

Thursday, June 2, 2022, 7:30 am

**Albion EDC Offices – Conference Room
1002 N. Eaton Street, Albion, MI 49224**

Mission Statement: *Retain, expand and recruit business and industry to the greater Albion area and strengthen and revitalize the local economy.*

Economic Development Strategic Plan

- Goal 1: Stabilize the downtown, enhance its historic character, and support its economic growth.
- Goal 2: Stabilize the City's major corridors and support their economic growth.
- Goal 3: Build the human and capital capacity of key economic development agencies within Albion.
- Goal 4: Retain and attract high-leverage jobs to Albion.
- Goal 5: Strengthen housing market and stock.
- Goal 6: Create a unified brand for Albion to drive tourism, business growth, and investment. (GACC)
- Goal 7: Make strategic choices to turn Albion into a destination for current and future residents and tourists. (GACC)

AGENDA

- 1) Roll Call
- 2) Public Comment
(Persons addressing the Board shall limit their comments to no more than 3 minutes)
- 3) Action Items:
 - a) Consent Agenda:
 - i) Approval of Minutes from May 5, 2022 Board Meeting.
 - ii) Approve Consolidated Statement Ending March 31, 2022.
 - iii) Approve Consolidated Statement Ending December 31, 2021 FINAL
 - iv) Action to Excuse Absent Directors, if applicable (EDC/TIFA/BRA)
All matters listed under Item 3(a), Consent Agenda, are considered routine by the board and will be enacted by one motion. There will be no separate discussion of these items. If discussion of an item is required, it will be removed from the Consent Agenda and considered separately.
 - b) Approve Economic Development Strategic Plan (EDSP) 2022-2026
 - c) Approve Site Plan for 1007 Industrial Ave, Albion MI 49224
- 4) President's Report
 - a) Economic, Workforce & Community Development Report
- 5) Board of Directors Discussion & Comments
 - a) City of Albion
 - b) Sheridan Township
 - c) Greater Albion Chamber of Commerce
 - d) Board at Large
- 6) Public Comment
(Persons addressing the Board shall limit their comments to no more than 3 minutes)
- 7) Adjournment

Next Board Meeting will be Thursday, August 4, 2022. (No scheduled July Meeting)

EDC/TIFA/BRA BOARD OF DIRECTORS MEETING MINUTES

Held at 1002 N. Eaton Street, Albion – Albion EDC Offices

May 5, 2022

EDC Board Meeting called to order by Haas at 7:33 a.m.

Board Members Present: Ed Haas; Jerome Harvey; Scott Evans; Mayor Snyder; Ben Wallace; Vicky Clark (7:47 am); Andrew Zblewski

Board Members Absent: Annette Norris

Ex Officio Non-Voting: Haley Snyder, City Manager; Dick Porter, Sheridan Township

Staff: Amy Deprez

Public Comment

Yvonne Ridge, new Assistant City Manager introduced herself to the EDC Board.

Approval of Consent Agenda

The items of the Consent agenda were reviewed as a group, consisting of approval of Minutes from February 3, 2022 Board Meeting, March 3, 2022 (Economic Forecast) Board Meeting and the Consolidated Statement Ending January 31, 2022, and February 28, 2022. Norris was excused for absence.

- Motion by EVANS to support consent agenda, supported by WALLACE
- Voice Vote.
- Resolved: Motion passed unanimously.

Recommend and Approve CEO Search Committee Members

Deprez will be retiring in August this year and the Executive Committee has decided to form a CEO Search Committee to manage the process. A recommendation was made for Executive Board members, Haas and Wallace, with Mayor Snyder, City Manager Snyder and Zblewski representing the manufacturing base to be considered. Harvey indicated interest. A discussion ensued on process and consideration of hiring a search consultant firm to increase the success of placing a new CEO in a timely manner to allow for a streamlined transition of leadership.

- Motion by ZBLEWSKI to approve the CEO Search Committee as recommended, supported by SNYDER.
- Voice Vote.
- Resolved: Motion passes.

- A second motion was made by EVANS, supported by ZBLEWSKI to allow the CEO Search Committee to negotiate a consultant agreement for the search with a budget of up to \$60,000.
- Voice Vote.
- Resolved: Motion passes.

EDSP Review

Deprez shared the draft of the Economic Development Strategic Plan and requested that feedback be received from the Board by May 13th. Final plan will be presented to the Board for approval in June, with the Council consideration to follow. A discussion relative to opportunities and the advantage of having multiple schools in Albion with the challenge of wording this and not sounding negative. Directors asked to weigh in on this with their feedback.

President's Report

Deprez shared highlights of the Economic & Community Development Report, included in the Directors board packet, and shared a few initiatives that due to staffing shortages will be places on hold for the time being.

May 11th will be the Recipe for Success Job Fair at the Marshall Opportunity School from 11 am to 3 pm. Sponsorships were received from Biggby (Coffee) and lunch by Great Lakes Waterjet and Laser and Albion Community Foundation. To date there are 35 employers signed up to participate in the event and MPS and Concord will be sending senior students.

Deprez provided an update on Ninja Goldfish project and the acquisition of Lot 30 in the Albion Industrial Park.

Deprez shared an update on the Big Albion Plan Transformational Project by Albion Reinvestment Corporation.

Deprez will be conducting a presentation at the Special Council Meeting on Monday, May 9th for the close-out hearing on the CDBG Site Readiness Grant. Deprez shared the presentation with the Board and fielded questions.

Board of Directors Discussion & Comments:

City Manager Snyder and Mayor Snyder offered updates relative to the City including the upcoming vote for an additional 6 mill to maintain the roads and upcoming townhalls for both the road millage as well as increasing water rates.

Sheridan Township Supervisor Dick Porter provided an update on the solar projects and other activity in the Township.

Public Comment

There was no public comment.

EDC Board Meeting adjourned by Haas at 8:56 AM.

February 2022 Consolidated Statement

Information presented as of 05/18/2022, for period ending 3/31/2022

Revenues	TIFA		EDC		Brownfield Development		RLF		Totals	
	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-Date
Property Taxes (w/ LCSSR)	\$ 240,000.00				214,881.00				\$ 454,881.00	\$ -
Property Tax Chargebacks									\$ -	\$ -
Delq. Personal Property Tax									\$ -	\$ -
Rental of Property			\$ 133,000.00	33,249.99					133,000.00	\$ 33,249.99
EPA Grant									\$ -	\$ -
Federal Grant									\$ -	\$ -
State Grant									\$ -	\$ -
Local Grants			35,000.00						35,000.00	\$ -
Incubator Rents									\$ -	\$ -
Food Hub Rents									\$ -	\$ -
Farmer's Market Stall Fees									\$ -	\$ -
Senior Project Fresh / Market Fresh									\$ -	\$ -
Reimbursements				595.63					\$ -	\$ 595.63
Administration Income (BRA)			3,000.00							
Other Revenues				490.00						\$ 490.00
Interest		76.51		61.31			\$ 35.00	\$ 54.31	35.00	\$ 192.13
Total Revenues	\$ 240,000.00	\$ 76.51	\$ 171,000.00	\$ 34,396.93	\$ 214,881.00	\$ -	\$ 35.00	\$ 54.31	\$ 622,916.00	\$ 34,527.75
Transfer In										
Trans From TIFA to EDC			\$ 40,000.00						\$ 40,000.00	\$ -
Trans From Incubator to EDC			\$ 30,000.00						\$ -	\$ -
Trans From DDA to BRA									\$ -	\$ -
Total Transfers Out	\$ -		\$ 70,000.00	\$ -	\$ -	\$ -			\$ 70,000.00	\$ -
Total Net Revenues	\$ 240,000.00	\$ 76.51	\$ 241,000.00	\$ 34,396.93	\$ 214,881.00	\$ -	\$ 35.00	\$ 54.31	\$ 70,000.00	\$ -
Expenses										
Salaries & Benefits	\$ 163,910.00	\$ 35,223.61	\$ 105,459.00	\$ 15,938.42					\$ 269,369.00	\$ 51,162.03
Administrative Costs			3,175.00	524.78					\$ 3,175.00	\$ 524.78
Professional Services	1,000.00		4,000.00	635.00					\$ 5,000.00	\$ 635.00
Contractual Services	500.00		2,300.00	500.00	207,381.00	10,431.00	35.00		\$ 210,216.00	\$ 10,931.00
Utilities	600.00	72.31	672.00	3.70					\$ 1,272.00	\$ 76.01
Travel			500.00						\$ 500.00	\$ -
Maintenance	3,150.00		40,000.00	773.25					\$ 43,150.00	\$ 773.25
Insurance			7,682.00	522.12					\$ 7,682.00	\$ 522.12
Conference & Training Cost			2,200.00						\$ 2,200.00	\$ -
Admin Fees to City	8,900.00	2,225.01	10,000.00	2,499.99	7,500.00				\$ 26,400.00	\$ 4,725.00
Rental Charges (Spec Bldg)									\$ -	\$ -
Loan Payments MDEQ									\$ -	\$ -
Land									\$ -	\$ -
ABA Land Contract									\$ -	\$ -
ABA Land Contract interest									\$ -	\$ -
Roof loan interest									\$ -	\$ -
Economic Development	4,000.00		37,800.00	5.00					\$ 41,800.00	\$ 5.00
Rent to ABA/ACF	10,200.00	2,550.00	1,800.00	450.00					\$ 12,000.00	\$ 3,000.00
Miscellaneous									\$ -	\$ -
Transfer FR TIFA to EDC/AFH	40,000.00								\$ 40,000.00	\$ -
EPA Grant									\$ -	\$ -
Total Expenses	\$ 232,260.00	\$ 40,070.93	\$ 215,588.00	\$ 21,852.26	\$ 214,881.00	\$ 10,431.00	\$ 35.00	\$ -	\$ 662,764.00	\$ 72,354.19
To Fund Balance	\$ 7,740.00	\$ (39,994.42)	\$ 25,412.00	\$ 12,544.67	\$ -	\$ (10,431.00)	\$ -	\$ 54.31	\$ 33,152.00	\$ (37,826.44)

December 2021 Consolidated Statements (Final)

Information presented as of 05/18/2022, for period ending 12/31/2021

Revenues	TIFA		EDC		Brownfield Development		Food Hub		RLF		Totals	
	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-date	Budget	Year-to-Date	Budget	Year-to-Date
Property Taxes (w/ LCSSR)	\$ 119,120.00	201,451.59			108,569.00	108,380.21					\$ 227,689.00	\$ 309,831.80
Property Tax Chargebacks											\$ -	\$ -
Delq. Personal Property Tax											-	-
Rental of Property			\$ 121,000.00	121,916.63			7,764.29	7,764.29			121,000.00	129,680.92
EPA Grant											-	-
Federal Grant					-						-	-
State Grant			39,900.00		-			(1,250.00)			39,900.00	(1,250.00)
Local Grants			15,000.00	15,000.00							15,000.00	15,000.00
Incubator Rents											-	-
Food Hub Rents											-	-
Farmer's Market Stall Fees								725.00			-	725.00
Senior Project Fresh / Market Fresh											-	-
Reimbursements	122,475.00	10,860.00									122,475.00	10,860.00
Other Revenues			2,757.00	8,957.42			18,500.00	18,500.00			21,257.00	27,457.42
Interest	115.00	220.38	80.00	163.02			12.94	26.49	\$ 160.00	\$ 794.39	367.94	1,204.28
Total Revenues	\$ 241,710.00	\$ 212,531.97	\$ 178,737.00	\$ 146,037.07	\$ 108,569.00	\$ 108,380.21	\$ 26,277.23	\$ 25,765.78	\$ 160.00	\$ 794.39	\$ 555,453.23	\$ 493,509.42
Transfer In												
Trans From TIFA to EDC			\$ 43,500.00	\$ 43,500.00							\$ 43,500.00	\$ 43,500.00
Trans From TIFA to Bus Inc											-	-
Trans From DDA to BRA					101,071.00	101,070.79					101,071.00	101,070.79
Total Transfers Out	\$ -		\$ 43,500.00	\$ 43,500.00	\$ 101,071.00	\$ 101,070.79	\$ -	\$ -			\$ 144,571.00	\$ 144,570.79
Total Net Revenues	\$ 241,710.00	\$ 212,531.97	\$ 222,237.00	\$ 189,537.07	\$ 209,640.00	\$ 209,451.00	\$ 26,277.23	\$ 25,765.78	\$ 160.00	\$ 794.39	\$ 144,571.00	\$ 144,570.79
Expenses												
Salaries & Benefits	\$ 147,403.00	\$ 145,454.62	\$ 72,373.00	\$ 57,689.84				\$ (12.57)		\$ (2.72)	\$ 219,776.00	\$ 203,129.17
Administrative Costs			2,985.00	2,545.99							2,985.00	2,545.99
Professional Services	1,600.00	510.00	5,000.00	3,683.00							6,600.00	4,193.00
Contractual Services		-	2,900.00	4,110.61	205,693.00	99,529.52	-	1,688.20	35.00	35.00	208,628.00	105,363.33
Utilities	1,950.00	1,922.49	150.00	120.99			1,908.82	1,908.82			4,008.82	3,952.30
Travel			300.00	53.94							300.00	53.94
Maintenance	4,000.00	-	19,000.00	18,154.15			631.10	631.10			23,631.10	18,785.25
Insurance			7,682.00	5,978.24			1,250.00	1,500.00			8,932.00	7,478.24
Conference & Training Cost			300.00	110.00							300.00	110.00
Admin Fees to City	8,900.00	8,900.04	10,000.00	9,999.96	5,000.00						23,900.00	18,900.00
Rental Charges (Spec Bldg)											-	-
Loan Payments MDEQ											-	-
Land		5,000.00									-	5,000.00
ABA Land Contract			5,720.00								5,720.00	-
ABA Land Contract interest			286.00								286.00	-
Roof loan interest											-	-
Economic Development	1,000.00	-	85,650.00	79,793.58			18,500.00	18,500.00			105,150.00	98,293.58
Rent to ABA/ACF	10,200.00	10,200.00	1,800.00	1,800.00							12,000.00	12,000.00
Miscellaneous												
Transfer FR TIFA to EDC/AFH	43,500.00	43,500.00					3,987.00				47,487.00	
EPA Grant											-	-
Total Expenses	\$ 218,553.00	\$ 215,487.15	\$ 214,146.00	\$ 184,040.30	\$ 210,693.00	\$ 99,529.52	\$ 26,276.92	\$ 24,215.55	\$ 35.00	\$ 32.28	\$ 669,703.92	\$ 523,304.80
To Fund Balance	\$ 23,157.00	\$ (2,955.18)	\$ 8,091.00	\$ 5,496.77	\$ (1,053.00)	\$ 109,921.48	\$ 0.31	\$ 1,550.23	\$ 125.00	\$ 762.11	\$ 30,320.31	\$ 114,775.41

ALBION ECONOMIC DEVELOPMENT STRATEGIC PLAN

EDC Board of Directors Approval - 06/02/2022
City of Albion City Council Approval -



2022- 2026

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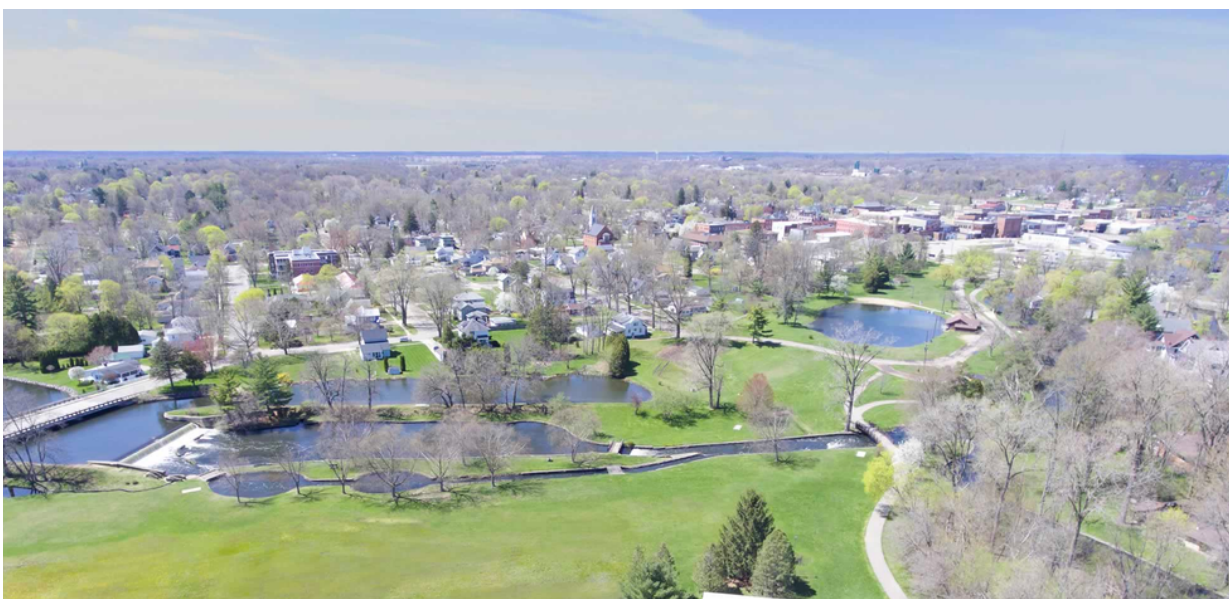
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ACKNOWLEDGEMENTS

Thank you for the input of key stakeholders, community representatives, and partner organizations and the work to identify economic opportunities and solutions to overcome challenges in the Albion community. We appreciate your participation and dedication to Albion and in excelling our community forward.

**Mayor Snyder, Haley Snyder
& Ian Arnold**
City of Albion, Council & Staff

Jim Stuart
Albion Downtown Development Authority

Marc Newman
Albion College

Gary Tompkins
Calhoun County Commissioner

Scott Cubberly
Kellogg Community College

**Amy Deprez, Christine Bowman
& Andrew Zblewski**
Albion Economic Development Board & Staff

Krista Trout-Edwards
Calhoun County Land Bank Authority

Billy Beers
Greater Albion Area Chamber of Commerce

Shane Williamson
Albion Community Foundation

Tom Pitt
Albion Planning Commission

Dr. Sam Shaheen
Albion Reinvestment Corporation

**Eleanor Debo, Kathryn Valade,
Brian Maddalena & Oliva Lauer**
Albion College Community (AC3) Team

Caroline Dobbins-Hurteau
Caster Cares / Innovate Albion

EXECUTIVE SUMMARY

Economic development requires a community to be successful; engagement of multiple stakeholders to execute a successful project or develop a long-term strategic vision for growth. It requires agile planning and a comprehensive approach to implement solutions that make Albion a more attractive place to live, work and play.

The world was rocked in 2020 by a pandemic that halted most of the progress to a near standstill, while leaders dedicated immense resources and time to respond to the challenges that hit economies all over the world. The last two years has demonstrated the resiliency of communities in responding to unprecedented challenges.

In 2017, the Albion EDC implemented the first Economic Development Strategic Plan. Since that time, the City and economic development partners have been busy with implementing a wide range of programs and initiatives focused on business development and success and has made substantial progress on the goals prioritized within that plan:

- Stabilization of Downtown Albion – 6 Redevelopments Completed, \$15.4 million, leveraging \$2.9 million in financial incentives (The Ludington Center, Courtyard by Marriott, Peabody Block, Brick Street Lofts, Albion Malleable Brewing Company)
- \$6 million Reconstruction & Rebricking of M-99 (Superior Street)
- 3 Façade Improvements Completed
- New Housing Developments; Pre-Development for 2 Large Housing Projects
- Demolition of Blighted Properties - Pre-Development for Infill Housing Options
- Launching a Workforce Taskforce with Skill Gap and Child Care Sub-committees
- Manufacturing Expansions – Sinclair Design & Engineering, Knauf Insulation, Minerals Technology, Trident Greenwell, & Consumers Energy Albion Tool Hub
- Implementing Entrepreneurship Assistance Program – Dream.Build.Rise Albion
- 21 New Businesses Opened in the Downtown and on Major Corridors

Building on these successes and responding to a changing environment, we have created the City's next five-year Economic Development Strategy Plan. The 2022-2026 Economic Development Strategic Plan summarizes 5 months of economic research, stakeholder input and dives deeper into the goals and objectives set in the 2022 City of Albion Comprehensive Plan.

Albion is a community on the cusp of revitalization with robust projects leading the way, join us on the journey of Advancing Albion.

Sincerely,



Amy Deprez, President & CEO



INTRODUCTION

Strategic planning is a critical and necessary component of organizational success. It provides structure, process, and direction; more appropriately it provides a roadmap to drive decision making, for daily staffing and resource commitments to longer term decisions. The plan acts as a compass and clearly communicates the vision of Albion and the direction of growth the community is pursuing.

In the late 1880's, Albion became known as the birthplace of Mother's Day, after the Albion Methodist church began celebrating the tradition of mothers. In the 19th century, the manufacturing base gave Albion the reputation of a factory town, built on the success of the automotive industry. In the 21st century, Albion's culture is changing to that of a college town whose residents have a strong interest in technology and sustainability issues. Albion is full of history, culture and arts, while being inclusive and responsive to the needs of the community through embracing diversity and a shared vision for the future.

The 5-year Strategic Plan builds off successes and guides the City's economic and community development efforts over the next five years while maintaining the spirit of the city's commitment to innovation and inclusiveness. The 2022 City of Albion Comprehensive Plan was being constructed at the same time and the processes were shared to ensure a cross-collection of input and research guided the development of the economic and community development strategic planning process.

The goals of stabilization, housing, jobs, and corridors carried over to the updated plan, with objectives that fostered business growth in a way that enhances community vitality; shape the place, talent and resources that influence business creation, expansion, retention, and attraction while maintaining alignment with our values to be a livable, inclusive, resilient and sustainable community.

We acknowledge the many stakeholders and partners that offered input and shared objectives that support the overall economic and community development for Albion. It is without a doubt a team activity and the successes are shared amongst all for a brighter Albion.



COMMUNITY PROFILE



Latitude 42.2431° N
Longitude 84.7530° W

8,340 Estimate Population
from 2019
7,700 Estimated Population from
2020



Education:
9 Colleges Within 40 Miles
K- 12 Attend
Marshall Public School District

Average Median Income is
\$34,467

Households (2019)
2,812



Railroad:
Amtrak's Wolverine Line
& Norfolk Southern

59.1% - White
28.7% - African American
6.0% - Hispanic
6.2% - Other



53% - Female
46% - Male

31 - Average Age



Employment Status 2019
Employed - 51.4%
Unemployed - 4.7%
Not in Labor Force - 43.9%

High School Degree or Higher
88.3%

Median Earnings
\$32,234 men
\$32,475 women



INFLUENCING FACTORS



Community Strengths

The City of Albion is strategically and conveniently located just off of Interstate 94 mid-way between Chicago and Detroit, 15 minutes from Jackson, MI and 30 minutes from Battle Creek, MI. Albion is home to an Amtrak depot/station which is located in the heart of the historic downtown and offers daily service to Chicago and Detroit.

Albion is a Redevelopment Ready Certified community, granting access to resources and funding opportunities to revitalize the community. The downtown has already experienced several redevelopment projects that have reduced the risk associated with historical redevelopment and created a welcoming community for new redevelopment. These projects include the historic renovation of the Bohm Theatre and Bohm II, a boutique 40 seat venue for private viewing or events; the newly developed Courtyard by Marriott snuggled up against Superior Street; Albion College development of The Ludington Center; private development of the oldest brick building in Albion into 4 luxury apartments and the Foundry Bakehouse and most recently Brick Street Lofts, offering commercial space and 8 new loft style apartments. New businesses have opened offering craft bean-to-bar chocolates (Yellow Bird Chocolate Shop), award winning brews and burgers (Albion Malleable Brewing Company), a downtown bodega grocery store (Superior Street Mercantile), plus so many more.

Music, art and culture is everywhere from a coffee shop to a brewery to the live stage at the Bohm Theatre, Albion is alive with entertainment options that will entice all ages to sit back and enjoy. Walk the Beat Music Festival, Blues at the Bohm and Festival of the Forks draws in people from surrounding communities. Outside concerts at Swingin' at the Shell, located at Victory Park, features free family-friendly musical entertainment for all ages and groups. In Albion you do not have to look far to experience the wonder of the arts and the rich, diverse culture of the community.



Strengths continued



Albion is fortunate to have a non-profit organization, Albion Reinvestment Corporation (ARC), dedicated to downtown redevelopment and partnering with the City to bring about a transformational redevelopment project that will result in 50+ new loft apartments and 20+ commercial spaces that will be ready for entrepreneurs and small businesses to be successful. ARC has spent the last several years acquiring properties that puts them in a unique position to help transform the blocks between Cass and Erie Street. This redevelopment is slated to start construction in late 2022.



Albion has seen our senior population migrate from the City to find communities that have the resources for them to age in place. Albion has a dedicated group of committed individuals working steadily to rectify this phenomenon and has made significant progress toward the goal of making Albion a community where seniors can comfortably age-in-place. This initiative is indicative of Albion's dedicated population, willing and eager to participate in developing the Albion of tomorrow by serving in civic engagement positions, volunteering, participation at town halls and being available to help share the Albion they love with others.

Calhoun County has created a Transit Authority for Countywide Transit to connect Battle Creek, Marshall, Homer and Albion. The Authority is currently working through the cost-benefit analysis necessary to move this initiative forward. Countywide transit will offer residents throughout the county employment opportunities while giving residents the flexibility to choose to use public transit versus owning a vehicle.

Albion is home to an industrial park that is 85% full and has prioritized creating shovel ready sites that continue to attract new industrial and business developments in the future. Work continues on creating a second industrial park on land formerly in Sheridan Township, now deeded to the City of Albion through a 425 Agreement.



Albion Malleable Brewing Company



Superior Street Mercantile



The Bohm Theatre



Current Challenges

The City of Albion continues to rebound from challenges that beleaguered many manufacturing based small towns in the post-industrial age. These challenges are not unrecognized and are being considered in the continuous planning for the City's future.

Albion's manufacturing base was closely linked to the automotive industry. The challenges the automotive industry faced in the past several decades directly lead to the closures of several major foundries and employers in the community. This, in-turn, lead to a decline in population as residents moved to be closer to employment opportunities. It also lead to a decline in city revenues from a loss of tax base. Without these revenues some of the City's infrastructure was neglected allowing the City, at the time, to focus on higher priority initiatives. As an example, some of Albion's roads are in need of reconstruction or repair – not unlike many other small Michigan communities.

Public transportation remains a current challenge. However with the countywide system in the planning phase, this challenge should be met and resolved in the near future.

While the population has declined since the post-industrial challenges faced by City, census data has shown that the decline has leveled off. It is acknowledged that the 2020 Census occurred during the global pandemic and may not accurately reflect the actual population count.

The Housing stock in the City tends to be older which may require new or existing owner investment. The older housing stock may not offer the options that are attractive to younger generations and may not be conducive to the older populations which prevents them from remaining in the City.

Quality of life items, like restaurants, grocery, and other services, are also limited which can impact the attraction and retention of residents to the city. These limited options often means people will drive to neighboring communities for more diverse selection of services that better suit their wants.

Census data has shown that the City of Albion has experienced a lower than average labor participation rate – meaning that only part of the employable population is gainfully employed or actively seeking work.



Albion has long identified the limited medical options as a weakness, since the local hospital closed in 2002. In 2019, Oaklawn Express Care opened in the Munger Building, on the campus of Albion College offering primary and express care for college students and residents. However, the staffing of the urgent care facility has been a challenge due to the global pandemic. This has lead to a decrease in operating hours which has caused some residents to seek medical care in neighboring communities.



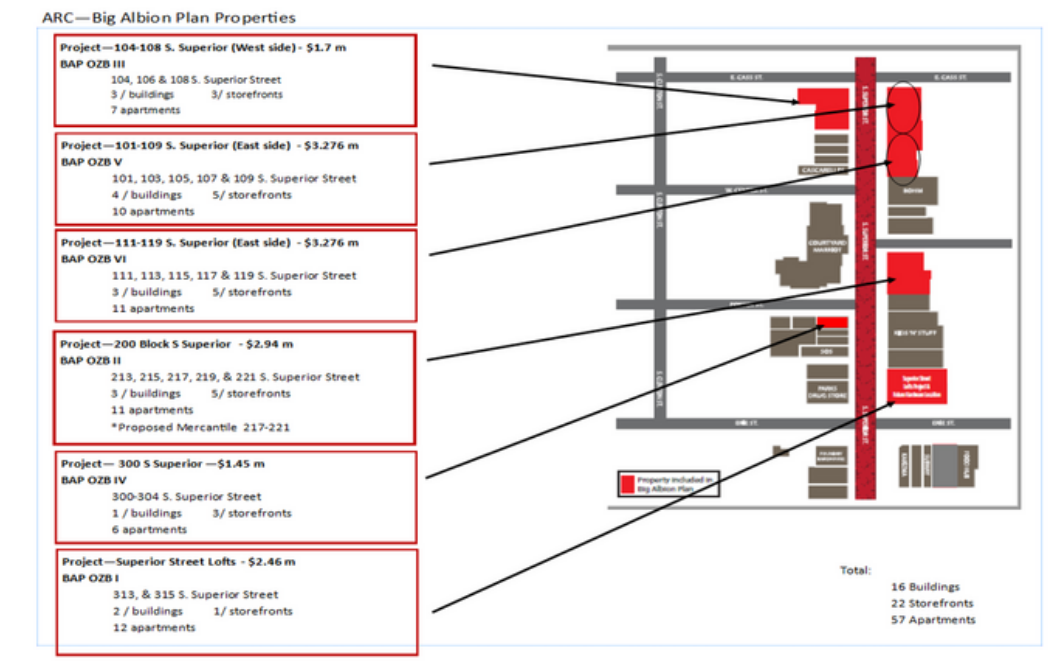
Opportunities for Growth

The City of Albion is on the cusp of transformational redevelopment projects that will breathe new life into the core of the community. Strategic opportunities are abundant.

The City of Albion has several large properties that are ideal for development of commercial, mixed-use, industrial, and residential projects. Brownfield sites have been prioritized for creating shovel ready sites. The City's Redevelopment Ready Certification (RRC) offers developers a seamless interaction with City departments and a community eager to work with interested parties.

Downtown Albion has experienced several early redevelopment projects that set the stage for current projects. The historic renovation of the Bohm Theatre, which offers live music as well as first run movies, led the way. This was followed by a 5-storefront renovation into a college/community meeting center (The Ludington Center); the newly constructed Courtyard by Marriott; historic renovation of the oldest brick building in Albion (Peabody Building) into high-end loft apartments and a 1st floor bakery/deli; addition of an award-winning brewery (Albion Malleable Brewing Company); and a 4-building mix-use development that opened in 2021 (Brick Street Lofts).

Albion Reinvestment Corporation (ARC), a public non-profit organization, will undertake a large transformational redevelopment project consisting of 6 individual projects that will transform 21 commercial spaces, and create 50+ loft style apartments in a concentrated area of Superior Street between Cass Street and Erie Street. Revenue from the residential units will allow ARC to partner with entrepreneurs by offering commercial space at below market rates. This will provide small businesses with a pathway to success in the rehabilitated white-boxed spaces. Housing options are returning to downtown Albion. With the currently planned projects, significant options will become available which will breathe new life into the downtown.





Opportunities continued

The Albion Industrial Park (AIP) is home to a diverse mix of manufacturers and shovel ready sites for new development. The AIP is home to Team One Plastics, Georgia Pacific, Consumers Energy, Trident Greenwell, Sinclair Design and Engineering and many more.

The City of Albion is alive with music, arts and culture. Not to be ignored are the natural features that make Albion so unique and attractive – like the Kalamazoo river that runs through the downtown; the North Country National Scenic Trail, the Great Lake-to-Lake Trail and the Iron Belle Trail all converging in Albion offering unparalleled access to non-motorized trails; the 65-acre trail-head park; and an abundance of local parks featuring playgrounds for all ages and live music throughout the community.

The City of Albion is undertaking a Corridor Improvement plan project that will allow Albion to be more opportunistic in regional strategy and encourage neighboring communities to strategically support the plan. Neighborhood stabilization is a goal for the community, intending to strategically approve Neighborhood Enterprise Zones (NEZ) to encourage owner occupied residential investment and attract new development opportunities.

Albion is home to Albion College, a high-ranking Midwestern Liberal Arts institution, and Kellogg Community College, with the Eastern Academic Center strategically located just outside the Albion City limits. Marshall Public School District operates within Albion offering the community kindergarten through post-secondary education with AP courses, dual enrollment, and early access to college programs. The strong alumni base of Albion College is leveraged for development opportunities. The network of educational partners collaborate and compliment through programming and resources.

Entrepreneurship is flourishing with interested residents or attraction opportunities, and customized technical assistance for marginalized individuals.

As the country emerges from the global pandemic, in-person and/or onsite employees may be a concept of the past as more and more companies adopt remote work environments. Employees no longer need to live in the high-cost areas where their employers were based. Instead they may reside in any community that fits the needs of the family. Albion is well situated to promote a remote working environment. A countywide broadband initiative will support anticipated population growth for the remote worker. While housing stock may be older it is affordable. LendEDU ranked Albion at the 16th best city for first time home buyers in the State of Michigan. The community offers beautiful, affordable historic homes and a wide selection of rental properties. The majority of these are within walking distance of the downtown district.

There are ample opportunities for residents to be involved with the city. These include public service on a city board or commission, volunteer service through one of the many non-profit organizations, active involvement in neighborhood meetings and public engagement through participation in town-hall meetings and other public engagement initiatives.

DOWNTOWN

STABILIZE THE DOWNTOWN, ENHANCE ITS HISTORIC CHARACTER, AND SUPPORT ITS ECONOMIC GROWTH

OBJECTIVE	OWNER	METRIC
Attract mixed-use development to the downtown business district that will serve the needs of the community and complement the existing business mix	AEDC	No. of downtown properties redeveloped
Attract commercial enterprise to the downtown with a mixture of existing enterprise and entrepreneurship	AEDC	No. of new commercial businesses locating in the downtown business district
Redevelop ARC Owned properties as described in the Big Albion Plan Redevelopment Project.	ARC	No. of ARC owned properties redeveloped
Albion DDA to develop and implement updated façade improvement program	DDA	No. of DDA Façade Improvements
Greater Albion Chamber of Commerce & Visitors Bureau to enhance/grow Greater Albion Chamber network along with increasing foot-traffic to the area and developing Albion as a destination place.	GACC	Add new members to the Greater Albion Chamber network and increase engagement/participation of members, sponsors, vendors, community and visitors.

DOWNTOWN

CONTINUED

OBJECTIVE	OWNER	METRIC
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Plan for public gathering spaces that offer increased usability, accessibility and seasonality with new or existing public spaces in the Downtown Business District. Identify funding opportunities to enhance alleys, plazas and social districts.

City/DDA

Placemaking projects defined for long-term development of downtown space.

Albion College pledges to partner with City and Stakeholders to ensure a thriving, economically vibrant downtown; revitalize connecting corridors and neighborhoods; and collaborate on redevelopment efforts and transformational projects.

Albion College

College properties redeveloped and contributing as economic drivers in the community.



HOUSING

STRENGTHEN HOUSING MARKET AND HOUSING STOCK

OBJECTIVE	OWNER	METRIC
<p>Advocate for the attraction of private and non-profit housing developers to create infill housing and the redevelopment of vacant, underutilized and brownfield sites for attainable and market rate housing options that appeal to a broad range of demographics</p>	<p>City</p>	<p>More housing options will be available to attract new residents, new tax base will be generated</p>
<p>Utilize incentives and resources to encourage developers to choose Albion and develop diverse housing options based on an updated Target Market Analysis.</p>	<p>AEDC</p>	<p>Relationships will be formed with housing developers interested in Albion projects.</p>
<p>Update Target Market Analysis</p>	<p>City</p>	<p>Updated Target Market Analysis will offer developers security in understanding the housing needs of Albion</p>
<p>Create resource packet for existing home owners to invest in their homes</p>	<p>City</p>	<p>Home owners will understand their options for investing in their property, as well as be educated as to benefits of doing so</p>

HOUSING

CONTINUED

OBJECTIVE	OWNER	METRIC
Create Place Plans for 500 Berrien, Dalrymple, Urban Renewal and Kalamazoo River Development Site to attract housing developments	AEDC	Marketing tool will offer developers a clear understanding of what the City, its partners and residents want to see at each of the development sites
Support establishment of market rate for new construction development in Albion	AEDC/City	Albion comparable data will be available for attainable housing options
Rental Certification, define and implement, if supported	City	Quality of rental units will be enhanced where applicable
Support the efforts to secure age-in-place housing and resources to allow seniors to remain in Albion	Albion Community Foundation	New senior friendly housing will be available for Albion’s aging population and to attract new residents to Albion
Advocate for attainable housing that meets the needs of the City's businesses and workforce and residents through public and private partnerships to improve overall housing stock in Albion	City, AEDC, Albion College & Albion Community Foundation	Collaborative efforts to diversify housing stock and add attainable options to attract a wide range of residents to Albion

HOUSING

CONTINUED

OBJECTIVE	OWNER	METRIC
Research and explore the possibility of a housing development incubator, incremental development resources or a real estate investment trust	AEDC	Research will support next action items
Support the City of Albion in establishment of Neighborhood Enterprise Zones (NEZ) to encourage investment by home owners	City	NEZ zones approved

JOBS

RETAIN AND ATTRACT HIGH-LEVERAGE JOBS TO ALBION

OBJECTIVE	OWNER	METRIC
Support the Workforce Taskforce as an active committee that annually accesses goals for the development of Albion's workforce and strengthens Albion's workforce network by partnering with key organizations and educational institutions	AEDC	Set annually to address existing workforce needs
Support the development of an industrial/business attraction committee to proactively attract new industry to Albion and establish a proactive business attraction strategy	AEDC	Committee established and active, proactive attraction strategy defined and new jobs, investment and companies located in Albion
Ensure a strong Business Retention and Expansion foundation that includes prioritizing relationships with existing businesses and open communication to partner on growth opportunities and industry challenges.	AEDC	Retained jobs and new investment
Facilitate and encourage a seamless, user-friendly experience for permitting, planning, zoning and review.	City	Strong customer service rating from businesses that interact with City and Partners.

JOB

CONTINUED

OBJECTIVE	OWNER	METRIC
Foster entrepreneurship by supporting businesses that enhance the city's competitiveness by providing goods and services most desired by businesses, workforce and residents. Ensure that business development services reach all segments of the community and support the community's identified small business needs.	AEDC	No. of entrepreneurs in the Entrepreneurship Database. No. of entrepreneurial businesses opened in Albion area
Bolster Albion's competitiveness by meaningful progress towards inclusive growth and accessibility through removal of barriers to entry for minority owned small businesses	AEDC	No. of minority small businesses assisted
Support connections with Albion College alumni and individuals/residents that graduated from the community looking to expand or start new businesses	AEDC/Albion College	No. of interested connections through alumni networks
Encourage Re-use and Redevelopment of brownfield sites by utilizing existing brownfield redevelopment assistance resources.	AEDC	No. of projects underway or completed.

JOB

CONTINUED

OBJECTIVE	OWNER	METRIC
Build Ready Sites - identify funding opportunities to invest in sites in an effort to have build ready sites available to attract new jobs and investment. <i>(lack of available space, lack of technology available, potential for a speculative building)</i>	AEDC	Number of funding opportunities pursued, awarded and extent of work accomplished
Define a Employment Strategy for regional growth (solar, MEGA site)	AEDC	Strategy defined
Build consensus and cooperation with implementing a branding, communication and trust infrastructure that identifies a vision and direction for the community and leverage the Albion brand to build awareness	City	Shared vision, branding and communication strategy that all parties participate in
Research the feasibility of a business incubator to accelerate attraction efforts and offer entrepreneurs with a testing mechanism for their business idea	AEDC / CITY	Decision made

JOB

CONTINUED

OBJECTIVE	OWNER	METRIC
Expand fiber network and technology opportunities available for businesses and residents that allow for Albion to compete in attraction and retention of industry; expanding opportunities for remote workers and pursuing current and future funding opportunities	City	No. of technology options available in community
Support the City in remaining Redevelopment Ready Certified and business/resident friendly	City	RRC Certification ongoing
Individually or collaboratively, education partners will work to provide workforce, training and programmatic opportunities for the greater community; and align and synergize curriculum offerings and active programs with Albion's targeted industries to fit the goals of the community	Marshall Public Schools / Kellogg Community College / Albion College	Partnerships, programs and training opportunities available

CORRIDORS

STABILIZE THE CITY'S MAJOR CORRIDORS AND SUPPORT THEIR ECONOMIC GROWTH

OBJECTIVE	OWNER	METRIC
<p>Foster vibrant commercial districts and corridors to coordinate development, increase services and amenities offered, and responds to the market preferences of Albion businesses, employees and residents</p>	<p>City</p>	<p>Public placemaking projects completed, new businesses located to corridors</p>
<p>Support the research and development of a Corridor Improvement Plan that strengthens the visual and physical connections between the Downtown Commercial District, Albion College, I94 (Eaton) Business Corridor, Austin Avenue and the south entrance to the City of M99</p>	<p>City</p>	<p>Plan approved</p>
<p>Define a Regional Strategy for corridor improvement; build relationships that support the needs of Albion; promote a regional strategy that includes transit and healthcare.</p>	<p>City</p>	<p>Strategy defined</p>
<p>Foster vibrant commercial districts and corridors through attraction of businesses and developments to the major corridors</p>	<p>City</p>	<p>No. of new businesses/developments along major corridors</p>

memo



Albion Economic Development Corporation

To: Albion TIFA Development Plan Review Board

From: Amy Deprez, President & CEO

CC:

Date: June 2, 2022

Re: Site Plan Approval – 1007 Industrial Blvd., Lot 9 Albion Industrial Park

PROJECT OVERVIEW: Happy Buds purchased 1007 Industrial Blvd. in the Albion Industrial Park and plans to renovate the existing building, plus add a 6,000-sf expansion to operate a Marijuana growing and processing facility, see attached site plan. The facility will be of steel frame construction. Exterior walls will be metal.

CITY OF ALBION SITE PLAN APPROVAL:

The City of Albion Planning Commission conditionally approved the site plan at the March 15, 2022 Planning Commission meeting. As of 5/18/22, the Director of Planning for the City of Albion granted full approval with all conditions met.

TIFA SITE PLAN APPROVAL CONSIDERATIONS:

The EDC had sufficient time to review the site plan. The site plan as presented meets all requirements of the Albion Industrial Building and Use Restrictions and Development Standards.

EDC RECOMMENDATION: EDC staff recommends the TIFA Development Plan Review Board approves the site plan as presented.

NOTE: Drawings will be available at the EDC Board Meeting on June 2nd.



CITY OF ALBION—APPLICATION FOR SITE PLAN REVIEW

City of Albion Planning Department (517) 629-7189

Cornerstone Inspection Services (269) 729-9244

Application Instructions: Complete all sections of this form. Type or use black ink. No application will be considered submitted or processed by the Planning Department until a complete application and all required documents are received.

Required Documents: *JA* ~~(Major Projects)~~

- Twelve sets of plans, drawn to scale in black line or blueprint.

Base Fee: ~~\$250~~ *JA* **Plus:** Consultant Charges *if applicable* (actual cost).

Additional Instructions: The applicant, or a representative with a letter of authority or power of attorney for the applicant, must be present at a meeting of the Albion Planning Commission concerning this application.

Remember to contact **Cornerstone Inspection Services** office at **(269) 729-9244** to see what Permits may be necessary for your project.

FOR OFFICE USE ONLY

Permit #: **2022-04**

Stamp here for "Date Received": **12/17/21**

Received by: *JA*

Deposit to Account: #101-400-483.00

Stamp here for "Paid": **12/17/21**

Amount: **\$275**

Stamp here for "Approved/Deny"

Date:

1. Property Information:

Property Zoned: **M-1**

Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 1007 Industrial park Albion Michigan		Parcel Number 51-006-459-01
Present Zoning District Industrial	Present Use of Site: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Other (describe)	
Requested Zoning District Industrial	Proposed Use of Site: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Other (describe)	

Marijuana Grow

2. Owner Information:

Name: <i>Include Contact Person If Applicable</i> Dr Haitham Masri	Phone 248 320 7374
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 13530 Michigan avenue Suite 400	City, State Zip Code: Dearborn Michigan 48126

3. Applicant Information:

Name: <i>Include Contact Person If Applicable</i> Tarek Mazloum	Phone 734 664 1147
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 3815 Herbey St	City, State Zip Code: Canton MI 48188

4. Engineer or Architect Information:

Name: <i>Include Contact Person If Applicable</i> Foresta Architects Brian Foresta		Phone 734 748 4616
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 33532 Five Mile Rd	City, State Zip Code: Livonia MI 48154	

5. Developer Information:

Name: <i>Include Contact Person If Applicable</i> Mo Khalaf		Phone 313 354 5444
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 23225 Beech st	City, State Zip Code: Dearborn MI 48124	

6. Project Description:

Provide a narrative description of the project including gross and net acreage of all parcels in the project, the total number of proposed structures, square feet, total and usable floor space, parking spaces, garages, open space, and other related information pertinent to this application.

7. Site Plan Specifications:

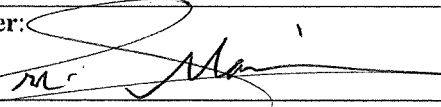
The site plan shall consist of an accurate, reproducible drawing at a scale of 1"= 100' or less, showing the site and all land within 150 feet of the site. If multiple sheets are used, each shall be labeled and the preparer identified. Each site plan shall depict the following:

- North arrow, scale and date of original submittal and last revision.
- Location of proposed and/or existing property lines, dimensions, legal descriptions and setback lines.
- Location of existing public roads, rights-of-way and private easements of record and abutting streets.
- Project description, including the total number of structures, square feet, total and usable floor area, parking spaces, garages, open space and related information as pertinent or otherwise required by the ordinance.
- Existing topographic elevations at two foot intervals, proposed grades and direction of drainage flows.
- Location and type of significant existing vegetation.
- Location and elevations of existing watercourses and water bodies, including county drains and man-made surface drainage ways, floodplains, and wetlands.
- Locations of existing and proposed building and intended uses thereof, as well as the length, width, and height of each building.
- Proposed location of accessory structures, buildings and uses, including but not limited to flagpoles, lightpoles, docks, storage sheds, transformers, air conditioners and the method of screening where applicable.

- Location and dimensions of existing and/or proposed curbing, carports, barrier free access, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
- Location, size and characteristics of all loading and unloading areas.
- Locations and design of all sidewalks, walkways, bicycle paths and areas for public use.
- Location of all other utilities on the site including, but not limited, to natural gas, electric, cable TV, telephone and steam.
- Location and specifications for all fences, walls, and other screening features.
- Location for all proposed perimeter and internal landscaping.
- Location and size for screening of all trash receptacles and other solid waste disposal facilities.
- Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salt, flammable materials, or hazardous materials as well as any containment structures or clear zones required by government authorities.
- Identification of any significant site amenities.

8. Certification

*I hereby certify that I am the **owner** of record of the named property and that I have authorized the proposed work. I further agree to conform to all applicable laws of this jurisdiction. If a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.*

Signature of Owner : 	Phone 248-320-7374	Date 12-11-2021
Street Address: 13530 Michigan Ave	City, State, Zip Code Dearborn, MI 48126	

I hereby certify that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Applicant : Tarek Mazloun	Phone 7346641147	Date 12/11/2021
Street Address: 3815 Herbey st	City, State, Zip Code Canton MI 48188	

9. Evaluation and Determination

CORNERSTONE INSPECTION SERVICES

Mechanical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plumbing Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Electrical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Residential Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Commercial Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plans Examination	<input type="checkbox"/> YES	<input type="checkbox"/> NO

PUBLIC SERVICES

Right of Way	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Curb Cut	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Soil Erosion	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Sewer Connection	<input type="checkbox"/> YES	<input type="checkbox"/> NO

ZONING PERMIT

Site Plan	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Non-conformity	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Special Use	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Variance	<input type="checkbox"/> YES	<input type="checkbox"/> NO

REVIEWER

<i>Staff whom Reviewed the Application</i>	<i>Staff Hours</i>	<i>Approved/Deny</i>	<i>Date Applicant Notified</i>
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Commission Action Required? YES NO

PUBLIC NOTICE

<i>Public Notice in Newspaper</i>	<i>Letter to Nearby Properties</i>	<i>Public Hearing Date</i>
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PLANNING COMMISSION

<i>Planning Commission Action (Approved/Deny)</i>	CHECK HERE FOR CONDITIONAL APPROVAL _____	<i>Vote</i> <i>Approval</i> _____ <i>Deny</i> _____
---	--	--

PLANNING DEPARTMENT APPROVAL/DENY

<i>Signature</i>	<i>Date</i>
<i>Notes</i>	<i>Stamp</i>

CITY OF ALBION—ZONING SERVICE INVOICE

For Office Use Only:

2019 - _____

Property Address: 1007 Industrial

Property Owner: BRT Capital

Parcel Number: _____

Applicant: Tarek Moutoum

Zoning Permits	Fee	Due		Fee	Due
-----------------------	------------	------------	--	------------	------------

Single Family Residential Uses:

New Home	\$45	_____
Addition/Alteration	\$15	_____
Accessory Structure	\$45	_____
Change in Use	\$45	_____
Signs/Billboards	\$45	_____
Fences/Screening	\$45	_____
Home Occupation	\$45	_____
Other	\$45	_____

Multiple Family Uses:

New Construction	\$45	_____
Addition/Alteration	\$45	_____
Accessory Structure	\$45	_____
Repair/Replace	\$45	_____
Change in Use	\$45	_____
Signs/Billboards	\$45	_____
Fences/Screening	\$45	_____
Home Occupation	\$45	_____
Other	\$45	_____

Commercial and Industrial Uses:

New Construction	\$45	_____
Addition/Alteration	\$45	_____
Accessory Structure	\$45	_____
Repair/Replace	\$45	_____
Change in Use	\$45	_____
Signs/Billboards	\$45	_____
Fences/Screening	\$45	_____
Home Occupation	\$45	_____
Other	\$45	_____

Special Use Permits:

Single Family	\$250	_____
Other Uses	\$250	_____
Plus Consultant Charges		_____

Rezoning Applications:

Rezoning Application	\$375	_____
Text Amendment	\$275	_____

Site Plan Review:

Subdivision/Site Condo/PUD Review		
Base Fee	\$350	_____
Plus Consultant Charges		_____
Other Uses		
Base Fee	\$275	<u>X</u>
Plus Consultant Charges		_____

**Zoning Board of Appeals/Sign Appeals Board:
Variance Application (Including Zoning Permit Fee):**

Single Family Uses	\$250	_____
Other Uses	\$250	_____

Building Board of Appeals:

Outdoor or Sidewalk Café Appeal		
Residential	\$100	_____
Commercial	\$100	_____

Land Division/Combination

Per Lot	\$55	_____
Meet & Bounds Description	\$90	_____
Lot Line Adjustment	\$55	_____

Other Fees

Special Fee	\$45	_____
Re-Inspection Fee	\$45	_____

Publications, Maps, Copies:

Zoning Ordinance (Map Included)	\$50	_____
Zoning District Maps 11 1/2" x 17"	\$25	_____
30" x 42"	\$50	_____
Other Blueprints (per page)	\$50	_____
Other GIS Maps (per page)	\$50	_____
Data Copies/Zoning Reports (\$3/1 st .25 e. add. pg.)	\$3.+	_____

Grand Total

~~\$275~~ \$320

Fee Total Approved By: [Signature]

Date: 12/13/21

12/17/21

whose address is 5720 Pontiac Trail, Orchard Lake, MI 48324
Quit Claim to HMFM Holdings, LLC
whose address is 5720 Pontiac Trail, Orchard Lake, MI 48324
the following described premises situated in the city of Albion County of Calhoun
and State of Michigan, to-wit:

see exhibit A
also known as property address: 1007
Industrial Ave, Albion, MI 49224
Parcel ID NO: 51-006-459-01

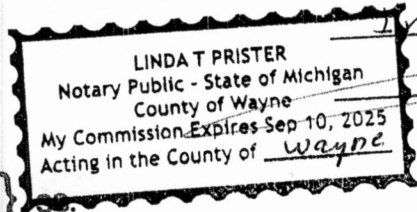
together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or
in anywise appertaining, for the sum of

Dated this 8th day of December 19 2021

Signed in the presence of:

Signed by:

[Signature]
[Signature] Haitham Macci
member of
[Signature] HMFM Holdings, LLC,
[Signature]



STATE OF MICHIGAN
COUNTY OF

The foregoing instrument was acknowledged before me this 8th day of February
2022 by Linda Prister [Signature]

Notary Public,
County, Michigan

My Commission expires September 10, 2025

When Recorded Return To:	Send Subsequent Tax Bills To:	Drafted by:
		Business Address

Tax Parcel # _____ Recording Fee _____ Revenue Stamps _____

AFFIDAVIT
MICHIGAN

LIBER 4576

PAGE 0756

13-21771090-CAN

3 **WARRANTY DEED**

KNOW ALL PERSONS BY THESE PRESENTS: That: Hydra Real Estate Development, LLC, a Michigan limited liability company, ("Grantor")

the address of which is: 2207 Orchard Lake Road, Sylvan Lake, MI 48320

convey(s) and warrant(s) to: Irsam Holdings LLC, a Michigan limited liability company, ("Grantee")

the address of which is: 5720 Pontiac Trail, Orchard Lake, MI 48323

the following described premises situated in the City of Albion, County of Calhoun, State of Michigan, to wit:

SEE EXHIBIT A

also known as Property Address: 1007 Industrial Avenue, Albion, MI 49224
Parcel ID No.: 51-006-459-01

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining,
REAL ESTATE TRANSFER VALUATION AFFIDAVIT FILED.

Subject to zoning ordinances, building and use restrictions, if any, and easements of record.

When Recorded return to:
Irsam Holdings LLC
5720 Pontiac Trail
Orchard Lake, MI 48323

5-(3)30

Send Subsequent Tax Bills To:
Grantee

Drafted By:
Hydra Real Estate Development
Jeffrey Yatooma
2207 Orchard Lake Road
Sylvan Lake, MI 48320
Assisted by: ATA National Title Group,
LLC



STATE OF MICHIGAN - CALHOUN COUNTY
FILED
09/01/2021 08:43:24 AM
KIMBERLY A. HINKLEY, CLERK/REGISTER OF DEEDS

10/75
5/76

Dear Ian,

Attached are the responses to all the questions you had , along with the full pdf file
Including site planned survey

Thanks

Owner : HMFLLC

5720 orchard lake road

Orchard lake Mi 48323

Contact : Dr fatina Masri: 2483901208

Or Tarek Mazloun 7346641147

1- For ownership papers, Please review attached deed

As for :

3- Vegetation. Location and type of significant existing vegetation.

: LABLED AS LAWN in survey paper

13. Water. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, flood plains and wetlands.

:SURFACE DRAINAGE SHOWN

15. Other Structures. Proposed location of accessory structures, buildings and uses, including but not limited to flagpoles, light poles, docks, storage sheds, transformers, air conditioners and the method of screening where applicable.

:SHOWED PROPOSED BLDG. NO OTHER IFNO

17. Parking. Location of and dimensions of existing and/or proposed curbing, carports, barrier free access, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.

:PROVIDED PROPOSED PARKING

22. Trash. Location, and size for screening of all trash receptacles and other solid waste disposal facilities. : On architect site plan

24. Natural Features. Identification of any significant site amenities or unique natural features.

SEE TOPOGRAPHIC SURVEY

Groundwater Protection. Provide information and address standards found in 3.15 Groundwater Protection. Flood maps are available at the City Planning Department. How do we cover this topic ?

: FLOOD ZONE & MAP REFERENCE NOTED ON SURVEY.

GENERAL NOTES

- PROJECT DESIGN COMPLIANCE:** THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD CHECKING ALL EXISTING CONDITIONS AND FOR FITTING THEIR WORK TO EXISTING AND NEW WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE DESIGN CONSULTANT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR WHERE THERE IS CONFLICT BETWEEN THE WORK SHOWN ON THE DRAWINGS AND THE CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE DESIGN CONSULTANT OF DISCREPANCIES THEREIN.
- PROJECT DESIGN COMPLIANCE:** THE OWNER, GENERAL CONTRACTOR, EACH INDIVIDUAL SUBCONTRACTOR AND MATERIAL MEN AGREE TO SAVE THE ARCHITECT HARMLESS AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF ACTS OF OMISSIONS BY THE SAID OWNER, CONTRACTORS AND/OR MATERIAL MEN IN THE PERFORMANCE OF THEIR WORK. ALL ERECTION AND CONSTRUCTION PROCEDURES SHALL BE EXECUTED IN SUCH MANNER AS TO FULLY PROTECT THE STRUCTURE, ALL OTHER TRADES WORKING ON THE PROJECT AND THE SURROUNDING AREAS FROM HAZARDOUS CONDITIONS. ALL WORK WILL PROCEED FOLLOWING ALL LOCAL, STATE, AND FEDERAL SAFETY CODES, STATUTES AND RECOGNIZED STANDARDS. ALL PROCEDURES OF CONSTRUCTION AND ERECTION WHICH ARE UNDERTAKEN WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT ARE THE SOLE RESPONSIBILITY OF THE OWNER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL MEN EXECUTING SAME AND ARE TO BE ACKNOWLEDGED AS BEING UNDERTAKEN WITHOUT THE ARCHITECTS KNOWLEDGE OR CONSENT. LASTLY IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE CERTIFICATES OF WORKMAN'S COMPENSATION AND PUBLIC LIABILITY INSURANCE NAMING BOTH THE OWNER AND THE ARCHITECT AS BENEFICIARIES UNDER SAID CERTIFICATES AND THAT FILING OF SAID CERTIFICATES SHALL BE A CONDITION PRECISENT TO ACCEPTANCE OF ANY WORK PERFORMED ON THE PROJECT.
- PROJECT DESIGN COMPLIANCE:** ANY REQUEST FOR A CHANGE TO THIS DRAWING MUST BE APPROVED BY THE FRANCHISE CONSTRUCTION DEPARTMENT PRIOR TO ANY WORK BEING COMPLETED. CHANGES WITHOUT PRIOR APPROVAL WILL BE DEEMED AS DEFAULT & WILL BE CORRECTED AT THE EXPENSE OF THE FRANCHISEE AND CAN DELAY THE STORE OPENING.
- ALL WORK SHALL BE COMPLETED OR COORDINATED BY THE G.C. UNLESS OTHERWISE NOTED.
- THE G.C. SHALL PERFORM ALL WORK TASKS AND SUPPLY ALL MATERIALS AND EQUIPMENT IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY AND STATE. THE GENERAL CONTRACTOR SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE LANDLORD.
- GENERAL CONTRACTOR(G.C.) IS RESPONSIBLE FOR ALL PERMITS AND FEES. THE G.C. SHALL FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
- THE G.C. SHALL PROVIDE TEMPORARY LIGHT, TELEPHONE, CLEAN UP SERVICE, AND REMOVE ALL TEMPORARY WORK PRIOR TO COMPLETION OF JOB. G.C. SHALL PROVIDE TEMPORARY BARRICADES/BARRIERS AS PER LANDLORD STANDARD OR LOCAL CODE REQ'NTS.
- THE G.C. IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES INCLUDING WORK NOT IN THE CONTRACT.
- THE G.C. SHALL COORDINATE HIS ACTIVITIES DURING CONSTRUCTION WITH THE LANDLORDS PROJECT MANAGER.
- THE G.C. SHALL KEEP A FULL SET OF UP-TO-DATE PLANS AVAILABLE AT THE JOB SITE AT ALL TIMES.
- THE G.C. IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- THE OWNER, ARCHITECT, OR ENGINEERS WILL NOT BE RESPONSIBLE FOR VERBAL INSTRUCTIONS.
- ALL SCRAP FROM LUMBER, CRATING, PAPER, AND SIMILAR TYPES OF TRASH ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH IS NOT TO BE ALLOWED TO ACCUMULATE.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS AS CALLED FOR.
- ALL MATERIALS, CONSTRUCTION, AND FINISHES TO BE FIRE RATED, FIREPROOFED, AND FIRE RETARDANT TO MEET LOCAL, STATE, AND APPLICABLE NATIONAL FIRE CODES. ALL MATERIALS TO BE NEW AND OF THE BEST QUALITY AVAILABLE AND SHALL BE UL/FM RATED AS REQUIRED. NO COMBUSTIBLE MATERIALS ARE TO BE INSTALLED UNLESS PERMITTED BY CODE.
- G.C. SHALL VERIFY WITH THE OWNER/TENANT ALL FIXTURES BY OTHERS.
- THE G.C. SHALL KEEP ALL HANDBOOKS, PAPERWORK, AND KEY IN A MARKED ENVELOPE. ALL KEYS TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE STORE OPERATIONS MANAGER WITH CERTIFICATE OF OCCUPANCY.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE A CAREFUL INSPECTION OVER THE CONSTRUCTION AS A WHOLE, ASSURING HIMSELF THAT THE WORK ON THAT PART OF THE PROJECT IS READY FOR FINAL ACCEPTANCE BEFORE CALLING UPON THE ARCHITECT AND OWNER TO MAKE A FINAL INSPECTION.
- THE TENANT, HIS ARCHITECT, GENERAL CONTRACTOR, SUBCONTRACTORS, AND OTHER REPRESENTATIVES SHALL BE FAMILIAR WITH ALL PORTIONS OF THE LEASE AGREEMENT WHICH GOVERN THE DESIGN OF THE LEASED PREMISES. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF ALL LANDLORD RULES AND REGULATIONS PRIOR TO SUBMITTING A BID.
- G.C. SHALL INSTALL GROMMETS AS NEEDED AT ALL BUILT IN COUNTERS AT LOCATIONS OF ELECTRICAL OUTLET, TYPICAL THROUGHOUT.
- G.C. SHALL PREPARE A RECORD SET OF AS-BUILT DRAWINGS WHICH

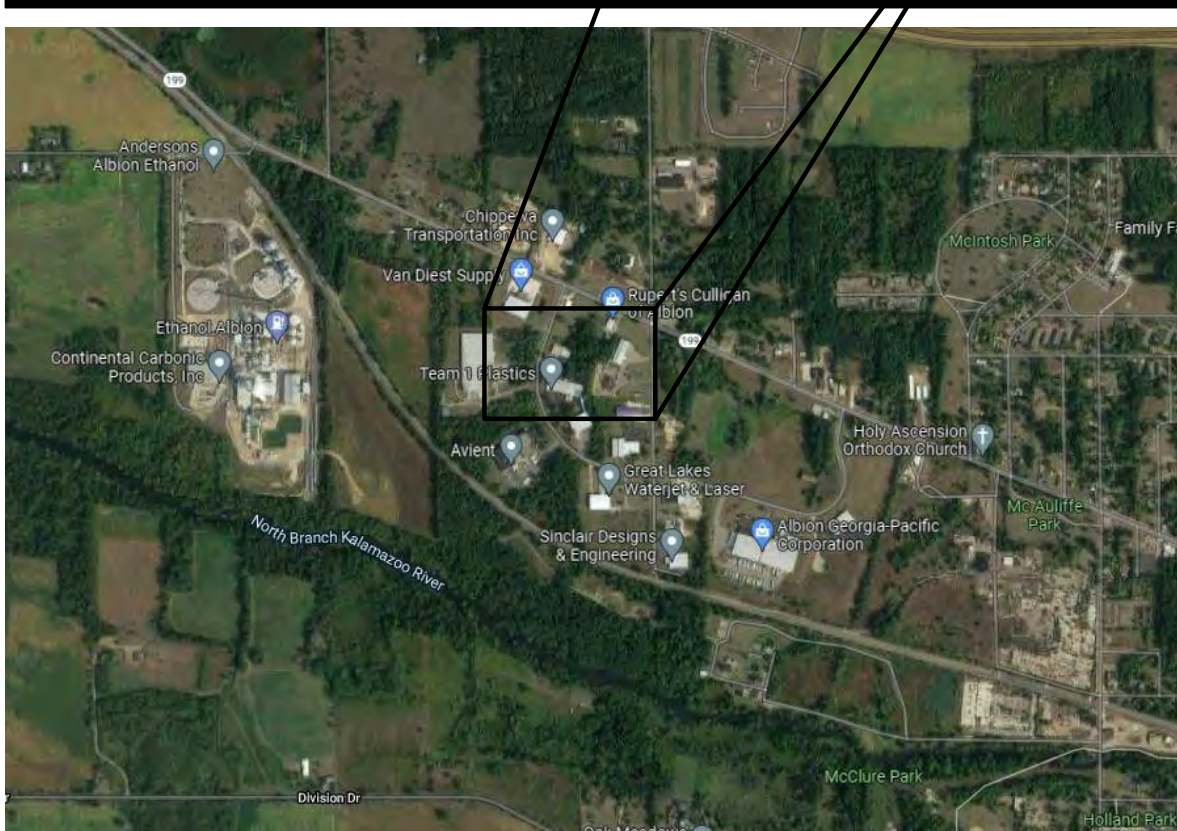
ABBREVIATIONS

AF	ABOVE FINISHED	MA	MAXIMU
CK	CIRCUIT	MI	MINIMU
CLN	CEILIN	M	MIRRO
CON	CONCRE	MT	MET
CON	COUNTERT	N	NATURAL
D	DIAMET	N.I.	NOT IN
DI	DIAMET	N.	NUMBR
DWG	DRAWING	O.	ON
EA	ELEVATI	O.	OUTSIDE
EL	ELEVATI	O.	OVERHEA
EXIS	EXISTIN	OPN	OPENIN
EX	EXPOS	RA	RADIU
EX	EXTERI	RE	REFEREN
FIN	FINISHI	REQ'	REQUIR
GA	GAUG	S.	SOLID
GYP.B	GYPSUM	ST	STEE
G.	GENERAL	TY	TYPIC
GL	GLASS	U.N.	UNLESS NOTED
HG	HEIG	V.C.	VINYL COMPOSITION
H.	HOLLOW	W	WIT
R.	ROLLOW	W	WOOD
MT	METAL	@	AT

VICINITY MAP



LOCATION MAP



OCCUPANCY BY ROOM FUNCTION

NAME	AREA	FUNCTION	FACTOR	OCC. LOAD	REQ'D EXIT WIDTH
BREAK ROOM	240 SF	AGRI	300 SF	1	0"
CORRIDOR	557 SF	N/A	0 SF		
CORRIDOR	366 SF	N/A	0 SF		
CORRIDOR	755 SF	N/A	0 SF		
CURE ROOM	364 SF	AGRI	300 SF	1	0"
ELECTRICAL ROOM	128 SF	MECH	300 SF	0	0"
FERTIGATION	288 SF	MECH	300 SF	1	0"
FERTIGATION	385 SF	MECH	300 SF	1	0"
FLOWER ROOM	499 SF	AGRI	300 SF	2	0"
FLOWER ROOM	570 SF	AGRI	300 SF	2	0"
FLOWER ROOM	464 SF	AGRI	300 SF	2	0"
FLOWER ROOM	881 SF	AGRI	300 SF	3	1"
FLOWER ROOM	824 SF	AGRI	300 SF	3	1"
FLOWER ROOM #1	859 SF	AGRI	300 SF	3	1"
FLOWER ROOM #2	1105 SF	AGRI	300 SF	4	1"
FLOWER ROOM #3	823 SF	AGRI	300 SF	3	1"
MENS LOCKER ROOM	160 SF	N/A	0 SF		
MNS RR	54 SF	N/A	0 SF		
MOTHER & PROPAGATION ROOM	549 SF	AGRI	300 SF	2	0"
OFFICE	130 SF	BUSINESS	100 SF	1	0"
PROCESSING ROOM	354 SF	AGRI	300 SF	1	0"
SHIPPING/RECEIVING	513 SF	WAREHOUSE	500 SF	1	0"
UNISEX	76 SF	N/A	0 SF		
VAULT	111 SF	STORAGE	300 SF	0	0"
VEG ROOM	588 SF	AGRI	300 SF	2	0"
VESTIBULE	139 SF	N/A	0 SF		
WMS RR	54 SF	N/A	0 SF		
WOMENS LOCKER ROOM	104 SF	N/A	0 SF		
	11940 SF			32	6"

SHEET INDEX

SHEET	NAME	DATE
T1	COVER SHEET	11/08/2021
T2	NOTES AND SPECIFICATIONS	11/08/2021
T3	NOTES AND SPECIFICATIONS	11/08/2021
T4	ADA DETAILS	11/08/2021
A1	FLOOR AND DEMO PLAN	11/08/2021
A2	ELEVATIONS	11/08/2021
A3	SECTIONS	11/08/2021
E1	ELECTRICAL SITE PLAN	11/08/2021
E2	ELECTRICAL POWER PLAN	11/08/2021
E3	ELECTRICAL LIGHTING PLAN	11/08/2021
E4	ELECTRICAL EGRESS LIGHTING PLAN	11/08/2021
E5	ELECTRICAL GROW LIGHTING PLAN	11/08/2021
E6	MECHANICAL EQUIPMENT POWER PLAN	11/08/2021
E7	ONE LINE	11/08/2021
E8	ELECTRICAL PANEL SCHEDULES	11/08/2021
E9	ELECTRICAL SPECIFICATIONS	11/08/2021
M1	HVAC PLAN	11/08/2021
P1	WATER AND GAS PLAN	11/08/2021

PROJECT INFORMATION

CLIENT INFORMATION	ALBION PROPERTY MANAGEMENT ABDUL CHUDHRY C. 734.502.4293 E.	
CODE	2015 MICHIGAN BUILDING CODE 2015 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2017 NATIONAL ELECTRICAL CODE ICC/A117.1-2009 IFC 2015, NFPA	
AREA (TENANT)	SPACE	AREA FLOOR AT GRADE 11,940 USABLE SF
PLUMBING CALC.	FIXTURE REQ'MENTS:	PROVIDED:
	W/C: 1 PER 100 M/F	16/100-0, 1 REQ'D 3 PROVIDED
	LAV: 1 PER 100	32/100-1, 1 REQ'D 3 PROVIDED
	DRINKING FOUNTAIN 1 PER 400	PROVIDED BY OTHER MEANS: WATER COOLER IN BREAK RM.
USE GROUP	F-1 (INDUSTRIAL MODERATE-HAZARD OCCUPANCY)	
CONSTRUCTION TYPE	V-B	
FIRE SUPPRESSION	NO. NONE REQ'D FOR F-1 W/ FIRE AREAS NOT EXCEEDING 12,000 SF LARGEST FIRE AREA: 6,566 SF 3 HR FIRE RATED WALL BTWN	
DEFERRED SUBMITTALS	SPECS OF INTERIOR FINISHES COMPLYING W/ ASTM E84 FERTIGATION SHOP DRAWINGS SECURITY SYSTEM SHOP DRAWINGS	
NOTES	THESE CONSTRUCTION DOCUMENTS WERE PREPARED WITH THE CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLETE WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHEREVER REQUIRED, SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE WITH THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL. ALL EQUIPMENT/MATERIAL CUT SHEETS AND SPECS SHALL BE INCLUDED AS PART OF THESE PLANS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO REVIEW AND DISTRIBUTE TO ALL TRADES AS REQUIRED.	



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LIVONIA, MI 48154
P. 248.471.2900

NOTES

- CO-ORDINATE ALL PLANS WITH "CONSTRUCTION MANUAL."
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.
- G.C. SHALL PROVIDE CONSTRUCTION SCHEDULES, WEEKLY UPDATES, AND PHOTOS OF THE PROJECT THROUGHOUT THE DURATION OF CONSTRUCTION.
- G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.
- ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).
- DO NOT SCALE DRAWINGS.
- COPYRIGHT 2019 FORESTA ARCHITECTS, LLC.

PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL
BLVD. ALBION, MI
49224

SEAL



DATE

11/08/2021		
NO.	DESCRIPTION	DATE
1	REV 1	11/18/2021
2	REV 2	02/04/2022

SUBMITTAL

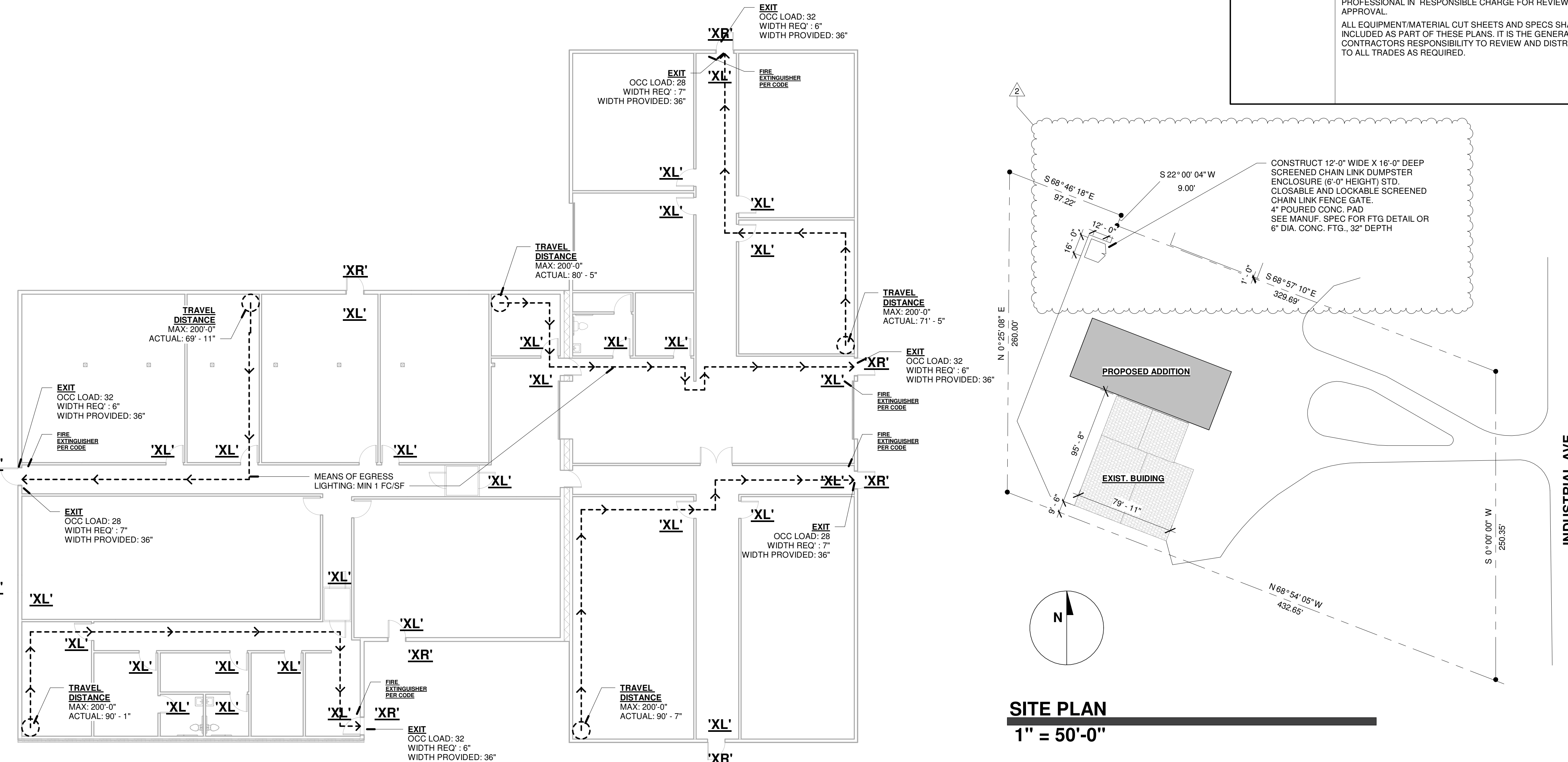
PERMIT

SHEET NAME

COVER SHEET

SHEET #

T1



LIFE SAFETY PLAN

3/32" = 1'-0"

S2.101 GENERAL REQUIREMENTS

1. IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
2. THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. O.S.H.A., D.N.R. AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY THE CONTRACTOR.
3. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS PARTS DURING ERECTION. THIS INCLUDES PROVIDING TEMPORARY BRACING, SHORING, GUY'S OR TIE-DOWNS. THESE TEMPORARY SUPPORTS WILL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE IN PLACE AND COMPLETED.
4. USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED. DIMENSION SHOWN ON THE STRUCTURAL DRAWINGS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR BUILDING LAYOUT AND LOCATION. SEE ARCHITECTURAL DRAWINGS AND SITE PLAN FOR THESE PURPOSES.
5. THE LATEST EDITIONS OF THE A.I.A. GENERAL CONDITIONS (DOCUMENT A-201) ARE HEREBY MADE A PART OF THIS SPECIFICATION AND CONTRACT DOCUMENTS. A COPY OF THESE DOCUMENTS ARE AVAILABLE AT THE ARCHITECT OFFICE FOR REVIEW AND INSPECTION.
6. EACH CONTRACTOR SHALL INCLUDE ALL FEES FOR PERMITS, TAPS, INSPECTIONS, ETC., INVOLVED IN THE WORK IN HIS PROPOSAL AND SHALL PAY SAME.
7. CONTRACTOR SHALL INCLUDE ALL TAXES INVOLVED IN THE WORK IN HIS PROPOSAL AND PAY FOR SAME. CONTRACTOR SHALL PROVIDE FOR A (1) YEAR WRITTEN GUARANTEE FOR ALL EQUIPMENT, MATERIALS AND WORKMANSHIP, UNLESS OTHERWISE SPECIFIED OR INDICATED TO BE FOR A LONGER PERIOD, TO START FROM DATE OF CERTIFICATE OF OCCUPANCY.
8. CONTRACTOR SHALL PROVIDE AND INSTALL ANY WEATHER PROTECTIVE DEVICES REQUIRED FOR ALL MATERIALS STORED ON THE SITE OR INSTALLED IN THE PROJECT. ALL STORAGE AND DEVICES SHALL BE IN THE BEST ACCEPTABLE METHOD FOR THE STANDARDS OF THE TRADE INVOLVED.
9. CONTRACTOR SHALL REPLACE, REPAIR AND MATCH EXISTING MATERIALS OF THE CITY OR COUNTY STREETS, ETC., THAT MAY BECOME INVOLVED IN ANY DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. IN ACCORDANCE WITH THE CITY, COUNTY OR STATE HIGHWAY DEPT., STANDARDS, CODES OF REGULATIONS. HE SHALL MAINTAIN STREETS CLEAR OF DEBRIS AND MUD ON A DAILY BASIS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT OR WORK SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR NOTED, UNLESS NOTED OR SHOWN AS N.I.C. (NOT IN CONTRACT).
10. CONTRACTOR SHALL PROVIDE AND INSTALL ALL ITEMS OF EQUIPMENT, MATERIAL OR LABOR AS SHOWN ON THE DRAWINGS OR REQUIRED OR SPECIFIED HEREIN, TO COMPLETE THE WORK OF THE PROJECT. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE MANUFACTURER OR TRADE INVOLVED.
11. IT WILL BE THE RESPONSIBILITY OF ALL SUB-CONTRACTORS AND MATERIAL SUPPLIERS TO EXAMINE CAREFULLY ALL PAGES OF THE DRAWINGS AND SPECIFICATIONS, INCLUDING ALL NOTES ON DRAWINGS PERTAINING TO THE WORK OF THAT TRADE, ALL DETAILS, ROOM FINISH SCHEDULE, DOOR SCHEDULE, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS, TO DETERMINE THE EXTENT OF THE WORK OF THAT TRADE.
12. CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT, WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES.
13. IT IS ASSUMED THAT ALL BIDS SUBMITTED WILL BE TOTAL, INCLUDING ALL MATERIALS AND LABOR NECESSARY OR REQUIRED TO COMPLETE THE WORK AND THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND IN CONFORMANCE WITH ALL APPLICABLE CODES, ORDINANCES, OR REGULATIONS THAT MAY APPLY.
14. ALL SUB-CONTRACTORS AND MATERIAL SUPPLIERS SHALL BE RESPONSIBLE FOR PROTECTING FLOORS, WALLS, WOODWORK, PAINT, ETC., AND ALL OTHER ITEMS FROM MARKS, STAINS, SCRATCHES, AND OTHER DAMAGE RESULTING FROM THE PERFORMANCE OF THEIR WORK ON THE PROJECT. ANY DAMAGES REPLACED BY ANY SUB-CONTRACTOR OR SUPPLIER TO THE WORK OF THEIRS, SHALL BE REPAIRED OR REPLACED BY THAT TRADE OR BY THE GENERAL CONTRACTOR AND THE COST OF SAME DEDUCTED FROM THE TRADE INVOLVED AT NO COST TO THE OWNER.
15. EACH SUB-CONTRACTOR SHALL DISPOSE OF ALL EXCESS MATERIALS AND DEBRIS FROM THE SITE, AS DIRECTED BY THE GENERAL CONTRACTOR, WHO SHALL BE RESPONSIBLE FOR THE OVERALL CLEANLINESS OF THE PROJECT. IF SUCH CLEAN UP IS NOT DONE BY THE SUB-CONTRACTOR OR SUPPLIER THEN THE WORK WILL BE DONE BY THE GENERAL CONTRACTOR AND DEDUCTED FROM THE TRADE INVOLVED OR BACK CHARGED TO SAME.
16. ALL SUB-CONTRACTORS AND SUPPLIERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY OR REQUIRED PERMITS, FEES, ETC., IN ORDER TO PROCEED WITH THE WORK AND SHALL PAY FOR SAME.
17. NO CHARGE, IN ADDITION TO THE ORIGINAL BID, QUOTE OR PROPOSAL MADE BY ANY SUB-CONTRACTOR OR MATERIAL SUPPLIER WILL BE PAID UNLESS SAID EXTRA CHARGES HAVE BEEN AUTHORIZED BY WRITTEN ORDER SIGNED BY THE OWNER AND ARCHITECT. ALL REQUESTS FOR ADDITIONAL MONIES SHALL BE DIRECTED THROUGH THE GENERAL CONTRACTOR TO THE OWNER.
18. SHOULD A BIDDER FIND ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING, HE SHALL NOTIFY THE ARCHITECT AT ONCE, WHO WILL ISSUE A WRITTEN ADDENDUM TO ALL PRIME CONTRACT BIDDERS INVOLVED.
19. THE OWNER RESERVES THE RIGHT TO REFUSE ANY OR ALL BIDS, TO WAIVE ANY INFORMALITIES THEREIN, AND TO AWARD THE CONTRACT TO OTHER THAN THE LOW BIDDER IF SUCH IS DEEMED TO BE IN THE BEST INTEREST OF THE OWNER.
20. EACH BIDDER SHALL AGREE TO START WORK IMMEDIATELY UPON AWARD OF THE CONTRACT AND SHALL STATE IN HIS PROPOSAL THE MINIMUM CALENDAR DAYS WHICH WILL BE REQUIRED TO CONSTRUCT AND COMPLETE THE PROJECT.
21. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY UTILITIES SUCH AS WATER, LIGHT, POWER, ETC., REQUIRED DURING CONSTRUCTION AND SHALL PAY FOR SAME. THIS CONTRACTOR SHALL ALSO FURNISH ALL TEMPORARY TOILETS, BARRICADES, RAMPS, WALKS, FENCES OR ANY OTHER DEVICE NEEDED TO COMPLETE THE PROJECT AND TO PROVIDE SAFETY TO THE PUBLIC AND THE WORKERS.
22. THIS CONTRACTOR SHALL PROVIDE AND MAINTAIN WEATHER PROTECTIVE DEVICES AND HEATING AS MAY BE REQUIRED TO PROTECT ALL PARTS OF THE WORK, BUILDING, AND STORED MATERIALS, AGAINST DAMAGE FROM DAMPNESS OR COLD, TO DRY OUT THE WORK, AND TO MAINTAIN A MINIMUM TEMPERATURE OF NOT LESS THAN FIFTY DEGREES F., DURING CONSTRUCTION, PRIOR TO THE INSTALLATION OF THE PERMANENT HEATING SYSTEM. HEAT SHALL BE MAINTAINED AROUND THE CLOCK, 24 HOURS A DAY, FOR SEVEN DAYS A WEEK, AND SHALL BE PAID FOR BY THIS CONTRACTOR. WHEN PERMANENT SYSTEM IS INSTALLED, IT MAY BE USED TO FURNISH HEAT, BUT THE COST OF OPERATION AND MAINTENANCE WILL BE PAID FOR BY THIS CONTRACTOR. ROOF TOP UNITS ONLY MAY BE USED IF CONTRACTOR EXTENDS ALL UNIT WARRANTIES AT HIS COST, FOR FULL PERIOD OF TIME SPECIFIED, COMMENCING AT POINT OF OCCUPANCY BY OWNER.
23. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST SPECIFICATIONS AND IN ACCORD WITH THE BEST ACCEPTED PRACTICE FOR THE TRADES INVOLVED FOR ALL PHASES OF THE WORK AND FOR THE PROTECTION OF ALL MATERIALS. WHERE PRODUCT NAMES ARE NOTED, THE MANUFACTURERS PRINTED RECOMMENDATIONS FOR PRODUCT STORAGE AND APPLICATION SHALL GOVERN.
24. INSURANCE: BUILDING RISK FIRE INSURANCE FOR ANY PORTION OF THE BUILDING COMPLETED SHALL BE FURNISHED BY THE OWNER. GENERAL CONTRACTOR SHALL FURNISH THE FOLLOWING MINIMUM INSURANCE LIMITS (SEE AIA DOC. A-201)

	EACH PERSON	EACH OCCURRENCE	AGGREGATE FOR PERIOD EFFECTIVE
COMP. BODILY INJURY	\$500,000.00	\$1,000,000.00	\$250,000.00
COMP. PROPERTY DAMAGE		\$250,000.00	
AUTO BODILY INJURY	\$500,000.00	\$1,000,000.00	
AUTO PROPERTY DAMAGE		\$250,000.00	
WORKMAN'S COMP. & EMPLOY. LIABILITY		STATUTORY	

S2.102 SITEWORK

- CLEARING**
1. STRIP ALL TOPSOIL AND VEGETATION FROM ALL AREAS TO BE OCCUPIED BY THE BUILDING OR PAVED AREAS. TOPSOIL SHALL BE CONSIDERED TO BE ALL MATERIAL CONTAINING ORGANIC CONTENT. REMOVE ALL TREES SHOWN TO BE REMOVED OR REQUIRED TO BE REMOVED, AND PULL OUT ALL STUMPS, AND ROOTS. ANY TREES SHOWN TO REMAIN SHALL BE CAREFULLY PROTECTED AT ALL TIMES AND SHALL BE WELLED AS REQUIRED TO SUIT THE FINISH GRADES INDICATED ON THE DRAWINGS. TOPSOIL SHALL BE STOCKPILED ON THE SITE FOR USE IN LANDSCAPED AREAS OR IF IN EXCESS REMOVED FROM SITE. ANY TREES SHOWN TO REMAIN THAT ARE DAMAGED OR OTHERWISE IMPAIRED DURING CONSTRUCTION SHALL BE REPLACED BY THIS CONTRACTOR AT HIS SALE COST. SPECIES AND CALIPER SHALL BE COMPARABLE TO ORIGINAL AND PLACED AT THE DISCRETION OF THE OWNER.
- EARTHWORK**
1. ALL EXCAVATION SHALL BE CARRIED TO THE DEPTHS INDICATED ON DRAWINGS, AT LEAST 3"-6" BELOW FINISH GRADES FOR FOUNDATIONS, AND SHALL BE CLEANED AND LEVELED AS REQUIRED FOR THE INSTALLATION OF THE CONCRETE OR FUTURE WORK. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3,000 PSF CAPABLE OF SUPPORTING THE SUPERIMPOSED LOADS.
 2. IF POOR SOILS CONDITIONS ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE OWNER, IN WRITING BY REGISTERED LETTER, OF SUCH POOR SOIL CONDITIONS AT LEAST 24 HOURS PRIOR TO PLACING ANY CONCRETE.
 3. IF DISTURBED SOIL OR SOIL HAVING INSUFFICIENT BEARING CAPACITY IS FOUND AT THE DEPTHS INDICATED ON THE DRAWINGS, THEN THE CONTRACTOR SHALL CARRY EXCAVATION TO SUFFICIENT DEPTH TO ATTAIN SUCH BEARING CAPACITY. ADDITIONAL COST WILL BE COMPENSATED BASED ON UNIT COST AND PRICES FOR ADDITIONAL WORK INVOLVED.
 4. ALL EXCAVATION SHALL BE FREE FROM ANY DEBRIS OR WATER BEFORE ANY CONCRETE IS PLACED. SHORE AND BRACE ALL EXCAVATIONS AS REQUIRED TO PREVENT CAVE-INS.
 5. THIS CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO ADJACENT STRUCTURES, FENCES, WALKS, ETC., AND SHALL PAY FOR THE COST OF ANY DAMAGES INCURRED BY HIS WORK OR THE WORK OF ANY OF HIS SUB-CONTRACTORS.
 6. SUBGRADE SHALL BE PROOFROLLED WITH SUITABLE EQUIPMENT AND ALL SPONGY AND OTHERWISE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING**
1. ALL BACKFILLING FOR THE INTERIOR OF THE BUILDING SHALL BE CLEAN GRADED GRANULAR SOILS FREE FROM ANY DELETERIOUS MATERIAL OR MATTER, AND SHALL BE PLACED IN 6" LAYERS AND COMPACTED TO 95% MAXIMUM DENSITY MODIFIED PROCTOR TEST OR (ASTM D-1557 OR ASHTO T-180). EACH LAYER SHALL BE PLACED AND COMPACTED BEFORE THE NEXT LAYER IS PLACED.
 2. BACKFILL UNDER ALL PARKING AREAS SHALL BE SUITABLE TRENCH MATERIAL OR CLEAN BROWN CLAY OR SAND MATERIAL BROUGHT IN FROM OFF SITE. SUCH FILL SHALL BE PLACED IN 8" LAYERS AND COMPACTED TO 95% MAXIMUM DENSITY MODIFIED PROCTOR TEST (ASTM D-1557 OR ASHTO T-180) BEFORE THE NEXT LAYER IS PLACED. ALL MATERIAL SHALL BE APPROVED BY ARCHITECT/ENGINEER. NO HEAVY CLAY MATERIAL SHALL BE USED.
- PAVEMENTS AND SIDEWALKS**
1. CONCRETE PAVING FOR WALKS AND APPROACHES SHALL BE AS SHOWN ON DRAWINGS AND SHALL BE AIR ENTRAINED CONCRETE HAVING A COMPRESSIVE STRENGTH OF 3,500 PSI @28 DAYS (REFER TO CONCRETE SECTION). FURNISH AND INSTALL ALL NECESSARY OR REQUIRED EXPANSION AND CONTROL JOINTS. ALL WALKS SHALL HAVE A BROOM FINISH UNLESS OTHERWISE NOTED OR SHOWN. PROVIDE 4" OF COMPACTED SAND, MIN., UNDER ALL CONCRETE WORK.

S2.103 CONCRETE

- APPLY UNLESS NOTED OTHERWISE (UNO) ON THE DRAWINGS.
- DESIGN CODE**
- BUILDING CODE FOR CITY OF BERKELY, MICHIGAN BUILDING CODE 2003.
- DESIGN LOADS**
- | | |
|---|---------|
| CORRIDOR AND STAIR LIVE LOAD. | 100 PSF |
| MECHANICAL FLOOR LIVE LOAD. | 125 PSF |
| ASSEMBLY AREA FLOOR LIVE LOAD | 100 PSF |
| ROOF LIVE LOAD. | 30 PSF |
- PLUS APPLICABLE SLIDING & DRIFTING SNOW INCREASES WIND LOAD BASED ON 85 MPH BASIC WIND SPEED, EXPOSURE B
- MATERIALS GRADES AND STRENGTHS**
- CAST-IN-PLACE CONCRETE
- | | |
|---|---------------------------|
| DRILLED PIERS. | F'c = 4000 PSI AT 28 DAYS |
| SLAB-ON-GRADE FLOORS. | F'c = 3000 PSI AT 28 DAYS |
| NON-STRUCTURAL TOPPING SLAB. | F'c = 3000 PSI AT 28 DAYS |
| CONCRETE ON METAL DECK. | F'c = 3500 PSI AT 28 DAYS |
| FOUNDATION WALLS & GRADE BEAMS. | F'c = 5000 PSI AT 28 DAYS |
| STRUCTURAL TOPPING ON PRECAST PLANK | F'c = 4000 PSI AT 28 DAYS |
- SIDEWALKS, CURBS, PAVING, ETC. SEE SPECIFICATIONS
- ALL OTHER CONCRETE. F'c = 4000 PSI AT 28 DAYS
- CONCRETE MASONRY UNITS ASTM C90 TYPE "N-1"
- MASONRY CORE FILL AND BOND BEAMS F'c = 3000 PSI AT 28 DAYS
- REINFORCING STEEL
- | | |
|---------------------------------------|--------------------------|
| BARs | ASTM A615 (GRADE 60) |
| WELDED DEFORMED BAR ANCHORS | LENTON OR APPROVED EQUAL |
| WELDED WIRE FABRIC | ASTM A185 |
- STRUCTURAL STEEL
- | | |
|------------------------------------|-----------------------------------|
| SHAPES AND PLATES. | ASTM A36 (Fy = 36 KSI) |
| W-SHAPE BEAMS AND COLUMNS. | ASTM A572 (Fy = 50 KSI) |
| RECTANGULAR TUBES | ASTM A500, GRADE B (Fy = 46 KSI) |
| PIPES | ASTM A53, TYPES E OR S GRADE B OR |
- ASTM A501
- | | |
|---------------------------|--|
| BOLTS | ASTM A325N |
| ANCHOR BOLTS. | ASTM A307 OR ASTM A36 |
| EXPANSION BOLTS | KWIK-BOLTS, REDHEADANCHORS OR THUNDERHEADS |
- FOUNDATIONS**
- FOOTINGS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 2500 PSF. IF THE SOIL AT THE FOOTING ELEVATIONS SHOWN IS OF QUESTIONABLE BEARING VALUE, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AT ONCE FOR RESOLUTION.
- ALL FOUNDATIONS SHALL BE CENTERED ON WALLS OR COLUMNS, UNO.
- WALLS RETAINING SOIL HAVE BEEN DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 45 PCF. ONLY FREE DRAINING GRANULAR FILL SHALL BE USED.
- WHERE FILL MATERIAL IS PLACED ON ONE SIDE OF A WALL, THE WALL SHALL BE ADEQUATELY SHORED AND BRACED OR THE MATERIAL SHALL NOT BE PLACED UNTIL SUPPORTING FLOOR SLABS HAVE BEEN POURED AND SET.
- PROTECT IN-PLACE FOUNDATIONS AND SLABS ON GRADE FROM FROST PENETRATION UNTIL PROJECT COMPLETION.
- CAST-IN-PLACE CONCRETE**
- CODE FOR REINFORCED CONCRETE DESIGN AND CONSTRUCTION IS ACI 318, LATEST EDITION.
- ARRANGEMENT AND BENDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI DETAILING MANUAL, LATEST EDITION.
- REINFORCING STEEL SHALL BE NEW DEFORMED BARS.
- CONCRETE COVER TO REINFORCING STEEL, UNO, SHALL BE AS FOLLOWS:
- | | |
|--------------------------------------|----|
| SURFACES CAST AGAINST EARTH. | 3" |
|--------------------------------------|----|
- FORMED SURFACES IN CONTACT WITH EARTH OR EXPOSED TO WEATHER:
- | | |
|----------------------------|--------|
| #6 BAR OR LARGER | 2" |
| #5 BAR OR SMALLER. | 1-1/2" |
- FORMED SURFACES NOT IN CONTACT WITH EARTH OR EXPOSED TO WEATHER:
- | | |
|--------------------------------|--------|
| WALLS, SLABS, JOISTS | 1" |
| BEAMS, COLUMNS. | 1-1/2" |
- NON-CONTINUOUS ENDS OF TOP BARS IN BEAMS, JOISTS AND SLABS SHALL TERMINATE IN A STANDARD HOOK, UNLESS DETAILED OTHERWISE.
- WHERE REINFORCED BARS ARE SHOWN CONTINUOUS, PROVIDE CLASS B TENSION LAP SPLICES (12" MINIMUM) EXCEPT WHERE NOTED OR DETAILED OTHERWISE STAGGER LAPS IN SLABS AND WALLS. LAP W.W.F. WIRE SPACING PLUS 2" (6" MINIMUM).
- DETAIL AND PROVIDE SUITABLE WIRE SPACERS, CHAIRS,TIES, ETC., FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.
- ALL CHAIRS SUPPORTED BY GRADE SHALL INCLUDE SAND PLATES. OR 15 FT. FOR EXPOSED CONCRETE SURFACES.
- CAST-IN-PLACE CONCRETE(Continued)**
- BAR SUPPORTS WHICH COME IN CONTACT WITH EXPOSED SURFACES SHALL HAVE PLASTIC OR RUBBER TIPS OR BE STAINLESS STEEL.
- PROVIDE DOWELS OF SAME SIZE AND SPACING AS VERTICAL OR COLUMN REINFORCING AT THE FOUNDATION, UNLESS NOTED OTHERWISE. ALL DOWELS SHALL BE TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.
- PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF WALLS, BEAMS, BOND BEAMS, AND FOOTINGS.
- CONTINUOUS TOP BARS IN BEAMS SHALL BE SPLICED AT MID SPAN AND BOTTOM BARS OVER SUPPORTS, UNLESS NOTED OTHERWISE.
- WHERE CONSTRUCTION JOINTS ARE NOT SHOWN, OR WHEN ALTERNATE LOCATIONS ARE PROPOSED, DRAWINGS SHOWING LOCATION OF CONSTRUCTION AND CONTROL JOINTS AND PLACING SEQUENCE SHALL BE SUBMITTED FOR APPROVAL PRIOR TO PREPARATION OF THE REINFORCING STEEL SHOP DRAWINGS.
- HORIZONTAL CONSTRUCTION JOINTS ARE NOT PERMITTED IN CONCRETE MEMBERS UNLESS SHOWN ON THE DRAWINGS OR APPROVED IN ADVANCE.
- VERTICAL CONSTRUCTION JOINTS OR BULKHEADS SHALL BE MADE AT MID SPAN OR POINTS OF MINIMUM SHEAR.
- SIZE OF CONCRETE POURS BETWEEN CONSTRUCTION JOINTS SHALL BE LIMITED TO:
- WALLS: MAXIMUM LENGTH 100 FT. WITH INTERMEDIATE CONTROL JOINTS AT APPROXIMATELY 30 FT. DO NOT LOCATE WITHIN 5 FT. OF A CORNER OR COLUMN.
- SLABS ON GRADE: 3600 SQ. FT. WITH MAXIMUM DIMENSION OF FT. PLACE IN LANE OR STRIP FASHION WITH INTERMEDIATE CONTROL JOINTS AT APPROX. 30FT. OR 15 FT. FOR EXPOSED CONCRETE SURFACES.
- CAST-IN-PLACE CONCRETE CONT'D**
- CONC. ON METAL DECK 10,000 SQ. FT. WITH A MAX. DIMENSION OF 100 FT.
- VERIFY LOCATION OF OPENINGS SHOWN THROUGH CONCRETE SLABS OR WALLS AND COORDINATE ANY ADDITIONAL REQUIRED OPENINGS WITH OTHER TRADES AND THE ARCHITECT/ENGINEER.
- TRIM OPENINGS IN CONCRETE WALLS AND SLABS WITH HORIZONTAL AND VERTICAL #4 BARS AND DIAGONAL #4 BARS AT CORNERS (UNO).
- CONCRETE EXPOSED TO FREEZING AND THAWING SHALL CONTAIN 5-7% ENTRAINED AIR.
- ALUMINUM CONDUIT OR PIPING MAY NOT BE EMBEDDED IN ANY CONCRETE.
- CALCIUM CHLORIDE IS NOT PERMITTED IN ANY CONCRETE ADD-MIXTURES.
- SUBMIT MIX DESIGN TO ENGINEER/ARCHITECT FOR APPROVAL PRIOR TO PLACING ANY CONCRETE.



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NOTES

CO-ORDINATE ALL PLANS WITH "CONSTRUCTION MANUAL."

ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.

G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.

G.C. SHALL PROVIDE CONSTRUCTION SCHEDULES, WEEKLY UPDATES, AND PHOTOS OF THE PROJECT THROUGHOUT THE DURATION OF CONSTRUCTION.

G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.

G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.

ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.

WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).

DO NOT SCALE DRAWINGS.

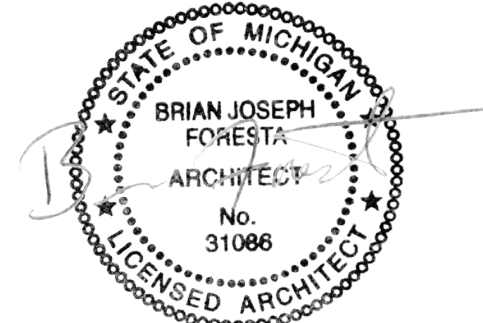
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PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL
BLVD. ALBION, MI
49224

SEAL



DATE

11/08/2021

NO.	DESCRIPTION	DATE
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SUBMITTAL

PERMIT

SHEET NAME

NOTES AND SPECIFICATIONS
SHEET #

T2

S2.104 MASONRY

MASONRY

PROVIDE WELDED WIRE JOINT REINFORCING IN ALL MASONRY WALLS AT 16" O.C. MAXIMUM.

PROVIDE REINFORCING BARS AT LOCATIONS INDICATED ON THE DRAWINGS. LAP 40 BAR DIAMETERS AT SPLICES IN VERTICAL WALL REINFORCING AND 30 BAR DIAMETERS ELSEWHERE UNLESS NOTED OTHERWISE.

GROUT CORES IN 5'-0" MAXIMUM LIFTS UNLESS CLEAN-OUTS ARE PROVIDED, IN WHICH CASE 8'-0" MAXIMUM LIFTS MAY BE USED.

Tie VERTICALLY REINFORCING TO JOINT REINFORCING AT 32" ON CENTER VERTICALLY TO MAINTAIN POSITIONING WHILE GROUTING.

PROVIDE 1-#5 VERTICAL BELOW BEAM AND LINTEL BEARINGS AND GROUT CORE FULL HEIGHT. BEARING DISTANCE SHALL BE A MINIMUM OF 8" BEAM OR LINTEL SHALL BE SET IN GROUT, 1/2" MINIMUM DEPTH, PROVIDE 1-#5 VERTICAL, FROM TOP OF FOOTING TO TOP OF WALL, IN CORES ADJACENT TO BEAM & LINTEL BEARINGS, GROUT CORE SOLID FULL HEIGHT, UNO.

CMU CORES CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID WITH 3000 PSI CORE FILL CONCRETE. FILLING CORES WITH MORTAR IS NOT ACCEPTABLE.

PLACE CONSTRUCTION JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUN OF MASONRY EXCEEDS 40'-0", UNO.

PROVIDE SPECIAL BLOCK TYPES WHERE REQUIRED FOR CORNERS, CONTROL JOINTS, HEADERS, LINTELS W/2-#5 MINIMUM (UNO), OTHER SPECIAL CONDITIONS WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS.

CONSTRUCT NON-LOAD-BEARING MASONRY WALLS TO ALLOW FOR DEFLECTION OF ROOF AND/OR FLOOR STRUCTURE.

CONSTRUCT NON-LOAD-BEARING MASONRY WALLS SUCH THAT THEY ARE BRACED AGAINST LATERAL MOVEMENT BY 14 GA. STEEL ANGLE CONT. EACH SIDE AT TOP OF WALL, CONNECT ANGLE TO ROOF OR FLOOR STRUCTURE, SNUG FIT CONNECTION TO MASONRY TO ALLOW FOR VERTICAL DEFLECTION OF ROOF OR FLOOR STRUCTURE WHILE INHIBITING LATERAL DEFLECTION OF MASONRY WALL.

MASONRY STRENGTH NOTES

PRISM TESTING OF F'm = 1500 PSI IS NOT REQUIRED PROVIDED MINIMUM COMPRESSIVE STRENGTH OF MASONRY UNITS IS 2000 PSI PER ACI 530-95 FOR TYPE M OR S MORTAR, UNO.

WHERE F'm EXCEEDS 1500 PSI, THE REQUIRED STRENGTH SHALL BE VERIFIED BY ONE OF THE FOLLOWING TWO METHODS:

- COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL BE INCREASED TO ACHIEVE REQUIRED F'm PER ACI 530-95 FOR TYPE M OR S MORTAR.
- PRISM TESTING PER ACI 530-95.

STRUCTURAL ENGINEER SHALL BE NOTIFIED IN WRITING, PRIOR TO CONSTRUCTION, OF METHOD TO BE USED.

WHEN PRISM TESTING IS USED TO DETERMINE F'm, NOT LESS THAN FIVE PRISMS SHALL BE CONSTRUCTED AND TESTED PRIOR TO CONSTRUCTION FOR EACH STRENGTH SPECIFIED. DURING CONSTRUCTION, THREE PRISMS SHALL BE TESTED PER EACH 5000 SQ. OF, WALL.

TYPICAL LINTEL TYPES AND NOTES

- VERIFY SIZE AND LOCATION OF ALL MECHANICAL, U.V., U.M., LOUVER AND DUCT OPENINGS WITH MECHANICAL CONTRACTOR.
- FOR ALL OPENINGS, THROUGH MASONRY WALL INCLUDING MECHANICAL AND ELECTRICAL OPENINGS, PROVIDE ONE OF THE FOLLOWING (UNO).
 - STEEL ANGLE LINTELS (MINIMUM BEARING OF 6" ON SOLID MASONRY).
 - 1-3-1/2" X 3-1/2" X 1/4" ANGLE FOR EACH 4" THICKNESS OF WALL FOR SPANS UP TO 4'-0".
 - 1-5" X 3-1/2" X 5/16" ANGLE FOR EACH 4" THICKNESS OF WALL FOR SPANS UP TO 5'-0".
 - 1-6" X 3-1/2" X 5/16" ANGLE FOR EACH 4" THICKNESS OF WALL FOR SPANS TO 6'-0".
 - BLOCK LINTELS (MINIMUM BEARING OR 6" ON SOLID MASONRY)

12" BLOCK	8" BLOCK	6" BLOCK	WALL TYPE
2-#4 BOT.	2-#4 BOT.	1-#4 BOT.	BRG. WALL UP TO 3'-4" SPAN
2-#5 BOT.	2-#5 BOT.	1-#5 BOT.	NON BRG. WALL UP TO 3'-5" TO 6'-4" SPAN
2-#5 BOT.	2-#5 BOT.	-----	BRG. WALL UP TO 4'-6" SPAN
2-#5 T&B	2-#6 T&B	-----	BRG. WALL UP TO 4'-7" TO 6'-4" SPAN

- FILL LINTEL BLOCKS SOLID WITH 3,000 PSI CONCRETE (3/8 MAXIMUM AGGREGATE).
- ALL STEEL LINTEL BEAMS TO BEAR A MINIMUM OF 8" ON SOLID MASONRY, FILL BLOCK CORES UNDER ALL STEEL LINTEL BEAM BEARINGS WITH 3,000 PSI CONCRETE A MINIMUM OF 5 COURSES DOWN FOR 16" LENGTH OF WALL (UNLESS OTHERWISE NOTED).

SUPPLEMENTAL NOTES

EXAMINE ARCHITECTURAL, MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS TO DETERMINE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REVEALS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.

BEFORE FABRICATION AND ERECTION OF ANY MATERIALS, FIELD VERIFY ALL EXISTING ELEVATIONS, DIMENSIONS AND CONDITIONS AS SHOWN ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER AT ONCE FOR RESOLUTION.

STRUCTURAL MEMBERS INCLUDING JOISTS, SLABS, BEAMS, TRUSSES, COLUMNS AND WALLS ARE DESIGNED FOR "IN PLACE" LOADS. CONTRACTOR IS RESPONSIBLE FOR BRACING, WITHOUT OVER-STRESSING, ALL STRUCTURAL ELEMENTS (AS REQUIRED AT ANY STAGE OF CONSTRUCTION) UNTIL COMPLETION OF THIS PROJECT.

S2.105 METALS

STRUCTURAL STEEL

- STEEL DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH THE LATEST A.I.S.C. SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS.
- ALL WIDE FLANGE BEAMS AND COLUMNS SHALL CONFORM TO THE LATEST ASTM SERIAL DESIGN A572, GR50; ALL MISCELLANEOUS STEEL PLATES, BARS, ANGLES, ETC., SHALL CONFORM TO ASTM A36; STEEL TUBING TO BE ASTM A500, GRADE; STEEL PIPE ASTM A-53, GRADE B.
- ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST AWS CODE, E70XX ELECTRODES, WITH WELDING PERFORMED BY QUALIFIED WELDERS.
- BOLTED CONNECTIONS SHALL BE MADE WITH A-315 OR A-490 BOLTS. ALL BOLTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS FOR "STRUCTURAL JOINTS USING A.S.T.M. A-325 OR A-405 BOLTS"
- DESIGN CONNECTIONS FOR MINIMUM ONE-HALF THE TOTAL ALLOWABLE UNIFORM LOAD PER A.I.S.C. BEAM LOAD TABLES, UNLESS OTHERWISE NOTED. (MIN. 2 BOLTS EACH CONNECTION)
- SINGLE PLATE SHEAR CONNECTIONS ARE ACCEPTABLE ONLY FOR BEAM TO GIRDER AND SKEWED CONNECTIONS LESS THAN 30 KPS. SHEAR PLATES OR SINGLE SHEAR ANGLES SHALL BE WELDED TO THE TOP FLANGE OF SUPPORTING GIRDERS.
- THE STRUCTURAL STEEL CONTRACTOR SHALL INCLUDE 5 TONS OF ADDITIONAL STEEL, INCLUDING FABRICATION AND ERECTION, TO BE USED AT THE DISCRETION OF THE STRUCTURAL ENGINEER.
- THE DESIGN, CONFIGURATION AND ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL STEEL FABRICATOR. REVIEW AND ACCEPTANCE OF THE SHOP DRAWINGS BY THE ENGINEER SHALL CONSTITUTE APPROVAL OF THE LOAD CARRYING CAPACITY ONLY.
- TEMPORARY ERECTION SEATS SHALL BE PROVIDED AS RECOMMENDED ON PAGE 3-59 OF THE A.I.S.C. PUBLICATION "ENGINEERING FOR STEEL CONSTRUCTION"
- STEEL JOISTS AND JOIST GIRDERS ARE TO BE FABRICATED BY A MEMBER OF THE STEEL JOIST INSTITUTE AND BE DESIGNED FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE S.J.I.
- ALL PROVISIONS OF THE RECOMMENDED CODE OF STANDARD PRACTICE FOR STEEL JOISTS AS ADOPTED BY THE STEEL JOIST INSTITUTE SHALL BE ADHERED TO.
- STEEL JOIST BEARING ON STEEL BEAMS OR PLATES, TO BE WELDED TO STEEL WITH 2" LONG BEAD EACH SIDE OF BEARING. EXTEND BOTTOM CHORDS OF JOISTS AT COLUMNS AND CONNECT. IF NO JOIST OCCURS AT COLUMNS, EXTEND BOTTOM CHORDS OF EACH ADJACENT JOIST AND CONNECT.
- METAL DECK SHALL CONFORM TO ALL REQUIREMENTS OF "BASIC DESIGN SPECIFICATION" AS ADOPTED BY THE STEEL DECK INSTITUTE (S.D.I.).
- METAL ROOF DECK SHALL BE WIRE RIB WITH NESTING SIDE SEAMS OF DEPTH AND GAGE INDICATED ON THE DRAWINGS. DECK SHALL BE WELDED TO ALL SUPPORTING STEEL WITH PUDDLE WELDS 5/8" DIAMETER MINIMUM, AT 12" ON CENTER MAXIMUM SPACING 36/5 AND 6" O/C (ALL FLUTES) 36/7 AT END LAP SUPPORT POINTS AND BUILDING PERIMETER ATTACHMENTS. SIDE LAP CONNECTIONS SHALL BE MADE AT MAXIMUM 18" CENTERS AT THIRD POINTS OF SPAN WITH #10 TEK SCREW MIN. REFER TO SPECIFICATIONS FOR ADDITIONAL ERECTION PROCEDURES.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL ANGLES, PLATES, BARS, CLIPS ETC., ATTACHED TO STRUCTURAL STEEL.
- UNLESS OTHERWISE NOTED, ALL FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH L 5 X 3-1/2 X 5/16 L.L.V. VERIFY EXACT LOCATION OF ALL FOR AND ROOF OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS WITH CONTRACTOR INVOLVED.
- THIS STEEL FRAME IS NON-SELF SUPPORTING PER A.I.S.C. CODE OF STANDARD PRACTICE, SECTIONS 7.9.3 AND 7.9.5. ERECTION, BRACING, SHORING, ETC. SHALL CONFORM TO THESE SECTIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE.

DESIGN LIVE LOADS

- ROOF: 25 PSF LIVE LOAD (SNOW) + DRIFT WHERE APPLICABLE PER CODE
- WIND: 90 MPH EXPOSURE B
20 PSF MINIMUM FOR ALL MEMBERS DEFINED AS COMPONENTS AND CLADDING.
- SEISMIC: SS = 0.12 S1 = 0.045 IE = 1.0 SITE CLASS "D"

PREFABRICATED BUILDING

- VERIFY ALL SIZE AND DETAILS PERTAINING TO THE PRE-ENGINEERED BUILDING, INCLUDING COLUMN AND ANCHOR BOLT LOCATIONS WITH METAL BUILDING SUPPLIER.
- VERIFY ALL DIMENSIONS WITH ENGINEERED BUILDING SUPPLIER PRIOR TO CONSTRUCTION.
- FOUNDATIONS FOR THE PRE-ENGINEERED COLUMNS ARE DESIGNED PER LOADS TRANSMITTED BY PRE-ENGINEERED BUILDING SUPPLIER.

LIGHT GAGE FRAMING

- LIGHT GAGE FRAMING AND CONNECTIONS SHALL BE DESIGNED BY THE MANUFACTURER AND SEALED DRAWINGS AND CALCULATIONS SHALL BE PREPARED AND SUBMITTED BY AN ENGINEER REGISTERED IN THE STATE OF MICHIGAN.
- LIGHT GAGE MEMBERS SHALL BE DESIGNED, MANUFACTURED, AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN IRON AND STEEL INSTITUTE (AISI), INCLUDING ANY REQUIRED CLIPS, STIFFENERS AND BRACING.
- LOAD BEARING WALL STUDS AND FLOOR JOISTS SHALL BE BRACED AT A MINIMUM OF 5'-0" ON CENTER WITH ADDITIONAL BRACING AS REQUIRED BY THE MANUFACTURER.
- MEMBER SIZES INDICATED ON THE DRAWINGS ARE MINIMUM DEPTH AND GAGE REQUIRED TO MEET THE DESIGN INTENT AND ARE BASED ON THE PROPERTIES AND MATERIALS LISTED IN THE DAE/INCOR PRODUCT CATALOG. ALTERNATE MANUFACTURERS ARE ACCEPTABLE IF THE PHYSICAL PROPERTIES ARE EQUAL OR BETTER THAN THOSE LISTED AND ACCEPTABLE TO THE PROJECT ARCHITECT AND ENGINEER, AND MEET OR EXCEED PERFORMANCE CRITERIA.
- LIGHT GAGE FRAMING SUPPLIER SHALL SUBMIT DRAWINGS AND CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN MICHIGAN INDICATING ALL REQUIRED FLOOR AND WALL LOADS AND VERIFYING ANY MEMBER SIZES SHOWN. DESIGN BY SUPPLIER SHALL INCLUDE ALL CONNECTIONS AND MISCELLANEOUS MATERIALS NECESSARY FOR A COMPLETE STRUCTURE.

S2.108 DOORS AND WINDOWS

- FURNISH ALL NECESSARY OR REQUIRED MATERIALS AND LABOR FOR THE COMPLETE INSTALLATION OF ALL GLASS AND GLAZING SHOWN IN THE DRAWINGS OR SPECIFIED HEREIN. INSTALLATION SHALL BE IN ACCORDANCE WITH THE BEST ACCEPTED PRACTICE FOR THE TRADE AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- MATERIALS: FRAME MATERIALS FOR WINDOWS SHALL BE ANODIZED ALUMINUM SECTION SIMILAR TO KAWNEER CO., NU-CORE FOR EXTERIOR CAPABLE OF WITHSTANDING 30 PSF WIND LOAD AND INSTALLED INSURE A WEATHER TIGHT SYSTEM. ALL INSTALLATION SHALL BE IN A NEAT AND WORKMANLIKE MANNER WITH HALL JOISTS CUTS AND FITTED PRECISELY AND SEALED TO PREVENT ANY WATER LEAKAGE OR AIR LEAKAGE. DOOR SHALL BE SIMILAR TO KAWNEER #190 NARROW STILLS AND KAWNEER HARDWARE OFFSET PIVOTS. LCN 40-40 CLOSER WITH PARALLEL ARM, MORTISE CYLINDER LOCK WITH INTERIOR THUMB TURN, #185QA0505 HOOD-BOLT LOCK STYLE F-2 PUSH-PULL, SEALAIR WEATHERSTRIPPING.
- GLASS: GLASS TO BE 1" INSULATED REFLECTIVE GLASS AND 1" INSULATED REFLECTIVE SPANDREL GLASS AS INDICATED ON DRAWINGS. PROVIDE SAFETY GLASS AS REQUIRED BY CODE.
- LAVATORY MIRRORS: PROVIDE MIRRORS, AS SHOWN ON DRAWINGS, WITH CONCEALED MOUNTINGS.

S2.115 MECHANICAL

HVAC SYSTEM

- THE HVAC SYSTEM SHALL CONSIST OF COMBINATION ROOFTOP HVAC UNITS CONSISTING OF GAS HEATING AND ELECTRICAL CONDENSING COOLING UNITS WITH CHANGEOVER-BYPASS ZONING SYSTEM. (VAV SYSTEM) SIMILAR AND EQUAL TO TRAN VARITRAC CHANGEOVER-BYPASS ZONING SYSTEM. THE UNITS SHALL HAVE A HERMETIC COMPRESSOR, "LOW AMBIENT" TEMPERATURE CONTROL, FULL REFRIGERANT CHARGE, MULTI-SPEED DIRECT DRIVE BLOWER, CLEANABLE POLYURETHANE FILTERS, STAINLESS STEEL TUBE HEAT EXCHANGERS AND BURNERS, FORCED DRAFT COMBUSTION BLOWER, AUTOMATIC GAS CONTROLS WITH 100% SAFETY SHUT-OFF, GAS PRESSURE REGULATOR, SOLID STATE SPARK IGNITION, TRANE OR EQUAL. THERMOSTATS IN COMMON AREAS TO HAVE PLEXIGLASS, LOCKABLE COVERS. (ALL EQUIPMENT TO BE FACTORY ASSEMBLED LOW PROFILE UNITS, AGA APPROVED, ANSI DESIGN COMPLIANCE, AND U.L. LABELED. PROVIDE INTEGRAL INSULATED PREFAB CURBS (TO BE INSTALLED BY ROOFING CONTRACTOR) AND FULL ECONOMIZER PACKAGE.
- EXHAUST FANS SHALL HAVE SPUN ALUMINUM HOUSING AND ALUMINUM CURB CAP, BALANCED CENTRIFUGAL BLOWER UNIT DIRECT DRIVE, LOW CONTOUR ROOF TOP UNITS WITH DISCONNECT SWITCH, OVERLOAD PROTECTION, BACKDRAFT DAMPER, AND MATCHING ROOF MOUNTING CURB. UNITS TO BE AMCA RATED AND U.L. LABELED.
- REGISTERS AND GRILLS TO BE TUTTLE & BAILEY OR EQUAL. SEE MECHANICAL DRAWINGS FOR MODEL NUMBERS.
- ALL DUCT AND DIFFUSER SIZING AND AIR VELOCITY REQUIREMENTS SHALL MEET THE LATEST MINIMUM STANDARDS AND RECOMMENDATIONS OF THE ASHRAE.
- THESE ARE DESIGN AND BUILD DRAWINGS. THE HVAC CONTRACTOR IS RESPONSIBLE FOR A COMPLETE SYSTEM IN ALL RECORDS AND FOR MEETING ALL APPLICABLE CODES. THE HVAC CONTRACTOR IS RESPONSIBLE FOR FINAL DUCT SIZING AND LAYOUT, AIR BALANCING SYSTEM, AS-BUILT DRAWINGS, OBTAINING ALL REQUIRED PERMITS.
- THE MAXIMUM VELOCITY AT ALL REGISTERS AND DIFFUSER OUTLETS SHALL NOT BE LESS THAN THE 150 CFM NOR MORE THAN 350 CFM EXCEPT AT ENTRANCE HALLS AND OVER ENTRANCE DOOR LOCATIONS WHERE VELOCITIES CAN INCREASE TO 400 CFM.
- IN-DUCT VELOCITIES SHALL NOT EXCEED 600 FEET PER MINUTE IN BRANCH DUCTWORK FEEDING DIFFUSERS AND REGISTERS. ALL DUCT SIZING AND AIR VELOCITIES SHALL BE DESIGNED TO PREVENT NOISE, RATTLING OR CHATTERING OF DUCTS AND DIFFUSERS. DUCTWORK SHALL BE SHEETMETAL WITH INSULATED WRAP AND THE LAST 6' OF DUCTWORK SHALL BE INSULATED FLEXIBLE TIME DUCTWORK.
- ALL DUCTS, DIFFUSERS AND REGISTERS SHALL HAVE INTEGRAL TWO-WAY VOLUME CONTROL DAMPERS. ADDITIONALLY PROVIDE VOLUME CONTROL DAMPERS IN ALL MAIN DUCT RUNS AND AT DUCT LOCATIONS SHOWN ON THE DRAWINGS FOR FULL INTERNAL REGULATION OF THE SYSTEM.
- PROVIDE SHOP DRAWINGS INDICATING ALL DUCT SIZING OF SUPPLY AIR DUCTS. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION OF THE DUCTWORK.
- ALL CEILING DIFFUSERS AND GRILLES SHALL BE COORDINATED WITH THE REFLECTED CEILING PLAN AND THE ELECTRICAL LIGHTING FIXTURE LOCATIONS.
- WHERE THE CEILING SPACE IS USE AS A RETURN AIR PLENUM, NO COMBUSTIBLE MATERIALS ARE PERMITTED IN IT.

PLUMBING

- ALL PLU BING WORK SHALL BE GOVERNED BY THE STANDARDS AND SPECIFIED REQUIREMENTS OF THE LOCAL INSPECTIONS BUREAU; STATE PLUMBING CODE BOCA, LATEST EDITION; AND THE DETROIT PLUMBING CODE WITH THE MOST STRINGENT REQUIREMENTS TO GOVERN.
- ALL PLUMBING FIXTURES AND APPLIANCES INDICATED ON THE PLANS SHALL BE PIPED AND VENTED IN ACCORDANCE WITH THE PLUMBING FIXTURE SCHEDULE OR AS OTHERWISE REQUIRED TO MEET CODE REQUIREMENTS.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING THE SANITARY SYSTEM TO A POINT 5' OUTSIDE OF THE BUILDING IN ORDER TO MAKE CONNECTION TO THE UNDERGROUND SERVICE LEAD.
- PLUMBER SHALL CONNECT ALL ROOF DRAINAGE SYSTEMS AND MAKE CONNECTIONS TO THE SITE STORM DRAINAGE SYSTEM.
- ALL WATER CONNECTIONS SHALL BE MADE TO THE MUNICIPAL WATER SYSTEM, AND SHALL BE DONE IN ACCORDANCE WITH LOCAL DPW PRACTICE.
- ALL SERVICE METERING, SHUT OFF VALVING, BRANCH PIPE VALVING, C.O., VENTING AND REVENTING, SHALL MEET LOCAL CODE. A CLEANOUT SHALL BE REQUIRED AS PER SECTION P-1101 OF THE 1984 BOCA BASIC PLUMBING CODE OR SHALL BE REQUIRED AT 50' IN HORIZONTAL DRAINAGE LINES OF 4" IN DIAMETER OR LESS, AND NOT MORE THAN 100' APART FOR LARGER PIPES.
- ALL BARRIER FREE DESIGN STANDARDS FOR THE HANDICAPPED SHALL BE COMPILED WITH NOTHING IN THESE SPECIFICATIONS NOTWITHST-NDING.
- SHOULD ANY CONFLICT OBTAIN BETWEEN LOCAL CODE AND SPECIFICATION REQUIREMENTS, THEN THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. AT ALL TIMES USE BEST STANDARDS OF PRACTICE BEST QUALITY OF MATERIALS AND WORKMANSHIP.
- WHEN BIDDING JOB, PLUMBING CONTRACTOR SHALL SUBMIT AN ITEMIZATION OF MATERIALS AND SHALL BE ALLOWED TO MAKE RECOMMENDATIONS SO AS LONG AS THE BID PROPOSAL IS SO QUALIFIED. THE CONTRACTOR TO PROVIDE GAS PIPING TO FURNACE AND UNIT HEATERS.
- GAS PIPING TO BE SCHEDULE 40 BLACK STEEL, SCREWED MALLEABLE IRON FITTINGS, ASTM A53. SIZE PIPING TO MEET REQUIREMENTS OF ALL EQUIPMENT.
- PLUMBING CONTRACTOR SHALL MAKE WORK COMPLETE IN EVERY DETAIL AFTER FULLY ACQUAINTING HIMSELF WITH THE WORK PROJECT.
- VALVING: ALL FIXTURES AND ALL BRANCH PILING RUNNING TO FIXTURES SHALL HAVE CONTROL VALVES FOR COMPLETE REGULATION OF THE SYSTEM. EACH BRANCH PIPING SYSTEM SHALL BE INDIVIDUALLY VALVED.
- VENTS THROUGH THE ROOF SHALL BE FLASHED AND COUNTER FLASHED (BY ROOFER)
- SANITARY AND STORM DRAINAGE TO MEET THE STATE AND LOCAL PLUMBING CODES AND REGULATIONS. WHERE NOT OTHERWISE NOTED, THE BOCA PLUMBING CODES AND STANDARDS SHALL GOVERN THE CHARACTER OF THE WORK.
- REFER TO DRAWINGS FOR FIXTURE SCHEDULE AND BRANCH PIPING SCHEDULES. FIXTURES TO BE KOHLER, AMERICAN STANDARD, ELJER OR APPROVED EQUAL. SUBMIT SPECIFICATIONS TO ARCHITECT ON WHICH FIXTURES TO BE USED.
- GAS PIPING: THIS CONTRACTOR TO PROVIDE GAS PIPING TO FURNACES AND UNIT HEATERS.
- URINAL: AMERICAN STANDARD LYNBROOK, WHITE, OR EQUAL; MEETING ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
- WATER CLOSETS: AMERICAN STANDARD CADET, WHITE, OR EQUAL; MEETING ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
- LAVATORIES: AMERICAN STANDARD AQUALYN, WHITE, OR EQUAL; MEETING ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
- SERVICE SINK: 22"X22" FIBERGLASS, SERVICE SINK WITH ELJER FITTING #739-1230 OR EQUAL.
- HOSE BIBS: FROST-PROOF 3/4" VALVE AND SECURELY FASTENED TO THE WALL.
- FLOOR DRAINS: SMITH MODEL #2005 A (6" OIA) OR EQUAL.
- ELECTRIC WATER COOLER: HALSEY TAYLOR HACBFS Q OR EQUAL.

S2.110 SPECIALTIES

- PROVIDE FINISH HARDWARE AS SELECTED BY OWNER, FURNISH TO THE FINISH CARPENTER FOR INSTALLATION. FINISH HARDWARE SCHEDULE SHALL BE FURNISHED FOR APPROVAL. ALL HARDWARE FOR ALUMINUM DOORS BY ALUMINUM DOOR SUPPLIER.

S2.116 ELECTRICAL

- SUBMITTAL OF BID INDICATES CONTACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
- ALL SERVICE REQUIREMENTS SHALL BE IN COMPLIANCE WITH LOCAL UTILITY COMPANY RULES AND REGULATIONS. VERIFY LOCATION OF ALL POWER SOURCES PRIOR TO SUBMITTING BID FOR INTENDED SERVICE REQUIREMENTS AS EVIDENCED BY RISER DIAGRAM SHOWN ON THE PLANS (SEE S.250.71 AND 250.72, NATIONAL ELECTRICAL CODE)
- CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY, LOCAL, NATIONAL, AND OSHA REQUIREMENTS, WHICHEVER IS MOST STRINGENT.
- ELECTRICAL CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND UTILITY COMPANY CHARGES AND PAY FOR SAME. THE CHARGES SHALL BE INCLUDED IN HIS BID.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPER OPERATING SYSTEM, AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN AND/OR AS REQUIRED
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITERS LABORATORIES, AND SHALL BEAR THE INSPECTION LABEL WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH THE APPROVAL DIVISION OF INDUSTRIAL SAFETY, AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY A.N.S.I., N.E.M.A., AND N.S.F.D. MINIMUM WIRE SIZE FOR ALL WORK TO BE #12 COPPER WIRE. ALL WIRE SIZING IS BASED ON THE AMPACITY OF COPPER. ALL WIRE MUST BE COPPER.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, J-BOX, ETC., IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970.
- ALL CONDUIT SHALL BE INSTALLED CONCEALED WHERE PHYSICALLY POSSIBLE. ALL EXPOSED CONDUIT SHALL BE INSTALLED PARALLEL OR AT RIGHT ANGLES WITH THE BUILDING WALLS.
- ALL EXTERIOR UNDERGROUND WIRING TO BE IN SCH. 40 P.V.C.. ALL INTERIOR UNDERGROUND WIRING PERMITTED TO BE IN SCH. 40 P.V.C. RUNS IN CONCRETE TO BE E.M.T. WITH APPROVED CORROSION PROTECTION.
- ALL EXIT LIGHTS, NIGHT LIGHTS, AND EMERGENCY LIGHTS TO BE WIRED FOR COMMON LOCK-ON BREAKERS.
- EXIT LIGHTS SHALL BE ILLUMINATED INTERNALLY AND HAVE INTEGRAL BATTERY CHARGING CIRCUIT AND AUTOMATIC TRANSFER SWITCH.
- EMERGENCY LIGHTS SHALL BE WALL MOUNTED UNLESS NOTED OTHERWISE AND NIGHT LIGHTS SHALL BE IN CONDUIT BUT WITH NO RESTRICTION ON THE NUMBER OF OTHER CIRCUITS INCLUDED COMMENSURATE WITH CONDUIT SIZING.
- BATTERY BACK-UP TYPE EXIST AND EMERGENCY LIGHTS MUST BE FED FROM SAME CIRCUITS AS NORMAL LIGHTING IN THEIR RESPECTIVE AREAS AND BE CONNECTION AHEAD OF ANY LOCAL SWITCHES. THEY CANNOT BE ON SEPARATE CIRCUITS.
- ELECTRICAL CONTRACTOR SHOULD REFER TO THE FOLLOWING DRAWINGS AND INCORPORATE ALL WORK TO MAKE THEIR CONTRACT COMPLETE IN EVERY DETAIL.
- SITE DRAWINGS: SITE LIGHTING, SIGNAGE AND POWER/TELEPHONE SERVICE REQUIREMENTS.
- MECHANICAL DRAWINGS: REVIEW ALL MECHANICAL EQUIPMENT AND CONFIRM ELECTRICAL POWER REQUIREMENTS WITH MECHANICAL CONTRACTOR TO INSURE THAT EQUIPMENT WILL BE ELECTRICAL CHARACTERISTICS REQUIRED.
- REFER TO PLUMBING DRAWINGS AND PROVIDE WIRING FOR ALL PUMPS AND MOTORS THERE IN SPECIFIED.
- THESE PLANS ARE DIAGRAMMATIC ONLY. FINAL LOCATION AND MOUNTING HEIGHTS OF ALL PLUGS, LIGHTS, AND PHONE JACKS ARE SUBJECT TO OWNER APPROVAL. ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE BARRIER FREE DESIGN ACT, AND NO SWITCHES OR CONTROLS SHALL BE MOUNTED MORE THAN 48" ABOVE FINISHED FLOOR.
- ROOF TOP EQUIPMENT SHALL HAVE AN ACCESSIBLE 110-120 VOLT GROUNDING-TYPE MAINTENANCE OUTLET ON THE ROOF WITHIN 25 FEET OF SAID EQUIPMENT. (BOCA CODE M-306.2.2)
- WIREWAY FOR W.P. DISCONNECTS TO ROOF TOP UNITS REQUIRED W.P. PROTECTION AND MUST BE OF PROPER SIZE USING 20% FILL RULE.
- PROPER EQUIPMENT GROUNDING OF SITE LIGHTS AND SIGNS REQUIRED. IF NON-METALLIC CONDUIT AS INDICATED ON LIGHT POLE DETAIL IS USED, A SEPARATE EQUIPMENT GROUNDING CONDUCTOR MUST BE INSTALLED IN THE CONDUIT. THIS SHOULD ALSO BE REQUIRED WITH DIRECT BURIAL TYPE CABLE. SCHEDULE 40/80 PLASTIC PIPE REQUIRES SEPARATE GROUNDING CONDUCTOR, PER TABLE 250-95.
- PROPER WORKING CLEARANCE MUST BE PROVIDED AND MAINTAINED AROUND ALL ELECTRICAL EQUIPMENT, EPICALLY MAIN SERVICE SWITCHGEAR.
- THESE DRAWINGS SHOULD BE USED ON A DESIGN AND BUILD BASIS. THE CONTRACTOR IS RESPONSIBLE TO MEET ALL CODES AND FOR OBTAINING HIS OWN PERMIT.



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DO NOT SCALE DRAWINGS.

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PROJECT

21140B

**GROW FACILITY
1007 INDUSTRIAL
BLVD. ALBION, MI
49224**

SEAL



DATE

11/08/2021

NO.	DESCRIPTION	DATE
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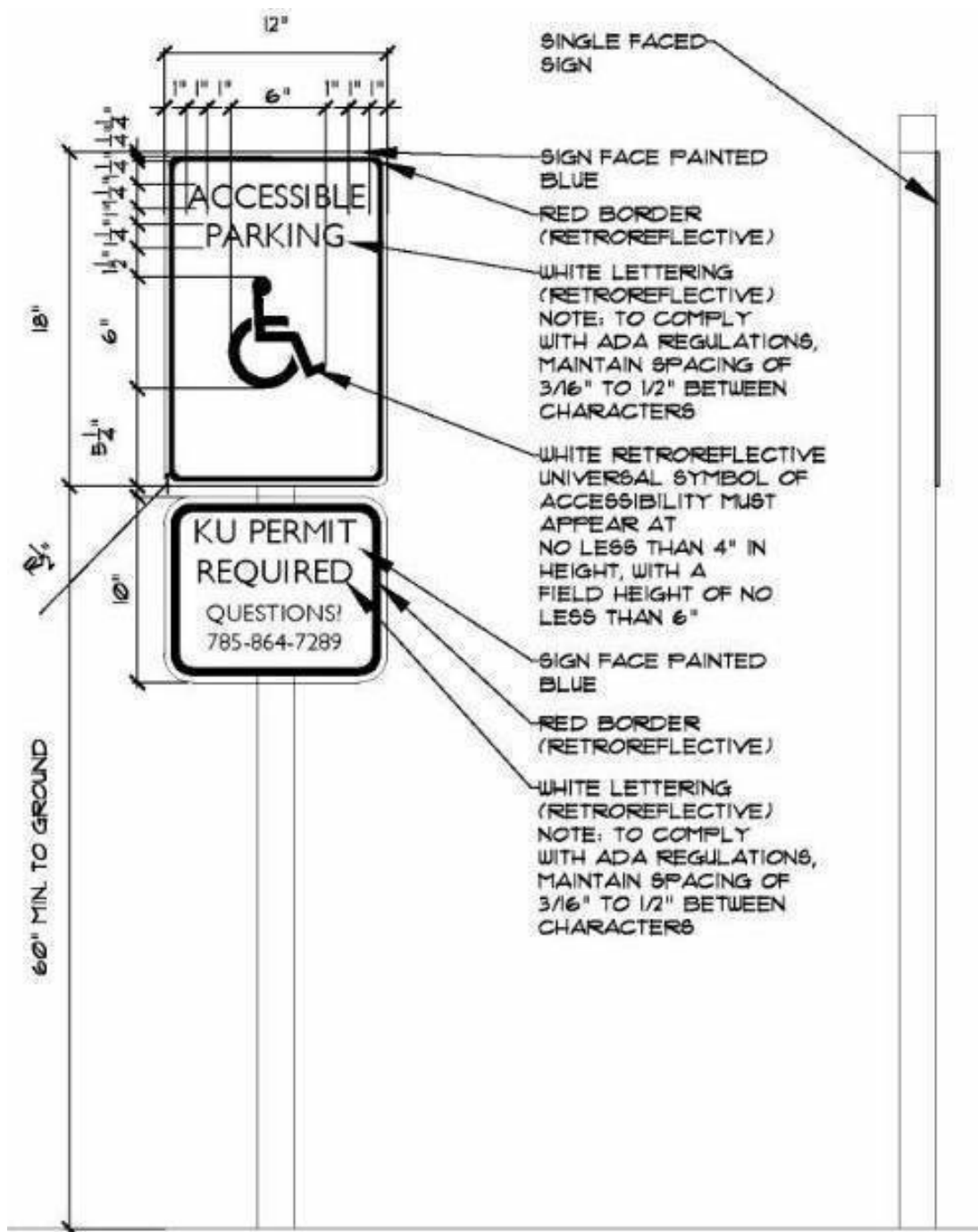
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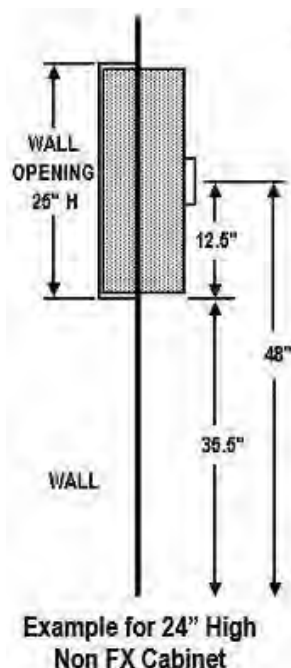
NOTES AND
SPECIFICATIONS
SHEET #

T3



FIRE EXT. MOUNTING DETAIL

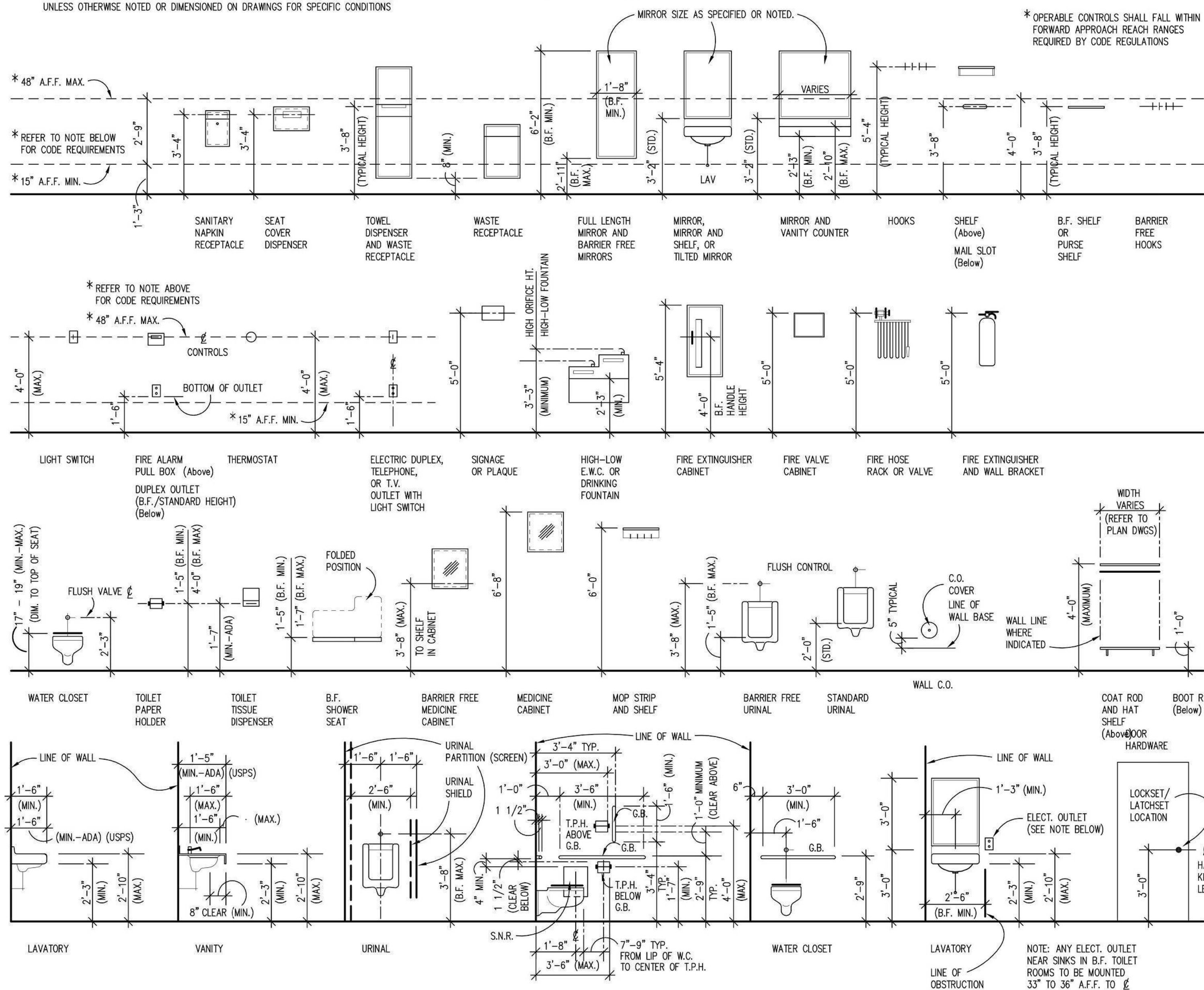
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ADA PARKING SIGN DETAIL

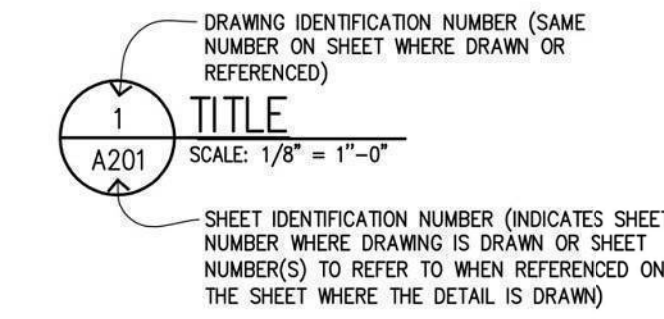
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NOTE: MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS (B.F. DENOTES BARRIER FREE REQUIREMENTS)

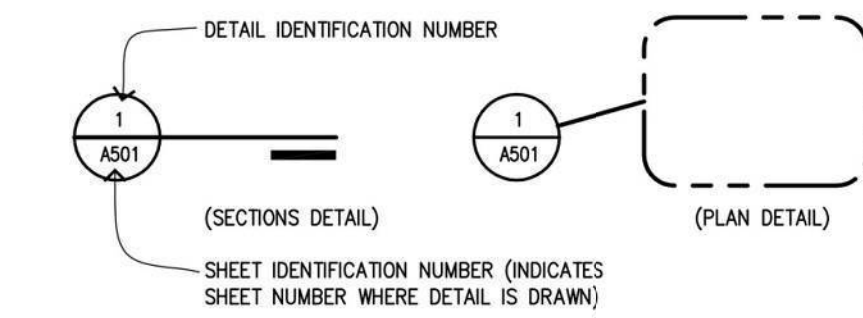


ELEVATION	SECTION	MATERIAL
[Pattern]	[Pattern]	BRICK
[Pattern]	[Pattern]	BLOCK (CMU - CONCRETE MASONRY UNITS)
[Pattern]	[Pattern]	BLOCK (CMU - GROUTED SOLID)
[Pattern]	[Pattern]	CONCRETE
[Pattern]	[Pattern]	EARTH
[Pattern]	[Pattern]	COMPACTED DRAINAGE FILL (SAND)
[Pattern]	[Pattern]	FINISH WOOD
[Pattern]	[Pattern]	WOOD BLOCKING/ NAILER (CONTINUOUS)
[Pattern]	[Pattern]	WOOD BLOCKING/ NAILER (NON-CONTINUOUS)
[Pattern]	[Pattern]	PARTICLE BOARD (LARGE SCALE)
[Pattern]	[Pattern]	PLYWOOD (LARGE SCALE)
[Pattern]	[Pattern]	BATT OR BLANKET INSULATION
[Pattern]	[Pattern]	RIGID INSULATION
[Pattern]	[Pattern]	GYPSUM DRYWALL (WALLBOARD)
[Pattern]	[Pattern]	GLASS (LARGE SCALE)
[Pattern]	[Pattern]	GLASS (SMALL SCALE)

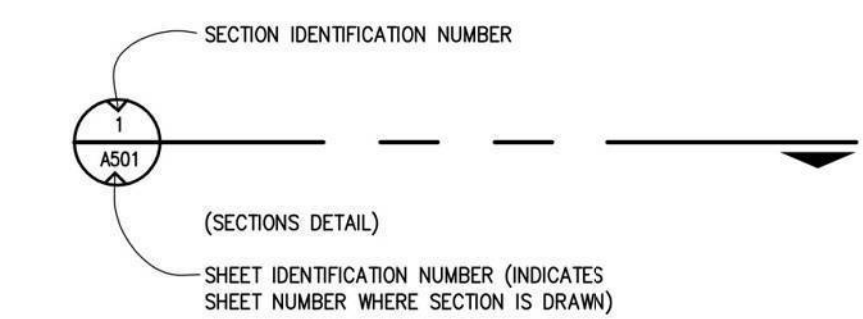
DRAWING (DETAIL, SECTION, ELEVATION, ETC.) IDENTIFICATION



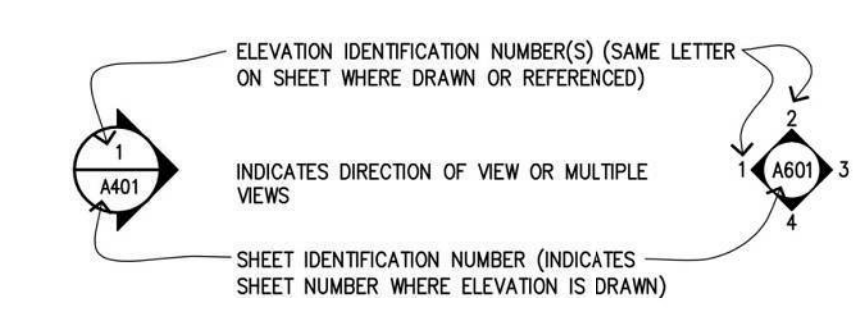
DETAIL LOCATION INDICATION



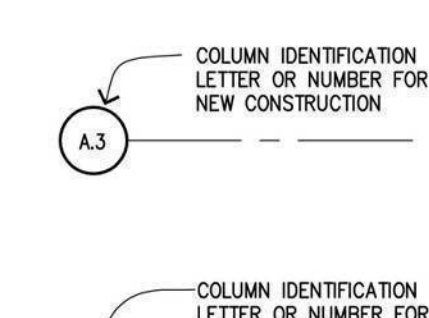
SECTION LOCATION INDICATION



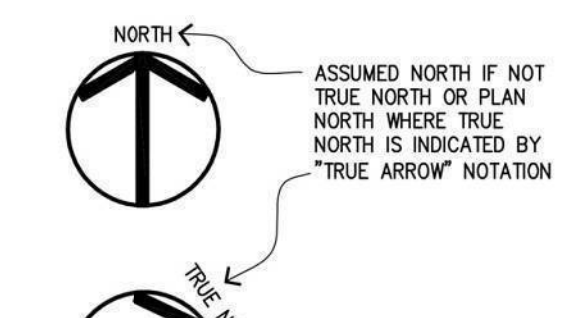
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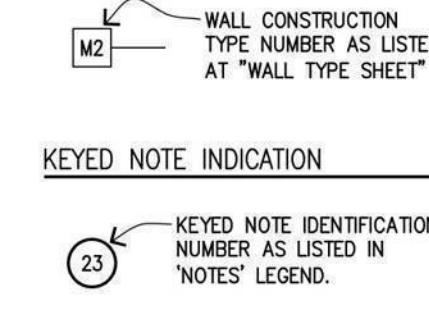
COLUMN INDICATION



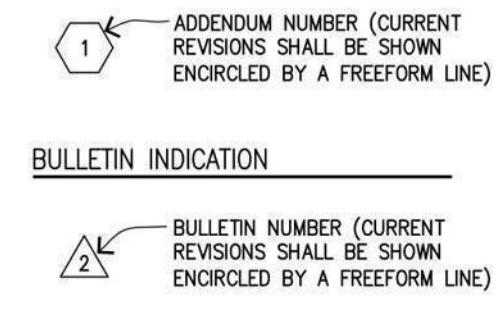
NORTH INDICATION



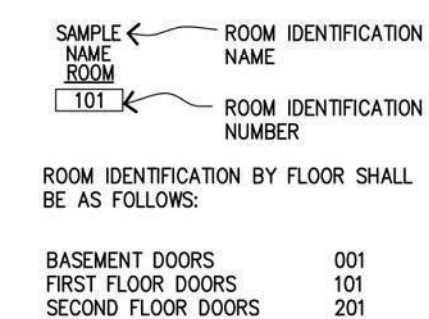
WALL TYPE INDICATION



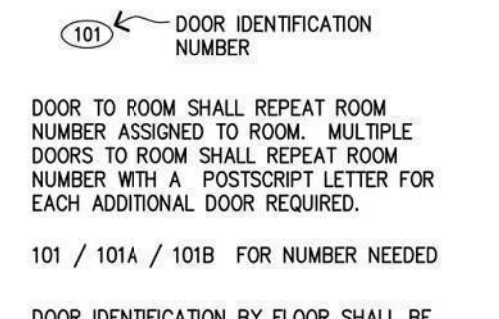
ADDENDUM INDICATION



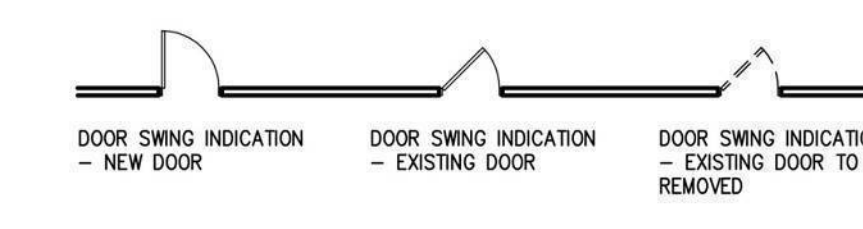
ROOM NAME & NUMBER



DOOR INDICATION



DOOR INDICATION



MOUNTING HEIGHTS

1/4" = 1'-0"

HATCHES

1/4" = 1'-0"

SYMBOLS

1/4" = 1'-0"

NOTES

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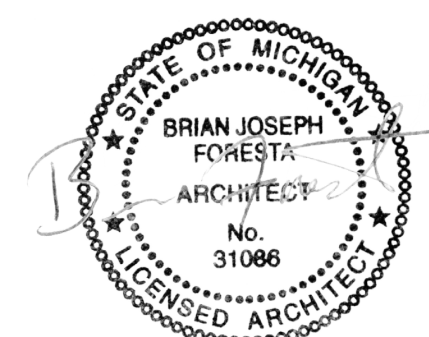
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PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

11/08/2021

NO.	DESCRIPTION	DATE
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SUBMITTAL

PERMIT

SHEET NAME

ADA DETAILS

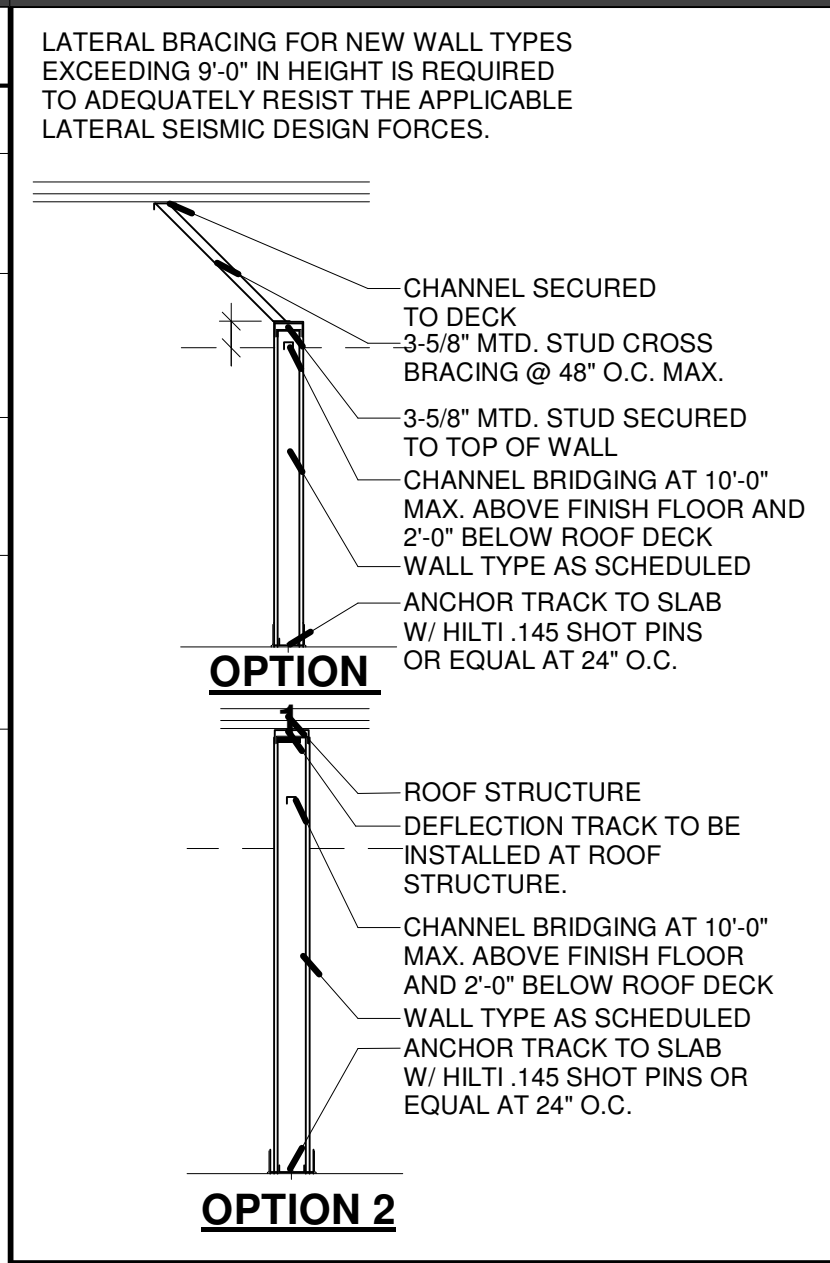
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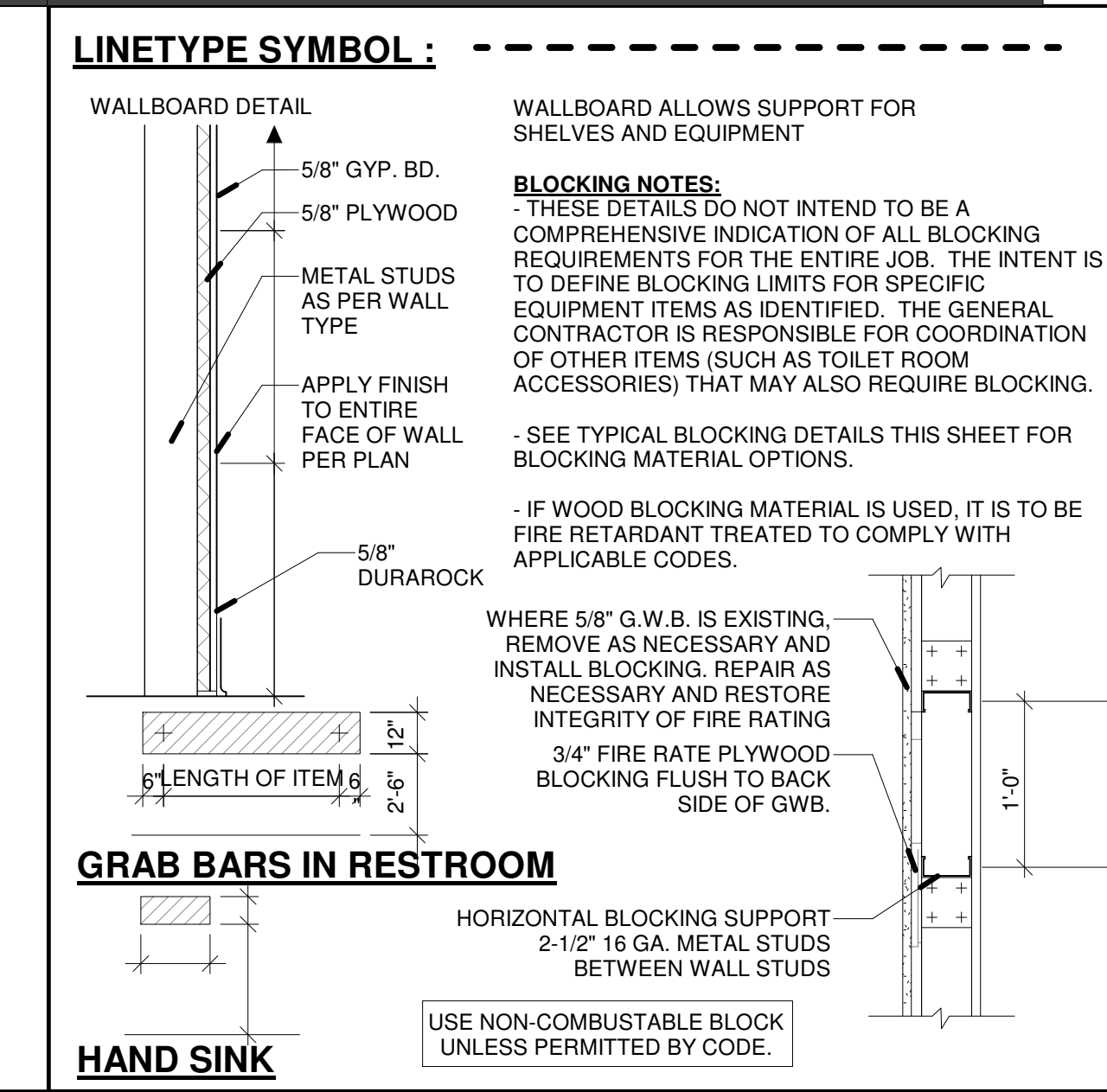
WALL TYPES

NEW : <input type="checkbox"/>	EXISTING: <input type="checkbox"/>	DEMO: <input type="checkbox"/>
MARK	CONSTRUCTION	
A	8" CONC. MASONRY W/ METAL SIDING ABOVE EXTERIOR WALL (SEE METAL BLDG. MANUF. PLANS)	
D	3 5/8" METAL STUDS AT 16" O.C. (1) LAYER 5/8" GWB EACH SIDE EXTEND TO DECK AND FIRE CAULK AT AREAS: LOADING, GROW AREA (& CORRIDORS)	
E	4" POURED CONC. WWF W/ 1.4x1.4, 4"x4" O.C. SPACING SEE SHEET S1	
F	2-HR ASSEMBY: 3 5/8" METAL STUDS AT 16" O.C. (2) LAYER 5/8" GWB EACH SIDE EXTEND TO DECK AND FIRE CAULK AT AREAS: LOADING, GROW AREA (& CORRIDORS)	
NOTE:		
1. ALL COLD FORM METAL FRAMING MEMBERS SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE ANSI SPECIFICATIONS FOR DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS AND IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.		
2. DEMISING WALLS SHALL BE RATED 1 HOUR FIRE SMOKE CONSTRUCTION. ALL PENETRATIONS THRU DEMISING WALLS SHALL BE FIRE CAULKED FLOOR TO ROOF DECK.		
3. ANY DUCT PENETRATIONS THRU DEMISING WALL SHALL HAVE FIRE/SMOKE DAMPERS INSTALLED.		
4. RATED WALL ENDING AT THE STOREFRONT MUST PROVIDE 1 HR FIRE/SMOKE CONNECTION TO THE NEAREST MULLION OR PLASTER.		
5. USE METAL STUD GAUGE AS FOLLOWS (U.O.I.N.)		
25 GA. FOR WALLS LESS THAN 9'-0" A.F.F.		
22 GA. FOR WALLS 9'-0"-12'-0" A.F.F.		
18 GA. FOR WALLS OVER 12'-0" A.F.F.		
PROVIDE LATERAL BRACING FOR ALL WALLS PER LATERAL BRACING DETAIL		

LATERAL BRACING DETAILS

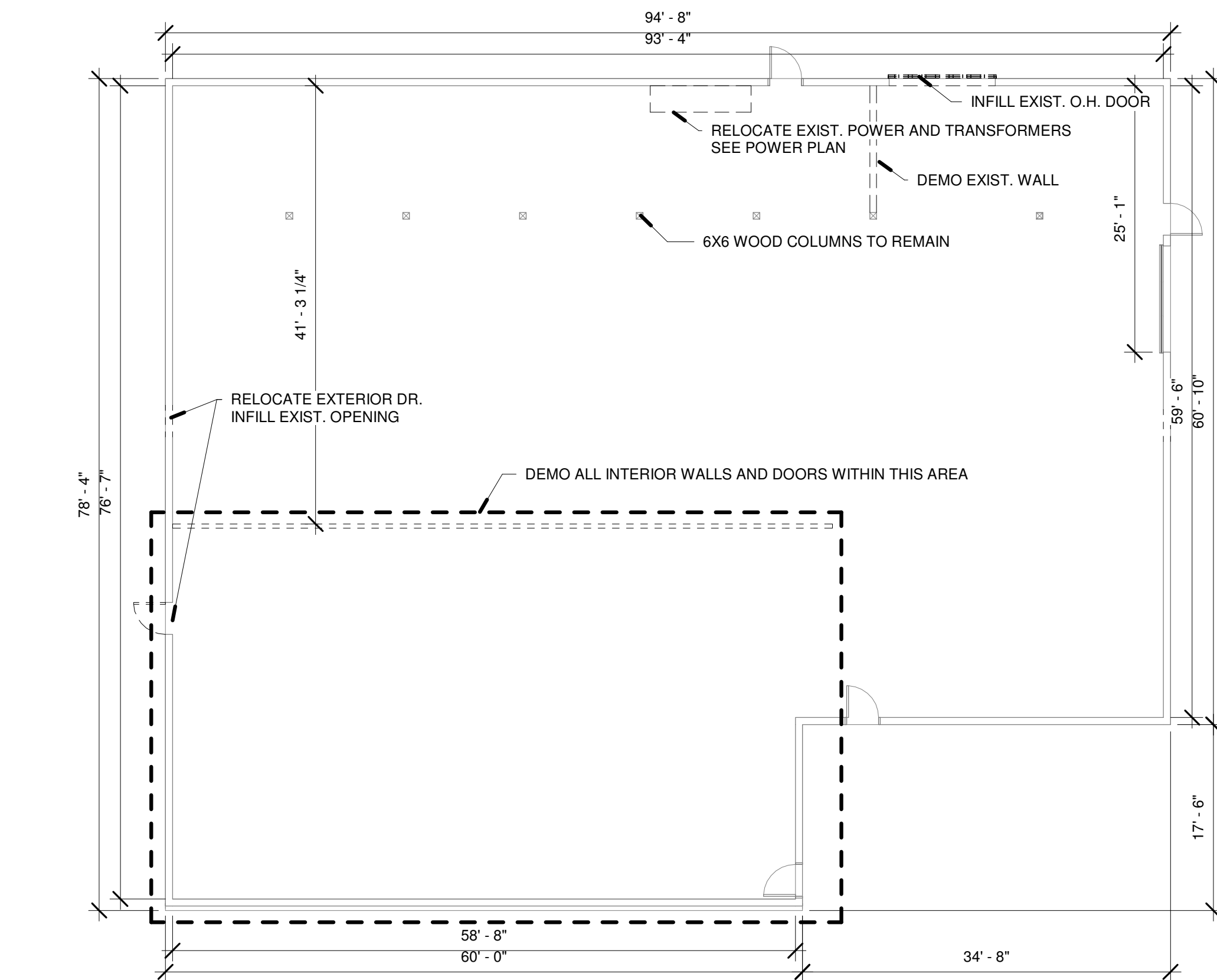


BLOCKING DETAILS



DOOR SCHEDULE

NUM.	CT.	MFR.	MDL.	WIDTH	HT.	THICK.	NOTES
1	26	BY G.C.	BY G.C.	3'-0"	7'-0"	2"	COMMERCIAL INTERIOR DOOR
2	4	BY G.C.	BY G.C.	10'-0"	10'-0"	2 1/4"	COMMERCIAL OVERHEAD DOOR
3	1	BY G.C.	BY G.C.	5'-7"	6'-6 3/4"	2"	COMMERCIAL METAL DOUBLE DR
4	7	BY OWN.	BY OWN.	3'-0"	7'-0"	2"	COMMERCIAL METAL DOOR, LOCKABLE, PANIC HARDWARE

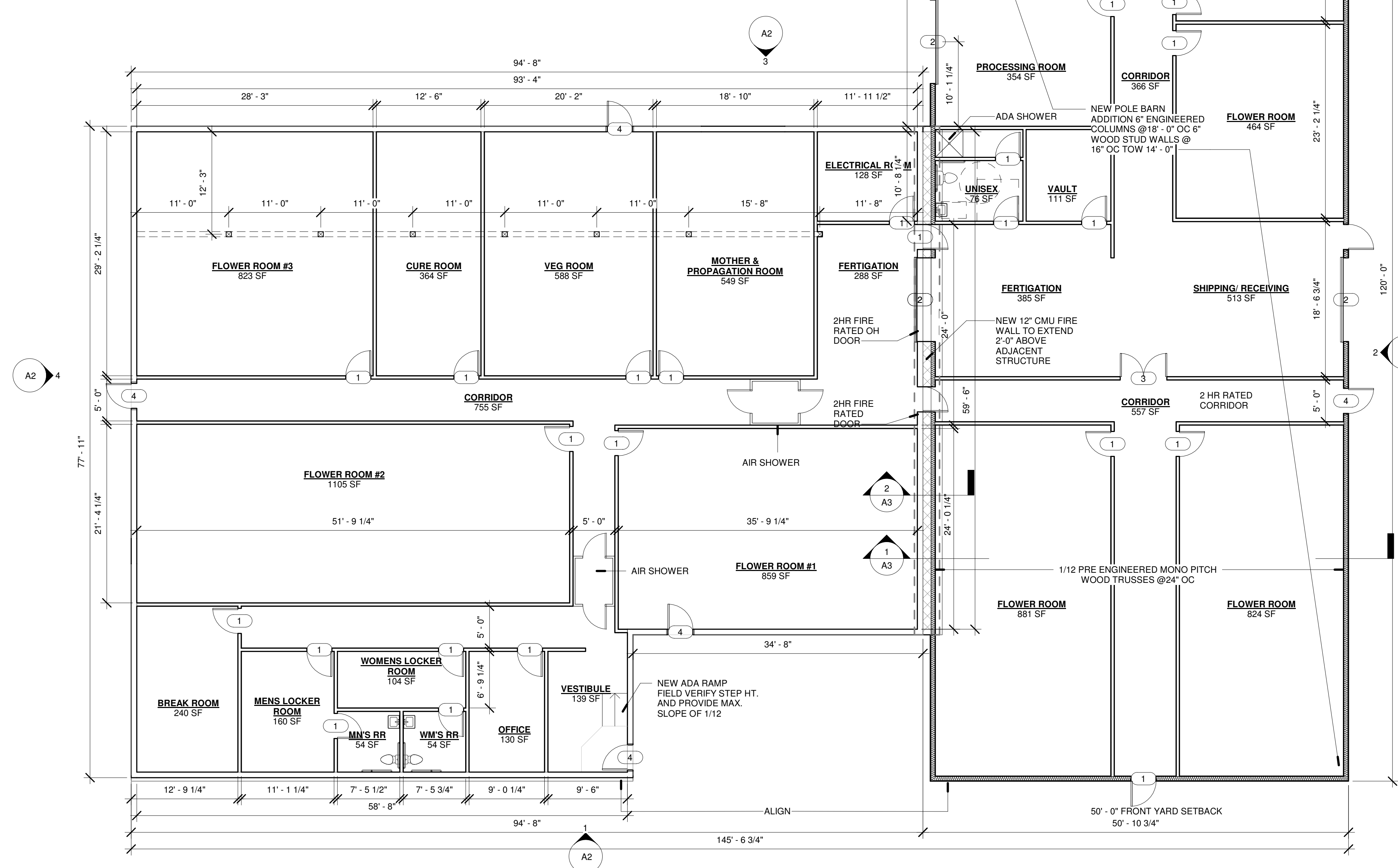


DEMO PLAN

3/32" = 1'-0"

FLOOR PLAN

1/8" = 1'-0"



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NOTES

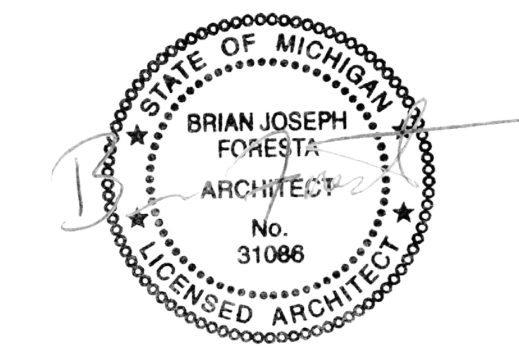
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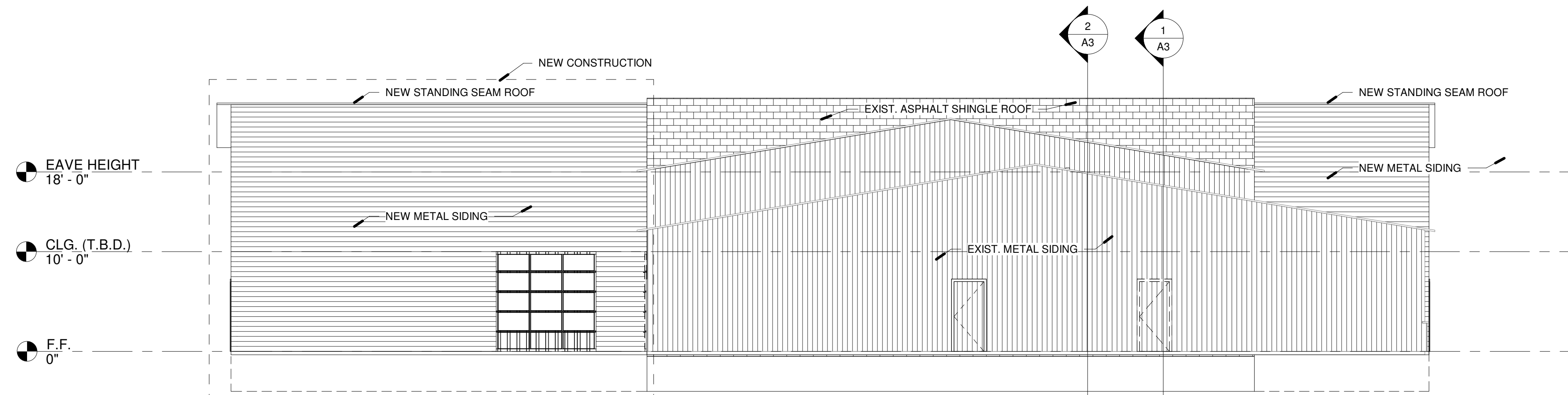
SHEET NAME

FLOOR AND DEMO PLAN
SHEET #

A1

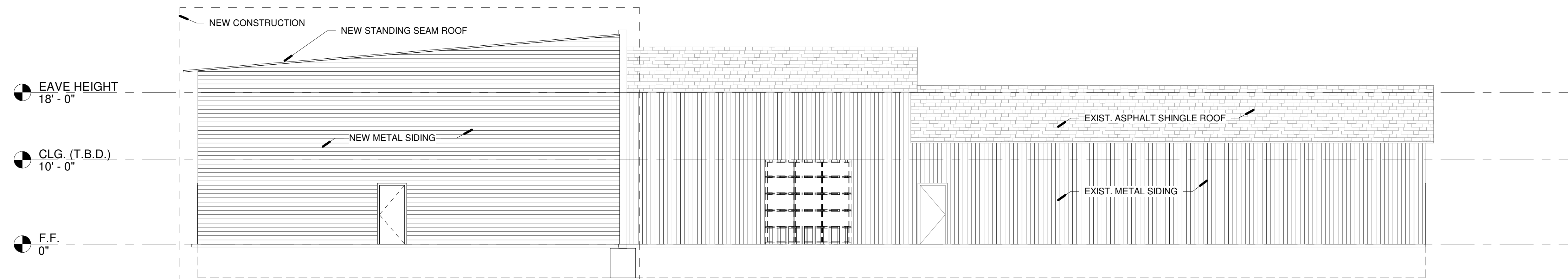


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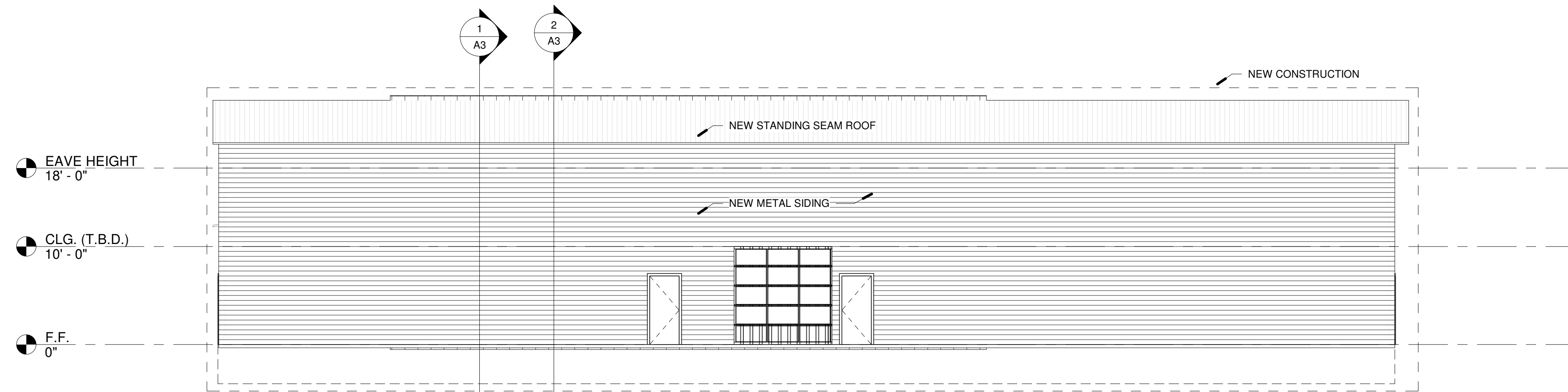
SOUTH ELEVATION

1/8" = 1'-0"



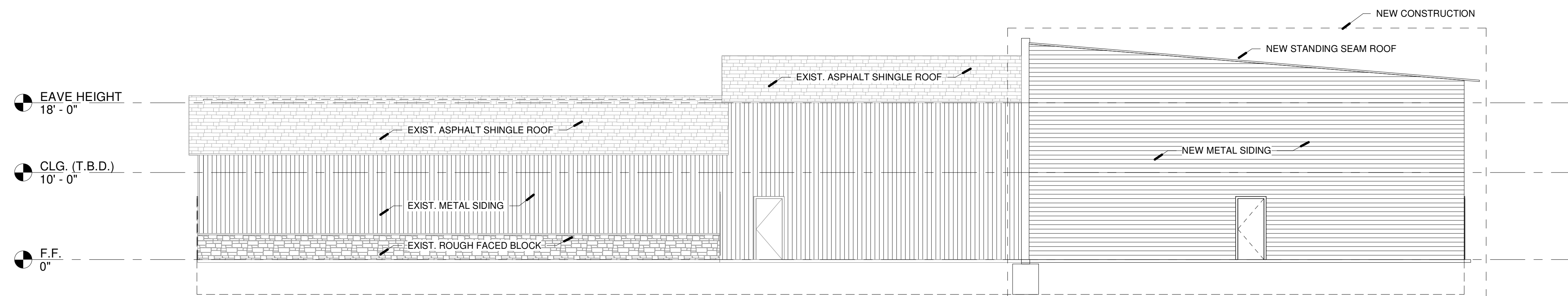
WEST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

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DO NOT SCALE DRAWINGS.

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PROJECT

21140B

GROW FACILITY
 1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

11/08/2021

NO.	DESCRIPTION	DATE

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PERMIT

SHEET NAME

ELEVATIONS

SHEET #

A2

NOTES

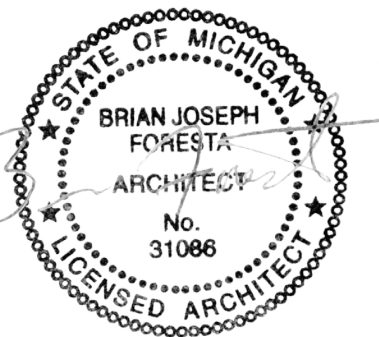
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GROW FACILITY
1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

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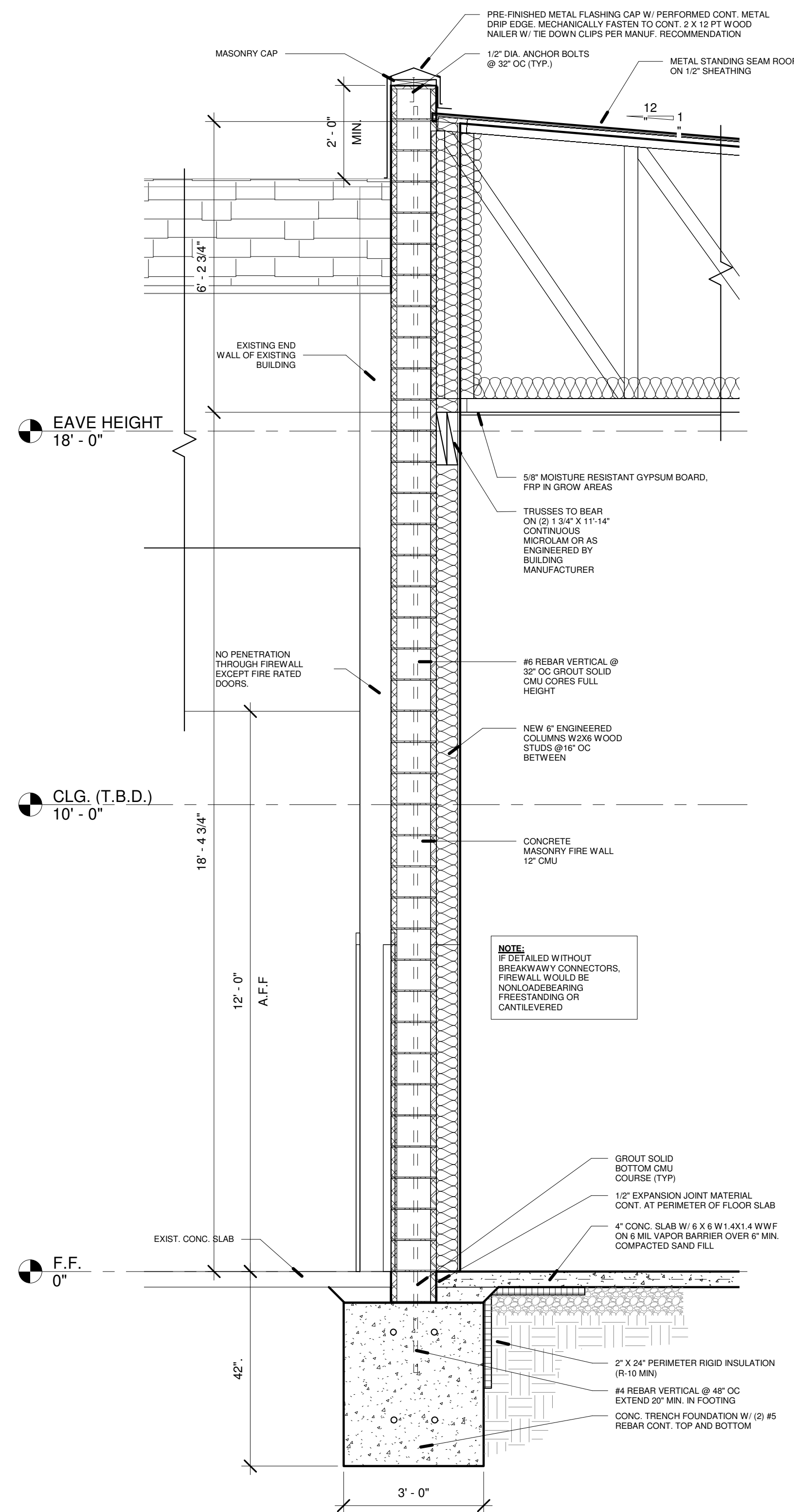
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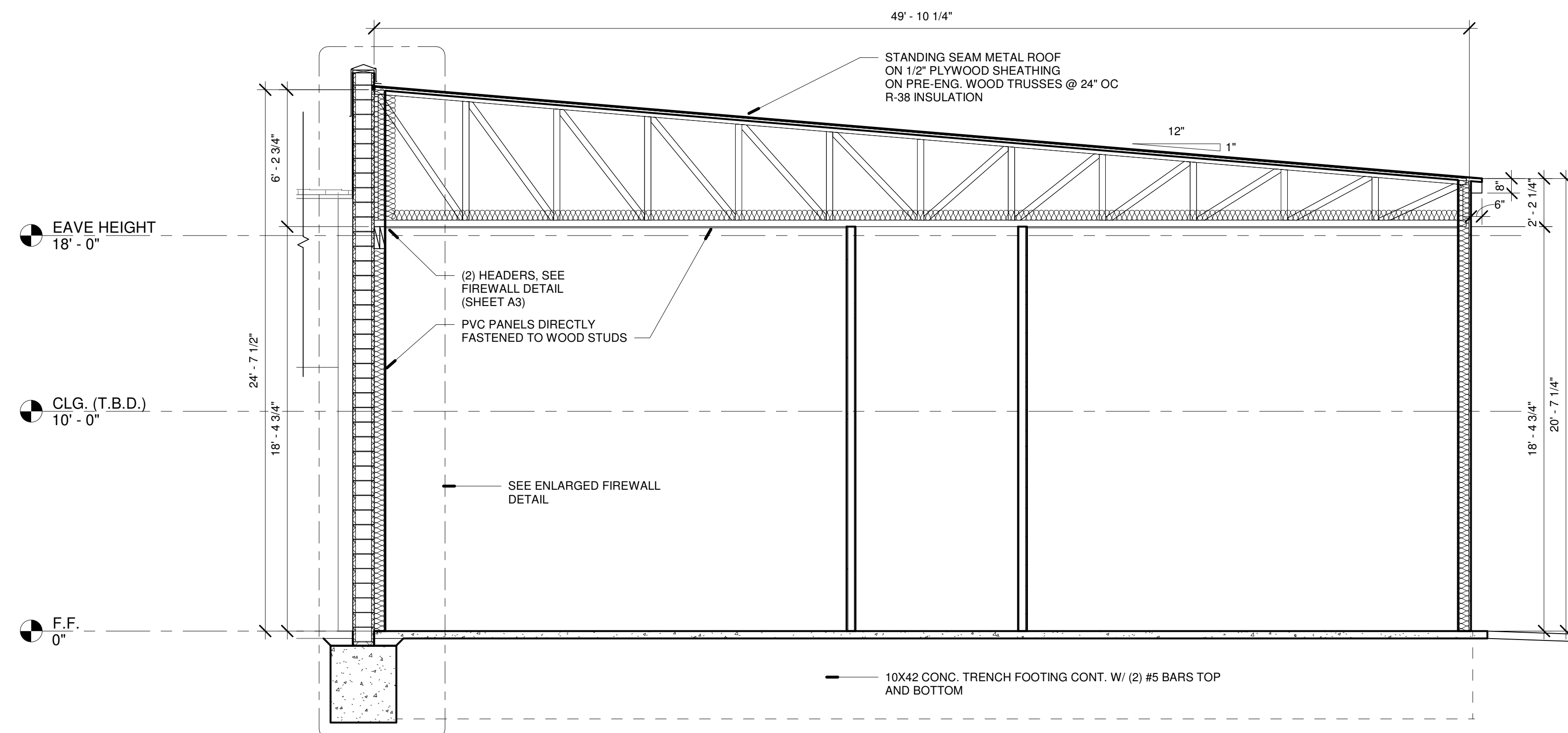
SECTIONS

SHEET #

A3



FIREWALL DETAIL
1/2" = 1'-0"



BUILDING SECTION
1/4" = 1'-0"



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NOTES

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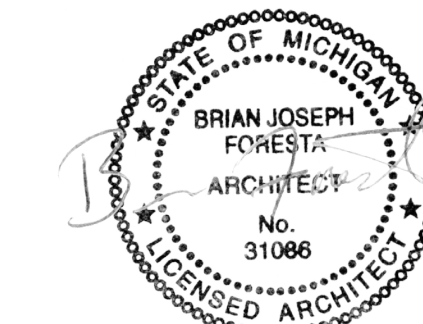
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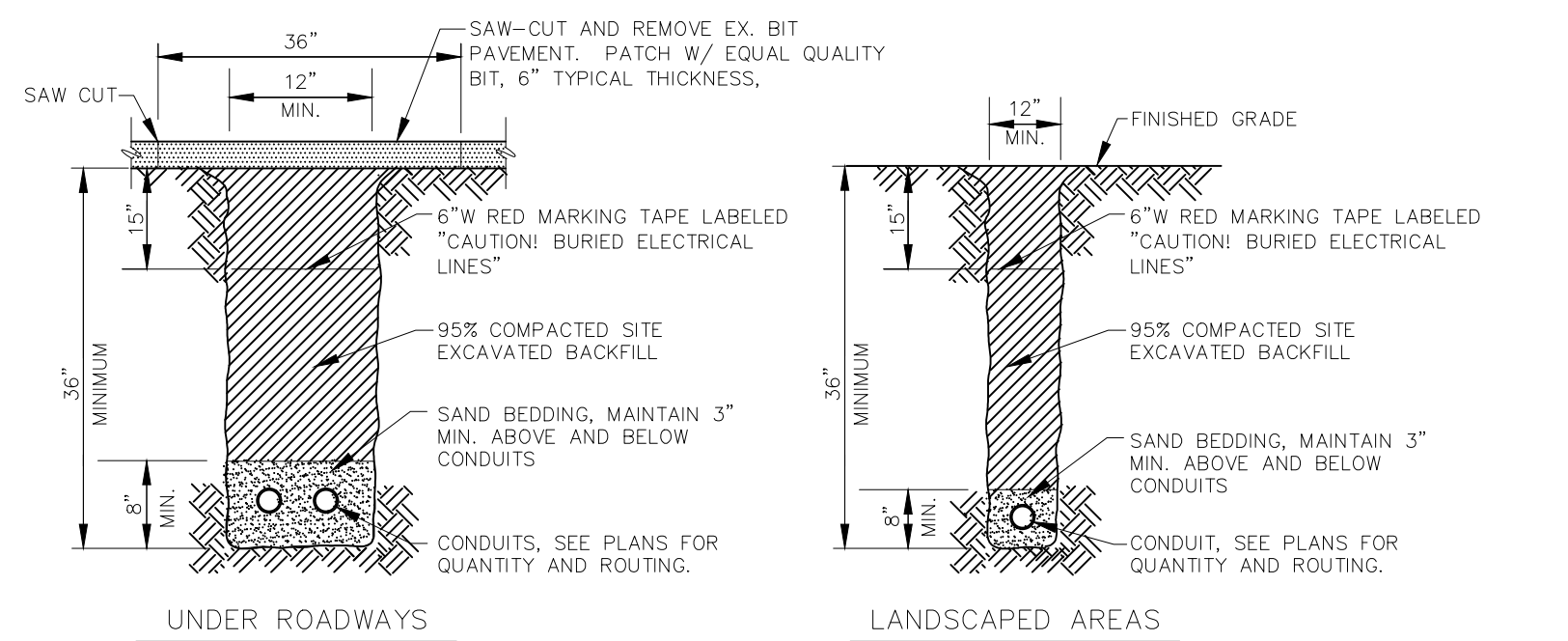
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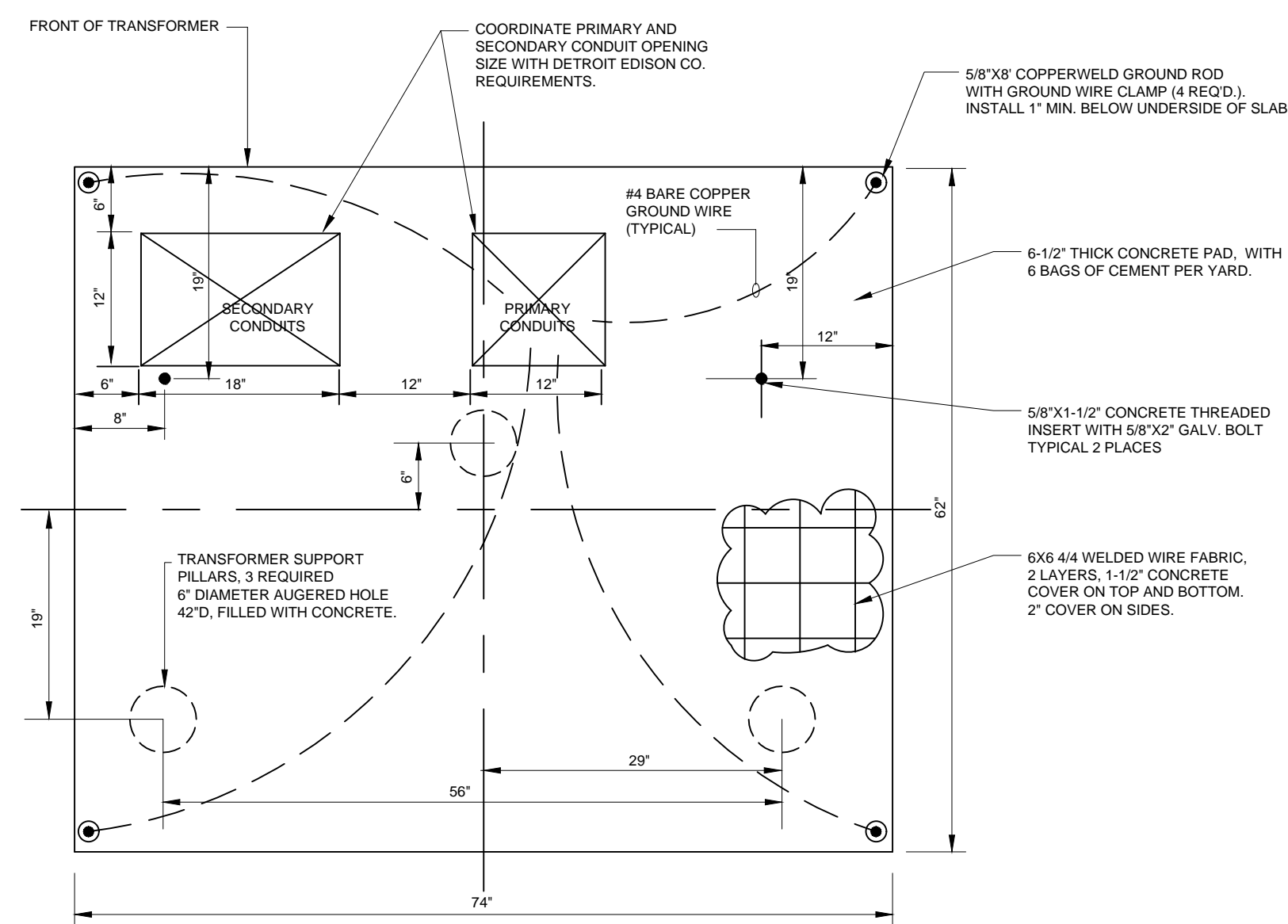
ELECTRICAL - SITE PLAN

SHEET #

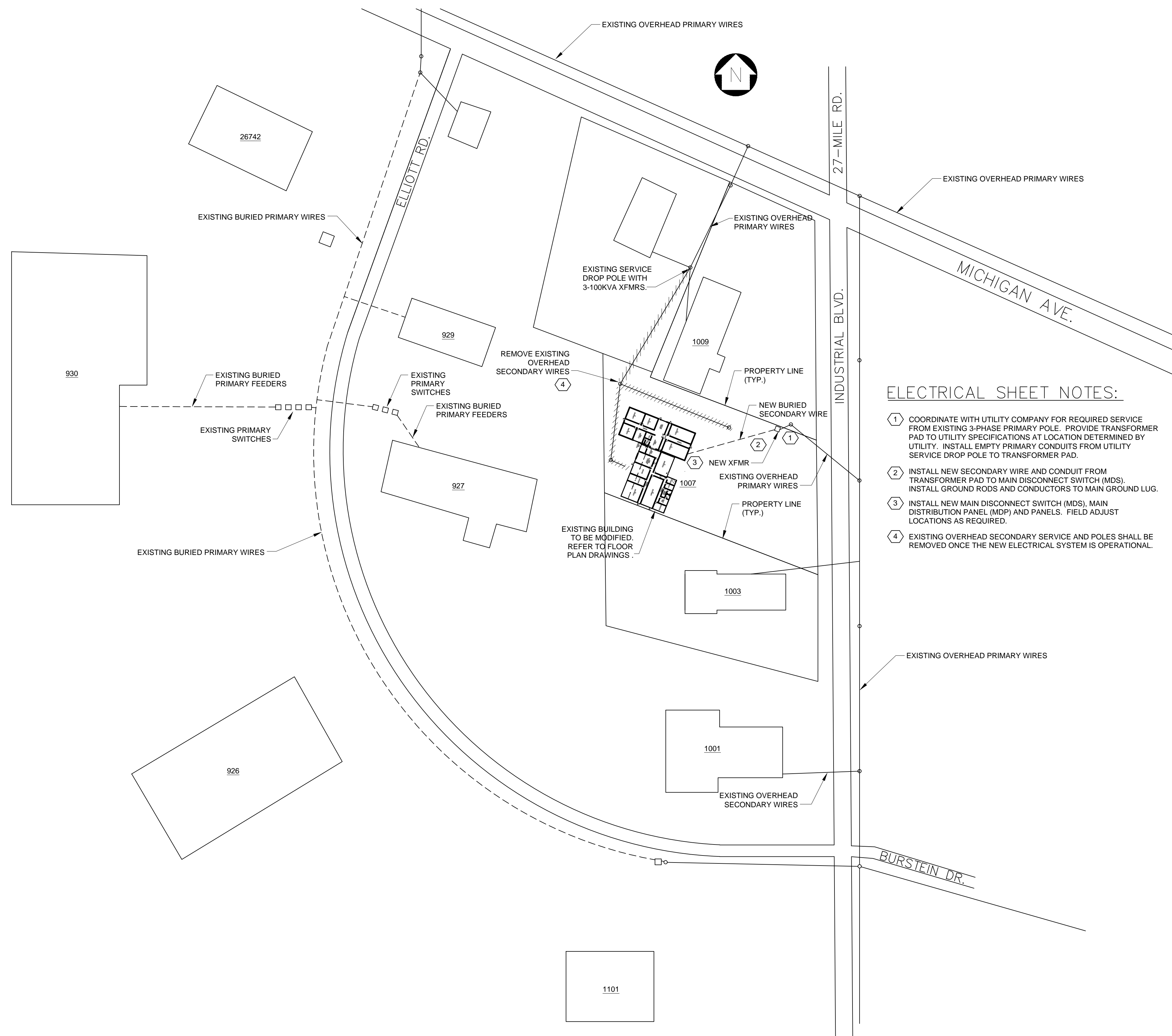
E1



TYPICAL CONDUIT TRENCH DETAILS
 NO SCALE



TRANSFORMER PAD DETAIL
 NO SCALE



ELECTRICAL - SITE PLAN

SCALE: 1"=100'-0"



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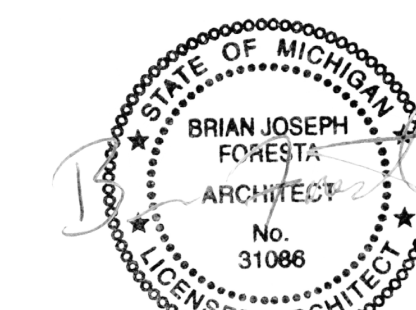
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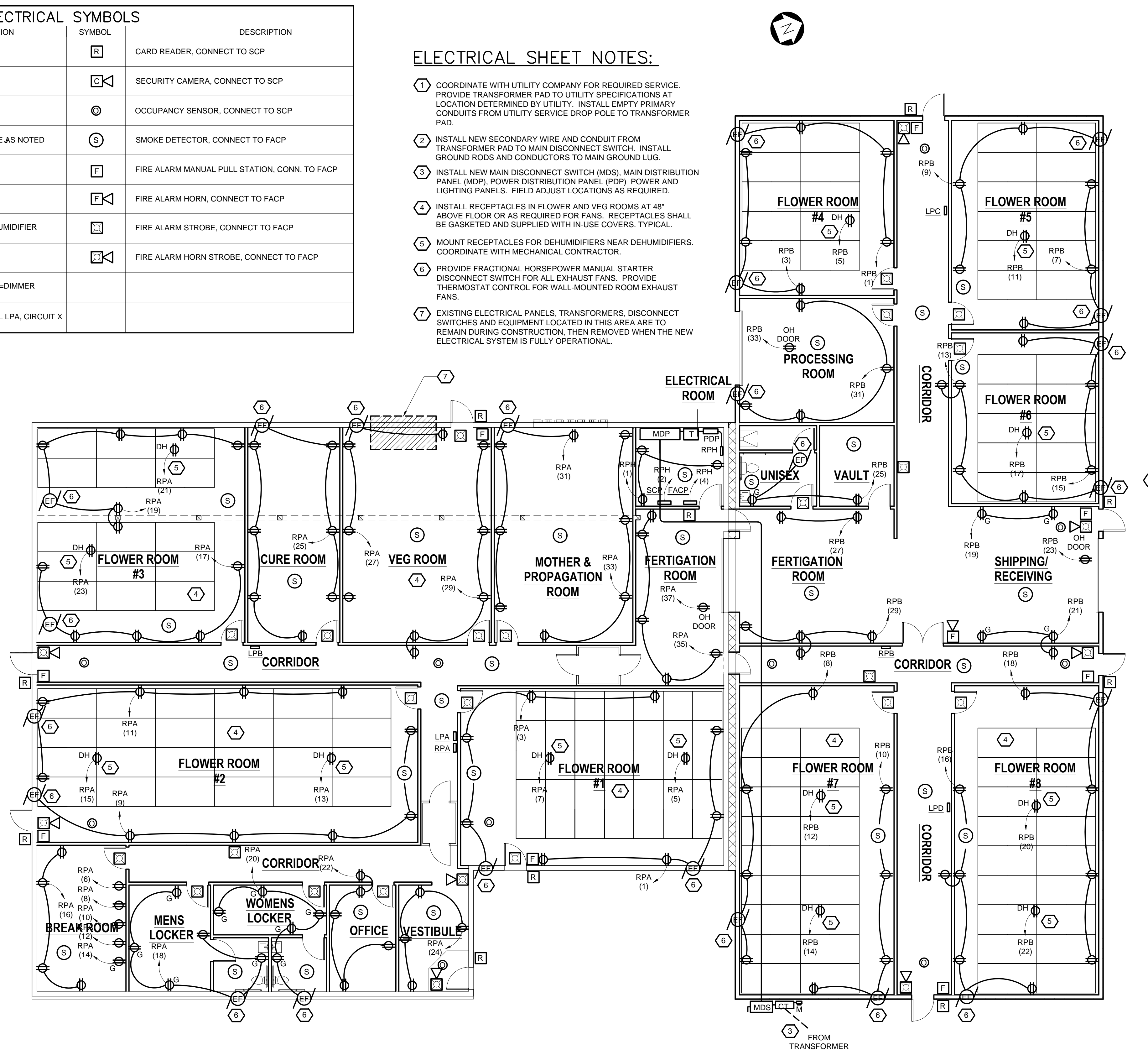
ELECTRICAL-
 POWER FLOOR PLAN
SHEET #

E2

ELECTRICAL SYMBOLS			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	ELECTRICAL PANEL	[Symbol]	CARD READER, CONNECT TO SCP
[Symbol]	FIRE ALARM CONTROL PANEL	[Symbol]	SECURITY CAMERA, CONNECT TO SCP
[Symbol]	SECURITY CONTROL PANEL	[Symbol]	OCCUPANCY SENSOR, CONNECT TO SCP
[Symbol]	DISCONNECT SWITCH, SIZE AND TYPE AS NOTED	[Symbol]	SMOKE DETECTOR, CONNECT TO FACP
[Symbol]	MOTOR OR EXHAUST FAN	[Symbol]	FIRE ALARM MANUAL PULL STATION, CONN. TO FACP
[Symbol]	JUNCTION BOX	[Symbol]	FIRE ALARM HORN, CONNECT TO FACP
[Symbol]	120V DUPLEX RECEPTACLE, DH=DEHUMIDIFIER	[Symbol]	FIRE ALARM STROBE, CONNECT TO FACP
[Symbol]	POWER RECEPTACLE	[Symbol]	FIRE ALARM HORN STROBE, CONNECT TO FACP
[Symbol]	LIGHT SWITCH, 3=3-WAY, 4=4-WAY, D=DIMMER		
[Symbol]	3/4"C(2#12,1#12G) HOMERUN TO PANEL LPA, CIRCUIT X		

ELECTRICAL SHEET NOTES:

- COORDINATE WITH UTILITY COMPANY FOR REQUIRED SERVICE. PROVIDE TRANSFORMER PAD TO UTILITY SPECIFICATIONS AT LOCATION DETERMINED BY UTILITY. INSTALL EMPTY PRIMARY CONDUITS FROM UTILITY SERVICE DROP POLE TO TRANSFORMER PAD.
- INSTALL NEW SECONDARY WIRE AND CONDUIT FROM TRANSFORMER PAD TO MAIN DISCONNECT SWITCH. INSTALL GROUND RODS AND CONDUCTORS TO MAIN GROUND LUG.
- INSTALL NEW MAIN DISCONNECT SWITCH (MDS), MAIN DISTRIBUTION PANEL (MDP), POWER DISTRIBUTION PANEL (PDP) POWER AND LIGHTING PANELS. FIELD ADJUST LOCATIONS AS REQUIRED.
- INSTALL RECEPTACLES IN FLOWER AND VEG ROOMS AT 48" ABOVE FLOOR OR AS REQUIRED FOR FANS. RECEPTACLES SHALL BE GASKETED AND SUPPLIED WITH IN-USE COVERS. TYPICAL.
- MOUNT RECEPTACLES FOR DEHUMIDIFIERS NEAR DEHUMIDIFIERS. COORDINATE WITH MECHANICAL CONTRACTOR.
- PROVIDE FRACTIONAL HORSEPOWER MANUAL STARTER DISCONNECT SWITCH FOR ALL EXHAUST FANS. PROVIDE THERMOSTAT CONTROL FOR WALL-MOUNTED ROOM EXHAUST FANS.
- EXISTING ELECTRICAL PANELS, TRANSFORMERS, DISCONNECT SWITCHES AND EQUIPMENT LOCATED IN THIS AREA ARE TO REMAIN DURING CONSTRUCTION, THEN REMOVED WHEN THE NEW ELECTRICAL SYSTEM IS FULLY OPERATIONAL.



ELECTRICAL - POWER FLOOR PLAN

1/8" = 1'-0"



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GROW FACILITY
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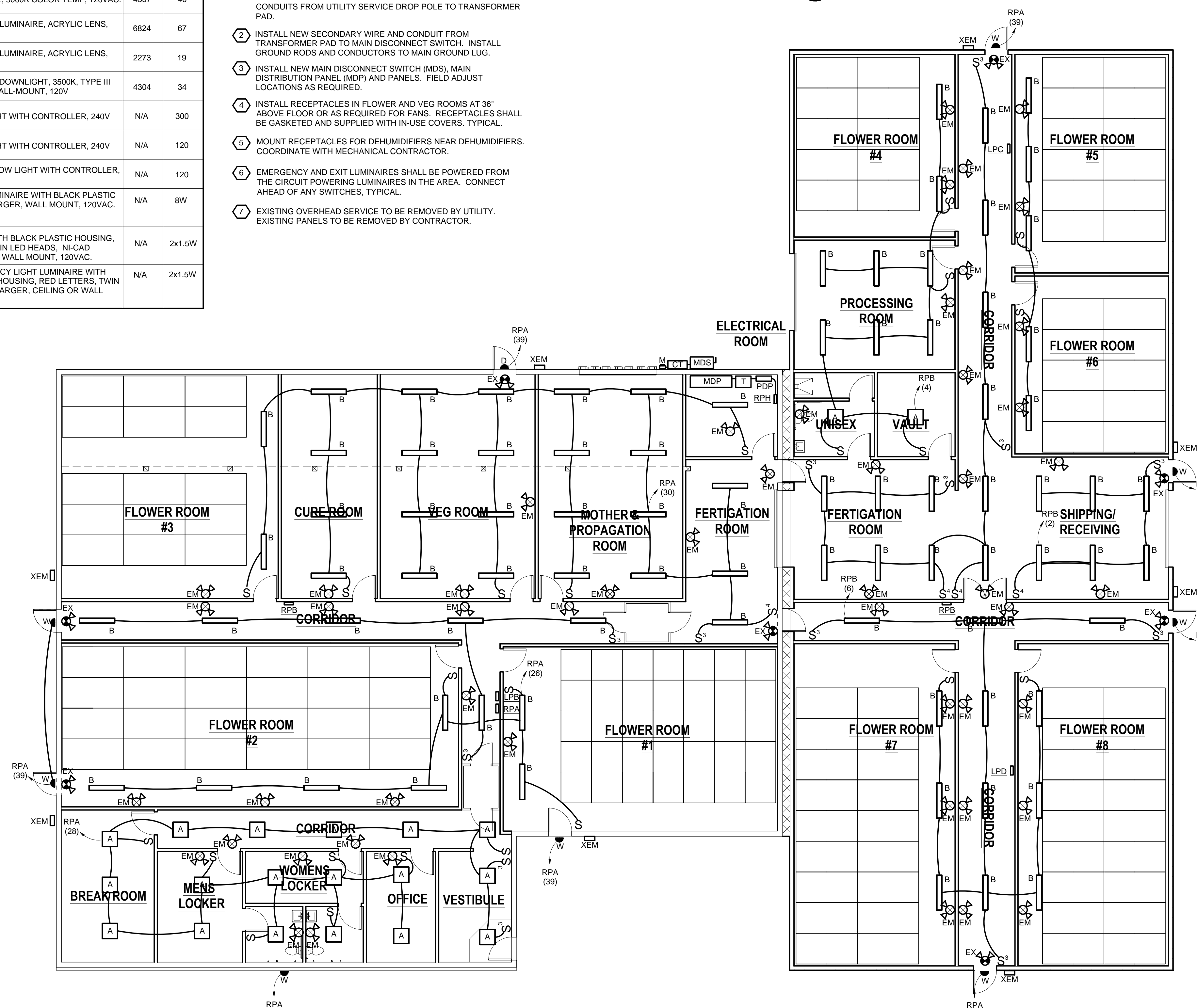
ELECTRICAL-GENERAL LIGHTING FLOOR PLAN
SHEET #

E3

LUMINAIRE SCHEDULE					
TYPE	MFR (OR EQUAL)	MODEL / SERIES	DESCRIPTION	LUMENS	WATTS
A	LITHONIA	FEM L96 15000LM SERIES	2'X2' LAY-IN LED PANEL LUMINAIRE, 3000K COLOR TEMP, 120VAC.	4357	40
B	LITHONIA	VAP 8000LM SERIES	48"L ENCLOSED AND GASKET LED LUMINAIRE, ACRYLIC LENS, 3000K COLOR TEMP, 120VAC.	6824	67
C	COOPER METALUX	2APVTL0 SERIES	24"L ENCLOSED AND GASKET LED LUMINAIRE, ACRYLIC LENS, 3000K COLOR TEMP, 120VAC.	2273	19
W	COOPER MCGRAW-EDISON	ISS-SAIC SERIES	QUARTER SPHERE LED EXTERIOR DOWNLIGHT, 3500K, TYPE III OPTICS, INTEGRAL PHOTOCCELL, WALL-MOUNT, 120V.	4304	34
G1	THRIVE AGRICULTURE	BOOST SERIES	48" CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 240V	N/A	300
G2	THRIVE AGRICULTURE	APEX SERIES	48" CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 240V	N/A	120
G3	THRIVE AGRICULTURE	BOOST SERIES	48" UNDER CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 240V	N/A	120
XEM	COOPER SURE-LITES	SELDWA50SD, ATLEDWA300SD	EXTERIOR EMERGENCY LIGHT LUMINAIRE WITH BLACK PLASTIC HOUSING, NI-CAD BATTERY & CHARGER, WALL MOUNT, 120VAC.	N/A	8W
EM	COOPER SURE-LITES	AP2SQLED SERIES	EMERGENCY LIGHT LUMINAIRE WITH BLACK PLASTIC HOUSING, GREEN LETTERS, ADJUSTABLE TWIN LED HEADS, NI-CAD BATTERY & CHARGER, CEILING OR WALL MOUNT, 120VAC.	N/A	2x1.5W
EX	COOPER SURE-LITES	APC7RSQ SERIES	COMBINATION EXIT AND EMERGENCY LIGHT LUMINAIRE WITH GREEN LETTERS, BLACK PLASTIC HOUSING, RED LETTERS, TWIN LED HEADS, NI-CAD BATTERY & CHARGER, CEILING OR WALL MOUNT, 120VAC.	N/A	2x1.5W

ELECTRICAL SHEET NOTES:

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- INSTALL NEW SECONDARY WIRE AND CONDUIT FROM TRANSFORMER PAD TO MAIN DISCONNECT SWITCH. INSTALL GROUND RODS AND CONDUCTORS TO MAIN GROUND LUG.
- INSTALL NEW MAIN DISCONNECT SWITCH (MDS), MAIN DISTRIBUTION PANEL (MDP) AND PANELS. FIELD ADJUST LOCATIONS AS REQUIRED.
- INSTALL RECEPTACLES IN FLOWER AND VEG ROOMS AT 36" ABOVE FLOOR OR AS REQUIRED FOR FANS. RECEPTACLES SHALL BE GASKETED AND SUPPLIED WITH IN-USE COVERS, TYPICAL.
- MOUNT RECEPTACLES FOR DEHUMIDIFIERS NEAR DEHUMIDIFIERS. COORDINATE WITH MECHANICAL CONTRACTOR.
- EMERGENCY AND EXIT LUMINAIRES SHALL BE POWERED FROM THE CIRCUIT POWERING LUMINAIRES IN THE AREA. CONNECT AHEAD OF ANY SWITCHES, TYPICAL.
- EXISTING OVERHEAD SERVICE TO BE REMOVED BY UTILITY. EXISTING PANELS TO BE REMOVED BY CONTRACTOR.



ELECTRICAL - GENERAL LIGHTING FLOOR PLAN
1/8" = 1'-0"



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NOTES

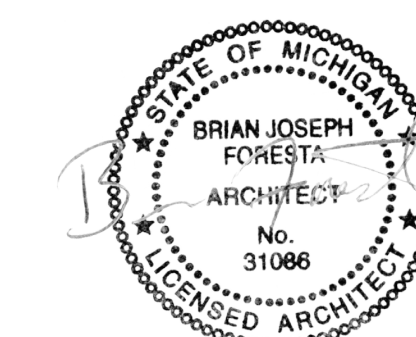
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PROJECT

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GROW FACILITY
1007 INDUSTRIAL BLVD.
ALBION, MI 49224

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DATE

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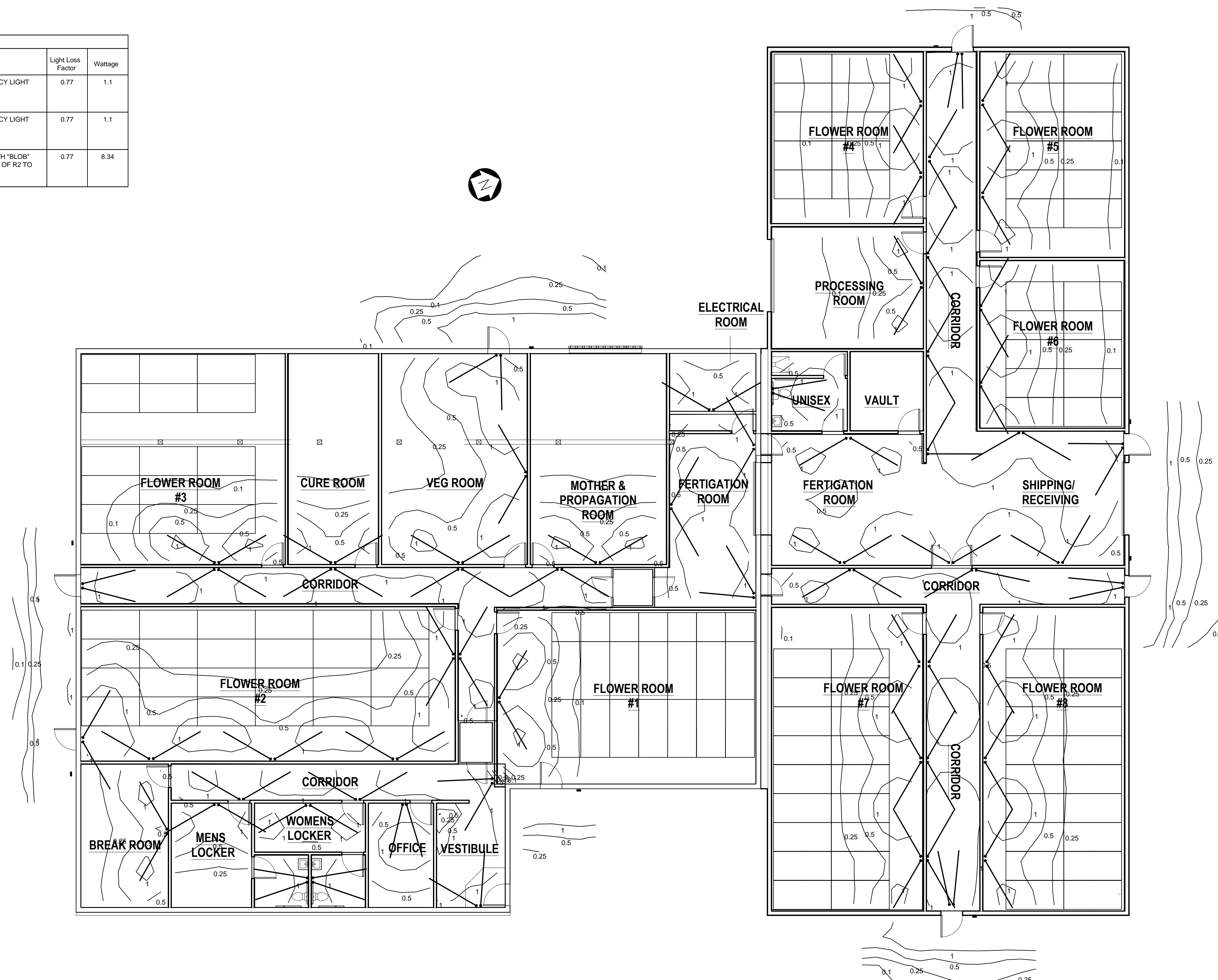
SHEET NAME

ELECTRICAL- EGRESS LIGHTING FLOOR PLAN
SHEET #

E4

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lumens Per Lamp	Description	Light Loss Factor	Wattage
○	EM	110	COOPER LIGHTING SOLUTIONS - SURE-LITES (FORMERLY EATON)	SEL25	108	SURE-LITES WHITE EMERGENCY LIGHT HEAD OPERATED AT 300mA	0.77	1.1
○	EX	18	COOPER LIGHTING SOLUTIONS - SURE-LITES (FORMERLY EATON)	SEL25	108	SURE-LITES WHITE EMERGENCY LIGHT HEAD OPERATED AT 300mA	0.77	1.1
≡	XEM	8	COOPER LIGHTING SOLUTIONS - SURE-LITES (FORMERLY EATON)	SELDWA50SD ATLEDWA300SD	692	DIE-CAST ALUMINUM UNIT WITH 'BLOB' LENSES.***THIS IS A REVISION OF R2 TO UPDATE THE TEST**	0.77	8.34

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BREAK ROOM	+	0.5 fc	1.2 fc	0.1 fc	12.0:1	5.0:1
ELECTRICAL ROOM	+	0.8 fc	1.5 fc	0.4 fc	3.8:1	2.0:1
FLOWER ROOM 1 EXIT	+	1.8 fc	5.0 fc	0.2 fc	25.0:1	9.0:1
MENS LOCKER	+	0.5 fc	1.4 fc	0.1 fc	14.0:1	5.0:1
MENS TOILET	+	1.3 fc	2.0 fc	0.6 fc	3.3:1	2.2:1
NORTH EXIT	+	0.8 fc	4.6 fc	0.0 fc	N/A	N/A
OFFICE	+	0.8 fc	1.7 fc	0.3 fc	5.7:1	2.7:1
VESTIBULE & S CORRIDOR	+	1.0 fc	1.6 fc	0.0 fc	N/A	N/A
WEST EXITS	+	1.5 fc	5.6 fc	0.1 fc	56.0:1	15.0:1
WOMENS LOCKER	+	0.9 fc	1.3 fc	0.5 fc	2.6:1	1.8:1
WOMENS TOILET	+	1.3 fc	2.0 fc	0.6 fc	3.3:1	2.2:1
CORRIDOR	+	1.1 fc	2.3 fc	0.5 fc	4.6:1	2.2:1
CURE ROOM	+	0.2 fc	1.3 fc	0.0 fc	N/A	N/A
FERT ROOM	+	1.0 fc	1.6 fc	0.3 fc	5.3:1	3.3:1
FERTIGATION	+	0.8 fc	1.8 fc	0.4 fc	4.5:1	2.0:1
FLOWER ROOM 1	+	0.1 fc	1.2 fc	0.0 fc	N/A	N/A
FLOWER ROOM 2	+	0.6 fc	1.7 fc	0.1 fc	17.0:1	6.0:1
FLOWER ROOM 3	+	0.1 fc	1.1 fc	0.0 fc	N/A	N/A
FLOWER ROOM 4	+	0.5 fc	2.2 fc	0.1 fc	22.0:1	5.0:1
FLOWER ROOM 5	+	0.4 fc	2.1 fc	0.1 fc	21.0:1	4.0:1
FLOWER ROOM 6	+	0.5 fc	2.3 fc	0.1 fc	23.0:1	5.0:1
FLOWER ROOM 7	+	0.5 fc	2.0 fc	0.1 fc	20.0:1	5.0:1
FLOWER ROOM 8	+	0.5 fc	1.9 fc	0.1 fc	19.0:1	5.0:1
MOTHER ROOM	+	0.2 fc	1.1 fc	0.0 fc	N/A	N/A
N CORRIDOR	+	1.3 fc	2.8 fc	0.5 fc	5.6:1	2.6:1
PROCESSING ROOM	+	0.3 fc	1.2 fc	0.1 fc	12.0:1	3.0:1
S ENTRANCE	+	1.3 fc	4.4 fc	0.0 fc	N/A	N/A
SHIPPING & RECEIVING	+	1.2 fc	2.5 fc	0.4 fc	6.3:1	3.0:1
SOUTH CORRIDOR	+	1.3 fc	2.5 fc	0.3 fc	8.3:1	4.3:1
UNISEX	+	1.0 fc	1.7 fc	0.4 fc	4.3:1	2.5:1
VAULT	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
VEG ROOM	+	0.7 fc	1.7 fc	0.2 fc	8.5:1	3.5:1
N ENTRY	+	2.2 fc	4.4 fc	0.3 fc	14.7:1	7.3:1
E ENTRANCES	+	1.3 fc	5.5 fc	0.0 fc	N/A	N/A



Plan View
Scale - 1/8" = 1'-0"

ELECTRICAL - EGRESS LIGHTING FLOOR PLAN
1/8" = 1'-0"

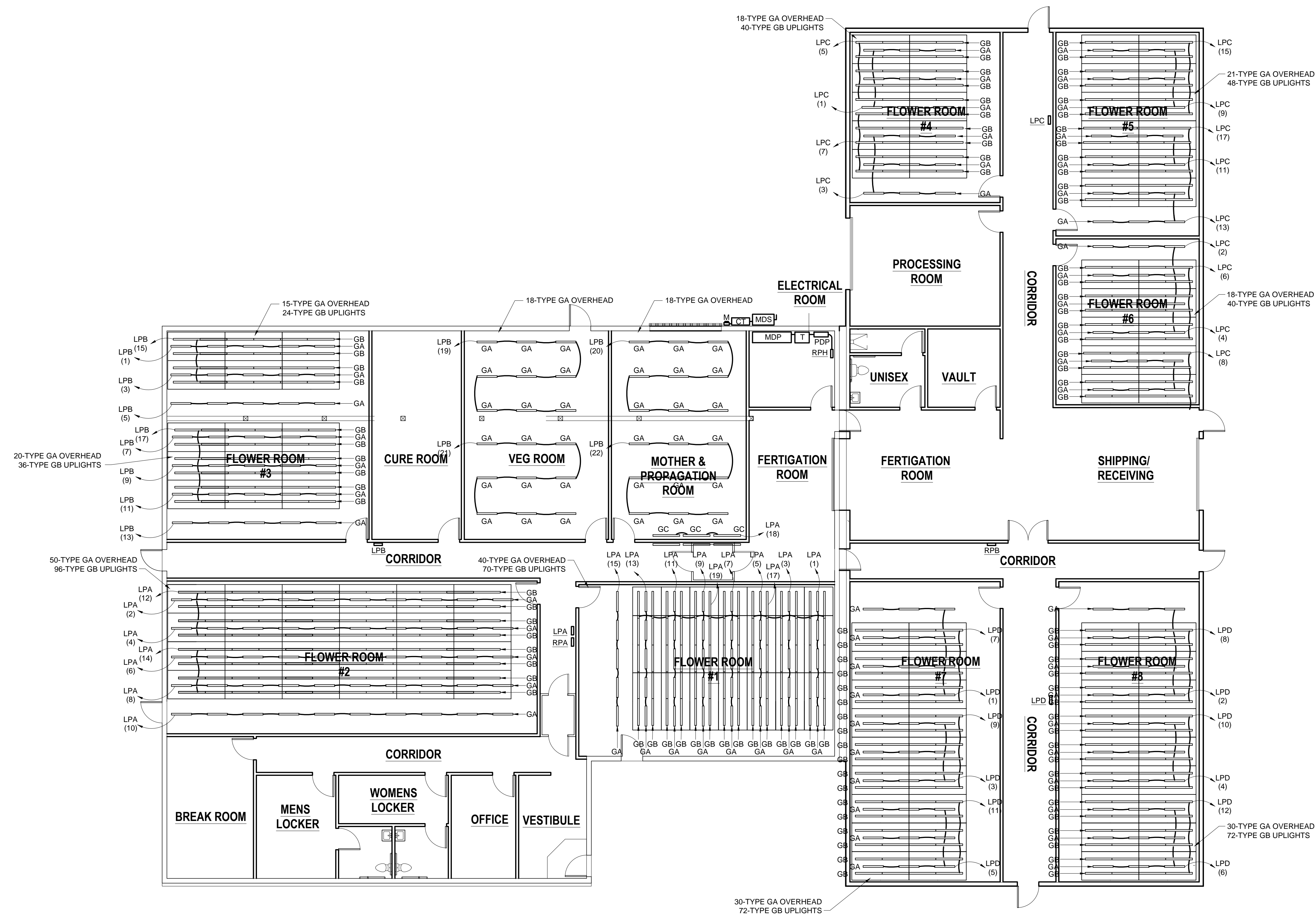


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LUNINAIRE SCHEDULE					
TYPE	MFR (OR EQUAL)	MODEL / SERIES	DESCRIPTION	LUMENS	WATTS
GA	THRIVE AGRICULTURE	PINNACLE PCL-600W-FS2	34"X3" OVERHEAD-MOUNTED GROW LIGHT WITH CONTROLLER, 277V	N/A	600
GB	THRIVE AGRICULTURE	BOOST XE TBAR-120W-FS2	45X3" UNDER CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 277V	N/A	120
GC	THRIVE AGRICULTURE	INFINITY XE TBAR-60W-FS2	45"X3" UNDER CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 277V	N/A	120

ELECTRICAL SHEET NOTES:

- 1 COORDINATE WITH GROW-LIGHTING VENDOR FOR INSTALLATION DETAILS. PROVIDE CEILING-MOUNTED JUNCTION BOXES WITH WHIPS TO GROW LIGHTS AS REQUIRED. PROVIDE REQUIRED CABLES, RECEPTACLES AND PLUGS.



ELECTRICAL - GROW LIGHTING FLOOR PLAN

1/8" = 1'-0"

NOTES

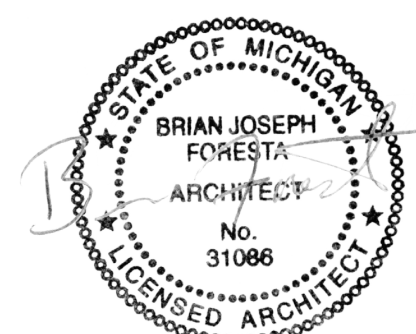
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SHEET NAME

ELECTRICAL- GROW
LIGHTING FLOOR PLAN
SHEET #

E5



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DO NOT SCALE DRAWINGS.

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PROJECT

19144

GROW FACILITY
 1007 INDUSTRIAL BLVD.
 ALBION, MI 49224

SEAL



DATE

11/05/21

NO.	DESCRIPTION	DATE

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PERMIT

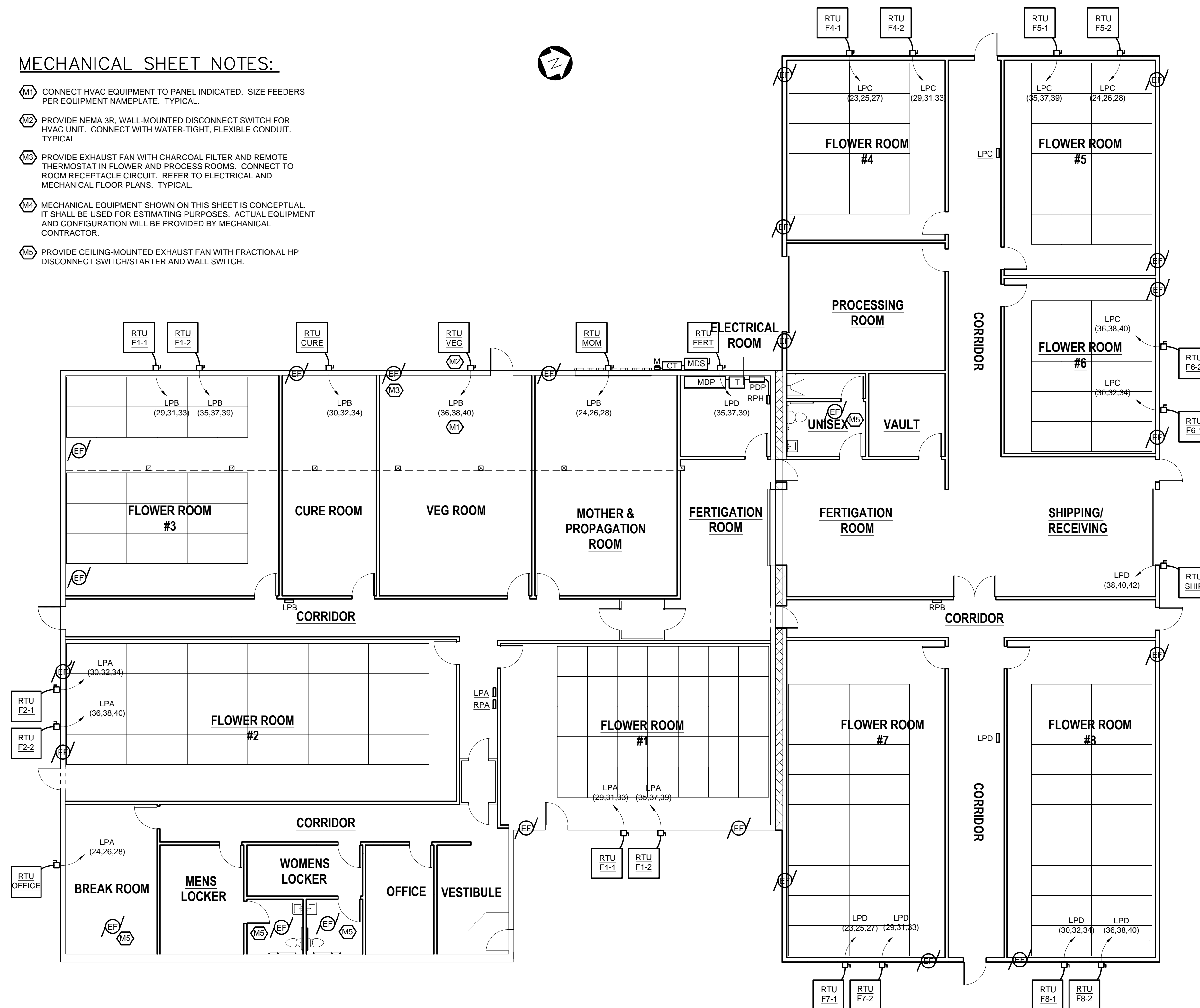
SHEET NAME

ELECTRICAL- MECH.
 EQUIP. POWER PLAN
SHEET #

E6

MECHANICAL SHEET NOTES:

- (M1) CONNECT HVAC EQUIPMENT TO PANEL INDICATED. SIZE FEEDERS PER EQUIPMENT NAMEPLATE. TYPICAL.
- (M2) PROVIDE NEMA 3R, WALL-MOUNTED DISCONNECT SWITCH FOR HVAC UNIT. CONNECT WITH WATER-TIGHT, FLEXIBLE CONDUIT. TYPICAL.
- (M3) PROVIDE EXHAUST FAN WITH CHARCOAL FILTER AND REMOTE THERMOSTAT IN FLOWER AND PROCESS ROOMS. CONNECT TO ROOM RECEPTACLE CIRCUIT. REFER TO ELECTRICAL AND MECHANICAL FLOOR PLANS. TYPICAL.
- (M4) MECHANICAL EQUIPMENT SHOWN ON THIS SHEET IS CONCEPTUAL. IT SHALL BE USED FOR ESTIMATING PURPOSES. ACTUAL EQUIPMENT AND CONFIGURATION WILL BE PROVIDED BY MECHANICAL CONTRACTOR.
- (M5) PROVIDE CEILING-MOUNTED EXHAUST FAN WITH FRACTIONAL HP DISCONNECT SWITCH/STARTER AND WALL SWITCH.



ELECTRICAL - MECH. EQUIPMENT POWER PLAN
 1/8" = 1'-0"



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NOTES

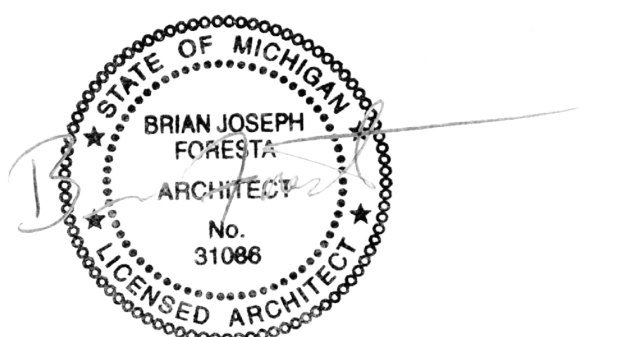
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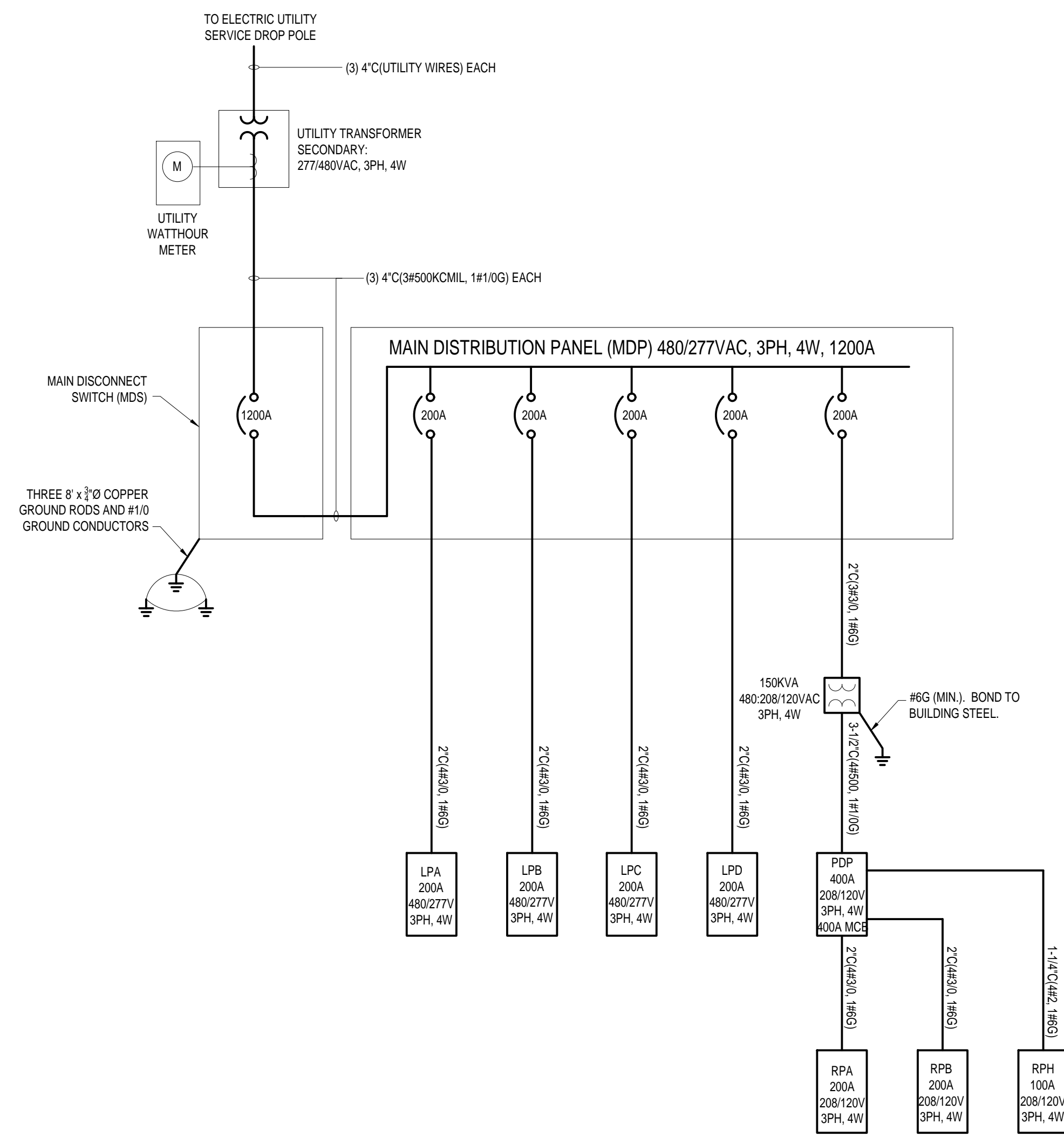
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SHEET NAME

ELECTRICAL-
 ONE-LINE DIAGRAM
SHEET #

E7



ELECTRICAL - ONE-LINE DIAGRAM



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NOTES

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DATE

11/05/21

NO.	DESCRIPTION	DATE
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SUBMITTAL

PERMIT

SHEET NAME

ELECTRICAL-PANEL SCHEDULES
SHEET #

E8

MAIN DISTRIBUTION PANEL - MDP														
480 VOLTS (L-L)		RATING (A): 1200			MAIN(A): 1200			PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS		
200	3	LPA	1	53720	80883			27163	2	PDP TRANSFORMER - 150KVA	3	200		
			3	43160	66631			23471	4					
			5	43520		66552	23032	6						
200	3	LPB	7	51320					8					
			9	48080				10						
			11	39080				12						
			13	45312	45312			14						
			15	45672		45672		16						
200	3	LPC	17	38352				18						
			19	46752	46752			20						
			21	43152		43152		22						
			23	43152		43152		24						
249 KW LIGHTING LOAD				VA-A	VA-B	VA-C	CONNECTED LOAD VA				634938			
294 KW HVAC LOAD				224267	203535	187136	CONNECTED AMPS				741			

LIGHTING PANEL - LPA														
480 VOLTS (L-L)		RATING (A): 200			MAIN(A): MLO			PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS		
20	1	F1 OH GROW LTS (5X600W)	1	3000	9000			6000	2	F2 OH GROW LTS (10X600W)	1	30		
20	1	F1 OH GROW LTS (5X600W)	3	3000		9000		6000	4	F2 OH GROW LTS (10X600W)	1	30		
20	1	F1 OH GROW LTS (5X600W)	5	3000			9000	6000	6	F2 OH GROW LTS (10X600W)	1	30		
20	1	F1 OH GROW LTS (5X600W)	7	3000	9000			6000	8	F2 OH GROW LTS (10X600W)	1	30		
20	1	F1 OH GROW LTS (5X600W)	9	3000			9000	6000	10	F2 OH GROW LTS (10X600W)	1	30		
20	1	F1 OH GROW LTS (5X600W)	11	3000			8760	5760	12	F2 UPLTS (48X120W)	1	30		
20	1	F1 OH GROW LTS (5X600W)	13	3000	8760			5760	14	F2 UPLTS (48X120W)	1	30		
20	1	F1 OH GROW LTS (5X600W)	15	3000		3000		16	SPARE	1	20			
20	1	F1 E UPLTS (50X120W)	17	3600				18	SPARE	1	20			
20	1	F1 W UPLTS (40X120W)	19	4800	4800			20	SPARE	1	20			
20	1	SPARE	21		0			22	SPARE	1	20			
30	3	SPARE	23				4432	4432	24					
30	3	RTU OFFICE	25		4432			4432	26					
			27			4432			28					
30	3	RTU F1-1 (5-TON)	29	4432				4432	30					
			31	4432	8864			4432	32	RTU F2-1 (5 TON)	3	30		
			33	4432		8864			4432	34				
30	3	RTU F1-2 (5-TON)	35	4432				4432	36					
			37	4432	8864			4432	38	RTU F2-2 (5 TON)	3	30		
30	3	RTU F1-2 (5-TON)	39	4432				4432	40					
			41					42						
			41				0	42						
74 KW LIGHTING LOAD				VA-A	VA-B	VA-C	CONNECTED LOAD VA				140400			
66 KW HVAC LOAD				53720	43160	43520	CONNECTED AMPS				169			

LIGHTING PANEL - LPB														
480 VOLTS (L-L)		RATING (A): 200			MAIN(A): MLO			PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS		
20	1	F3 OH GROW LTS (5X600W)	1	3000	6120			3120	2	F4 OH GROW LTS (4X780W)	1	20		
20	1	F3 OH GROW LTS (5X600W)	3	3000		6120		3120	4	F4 OH GROW LTS (4X780W)	1	20		
20	1	F3 OH GROW LTS (5X600W)	5	3000			6120	3120	6	F4 OH GROW LTS (4X780W)	1	20		
20	1	F3 OH GROW LTS (5X600W)	7	3000	6120			3120	8	F4 OH GROW LTS (4X780W)	1	20		
20	1	F3 OH GROW LTS (5X600W)	9	3000			6120	3120	10	F4 OH GROW LTS (4X780W)	1	20		
20	1	F3 OH GROW LTS (5X600W)	11	3000			6120	3120	12	F4 OH GROW LTS (4X780W)	1	20		
20	1	F3 OH GROW LTS (5X600W)	13	3000	6120			3120	14	F4 OH GROW LTS (4X780W)	1	20		
20	1	F3 N UPLTS (24X120W)	15	2880		2880		16	SPARE	1	20			
20	1	F3 S UPLTS (36X120W)	17	4320			4680	360	18	MOTHER'S UPLTS (3X120W)	1	20		
20	1	VEG N OH GROW LTS (9X600W)	19	5400	10800			5400	20	MOTHER N OH LTS (9X600W)	1	30		
20	1	VEG S OH GROW LTS (9X600W)	21	5400		10800		5400	22	MOTHER N OH LTS (9X600W)	1	30		
30	3	SPARE	23				4432	4432	24					
			25		4432			4432	26	RTU MOTHER (5 TON)	3	30		
			27			4432			28					
30	3	RTU F3-1 (5 TON)	29	4432				4432	30					
			31	4432	8864			4432	32	RTU CURE (5 TON)	3	30		
			33	4432		8864			4432	34				
30	3	RTU F3-2 (5 TON)	35	4432				4432	36					
			37	4432	8864			4432	38	RTU VEG	3	30		
30	3	RTU F3-2 (5 TON)	39	4432				4432	40					
			41					42						
			41				0	42						
72 KW LIGHTING LOAD				VA-A	VA-B	VA-C	CONNECTED LOAD VA				138480			
66 KW HVAC LOAD				51320	48080	39080	CONNECTED AMPS				167			

LIGHTING PANEL - LPC														
480 VOLTS (L-L)		RATING (A): 200			MAIN(A): MLO			PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS		
30	1	F4 N OH GROW LTS (9X600W)	1	5400	10800			5400	2	F6 N OH GROW LTS (9X600W)	1	30		
30	1	F4 S OH GROW LTS (9X600W)	3	5400		10800		5400	4	F6 C OH GROW LTS (9X600W)	1	30		
20	1	F4 N UPLTS (20X120W)	5	2400			5280	2880	6	F6 N UPLTS (24X120W)	1	20		
20	1	F4 S UPLTS (20X120W)	7	2400	4320			1920	8	F6 S UPLTS (16X120W)	1	20		
20	1	F5 N OH GROW LTS (9X600W)	9	5400		5400		10	SPARE	1	20			
20	1	F5 C OH GROW LTS (6X600W)	11	3600			3600	12	SPARE	1	20			
20	1	F5 S OH GROW LTS (6X600W)	13	3600	3600			14	SPARE	1	20			
20	1	F5 N UPLTS (24X120W)	15	2880		2880		16	SPARE	1	20			
20	1	F5 S UPLTS (24X120W)	17	2880			2880	18	SPARE	1	20			
20	1	SPARE	19		0			20	SPARE	1	20			
20	1	SPARE	21			0		22	SPARE	1	20			
30	3	RTU F4-1 (5 TON)	23	4432				4432	24					
			25	4432	8864			4432	26	RTU F5-2 (5 TON)	3	30		
			27	4432		8864			4432	28				
30	3	RTU F4-2 (5 TON)	29	4432				4432	30					
			31	4432	8864			4432	32	RTU F6-1 (5 TON)	3	30		
			33	4432		8864			4432	34				
30	3	RTU F5-1 (5 TON)	35	4432				4432	36					
			37	4432	8864			4432	38	RTU F6-2 (5-TON)	3	30		
30	3	RTU F5-1 (5 TON)	39	4432				4432	40					
			41					42						
			41				0	42						
50 KW LIGHTING LOAD				VA-A	VA-B	VA-C	CONNECTED LOAD VA				129336			
80 KW HVAC LOAD				45312	45672	38352	CONNECTED AMPS				156			

LIGHTING PANEL - LPD														
480 VOLTS (L-L)		RATING (A): 200			MAIN(A): MLO			PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS		
30	1	F7 N OH GROW LTS (12X600W)	1	7200	14400			7200	2	F8 OH GROW LTS (12X600W)	1	30		
30	1	F7 C OH GROW LTS (9X600W)	3	5400		10800		5400	4	F8 OH GROW LTS (9X600W)	1	30		
30	1	F7 S OH GROW LTS (9X600W)	5	5400			10800	5400	6	F8 OH GROW LTS (9X600W)	1	30		
20	1	F7 N UPLTS (24X120W)	7	2880		5760		2880	8	F8 N UPLTS (24X120W)	1	20		
20	1	F7 C UPLTS (24X120W)	9	2880			5760	2880	10					



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NOTES

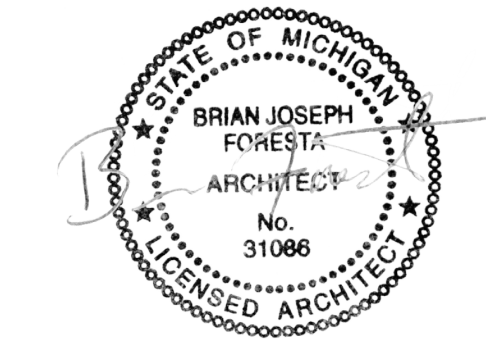
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SUBMITTAL

PERMIT

SHEET NAME

ELECTRICAL-SPECIFICATIONS
SHEET #

E9

DIVISION 26 - ELECTRICAL SPECIFICATIONS

DESCRIPTION OF WORK

WORK SHALL INCLUDE, BUT IS NOT NECESSARILY LIMITED TO, THE FOLLOWING:

1. DEMOLITION
2. TEMPORARY POWER AND LIGHTING
3. CONDUIT AND RACEWAYS
4. CONDUCTORS
5. GROUNDING
6. SAFETY DISCONNECT SWITCHES
7. DEVICES, SWITCHES AND RECEPTACLES
8. DISTRIBUTION, LIGHTING AND RECEPTACLE PANELS
9. METERING EQUIPMENT
10. SWITCHBOARDS
11. TRANSFORMERS - MEDIUM AND LOW VOLTAGE
12. MOTOR STARTERS AND CONTROLS
13. LIGHTING, LIGHTING CONTACTORS AND CONTROLS
14. FIRE DETECTION AND ALARM SYSTEMS
15. SECURITY AND COMMUNICATION SYSTEMS
16. DIESEL AND NATURAL GAS GENERATORS
17. AUTOMATIC TRANSFER SWITCHES

STANDARDS

ELECTRICAL MATERIALS AND EQUIPMENT SHALL CONFORM TO THE REQUIREMENTS LISTED BELOW. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER. IN THE ABSENCE OF SPECIFIC INSTRUCTION IN THE TECHNICAL SPECIFICATIONS, EQUIPMENT AND INSTALLATION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES, STANDARDS AND REGULATIONS, LATEST EDITIONS:

1. AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM).
2. AMERICAN NATIONAL STANDARD INSTITUTE (ANSI).
3. UNDERWRITER'S LABORATORIES, INC. (UL).
4. AMERICAN WELDING SOCIETY CODE (AWS).
5. LOCAL BUILDING, ELECTRICAL, AND FIRE CODES.
6. NATIONAL ELECTRICAL CODE (NEC).
7. SERVICE RULES AND REGULATIONS OF LOCAL ELECTRICAL UTILITY COMPANY.
8. NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).
9. U.S. DEPARTMENT OF HEALTH & HUMAN SERVICES "HRS-M-HP" 84-1.
10. OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
11. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).
12. AMERICANS WITH DISABILITIES ACT (ADA).

CODES AND ORDINANCES

COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES. COMPLY WITH OWNER'S SPECIFICATIONS, GUIDELINES AND REQUIREMENTS. BIDDERS SHALL FAMILIARIZE THEMSELVES WITH CODE REQUIREMENTS FOR THE TYPE OF FACILITY WHERE THE WORK IS BEING PERFORMED.

PERMITS AND INSPECTION FEES

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTION FEES. FINAL INSPECTION CERTIFICATES BY THE AUTHORITIES HAVING JURISDICTION, INCLUDING THE LOCAL ELECTRICAL INSPECTOR AND FIRE MARSHAL, SHALL BE OBTAINED BY THE CONTRACTOR. COPIES SHALL BE SUBMITTED IN DUPLICATE TO THE OWNER.

SUBMITTALS

SUBMIT PRODUCT DATA, SHOP DRAWINGS, WIRING DIAGRAMS, AND DESCRIPTIVE LITERATURE FOR ALL ELECTRICAL MATERIALS AND EQUIPMENT TO BE INSTALLED UNDER THIS CONTRACT. MAKE SUBMITTALS WITHIN THIRTY (30) DAYS AFTER THE SIGNING OF THE CONTRACT. PRODUCT SHIPMENTS ARE NOT PERMITTED UNTIL SUBMITTALS HAVE RECEIVED FINAL APPROVAL.

AS-CONSTRUCTED DOCUMENTS

UPON PROJECT COMPLETION, THE CONTRACTOR SHALL PROVIDE A MARKED-UP COPY OF THE ORIGINAL CONTRACT DOCUMENTS TO THE OWNER, INDICATING CHANGES, ADDITIONS AND MODIFICATIONS TO THE ORIGINAL DESIGN. DRAWINGS SHALL BE MANUALLY-PREPARED.

OPERATION & MAINTENANCE MANUALS

PROVIDE OPERATING INSTRUCTIONS AND MAINTENANCE INFORMATION, FOR EACH SYSTEM AND EQUIPMENT SPECIFIED, FOR USE BY FACILITY OPERATION AND MAINTENANCE PERSONNEL. MANUALS SHALL BE PROVIDED IN 3-RING BINDERS OR ELECTRONIC COPIES. THE MANUALS SHALL INCLUDE:

1. WIRING DIAGRAMS, CONTROL DIAGRAMS, AND CONTROL SEQUENCE FOR EACH SYSTEM AND ITEM OF EQUIPMENT.
2. START-UP, PROPER ADJUSTMENT, OPERATING, LUBRICATION, AND SHUTDOWN PROCEDURES.
3. SAFETY PRECAUTIONS.
4. THE PROCEDURE TO BE FOLLOWED IN THE EVENT OF EQUIPMENT FAILURE.
5. OTHER ITEMS OF INSTRUCTION AS RECOMMENDED BY THE MANUFACTURER OF EACH SYSTEM OR ITEM OF EQUIPMENT.

TRAINING

DURING OR UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL PROVIDE TRAINING OF OPERATION AND MAINTENANCE PERSONNEL FOR ALL REQUIRED ELECTRICAL COMPONENTS AND SYSTEMS. TRAINING SHALL BE CONDUCTED AT THE OWNER'S FACILITY. COORDINATE WITH THE OWNER FOR SCHEDULE.

SIGNAGE AND IDENTIFICATION OF SYSTEMS AND EQUIPMENT

1. OPERATING INSTRUCTIONS: PRINT OR ENGRAVE INSTRUCTIONS AND FRAME UNDER GLASS OR APPROVED LAMINATED PLASTIC. POST INSTRUCTIONS IN VIEW OF EQUIPMENT. PROVIDE WEATHER-RESISTANT MATERIALS FOR EXTERIOR APPLICATIONS.
2. EQUIPMENT: PROVIDE NAMEPLATES FOR ALL EQUIPMENT AND DEVICES. NAMEPLATES SHALL BE SELF-ADHESIVE WITH ENGRAVED, LAMINATED ACRYLIC OR MELAMINE LABELS. PROVIDE NAMEPLATES WITH WHITE LETTERS ON A BLACK BACKGROUND. MINIMUM LETTER HEIGHT SHALL BE 1/8-INCH.
3. WARNING SIGNS: PROVIDE A SELF-ADHESIVE WARNING LABEL THAT IS FACTORY PRINTED AND MULTI-COLOR. COMPLY WITH N.E.C. 70 AND 29 CFR 1910.145. LABELS FOR MULTIPLE POWER SOURCES SHALL READ: "DANGER - ELECTRICAL SHOCK HAZARD - EQUIPMENT HAS MULTIPLE POWER SOURCES". LABELS FOR OTHER EQUIPMENT REQUIRING WORK SPACE CLEARANCES SHALL READ: "WARNING - OSHA REGULATION - AREA IN FRONT OF ELECTRICAL EQUIPMENT MUST BE KEPT CLEAR FOR 36-INCHES".
4. ARC-FLASH WARNING SIGNS: PROVIDE A SELF-ADHESIVE ARC-FLASH WARNING LABEL ON ALL SAFETY SWITCHES, STARTERS, SWITCHBOARDS, PANELBOARDS AND OTHER REQUIRED EQUIPMENT. LABEL SHALL READ: "WARNING, ARC FLASH AND SHOCK HAZARD. APPROPRIATE PPE AND TOOLS REQUIRED WHEN WORKING ON THIS EQUIPMENT."

GUARANTEE

PROVIDE WRITTEN GUARANTEE FOR ALL LABOR AND MATERIALS FOR ONE (1) YEAR AFTER OWNER'S WRITTEN ACCEPTANCE OF THE PROJECT.

LAYOUT OF THE WORK

THE CONTRACTOR SHALL EXAMINE THE AREA OF WORK, AND ALL OTHER DISCIPLINE DRAWINGS, BEFORE PROCEEDING WITH THE LAYOUT AND INSTALLATION OF THE ELECTRICAL WORK. LOCATE ELECTRICAL EQUIPMENT ESSENTIALLY AS SHOWN ON THE DRAWINGS. EXACT LOCATION OF EQUIPMENT SHALL BE DETERMINED AT THE JOB SITE, TO SUIT ACTUAL

CONDITIONS. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES PRIOR TO INSTALLATION, SO THAT ALL COMPONENTS WILL BE INSTALLED IN PROPER RELATIONSHIP AND SEQUENCE.

DEMOLITION

CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIAL INDICATED ON THE DEMOLITION PLANS OR AS REQUIRED TO INSTALL THE EQUIPMENT THAT IS PART OF THIS CONTRACT. LIGHT FIXTURES INDICATED TO BE REUSED SHALL BE REMOVED, CLEANED AND RE-LAMPED BEFORE REINSTALLING. REMOVED LIGHT FIXTURES TO BE DEMOLISHED SHALL BE TURNED OVER TO THE OWNER UNLESS OTHERWISE SPECIFIED. ALL OTHER ELECTRICAL DEMOLITION ITEMS SHALL BE REMOVED FROM THE SITE. EXISTING CONDUITS MAY BE REUSED WHEN PRACTICAL. CONTRACTOR SHALL PATCH EXISTING WALL AND CEILING OPENINGS IN FINISHED AREAS UPON REMOVAL OF ELECTRICAL EQUIPMENT. CONTRACTOR SHALL PROTECT ALL EXISTING ELECTRICAL EQUIPMENT, INDICATED TO REMAIN, DURING CONSTRUCTION PERIOD.

CUTTING AND PATCHING

ALL NECESSARY CUTTING AND PATCHING OF THE BUILDING WALLS, FLOORS AND CEILINGS REQUIRED FOR REMOVAL OR INSTALLATION OF THE NEW WORK, SHALL BE FURNISHED BY THE CONTRACTOR. NO STRUCTURAL MEMBERS OF THE BUILDING SHALL BE CUT WITHOUT PRIOR APPROVAL OF THE ENGINEER. ALL NECESSARY PATCHING AND PAINTING OF SURFACES SHALL BE BY CONTRACTOR. PAINT SHALL MATCH EXISTING.

TEMPORARY POWER AND LIGHTING

CONTRACTOR SHALL SUPPLY TEMPORARY POWER AND LIGHTING IN NEW WORK AREAS AND EXISTING AREAS WHERE POWER OR LIGHTING IS BEING MODIFIED. THIS INCLUDES POWER TO EXISTING CRITICAL AND LIFE SAFETY SYSTEMS. TEMPORARY LIGHTING SHALL EQUAL OR EXCEED EXISTING LIGHT LEVELS. MINIMUM ILLUMINATION LEVEL SHALL BE 10-FOOTCANDELS. COORDINATE ALL POWER AND LIGHTING SHUTDOWNS WITH OWNER.

ELECTRICAL SERVICE

CONTRACTOR SHALL CONTACT THE LOCAL ELECTRIC UTILITY COMPANY TO COORDINATE THE INSTALLATION OF NEW ELECTRICAL SERVICE. ALL WORK SHALL COMPLY WITH LOCAL ELECTRICAL UTILITY COMPANY RULES AND REGULATIONS. CONTRACTOR SHALL INCLUDE ALL CHARGES FOR NEW SERVICE IN BASE BID. NORMAL SECONDARY SERVICE IS 277/480 VOLT OR 120/208 VOLT, 3-PHASE, 4 WIRE, AS INDICATED ON DRAWINGS. CONTRACTOR SHALL PROVIDE NEW SERVICE ENTRANCE CONDUIT AND CONDUCTORS FROM THE UTILITY TRANSFORMER TO THE NEW METERING CUBICLE OR CURRENT TRANSFORMER (CT) CABINET AS APPLICABLE.

CONTRACTOR SHALL PROVIDE AND INSTALL METERING EQUIPMENT, PANELS, DISCONNECTS AND EQUIPMENT AS SHOWN. ALL SERVICE EQUIPMENT SHALL BE RATED AS "SUITABLE FOR USE AS SERVICE EQUIPMENT." ELECTRICAL WATT-HOUR METER AND CURRENT TRANSFORMERS SHALL BE PROVIDED BY THE UTILITY COMPANY AND INSTALLED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.

GROUNDING

ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN A MANNER APPROVED BY THE AUTHORITY HAVING JURISDICTION. PROVIDE GROUND RODS AND BARE COPPER GROUND CONDUCTORS AT UTILITY TRANSFORMER PAD. PROVIDE A GROUND ROD AND GROUND CONDUCTOR AT THE BUILDING MAIN DISCONNECT SWITCH. PROVIDE A GROUND CONDUCTOR IN ALL POWER RACEWAYS. GROUND ELECTRICAL SYSTEMS PER NEC ARTICLE 250 OR AS DETAILED ON THE DRAWINGS.

SWITCHBOARDS

SWITCHBOARDS SHALL BE PROVIDED AS SHOWN ON THE DRAWINGS. EXTERIOR SWITCHBOARDS SHALL BE SUPPLIED WITH A NEMA 3R, WEATHER-PROOF ENCLOSURE. SWITCHBOARDS SHALL BE SERVICE ENTRANCE RATED, FRONT-CONNECTED, FRONT ACCESSIBLE, WITH COPPER BUS, RATED 480Y/277VAC, 100,000 AIC OR AS INDICATED ON THE DRAWINGS. AMPERAGE AS INDICATED ON THE DRAWINGS. PROVIDE MOLDED-CASE CIRCUIT BREAKERS OR FUSED SWITCHES AS SHOWN ON THE DRAWINGS. SQUARE D, SIEMENS, CUTTLER HAMMER, GE OR EQUAL.

LIGHTING CONTROL

PROVIDE A LIGHTING CONTROL PANEL AS DETAILED ON THE DRAWINGS. PANEL SHALL BE MULTI-ZONE, PROGRAMMABLE TYPE WITH ASTRONOMICAL TIME CLOCK. PROVIDE CEILING AND WALL-MOUNTED OCCUPANCY SENSORS AND SWITCHES AS SHOWN ON THE DRAWINGS. HONEYWELL, EATON, LUTRON, EDWARDS, LEVITON, SCHNEIDER OR EQUAL.

LIGHTING CONTACTORS

PROVIDE AN ELECTRICALLY-HELD LIGHTING CONTACTOR AS SHOWN ON THE DRAWINGS. CONTACTOR SHALL BE FURNISHED IN A NEMA 12 E ENCLOSURE AND SHALL HAVE A HAND-OFF-AUTO SELECTOR SWITCH ON THE COVER. PROVIDE EXTERIOR-MOUNTED PHOTOCELL WHERE SHOWN. SUPPLY WITH NEMA 3R ENCLOSURE FOR EXTERIOR LOCATIONS. CONTACTOR SHALL BE 3-POLE MINIMUM, RATED FOR VOLTAGE AND AMPERAGE AS SHOWN ON THE DRAWINGS. SQUARE D CLASS 8903 OR EQUAL.

TIME CLOCKS

TIME CLOCKS SHALL BE ASTRONOMIC, 40-AMPS PER POLE, ELECTRONIC WITH BATTERY BACK-UP. MOUNTED IN NEMA 1 ENCLOSURE. TORK, INTERMATIC OR EQUAL.

GENERATORS AND AUTOMATIC-TRANSFER SWITCHES

1. PROVIDE DIESEL FUEL OR NATURAL GAS FIRED GENERATORS AS INDICATED ON PLANS. GENERATOR SHALL BE A SIX-CYLINDER, PMG EXCITATION AND WITH A TEMPERATURE RISE OF 125-DEGREES AT FULL RATED LOAD. DIESEL GENERATORS SHALL BE PROVIDED WITH A SUB-BASE TANK SIZED TO PROVIDE 24-HOURS OF FULL-RATED LOAD. PROVIDE GENERATOR WITH AN EXTERIOR-RATED, WEATHER-PROOF ENCLOSURE WITH SILENCER MOUNTED WITHIN HOUSING. ENGAGE A FACTORY SERVICE REPRESENTATIVE TO INSPECT, TEST AND ADJUST ASSEMBLIES, COMPONENTS, EQUIPMENT INSTALLATION AND CONNECTIONS. TEST RESULTS SHALL BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE. GENERAC, CUMMINS, KOHLER, CATERPILLAR OR EQUAL.
2. PROVIDE AN AUTOMATIC-TRANSFER SWITCH (ATS) AS SHOWN ON DRAWINGS. ATS SHALL START ENGINE-GENERATOR SET AND TRANSFER LOAD BETWEEN NORMAL SOURCE AND GENERATOR, UPON LOSS OF NORMAL POWER. UPON RESTORATION OF NORMAL POWER, ATS SHALL SHUT DOWN ENGINE-GENERATOR SET AFTER A PRESET COOL-DOWN PERIOD. ENGAGE A FACTORY SERVICE REPRESENTATIVE TO INSPECT, TEST AND ADJUST ASSEMBLIES, COMPONENTS, EQUIPMENT INSTALLATION AND CONNECTIONS. TEST RESULTS SHALL BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE. ASCO OR APPROVED EQUAL.

SECURITY AND COMMUNICATION SYSTEMS

ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS, J-HOOKS AND BOXES REQUIRED FOR THE SECURITY AND COMMUNICATION SYSTEMS WHERE REQUIRED AND SHALL INSTALL PULL STRING IN ALL COMMUNICATIONS RACEWAYS. ELECTRICAL CONTRACTOR SHALL PROVIDE REQUIRED POWER CIRCUITS FOR SECURITY AND COMMUNICATION SYSTEM CONTROLLERS.

SECURITY AND COMMUNICATION SYSTEM CONTROLLERS AND COMPONENTS SHALL BE PROVIDED AND INSTALLED BY LICENSED SECURITY AND COMMUNICATIONS CONTRACTORS. PROVIDE A COMPLETE SYSTEM INCLUDING, BUT NOT LIMITED TO: DATA OUTLETS, CARD READERS, PUSHBUTTON STATIONS, DOOR LOCK HARDWARE, ALARM LIGHTS AND HORNS, CABLES, MONITORS AND CONTROLLERS AS DETAILED ON THE DRAWINGS.

SECURITY AND COMMUNICATIONS CONTRACTOR SHALL PROVIDE AND INSTALL ALL CABLES, OUTLETS, CONNECTORS AND DEVICES REQUIRED. DATA AND SECURITY CABLES SHALL BE CATEGORY 6, 6A OR AS REQUIRED. PROVIDE CONTINUOUS CABLES BETWEEN DEVICES AND CONTROLLERS, PATCH PANELS OR SERVERS. NO SPLICING IS ALLOWED. WORKSTATION OUTLETS SHALL ALL BE PROVIDED WITH TWO PORTS, ONE FOR VOICE AND ONE FOR DATA. PROVIDE AND INSTALL CABLES ABOVE SUSPENDED CEILINGS IN PATHWAYS, CABLE TRAY OR J-HOOKS. BOTH ENDS OF ALL CABLES SHALL BE IDENTIFIED. PROVIDE ALL REQUIRED TESTS. PROVIDE AS-CONSTRUCTED DRAWINGS TO THE OWNER. SIEMENS, JOHNSON CONTROLS, HONEYWELL, SCHNEIDER, ADT OR EQUAL.

EXTERIOR-MOUNTED DEVICE BOXES AND BOXES INSTALLED IN INDUSTRIAL FACILITIES SHALL BE CAST TYPE. INTERIOR OUTLET BOXES SHALL BE PRESSED STEEL, COMPLETE WITH PLASTER RING IF NECESSARY, FOR EACH SWITCH, RECEPTACLE OR DEVICE SHOWN. CEILING OUTLET BOXES SHALL BE 4-INCH OCTAGON, 1-1/2-INCH DEEP. EACH OUTLET SHALL BE RIGIDLY SUPPORTED FROM THE BUILDING CONSTRUCTION (INDEPENDENT OF THE RACEWAY SYSTEM). LIGHT FIXTURE BOXES SHALL BE SUPPLIED WITH FIXTURE SUPPORT HARDWARE AND SUPPORTED TO WITHSTAND 80 LBS.

DEVICES

WALL SWITCHES SHALL BE 20A RATED, SPECIFICATION GRADE, TOGGLE TYPE, SINGLE-POLE, TWO-POSITION. PROVIDE 3-WAY AND 4-WAY AND TWO-POLE SWITCHES WHERE INDICATED. PROVIDE INTEGRAL OCCUPANCY SENSOR WHERE INDICATED OR REQUIRED. COLOR SELECTED BY OWNER OR MATCH EXISTING. LUTRON, LEVITON, G.E. OR EQUAL.

DIMMER SWITCHES SHALL BE FURNISHED WITH FULL-RANGE DIMMING CAPABILITY, 0-10V OR 120V AS REQUIRED BY LUMINAIRES FURNISHED. FURNISH WITH INTEGRAL OCCUPANCY SENSOR. COLOR SELECTED BY OWNER OR MATCH EXISTING. LUTRON, LEVITON, G.E. OR EQUAL.

RECEPTACLES SHALL BE 20A RATED, SPECIFICATION GRADE, 125VAC, 3-WIRE DUPLEX TYPE, NEMA 5-20R UNLESS NOTED OTHERWISE. PROVIDE GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLES AND ARC FLASH CIRCUIT INTERRUPTING RECEPTACLES WHERE REQUIRED OR AS INDICATED. COLOR SELECTED BY OWNER OR MATCH EXISTING. LEVITON, G.E. OR EQUAL.

PROVIDE IN-USE, HINGED LOCKABLE COVERS FOR ALL EXTERIOR-MOUNTED RECEPTACLES. NICKEL OR GALVANIZED STEEL COVERS IN INDUSTRIAL FACILITIES AND NICKEL, PLASTIC COVERS (MATCHING OWNER'S EXISTING COVERS) IN FINISHED AREAS.

SUPPORTS AND HANGERS

PROVIDE AND INSTALL NECESSARY STEEL BRACKETS, RODS, CHANNELS, CLAMPS, ETC., FOR SUPPORT OF ALL WORK UNDER THIS CONTRACT. MOUNT SECURELY TO CEILING OR WALL.

SAFETY DISCONNECT SWITCHES

SAFETY DISCONNECT SWITCHES SHALL BE CIRCUIT BREAKER OR FUSED TYPE, 250VAC OR 480VAC, CLASS A, HEAVY DUTY, DUAL HORSEPOWER RATED IN NEMA 1 ENCLOSURE OR WEATHER-PROOF AS INDICATED ON DRAWINGS. BUILDING SAFETY DISCONNECT SWITCHES SHALL BE RATED FOR "SERVICE ENTRANCE" AND RATED 65KAIC MINIMUM. VOLTAGE, CURRENT RATING, NUMBER OF POLES, CIRCUIT BREAKER OR FUSES AS INDICATED. CONSTRUCTION SHALL BE SUCH THAT, WHEN THE SWITCH HANDLE IS IN THE "ON" POSITION, THE COVER CANNOT BE OPENED. SWITCHES FOR 30-AMPERE TO 200-AMPERE LOADING SHALL BE SQUARE D TYPE HD OR EQUAL.

MOTOR STARTERS

THREE-PHASE MOTOR STARTERS SHALL BE COMBINATION TYPE, 250VAC OR 480VAC AS REQUIRED, CLASS A, HEAVY DUTY, DUAL HORSEPOWER RATED WITH OVERLOADS AND TIME DELAY SWITCH. UNITS SHALL BE SQUARE D OR EQUAL.

FRACTIONAL HORSEPOWER MOTOR STARTERS SHALL BE TOGGLE TYPE, 120VAC WITH RED PILOT LIGHT.

LIGHTING FIXTURES

PROVIDE AND INSTALL LIGHT FIXTURES AS SPECIFIED IN THE LIGHTING FIXTURE SCHEDULE. ALL LIGHTING FIXTURES AND COMPONENTS SHALL BE U.L., D.L.C., ENERGY STAR AND E.T.L. APPROVED. EMERGENCY LIGHT FIXTURES AND EXIT SIGNS SHALL BE CONNECTED TO THE CIRCUIT SUPPLYING NORMAL POWER TO LIGHTING FIXTURES IN THE AREA THEY SERVE, AHEAD OF ANY SWITCHES.

PROVIDE CONCRETE FOUNDATIONS, GROUNDING AND POLES FOR POLE-MOUNTED EXTERIOR LIGHTS. REFER TO LIGHT FIXTURE SCHEDULE AND DETAILS ON THE DRAWINGS FOR POLE AND MOUNTING ARM SPECIFICATIONS.

ELECTRICAL - SPECIFICATIONS

HVAC NOTES

ROOF TOP UNITS: FIELD VERIFY LOCATION, WEIGHT OF UNITS, AND STRUCTURAL DESIGN LIMITATIONS. CONNECT DUCTWORK TO RTU ON SUPPLY AND RETURN AIRDUCT CONNECTIONS. PERFORM CHECK TESTS START-UP OF UNIT AND NOTIFY OWNER OF CONDITION AND OPERATIONAL STATUS. IF UNITS ARE EXISTING - INSPECT AND REPLACE THE FOLLOWING AS NEEDED, FANS, BELTS, FILTERS, ACTUATOR, CONTROL COMPONENTS, AND GREASE BEARINGS. BALANCE SYSTEM PER PLANS AND/OR AS REQUIRED.

THERMOSTATS: FURNISH AND INSTALL SEVEN-DAY PROGRAMMABLE THERMOSTAT WITH AUTO CHANGEOVER AND RELATED WIRING TO CONTROL ROOFTOP UNIT. MOUNT AT 40" A.F.F. VERIFY PROPER OPERATION IN THE FIELD.

FLUE VENT FOR WATER HEATER: EXTEND VENT UP THROUGH EXISTING ROOF AND TERMINATE WITH ROOF JACK, STORM COLLAR, AND ALL WEATHER CAP. FLUE VENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODE. COORDINATE WORK WITH LANDLORD.

CEILING MOUNTED RESTROOM EXHAUST FANS: EXTEND DUCT UP THROUGH EXISTING ROOF AND TERMINATE WITH ROOF JACK, STORM COLLAR, AND ALL WEATHER CAP. COORDINATE WORK WITH LANDLORD.

HVAC LEGEND

MARK	DESCRIPTION
	THERMOSTAT
	DUCT FIRE DAMPER
	AIR DAMPER
	RIGID SUPPLY DUCT CIRCULAR
	RIGID RETURN DUCT CIRCULAR
	BRANCH SUPPLY DUCT (USE FLEX WHERE APPLICABLE)
	BRANCH RETURN DUCT (USE FLEX WHERE APPLICABLE)
	DUCT SMOKE DETECTOR
	LAY-IN SUPPLY DIFFUSER
	LAY-IN RETURN GRILLE
	LAY-IN EXHAUST GRILLE
	WALL RETURN AIR VENT

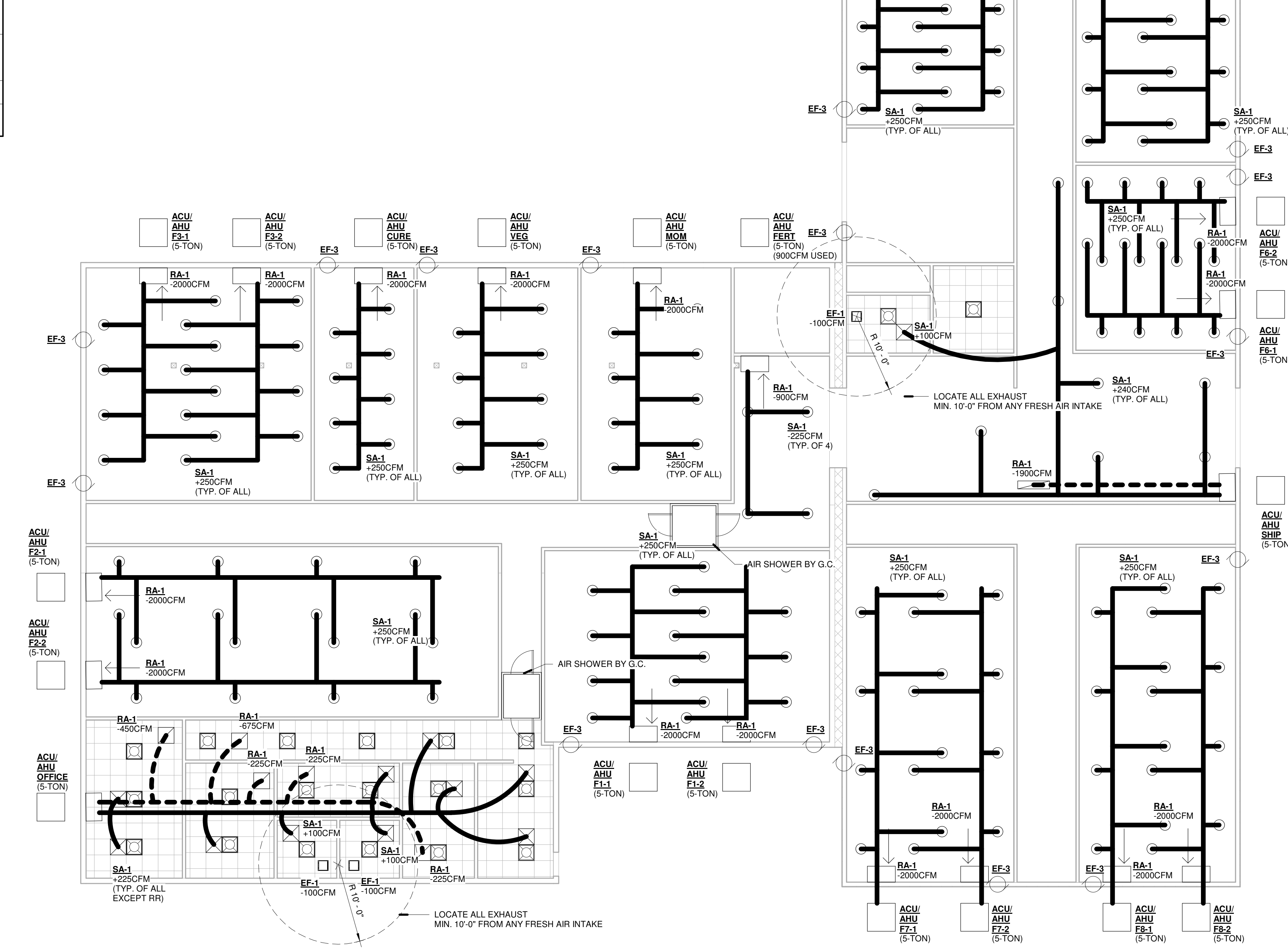
NOTE:
G.C. TO FIELD VERIFY MAKE, MODEL AND CONDITION AS INSTALLED. NOTIFY ARCHITECT IMMEDIATELY IF UNIT CAN NOT COMPLY WITH THIS PLAN.

HVAC UNIT SCHEDULE

UNIT ID	COUNT	MANUF.	MODEL	AREA SERVED	NOMINAL TONS	SUPPLY		NOTES
						TOTAL CFM	OUTSIDE AIR	
ACU/AHU	22	BY M.C.	BY M.C.		5	2000	400 (TYP.)	
EF-1	3	BY M.C.	BY M.C.	REST.		-100	0	
EF-2	19	BY M.C.	BY M.C.					CHARCOAL FILTER AND REMOTE THERMOSTAT

NOTES:

- ELECTRICAL CONNECTION TO BE SINGLE POINT AND TO BE THROUGH THE BOTTOM OF THE UNIT
- PROVIDE DISCONNECT SWITCH AND AN UNPOWERED GFCI RECEPTACLE.
- 14" INSULATED ROOF CURB (SLOPED TO MATCH PITCH OF ROOF, REFER TO ARCHITECTURAL DRAWINGS).
- CONDENSATE DRAIN WITH 2" DEEP VENTED TRAP DISCHARGE TO SPLASH BLOCK ON ROOF.
- CABINET WITH 3/4" FIBERGLASS INSULATION.
- UNIT SHALL BE COMPLETE WITH GAS HEATING SECTION. GAS REGULATOR TO RECEIVE 7" GAS PRESSURE FROM MAIN.
- DRY BULB ECONOMIZER WITH BAROMETRIC RELIEF 25% MANUAL OUTSIDE AIR DAMPER ASSEMBLY WITH HOOD (ZONE 'E' ONLY).
- PROVIDE 8-WIRE, 24 VAC, AUTOMATIC CHANGEOVER, 2-STAGE HEAT / COOL. REMOTELY PROGRAMMABLE THERMOSTAT
- REMOTE SENSORS SHALL BE PROVIDED IN SPACE WIRED BACK TO PROGRAMMABLE, 24 HOUR, 7 DAY, THERMOSTATS.
- ANTI SHORT CYCLE TIMER.
- THROWAWAY 2" FILTERS (MERV 8).
- PROVIDE HIGH STATIC DRIVE ACCESSORY.
- PROVIDE LOW AMBIENT COOLING CAPABILITY DOWN TO 0 DEGREES F.
- PROVIDE ALL COMPRESSORS WITH 5 YEAR WARRANTY.
- RETURN AIR SMOKE DETECTOR - UNIT MOUNTED, WHEN REQ'D BY CODE



MECHANICAL PLAN
1/8" = 1'-0"



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NOTES

- COORDINATE ALL PLANS WITH "CONSTRUCTION MANUAL."
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.
- G.C. SHALL PROVIDE CONSTRUCTION SCHEDULES, WEEKLY UPDATES, AND PHOTOS OF THE PROJECT THROUGHOUT THE DURATION OF CONSTRUCTION.
- G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.
- ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).
- DO NOT SCALE DRAWINGS.
- COPYRIGHT 2019 FORESTA ARCHITECTS, LLC.

PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

11/08/2021	NO.	DESCRIPTION	DATE
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SUBMITTAL

PERMIT

SHEET NAME

HVAC PLAN

SHEET

M1

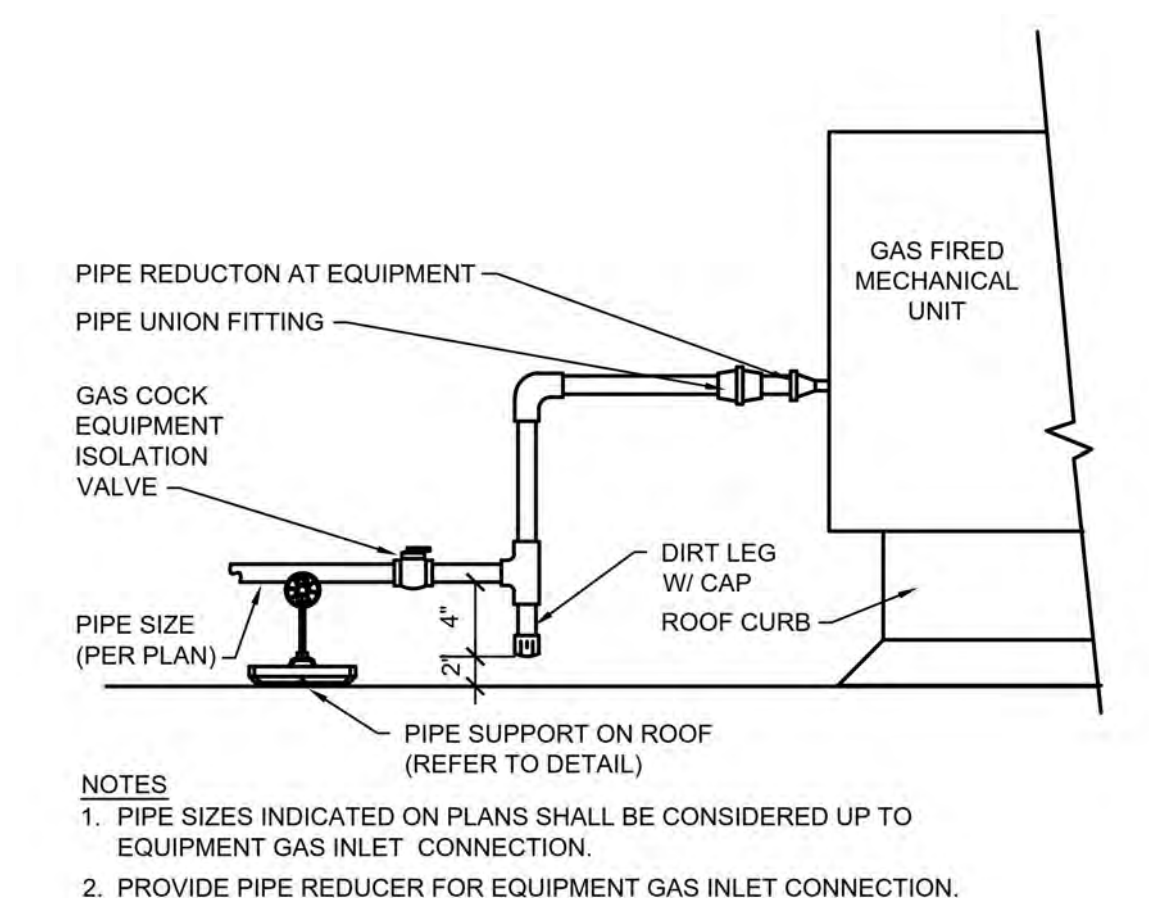
PLUMBING NOTES

- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL WATER DISTRIBUTION PIPING, SANITARY DRAIN, WASTE AND VENT PIPING, PLUMBING FIXTURES AND EQUIPMENT, AND APPURTENANCES AS IS NECESSARY FOR A PLUMBING SYSTEM, COMPLETE IN PLACE.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ADOPTED PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
 - CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES IN FIELD. ROUTE CONDENSATE LINES FOR ROOFTOP UNITS TO LOCAL DRAIN AS REQUIRED BY LOCAL CODE.
 - THE PLUMBING DRAWINGS ARE DIAGRAMMATIC AND SHOW THE RELATIONSHIP BETWEEN FIXTURES AND CONNECTIONS. ALL PIPING AND FITTINGS NECESSARY FOR A COMPLETE INSTALLATION MAY NOT BE SHOWN BECAUSE OF THE SCALE OF THE DRAWINGS. DO NOT SCALE THE DRAWINGS. PROVIDE INDIRECT (1" AIR GAP) TO A FLOOR SINK AS REQUIRED BY CODE. INSTALL FLUSH WITH THE FLOOR AND LOCATED AS TO BE READILY ACCESSIBLE FOR CLEANING AND REPAIR.
 - VERIFY WITH ARCHITECTURAL DRAWINGS BEFORE INSTALLING ROUGH IN FOR PLUMBING FIXTURES. FIELD VERIFY ALL DIMENSIONS.
 - SEE SITE PLAN FOR THE EXTENT OF ALL PIPING LEAVING AND ENTERING THE BUILDING. SLOPES AND INVERT ELEVATIONS OF SEWERS, MANHOLES, ETC. SHALL BE ESTABLISHED AND VERIFIED BEFORE ANY PIPING IS INSTALLED TO INSURE THAT PROPER SLOPES WILL BE MAINTAINED AND NECESSARY INVERT ELEVATIONS MET.
 - COORDINATE THE LOCATION OF ALL PIPING WITH DUCTWORK, LIGHTS, ETC.
 - ALL PENETRATIONS OF FIRE RATED WALLS, FLOORS, OR CEILING BY WORK UNDER THIS DIVISION SHALL BE SEALED WITH MATERIAL OR PRODUCT LISTED FOR APPLICATION.
 - CONTRACTOR SHALL PROVIDE ALL VALVES, PRESSURE REDUCING STATION, SHOCK ABSORBERS, ACCESSORIES, EQUIPMENT, P-TRAPS, STRAINERS, ETC. TO PROVIDE A COMPLETE INSTALLATION.
 - MAKE PROPER HW, CW, HWR, W, V, FCO, ETC PIPING CONNECTIONS TO ALL FIXTURES AND EQUIPMENT. PROVIDE WATER STOP VALVES AT EACH EQUIPMENT ITEM.
 - PROVIDE PVC SLEEVE FOR PIPING PENETRATIONS OF MASONRY OR CONCRETE FLOORS AND WALLS. PACK AND SEAL PENETRATIONS MOISTURE TIGHT.
 - DIELECTRIC UNIONS SHALL BE INSTALLED WHERE PIPE OF DIFFERENT METALS ARE JOINED.
 - CLEANOUTS FOR SOIL AND WASTE LINES SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS, AND EVERY 90 DEGREE CHANGE IN DIRECTION OR AS REQ'D BY LOCAL CODE
 - ALL FLOOR DRAINS AND OPEN HUB DRAINS SHALL BE INSTALLED WITH DEEP SEAL P-TRAPS. PROVIDE TRAP PRIMERS WHERE SHOWN ON PLANS AND AT ALL LOCATIONS REQUIRED BY CODE AND LOCAL AUTHORITY (CONTRACTOR TO VERIFY).
 - SUPPLIES, TRAPS AND WASTES FROM ACCESSIBLE LAVATORIES AND SINKS MUST BE FURNISHED WITH INSULATED PROTECTIVE COVERS.
- REFER TO SHEET A1-EQUIPMENT PLAN FOR MASTER EQUIPMENT LIST.
- RUN COOLER CONDENSATE LINE ALONG WALL AND DRAIN INTO FD-1.

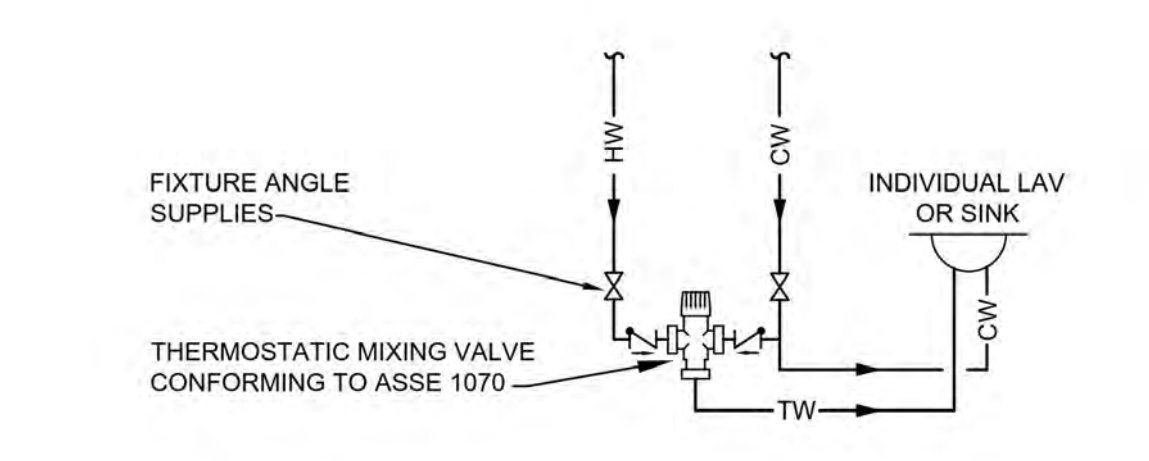
PLUMBING LEGEND

MARK	DESCRIPTION	SYMBOL	DESCRIPTION
---	FWC	---	FILTERED COLD WATER SUPPLY CPVC, PEX, OR COPPER (TYPE 'L' ABOVE GROUND/TYPE 'K' UNDERGROUND)
FCO	FLOOR CLEANOUT JONES C-59 SERIES CLEANOUT W/ BRASS TOP	---	HW
CO	CLEANOUT	---	HOT WATER SUPPLY CPVC, PEX, OR COPPER (TYPE 'L' ABOVE GROUND/TYPE 'K' UNDERGROUND)
FD-1	FLOOR DRAIN ZURN MODEL Z-415-B (SEE PER PLAN)	---	GAS
SH-1	NEW SHOWER BY G.C.	---	GAS LINE STEEL, WROUGHT-IRON (SHALL NOT BE LESS THAN SCHEDULE 40)
FS-1	FLOOR SINK ZURN MODEL Z-1901-SANI-FLOOR RECEPTOR	---	SS
GT-1	GREASE TRAP ZURN MODEL Z-1901-SANI-FLOOR RECEPTOR	---	SS
L-1	LAVATORY REFER TO EQUIPMENT PLAN	---	GT
MV-1	MIXING VALVE (ASSE 1070 APPROVED) WATTS USG-B, REFER TO NOTE 2	---	GT
PRBP-1	PRESSURE REDUCING BACKFLOW PREVENTER AS REQ'D BY LOCAL CODE- WATTS OR EQUAL	---	VENT LINE SCHEDULE 40 PVC-DWV OR CAST IRON
SS-1	SERVICE SINK REFER TO EQUIPMENT PLAN	---	SHUT OFF VALVE
WM-1	WASHING MACHINE REFER TO EQUIPMENT PLAN	---	POINT OF CONNECTION
WC-1	WATER CLOSET REFER TO EQUIPMENT PLAN	---	
WH-1	WATER HEATER RHEEM TANKLESS GAS RTG-84DVLN OR APPROVED EQUAL SIZE SHALL MEET DEMAND & LOCAL REQUIREMENTS.	---	
EWC-1	ELECTRIC WATER COOLER REFER TO EQUIPMENT PLAN	---	
---	CW	---	

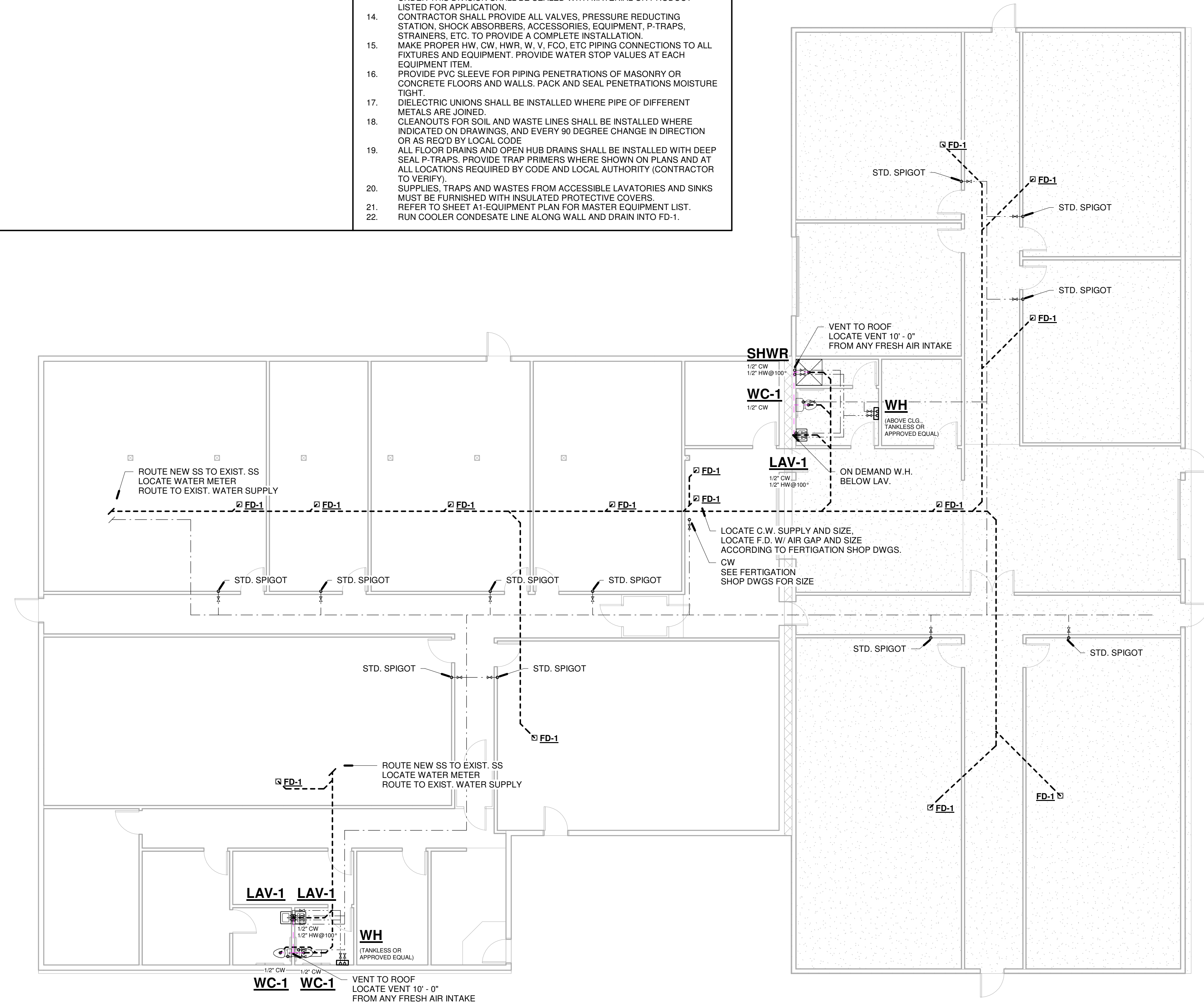
- REFER TO SHEET EQUIPMENT PLAN FOR EQUIPMENT LIST
- TEMPERED WATER SHALL BE DELIVERED FROM PUBLIC HAND-WASHING FACILITIES THROUGH AN APPROVED WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070.
- PROVIDE INDIRECT (1" AIR GAP) TO A FLOOR SINK AS REQUIRED BY CODE. INSTALL FLUSH WITH FLOOR & LOCATE AS TO BE READILY ACCESSIBLE FOR CLEANING AND REPAIR.
- PROVIDE INTEGRAL ATMOSPHERIC VACUUM BREAKER FAUCET. MUST PROVIDE MIN. 120°F WATER TO ALL SINKS.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL WATER DISTRIBUTION PIPING, SANITARY DRAIN, WASTE AND VENT PIPING, PLUMBING FIXTURES AND EQUIPMENT, AND APPURTENANCES AS IS NECESSARY FOR A PLUMBING SYSTEM, COMPLETE IN PLACE.
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GAS EQUIP. CONNECTION DETAIL



MIXING VALVE DETAIL



WATER AND GAS PLAN

1/8" = 1'-0"



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NOTES

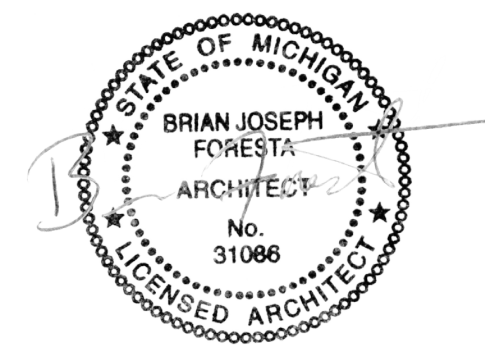
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- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).
- DO NOT SCALE DRAWINGS.
- COPYRIGHT 2019 FORESTA ARCHITECTS, LLC.

PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

11/08/2021	NO.	DESCRIPTION	DATE
------------	-----	-------------	------

SUBMITTAL

PERMIT

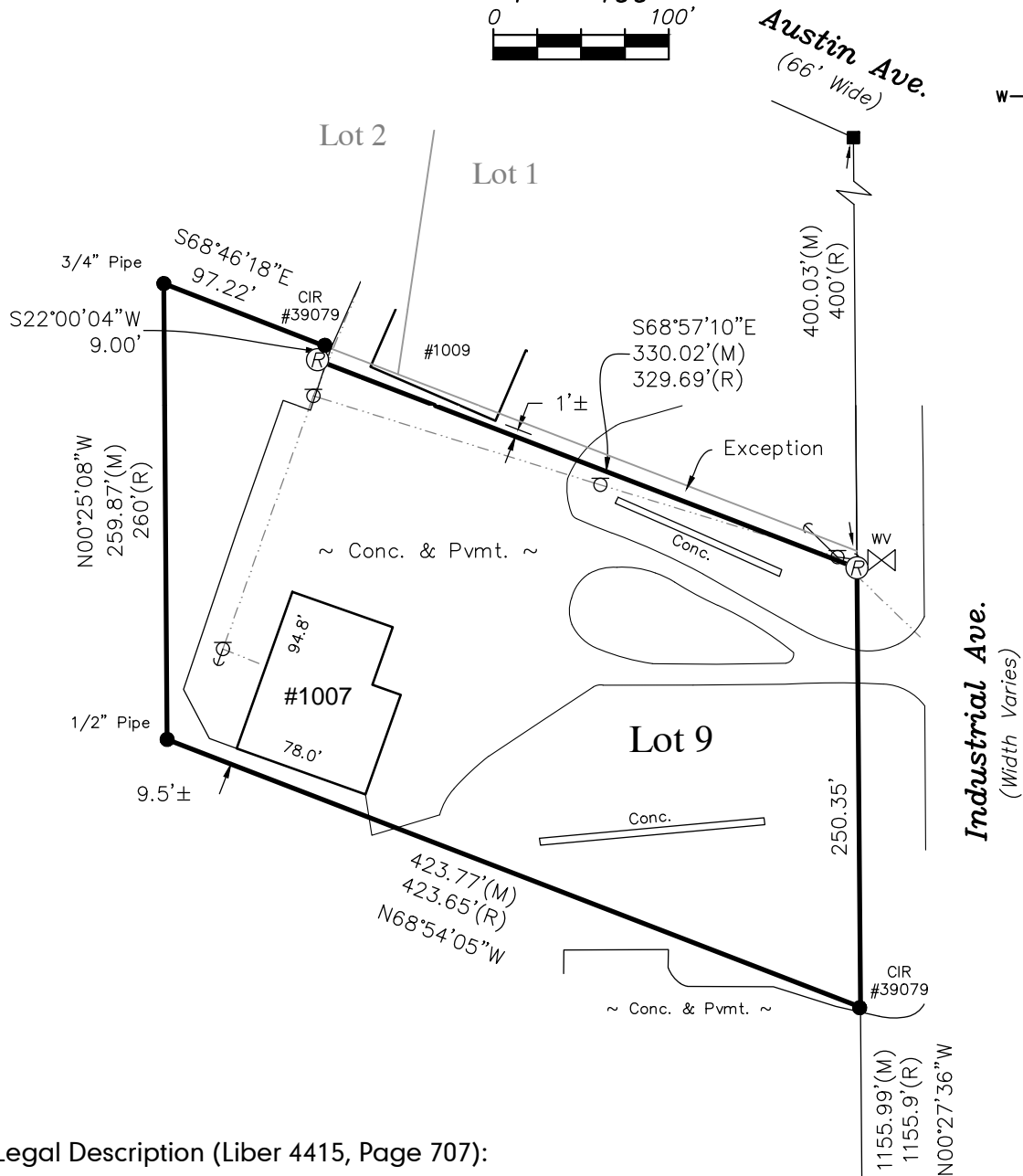
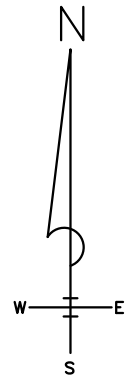
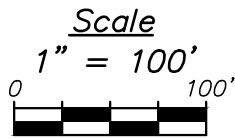
SHEET NAME

WATER AND GAS PLAN
SHEET #

Lot Survey

Part of Lot 9 of Industrial Park
NE 1/4 Sec. 33, T2S, R4W
City of Albion, Calhoun County, MI

For:
Michael J. Blum



Legal Description (Liber 4415, Page 707):

Albion City, Industrial Park Subdivision, Lot 9, Except beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence North 68°26'15" West parallel with and 9.0 feet South of the North line of Lot 9, 329.69 feet, thence North 22°23'53"E 9.0 feet, thence South 6826'15"E along the South line of Lot 2 and 1, 326.00 feet to the Point of Beginning.

Legend

- -- Found Plat Monument
- -- Found Iron
- Ⓡ -- Set Rebar W/ Cap "DEE 29245"
- (R) -- Record
- (M) -- Measured

Note

All Dimensions are Measured Unless Otherwise Noted

Basis of Bearings

State Plane Coordinate System
Michigan South Zone 2113
NAD83 2011 Geoid 12AUS

JOB # : 2021.4701		910 Fifth Street Michigan Center, MI 49254	PROFESSIONAL SURVEYOR #29245
DRAWN : RST		517-764-0440 sheridansurveying.com	
DATE : 11-4-21	I HEREBY CERTIFY TO THE PARTY NAMED HEREON, THAT I HAVE SURVEYED THE PARCEL OF LAND AS ABOVE SHOWN OR DESCRIBED ON 11-3-21 AND THAT THE RELATIVE POSITIONAL PRECISION IS WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.		
SCALE : 1" = 100'			
PAGE : 1 OF 1			

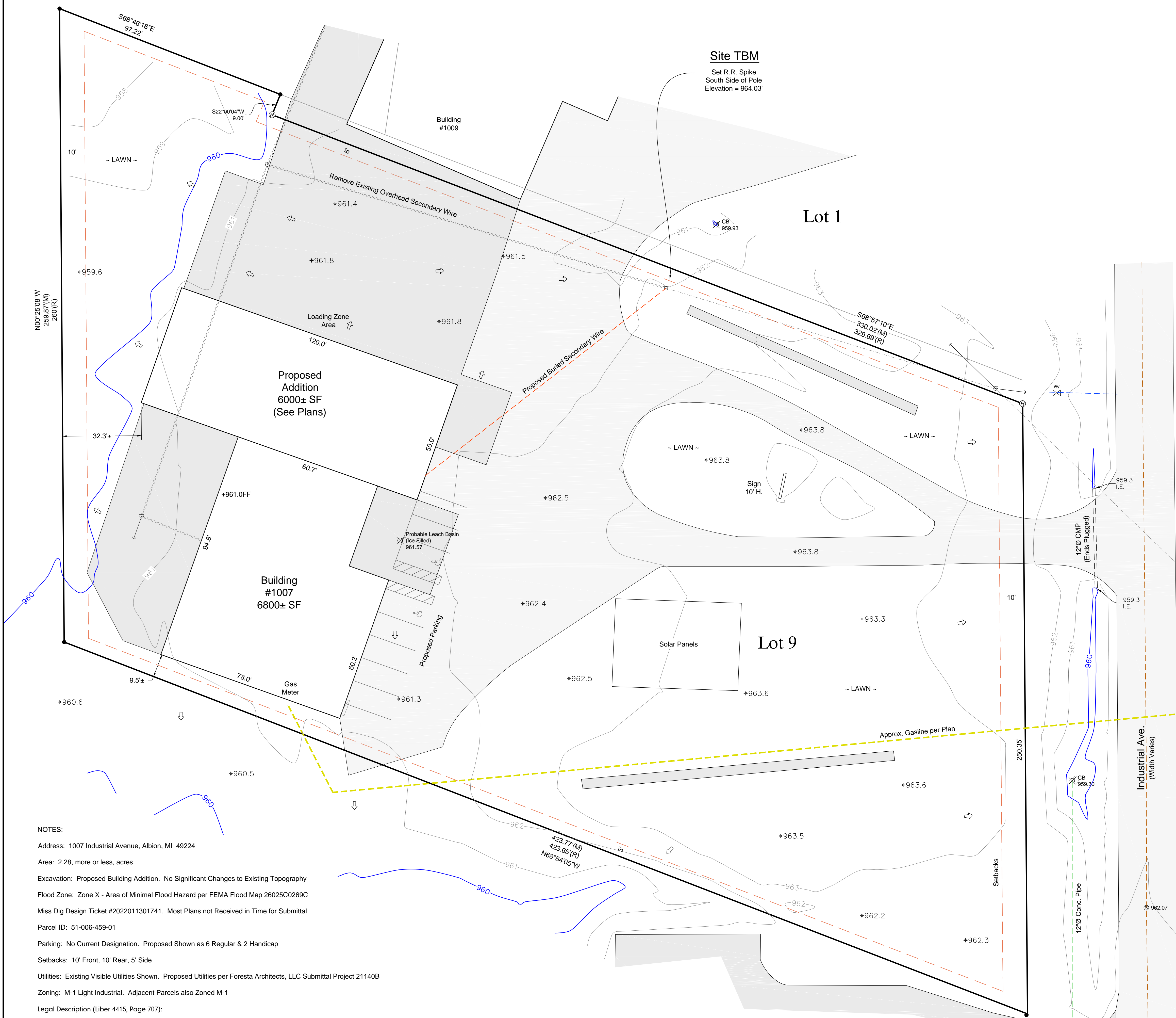
Lot 2

Site TBM

Set R.R. Spike
South Side of Pole
Elevation = 964.03'

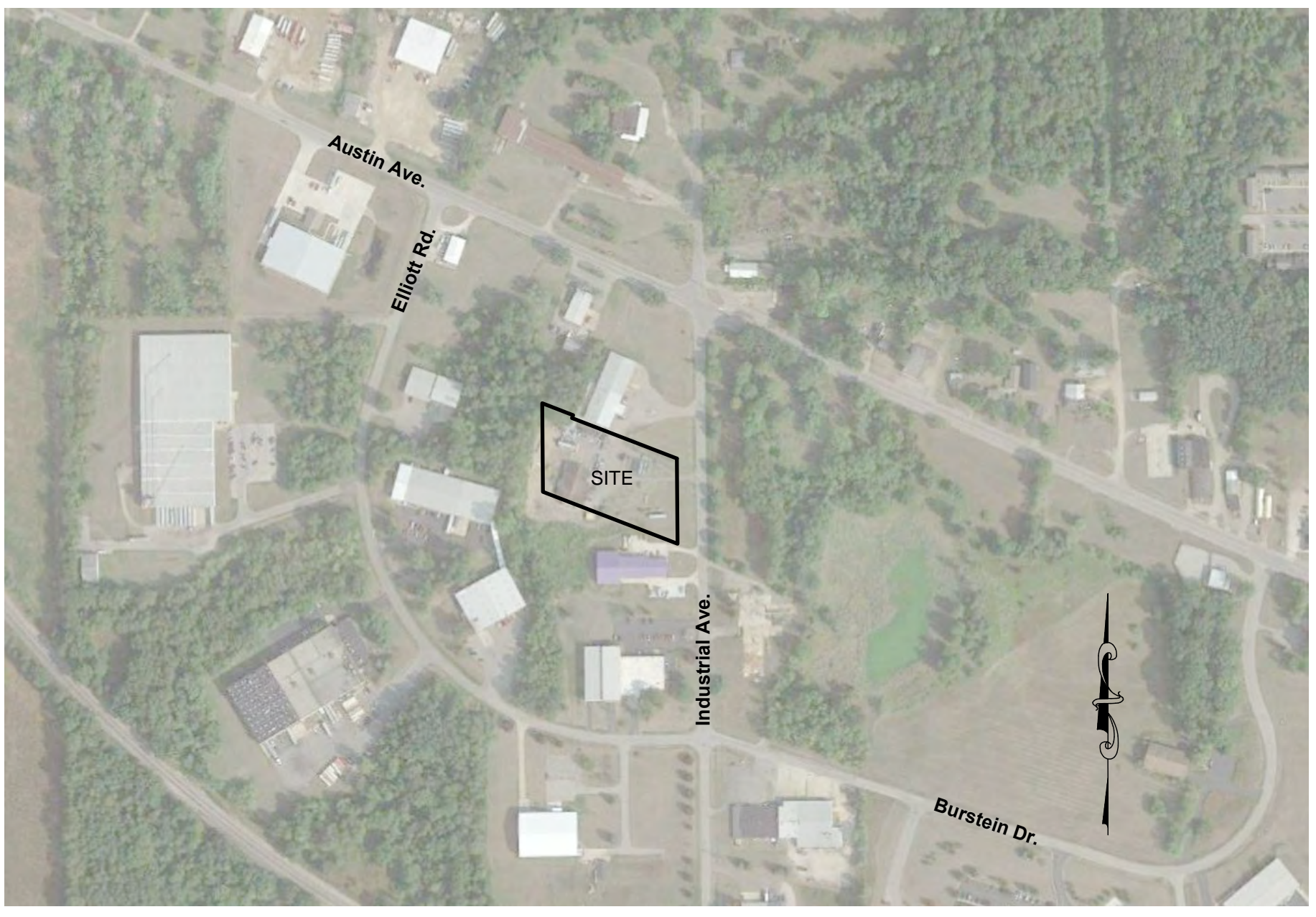
Lot 1

Lot 9



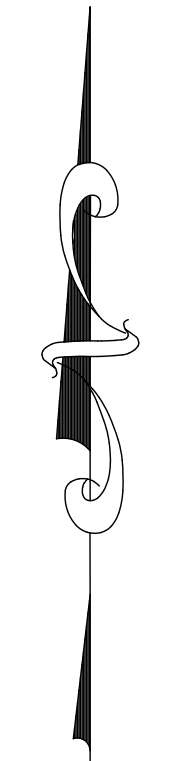
NOTES:

- Address: 1007 Industrial Avenue, Albion, MI 49224
- Area: 2.28, more or less, acres
- Excavation: Proposed Building Addition. No Significant Changes to Existing Topography
- Flood Zone: Zone X - Area of Minimal Flood Hazard per FEMA Flood Map 26025C0269C
- Miss Dig Design Ticket #2022011301741. Most Plans not Received in Time for Submittal
- Parcel ID: 51-006-459-01
- Parking: No Current Designation. Proposed Shown as 6 Regular & 2 Handicap
- Setbacks: 10' Front, 10' Rear, 5' Side
- Utilities: Existing Visible Utilities Shown. Proposed Utilities per Foresta Architects, LLC Submittal Project 21140B
- Zoning: M-1 Light Industrial. Adjacent Parcels also Zoned M-1
- Legal Description (Liber 4415, Page 707):
Albion City, Industrial Park Subdivision, Lot 9, Except beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence North 63°26'15\"/>



Sec. 33 City of Albion T2S, R4W Calhoun County

LOCATION MAP
NOT TO SCALE



1.0' Contours

BASIS OF BEARINGS

State Plane Coordinate System
Michigan South Zone 2113
NAD83 2011 Geoid 18

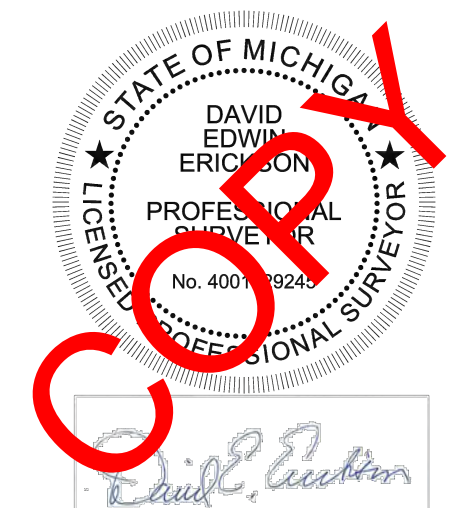
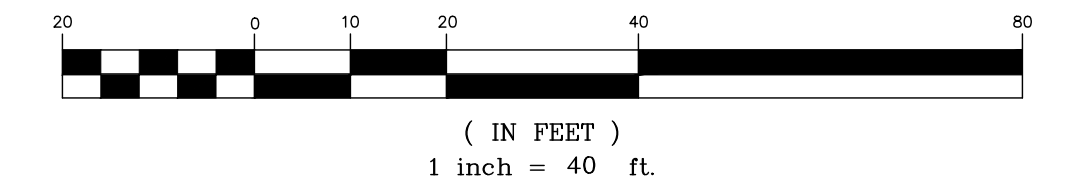
BASIS OF ELEVATION

MDOT CORS VRS Network - NAVD 88

LEGEND

- -- Found Survey Marker
- ⊗ -- Set Rebar w/ Cap #29245
- (R) -- Record
- (M) -- Measured
- ⊗ -- Catch Basin
- ↗ -- Surface Drainage
- ⊠ -- Riser Box
- ⊕ -- Sign
- ⊕ -- Utility Pole & Guy Anchor
- — — — — Fence
- — — — — Gas Line
- — — — — Overhead Wires - Existing
- — — — — Overhead Wires - to be Removed
- — — — — Sanitary Sewer
- — — — — Water Line
- ▭ -- Concrete
- ▭ -- Pavement

GRAPHIC SCALE



SSC SHERIDAN SURVEYING CO.
910 Fifth Street Michigan Center, MI 49254
517-764-0440 sheridansurveying.com

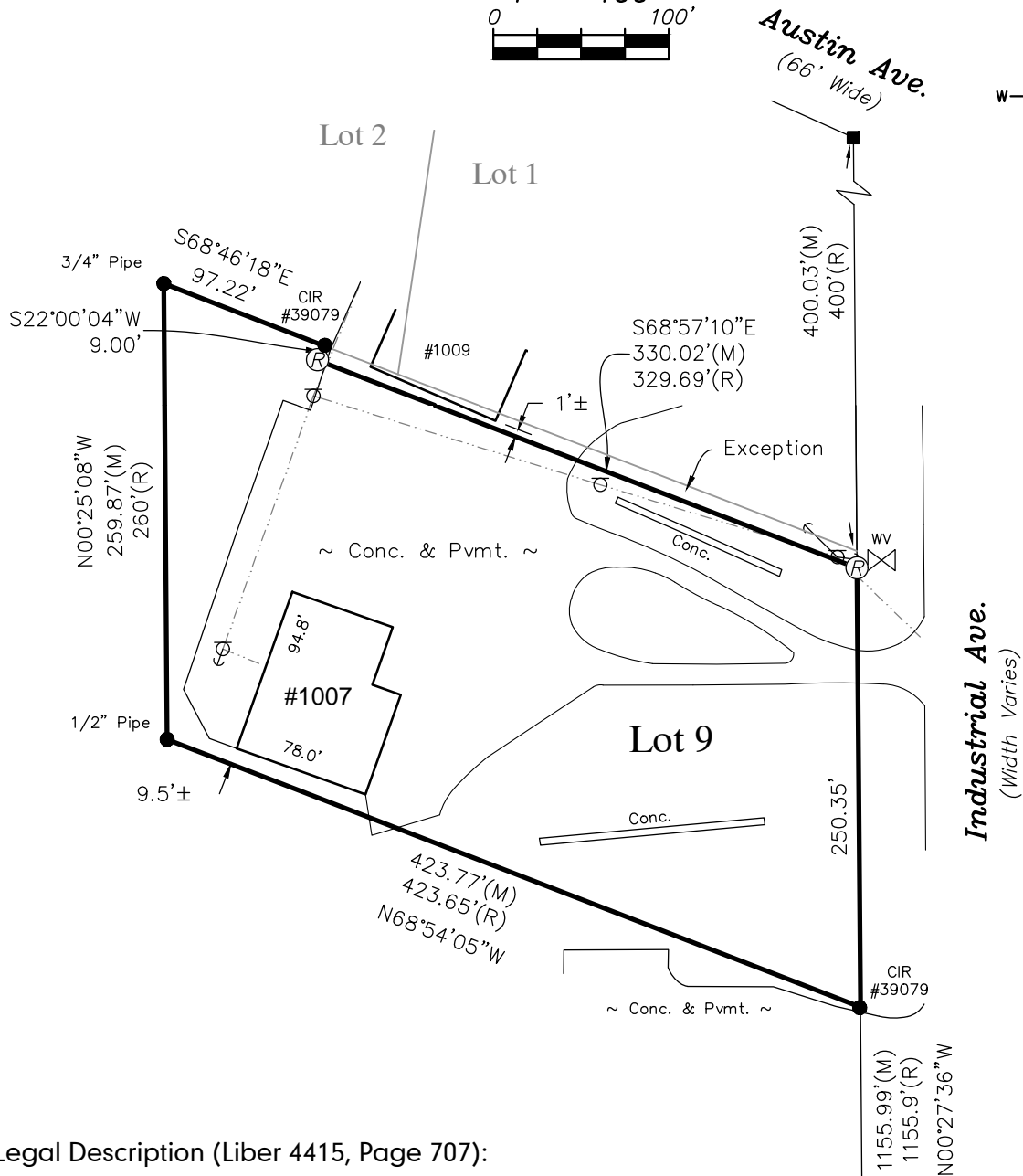
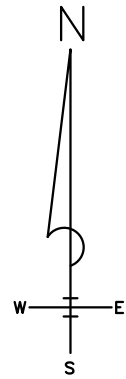
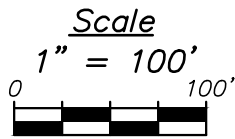
DRN.	RST	1-14-22			
FLD.	DEE	1-14-22			
FLD. BK.	#136				
CLIENT	Tarek Mazloun	REV.	DATE	DESCRIPTION	BY

Sec. 33 City of Albion		RX Operations 1007 Industrial Avenue		T2S, R4W Calhoun County
SCALE: 1" = 20'	DRAWING NO. 2022.4749	SHEET 1	REV.	
SSC FILENAME: 4749.DWG				

Lot Survey

Part of Lot 9 of Industrial Park
NE 1/4 Sec. 33, T2S, R4W
City of Albion, Calhoun County, MI

For:
Michael J. Blum



Legal Description (Liber 4415, Page 707):

Albion City, Industrial Park Subdivision, Lot 9, Except beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence North 68°26'15' West parallel with and 9.0 feet South of the North line of Lot 9, 329.69 feet, thence North 22°23'53"E 9.0 feet, thence South 68°26'15"E along the South line of Lot 2 and 1, 326.00 feet to the Point of Beginning.

Legend

- -- Found Plat Monument
- -- Found Iron
- Ⓡ -- Set Rebar W/ Cap "DEE 29245"
- (R) -- Record
- (M) -- Measured

Note

All Dimensions are Measured Unless Otherwise Noted

Basis of Bearings

State Plane Coordinate System
Michigan South Zone 2113
NAD83 2011 Geoid 12AUS

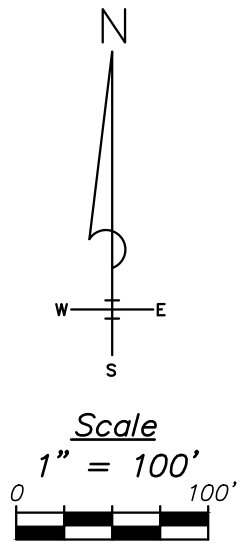
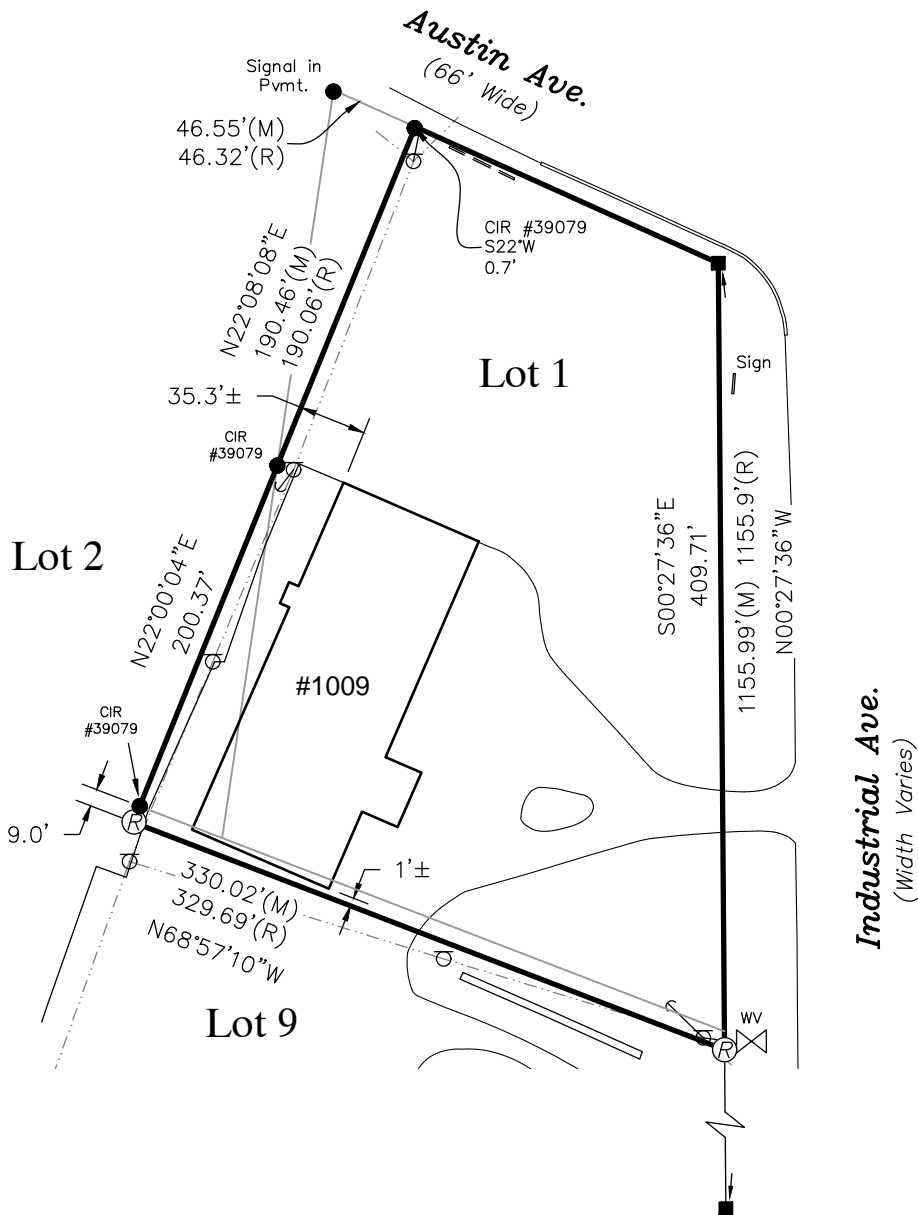
COPY

JOB # : 2021.4701	SSC SHERIDAN SURVEYING CO.	
DRAWN : RST	910 Fifth Street Michigan Center, MI 49254	PROFESSIONAL SURVEYOR #29245
DATE : 11-4-21	517-764-0440 sheridansurveying.com	
SCALE : 1" = 100'	I HEREBY CERTIFY TO THE PARTY NAMED HEREON, THAT I HAVE SURVEYED THE PARCEL OF LAND AS ABOVE SHOWN OR DESCRIBED ON 11-3-21 AND THAT THE RELATIVE POSITIONAL PRECISION IS WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.	
PAGE : 1 OF 1		

Lot Survey

Part of Lot 1, 2 & 9 of Industrial Park
NE 1/4 Sec. 33, T2S, R4W
City of Albion, Calhoun County, MI

For:
Michael J. Blum



Legal Description (Liber 4028, Page 804):

Albion City, Industrial Park Subdivision, Lot 1, Except beginning at the Northwest Corner of Lot 1, thence S08°50'11"W along the West line of said Lot 1, 197.38 feet, thence N22°23'53"E 190.06 feet to the North line of said Lot 1, thence N65°21'00"W along said North line, 46.32 feet to the Point of Beginning. Also, that part of Lot 2 described as beginning at the Southwest Corner of Lot 1, thence N68°23'15"W along the South line of Lot 2, 46 feet, thence N22°23'53"E 191.31 feet to the West Line of said Lot 1, thence S8°50'11"W along said West line, 196.15 feet to Point of Beginning; Also that part of Lot 9 described as beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence N68°26'15"W parallel with & 9.0 feet South of the North line of Lot 9, 329.69 feet, thence N22°23'53"E 9 feet, thence S68°26'15"E along the South Line of Lot 2 and Lot 1 326.00 feet to point of beginning.

Legend

- --- Found Plat Monument
- --- Found Iron
- Ⓡ --- Set Rebar W/ Cap "DEE 29245"
- (R) --- Record
- (M) --- Measured

Note

All Dimensions are Measured Unless Otherwise Noted

Basis of Bearings

State Plane Coordinate System
Michigan South Zone 2113
NAD83 2011 Geoid 12AUS

COPY

JOB # : 2021.4701A	SSC SHERIDAN SURVEYING CO.	
DRAWN : RST	910 Fifth Street Michigan Center, MI 49254	PROFESSIONAL SURVEYOR #29245
DATE : 11-4-21	517-764-0440 sheridansurveying.com	
SCALE : 1" = 100'	I HEREBY CERTIFY TO THE PARTY NAMED HEREON, THAT I HAVE SURVEYED THE PARCEL OF LAND AS ABOVE SHOWN OR DESCRIBED ON 11-3-21 AND THAT THE RELATIVE POSITIONAL PRECISION IS WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.	
PAGE : 1 OF 1		

whose address is 5720 Pontiac Trail, Orchard Lake, 48322;
Quit Claim to HMF M Holdings, LLC
whose address is 5720 Pontiac Trail, Orchard Lake, 48322;
of Albion County of Calhoun
the following described premises situated in the city
and State of Michigan, to-wit:

see exhibit A
also known as property address: 100M
Industrial Ave, Albion, MI 49224
Parcel ID NO: 51-006-459-01

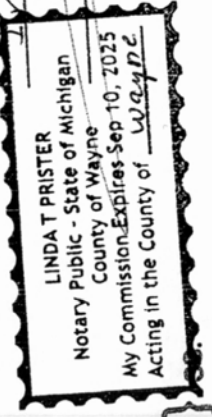
together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or
in anywise appertaining, for the sum of

Dated this 8th day of December 19 2021

Signed by:

Signed in the presence of:

[Signature] Haitham Masci
[Signature] Michael
[Signature] Marsan Holdings, LLC,
[Signature] N. S. Ma
STATE OF MICHIGAN
COUNTY OF
The foregoing instrument was acknowledged before me this 8th day of February 2022 by Linda Prister
Notary Public,
County, Michigan



My Commission expires September 10, 2025

When Recorded Return To:	Send Subsequent Tax Bills To:	Drafted by:
		Business Address

Tax Parcel # _____ Recording Fee _____ Revenue Stamps _____

**AFFIDAVIT
FILED**

LIBER 4576

PAGE 0756

WARRANTY DEED

13-21771090-CAN

KNOW ALL PERSONS BY THESE PRESENTS: That: Hydra Real Estate Development, LLC, a Michigan limited liability company, ("Grantor")

the address of which is: 2207 Orchard Lake Road, Sylvan Lake, MI 48320

convey(s) and warrant(s) to: Irsam Holdings LLC, a Michigan limited liability company, ("Grantee")

the address of which is: 5720 Pontiac Trail, Orchard Lake, MI 48323

the following described premises situated in the City of Albion, County of Calhoun, State of Michigan, to wit:

SEE EXHIBIT A

also known as Property Address: 1007 Industrial Avenue, Albion, MI 49224

Parcel ID No.: 51-006-459-01

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, REAL ESTATE TRANSFER VALUATION AFFIDAVIT FILED.

Subject to zoning ordinances, building and use restrictions, if any, and easements of record.

When Recorded return to:
Irsam Holdings LLC
5720 Pontiac Trail
Orchard Lake, MI 48323

5-(3)30

Send Subsequent Tax Bills To:
Grantee

Drafted By:
Hydra Real Estate Development
Jeffrey Yatooma
2207 Orchard Lake Road
Sylvan Lake, MI 48320
Assisted by: ATA National Title Group,
LLC



STATE OF MICHIGAN - CALHOUN COUNTY
FILED
09/01/2021 08:43:24 AM
KIMBERLY A. HINKLEY, CLERK/REGISTER OF DEEDS

13175
9/1/21

memo



Albion Economic Development Corporation

To: EDC Board of Directors
From: Amy Deprez, President & CEO
CC:
Date: June 2, 2022
Re: Economic, Workforce & Community Development Report

Economic Development

Business Retention/Expansion/Attraction

Retention

- Retention visits are on hold until staffing shortages are resolved. Any emergency needs will be handled as required.

Expansion & Attraction

- MEDC Site Readiness Grant for 1917 E Michigan Ave (AKA 425 Parcel): The Public Close Out meeting happened on May 9th and the reimbursement requests were completed and communicated to MEDC the week of May 16th. The reimbursement of \$39,900 in eligible activities is expected in the coming weeks to make the EDC whole for the Master Site Development Plan for the 40-acre property.
- SolV Energy (River Fork Solar) Project: Aerotek, the contract hiring agent for SolV Energy, participated in the May 11th Job Fair to help fill the 100+ jobs by June/July. Previously, the company conducted a job fair at the Eastern Academic Center in early April. No skills required, candidates need to have a good attitude and a consistent work ethic to be successful. \$18/hour with up to 14 hours overtime weekly anticipated. Those that are successful can be offered to travel for other solar projects, making this a career opportunity and earning a per diem for projects outside of the home area. It is a M-Sat work schedule. They will be hiring up to 250 employees.
- Project Ninja Goldfish, LLC: The Sales Agreement was extended through the end of June 2022. More time was needed for environmental due diligence to be completed by buyer. Phase 1 environmental has been completed. Phase 2 environmental is pending completion by end of March. EDC is still working through some legal description discrepancies between the lot survey and title commitment.
- 1007 Industrial Dr.: Site plan review and approval by the TIFA Development Board is expected to happen at the 6/2/22 EDC Board meeting. The City of Albion Planning Commission offered a conditional approval on March 15th, and on May 18th the City authorized all conditions were met.

needed. The EDC applied for EGLE funding to offset the \$3.5 m in environmental cleanup and remediation that is expected for the site and was instructed to apply under FY 2023.

- **Senior Housing Development** – the Senior Housing Group has identified a potential site for development. Discussions continue with the developer.