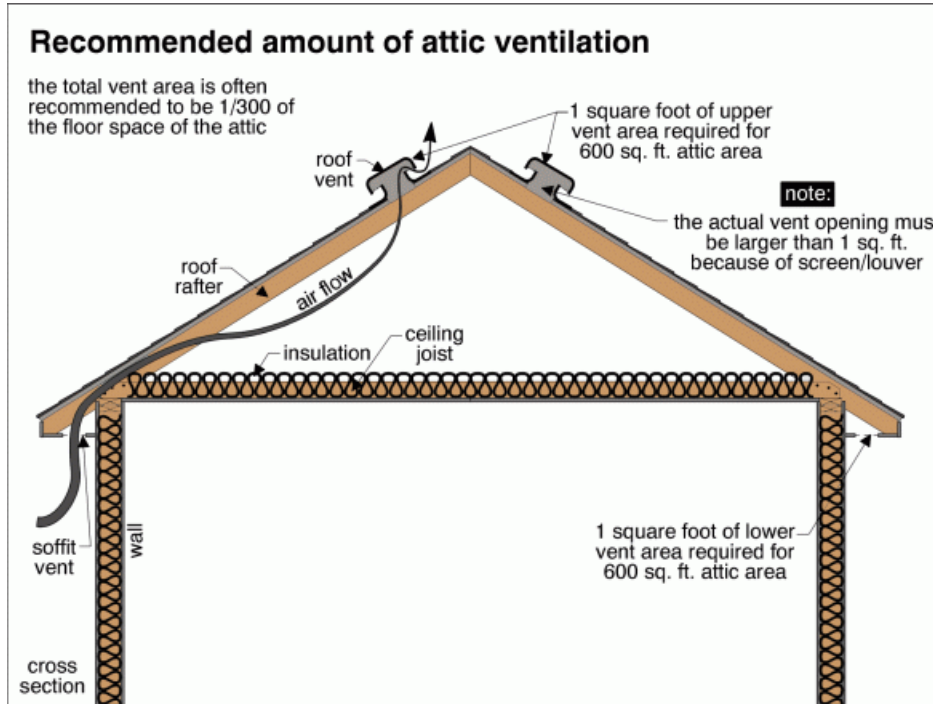
Missing eave and attic ventilation, Recommend a professional licensed HVAC contractor further evaluate and make

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

required repairs.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Throughout



73. Missing

Inspection Methods and Limitations

Attic inspection performed: • By entering attic, but access was limited

Roof space inspection performed: • By entering space, but access was limited

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Description

Location of water meter: • Front near street

Location of Main water supply valve: • Meter

Static water pressure reading:

• [80 psi](#)



74. 80 psi

Type of supply piping material: • Copper • PEX

Type of drain piping material: • Plastic

Water Heating Energy Source: • [Electric](#)

Water Heating Capacity: • [40 gallons](#)

Location of gas meter: • Not present

Type of gas distribution piping material: • Not present

Water supply source (based on observed evidence): • Public

Supply piping in building: • [Copper](#) • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Meter

Water heater type:

• Tank



75. Tank

Water heater location: • Hall closet

Water heater fuel/energy source: • [Electric](#)

Water heater manufacturer: • Rheem

Water heater tank capacity:

• [40 gallons](#)

- SUMMARY
 - ROOFING
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76. 40 gallons

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [Plastic](#)

Floor drain location: • None

Main gas shut off valve location: • No gas appliances, visible

Observations and Recommendations

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

31. Condition: • [Damage](#)

Recommend a professional, licensed plumber make repairs

Implication(s): Leakage | Equipment inoperative

Location: Exterior front

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



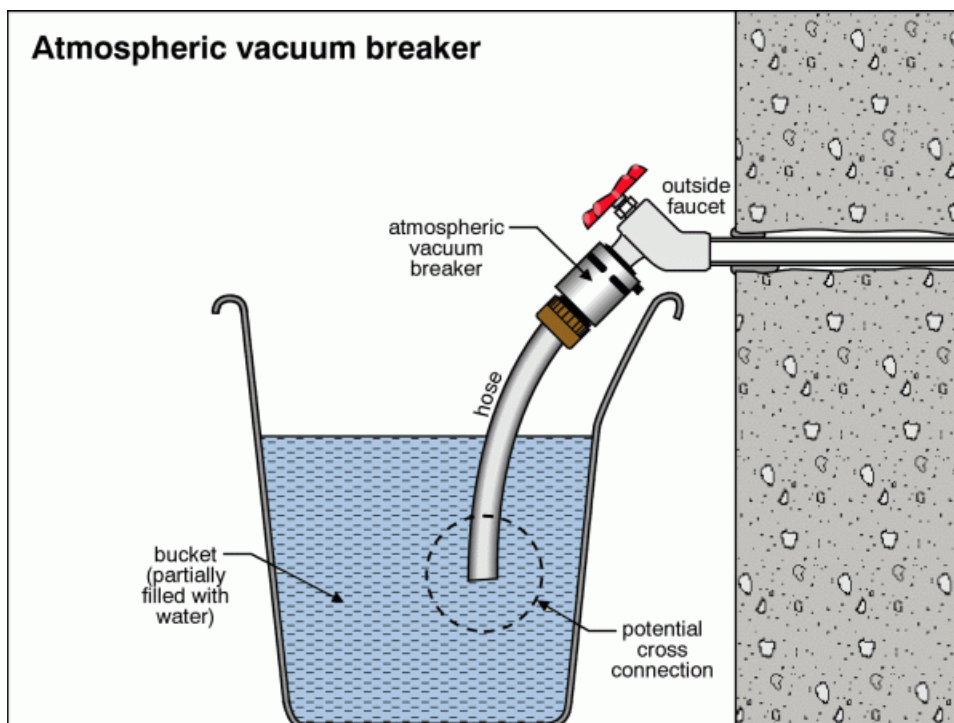
77. Damage

32. Condition: • [Backflow prevention missing](#)

Recommend a professional, licensed plumber, install a hose bib anti-siphon device

Implication(s): Contaminated drinking water

Location: Exterior front/exterior rear





78. Backflow prevention missing

FIXTURES AND FAUCETS \ Shower stall

33. Condition: • [Grout loose, missing or deteriorated](#)

Recommend a professional licensed contractor make repairs

Implication(s): Chance of water damage to structure, finishes and contents

Location: Second-floor bathroom



79. Grout loose, missing or deteriorated

FIXTURES AND FAUCETS \ Toilet

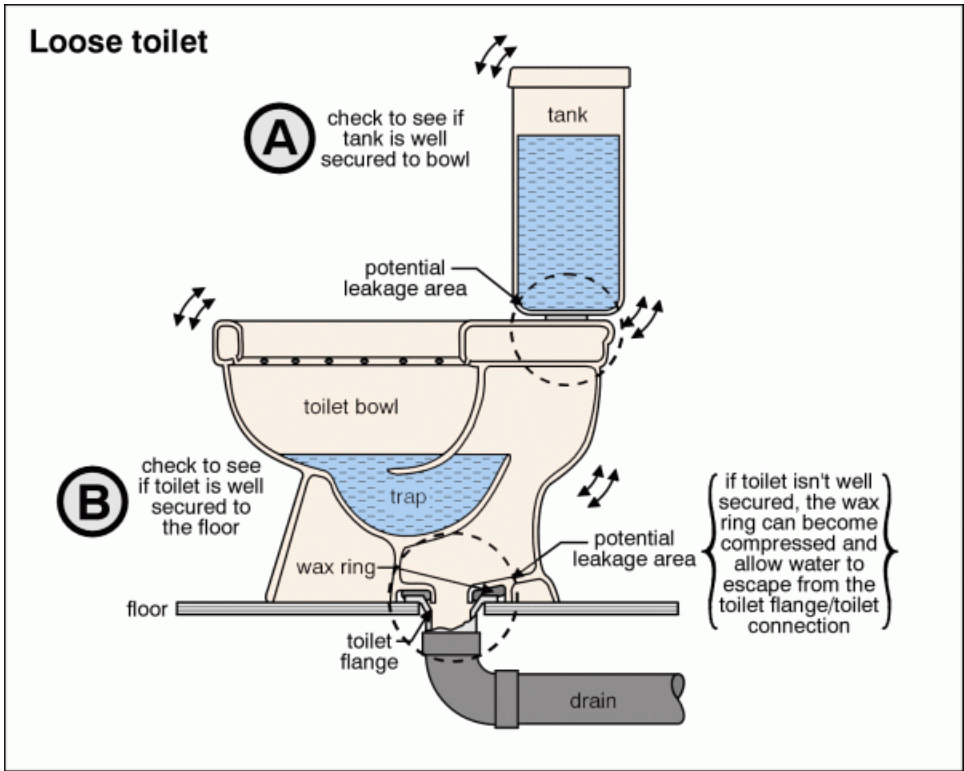
34. Condition: • [Loose](#)

Toilet loose at base, recommend a professional licensed plumber make repairs

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: Second-floor hallway bath

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



80. Loose

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inspection Methods and Limitations

Inspection limited/prevented by: • All verification of plumbing piping material is only verified at typical termination points, such as under the sink, attic etc. This inspection is non-invasive.

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • The performance of floor drains or clothes washing machine drains

Not included as part of a building inspection: • Washing machine connections • Wells, well pumps, and water storage related equipment • Water conditioning systems • Fire extinguishers and sprinkler systems

- SUMMARY
 - ROOFING
 - EXTERIOR
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Description

Major floor finishes: • [Carpet](#) • Vinyl • Tile
 Major wall and ceiling finishes: • [Plaster/drywall](#)
 Windows: • [Single/double hung](#)
 Exterior doors - type/material: • Hinged • [Wood](#)

Observations and Recommendations

CEILING AND WALLS \ General notes

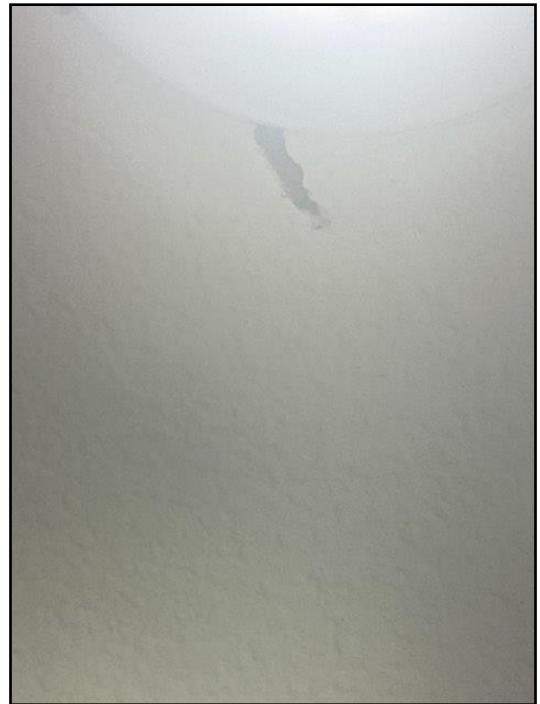
35. Condition: • Typical minor flaws

Some typical minor flaws located throughout the home, overall the interior looks clean and has a nice new paint job recommend touchup repairs

Location: Various locations



81. Typical minor flaws



82. Typical minor flaws

INTERIOR

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83. *Typical minor flaws*

WALLS \ General notes

36. Condition: • Damage

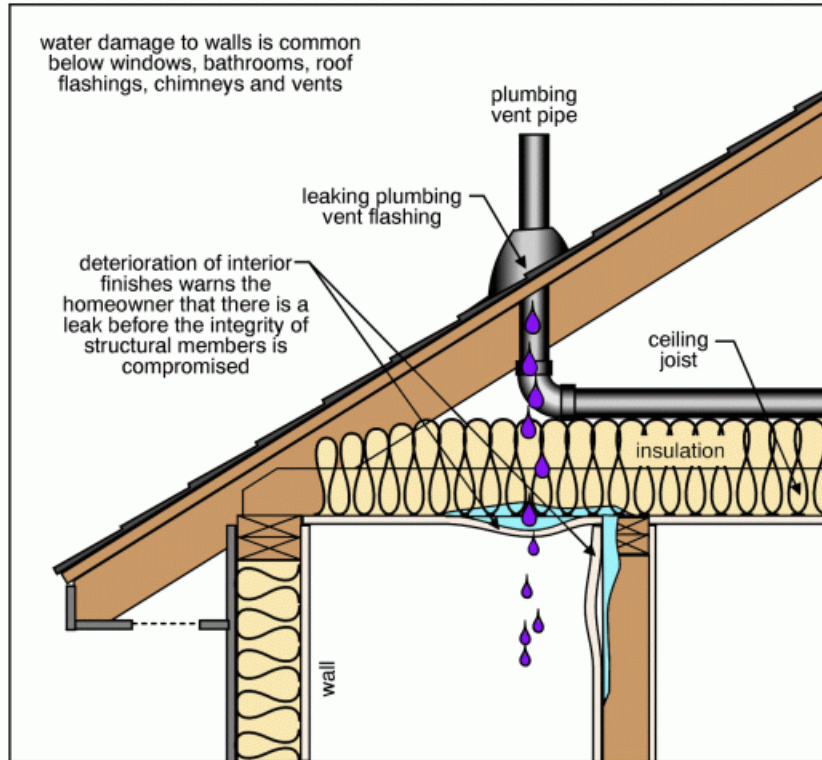
Recommend a professional licensed contractor make repairs

Implication(s): Damage or physical injury due to falling materials

Location: Second-floor east bedroom

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								

Common locations for water damage



84. Damage

- SUMMARY
- ROOFING
- EXTERIOR
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- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- SITE INFO
- REFERENCE

WINDOWS \ Glass (glazing)

37. **Condition:** • No issues noted

WINDOWS \ Sill height

38. **Condition:** • Recommend installing window safety locks due to a potential fall hazard with small children or people

Implication(s): Fall hazard, especially for small children

Location: Second floor



85.

DOORS \ Hardware

39. **Condition:** • [Inoperable](#)

Doorhandle does not latch recommend repair

Implication(s): System inoperative or difficult to operate

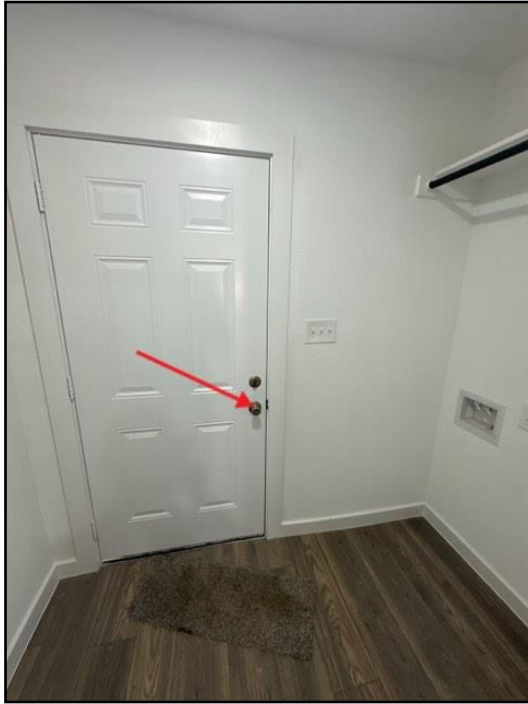
Location: Rear door/second-floor east bedroom closet/

INTERIOR

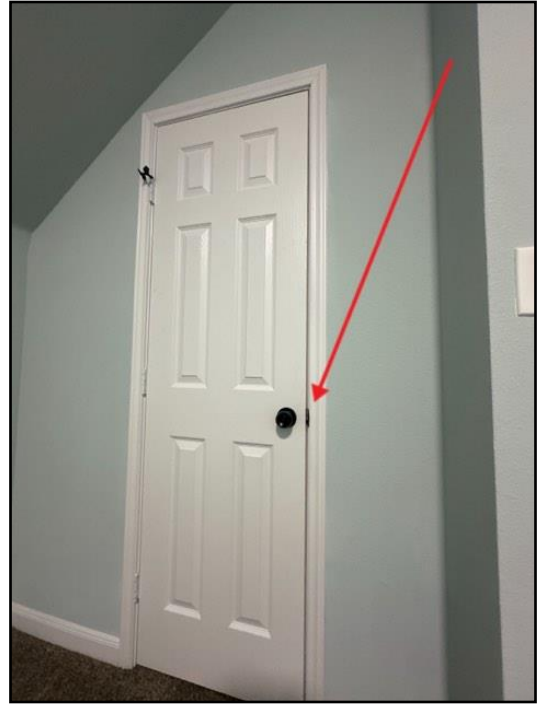
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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	REFERENCE								



86. Inoperable



87. Inoperable

DOORS \ Interior trim

40. Condition: • [Doorstops missing or ineffective](#)

Recommend installing doorstops

Implication(s): Chance of damage to finishes

Location: First floor hallway bath/



88. Doorstops missing or ineffective

STAIRS \ Spindles or balusters

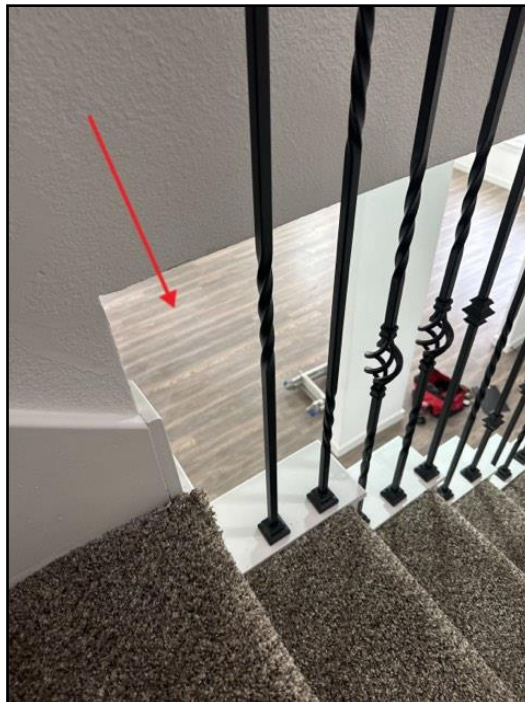
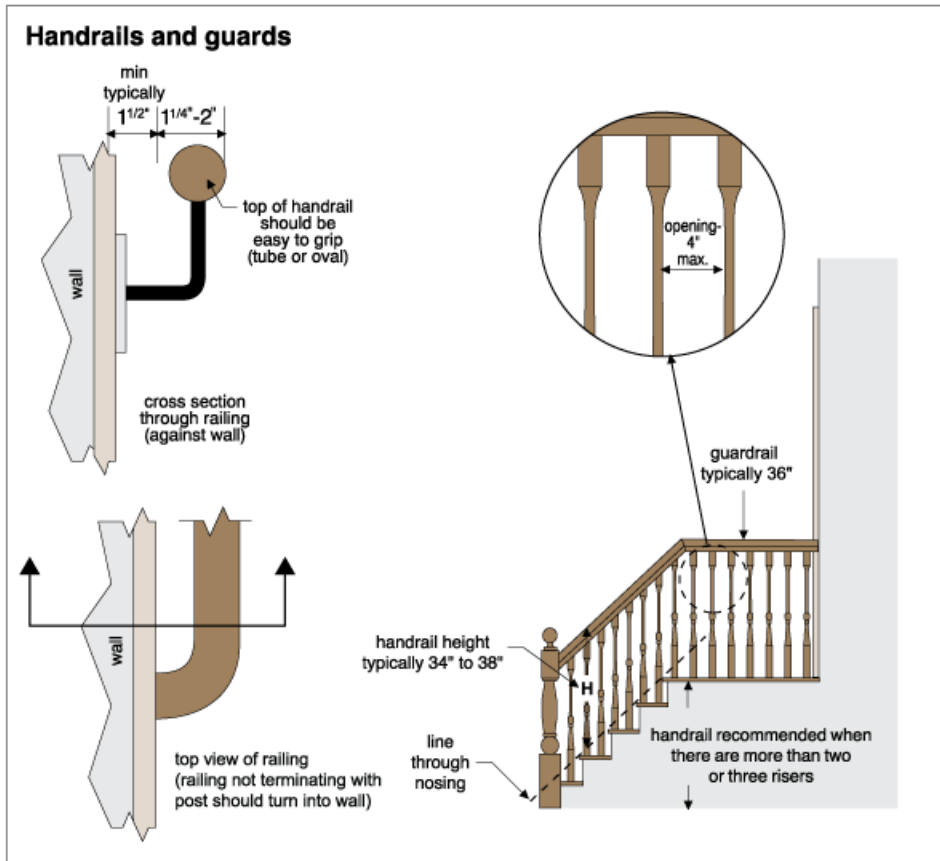
41. Condition: • [Too far apart](#)

Stair spindles too far apart at the top of the stairs, this can present a hazard for small children falling or getting their head stuck in between them, recommend a professional licensed contractor make repairs

Implication(s): Fall hazard

Location: Top of stairs

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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89. Too far apart

EXHAUST FANS \ Duct

42. Condition: • [Not vented to exterior](#)

Recommend a professional licensed contractor, make repairs on exhaust vent

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic



90. Not vented to exterior

GARAGE \ Walls and ceilings

43. Condition: • blank note

GARAGE \ Door between garage and living space

44. Condition: • blank note

APPLIANCES \ Oven

45. Condition: • Anti-tipping device missing

No oven anti-tipping device installed. This can present a hazard when children stand on the oven door and the oven flips over on them, recommend a professional licensed contract to make repairs.

Implication(s): Physical injury

Location: Kitchen



91. *Anti-tipping device missing*

FIRE EGRESS/ESCAPE \ General notes

46. **Condition:** • No issues noted

Inspection Methods and Limitations

Inspection limited/prevented by: • New finishes/paint

Not included as part of a building inspection: • Security systems and intercoms • Central vacuum systems • Cosmetic issues • Perimeter drainage tile around foundation, if any • Decorative items • Aesthetics or quality of finishes • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos • Paint, wallpaper, and other finishes • Vermin • The property/land in not inspected.

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

SITE INFO

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SUMMARY

ROOFING

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Description

Weather: • Partly cloudy

Approximate temperature: • 64°

Attendees: • Buyer arrived late

Access to home provided by: • Lockbox

Occupancy: • There was no one home during the inspection.

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 10:00 a.m.

Approximate inspection End time: • The inspection ended at 1:00 p.m.

Approximate age of home: • 70 to 75 years

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS