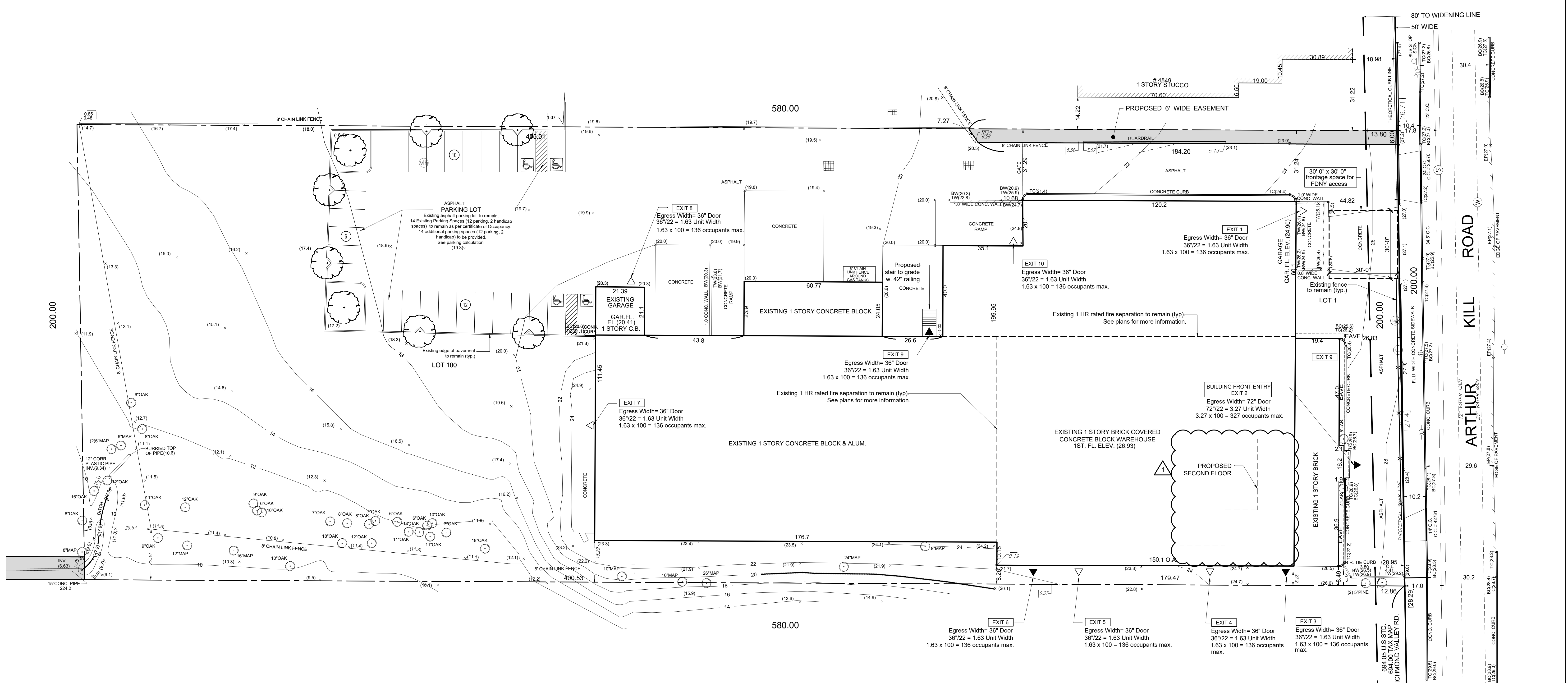


No.	Revisions	By	Date
1	DOB Objections 03/17/22	J.L.	03/29/22
2	DOB Objections 07/27/22	T.A.	07/27/22
3	PAA Rev 1	A.F.	10/04/22



**SITE PLAN**  
SCALE: 1" = 20'

**AMENDED**  
10/25/2022

NOTE: NUMBER IN BRACKET REPRESENTS DOB REV. NO.  
The architect shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents. Always use dimensions as shown. Drawings are not to be scaled.

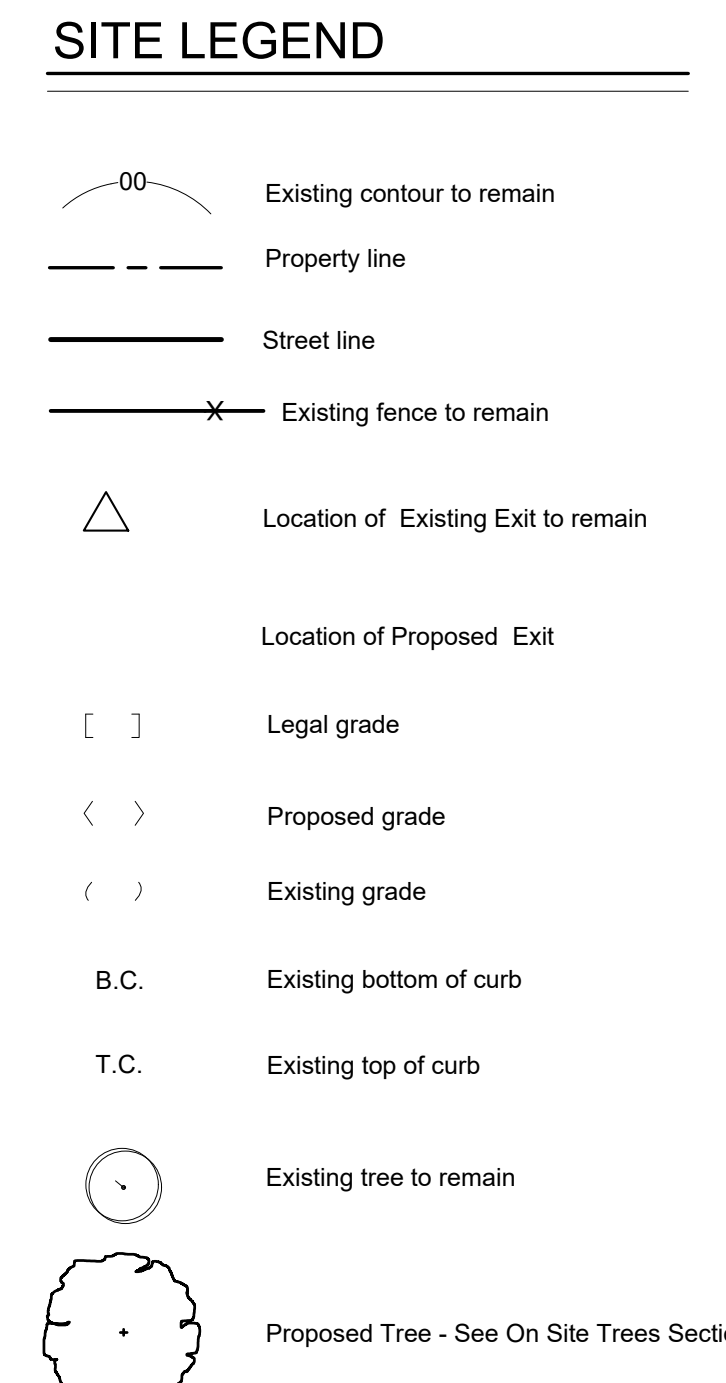
TR-1 Item 3 Special Inspection Categories	
(Required for all applications) ■ Indicates report required	
3A - Identification of Requirement	
Y N Special Inspections	Code / Section
Y	Structural Steel - Welding BC 1704.3.1
Y	Structural Steel - Details BC 1704.3.2
Y	Structural Steel - High Strength Bolting BC 1704.3.3
Y	Structural Cold-Formed Steel BC 1704.3.4
Y	Concrete - Cast-In-Place BC 1704.4
Y	Concrete - Precast BC 1704.4
Y	Concrete - Prestressed BC 1704.5
Y	Masonry BC 1704.5
Y	Wood - Installation of High-Load Diaphragms BC 1704.6.1
Y	Wood - Installation of Metal-Plate-Connected Trusses BC 1704.6.2
Y	Wood - Installation of Prefabricated I-Joists BC 1704.6.3
Y	Subgrade Inspections BC 1704.7.1
Y	Subsurface Conditions - Fill Placement & In-Place Density BC 1704.7.2 / BC 1704.7.3
Y	Subsurface Inspections (Building Borings Test Pit) TR4 BC 1704.7.4
Y	Subsurface Inspections (Drywell Borings) BC 1704.7.4
Y	Deep Foundation Elements ■ TR5 BC 1704.8
Y	Helical Piles (BB # 2014-020) ■ TRSH BC 1704.8.5
Y	Vertical Masonry Foundation Elements BC 1704.9
Y	Wall Panels, Curtain Walls, and Veneers ■ BC 1704.10
Y	Sprayed Fire-Resistant Materials BC 1704.11
Y	Mastic and Intumescent Fire-Resistant Coatings BC 1704.12
Y	Exterior Insulation Finish Systems (EIFS) BC 1704.13
Y	Alternative Materials - OTCR Buildings Bulletin # BC 1704.14
Y	Smoke Control Systems BC 1704.15
Y	Mechanical Systems BC 1704.16
Y	Fuel-Oil Storage and Fuel-Oil Piping Systems BC 1704.17
Y	High-Pressure Steam Piping (Welding) BC 1704.18
Y	High Temperature Hot Water Piping (Welding) BC 1704.18
Y	High Temperature Fuel-Gas Piping (Welding) BC 1704.19
Y	Structural Stability - Existing Buildings BC 1704.20.1
Y	Excavations - Sheeting, Shoring, and Bracing BC 1704.20.2
Y	Underpinning BC 1704.20.3 / BC 1814
Y	Mechanical Demolition BC 1704.20.4
Y	Raising and Moving of a Building BC 1704.20.5
Y	Soil Percolation Test-Private On-Site ■ BC 1704.21.1
Y	Storm Water Drainage Disposal Systems, and Detention Facilities BC 1704.21.2
Y	Private On-Site Storm Water Drainage Disposal Systems, and Detention Facilities Installation BC 1704.21.2
Y	Individual On-Site Private Sewage Disposal Systems Installation BC 1704.22
Y	Soil Percolation Test-Individual On-Site ■ BC 1704.22
Y	Private Sewage Disposal Systems BC 1704.22
Y	Sprinkler Systems BC 1704.23
Y	Standpipe Systems BC 1704.24
Y	Heating Systems BC 1704.25
Y	Chimneys BC 1704.26
Y	Fire-Resistant Penetrations & Joints BC 1704.27
Y	Aluminum Welding BC 1704.28
Y	Flood Zone Compliance (attach FEMA elevation/ dry floodproofing certificate where applicable) BC 1704.29
Y	G105 BC 1704.29
Y	Luminous Egress Path Markings ■ TR7 BC 1704.30 / BC 1024.8
Y	Emergency and Standby Power Systems (Generators) BC 1704.31
Y	Post-Installed Anchors (BSI 2014-016, 2014-019) BC 1704.32
Y	Seismic Isolation Systems BC 1707.6
Y	Concrete Design Mix ■ TR3 BC 1905.3 / BC 1913.5
Y	Concrete Sampling and Testing ■ TR2 BC 1905.6 / BC 1913.10

TR-1 Item 4 Progress Inspection Categories	
(Required for all applications) ■ Indicates report required	
4A - Identification of Requirement	
Y N Progress Inspections	Code / Section
Y	Preliminary 28-116.2.1, BC 110.2
Y	Footing and Foundation BC 110.3.1
Y	Lowest Floor Elevation BC 110.3.2
Y	Structural Wood Frame BC 110.3.3
Y	Energy Code Compliance Inspections ■ TR8 BC 110.3.5
Y	Fire-Resistance Rated Construction BC 110.3.4
Y	Public Assembly Emergency Lighting 28-116.2.2 BC 110.5
Y	Final* Directive 14 of 1975, and 1 RCNY §01-10

**TR-8 Item 3 Energy Code Progress Inspection**  
SEE ENERGY CODE SHEET EN-001

**ENERGY ANALYSIS FOR CLIMATE ZONE 4**  
SEE ENERGY CODE SHEET EN-001

- ### SITE PLAN NOTES
- Site plan, including any and all subsurface information, has been prepared based on survey provided by licensed surveyor. Information shown has been placed on the drawings for schematic purposes only and is not guaranteed as to accuracy or completeness. Before the commencement of any excavation, the contractor shall notify the departments and utility companies of the proposed work and request that the particular lines be marked by the company or agency having jurisdiction. This should be done by providing the affected utility with the notice referred to in the state of new york industrial code 53.
  - The contractor shall locate and identify all existing utilities and service lines in and around project site and take adequate measures to safeguard the public and property before such utilities are disturbed. Contractor shall make all necessary arrangements with utility companies or city agencies at least seventy-two hours in advance of removing, relocating, interrupting, or otherwise disturbing utilities.
  - Proposed construction will not have any effect on existing structures or surface facilities located on adjacent lots.
  - Owner/builder of the referenced property state that work done under this application will have no adverse effect on any surrounding properties concerning storm water drainage. Moreover, he will be responsible to make certain that while the work is being done, the surrounding properties will be protected from storm water drainage.
  - Final survey to show grades at all points where proposed grades are shown on plan.
  - The contractor shall provide a construction fence in accordance with the rules and regulations of any and all agencies having jurisdiction, along the perimeter of the project site not protected by a sidewalk shed or adjacent building walls to remain.
  - Construction inspector to be notified to verify completion of flatwork before final survey is taken.
  - Owners structural engineer shall certify stability & integrity of soil, adjacent buildings, & foundations prior to any construction.
  - This is to certify that there are no streams nor natural watercourses on this property.
  - Building address numbers shall be provided so as to comply with section fc505 "premises identification", of the new york city fire code.
  - Contractor shall check and verify all dimensions, sizes, & conditions before commencement of any work. All discrepancies shall be reported to the architect.



### DRAWING LIST

A-001	SITE PLAN
A-100	FLOOR PLANS
A-200	ELEVATIONS
EN-001	ENERGY CODE SHEET

### SURVEY INFO

WOHL & OMARA, L.L.P. Civil Engineers and Land Surveyors  
544 Vanderbilt Avenue Staten Island, NY 10304  
ph: 718-448-7456  
Lot 1 Surveyed: December 6, 2007  
Lot 100 Surveyed: March 10, 2008  
Drawn: March 17th, 2008

### BUILDER'S PAVING PLAN NOTE

As per Directive 9 of 1972 the total proposed construction cost is less than 30% of the building value therefore a paving plan is not required.

### STORM WATER DRAINAGE NOTE

No increase in existing impervious surface (section 1101.2.1 plumbing code)  
Whenever an alteration increase in impervious surface on the lot to a greater than 20% of the impervious surfaces existing when the structure was constructed, such impervious surface shall drain into storm sewer system or a combined sewer system or to an approved place of disposal  
No increase in impervious area, therefore no change to existing drainage system.

### STREET TREES CALCULATIONS

No increase in floor area, therefore Street trees are not required As per Sec 43-02 Z.R.

### ON SITE TREES

As per ZR section 107-483, One tree, of three inch caliper or more, pre-existing or newly planted, shall be provided for each four parking spaces. Such trees may be located in the perimeter landscaped area of the parking area or in planting islands within the parking area.  
28 parking spaces / 4 = 7 trees required.  
7 proposed trees provided at parking lot perimeter, therefore ok.  
For developments in Residential Districts, trees provided in accordance with the provisions of this Section may be counted for the purposes of meeting the requirements of Section 107-322, paragraph (a). Furthermore, for developments in Commercial or Manufacturing Districts which provide trees in accordance with the provisions of this Section, the requirements of Section 107-322, paragraph (a), shall not apply.

### SPRINKLER NOTE

Existing Building is fully sprinklered as per existing C of O #500773923F

### SCOPE OF WORK

- Change in use from U.G. 16 to U.G. 10A and occupancy group from B-2 to D-2 to existing building.
- Modified path of egress travel
- Added fire rated construction at interior corridor along path of egress travel at business occupancy.
- Added toilet rooms as req'd.
- Removal of existing loading dock & openings patched as req'd
- Added proposed egress doors to exterior walls.
- As per 1968 C.C.
- Added Television Stage Filming w/o spectators.
- Combine 3 multiple building sections into one building & change Construction Class from D-1 to D
- Added second floor, added second means of egress.

### ZONING DATA

ADDRESS 4865 Arthur Kill Road  
BLOCK 7626  
TAX LOTS 1 & 100  
MAP NUMBER 326  
ZONING DISTRICT M11-1  
USE GROUP 10A  
PARKING CATEGORY D  
OCCUPANCY GROUP D-2 (1968 B.C.), F-2 (2014 B.C.) E (1968 B.C.), B (2014 B.C.)  
CONSTRUCTION CLASS I-D (1968 B.C.)  
EXISTING C of O #500773923F

### SPECIAL DISTRICTS

NATURAL AREA Outside  
SOUTH RICHMOND Inside  
HILLSIDE SRD Coastal Zone, Waterfront Block  
FIRE DISTRICT Outside  
WETLANDS Outside  
FLOOD HAZARD Outside  
PARK STREET Outside  
D.O.S. Outside

### ZONING CALCULATIONS

Lot Area 115,973 SF  
Max. F.A.R. = 1.0 as per ZR 43-12  
Existing Floor Area Proposed Floor Area Total  
First Floor 41,522 SF 0 SF 41,522 SF  
Second Floor 0 SF 1,400 SF 1,400 SF  
Total 41,522 SF 1,400 SF 42,922 SF  
F.A.R. = 42,922 / 115,973 = 0.37 < 1.0 - OK

### PARKING CALCULATION

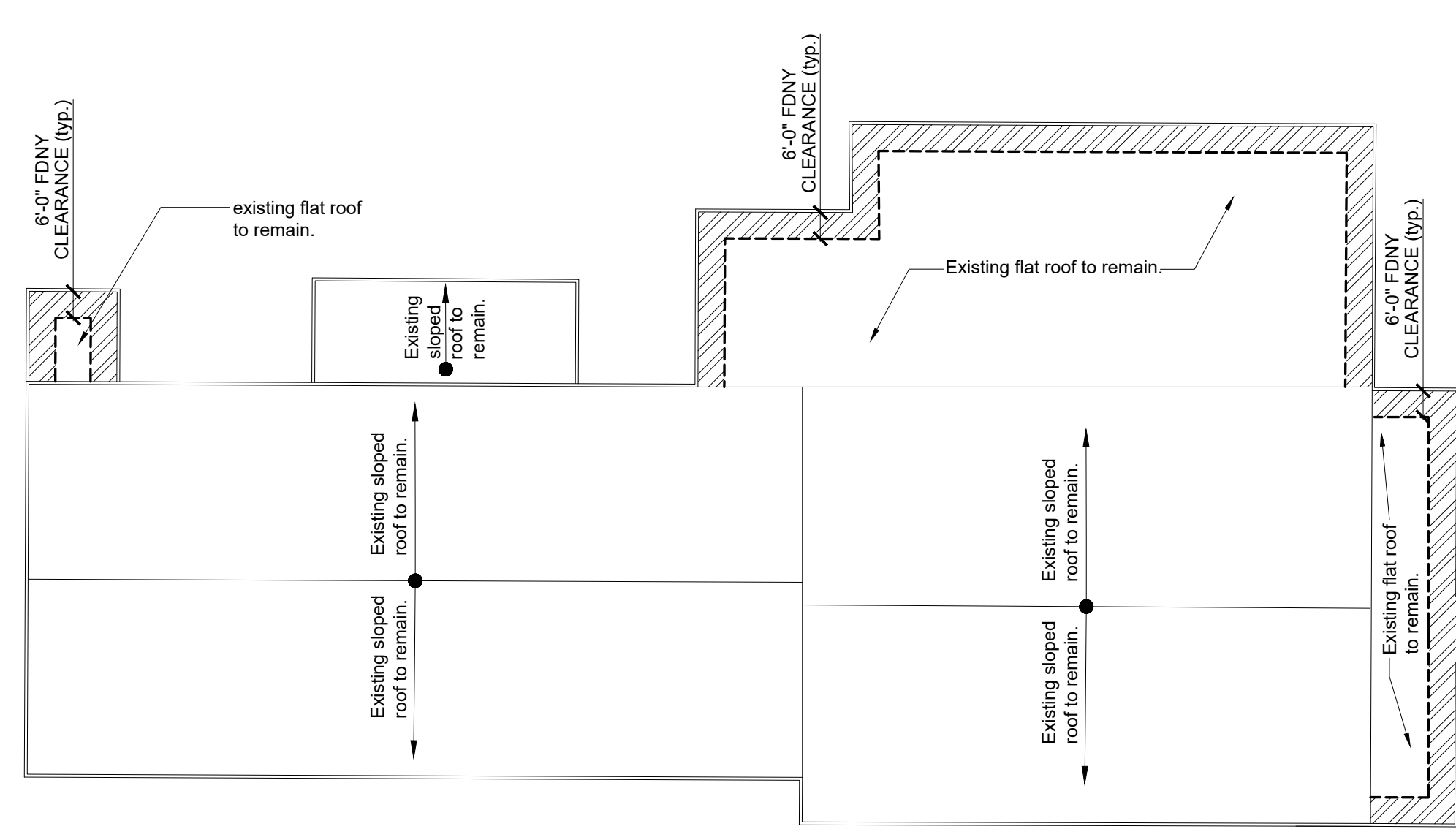
As per ZR 44-21, for Use Group 10 in PRC-D, the number of required parking spaces is equal to 1 per 8 persons rated capacity  
Number of Occupants = 199 (See occupant load calculation)  
199 / 8 = 25 = (25) required parking spaces.  
14 Existing parking spaces per certificate of occupancy.  
11 Required parking spaces provided + 3 voluntary parking spaces provided.  
Total 28 parking spaces provided.

DOB Examiner stamp: [Signature]  
DOB Approved: [Signature]  
Mary Shenoda APPROVED  
Date: 10/25/2022  
B-Scan job slider: S00672007-P1

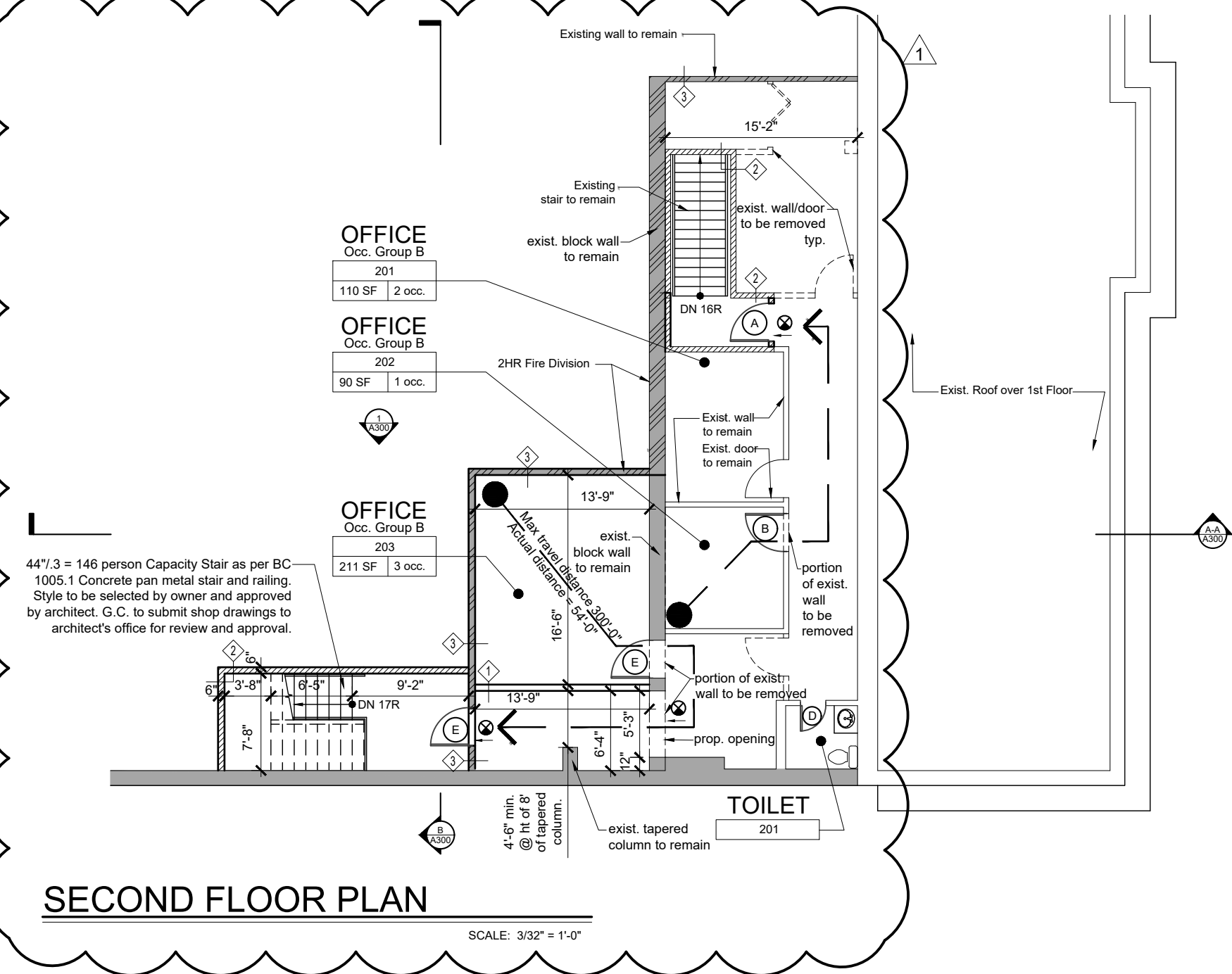
**rampulla** associates architects, I.I.P.  
155 3rd Street Staten Island, New York 10306  
718 987-1310 fax 718 987-1565 www.rampulla.net

project title:  
**4865 ARTHUR KILL ROAD**

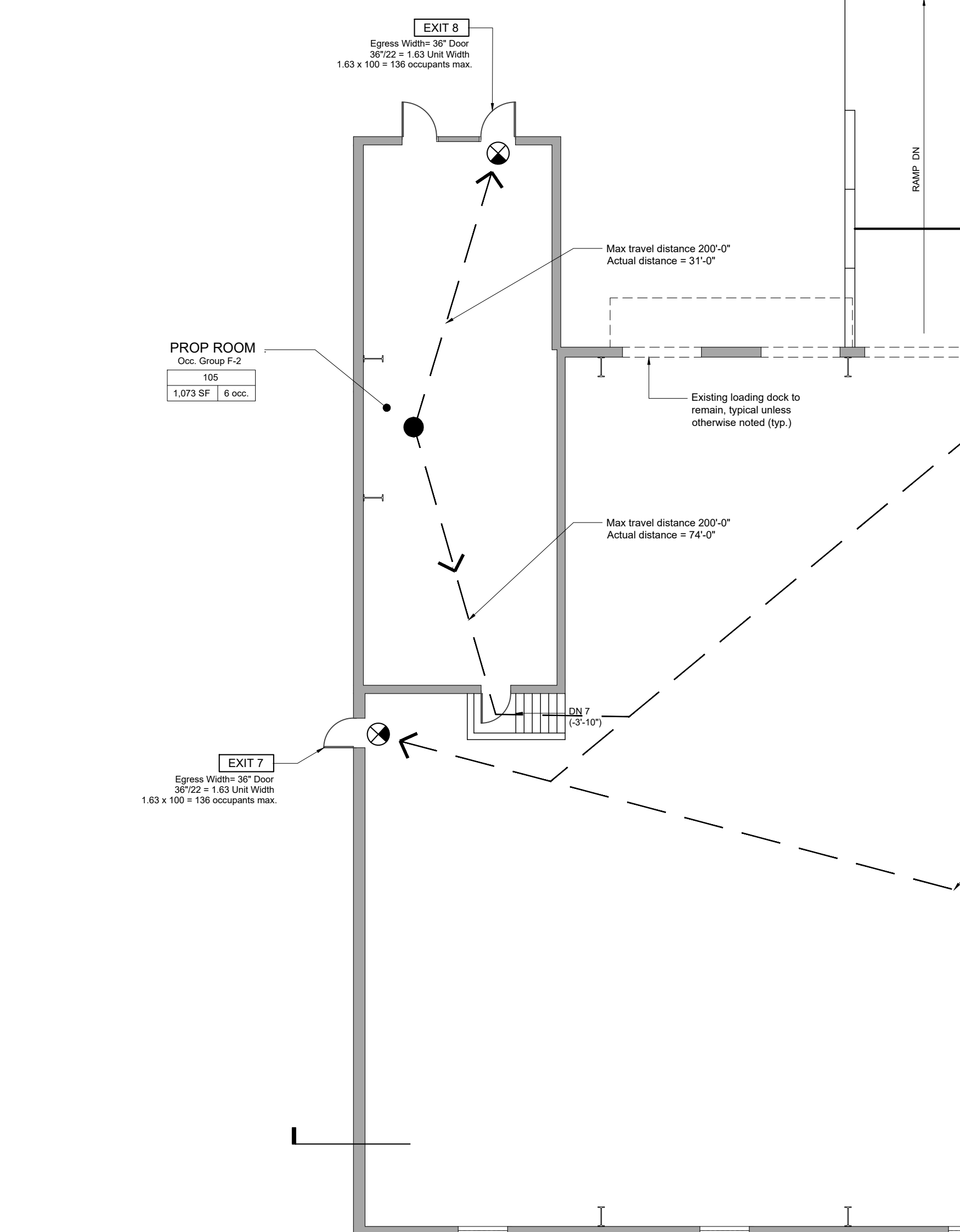
drawing title:  
**SITE PLAN**  
date: 12.16.2021  
project #: 21-030  
drawn by: TA  
checked by: JO  
scale: (A-001.01)  
file #: 1 of 5



ROOF PLAN  
SCALE: 1/32" = 1'-0"

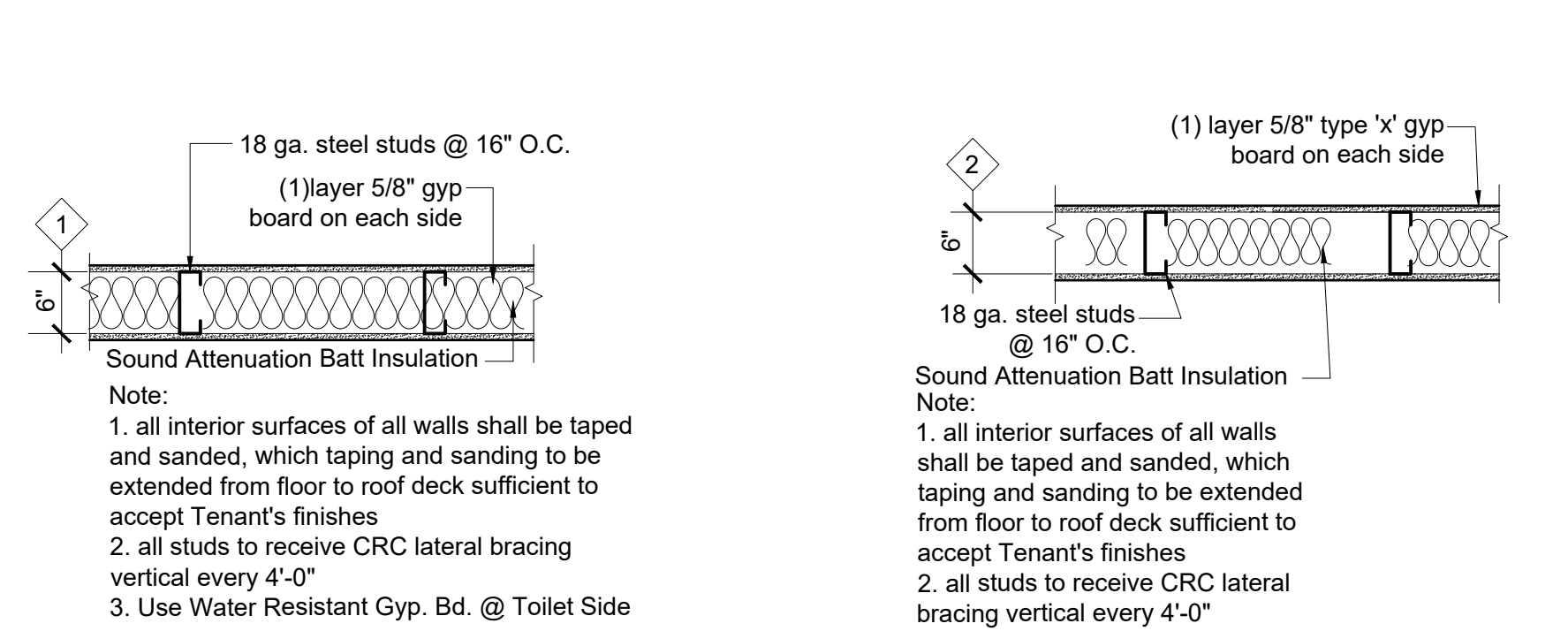


SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"

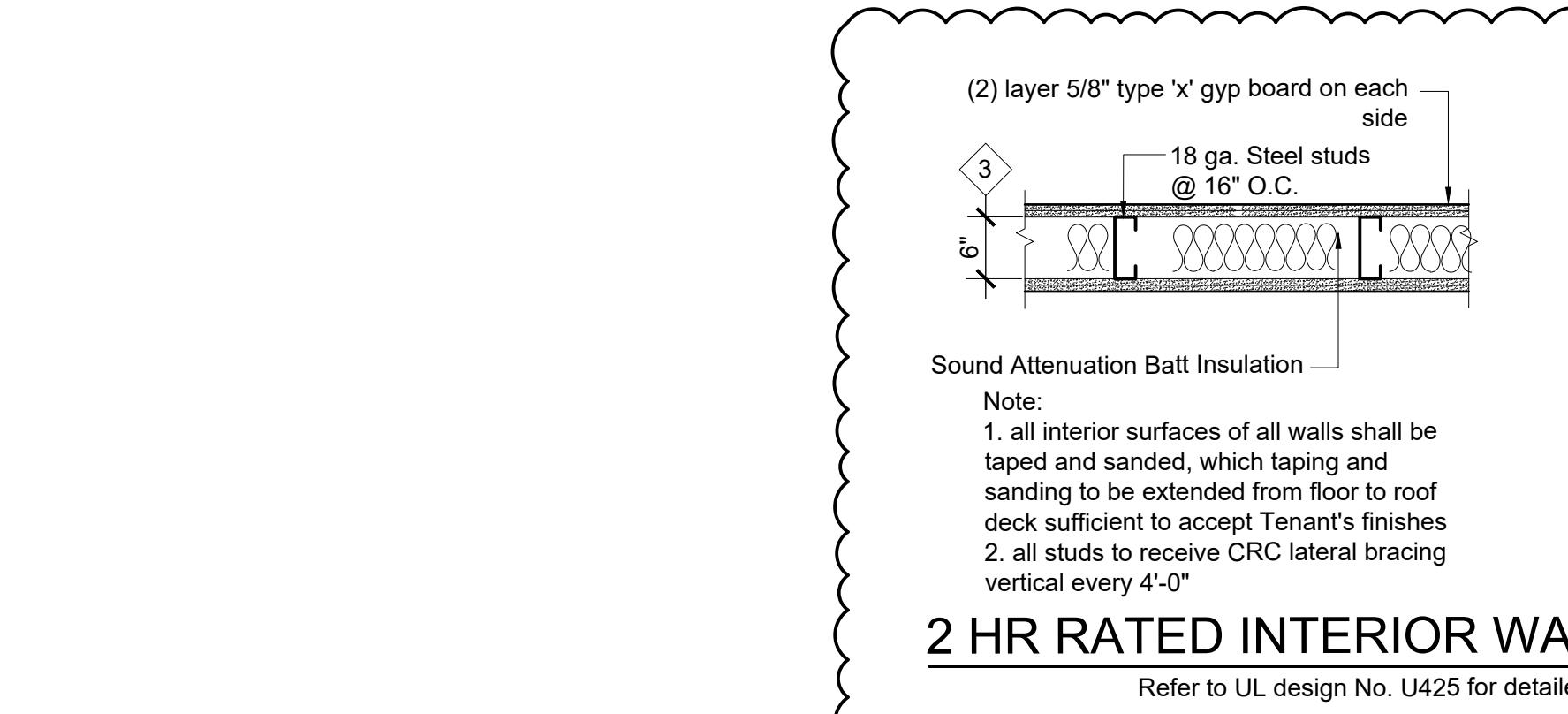


**WALL LEGEND**

	Existing wall to remain		Prop. 1 hr rated steel stud partition w. (1) layer 5/8" type 'X' gypsum board each side		Prop. 2 hr rated exterior partition to match existing construction
	non-rated steel stud partition (see wall/partition type on sheet A400 for wall assembly)		Existing 2 hr rated wall construction to remain		Existing 1 hr rated fire separation to remain
	Existing partition to be removed		Proposed bearing wall, see wall tag for more information		Illuminated exit sign
			2HR rated fire division.		



NON RATED INTERIOR WALL 1 HR RATED INTERIOR WALL  
Refer to UL design No. U465 for detailed info.



2 HR RATED INTERIOR WALL  
Refer to UL design No. U425 for detailed info.

OCCUPANT LOAD CALCULATION TABLE (TABLE 6-2, 1968 CODE)

Room Name	Room Number	Occupancy	Max. SF per Occupant	* Room Area	NUMBER OF OCCUPANTS
Stage - 2	102	Industrial Shop	200 sf/Occupant	16,230.0 sf	81 occ.
Stage - 1	101	Industrial Shop	200 sf/Occupant	8,654.0 sf	44 occ.
<b>Total Stage</b>					<b>116 occ.</b>
Shop Room	103	Industrial Shop	200 sf/Occupant	5,066.0 sf	26 occ.
Shop Room	104	Industrial Shop	200 sf/Occupant	1,366.0 sf	7 occ.
Prop. Room	105	Industrial Shop	200 sf/Occupant	1,073.0 sf	6 occ.
Shop Room	107	Industrial Shop	200 sf/Occupant	660.0 sf	4 occ.
Shop Room	108	Industrial Shop	200 sf/Occupant	421.0 sf	5 occ.
Shop Room	115	Industrial Shop	200 sf/Occupant	3,846.0 sf	20 occ.
<b>Total Shop Room</b>					<b>68 occ.</b>
Office	109	Office	100 sf/Occupant	96.0 sf	2 occ.
Office	110	Office	100 sf/Occupant	96.0 sf	1 occ.
Office	111	Office	100 sf/Occupant	96.0 sf	1 occ.
Office	112	Office	100 sf/Occupant	184.0 sf	1 occ.
Office	113	Office	100 sf/Occupant	95.0 sf	1 occ.
Office	114	Office	100 sf/Occupant	259.0 sf	3 occ.
Office	201	Office	100 sf/Occupant	110.0 sf	2 occ.
Office	202	Office	100 sf/Occupant	90.0 sf	1 occ.
Office	203	Office	100 sf/Occupant	211.0 sf	3 occ.
<b>Total Office</b>					<b>15 occ.</b>
<b>TOTAL NUMBER OF OCCUPANTS = 208</b>					

\* All room areas indicated are net square footage. As per BC, net square footage is defined as "the horizontal occupiable area within the space, excluding the thickness of walls, and partitions, columns, furred-in spaces, fixed cabinets, equipment, and accessory spaces such as closets, machine and equipment rooms, toilets, stairs, halls, corridors, elevators and similar unoccupied spaces."

**PLUMBING CALCULATIONS**

OCCUPANCY GROUP	OCCUPANT LOAD	MINIMUM NUMBER OF PLUMBING FIXTURES					
		WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	OTHER
MEN	WOMEN	MEN	WOMEN				
Structures in which occupants are engaged in work fabricating, assembly, or processing of products or materials	208	1 per 100 occ	1 per 100 occ	1 per 100 occ	1 per 100 occ	1 per 400 occupants	1 service sink 1 emergency shower or wash station
		=1 water closet	=1 water closet	=2 lavatories	=2 lavatories	= 1 drinking fountains	

DOOR LEGEND

Refer to floor plan for location of keyed doors indicated below. If a door on the floor plan does not have a tag, this door is assumed to remain.

DOOR TAG	Door Dimensions W X H	Fire Rating	DOOR DESCRIPTION
A	3'-0" X 7'-0"	3/4 HR F.P.S.C.	Door to be selected by owner & approved by architect
B	3'-0" X 7'-0"	Non-rated	Door to be selected by owner & approved by architect
C	2'-4" X 7'-0"	3/4 HR F.P.S.C.	Door to be selected by owner & approved by architect
D	2'-0" X 7'-0"	3/4 HR F.P.S.C.	Door to be selected by owner & approved by architect
E	3'-0" X 7'-0"	1 1/2 HR F.P.S.C.	Proposed hollow metal door Max. U-Factor = 0.77 (NFRC 100) Max. Air Leakage = 0.20 cfm/sq ft in accordance with AAMA/WDMA/CSA 101/1 S.2/A400 or NFRC 400

DOOR NOTES

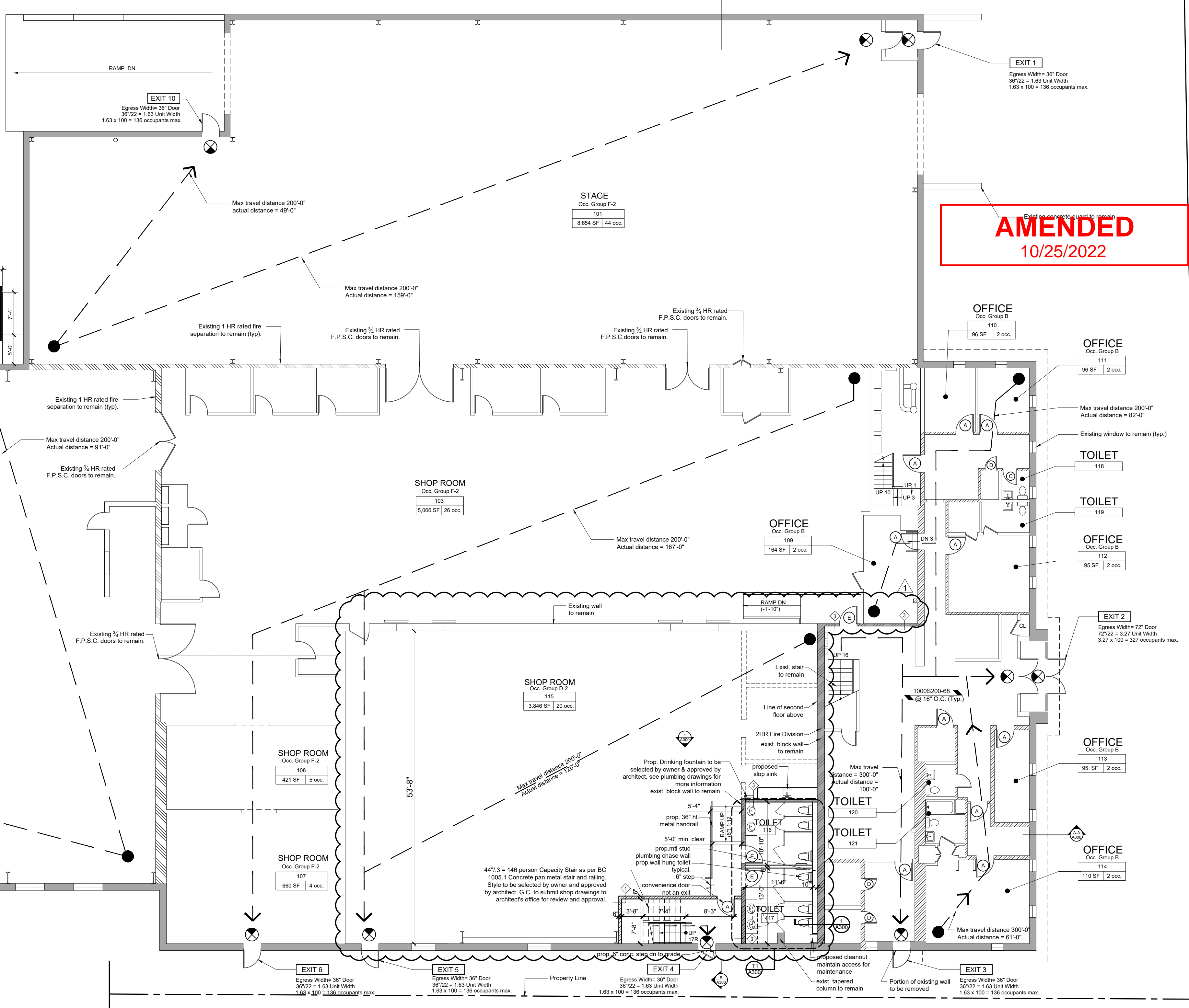
Hollow metal frames for new doors to be 16 ga. commercial grade cold rolled steel conforming to ASTM A366-68. Frames shall be custom made welded units with integral trim and backbands. Minimum depth of stops to be 5/8". Frames to be mortised, reinforced, drilled and tapped at the factory for fully template mortised hardware. Provide 18 ga. steel jamb anchors securely welded inside each jamb. Provide ceiling studs for fire rated frames as per ANSUL 63.

Hollow metal doors shall be made made of 18 ga. commercial grade cold rolled steel conforming to ASTM A366-68. Face sheets shall be stiffened using min. 22 ga. continuous vertical formed steel sections spanning the full thickness of the interior space between door faces. Minimum door thickness shall be 1 3/4". Doors shall be mortised, reinforced, drilled and tapped at the factory for fully template hardware.

Aluminum doors and windows to be as detailed and manufactured by REBCO, Inc., Paterson, NJ, or approved equal. Doors shall be similar to 3 1/2" medium stile door, series M. Sections shall be extruded 6063-T5 aluminum alloy or alloy suitable for special anodic finishing. Major tubular portions of door stiles and rails shall not be less than 1 1/2" in thickness and glazing moldings not less than .050" in thickness. Entrance units shall be complete factory assemblies including doors, frames, sashes, transoms, and hardware. Glazing of doors shall be of EPDM or vinyl tape and no screws shall be needed to secure glazing stops in place. All exposed surfaces including the edges of stiles shall be anodized in accordance with AAMA specification "Aluminum 204-R1" (.0004 min. coating thickness). All fasteners for push and pull hardware shall be stainless steel. Butt hinges shall be full mortise, non-ferrous ball bearing hinges. Hardware for aluminum entrance doors shall be furnished or installed in the door by the door manufacturer and shall include all of the following items as applicable: push-pull hardware, maximum security deadlocks with cylinders, flush bolts, center pivots, offset pivots, butt hinges, overhead closers

STRUCTURAL NOTE

Proposed structure designed under assumption that soil bearing capacity is 3000 psf. Contractor to verify soil bearing capacity in field.



FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"

No.	Revisions	By	Date
1	DoB Objections 03/17/22	J.L.	03/29/22
2	DoB Objections 07/27/22	T.A.	07/27/22
3	2nd story & Toilet Rm revisions	A.F.	08/31/22
4	PAA Rev 1	A.F.	10/04/22

NOTE: NUMBER IN BRACKET REPRESENTS DOB REV. NO.

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DOB Examined by:   
DOB Approved:   
Date: 10/25/2022

B-Scan job sticker:  
S00672007-P1

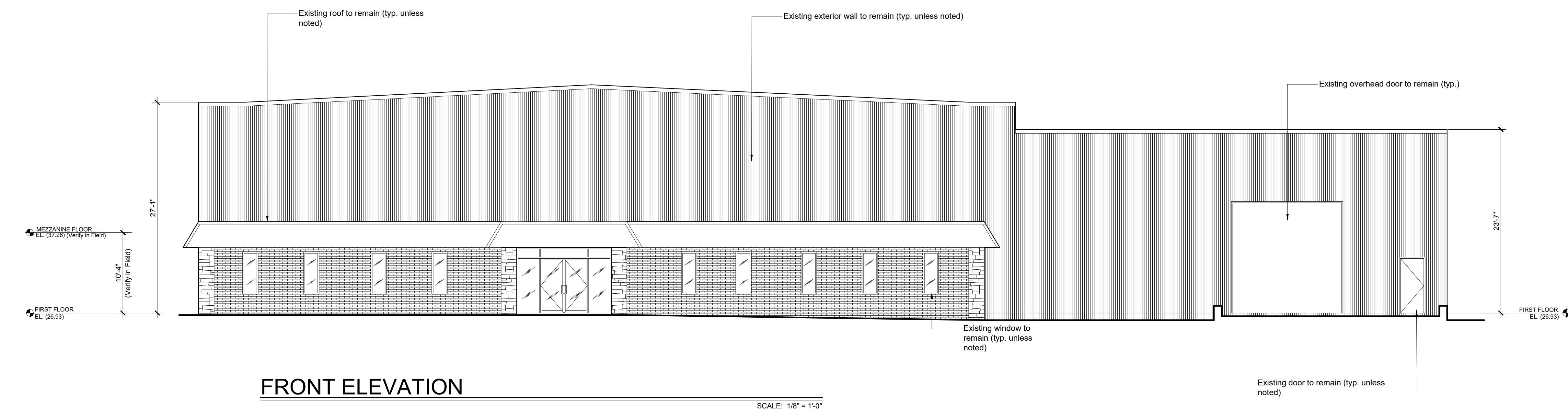
155 3rd Street Staten Island, New York 10306  
718 987-1310 fax 718 987-1565 www.rampulla.net

project title:  
4865 ARTHUR KILL ROAD

drawing title:  
FLOOR PLANS

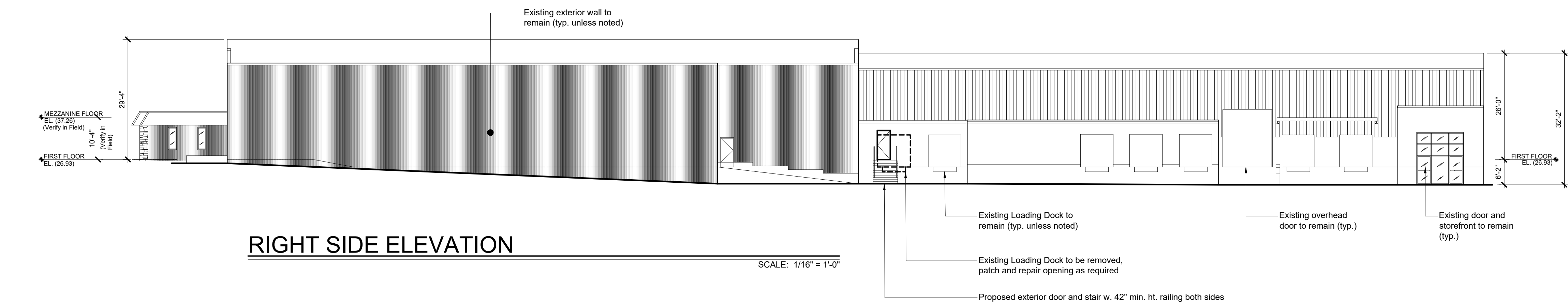
seal & signature:   
date: 12.16.2021  
proj # 21-030  
drawing by: TA  
checked by: JO  
file #: A-100.01  
2 of 5

No.	Revisions	By	Date
1	DOB Objections 03/17/22	J.L.	03/29/22
2	DOB Objections 07/27/22	T.A.	07/27/22



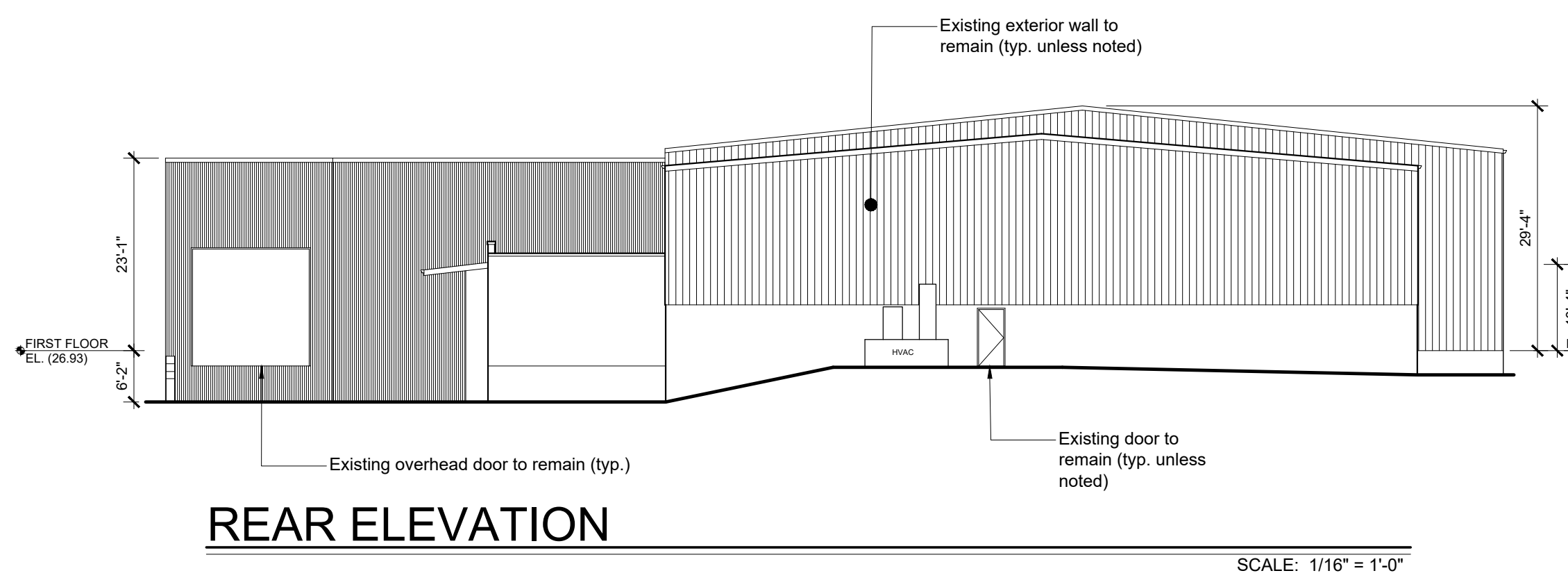
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



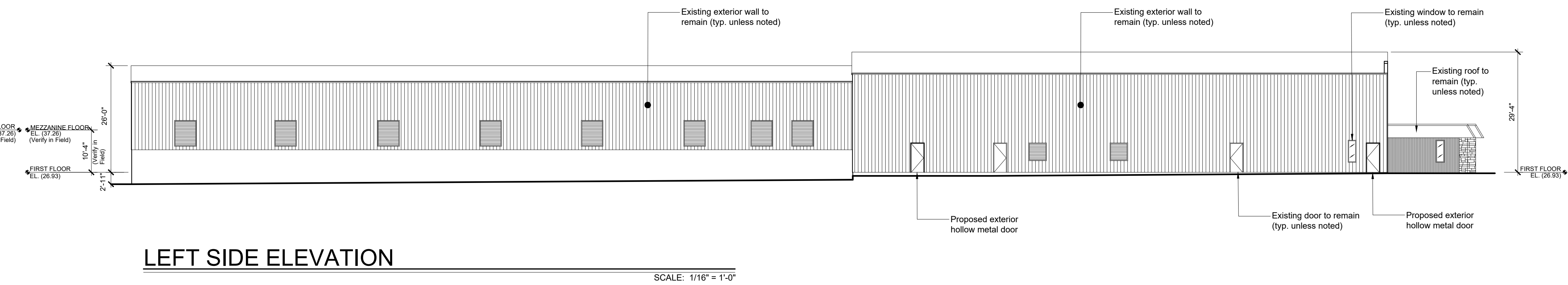
**RIGHT SIDE ELEVATION**

SCALE: 1/16" = 1'-0"



**REAR ELEVATION**

SCALE: 1/16" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/16" = 1'-0"

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DOB Examiner stamp:  
*Mary Shenoda*  
**Mary Shenoda APPROVED**  
Date: 08/02/2022  
DOB Approval:

DOB Job Number: S00672007-11

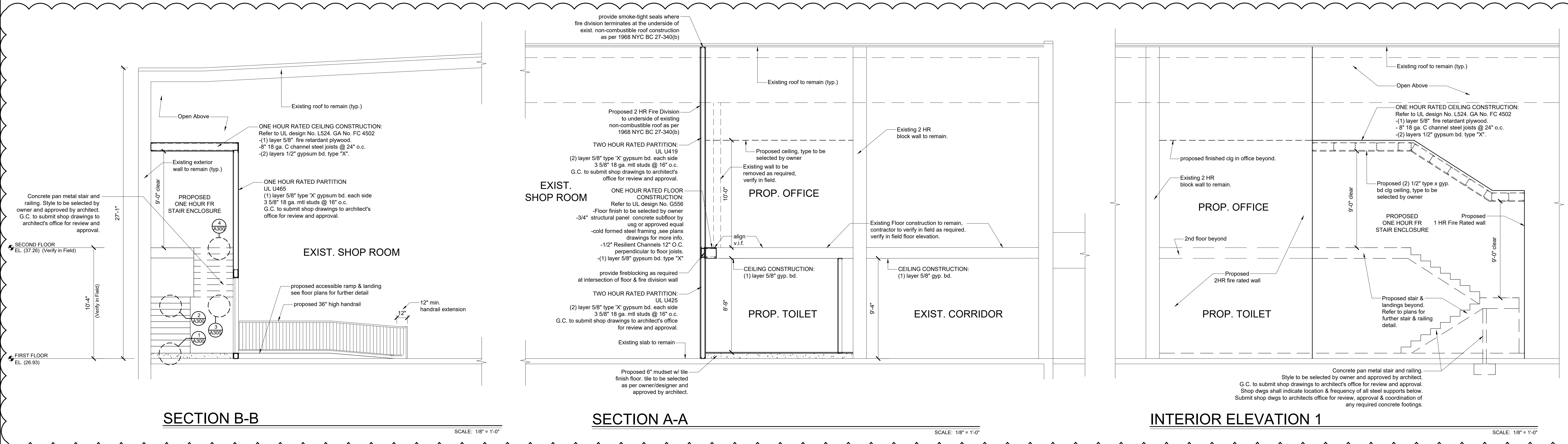
**rampulla associates architects, I.I.P.**  
155 3rd Street Staten Island, New York 10306  
718 987-1310 fax 718 987-1565 www.rampulla.net

Project title:  
**4865 ARTHUR KILL ROAD**

Drawing title:  
**ELEVATIONS**

seal & signature:  
*(Architect Seal)*  
date: 12.16.2021  
project #: 21-030  
drawing by: TA  
chk by: JO  
file #: A-200.00  
3 of 5

No.	Revisions	By	Date
1	DOB Objections 03/17/22	J.L.	03/29/22
2	DOB Objections 07/27/22	T.A.	07/27/22
3	2nd story & Toilet Rm revisions	A.F.	08/31/22
4	PAA Rev 1	A.F.	10/04/22



**LIGHT GAUGE METAL FRAMING NOTES**

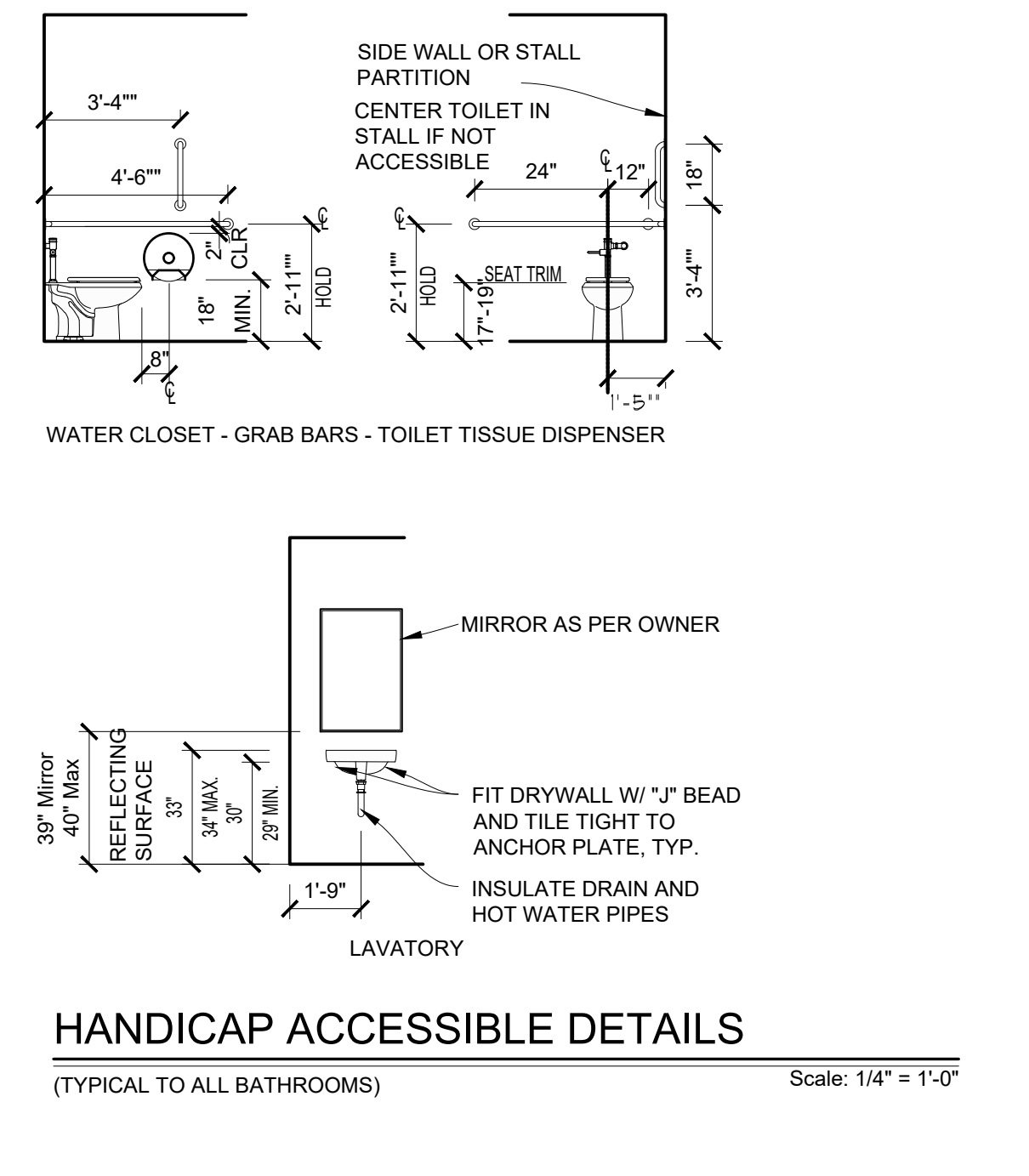
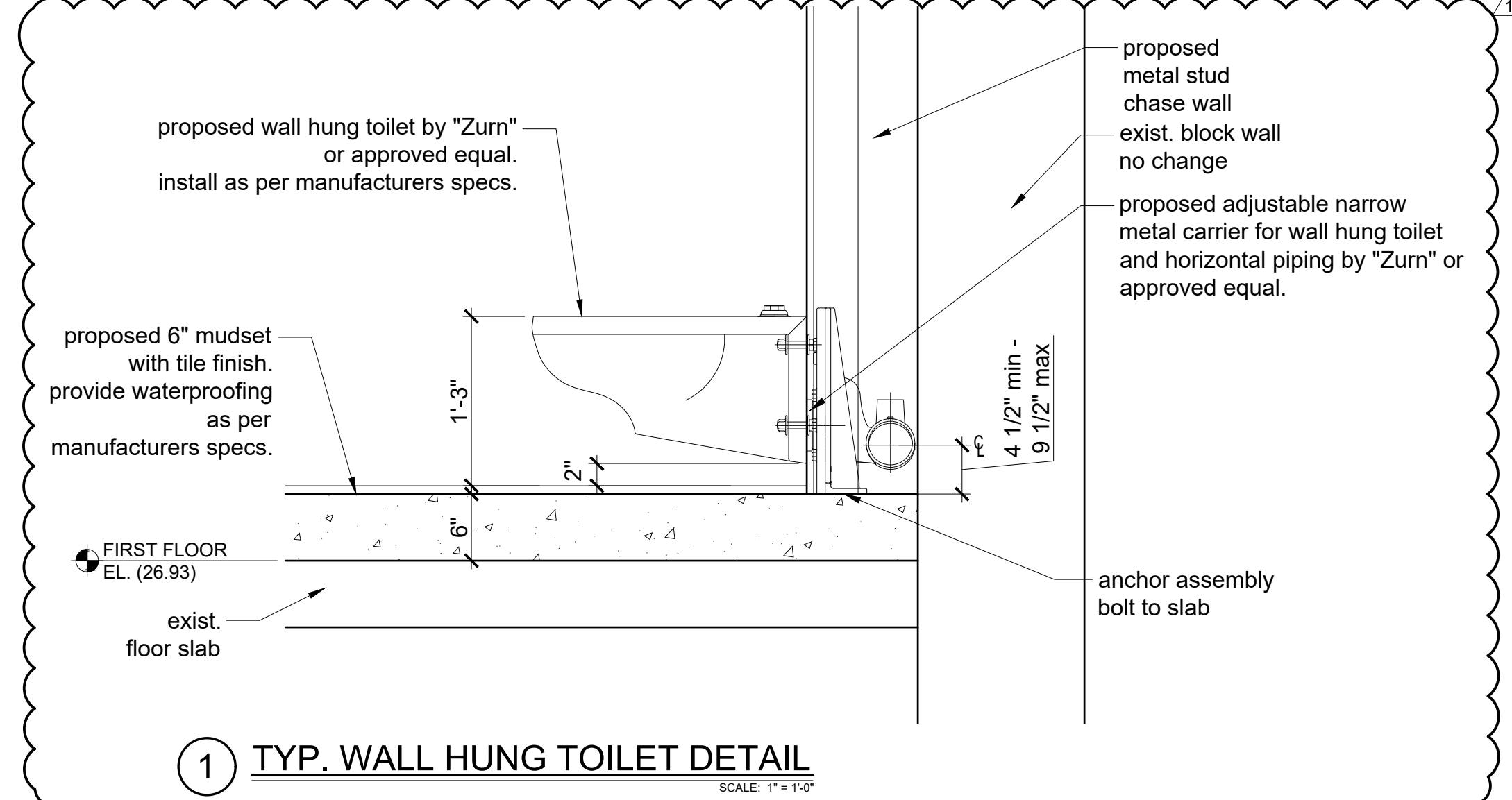
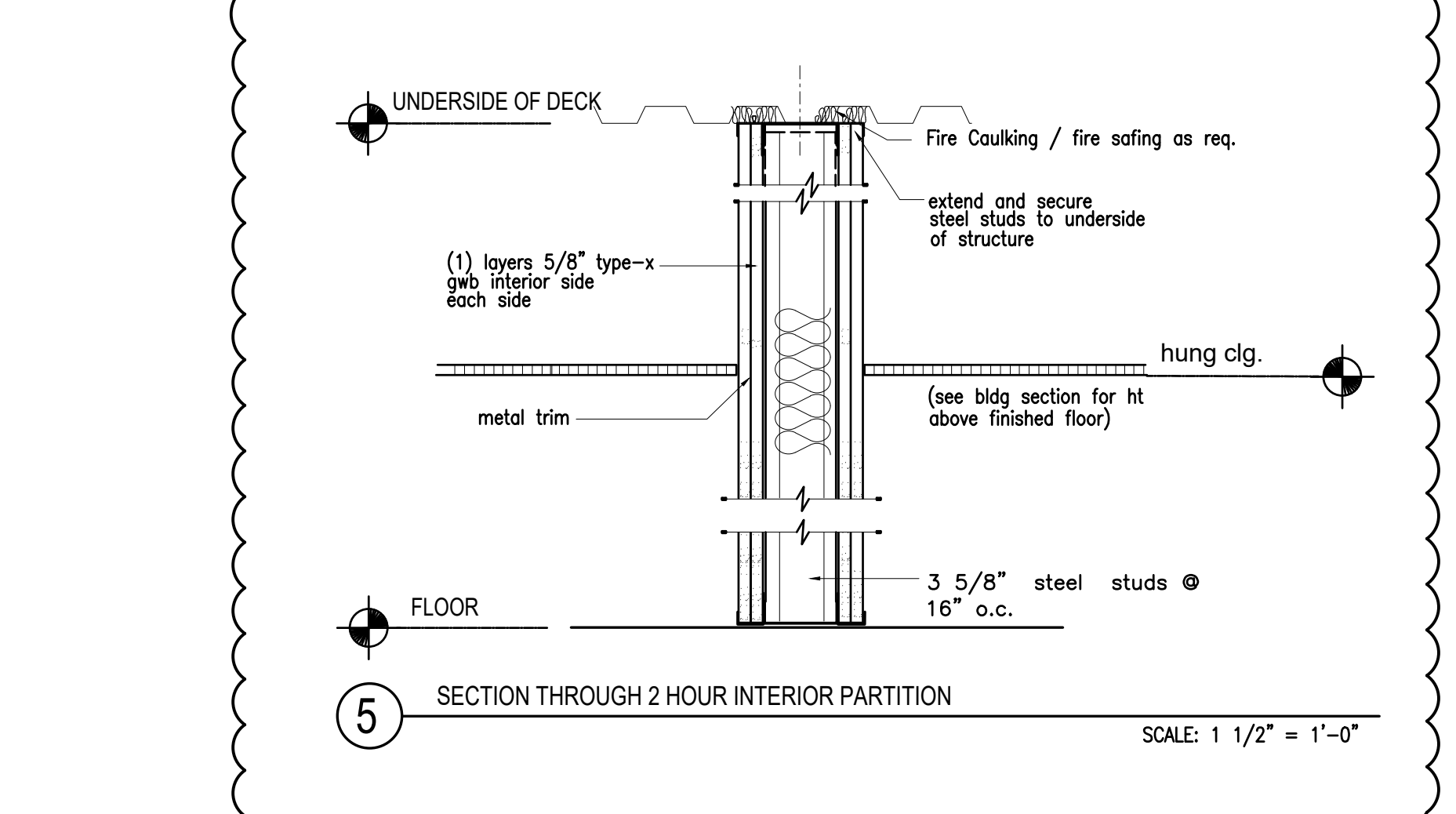
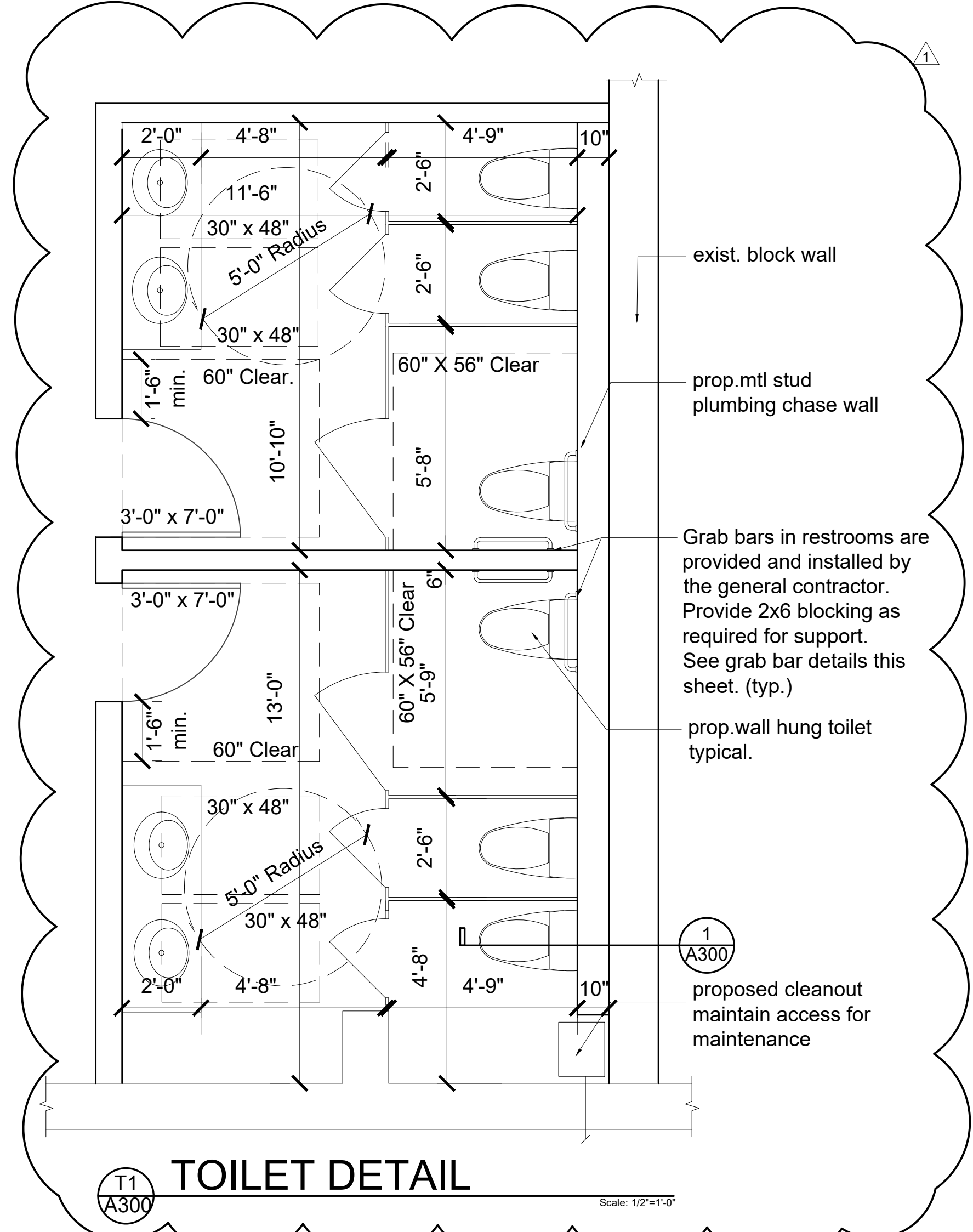
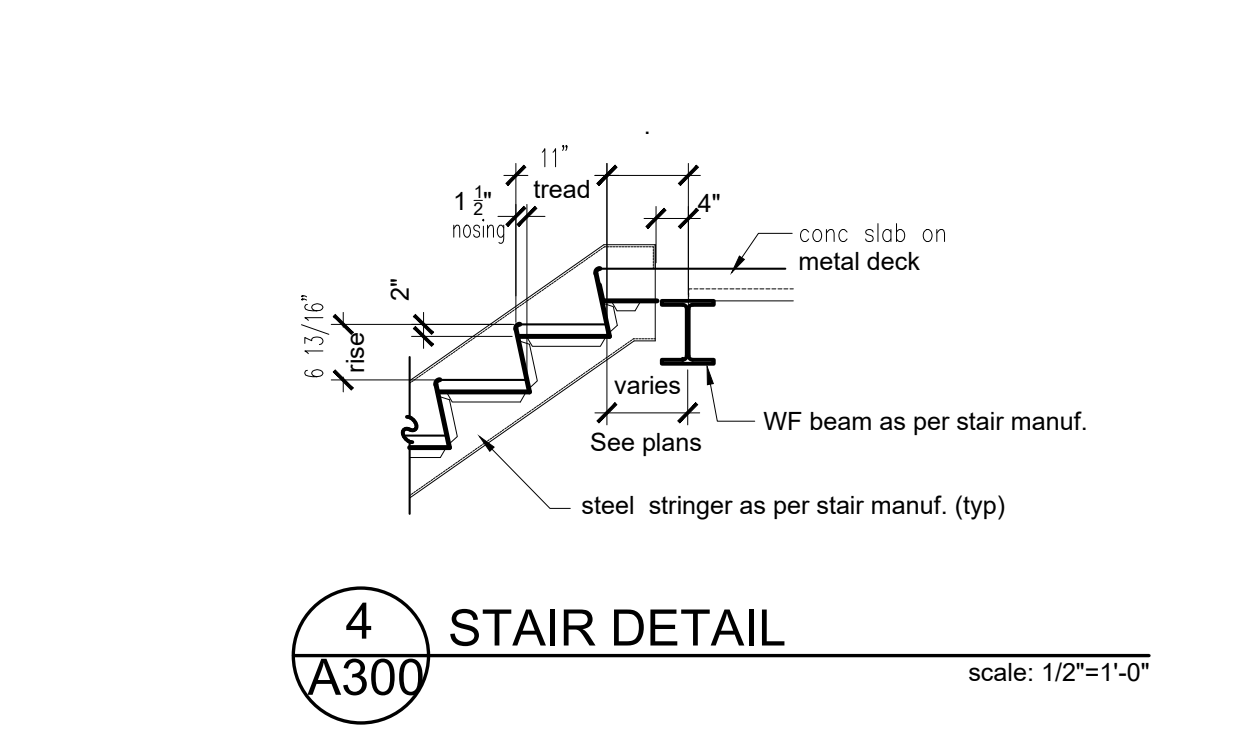
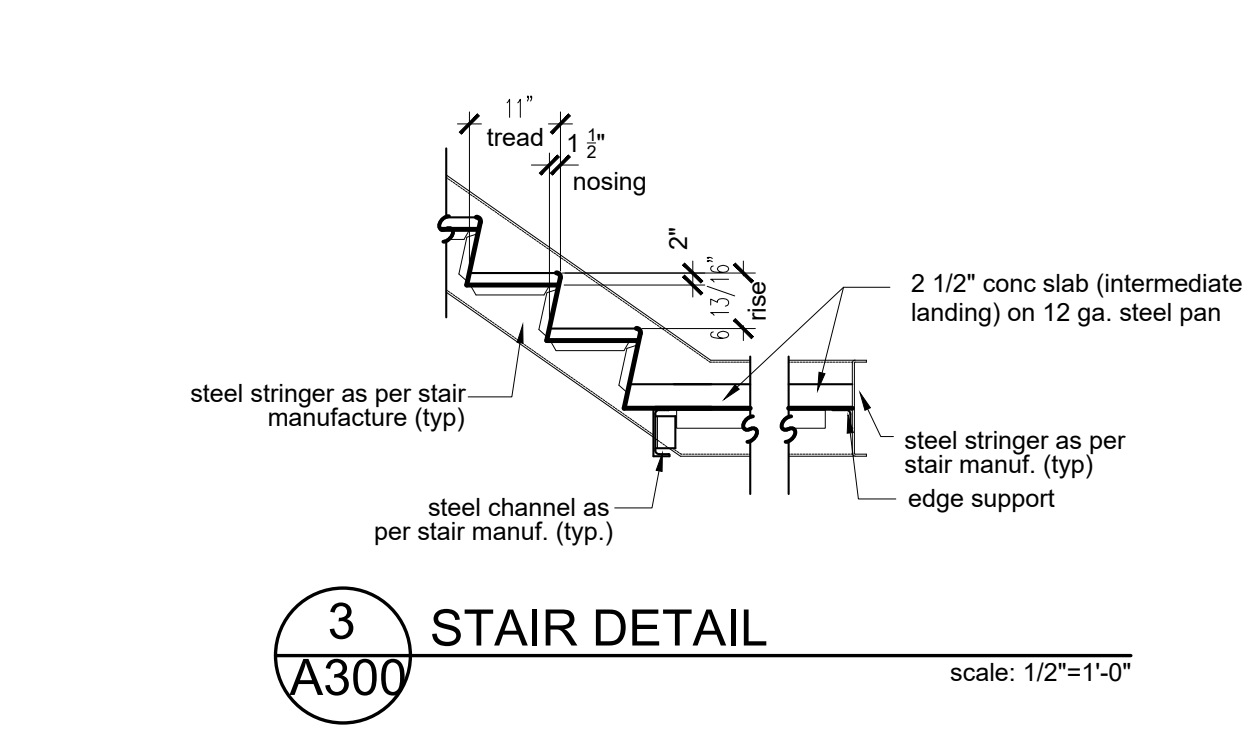
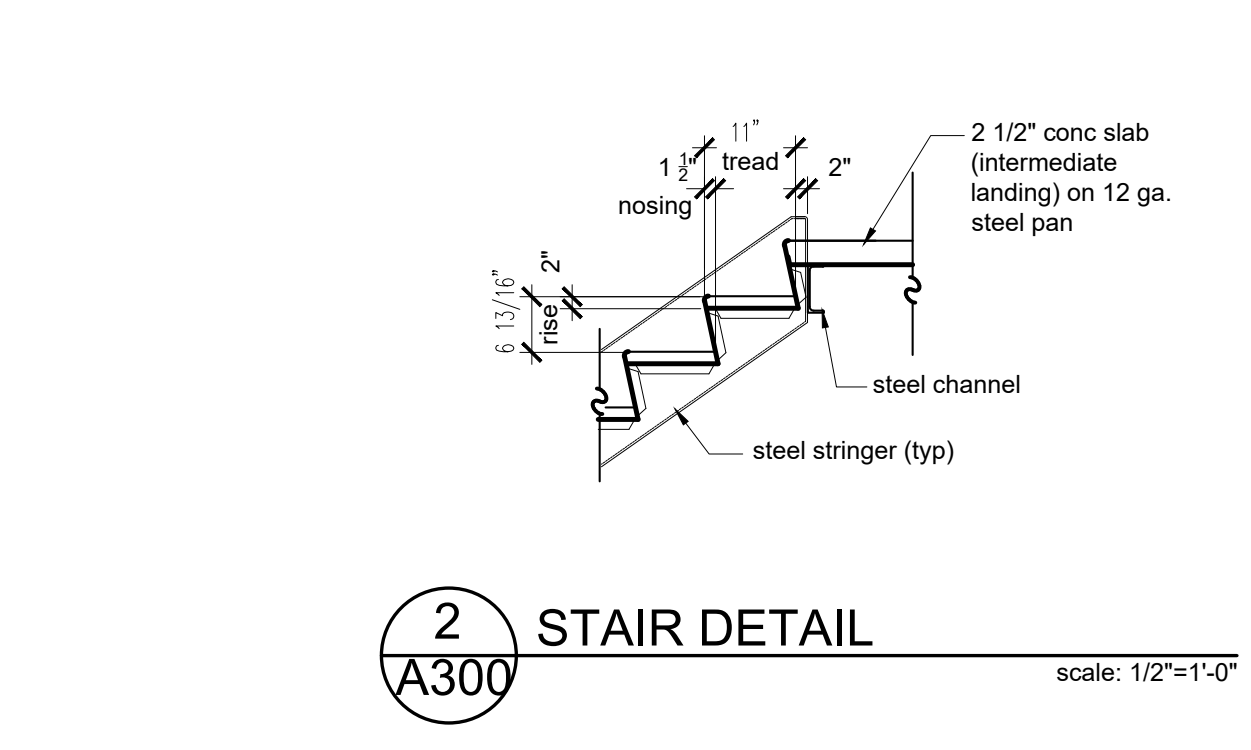
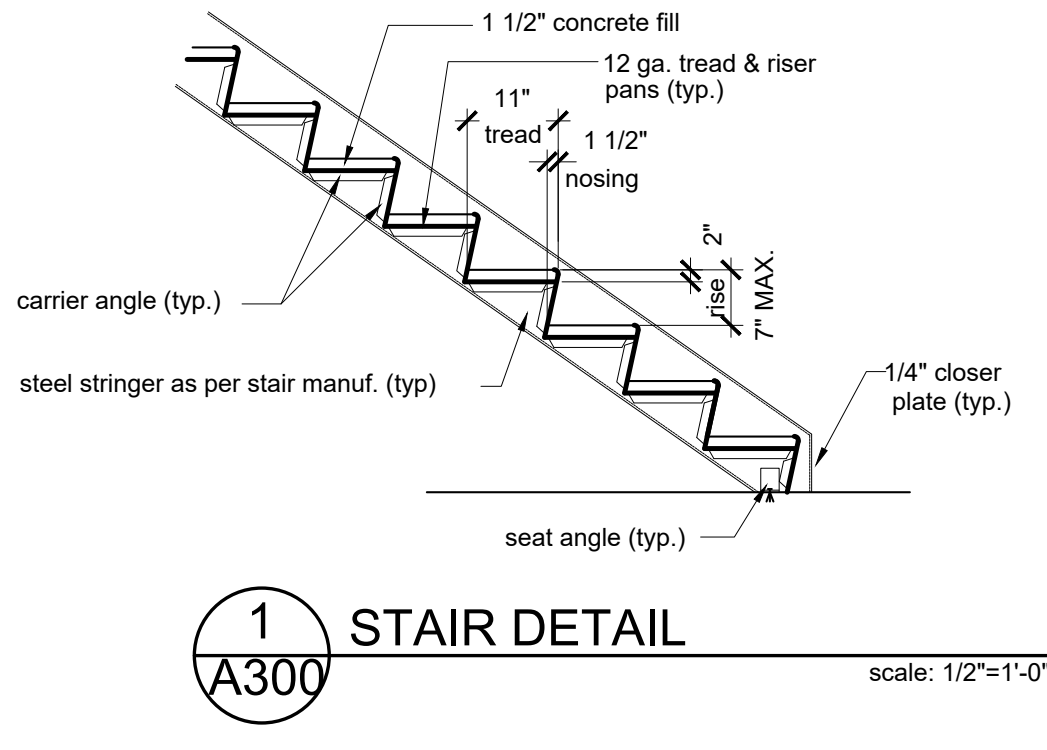
- Lightgauge framing shall be provided by and designed by the lightgauge Contractor in accordance with American Iron and Steel Institute "Specifications For the design of cold-formed steel structural members" (latest edition), MarinoWare details and specifications, and the N.Y.C. Building code.
- Calculations and detailed shop drawings, stamped by a NYS professional engineer registered for the light-gauge metal framing shall be provided by the General Contractor and must be submitted and approved by the engineer of record prior to fabrication.
- All lightgauge framing (see archt) and structural Plans for areas of lightgauge framing) shall be provided by and designed by the lightgauge contractor in accordance with the N.Y.C. Building code. The design shall be sealed by a professional engineer.
- All light gauge framing connections to the structural steel or lightgauge members shall be provided by and designed by the lightgauge contractor.
- Provide and install light gauge metal framing as indicated on the drawings including, but not limited to, lightgauge metal stud framing for exterior walls and interior partitions, roof framing, and accessories including bracing, framing, anchors and fasteners required to complete the work.
- All light gauge framing components shall be formed from corrosion resistant steel in accordance with ASTM A653-94, and shall be zinc coated meeting ASTM A924. Steel shall have a minimum yield strength of 33,000 psi for all components 16 gage or thinner, and 50,000 psi for all components 16 gage and thicker.
- All design, detailing, fabrication and erection of light gauge framing shall be in accordance with American Iron and Steel Institute (AISI) "Specifications for design of Cold-Formed Steel Structural Members" latest edition, and the manufacturer's details and specifications.
- Contractor shall submit to the Office of the Architect for review and approval, fabrication and fasteners (location, type and spacing), stiffeners, connections, etc. as needed for the proper erection shop drawings of all light gauge metal studs (both interior and exterior) to be used on the project. Shop drawings shall detail all member sizes, spacing, position, location permanent and temporary bracing, load conditions and design calculations relative to connections, fastening devices and anchorage, erection of the structure. Contractor shall also include necessary engineering data indicating all as well as size and gage of members. Calculations and drawings must be prepared by a Structural Engineer licensed in the State of New York, and shall be signed and sealed by this Engineer.
- Engineer shall be responsible for performing inspections of light gauge framing members for size, quality, framing erection and both temporary and permanent bracing as set forth in New York City Department of Buildings Technical Policy and Procedure Notice (TPPN) #200.
- In accordance with TPPN #201, Engineer shall submit required form TR-1 for Semi-controlled inspection of light gauge cold-formed structural steel members.
- Install metal framing systems in accordance with approved shop drawings and manufacturer's written instructions and details. Provide all stiffeners, bridging and bracing as required for system rigidity and to maintain plumb alignment.
- Provide all required wall blocking for all cabinets, counter, all fixtures, and etc.
- All interior light gauge metal stud partitions with a maximum unbraced length of 15'-0" to be 22 gage (min). Partitions exceeding 15'-0" to be braced at every stud and to be 20 gage min. Unless specified in light gauge shop drawings.
- Where lightgauge sizes are indicated, they are to be considered minimum job size requirements.

**GENERAL TOILET ROOM NOTES:**

- All toilet room accessories are to be selected by owner prior to installation.
- Refer to manufacturers cut sheet for mounting heights for barrier-free design. (typ)
- All colors and finishes to be selected by owner prior to installation.
- All toilet rooms to include but not limited to: toilet fixtures, lav's, partitions, mirrors, grab bars, soap dispenser, hand dryer, clothing hook, and door stops. Provide cut sheets to architect's office for review and approval
- All finishes to be selected by owner prior to installation. General contractor to provide ceramic tile samples include trim and base tile, paint samples and lighting fixture cut sheet.
- All finishes in accessible toilet rooms to be ADA compliant.

**STAIR NOTES:**

- Concrete filled steel pan stair treads with closed steel plate risers
- Max. riser height to be 7" and min. tread width to 11"
- Contractor to submit shop drawings for stair construction to the office of architect for review and approval prior to fabrication. Typical for all stairs.
- All exposed steel surfaces to receive - painted finish general contractor to prepare surfaces as per paint manufacturers specifications



**AMENDED**  
10/25/2022

The architect shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents. Always use dimensions as shown. Drawings are not to be scaled.

DOB Examiner stamp: Mary Shenoda APPROVED  
Date: 10/25/2022

B-Scan job slider: S00672007-P1

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project title:  
**4865 ARTHUR KILL ROAD**

drawing title:  
**SECTIONS**

date: 12.16.2021  
sheet #: 21-030  
drawing by: TA  
checked by: JO  
file #: **(A-300.01)**  
of 5

TR-8 Item 3 Energy Code Progress Inspection table with columns for item description, inspection/test, frequency, refer standard, and ECC or other.

ENERGY CODE TABULAR ANALYSIS FOR CLIMATE ZONE 4A - Commercial (2020) table with columns for NYCECC citation, provision, item description, proposed design value, code prescriptive value, and supporting documentation.

ENERGY CODE - PROFESSIONAL STATEMENT

TO THE BEST OF MY (THE APPLICANT'S) KNOWLEDGE BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 NEW YORK CITY ENERGY CONSERVATION CODE (NYCECC)...

Revisions table with columns for No., Revisions, By, and Date.

The architect shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences, or procedures...

DOB Examiner stamp: Mary Shenoda APPROVED Date: 06/12/2023

DOB job status: S00672007-11

ra rampulla associates architects, I.L.P. 155 3rd Street Staten Island, New York 10306

project title: 4865 ARTHUR KILL ROAD

drawing title: ENERGY CODE SHEET

Professional seal and signature: ARCHITECT STATE OF NEW YORK 1893