

Thursday, May 6, 2021, 7:30 am

Via **Zoom Webinar**

<https://us02web.zoom.us/j/85200463407?pwd=SFIDUmQwUUxpTjEzZlFIMW1lZmtLQT09>

***Mission Statement:** Retain, expand and recruit business and industry to the greater Albion area and strengthen and revitalize the local economy.*

Economic Development Strategic Plan

- Goal 1: Stabilize the downtown, enhance its historic character, and support its economic growth.
- Goal 2: Stabilize the City's major corridors and support their economic growth.
- Goal 3: Build the human and capital capacity of key economic development agencies within Albion.
- Goal 4: Retain and attract high-leverage jobs to Albion.
- Goal 5: Strengthen housing market and stock.
- Goal 6: Create a unified brand for Albion to drive tourism, business growth, and investment. (GACC)
- Goal 7: Make strategic choices to turn Albion into a destination for current and future residents and tourists. (GACC)

AGENDA

- 1) Roll Call
- 2) *Welcome Vicky Clark, New Board Member*
- 3) *Presentation – Senior Housing, Marcia Starkey & Linda Kolmodin*
- 4) Public Comment
(Persons addressing the Board shall limit their comments to no more than 3 minutes)
- 5) Action Items:
 - a) Consent Agenda:
 - i) Approval of Minutes from April 1, 2021 Board Meeting
 - ii) Approve Consolidated Statement Ending December 31, 2020
 - iii) Approve Consolidated Statement Ending January 31, 2021
 - iv) Action to Excuse Absent Directors, if applicable (EDC/TIFA/BRA)
All matters listed under Item 3(a), Consent Agenda, are considered routine by the board and will be enacted by one motion. There will be no separate discussion of these items. If discussion of an item is required, it will be removed from the Consent Agenda and considered separately.
 - b) Approve Herman McCall's Letter of Resignation from the EDC Board of Directors
 - c) Officer Elections: Nominate & Approve Vacant Officer Positions – Treasurer and Chair
 - d) Albion First Sub-Committee: Nominate & Approve Replacement for EDC Board Representative
 - i) Study Session with City and Committee – Feedback on EDC's Decision
 - e) Approve Site Development Plans – Sinclair Design & Engineering (1104 Industrial Blvd.)
- 6) Workforce Development – Committee Rescheduled 5/14/21
- 7) President's Report
 - a) Annual Recertification of Conflict and Confidentiality
 - b) 2020 Financials
 - c) Economic & Community Development Report
- 8) Board of Directors Discussion & Comments

Next Board Meeting will be Thursday, June 3, 2021 at 7:30 am.

9) Public Comment

(Persons addressing the Board shall limit their comments to no more than 3 minutes)

10) Adjournment

EDC/TIFA/BRA BOARD OF DIRECTORS MEETING MINUTES

Held via Zoom webinar

April 1, 2021

EDC Board Meeting called to order by McCall at 7:32 a.m.

Board Members Present: Herm McCall, 3221 Country Club Way; Ed Haas, 100 Jonesville Rd; Jerome Harvey, Ypsilanti; Scott Evans, 415 S Superior; Joyce Spicer, 27909 Condon Rd; Victoria Garcia (Mayor), 718 Church St, Dr. Raymond Barclay, 611 Porter St.

Board Members Absent: Annette Norris Ben Wallace (excused)

Ex Officio Non-Voting: Dick Porter (Sheridan Township)

Community: Haley Snyder (City Manager)

Staff: Amy Depez Christine Bowman

Presentation: Wildflower Crossing – Michael Callaghan, Four Leaf Properties

The presentation was not presented as planned. Depez shared a report of the project and the housing brochure was included in the packet.

Presentation: Dr. Matthew Johnson, Albion College

Dr. Johnson presented Albion College's vision for how they can serve students and the community, help drive partnerships, and community and economic development. The vision for Phase 1 includes 5 stages: Stage 1 is redevelopment of the Campus Library; Stage 2 is redevelopment and re-use of the former Citizens Bank Building as the Ott Center for Community, which will include a consulting laboratory and social enterprises incubator; Stage 3 is redevelopment of St. John's Parish Church, Stage 4 is redevelopment of Washington Gardner High School into the Body and Soul Center, which will house the YMCA and GSRP classrooms, and provide space for community organizations to meet. Phase 2 of the project will include business incubator space, and an elementary school connected to the YMCA; Stage 5 is development of Student Housing. Dr. Johnson has already been sharing this presentation with community groups. The College plans to maximize opportunity zones and leverage the College to increase broadband access in Albion. Dr. Barclay commented that with some of the College's plans related to economic development, the timing of the establishment of the EDC Workforce Taskforce and EDC's focus on entrepreneurial efforts is very timely.

Public Comment:

There was no public comment.

Action Items:

Approval of Consent Agenda

Consent agenda items were reviewed as a group, consisting of approval of Minutes from February 4, 2021 Board Meeting, approval of Minutes from March 4, 2021 Board Meeting (Annual Economic Forecast) and approval of action to excuse absent director Ben Wallace.

- Motion by Spicer to support consent agenda, supported by Evans.
- Voice Vote.
- Resolved: Motion carried.

EDC/Chamber/DDA Potential Merger -Discussion

Chairperson McCall gave a brief overview of how discussion of the merger had arrived at this juncture about creating a new non-profit – Albion First – that would contract with the EDC/Chamber/DDA to provide specific services on their behalf. With a draft service agreement now completed, Chairman McCall stated the EDC Board needs to determine if they want to move forward with the collaboration and working under the service agreement approach. Chairman McCall reminded the board this was not a forever decision, it would be based on right now. There was discussion about looking at this through the macro view and micro view. In the macro view, a collaborative approach is a good thing. In the micro view, all 3 entities must determine how they plan to move forward. 2 of 3 currently have no staff and/or Executive Director, so their sense of urgency is great. The EDC currently has a firm strategic direction and staff. Currently, does it make sense for the EDC to do the service agreement approach?

Evans stated he is involved from multiple entities and agrees with the micro/micro analysis but looking at pre and post COVID of each entity, he is in favor of choosing the macro side, that how to be more efficient for betterment of City and community is crucial. On the Macro side, it is difficult for DDA and Chamber to continue. Regardless, Evans agrees it is time to decide if the EDC will move on, or not, with the service agreement approach. Spicer stated the EDC is a functioning entity, has been for a long time, so why would the board want to change things. There were comments that efficiency is a positive thing, but sometimes efficiency can dilute effectiveness. Harvey stated the focus of the EDC's mission and how it is delivered to the community is important, that all groups are critical, but that combining EDC efforts with other focuses is counterproductive, that adding additional responsibilities doesn't get us where we need to go. Barclay questioned if overtime the predominant funder would get preferential treatment, diminishing the mission of the other entities, that combining the 3 entities might result in scope creep and overtime, diminishment of services. Mayor Snyder said the EDC has a strong foundation. At a recent council study session, the council voiced its desire to see collaboration focused on Albion.

Chairman McCall stated the creation of the new entity – Albion First - would require the elimination of the staff of the EDC, that EDC services would be managed through the service agreement. Albion First would then hire a new CEO to oversee everything. Regardless of what happens, it was reiterated that the EDC is committed to being an engaged partner. Options at this point are for the EDC/Chamber/DDA to merge, the Chamber/DDA to merge, or each entity move forward on its own. City Manager Snyder stated Albion First would have to build out their staff, could choose to rehire current EDC staff. The question was posed if the service agreement could result in changing the job descriptions of existing EDC staff by adding more responsibilities to them? Chairman McCall asked for a motion. There was additional discussion. Have the discussions with the 3 entities included the mission and expectations of each entity? If each entity made the decision to merge, each board would have to clearly define what services each would be purchasing. Would purchase of services by each entity be based on amount of funding each entity put in? Chairman McCall's impression based on his involvement in the merger discussion is that the EDC would be the entity with the most financial capability coming into the process. Chairman McCall again asked for a motion. Both McCall and Evans stated they hesitated to make a motion because of their leadership positions on the EDC and DDA boards.

- Motion by Garcia to move forward with collaboration with Albion First, supported by Evans.
- Roll Call Vote.
- Resolved: Motion failed. 2 votes Yes, 4 votes No, and one (Barclay) abstaining for lack of history with this topic to vote.

Chairperson McCall will inform the other entities of the EDC's decision.

Entrepreneurship – Enhanced E-Program

Deprez shared the EDC has typically handled all entrepreneurs interested in assistance by referring them to the MI-SBDC in Kalamazoo, which is our partner for entrepreneurship. This “one-size fits all” traditional approach does not work for many entrepreneurs, especially more marginalized individuals. Recently, the EDC submitted a grant application to the Albion Community Foundation for consideration of a \$10,000 grant to launch the education segment of enhanced entrepreneurship programming. The enhanced entrepreneurship programming will seek to reduce barriers for minority and women owned small businesses, increase entrepreneurship in the community and increase the number of residents earning a livable wage. The programming will include education, technical assistance, mentorship/networking and funding pathways. The EDC will partner with ISM Inc, Justin Andert and Boss Up for the initial launch of the E-Program. The ACF grant would launch an education piece that will augment assistance offered to marginalized individuals and create a cohort experience for optimal success. The grant was awarded at \$5,000 with another \$5,000 promised if the EDC is awarded matching funds.

Workforce Development

Bowman shared that the results of the 2021 Albion EDC Workforce Taskforce Employer Survey showed area employers are generally experiencing the same workforce development issues and needs – current and future – consistent with what members of the Taskforce are hearing from employers in the region. There is still the need for employees with entry level credentials in the manufacturing sector. All respondents reported job applicants lacked basic computer skills, reading, writing, math skills, and workplace etiquette. The Taskforce will also create a Workforce Skills Sub-committee, guided by Taskforce member Norris.

President's Report

Deprez shared the President's Report. There were no financials presented because the City is finalizing their 2020 transactions. Final numbers for 2020 should be in the May board packet. Deprez noted no additional staff is expected to be hired in 2021, will budget challenges continue from the fallout of COVID-19.

Deprez shared the project corridor pipeline from the Annual Economic Forecast. It is a good visualization of what investment has happened in the past, what investment is currently underway. She asked the Board to review and let her know if there were any projects not included that should be. Edits should be provided to Deprez.

Community Development

Project Harrington/Charming Homes developer has asked for input as to why the homes are not selling given the need for housing in the community? Are there other issues in the community that are preventing the homes from selling? Deprez shared that Place Plans would be advisable for any planned residential development, such as are being created for 500 N Berrien and the Dalrymple School property. The Place Plans would ask the community what types of homes they want to see – single story, 2 story, number of bedrooms and bathrooms, garages. Doing this groundwork for the developer is very beneficial for the developer and the community.

Deprez announced a recently completed Phase 2 for 500 N Berrien. SME and CCLB will review the Phase 2 in a meeting that will include interested developers and community partners. Contamination still exists on the site, and development will require a due care plan dependent upon the specific development identified at that time.

Albion Food Hub Report: The Food Hub equipment was sold to the new owner of the property. Proceeds are being held by the Albion-Homer United Way and the City to be used to address food insecurity needs in the community. Final grant reporting is done, final utility bills are being processed, and it is expected that the brewery will continue to lease the space from the new owner. Emily Verbeke, on behalf of the DDA, is taking over management of the Farmer's Market. The Cronin foundation grant for the Farmer's

Market subsidy program (Promise Project) will transfer to the DDA to subsidize FM vendors for the 2021 season.

To date, the EDC Pandemic Response Fund has closed on 4 grants; 4 applications are pending, 4 applications have been withdrawn or denied for eligibility; 8-9 applications are still out with no follow-up responses from the applicants.

Board of Directors Discussion & Comments:

There were no updates from the City. City Manager Snyder had to excuse herself before the end of the meeting due to other commitments.

Evans announced an upcoming community service meeting being held virtually by Federal Home Loan Bank Indianapolis (FHLBI). The April 14, 2021 meeting will feature information about affordable housing grants, homeownership repairs, and small business Covid relief grants.

Evans left the meeting at 9:24 AM.

Public Comment

There was no public comment.

EDC Board Meeting adjourned by McCall at 9:25 AM.

December 2020 Consolidated Statements

Revenues	TIFA		EDC		Brownfield Development		Food Hub		RLF		Totals	
	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-date	Budget	Year-to-Date	Budget	Year-to-Date
Property Taxes (w/ LCSSR)	\$ 120,000.00	99,605.79			109,000.00	109,203.69					\$ 229,000.00	\$ 208,809.48
Property Tax Chargebacks											\$ -	-
Delq. Personal Property Tax											-	-
Rental of Property			\$ 65,535.03	65,535.03							65,535.03	65,535.03
EPA Grant											-	-
Federal Grant					-						-	-
State Grant					-		2,500.00	3,750.00			-	3,750.00
Local Grants							6,000.00	6,000.00			-	6,000.00
Incubator Rents											-	-
Food Hub Rents							14,493.00	13,363.00			-	13,363.00
Farmer's Market Stall Fees							415.00	470.00			415.00	470.00
Senior Project Fresh / Market Fresh								442.00			-	442.00
Reimbursements	125,917.59	125,917.59	60,000.00	60,027.16			442.00	19.79			186,359.59	185,964.54
Other Revenues		41.72		50.00			21,340.63	21,808.88			21,340.63	21,900.60
Interest	511.00	670.05	400.00	428.64				52.73	\$ 2,500.00	\$ 4,653.81	3,411.00	5,805.23
Total Revenues	\$ 246,428.59	\$ 226,235.15	\$ 125,935.03	\$ 126,040.83	\$ 109,000.00	\$ 109,203.69	\$ 45,190.63	\$ 45,906.40	\$ 2,500.00	\$ 4,653.81	\$ 529,054.25	\$ 512,039.88
Transfer In												
Trans From TIFA to EDC							34,000.00	34,000.00			\$ 34,000.00	\$ -
Trans From TIFA to Bus Inc											-	-
Trans From DDA to BRA					103,000.00	103,153.92					103,000.00	103,153.92
Total Transfers Out	\$ -				\$ 103,000.00	\$ 103,153.92	\$ 34,000.00	\$ 34,000.00			\$ 103,000.00	\$ 137,153.92
Total Net Revenues	\$ 246,428.59	\$ 226,235.15	\$ 125,935.03	\$ 126,040.83	\$ 212,000.00	\$ 212,357.61	\$ 79,190.63	\$ 79,906.40	\$ 2,500.00	\$ 4,653.81	\$ 103,000.00	\$ 137,153.92
Expenses												
Salaries & Benefits	\$ 151,410.00	\$ 149,874.86	\$ 73,312.00	\$ 72,553.99			\$ 23,375.00	\$ 22,396.11	\$ 6,505.00	\$ 6,393.90	\$ 254,602.00	\$ 251,218.86
Administrative Costs	-		5,132.00	4,694.40			2,200.00	2,134.00			7,332.00	6,828.40
Professional Services	-		1,700.00	1,458.00					2,500.00	2,500.00	4,200.00	3,958.00
Contractual Services	-		4,000.00	4,200.55	207,000.00	108,555.05	3,900.00	2,017.00	282,521.07	282,521.07	497,421.07	397,293.67
Utilities	4,800.00	3,450.43	3,200.00	3,529.76			13,300.00	12,409.92			21,300.00	19,390.11
Travel			150.00	52.90							150.00	52.90
Maintenance	2,000.00	925.00	900.00	846.50			3,375.00	2,138.06			6,275.00	3,909.56
Insurance			1,400.00	1,374.96			2,250.00	2,124.96			3,650.00	3,499.92
Conference & Training Cost			600.00	600.00			150.00	150.00			750.00	750.00
Admin Fees to City	8,900.00	8,900.04	10,000.00	9,999.96	5,000.00	-	3,200.00	3,200.04	-		27,100.00	22,100.04
Rental Charges (Spec Bldg)									-		-	-
Loan Payments MDEQ											-	-
Land											-	-
ABA Land Contract			4,948.00	4,948.00							4,948.00	4,948.00
ABA Land Contract interest			533.00	533.00							533.00	533.00
Roof loan interest											-	-
Economic Development	-		1,000.00	766.11			27,000.00	28,708.56			28,000.00	29,474.67
Rent to ABA/ACF	10,200.00	10,200.00	1,800.00	1,800.00			1.00				12,001.00	12,000.00
Miscellaneous										10.00		
Transfer FR TIFA to EDC/AFH	34,000.00	34,000.00									34,000.00	
EPA Grant				60.00							-	60.00
Total Expenses	\$ 211,310.00	\$ 207,350.33	\$ 108,675.00	\$ 107,418.13	\$ 212,000.00	\$ 108,555.05	\$ 78,751.00	\$ 75,278.65	\$ 291,526.07	\$ 291,424.97	\$ 902,262.07	\$ 790,027.13
To Fund Balance	\$ 35,118.59	\$ 18,884.82	\$ 17,260.03	\$ 18,622.70	\$ -	\$ 103,802.56	\$ 439.63	\$ 4,627.75	\$ (289,026.07)	\$ (286,771.16)	\$ (236,207.82)	\$ (140,833.33)

*FY 2020 Budget Amount has been update

January 2021 Consolidated Statements

Revenues	TIFA		EDC		Brownfield Development		Food Hub		RLF		Totals	
	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-Date	Budget	Year-to-date	Budget	Year-to-Date	Budget	Year-to-Date
Property Taxes (w/ LCSSR)	\$ 125,000.00				109,000.00						\$ 234,000.00	\$ -
Property Tax Chargebacks												\$ -
Delq. Personal Property Tax												-
Rental of Property			\$ 60,000.00					2,900.00			60,000.00	2,900.00
EPA Grant												-
Federal Grant					-							-
State Grant			39,900.00		-						39,900.00	-
Local Grants												-
Incubator Rents												-
Food Hub Rents												-
Farmer's Market Stall Fees												-
Senior Project Fresh / Market Fresh												-
Reimbursements	110,000.00										110,000.00	-
Other Revenues				607.42								607.42
Interest		27.83		17.12				2.81	\$ 35.00	\$ 8.30	35.00	56.06
Total Revenues	\$ 235,000.00	\$ 27.83	\$ 99,900.00	\$ 624.54	\$ 109,000.00	\$ -	\$ -	\$ 2,902.81	\$ 35.00	\$ 8.30	\$ 443,935.00	\$ 3,563.48
Transfer In												
Trans From TIFA to EDC			\$ 43,500.00								\$ 43,500.00	\$ -
Trans From TIFA to Bus Inc												-
Trans From DDA to BRA					103,000.00						103,000.00	-
Total Transfers Out	\$ -		\$ 43,500.00	\$ -	\$ 103,000.00	\$ -	\$ -	\$ -			\$ 146,500.00	\$ -
Total Net Revenues	\$ 235,000.00	\$ 27.83	\$ 143,400.00	\$ 624.54	\$ 212,000.00	\$ -	\$ -	\$ 2,902.81	\$ 35.00	\$ 8.30	\$ 146,500.00	\$ -
Expenses												
Salaries & Benefits	\$ 155,421.00	\$ 9,789.83	\$ 61,617.00	\$ 3,884.04							\$ 217,038.00	\$ 13,673.87
Administrative Costs			2,950.00	490.18							2,950.00	490.18
Professional Services	1,000.00		3,600.00	480.00							4,600.00	480.00
Contractual Services	500.00		4,450.00	337.00	207,000.00				35.00		211,985.00	337.00
Utilities	600.00	597.77	2,300.00	0.95				821.66			2,900.00	1,420.38
Travel			500.00	-							500.00	-
Maintenance	4,000.00		2,000.00					177.26			6,000.00	177.26
Insurance			2,000.00	-							2,000.00	-
Conference & Training Cost			2,200.00	-							2,200.00	-
Admin Fees to City	8,900.00		10,000.00		5,000.00						23,900.00	-
Rental Charges (Spec Bldg)												-
Loan Payments MDEQ												-
Land												-
ABA Land Contract			5,720.00								5,720.00	-
ABA Land Contract interest			286.00								286.00	-
Roof loan interest												-
Economic Development	4,000.00		42,400.00	19,310.42							46,400.00	19,310.42
Rent to ABA/ACF	10,200.00	850.00	1,800.00	150.00							12,000.00	1,000.00
Miscellaneous												-
Transfer FR TIFA to EDC/AFH	43,500.00										43,500.00	-
EPA Grant												-
Total Expenses	\$ 228,121.00	\$ 11,237.60	\$ 141,823.00	\$ 24,652.59	\$ 212,000.00	\$ -	\$ -	\$ 998.92	\$ 35.00	\$ -	\$ 581,979.00	\$ 36,889.11
To Fund Balance	\$ 6,879.00	\$ (11,209.77)	\$ 1,577.00	\$ (24,028.05)	\$ -	\$ -	\$ -	\$ 1,903.89	\$ -	\$ 8.30	\$ 8,456.00	\$ (33,325.63)

*Transfer from TIFA to EDC will take place at year-end with the amended budget.

Amy Deprez

From: Herman McCall <hermanjmccall@gmail.com>
Sent: Tuesday, April 6, 2021 4:47 PM
To: vsnyder@cityofalbionmi.gov; Haley Snyder; Amy Deprez
Subject: EDC Board Reappointment

Mayor Garcia-Snyder
City Manager Snyder
EDC CEO Deprez

It has been brought to my attention through my review of the most recent Council meeting, that there exist some serious concerns about my individual ability to provide leadership and the "necessary" service/duty to the EDC board. My goal as an appointed volunteer would be to provide added value to the City, its leadership and its citizens. Keenly aware that the word "failed" was used more than once to describe my involvement and specifically my leadership and decision making, I am certainly extremely disappointed at the characterization. However, having voted for the mayor and without question supported the selection of a very qualified and capable City Manager, your successes, devoid of political distractions and unnecessary limits or decisions that may hinder or slow your triumphs, I would request that my candidacy be withdrawn from consideration for an EDC reappointment. The mayor should have every opportunity to assemble groups of people that she has a great confidence will help accelerate an aggressive, forward-thinking agenda. A path to that objective should be unfettered and not blurred by discourse that might be in the bigger, longer-view picture, inconsequential.

While I certainly considered my role and service on the EDC board as a duty, responsibility and honor rooted in thoughtful mission centered integrity. it is with respect and sincere well-wishes, my hope you ALL achieve the very best, as you continue to reflectively consider and effectively implement strategies to help move the Albion community forward.

Respectfully submitted,

Herman J. McCall

memo



Albion Economic Development Corporation

To: Albion TIFA Development Plan Review Board

From: Christine Bowman, Economic Development Specialist

Date: May 6, 2019

Re: Site Plan Approval – 1104 Industrial Drive – Lot 13 Albion Industrial Park (AIP)

PROJECT OVERVIEW:

Sinclair Designs & Engineering is constructing a 9,000 SF addition to the rear of their existing 19,500 SF building at 1104 Industrial Drive; see attached site plan and sealed engineered drawings. SDE manufactures mounting rack systems for solar panels and provides engineering and installation services. The additional SF will facilitate high volume solar carport fabrication and help SDE streamline processing and material handling operations.

The addition will be of steel frame construction. Exterior walls will be structural steel panels chosen to match the existing building color. Crushed asphalt will be added to the northside of the building to increase parking capacity. It will also be added on the southside of the property adjacent to the current loading dock area to handle the increased daily trucking volume generated by increased production capacity at the expanded facility. Crushed asphalt was chosen for its durability, affordable maintenance costs, and better control of storm water run-off.

CITY OF ALBION SITE PLAN APPROVAL:

The site plan was approved by the City Planning Commission on October 20, 2020. The Planning Commission approved the site plan as presented, with the use of permeable pavement (crushed asphalt) as allowed by the City of Albion Zoning Ordinance, Article 3, Section 3.12 Parking & Circulation. The site plan was approved subject to compliance with the following conditions:

- Removal of solar rack display from right-of-way
- Property line adjustment on north side of premises as shown on site plan to be completed prior to start of construction
- Approval for soil erosion & sediment by Calhoun County

Applicable Sections of Chapter 100, City of Albion Zoning Ordinances that apply are: Article 4, Section 4.9 M-1 Light Industrial District; Article 3, Section 3.11 Landscaping & Screening; Article 3, Section 3.12 Parking & Circulation; Article 3, Section 3.13 Off-Street Loading Requirements.

TIFA SITE PLAN APPROVAL CONSIDERATIONS:

The site is located on the last lot on Industrial Drive, south of the intersection of Elliott Road and Industrial Drive. The original building was built in 1977 and purchased by SDE from the Albion EDC in 2018. The site has a 6' chain link fence in the front yard setback and the loading dock areas and refuse/dumpster areas are not screened, however they are not subject to the 2000 Amendment to the Albion Industrial Park Building and Use Restrictions and Development Standards as their locations are not being modified as part of this expansion project, and because they existed prior to adoption of the 2000 Amendment .

As for the use of crushed asphalt, the 2000 Amendment states: *Parking and Road Surfaces. Within one year of the issuance of an occupancy certificate, all parking lots, driveways, loading and unloading areas and other areas intended for vehicular traffic shall be finished with an asphalt or concrete surface.* It does not state that the asphalt or concrete surface must be continuous pavement, allowing for the use of crushed asphalt or concrete.

EDC RECOMMENDATION:

The 2000 Amendment states property owners are to seek TIFA Development Plan Review Board approval prior to the commencement of construction. Due to miscommunication, the property owner was unaware that a site plan review subject to the 2000 Amendment was required in addition to approval of the site plan by the City of Albion Planning Commission. EDC and City Planning and Building Staff are working on a solution to mitigate such miscommunication between the property owner (or tenant), the City and EDC, as well as streamline the approval process. EDC staff always shares with prospective purchasers or tenants of AIP properties of the City site and TIFA site plan review requirements, including providing them with a copy of the AIP Building and Use Restrictions and Construction Standards. EDC staff will now also send an annual reminder letter to AIP property owners (or tenants) about the required site plan approvals, along with a copy of the AIP Building and Use Restrictions and Construction Standards.

EDC staff recommends the TIFA Development Plan Review Board approve the site plan as presented, including the pre-existing site conditions noted.

PROJECT DATA

APPLICABLE CODES:
 MICHIGAN BUILDING CODE 2015 (MBC)
 MICHIGAN PLUMBING CODE 2015 (MPC)
 MICHIGAN MECHANICAL CODE 2015
 NATIONAL ELECTRICAL CODE 2017
 MICHIGAN ENERGY CODE 2015
 ANSIA/SRAE/IESNA 90.1 - 2013
 ACCESSIBILITY CODE: ICC/ANSI A.117.1 2009

PARCEL DATA:
 PARCEL NUMBER 51-006-463-00
 OWNER AND PROPERTY ADDRESS: SINCLAIR DESIGNS & ENGINEERING
 1104 INDUSTRIAL AVE
 ALBION, MI 49224

LEGAL DESCRIPTION: ALBION CITY, INDUSTRIAL PARK SUBDIVISION LOT 13

LAND INFORMATION: CURRENT ACREAGE 2.4 ACRES
 ACREAGE AFTER PROPERTY LINE ADJUSTMENT (+/-) 2.93 ACRES
 FINAL ACREAGE TO BE DETERMINED AFTER PROPERTY LINE ADJUSTMENT

BUILDINGS: EXISTING BUILDING 19,500 S.F.
 PROPOSED ADDITION 9,000 S.F.
 PROPOSED ADDITION 28,500 S.F.

CONSTRUCTION CLASSIFICATION: TYPE II-B UNPROTECTED NON-COMBUSTIBLE
 USE GROUP: GROUP F2 LOW HAZARD FACTORY INDUSTRIAL
 FABRICATION AND MANUFACTURING OF NON-COMBUSTIBLE MATERIALS (METAL PRODUCTS)
 AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED IN THIS FACILITY

CITY OF ALBION ZONING ORDINANCE

ZONING DISTRICT: M-1 LIGHT INDUSTRIAL

LOT STANDARDS:
 LOT AREA: NONE
 LOT WIDTH: NONE
 LOT HEIGHT: 3 STORIES OR 36 FT
 BUILDING COVERAGE: NONE
 FRONT YARD SET BACK: 10 FT
 REAR YARD SET BACK: 10 FT
 SIDE YARD SET BACK: 5 FT

OFF STREET PARKING: PARKING SPACES: MINIMUM 180 S.F. (9' X 20')
 OWNER STATED EMPLOYEES PER MAXIMUM SHIFT: OFFICE 4 MANUFACTURING 20 TOTAL 24
 OFFICE: 1 SPACE PER 200 S.F. OF OFFICE 1,500 S.F. / 200 = 8
 MANUFACTURING: 1 SPACE FOR EVERY 3 EMPLOYEES ON MAXIMUM SHIFT 20 / 3 = 7
 TOTAL PARKING REQUIRED: 15 - COMPLIES 27 PROVIDED

PARKING STANDARDS: ANY OFF STREET PARKING AREAS WITH OVER (5) VEHICLES MUST HAVE ASPHALT OR CONCRETE. THE USE OF PERMEABLE PARKING LOTS MAY BE APPROVED TO FACILITATE SITE DRAINAGE
 MUST BE PROVIDED WITH ADEQUATE STORM WATER RUNOFF FACILITIES SO THAT SURFACE WATER WILL NOT DRAIN ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS
 MUST BE PROVIDED WITH ROLLED ASPHALT CURB, CONCRETE CURB OR SIMILAR WHEEL OR BUMPER GUARDS. BUMPER GUARDS USED AGAINST BUILDING.
 SHALL BE PROVIDED WITH CLEARLY MARKED PARKING SPACES

OFF STREET LOADING REQUIREMENTS: FOR STRUCTURES CONTAINING 28,500 S.F. OF GROSS FLOOR AREAS PROVIDE (2) OFF STREET LOADING AREAS. FOUR (4) PROVIDED.

EXTERIOR SECURITY LIGHTING: ARTICLE 3.17 EXTERIOR SITE LIGHTING
 NEW SECURITY LIGHTING ON NEW ADDITION - SEE SITE PLAN FOR LOCATIONS

- B. LIGHTING STANDARDS**
- LIGHTING COLOR. ONLY WHITE, NON-GLARE LIGHTING
 - EXTERIOR LIGHTING SHALL BE SHIELDED, HOODED AND/OR LOUVERED TO PROVIDE A GLARE-FREE AREA BEYOND THE PROPERTY LINE. LIGHTING FIXTURES SHALL HAVE 100% CUT OFF ABOVE THE HORIZONTAL PLANE AT THE LOWEST PART OF THE POINT LIGHT SOURCE.

SECURITY LIGHTING EQUAL TO COOPER LIGHTING - STREETWORKS - WKP WAL-PAK FULL CUT OFF FIXTURE (OR EQUAL)



SINCLAIR DESIGNS & ENGINEERING
MANUFACTURING FACILITY EXPANSION
 1104 INDUSTRIAL AVE ALBION, MICHIGAN 49224

PROJECT DESCRIPTION: 9,000 S.F. METAL BUILDING ADDITION TO EXISTING MANUFACTURING BUILDING. PROJECT INCLUDES LOT LINE ADJUSTMENT AND RE-WORKING PARKING AREA, DRIVE AREA AND APPROACH ON NORTH SIDE OF THE BUILDING. ALSO INCLUDES ADDING CRUSHED ASPHALT ON EXISTING DRIVE ON SOUTH SIDE OF BUILDING.

SCHEDULE OF DRAWINGS

- T-1 TITLE SHEET
- S-1 AS BUILT SITE PLAN
- S-2 SITE PLAN
- S-3 GRADING PLAN

DESIGN/BUILD BY:

COLLINS
 DESIGN/BUILD

9325 S. MERIDIAN RD.
 CLARK LAKE, MICHIGAN
 49234
 PH 517-529-0089

OWNER:

SINCLAIR
 DESIGNS &
 ENGINEERING

1104 INDUSTRIAL AVE
 ALBION, MI 49224

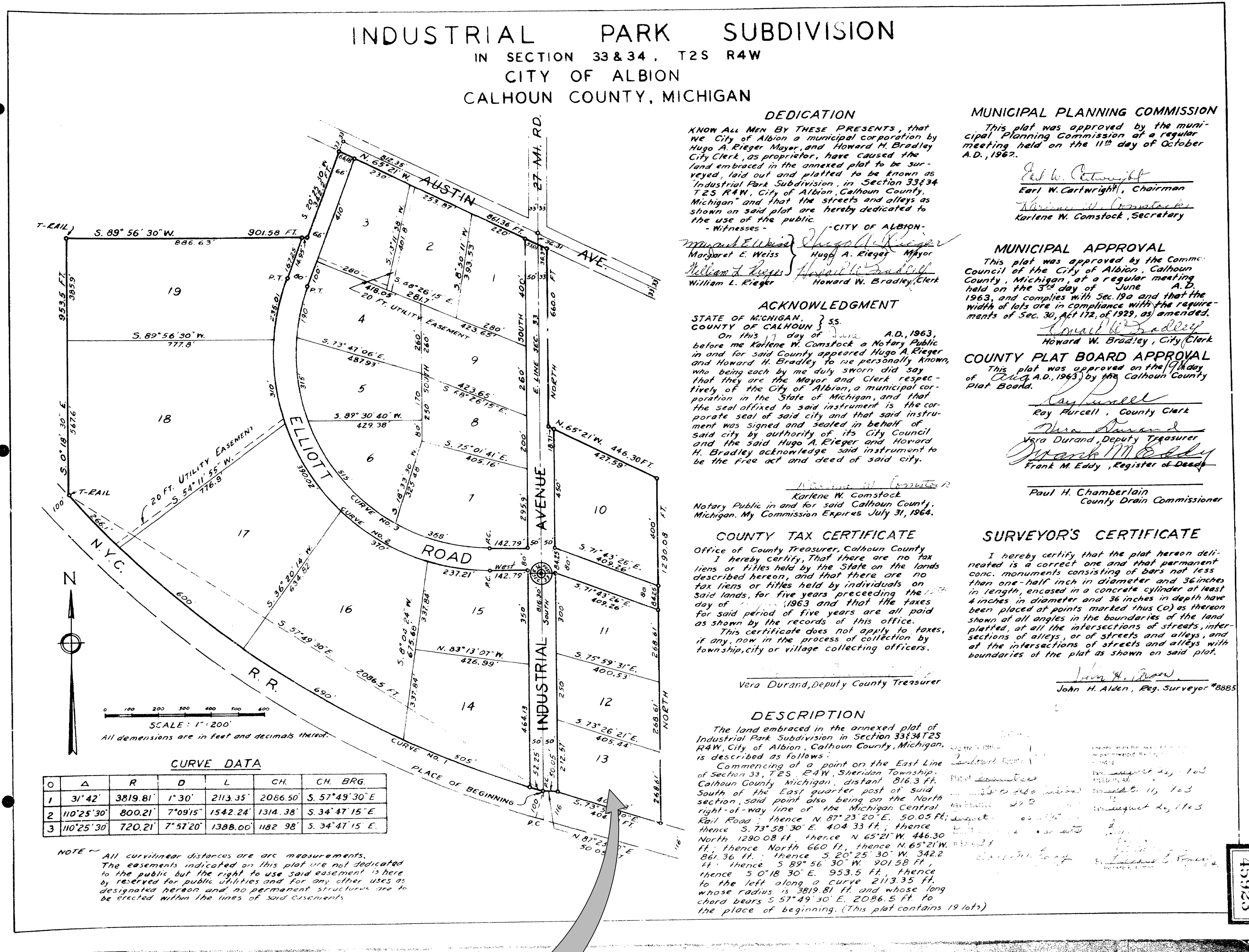
PROJECT ENGINEER:

MORAN
 ENGINEERING
 SERVICES, LLC

PH 517-812-5277

DRAWN BY:

JACK SHELBY, INC.
 PH 517-250-4831



PROJECT LOCATION
 LOT 13

15923



ISSUE: DATE:

- 1 09/03/20
- 2 10/01/20

TITLE:
 TITLE SHEET

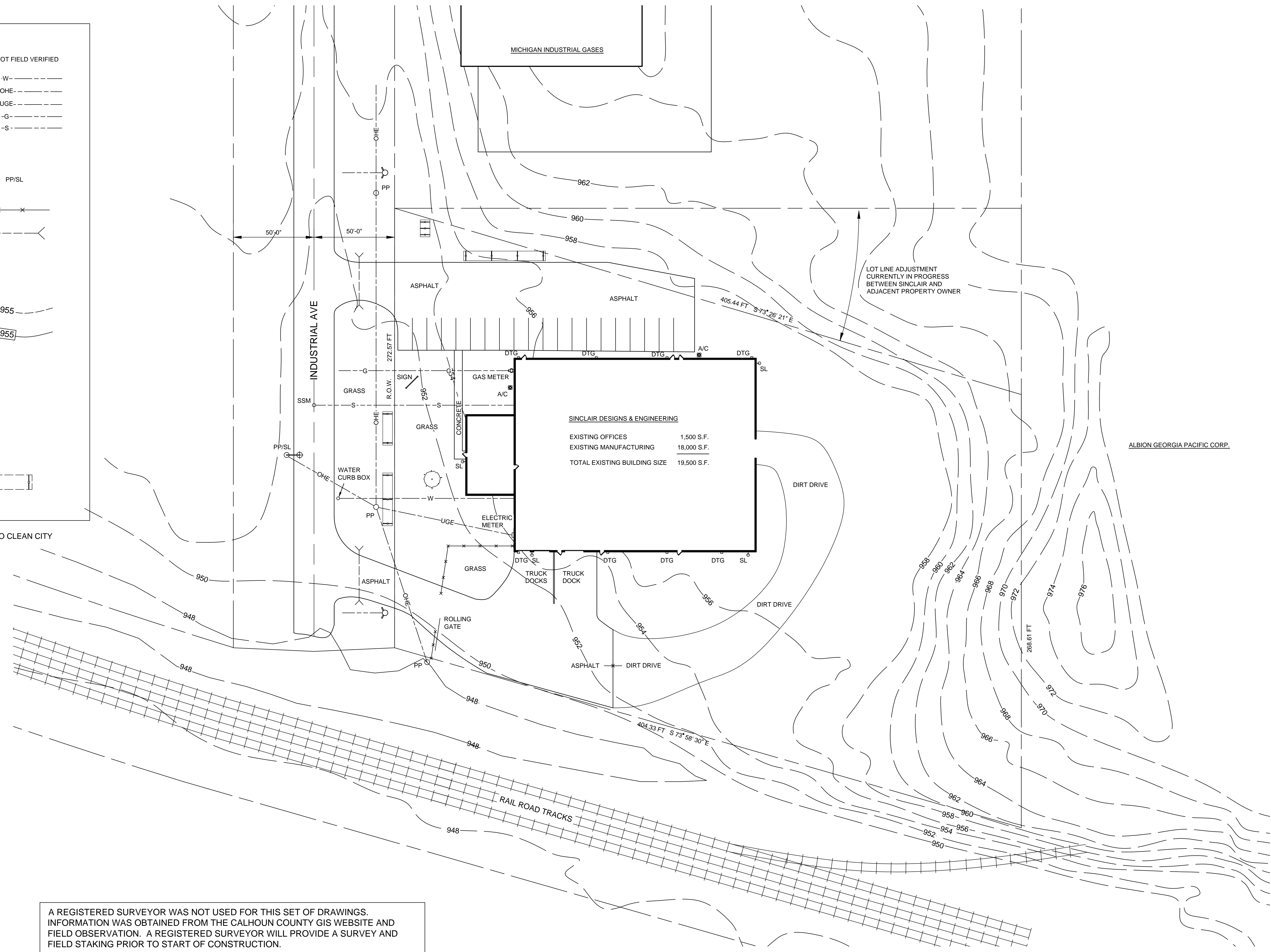
SHEET NO:

T-1

SITE PLAN KEY

- * DENOTES UNDERGROUND UTILITY LOCATION NOT FIELD VERIFIED
- * WATER ——— W ———
- OVERHEAD ELECTRIC ——— OHE ———
- * UNDERGROUND ELECTRIC ——— UGE ———
- * GAS ——— G ———
- * SANITARY SEWER ——— S ———
- SANITARY SEWER MANHOLE ○ SM
- POWER POLE ○ PP
- POWER POLE W/ STREET LIGHT ○ PP/SL
- 6' HIGH CHAIN LINK FENCE — x — x — x —
- 12" CULVERT ———> ———< ———
- EXTERIOR SECURITY LIGHT ○ SL
- DOWNSPOUT TO GRADE □ DTG
- EXISTING CONTOUR/ELEVATIONS ——— 955 ———
- NEW CONTOUR/ELEVATIONS ——— 955 ———
- PROPERTY LINE P.L.
- LANDSCAPE TREE ○ (with leaf pattern)
- FIRE HYDRANT ○ (with cross)
- SOLAR PANEL DISPLAYS TO BE REMOVED ——— (with solar panel symbol) ———

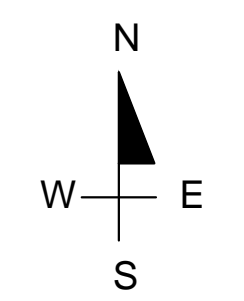
CONTRACTOR IS RESPONSIBLE TO CLEAN CITY STREET DAILY FROM DRAG OFF



A REGISTERED SURVEYOR WAS NOT USED FOR THIS SET OF DRAWINGS. INFORMATION WAS OBTAINED FROM THE CALHOUN COUNTY GIS WEBSITE AND FIELD OBSERVATION. A REGISTERED SURVEYOR WILL PROVIDE A SURVEY AND FIELD STAKING PRIOR TO START OF CONSTRUCTION.

THE LOT LINE ADJUSTMENT WILL BE FINALIZED PRIOR TO START OF CONSTRUCTION

AS BUILT SITE & GRADING PLAN
SCALE: 1" = 30'-0"



DESIGN/BUILD BY:
COLLINS DESIGN/BUILD
9325 S. MERIDIAN RD.
CLARK LAKE, MICHIGAN 49234
PH 517-529-0089

OWNER:
SINCLAIR DESIGNS & ENGINEERING
1104 INDUSTRIAL AVE
ALBION, MI 49224

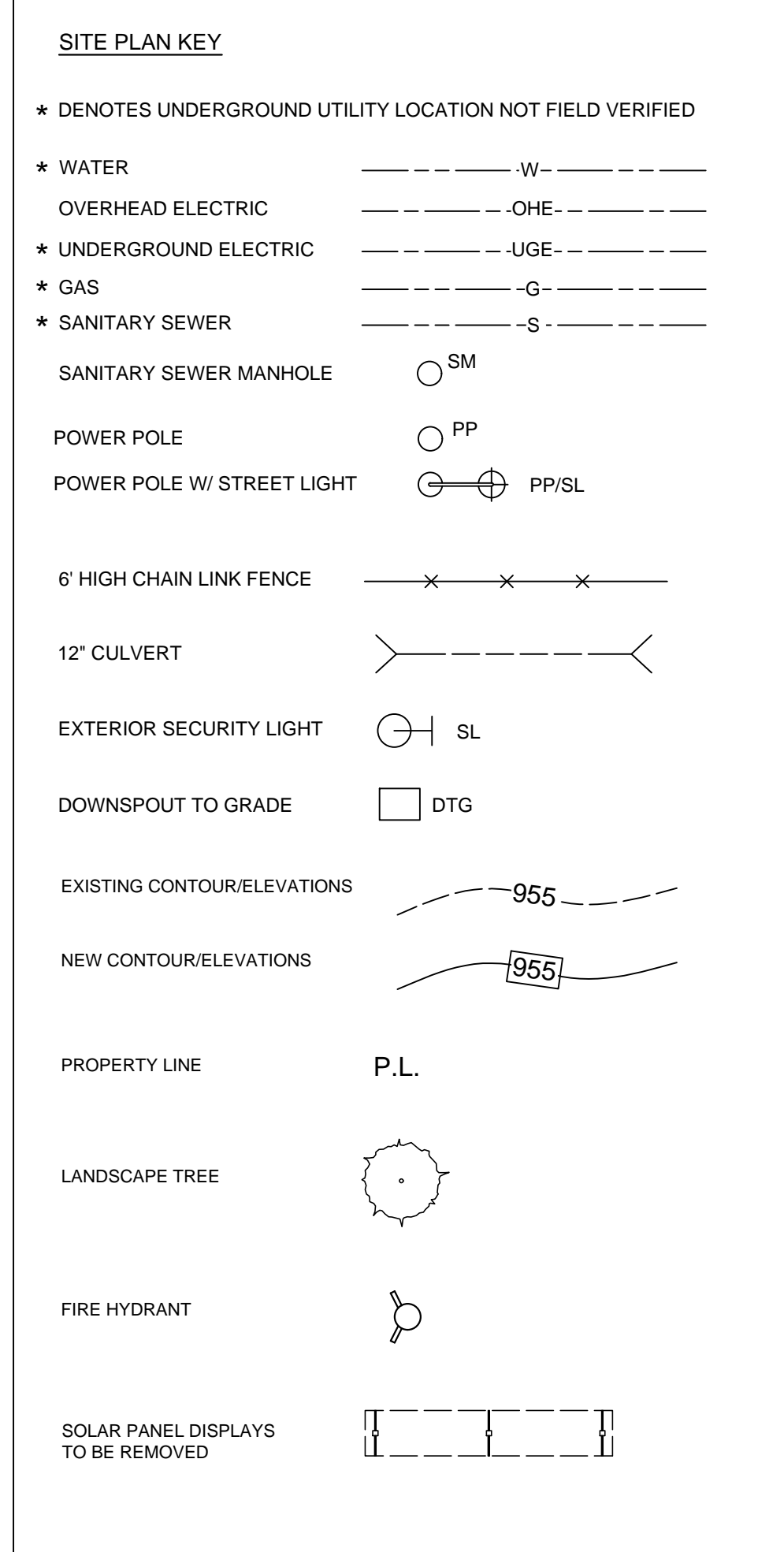
PROJECT ENGINEER:
MORAN ENGINEERING SERVICES, LLC
PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
PH 517-250-4831

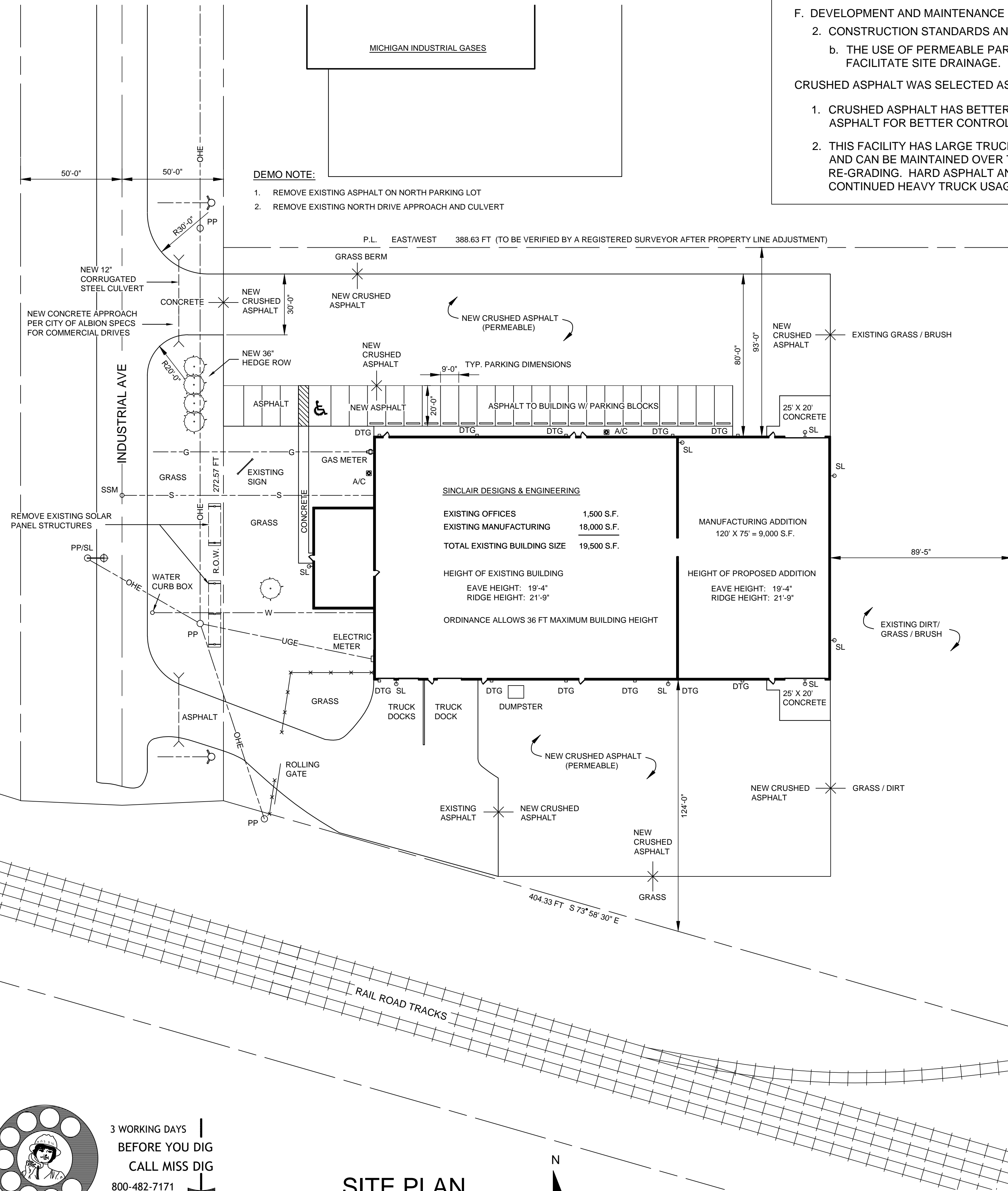
ISSUE:	DATE:
1	09/03/20
2	10/01/20

TITLE:
AS BUILT SITE & GRADING PLAN

SHEET NO:
S-1



CONTRACTOR IS RESPONSIBLE TO CLEAN CITY



DRIVE SURFACE - CRUSHED ASPHALT
 ARTICLE 3 CITY OF ALBION ZONING ORDINANCE
 F. DEVELOPMENT AND MAINTENANCE OF PARKING AREAS
 2. CONSTRUCTION STANDARDS AND MAINTENANCE
 b. THE USE OF PERMEABLE PARKING LOTS MAY BE APPROVED TO FACILITATE SITE DRAINAGE.

CRUSHED ASPHALT WAS SELECTED AS THE DRIVE SURFACE FOR THE FOLLOWING REASONS:

- CRUSHED ASPHALT HAS BETTER PERCOLATION THAN CONCRETE OR HARD SURFACE ASPHALT FOR BETTER CONTROL OF STORM WATER RUN-OFF
- THIS FACILITY HAS LARGE TRUCK TRAFFIC. CRUSHED ASPHALT IS VERY DURABLE AND CAN BE MAINTAINED OVER THE COURSE OF MANY YEARS BY PERIODIC RE-GRADING. HARD ASPHALT AND CONCRETE WILL CRACK AND BREAK UP WITH CONTINUED HEAVY TRUCK USAGE.

- DEMO NOTE:**
- REMOVE EXISTING ASPHALT ON NORTH PARKING LOT
 - REMOVE EXISTING NORTH DRIVE APPROACH AND CULVERT

FLOOD MAP
 THIS AREA IS AN AREA DESIGNATED AS AN AREA OF MINIMAL FLOOD HAZARD ZONE X - PER FEMA FLOOD MAP SERVICE CENTER

WETLANDS
 THERE ARE NO WETLANDS ON THIS PARCEL - PER THE DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY WETLANDS MAP VIEWER

SOIL CONDITIONS
 THE SOIL CONDITION ON THIS SITE IS DESIGNATED AS SOIL 25B - KALAMAZOO LOAM CONSISTING OF:

- 0 TO 10 INCHES: LOAM
- 10 TO 27 INCHES: SANDY CLAY LOAM
- 27 TO 35 INCHES: SANDY LOAM
- 35 TO 52 INCHES: LOAMY SAND
- 52 TO 80 INCHES: GRAVELLY SAND

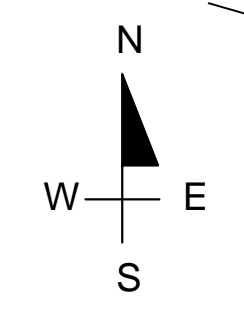
PER THE USDA CUSTOM SOIL RESOURCE REPORT FOR CALHOUN COUNTY, MICHIGAN

SOIL EROSION AND SEDIMENTATION CONTROL

GENERAL CONTRACTOR TO SECURE A SOIL AND SEDIMENTATION CONTROL PERMIT FROM CALHOUN COUNTY PRIOR TO ANY EARTH MOVING OPERATIONS. PROVIDE PROPER PLACEMENT OF SILT FENCING AROUND ANY STOCK PILES OF EXCAVATED EARTH MATERIAL AND AS REQUIRED USING AN ADEQUATE AMOUNT OF FENCING AND APPROPRIATE MATERIALS. PROVIDE ROUTINE INSPECTION AND MAINTENANCE OF SOIL AND SEDIMENTATION CONTROL METHODS. WHEN LAND DISTURBING ACTIVITIES ARE SUFFICIENTLY COMPLETED TO ALLOW PERMANENT SOIL STABILIZATION DISTURBED AREAS TO BE SEEDED AND MULCHED TO SUPPORT RE-VEGETATION. SILT FENCING AND OTHER CONTROL METHODS TO REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED.



SITE PLAN
 SCALE: 1" = 30'-0"



DESIGN/BUILD BY:
COLLINS
 DESIGN/BUILD
 9325 S. MERIDIAN RD.
 CLARK LAKE, MICHIGAN 49234
 PH 517-529-0089

OWNER:
SINCLAIR
 DESIGNS &
 ENGINEERING
 1104 INDUSTRIAL AVE
 ALBION, MI 49224

PROJECT ENGINEER:
MORAN
 ENGINEERING
 SERVICES, LLC
 PH 517-812-5277

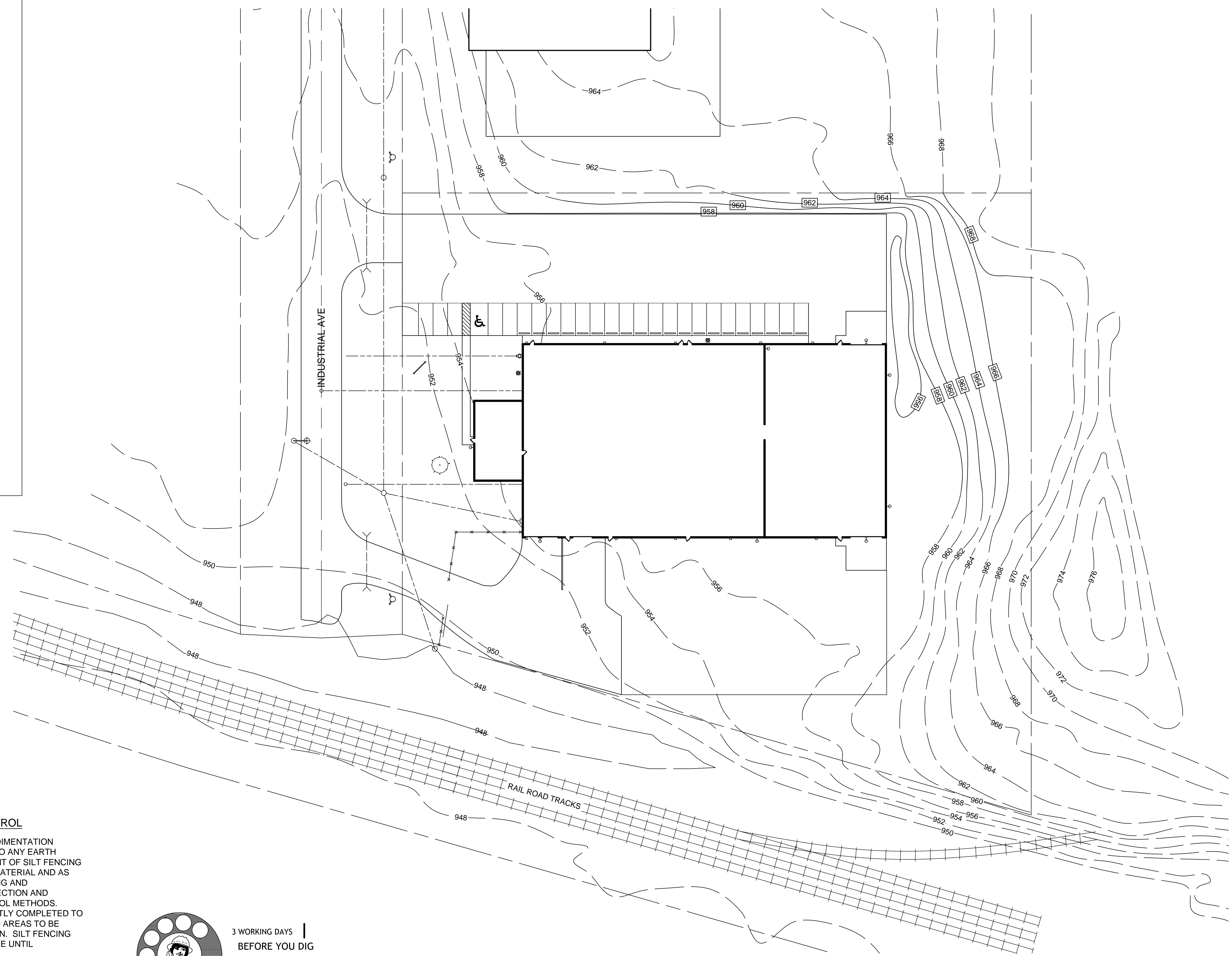
DRAWN BY:
JACK SHELBY, INC.
 PH 517-250-4831

ISSUE:	DATE:
1	09/03/20
2	10/01/20

TITLE:
SITE PLAN

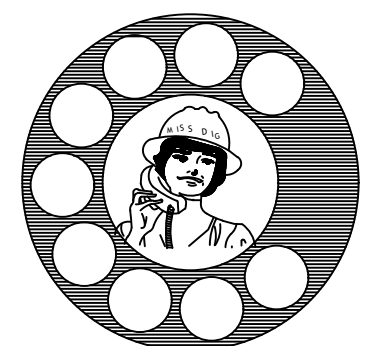
SHEET NO:
S-2

SITE PLAN KEY	
* DENOTES UNDERGROUND UTILITY LOCATION NOT FIELD VERIFIED	
* WATER	-----W-----
OVERHEAD ELECTRIC	-----OHE-----
* UNDERGROUND ELECTRIC	-----UGE-----
* GAS	-----G-----
* SANITARY SEWER	-----S-----
SANITARY SEWER MANHOLE	○ SM
POWER POLE	○ PP
POWER POLE W/ STREET LIGHT	○ ⊕ PP/SL
6' HIGH CHAIN LINK FENCE	---x---x---x---
12" CULVERT	--->---<---
EXTERIOR SECURITY LIGHT	○ ⊕ SL
DOWNSPOUT TO GRADE	□ DTG
EXISTING CONTOUR/ELEVATIONS	-----955-----
NEW CONTOUR/ELEVATIONS	▭ 955
PROPERTY LINE	P.L.
LANDSCAPE TREE	○
FIRE HYDRANT	○
SOLAR PANEL DISPLAYS TO BE REMOVED	▭



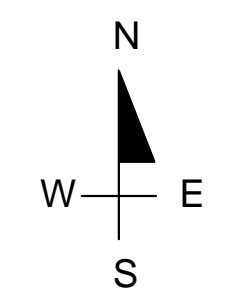
SOIL EROSION AND SEDIMENTATION CONTROL

GENERAL CONTRACTOR TO SECURE A SOIL AND SEDIMENTATION CONTROL PERMIT FROM CALHOUN COUNTY PRIOR TO ANY EARTH MOVING OPERATIONS. PROVIDE PROPER PLACEMENT OF SILT FENCING AROUND ANY STOCK PILES OF EXCAVATED EARTH MATERIAL AND AS REQUIRED USING AN ADEQUATE AMOUNT OF FENCING AND APPROPRIATE MATERIALS. PROVIDE ROUTINE INSPECTION AND MAINTENANCE OF SOIL AND SEDIMENTATION CONTROL METHODS. WHEN LAND DISTURBING ACTIVITIES ARE SUFFICIENTLY COMPLETED TO ALLOW PERMANENT SOIL STABILIZATION DISTURBED AREAS TO BE SEEDED AND MULCHED TO SUPPORT RE-VEGETATION. SILT FENCING AND OTHER CONTROL METHODS TO REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED.



3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
OR 811

GRADING PLAN
SCALE: 1" = 30'-0"



DESIGN/BUILD BY:
COLLINS
DESIGN/BUILD
9325 S. MERIDIAN RD.
CLARK LAKE, MICHIGAN 49234
PH 517-529-0089

OWNER:
SINCLAIR
DESIGNS &
ENGINEERING
1104 INDUSTRIAL AVE
ALBION, MI 49224

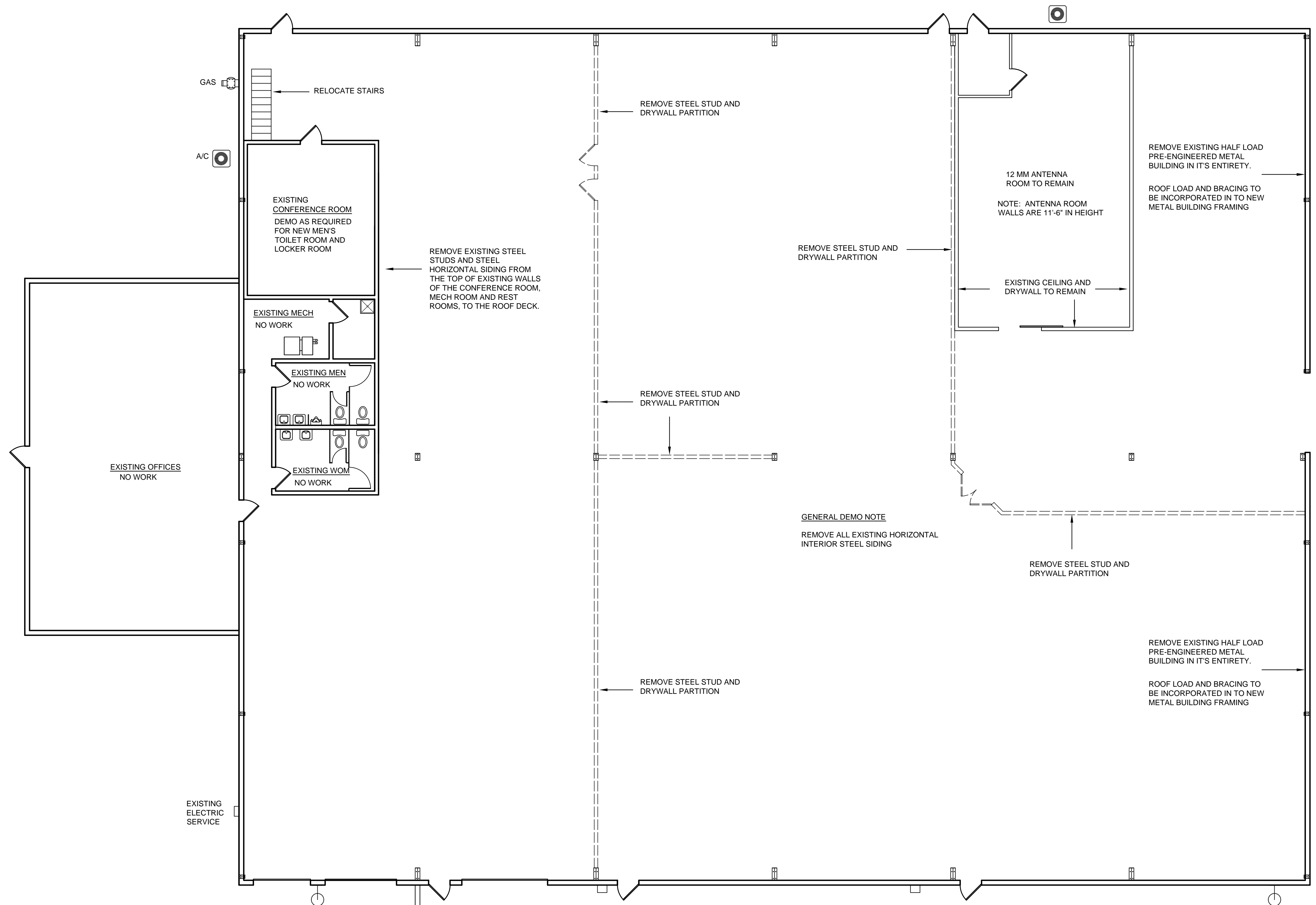
PROJECT ENGINEER:
MORAN
ENGINEERING
SERVICES, LLC
PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
PH 517-250-4831

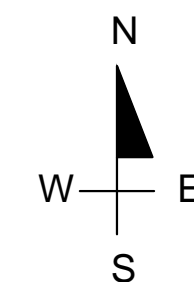
ISSUE:	DATE:
1	09/03/20
2	10/01/20

TITLE:
GRADING PLAN

SHEET NO:
S-3



AS BUILT & DEMO PLAN
SCALE: 1/8" = 1'-0"



SCHEDULE OF DRAWINGS:

- A-1 AS BUILT & DEMOLITION PLAN
- A-2 FLOOR PLAN AND BUILDING IMPROVEMENT PLAN
- A-3 BUILDING ELEVATIONS
- A-4 ENLARGED MEN'S TOILET ROOM PLANS
- A-5 CODE REVIEW AND GENERAL SPECIFICATIONS
- E-1 ELECTRICAL PLAN - LIGHTING PLAN
- E-2 TOILET ROOM ELECTRICAL & LIGHTING PLAN
- F-1 FOUNDATION PLAN
- F-2 FOUNDATION DETAILS
- F-3 FOUNDATION DETAILS
- F-4 FOUNDATION DETAILS
- F-5 FOUNDATION DETAILS
- F-6 FOUNDATION DETAILS

PRE-ENGINEERED METAL BUILDING PLANS WILL BE SUBMITTED UNDER SEPARATE COVER, SEALED BY THE PRE-ENGINEERED METAL BUILDING MANUFACTURER

MECHANICAL PLANS WILL BE SUBMITTED UNDER SEPARATE COVER AT A LATER DATE

PROJECT DESCRIPTION:

9,000 S.F. ADDITION TO EXISTING MANUFACTURING FACILITY. SINCLAIR DESIGNS & ENGINEERING MANUFACTURES METAL RACKING AND MOUNTING STANDS FOR SOLAR PANELS

EXISTING BUILDING:	OFFICES	1,500 S.F.
	SHOP	18,000 S.F.
	EXISTING	19,500 S.F.
BUILDING ADDITION:	SHOP	9,000 S.F.
	TOTAL	28,500 S.F.

USE GROUP AND CLASSIFICATION

USE GROUP:
F-2 LOW HAZARD FACTORY INDUSTRIAL
METAL PRODUCTS (FABRICATION AND ASSEMBLY)

CONSTRUCTION CLASSIFICATION:
TYPE II-B UNPROTECTED, NON-COMBUSTIBLE

SEE SHEET A-2 FOR ADDITIONAL BUILDING DATA AND CODE REVIEW

CODE INFORMATION:

- MICHIGAN BUILDING CODE 2015 (MBC)
- MICHIGAN PLUMBING CODE 2015 (MPC)
- MICHIGAN MECHANICAL CODE 2015
- NATIONAL ELECTRICAL CODE 2017
- MICHIGAN ENERGY CODE 2015
- ANSI/ASHRAE/IESNA 90.1 - 2013
- ACCESSIBILITY CODE: ICC/ANSI A.117.1 2009

DESIGN/BUILD BY:
COLLINS DESIGN/BUILD
9325 S. MERIDIAN RD.
CLARK LAKE, MICHIGAN 49234
PH 517-529-0089

OWNER:
SINCLAIR DESIGNS & ENGINEERING

1104 INDUSTRIAL AVE
ALBION, MI 49224

PROJECT ENGINEER:
MORAN ENGINEERING SERVICES, LLC
PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
PH 517-250-4831

PROJECT:
PRE-ENGINEERED METAL BUILDING ADDITION TO EXISTING MANUFACTURING FACILITY

1104 INDUSTRIAL AVE
ALBION, MI 49224

ISSUE:	DATE:
1	09/01/20
2	09/04/20
3	01/25/21

TITLE:
AS BUILT & DEMOLITION PLAN

SHEET NO:

A-1



DESIGN/BUILD BY:
COLLINS
 DESIGN/BUILD
 9325 S. MERIDIAN RD.
 CLARK LAKE, MICHIGAN 49234
 PH 517-529-0089

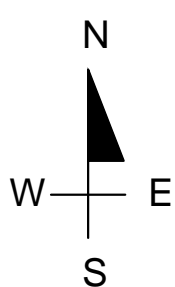
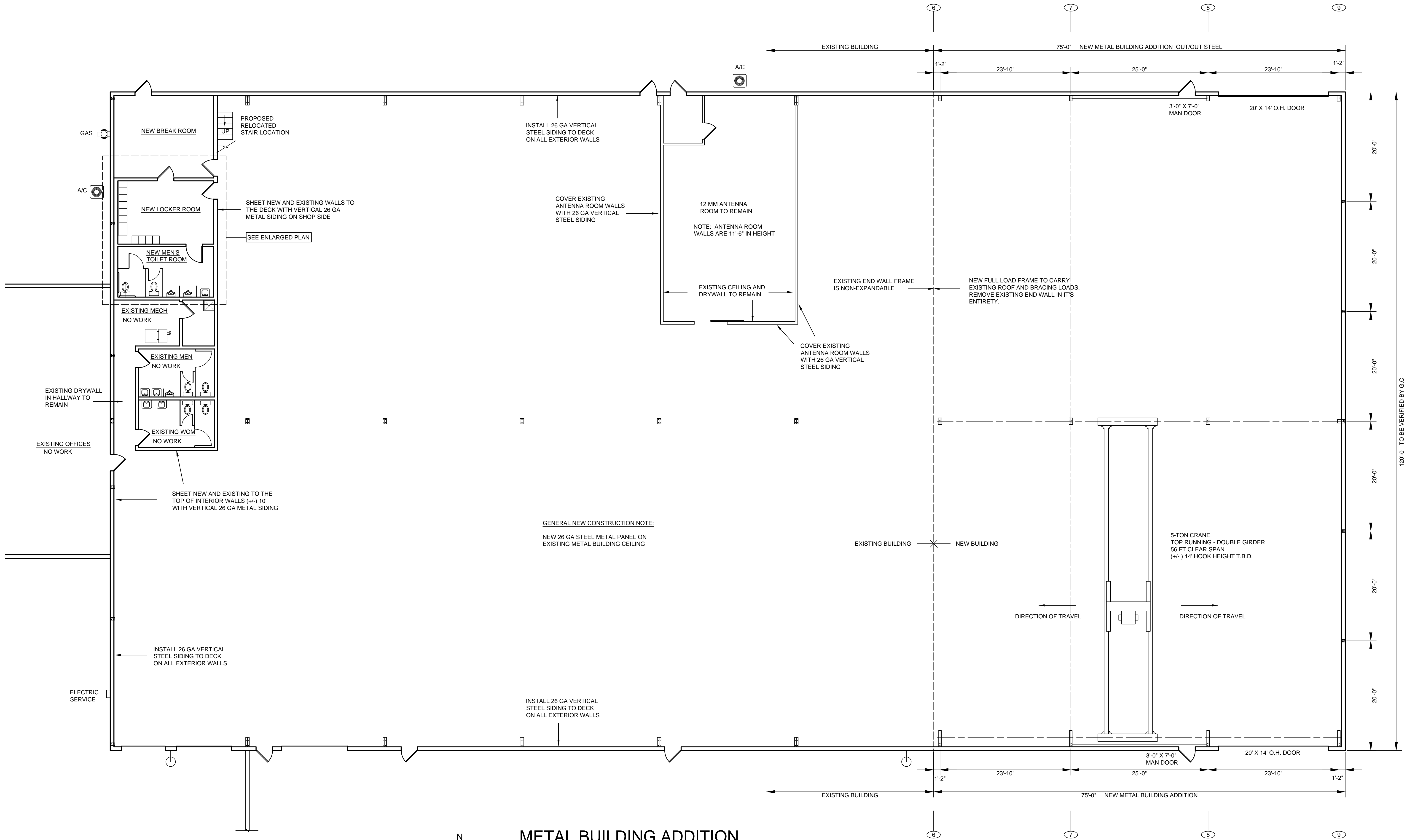
OWNER:
SINCLAIR
 DESIGNS &
 ENGINEERING

1104 INDUSTRIAL AVE
 ALBION, MI 49224

PROJECT ENGINEER:
MORAN
 ENGINEERING
 SERVICES, LLC
 PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
 PH 517-250-4831

PROJECT:
 PRE-ENGINEERED METAL
 BUILDING ADDITION TO
 EXISTING MANUFACTURING
 FACILITY
 1104 INDUSTRIAL AVE
 ALBION, MI 49224



METAL BUILDING ADDITION
EXISTING BUILDING IMPROVEMENTS
 SCALE: 1/8" = 1'-0"

120'-0" TO BE VERIFIED BY G.C.

ISSUE:	DATE:
1	09/01/20
2	09/04/20
3	01/25/21

TITLE:
FLOOR PLAN

SHEET NO:
A-2

DESIGN/BUILD BY:
COLLINS
 DESIGN/BUILD
 9325 S. MERIDIAN RD.
 CLARK LAKE, MICHIGAN 49234
 PH 517-529-0089

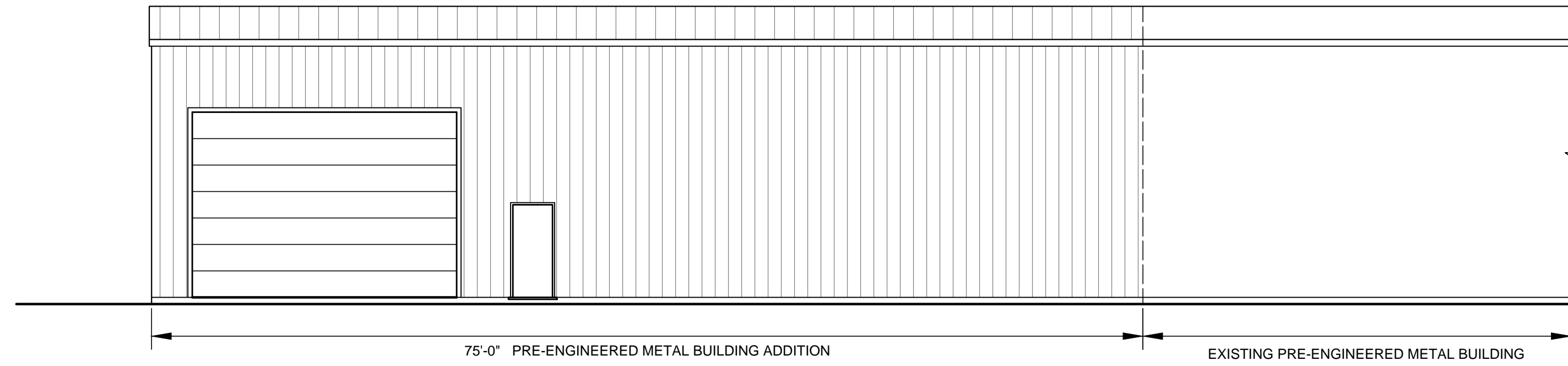
OWNER:
SINCLAIR
 DESIGNS &
 ENGINEERING

1104 INDUSTRIAL AVE
 ALBION, MI 49224

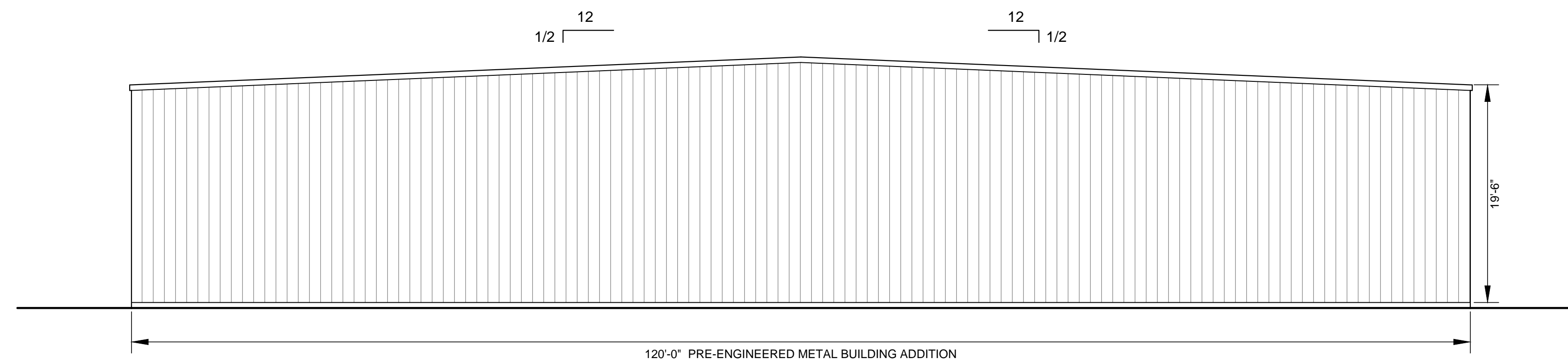
PROJECT ENGINEER:
MORAN
 ENGINEERING
 SERVICES, LLC
 PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
 PH 517-250-4831

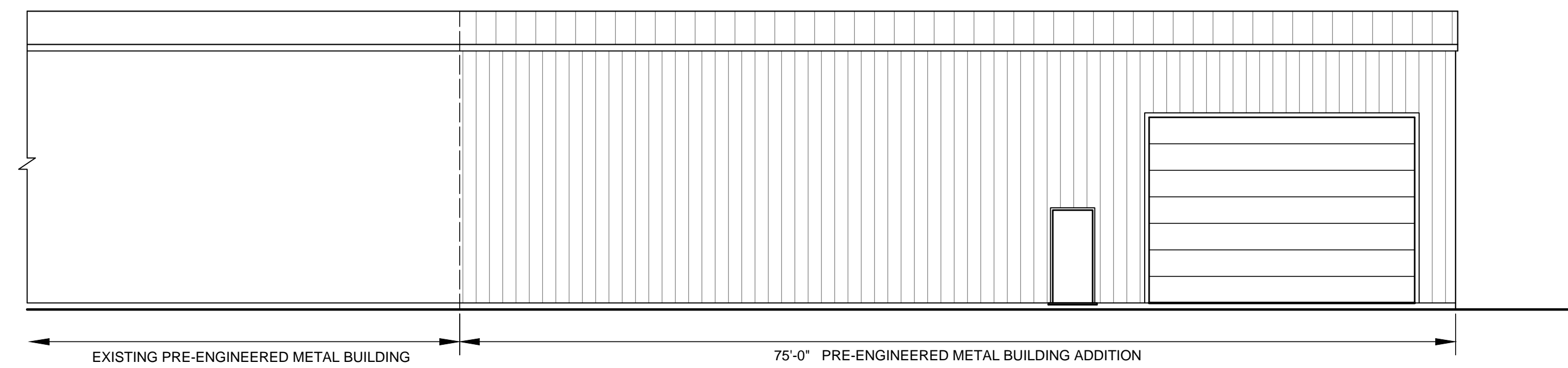
PROJECT:
 PRE-ENGINEERED METAL
 BUILDING ADDITION TO
 EXISTING MANUFACTURING
 FACILITY
 1104 INDUSTRIAL AVE
 ALBION, MI 49224



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

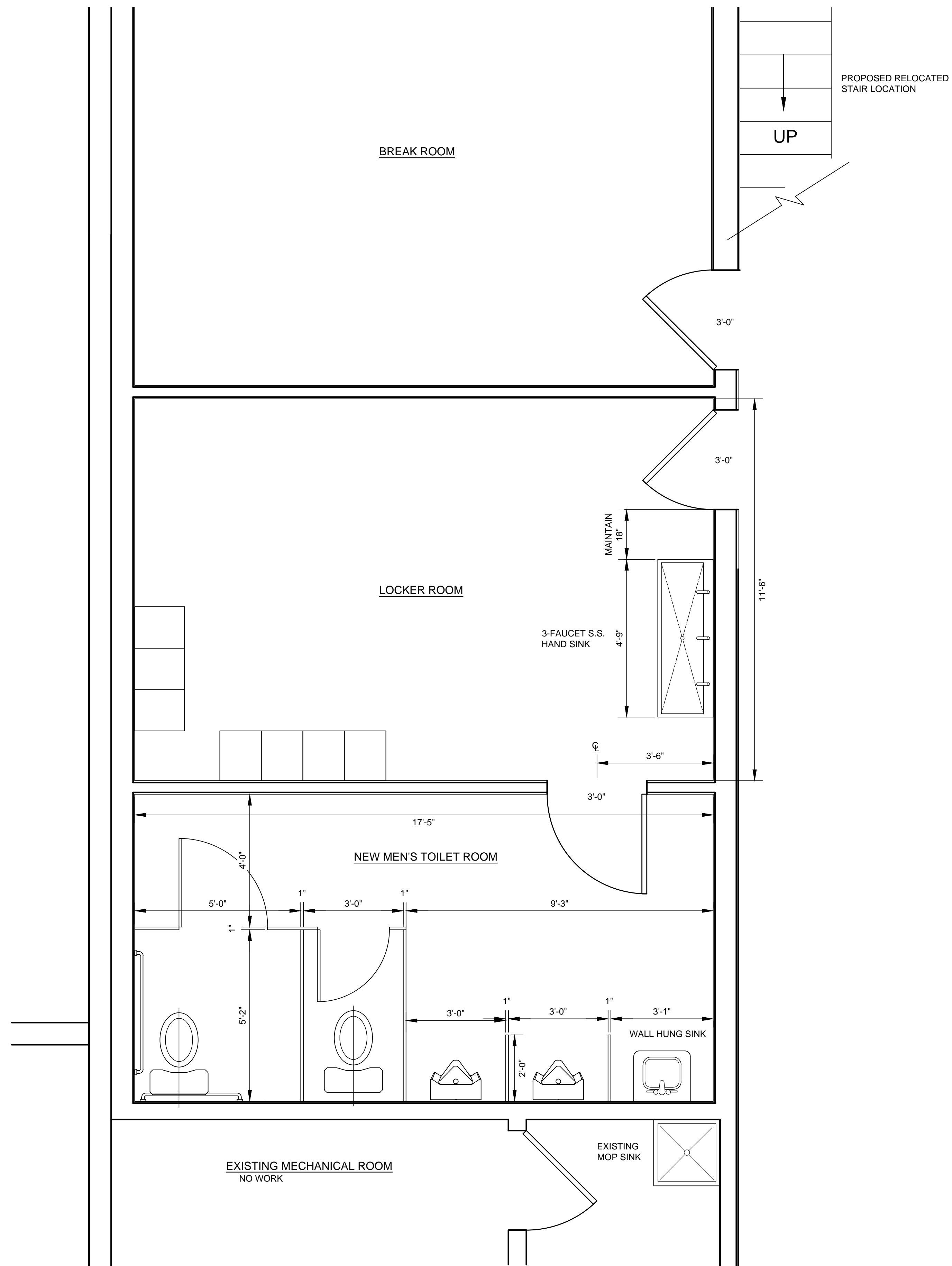


SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

ISSUE:	DATE:
1	09/01/20
2	09/04/20
3	01/25/21

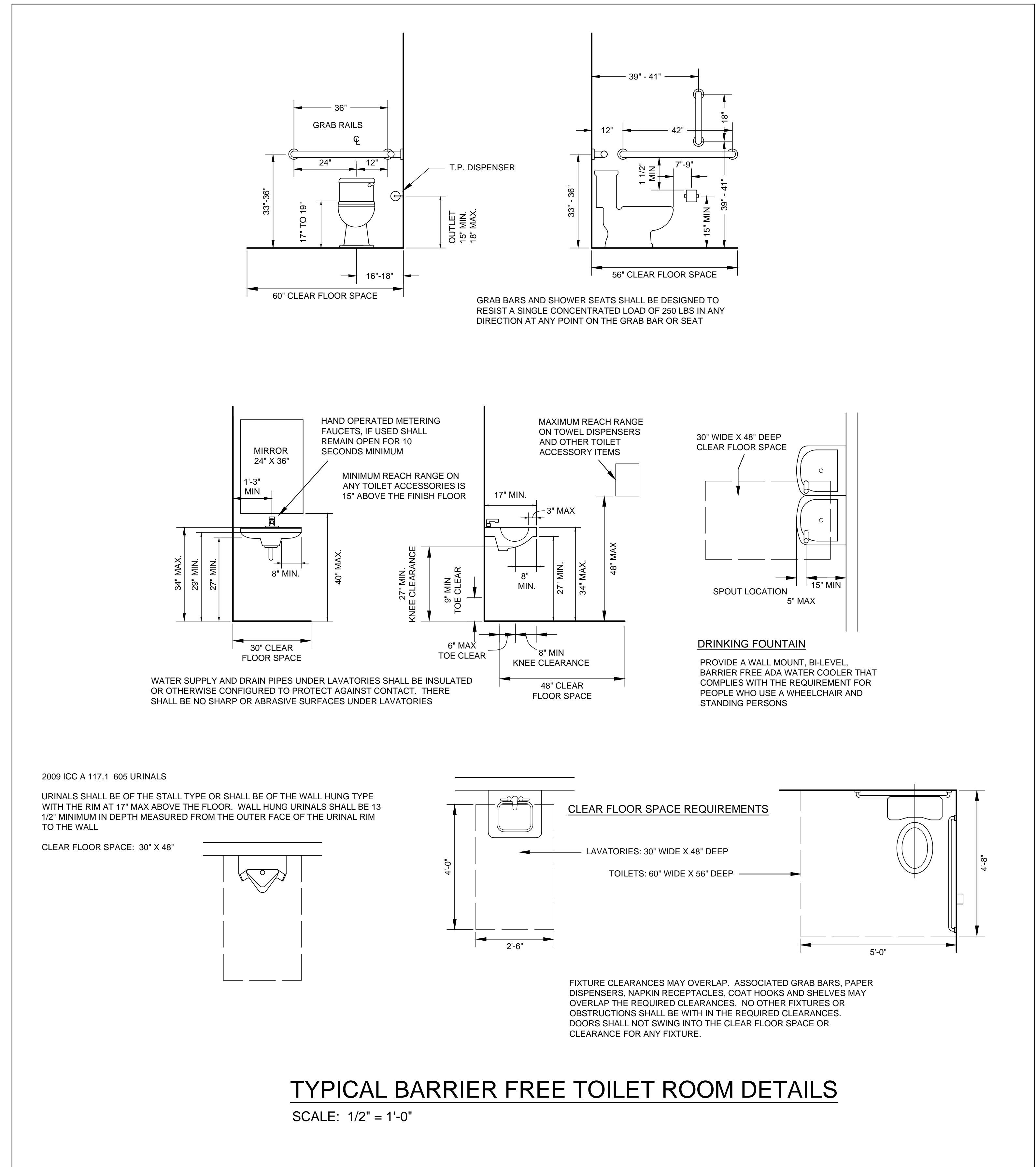
TITLE:
ELEVATIONS

SHEET NO:
A-3



ENLARGED FLOOR PLAN

SCALE: 1/2" = 1'-0"
 DIMENSIONS SHOWN ARE FINISH WALL TO FINISH WALL



ISSUE:	DATE:
1	09/01/20
2	09/04/20
3	01/25/21

TITLE:
ENLARGED TOILET ROOM PLAN

SHEET NO:
A-4

CODE REVIEW AND GENERAL SPECIFICATIONS

MICHIGAN BUILDING CODE 2015

PROJECT DESCRIPTION: 9,000 S.F. ADDITION TO EXISTING MANUFACTURING FACILITY. SINCLAIR DESIGNS & ENGINEERING MANUFACTURES METAL RACKING AND MOUNTING STANDS FOR SOLAR PANELS

EXISTING BUILDING: OFFICES 1,500 S.F.
SHOP 18,000 S.F.
EXISTING 19,500 S.F.

BUILDING ADDITION: SHOP 9,000 S.F.
TOTAL 28,500 S.F.

USE GROUP: F-2 LOW HAZARD FACTORY INDUSTRIAL METAL PRODUCTS (FABRICATION AND ASSEMBLY)

CONSTRUCTION CLASSIFICATION: PRE-ENGINEERED METAL BUILDING ADDITION TYPE II-B UNPROTECTED, NON-COMBUSTIBLE

OCCUPANT LOAD: TABLE 1004.1.2 MAX FLOOR AREA ALLOWANCES PER OCCUPANT
TOTAL GROSS FLOOR AREA: 27,970 S.F.
GROSS FLOOR AREA AS DEFINED IN THE MBC IS THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS

OFFICE / BUSINESS AREA	1,428 S.F. / 100 GFA	= 15
INDUSTRIAL USE	13,271 S.F. / 100 GFA	= 133
WAREHOUSE USE	13,271 S.F. / 500 GFA	= 27
TOTAL BUILDING OCCUPANCY		= 175

SECTION 1004.1.2 EXCEPTION: WHERE APPROVED BY THE BUILDING OFFICIAL THE ACTUAL NUMBER OF OCCUPANTS FOR WHOM EACH OCCUPIED SPACE, FLOOR OR BUILDING IS DESIGNED, ALTHOUGH LESS THAN THOSE DETERMINED BY CALCULATION, SHALL BE PERMITTED TO BE USED IN THE DETERMINATION OF THE DESIGN OCCUPANT LOAD

OWNER STATED OCCUPANCY AT MAXIMUM SHIFT:	OFFICE	4
	MANUFACTURING	20
	TOTAL	24

HEIGHT LIMITATION: TABLE 504.3: F-2 55 FT HEIGHT LIMITATION - 22 FT ACTUAL - COMPLIES

ALLOWABLE STORIES: TABLE 504.4: F-2 NO AUTOMATIC SPRINKLER SYSTEM 3 STORIES ALLOWED - 1 STORY ACTUAL - COMPLIES

FIRE ALARM SYSTEMS: SECTION [F] 907.2.4 GROUP F NO CONDITIONS EXIST. MANUAL FIRE ALARM SYSTEM NOT REQUIRED

MEANS OF EGRESS: FACTORY OCCUPANCY - USING MBC 175 PERSON OCCUPANT COUNT

SECTION 1006.2.1 TWO EXITS FROM ANY SPACE SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE VALUES LISTED IN TABLE 1006.2.1

TABLE 1006.3.1 MINIMUM NUMBER OF EXITS PER STORY
OCCUPANT LOAD: 1 - 500 TWO (2) EXITS REQUIRED - NINE (9) EXITS PROVIDED

EXIT ACCESS TRAVEL DISTANCE: TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE F-2 OCCUPANCY - UN-SPRINKLED - 300 FT

DEAD END CORRIDORS: SECTION 1020.4 20' MAXIMUM - NO DEAD END CORRIDORS IN THIS FACILITY

COMMON PATH OF TRAVEL: TABLE 1006.2.1 75 FT - COMPLIES IN THIS FACILITY

DOORS: SECTION 1010.1.2.1 DIRECTION OF SWING. PIVOT OR SIDE-HINGED SWINGING DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.

ALL EXTERIOR EXIT DOORS SWING IN THE DIRECTION OF EGRESS TRAVEL

SECTION 1010.1.9 DOOR OPERATION: EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OF EFFORT.

SECTION 1010.1.10 PANIC AND FIRE EXIT HARDWARE: ONLY REQUIRED WITH CERTAIN CONDITIONS IN OCCUPANCY A, E OR H PANIC AND FIRE EXIT HARDWARE NOT REQUIRED.

SECTION 1010.1.1 SIZE OF DOORS. CLEAR OPENING WIDTH: 32"

SECTION 1010.1.1.1 PROJECTIONS INTO CLEAR OPENING WIDTH. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR WIDTH LOWER THAN 34" ABOVE THE FLOOR. PROJECTIONS INTO THE CLEAR OPENING WIDTH BETWEEN 34" AND 80" ABOVE THE FLOOR OR GROUND SHALL NOT EXCEED 4". EXCEPTION: DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78" (6'-6") MINIMUM ABOVE THE FLOOR

MICHIGAN BUILDING CODE 2015

SIGNAGE: BATHROOM SIGNS SHALL COMPLY WITH 2009 I.C.C. A117.1 SECTION 703 SHALL CONTAIN RAISED CHARACTERS AND BRAILLE LOCATION ALONG SIDE THE DOOR ON THE LATCH SIDE RAISED CHARACTERS SHALL BE 48" MINIMUM AND 60" MAXIMUM MEASURED TO THE BOTTOM OF THE CHARACTERS

INTERIOR FINISHES: TABLE 803.11 INTERIOR WALL AND CEILING FINISHES: CLASS C

PORTABLE FIRE EXTINGUISHERS: NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS 2018
SECTION 5.2.1 CLASS A FIRES
SECTION 5.4.1.1 CLASSIFICATION OF HAZARDS: ORDINARY HAZARD
SECTION 6.1.3.1 FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF A FIRE
SECTION 6.1.3.2 FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREAS
SECTION 6.1.3.3.2 IN ROOMS AND IN LOCATIONS WHERE VISUAL OBSTRUCTIONS CANNOT BE AVOIDED, SIGNS OR OTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATION
SECTION 6.1.3.3.1 FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LB SHALL BE INSTALLED SO THAT THE TOP TO THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR
SECTION 6.1.3.3.2 FIRE EXTINGUISHERS HAVING A GROSS WEIGHT EXCEEDING 40 LB SHALL BE INSTALLED SO THAT THE TOP TO THE FIRE EXTINGUISHER IS NOT MORE THAN 3 1/2 FT ABOVE THE FLOOR

TABLE 6.2.1.1 TABLE E.3.6 EXTINGUISHER SIZE 4-A EXTINGUISHER COUNT REQUIREMENT: 5 MAX TRAVEL DISTANCE TO EXTINGUISHER: 75 FT.

EXIT SIGNS: SECTION 1013.1 EXIT AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
EXCEPTIONS:
1) EXIT SIGNS ARE NOT REQUIRED IN ROOMS OR AREAS THAT REQUIRE ONLY ONE EXIT OR EXIT ACCESS.
2), 3), 4) & 5) N/A

SECTION 1013.3 ILLUMINATION. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. EXCEPTION: TACTILE SIGNS NEED NOT BE PROVIDED WITH ILLUMINATION.

SECTION 1015.5 INTERNALLY ILLUMINATED EXIT SIGNS. ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTOLUMINESCENT EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND CHAPTER 27. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES

SECTION 1013.6.3 POWER SOURCE. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES AT AN INTENSITY OF NOT LESS THAN 5 FOOT-CANDLES WITH A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS

SECTION 1013.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS. A SIGN STATING "EXIT" IN VISUAL CHARACTERS, RAISED CHARACTERS AND BRAILLE AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EXIT DISCHARGE.

MEANS OF EGRESS ILLUMINATION: SECTION 1008.1 AND 1008.2 ILLUMINATION SHALL BE PROVIDED IN THE MEANS OF EGRESS SERVING A ROOM OR SPACE AND SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED
SECTION 1008.2.1 ILLUMINATION LEVEL UNDER NORMAL POWER SHALL BE NOT LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE

EMERGENCY POWER: SECTION 1008.3.3 IN THE EVENT OF POWER SUPPLY FAILURE AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE PATH OF EGRESS
SECTION 1008.3.4 DURATION - THE EM POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 1 1/2 HOURS AND SHALL CONSIST OF STORAGE BATTERIES
SECTION 1008.3.5 ILLUMINATION LEVEL UNDER EMERGENCY POWER. EM LIGHTING SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AND A MINIMUM AT ANY POINT OF .1 FOOT-CANDLE MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL

MICHIGAN BUILDING CODE 2015

TABLE 506.2 ALLOWABLE AREA FACTOR F-2 23,000 S.F.

ALLOWABLE AREA INCREASE CALCULATIONS

MICHIGAN BUILDING CODE 2015
SECTION 506.3.3 UN-SPRINKLED BUILDING

$$I_f = \left[\frac{F}{P} - .25 \right] \frac{W}{30}$$

$$I_f = \text{AREA INCREASE DO TO FRONTAGE}$$

F = BUILDING PERIMETER THAT FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING A MINIMUM DISTANCE OF 20 FT

P = PERIMETER OF ENTIRE BUILDING

W = WIDTH OF PUBLIC WAY OR OPEN SPACE

$$I_f = \left[\frac{750}{750} - .25 \right] \frac{30}{30}$$

$$I_f = 1 - .25$$

$$I_f = .75 \text{ 75\% INCREASE ALLOWED}$$

ALLOWABLE BUILDING AREA:
ALLOWABLE AREA X PERCENTAGE INCREASE ALLOWED

23,000 S.F. X 1.75 = 40,250 S.F.

TOTAL BUILDING AREA 28,500 S.F.

AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED

SECTION 507 UNLIMITED AREA BUILDINGS

SECTION 507.3 NON-SPRINKLED, ONE-STORY BUILDINGS.

THE AREA OF GROUP F-2 BUILDING NO MORE THAN ONE STORY IN HEIGHT SHALL NOT BE LIMITED WHERE THE BUILDING IS SURROUNDED AND ADJOINED BY PUBLIC WAYS OR YARDS NOT LESS THAN 60 FT.

THIS BUILDING COMPLIES WITH SECTION 507 - AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED

SECTION 903 AUTOMATIC SPRINKLER SYSTEMS

F-2 AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED

SECTION 508.2 ACCESSORY OCCUPANCIES

COMPLIES WITH GENERAL CRITERIA FOR ACCESSORY OCCUPANCY:

1. ACCESSORY TO MAJOR USE

2. DOES NOT EXCEED 10% OF FLOOR AREA

OFFICES	1,500 S.F.	= 5.3%
TOTAL BUILDING SIZE	28,500 S.F.	

3. OFFICE USE DOES NOT EXCEED TABULAR NON-SPRINKLERED ALLOWABLE AREA

FIRE WALL BETWEEN OFFICE AREA AND MANUFACTURER AREA NOT REQUIRED

MICHIGAN PLUMBING CODE 2015

TABLE 403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

USING MICHIGAN BUILDING CODE OCCUPANCY CALCULATIONS 88 MALE 88 FEMALE

FACTORY AND INDUSTRIAL F2

MALE 1 PER 100 88 / 100 = .88 = 1 (4) PROVIDED

FEMALE 1 PER 100 88 / 100 = .88 = 1 (2) PROVIDED

ONE (1) SERVICE SINK REQUIRED - ONE (1) PROVIDED

ONE (1) DRINKING FOUNTAIN REQUIRED - EXISTING

DESIGN/BUILD BY:
COLLINS
DESIGN/BUILD
9325 S. MERIDIAN RD.
CLARK LAKE, MICHIGAN 49234
PH 517-529-0089

OWNER:
SINCLAIR
DESIGNS &
ENGINEERING

1104 INDUSTRIAL AVE
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PROJECT ENGINEER:
MORAN
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SERVICES, LLC
PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
PH 517-250-4831

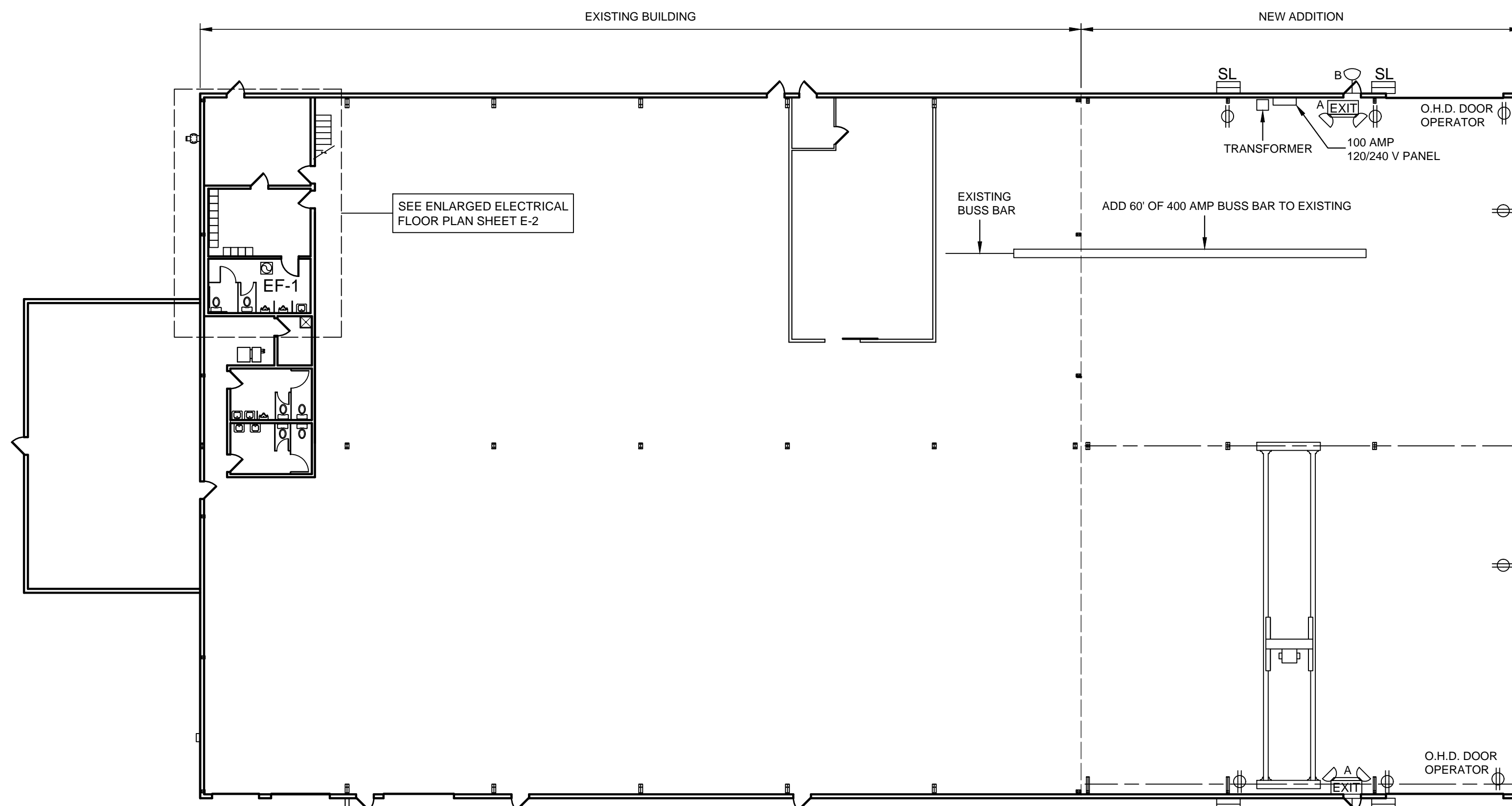
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ALBION, MI 49224

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3	01/25/21

TITLE:
**CODE REVIEW &
GENERAL
SPECIFICATIONS**

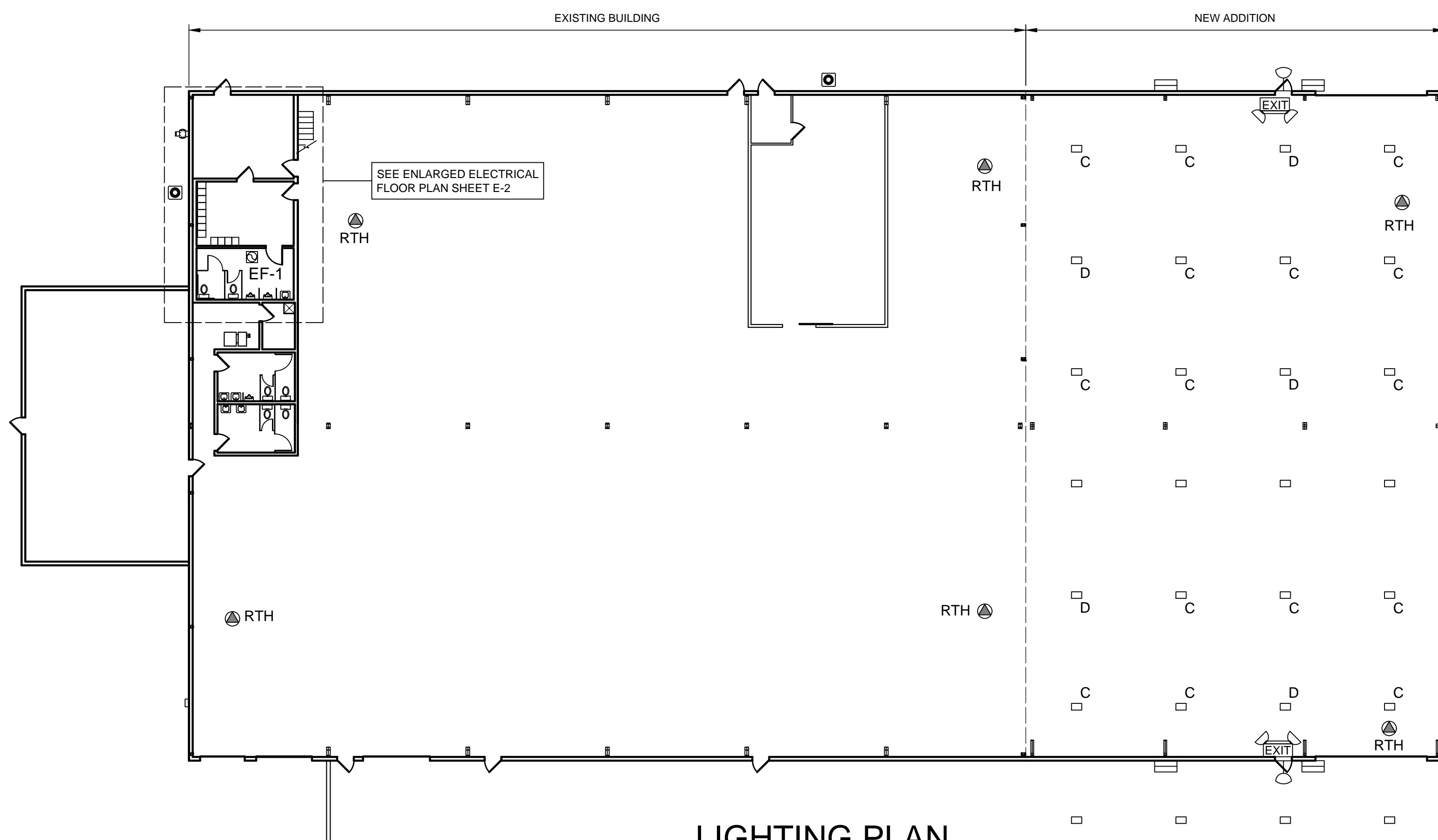
SHEET NO:

A-5



ELECTRICAL PLAN

SCALE: 1/16" = 1'-0"



LIGHTING PLAN

SCALE: 1/16" = 1'-0"

CODE INFORMATION:

MICHIGAN BUILDING CODE 2015 (MBC)
 MICHIGAN PLUMBING CODE 2015 (MPC)
 MICHIGAN MECHANICAL CODE 2015
 NATIONAL ELECTRICAL CODE 2017
 MICHIGAN ENERGY CODE 2015
 ANSI/ASHRAE/IESNA 90.1 - 2013
 ACCESSIBILITY CODE: ICC/ANSI A.117.1 2009

ELECTRICAL LEGEND

A		WALL MOUNT EXIT SIGN / EMERGENCY LIGHT W/ BATTERY BACK UP
B		EXTERIOR LIGHT FIXTURE TIED TO EXIT/EM BATTERY BACK-UP
		WALL SWITCH WITH OCCUPANCY SENSOR
		DUPLEX RECEPTACLE 120V
		CEILING SUSPENDED RADIANT TUBE HEATER
		14" X 22" LED LINEAR HIGH BAY FIXTURE. MOTION SENSOR OPERATED
		12" X 24" LED LINEAR HIGH BAY FIXTURE W/ EM PACK. MOTION SENSOR OPERATED
		2X4 FLAT PANEL LAY-IN FIXTURE
SL		EXTERIOR SECURITY LIGHT - LED ON PHOTO CELL
EF-1		TOILET ROOM EXHAUST FAN 200 CFM BATH EXHAUST FAN DESIGNED TO RUN CONTINUOUSLY WHILE OCCUPIED

ELECTRICAL SPECIFICATIONS AND GENERAL CONSTRUCTION REQUIREMENTS

1. PROVIDE ALL EQUIPMENT, MATERIALS, LABOR, PERMITS AND SERVICES NECESSARY TO FURNISH, INSTALL TEST AND TURN OVER TO THE OWNER ELECTRICAL WORK AS SHOWN ON THE DRAWINGS, INCLUDING ALL SHOP DRAWINGS, TEST REPORTS, RECORD DRAWINGS, OPERATIONS AND MAINTENANCE MANUALS, PERSONNEL TRAINING AND INCIDENTAL ITEMS NECESSARY TO COMPLETE THE PROJECT IN EVERY RESPECT
2. INSTALL EQUIPMENT AND MATERIALS IN COMPLIANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND MANUFACTURER'S INSTRUCTIONS AND ALL GENERAL SPECIFICATIONS OF THIS PROJECT.
3. NOTIFY THE PROJECT MANAGER WITH QUESTIONS AND DISCREPANCIES WITHIN DESIGN DOCUMENTS BEFORE BIDS OR PERFORMING WORK. NOTIFY THE PROJECT MANAGER IF EXISTING CODE VIOLATIONS ARE UNCOVERED THAT ARE NOT ADDRESSED IN THE DESIGN DOCUMENTS.
4. DRAWINGS DIAGRAMMATICALLY INDICATE GENERAL WORK SCOPE BUT SHOULD NOT BE SCALED AS A METHOD TO PROVIDE INSTALLED LOCATIONS. FIELD VERIFY LOCATION AND SIZES OF EQUIPMENT AND DEVICES THAT REQUIRED ELECTRICAL CONNECTION PRIOR TO ROUGH-IN. ANY CONDUIT ROUTING INDICATED ON THE DRAWINGS IS FOR REFERENCE ONLY UNLESS INDICATED OTHERWISE. PROPER LOCATION AND INSTALLATION OF ALL SYSTEMS, INCLUDING MAINTAINING WORK CLEARANCES IS THE CONTRACTORS RESPONSIBILITY.
5. COORDINATE WORK WITH THE OTHER TRADES TO ENSURE A SAFE WORKING SPACE AROUND ELECTRICAL EQUIPMENT AND TO ENSURE ACCESS TO EQUIPMENT REQUIRING MAINTENANCE.
6. PHASE AND NEUTRAL CONDUCTORS SHALL HAVE THE ASSOCIATED CIRCUIT NUMBERS MARKED ON THE WIRES USING BRADY TAGS. WIRES SHALL BE IDENTIFIED IN ALL OUTLET AND JUNCTION BOXES. MARK JUNCTION BOX COVERS IN INK WITH THE PANEL AND CIRCUIT NUMBERS CONTAINED WITHIN.
7. ALL BRANCH CIRCUITS SHALL HAVE A SEPARATE EQUIPMENT GROUND WIRE. CONDUIT SHALL NOT BE USED AS A GROUND PATH.
8. ANY EQUIPMENT REQUIRING A DISCONNECT SHALL BE SUPPLIED WITH A HEAVY DUTY, LOCKABLE DISCONNECT.
9. NEW PANELBOARDS SHALL BE RATED AT A MINIMUM SHORT CIRCUIT RATING OF 22 ka UNLESS SHOWN OTHERWISE. PROVIDE NEW COMPUTER GENERATED PANELBOARD DIRECTORIES PRINTED ON CARD STOCK IN ALL PANELBOARDS AFFECTED BY WORK.
9. ALL LIGHT FIXTURES SHALL BE FASTENED TO THE CEILING GRID OR DECK ABOVE WITH A MANUFACTURERS APPROVED METHOD AS WELL AS INDEPENDENTLY SUPPORTED FROM THE STRUCTURE ABOVE.

ALL WORK TO CONFORM TO THE NATIONAL ELECTRIC CODE 2017

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 PH 517-529-0089

OWNER:
SINCLAIR
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PROJECT ENGINEER:
MORAN
 ENGINEERING
 SERVICES, LLC
 PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
 PH 517-250-4831

PROJECT:
 PRE-ENGINEERED METAL
 BUILDING ADDITION TO
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1	09/01/20
2	09/04/20
3	01/25/21

TITLE:
ELECTRICAL PLAN

SHEET NO:
E-1

ALL WORK TO CONFORM TO THE NATIONAL ELECTRIC CODE 2017

CODE INFORMATION:
 MICHIGAN BUILDING CODE 2015 (MBC)
 MICHIGAN PLUMBING CODE 2015 (MPC)
 MICHIGAN MECHANICAL CODE 2015
 NATIONAL ELECTRICAL CODE 2017
 MICHIGAN ENERGY CODE 2015
 ANSI/ASHRAE/IESNA 90.1 - 2013
 ACCESSIBILITY CODE: ICC/ANSI A.117.1 2009

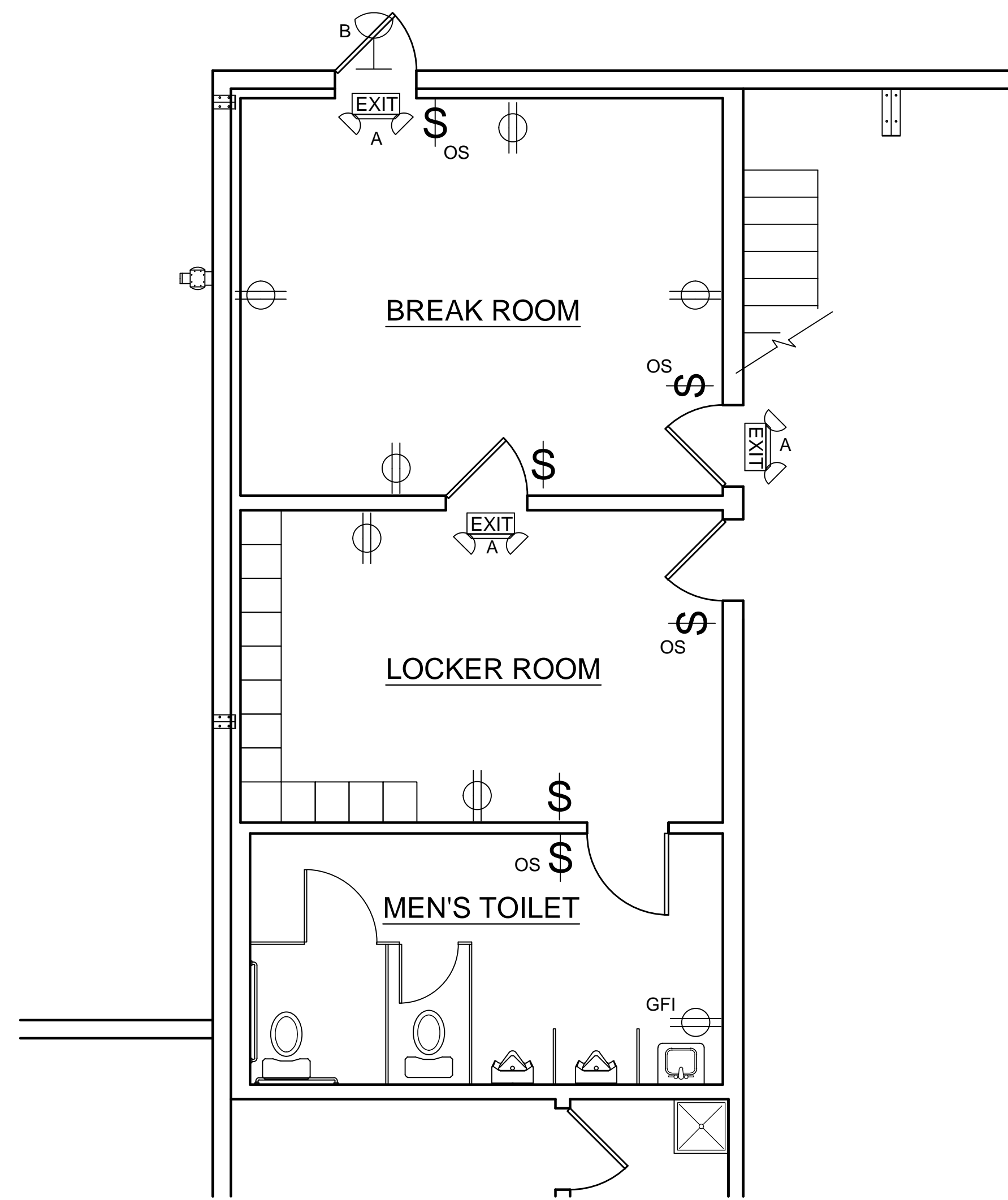
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 CLARK LAKE, MICHIGAN 49234
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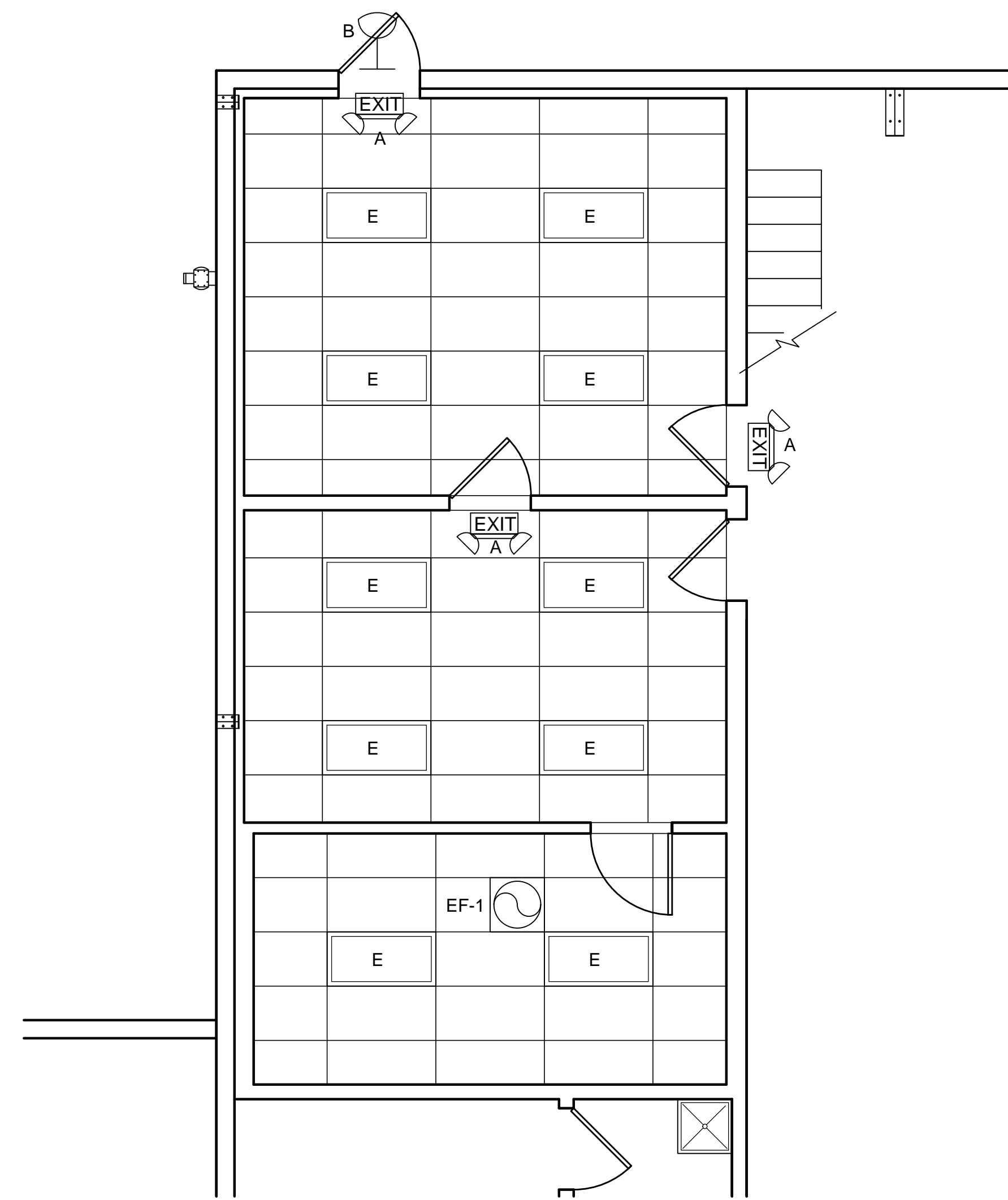
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ENLARGED ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"



ENLARGED LIGHTING PLAN
 SCALE: 1/4" = 1'-0"

ISSUE:	DATE:
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2	09/04/20
3	01/25/21

TITLE:
 MECHANICAL

SHEET NO:
E-2

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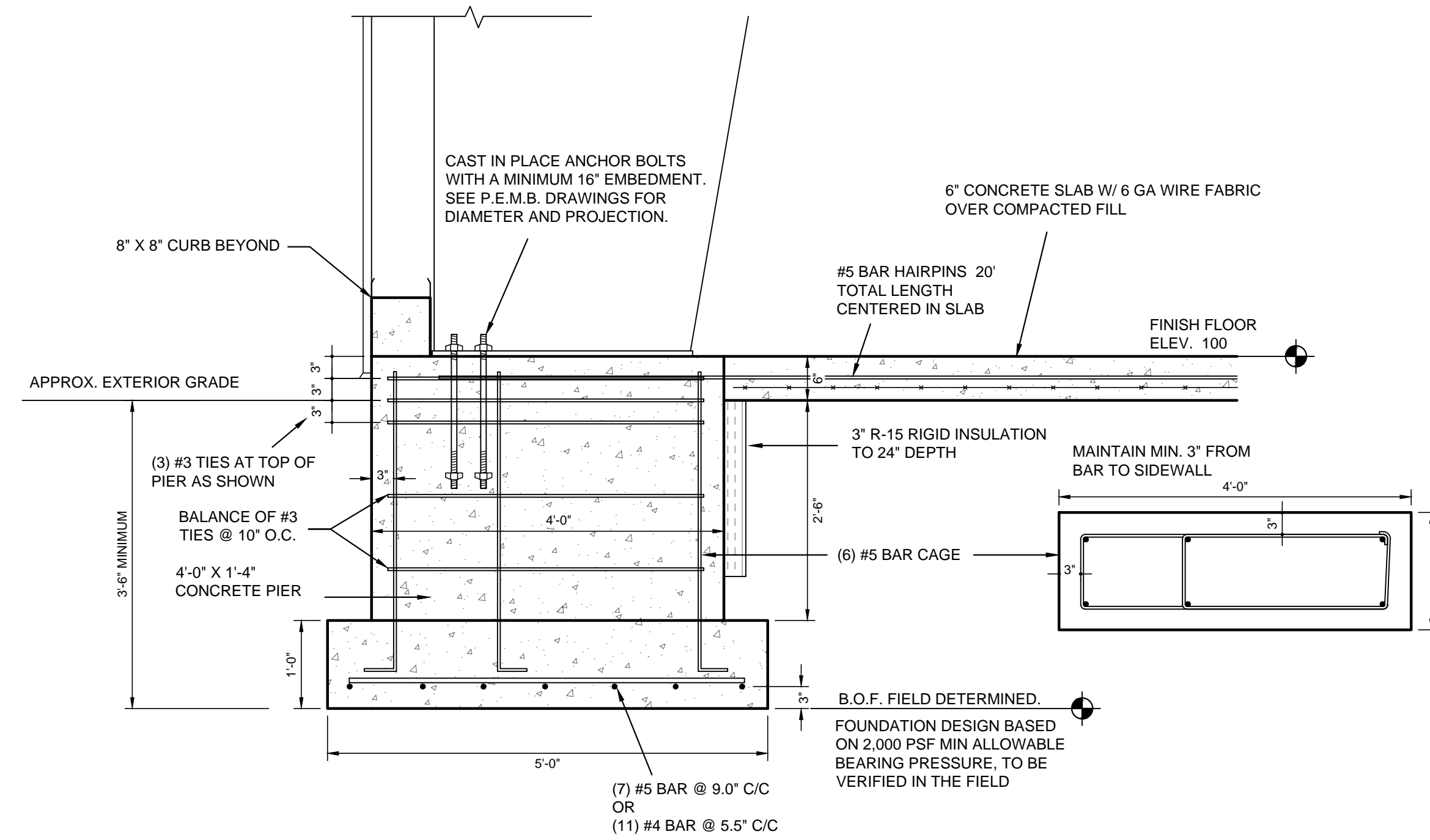
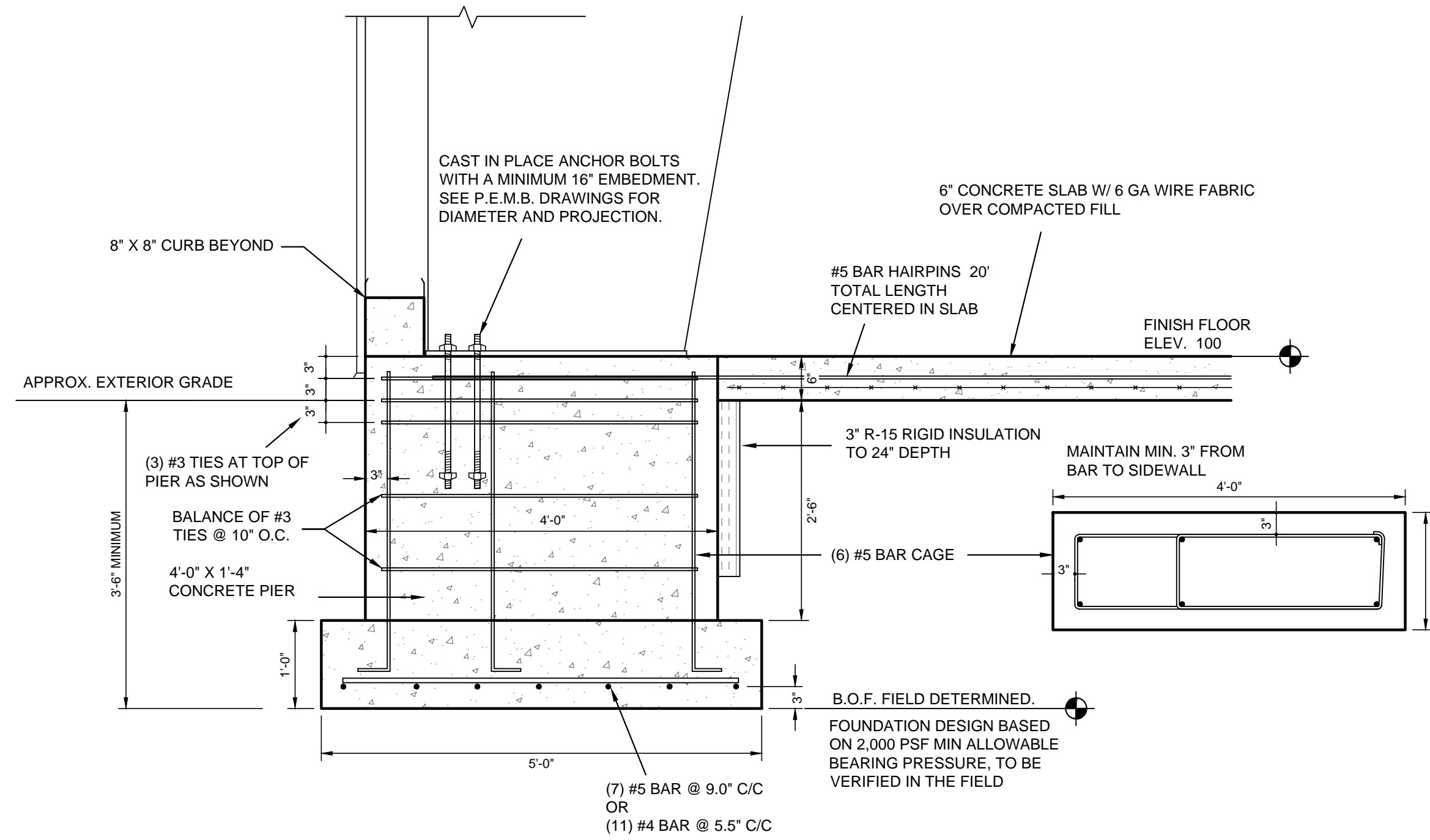
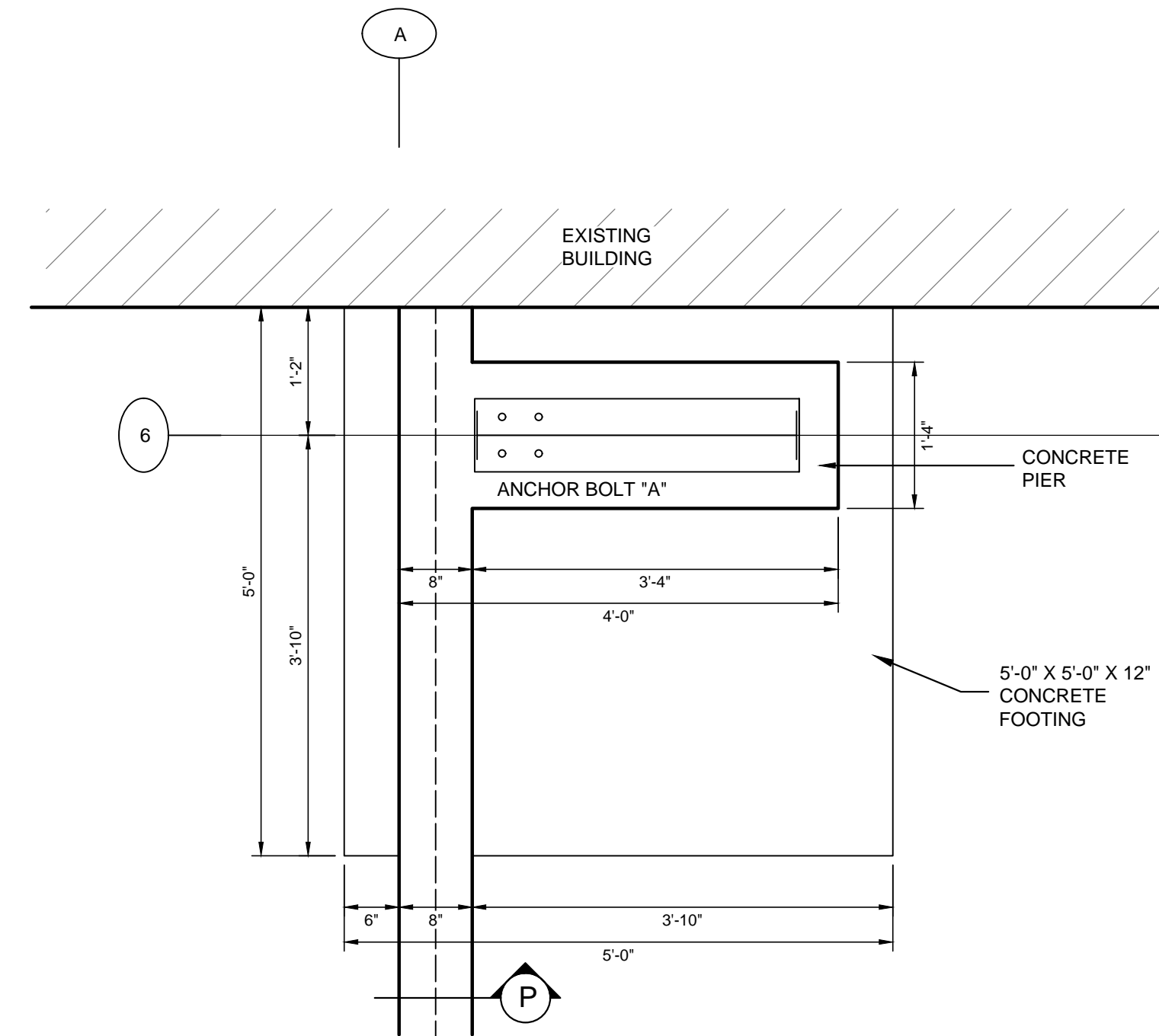
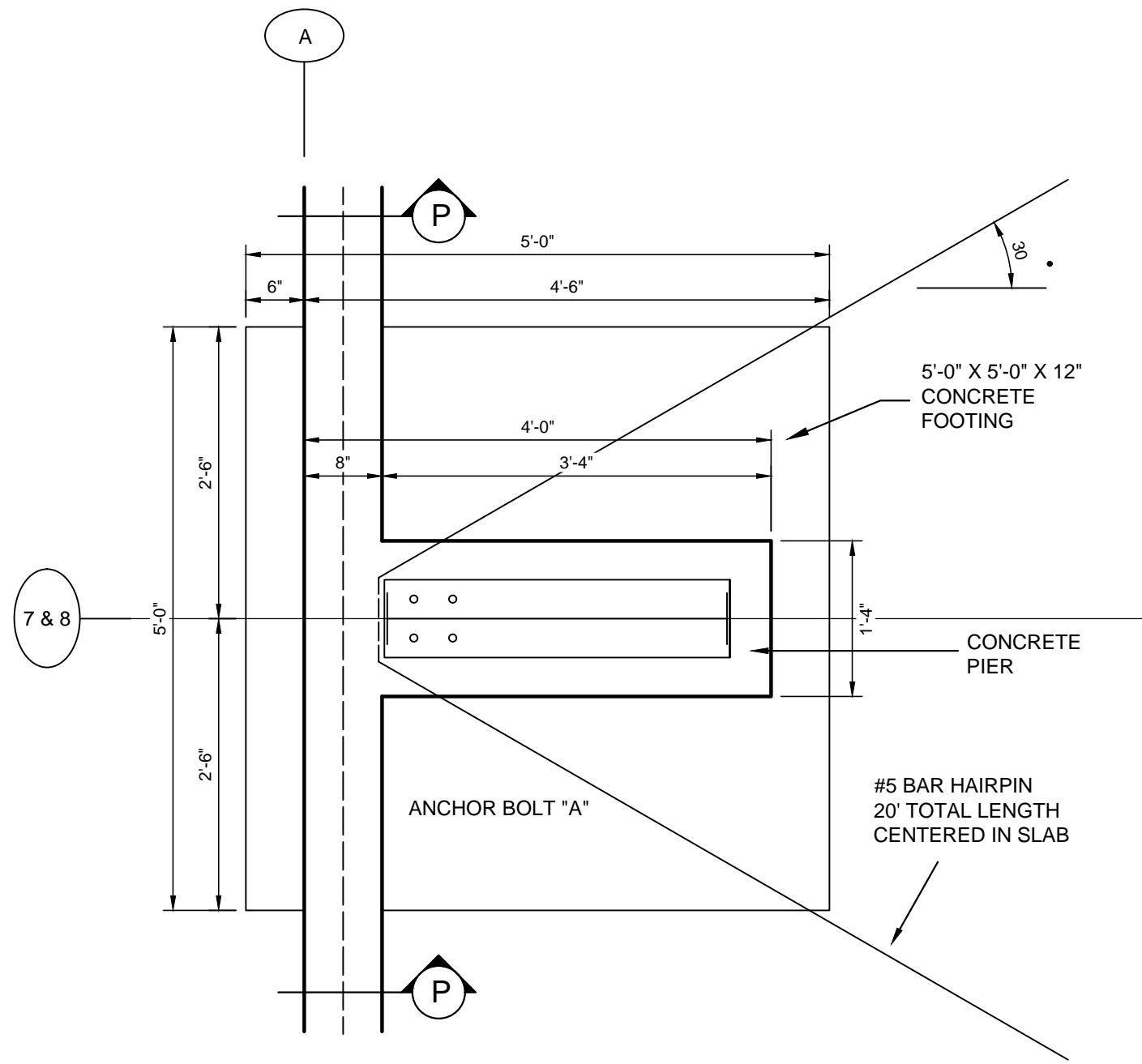
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A

A1

FOUNDATION DETAILS
 SCALE: 3/4" = 1'-0"

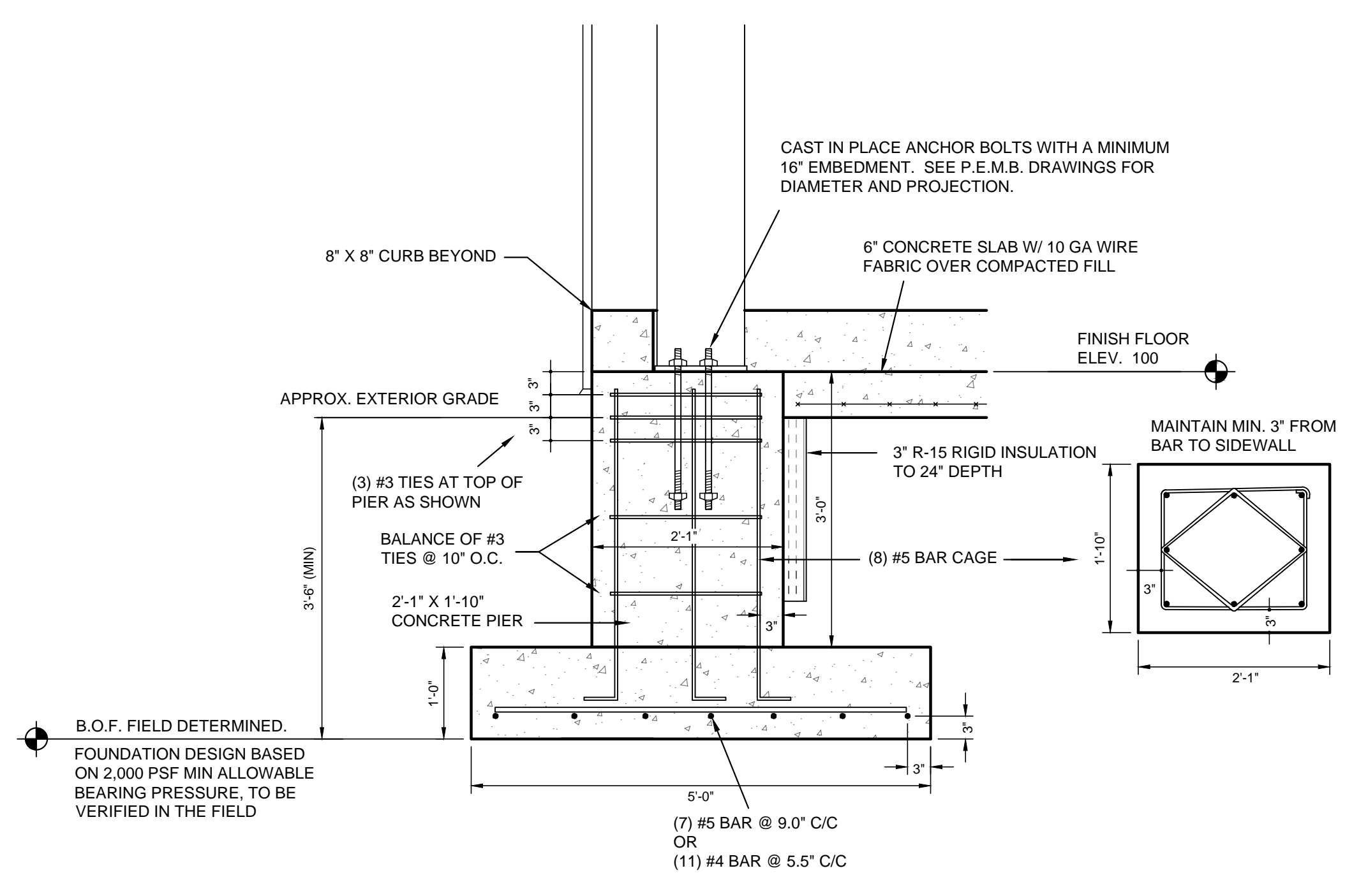
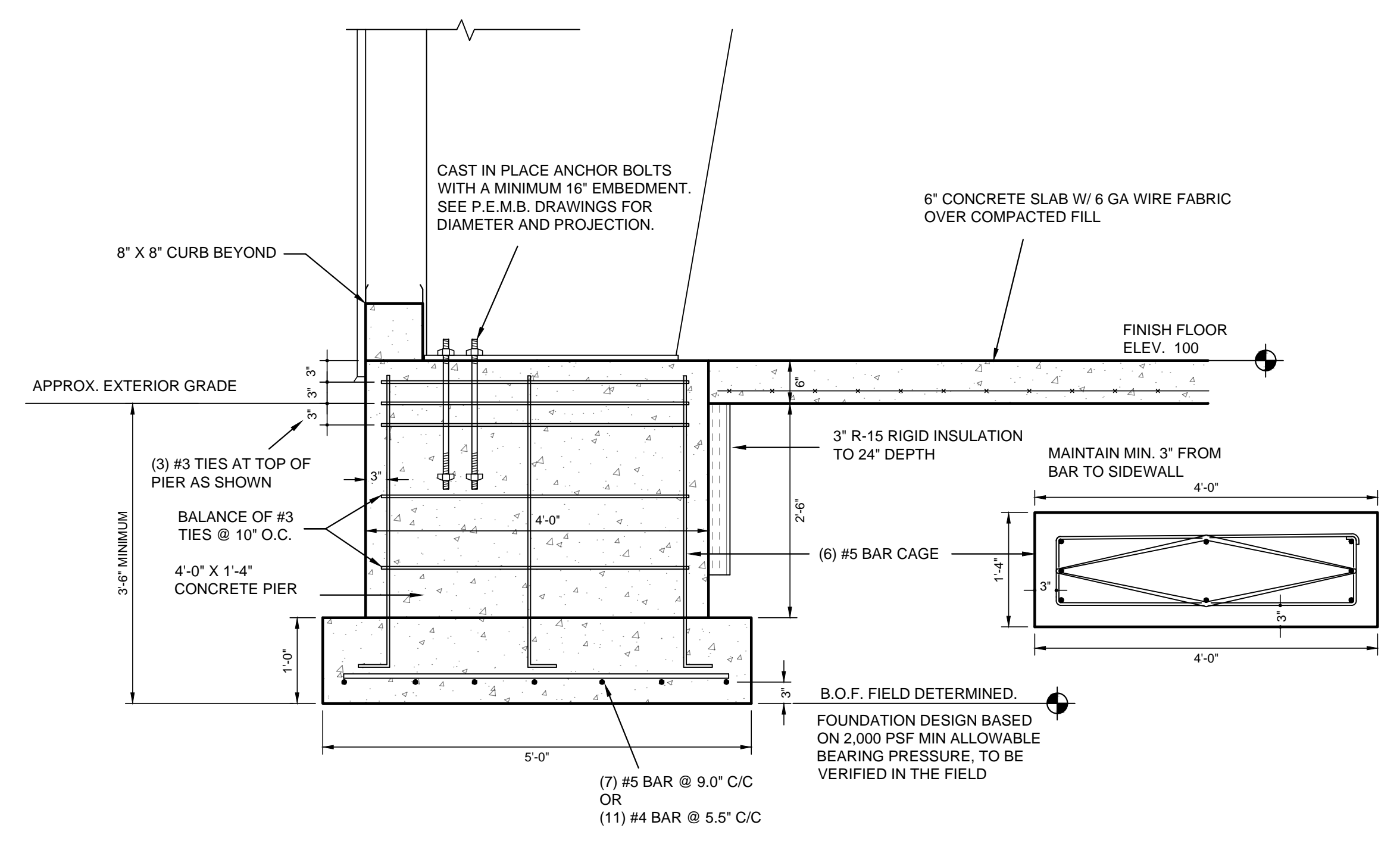
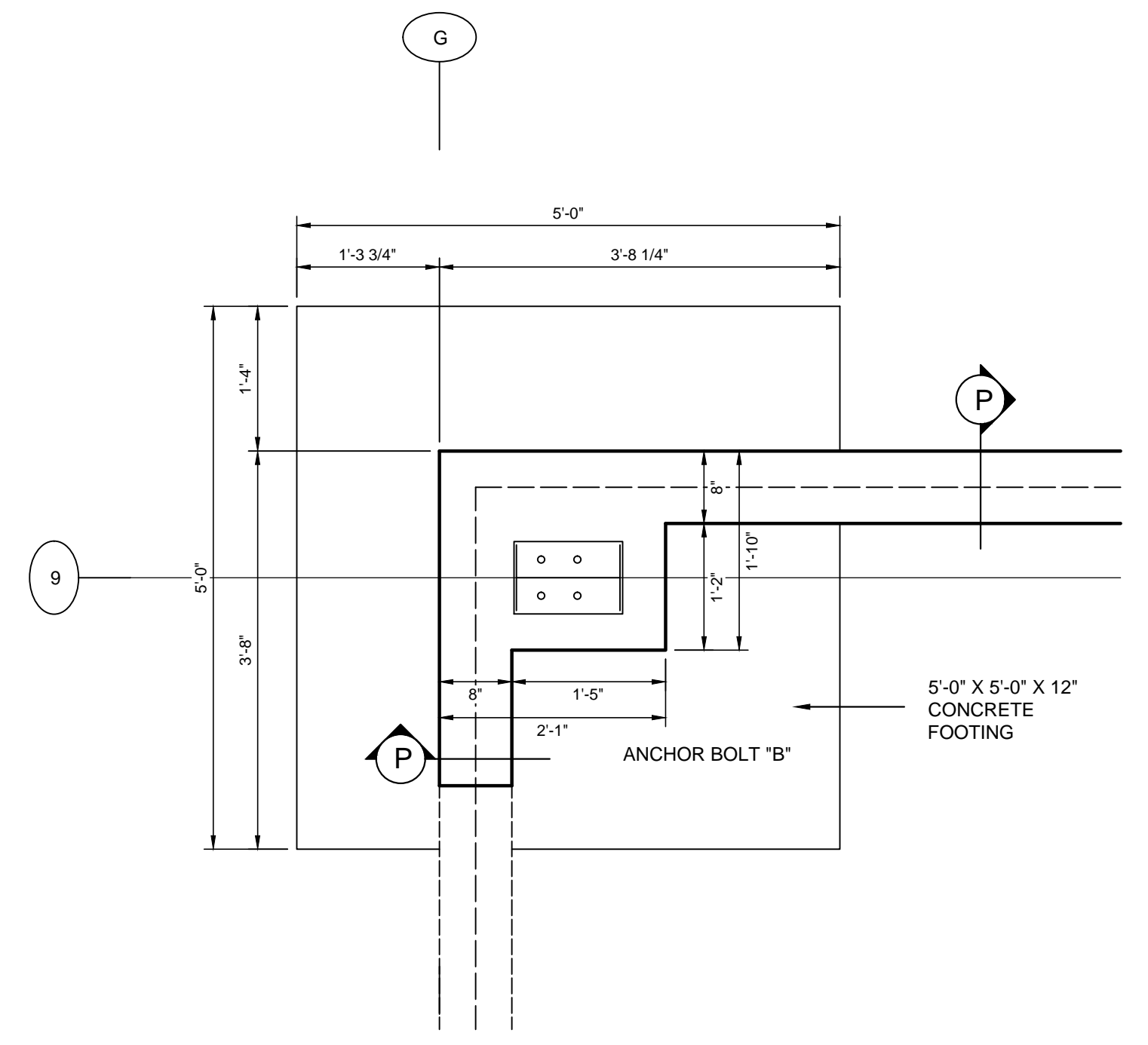
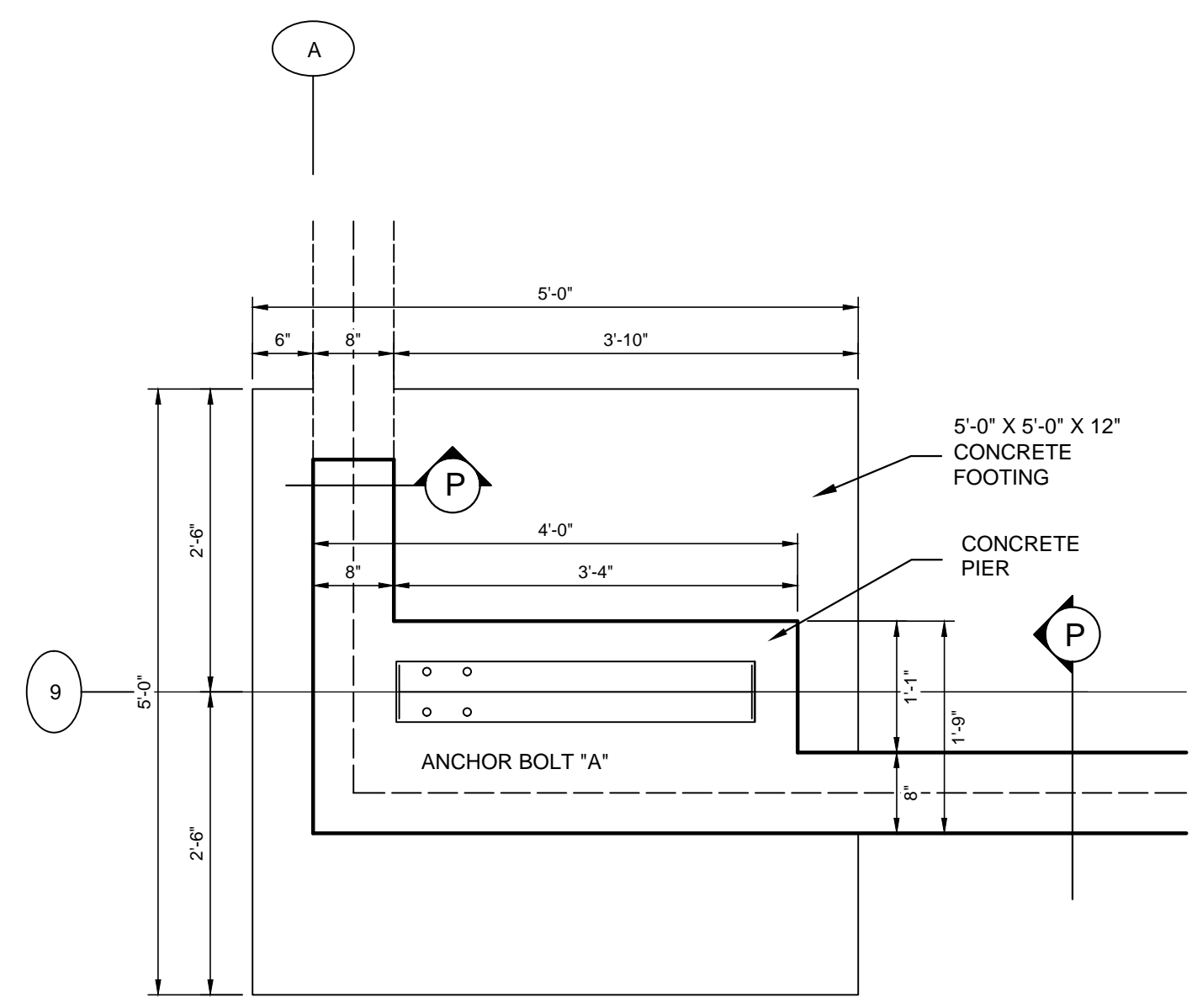
FOUNDATION DESIGN BASED ON A PRESUMPTIVE MINIMUM SOIL BEARING VALUE OF 2,000 PSF. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL BEARING CAPACITY

ISSUE: 1
 DATE: 01/25/21

TITLE:
 FOUNDATION DETAILS

SHEET NO:
 F-2

SEE P.E.M.B. MFG DRAWINGS FOR BOLT SIZES, LOCATIONS AND PLACEMENT



A2

B

FOUNDATION DETAILS
SCALE: 3/4" = 1'-0"

FOUNDATION DESIGN BASED ON A PRESUMPTIVE MINIMUM SOIL BEARING VALUE OF 2,000 PSF. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL BEARING CAPACITY

DESIGN/BUILD BY:
COLLINS DESIGN/BUILD
9325 S. MERIDIAN RD.
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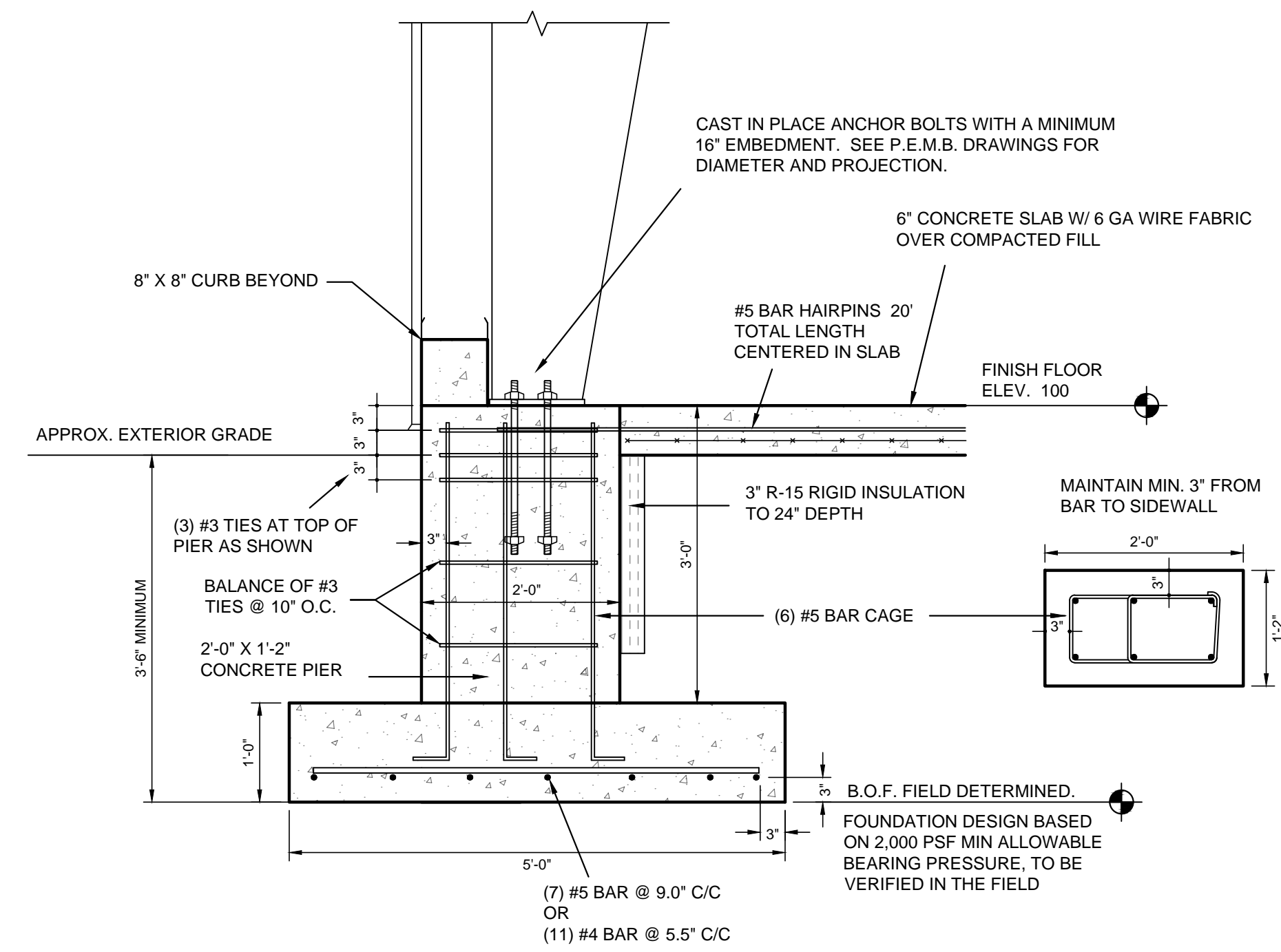
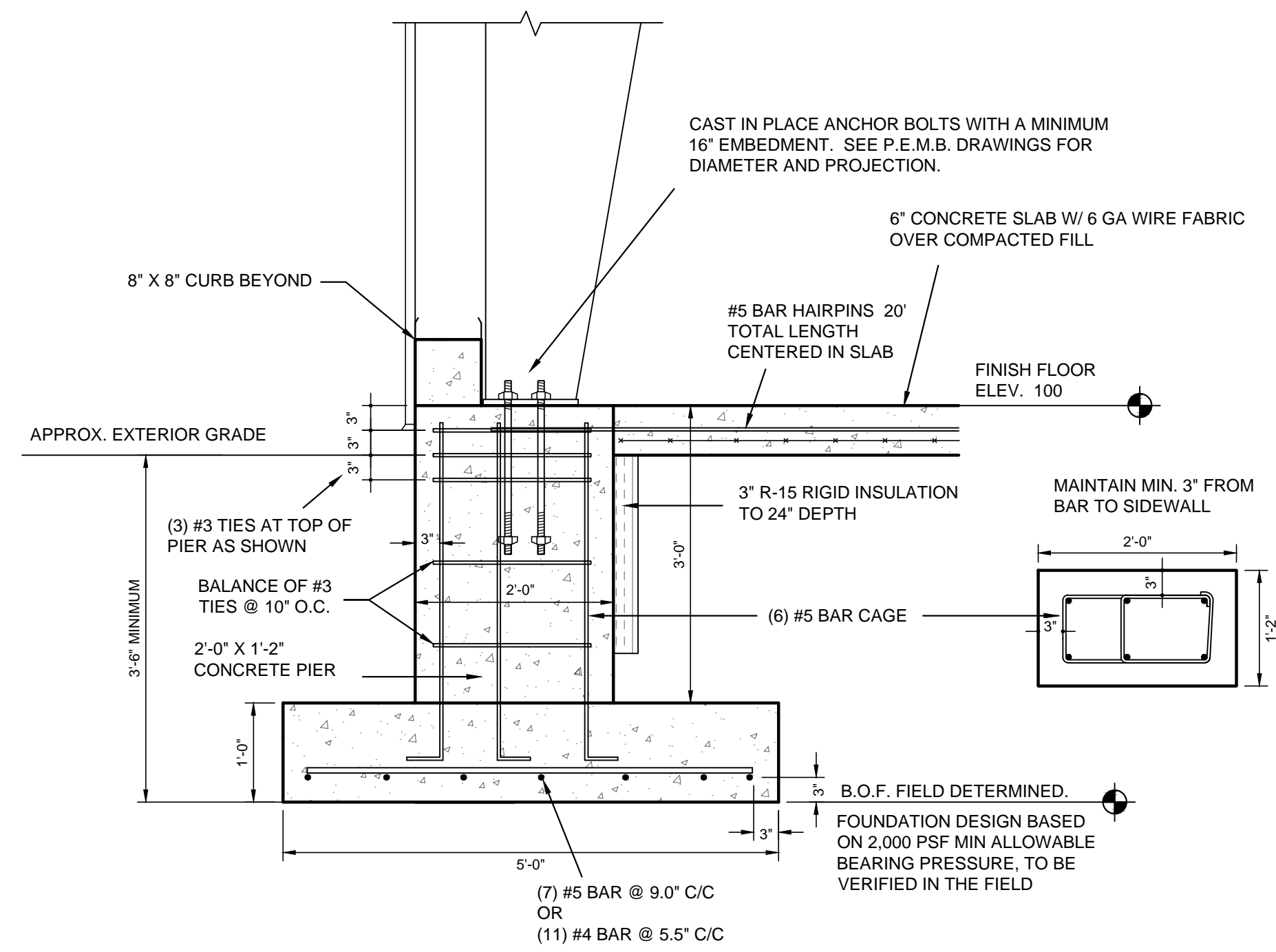
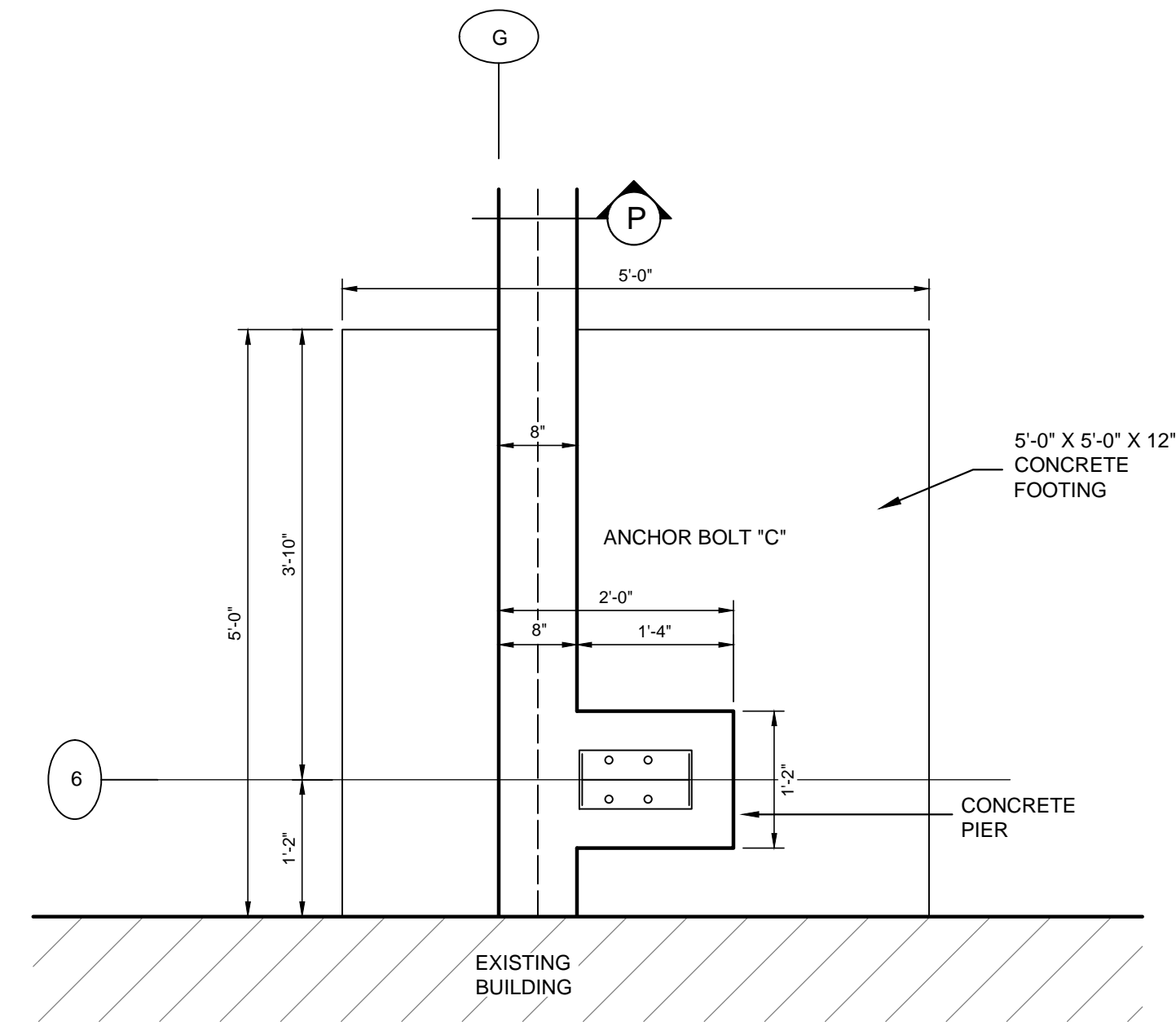
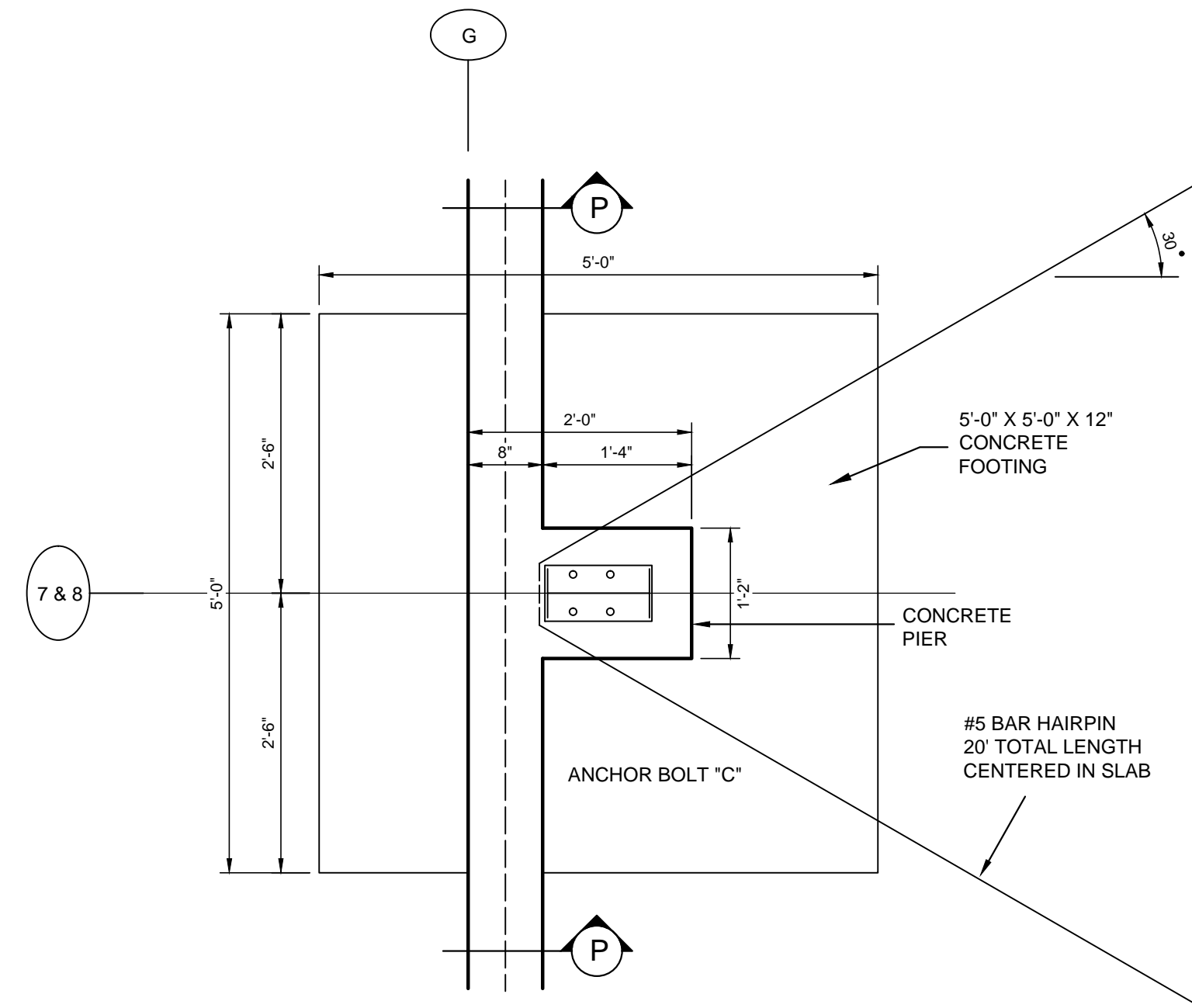
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F-3

SEE P.E.M.B. MFG DRAWINGS FOR BOLT SIZES, LOCATIONS AND PLACEMENT



C

C1

FOUNDATION DETAILS
SCALE: 3/4" = 1'-0"

FOUNDATION DESIGN BASED ON A PRESUMPTIVE MINIMUM SOIL BEARING VALUE OF 2,000 PSF. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL BEARING CAPACITY

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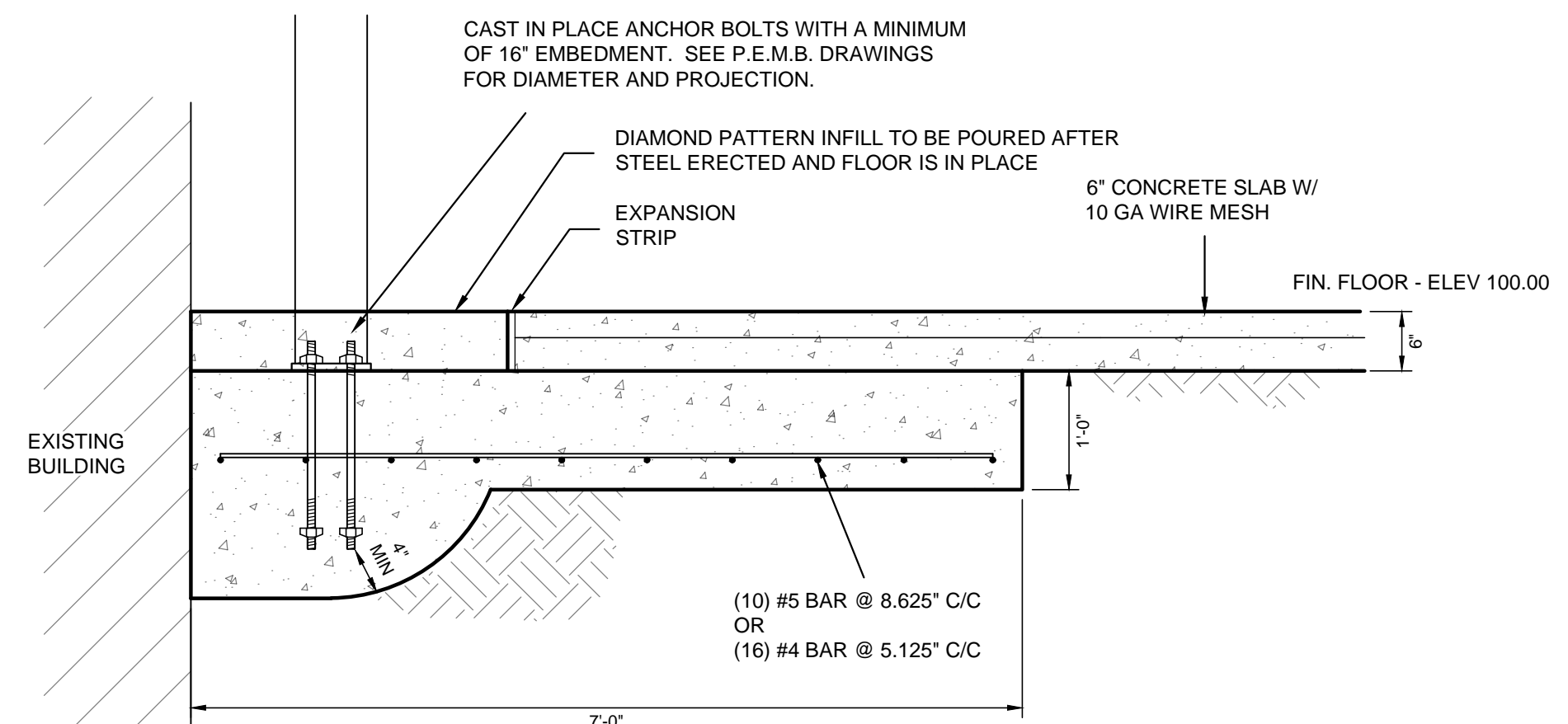
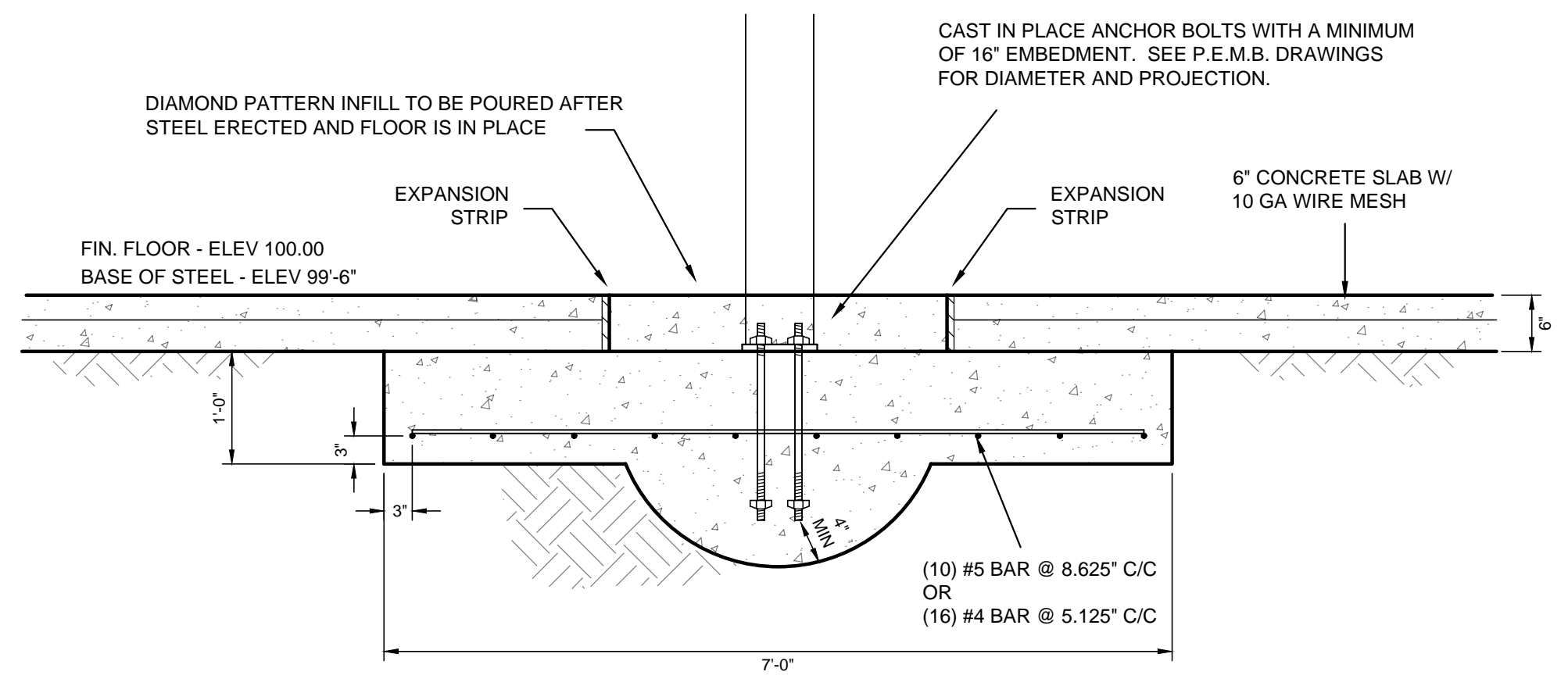
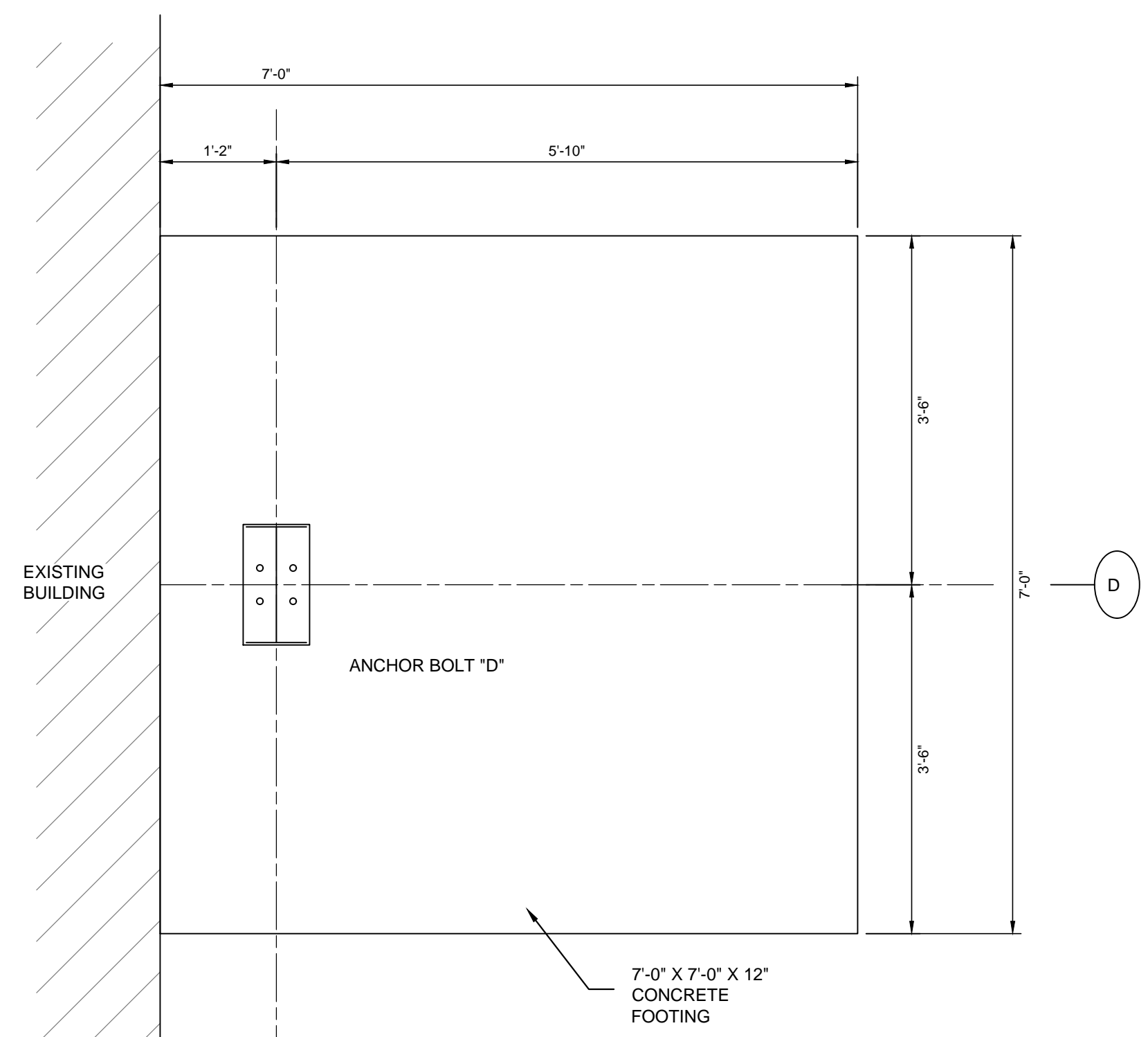
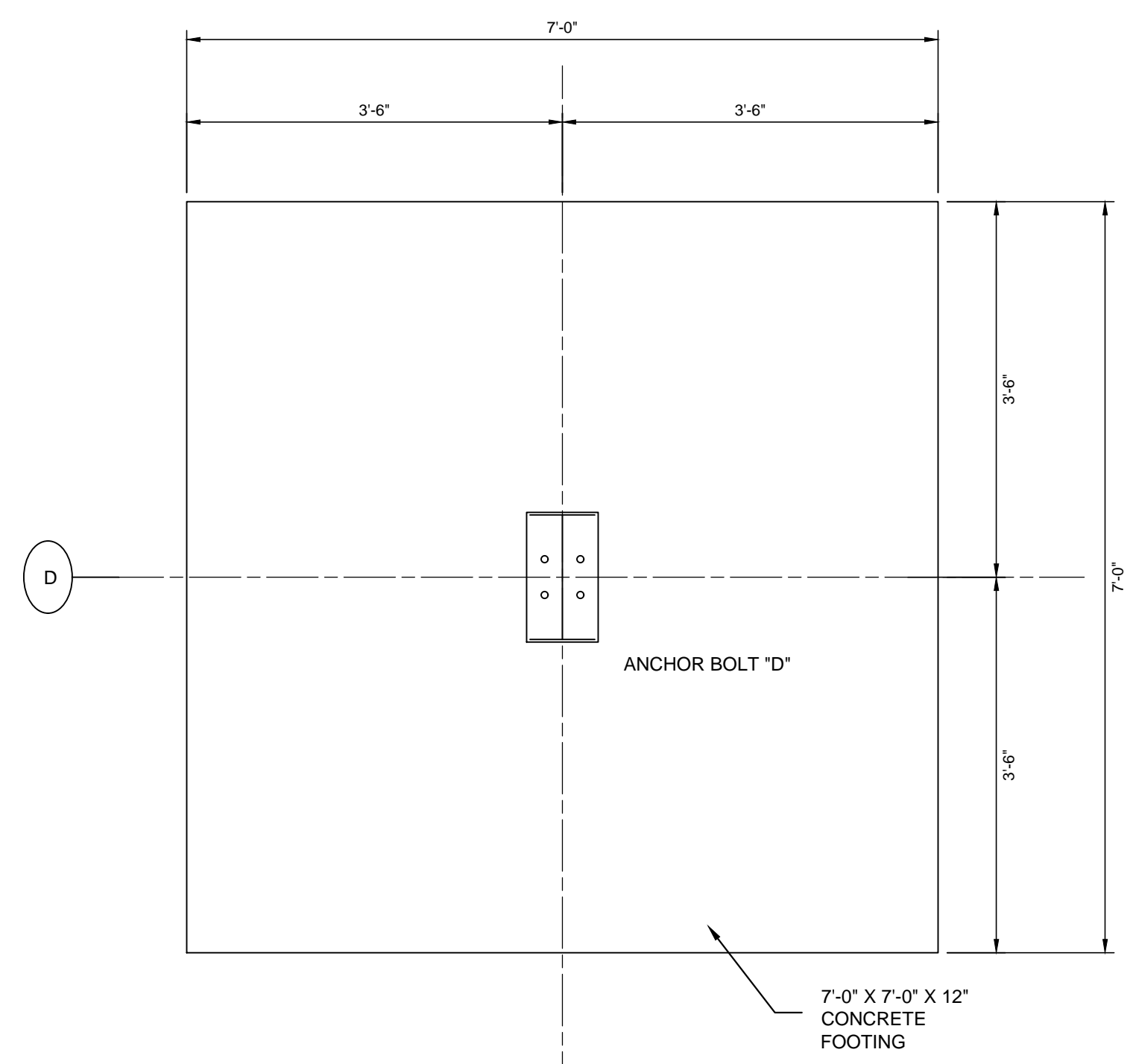
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TITLE:
FOUNDATION DETAILS

SHEET NO:
F-4

SEE P.E.M.B. MFG DRAWINGS FOR BOLT SIZES, LOCATIONS AND PLACEMENT



D

D1

FOUNDATION DETAILS
SCALE: 3/4" = 1'-0"

FOUNDATION DESIGN BASED ON A PRESUMPTIVE MINIMUM SOIL BEARING VALUE OF 2,000 PSF. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL BEARING CAPACITY

DESIGN/BUILD BY:
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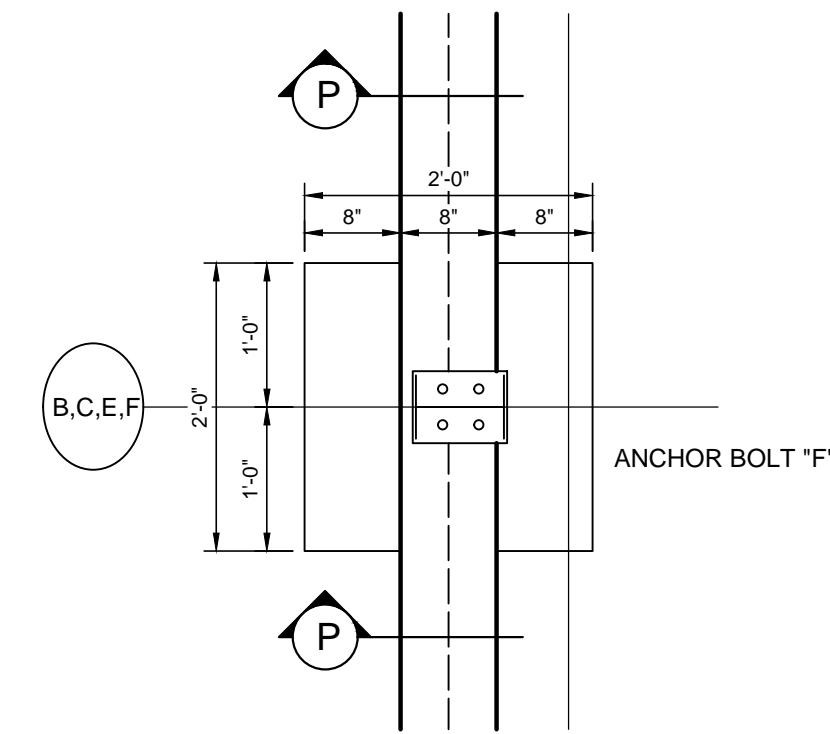
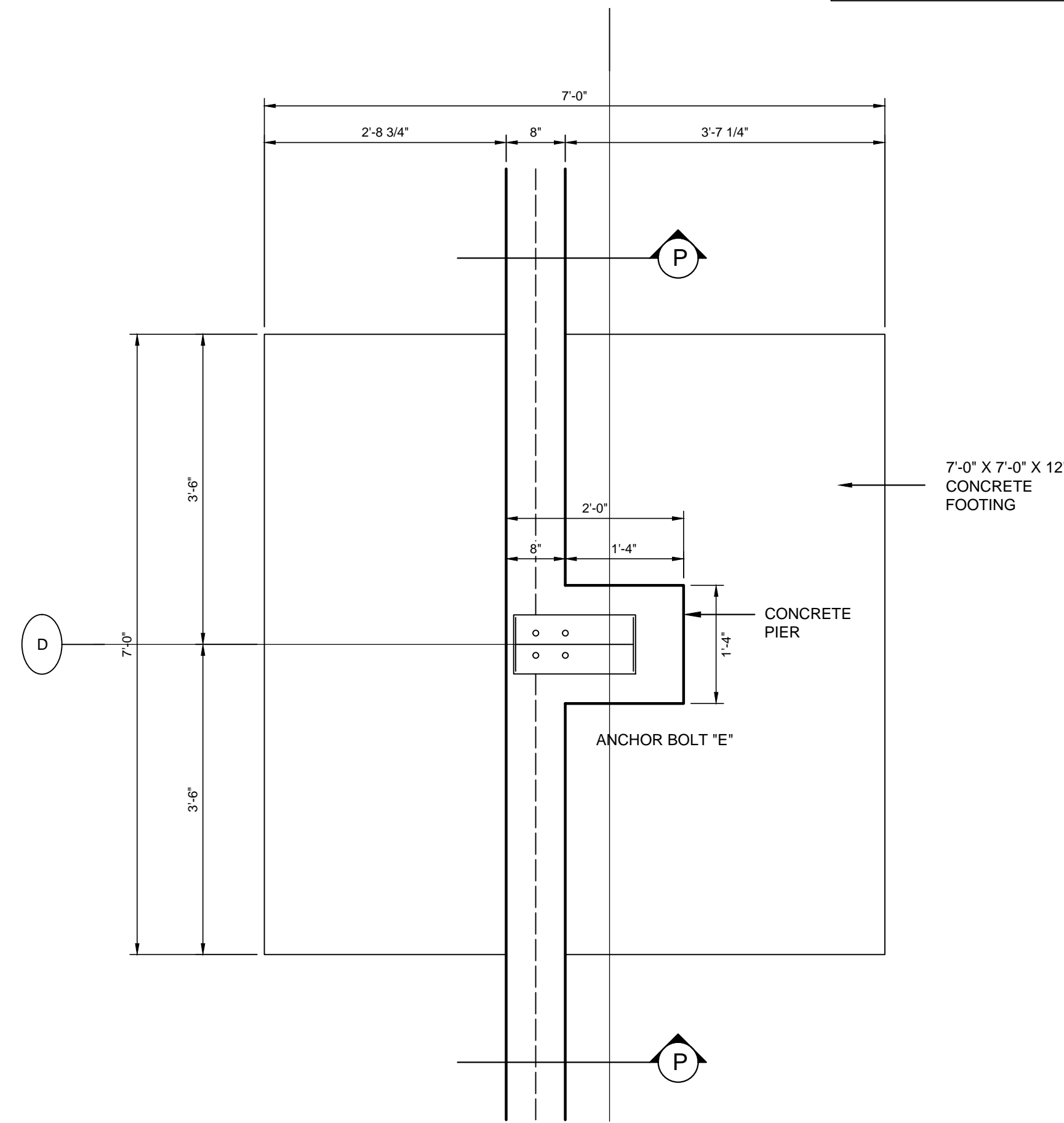
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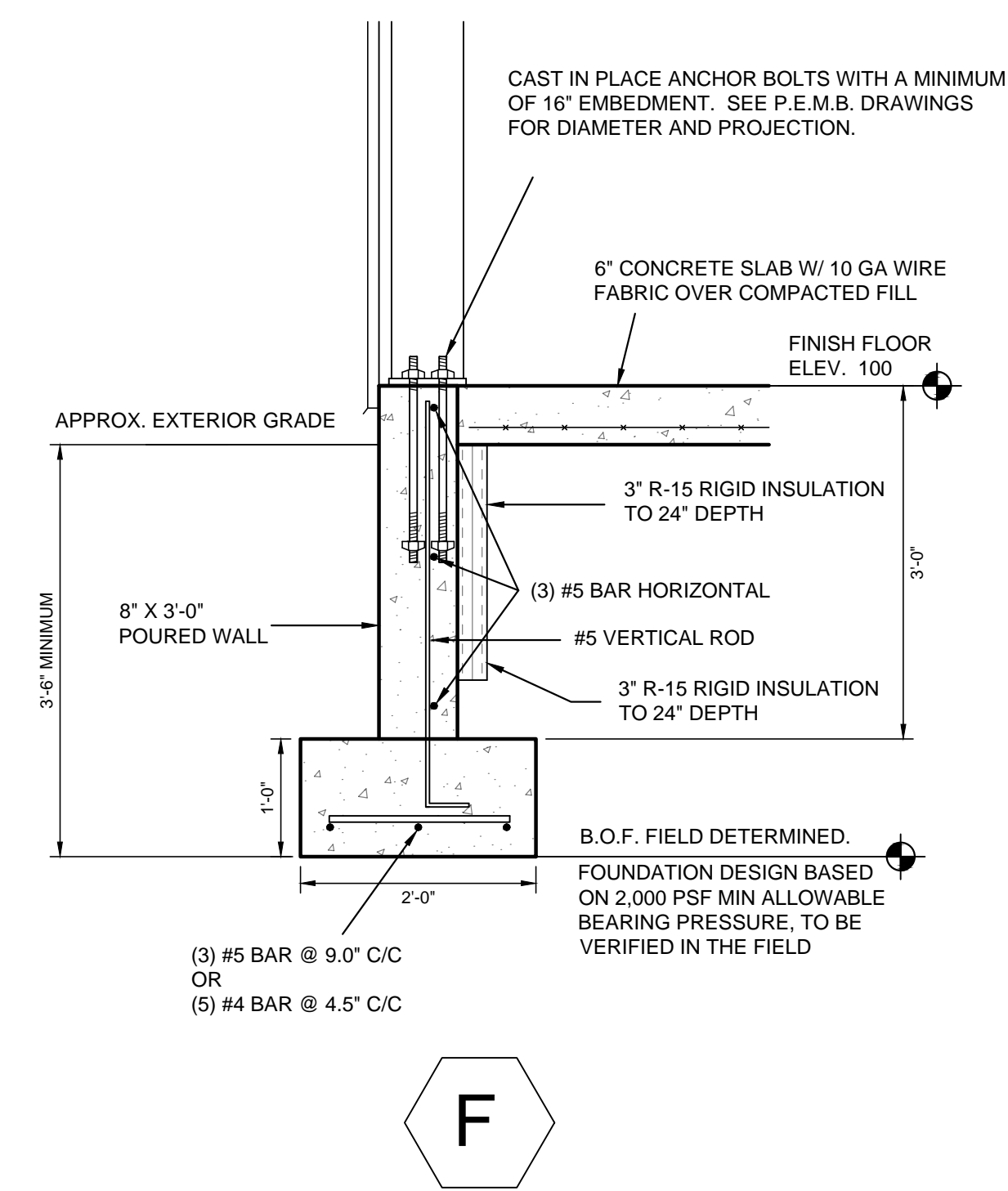
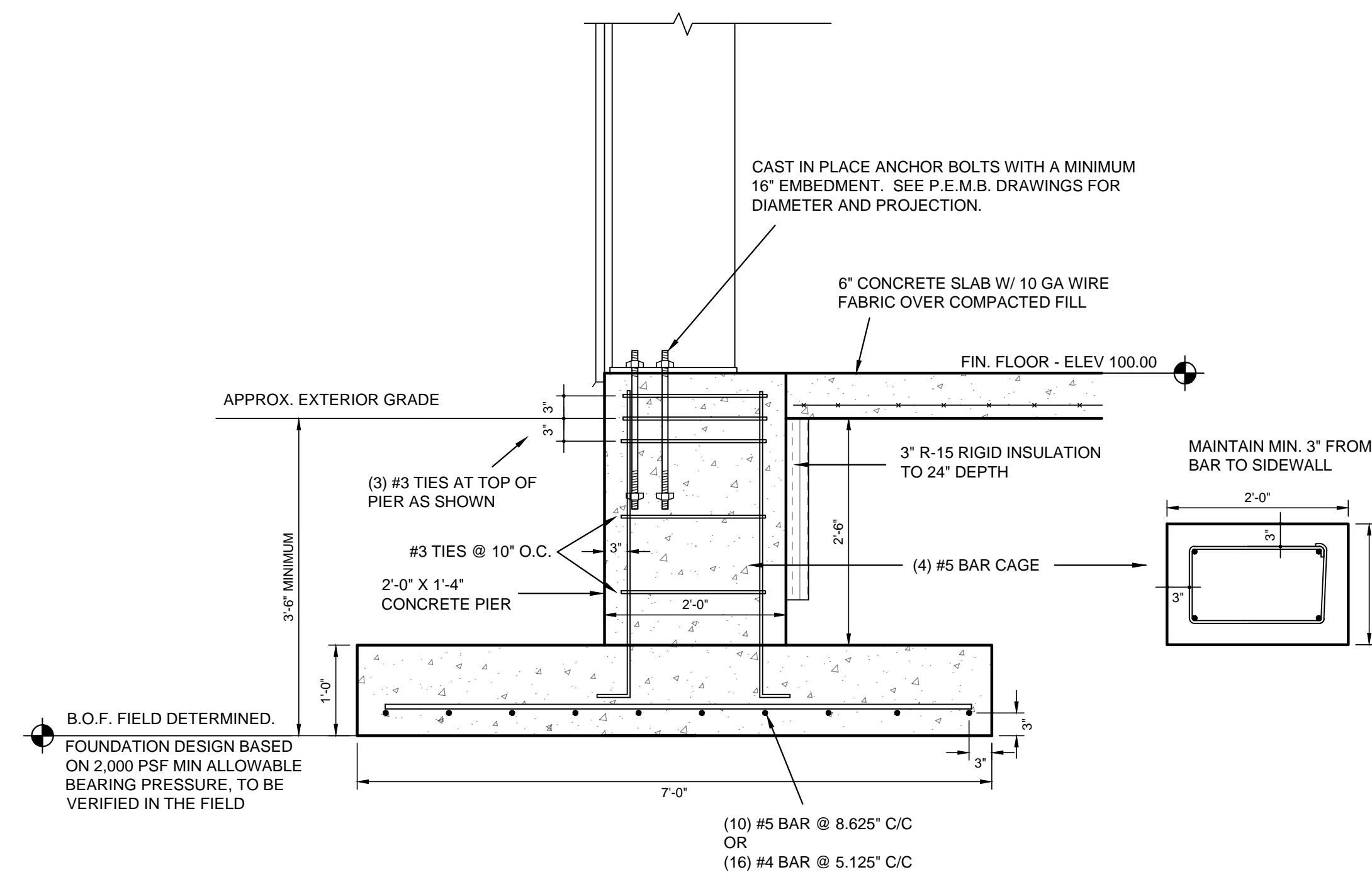
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F-5

SEE P.E.M.B. MFG DRAWINGS FOR BOLT SIZES, LOCATIONS AND PLACEMENT



CONCRETE SPECIFICATION

- CONCRETE COMPOSITION: CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, FINE AGGREGATE, COARSE AGGREGATE, WATER AND APPROVED ADMIXTURE(S) TO OBTAIN STRENGTH, WORKABILITY AND AIR-ENTRAINMENT AS FOLLOWS:
- EXTERIOR CONCRETE MINIMUM STRENGTH: (CURBS, GUTTERS, SLABS, WALKS). NOT LESS THAN 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS
 - FOUNDATION AND FOOTING MINIMUM STRENGTH: NOT LESS THAN 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS
 - INTERIOR CONCRETE SLAB MINIMUM STRENGTH: NOT LESS THAN 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS
 - MAXIMUM SLUMP: 3" INTERIOR SLABS ON GRADE AND EXTERIOR CONCRETE (PLUS OR MINUS 1"). FOOTINGS AND FOUNDATIONS - 4" (PLUS OR MINUS 1")
 - MAXIMUM 1 GAL OF WATER PER YARD OF CONCRETE MAY BE ADDED ON SITE BEFORE SLUMP TEST. ANY CONCRETE NOT MEETING THESE REQUIREMENTS IS TO BE REJECTED AND THE TRUCK THAT BROUGHT THE REJECTED LOAD CANNOT RETURN FOR 24 HOURS.
 - AIR CONTROL: INTERIOR CONCRETE SHALL NOT CONTAIN MORE THAN THREE PERCENT (3%) ENTRAINED AIR. EXTERIOR CONCRETE SHALL CONTAIN SIX PERCENT (6%) ENTRAINED AIR, PLUS OR MINUS ONE PERCENT (1%)
 - ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 42" BELOW FINAL GRADE
 - ALL FOOTINGS SHALL REST ON UNDISTURBED AND FROST FREE SOIL.
 - LAP REINFORCING STEEL A MINIMUM OF 30 DIAMETERS
 - DESIGN CRITERIA: ASSUMED SOIL BEARING PRESSURE 2,000 PSF
 - CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 301 AND ACI 318
 - CONCRETE SHALL BE PLACED AND TESTED IN ACCORDANCE WITH ACI 305 "HOT WEATHER CONCRETING" AND ACI 306 "COLD WEATHER CONCRETING"
 - ALL REINFORCING BARS, DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING OF CONCRETE
 - SLAB CONTROL JOINTS SHALL BE INSTALLED WITH JOINT FORMERS WHEN THE SLAB IS POURED OR THE SLAB WILL BE SAWCUT WITHIN 12 HOURS OF POURING
 - CONSTRUCTION JOINTS AT A MAXIMUM SPACING IN FEET OF THREE TIMES SLAB THICKNESS IN INCHES EACH WAY, EXCEPT AS NOTED. MAINTAIN AN ASPECT RATIO OF NOT MORE THAN 1.5. CONCRETE SHALL BE PLACED CONTINUOUSLY SO THAT UNIT WILL BE MONOLITHIC IN CONSTRUCTION. JOINTS NOT SHOWN OR SPECIFIED SHALL BE SO LOCATED AS TO LEAST IMPAIR STRENGTH AND APPEARANCE OF WORK. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONSTRUCTION JOINTS.
 - CONTROL JOINTS: CONCRETE SHALL BE PLACED CONTINUOUSLY SO THAT UNIT WILL BE MONOLITHIC IN CONSTRUCTION. JOINTS IN FLOOR SLABS SHALL BE LOCATED SO AS TO LEAST IMPAIR STRENGTH AND APPEARANCE FOR WORK. TYPICALLY CONTROL JOINTS SHALL DIVIDE FLOOR SLABS INTO APPROXIMATELY SQUARE UNITS OF ABOUT TWO HUNDRED SIXTY SQUARE FEET (260 S.F.) AREA. SAWCUT JOINTS TO 25% OF SLAB THICKNESS.



E

FOUNDATION DETAILS
SCALE: 3/4" = 1'-0"

FOUNDATION DESIGN BASED ON A PRESUMPTIVE MINIMUM SOIL BEARING VALUE OF 2,000 PSF. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY SOIL BEARING CAPACITY

DESIGN/BUILD BY:
COLLINS DESIGN/BUILD
9325 S. MERIDIAN RD.
CLARK LAKE, MICHIGAN 49234
PH 517-529-0089

OWNER:
SINCLAIR DESIGNS & ENGINEERING
1104 INDUSTRIAL AVE
ALBION, MI 49224

PROJECT ENGINEER:
MORAN ENGINEERING SERVICES, LLC
PH 517-812-5277

DRAWN BY:
JACK SHELBY, INC.
PH 517-250-4831

PROJECT:
PRE-ENGINEERED METAL BUILDING ADDITION TO EXISTING MANUFACTURING FACILITY
1104 INDUSTRIAL AVE
ALBION, MI 49224

ISSUE: 1
DATE: 01/25/21

TITLE:
FOUNDATION DETAILS

SHEET NO:
F-6

Albion Economic Development Corporation

To: EDC Board of Directors
From: Amy Deprez & Christine Bowman
CC:
Date: May 6, 2021
Re: Economic & Community Development Report

The activity that is grayed out is ongoing and has not had any pertinent updates since the last report. Any updated/new information will be in normal print.

Economic Development

Business Retention/Expansion/Attraction

Retention

- Bowman and Brenda Stewart, Region 8 MEDC Business Development Manager, attended a virtual retention visit with Sinclair Designs & Engineering.
 - [Sinclair Designs & Engineering](#): They currently have 15 employees; with almost completed facility expansion and depending upon contract work, they may need to add 2-3 welding positions. Their employee retention rate is high, but when searching for new hires they are experiencing the same employee recruitment issues as other employers, lack of qualified candidates. [Power Home Solar](#) is currently their largest customer, has doubled their business with SDE in one year.
- Bowman continues to communicate with our manufacturing/industrial community with bi-monthly email blasts featuring training, workforce and business development, and other opportunities and resources for employers to retain and attract employees.
- Bowman continues to post 2-3 times a week open positions in all business sectors, targeting those opportunities within 10 miles of Albion.
- Knauf – In follow up to Dr. Johnson’s presentation last month and discussions in the community relative to housing, Bowman confirmed with Knauf the need for the railroad spur that runs along side of the 500 Berrien Development Site. The company owns a portion of the spur as it nears Decker Manufacturing and Knauf and has indicated that it would be detrimental to their growth for the spur to be closed.

Expansion & Attraction

- MEDC Site Readiness Grant for creation of Master Site Development Plan for the EDC owned 1917 E Michigan Ave (AKA 425 Parcel): City is awaiting receipt of the grant agreement in May. Once received and executed, funds will be released, and Wightman Associates can commence work on the Master Site Development Plan.
- 902 Burstein Dr (Trident/Greenwell Biomedicals): Operational start anticipated for April 2021 was delayed due to delay in installation of electrical transformer. Bowman connected Trident/Greenwell Biomedicals with Corey Utley, Economic Development Manager for

Consumers Energy. Utley was able to assist in getting the transformer installation expedited. Trident/Greenwell can now complete construction and prepare for marihuana related State inspections in the next few weeks, with plans for a mid-summer operational start.

- River Fork Solar Project: Bowman has been communicating regularly with Nick Edgmon, Swinerton Renewable Energy, the construction firm working with Ranger Power to build the project. They are still in the preconstruction/design phase and have not yet started permitting. Swinerton is targeting late summer 2021 to start construction. Over the next 2-3 months, EDC and Swinerton will begin discussing specific workforce needs and employee recruitment.
- 2021 Site Selection RFP & General Site Inquiries:
 - MEDC Site Selection RFP'S (Submitted online via ZoomProspector): EDC responded to 10 RFP's regarding For Sale or For Lease industrial buildings or industrially zoned vacant land. The EDC submitted 1 site for consideration. Albion had no buildings or vacant land that met the minimum site requirements for 7 of the requests, 2 of the requests we could not respond to as Albion was outside of the specified geographic target area.
 - General Inquiries (By email, phone, referral from business or community members, Facebook): EDC responded to 4 requests regarding For Lease or For Sale commercial or industrial buildings or vacant land in Albion. One interested party was provided a Property Information Packet (PIP) on the EDC owned Sheridan 425 Parcel. We provided others with information regarding available lots in the Albion Industrial Park or connected them directly with building or vacant landowners with available properties that might meet their needs.

Entrepreneurial & Small Business Development

- Dream.Build.Rise – Staff continues to work on the enhanced entrepreneurial programming, which is being branded dream.build.rise. The first cohort class is expected to start in June 2021, and we are working on recruitment of minority and women owned entrepreneurs to fill that cohort. Additionally, staff is drafting consulting agreements for Justin Andert and Boss Up to document expectations and responsibilities for the dream.build.rise programming. If Board Members are aware of any minority or women owned small businesses that would benefit from this programming, please refer them to Christine Bowman or myself.
- On April 19, the EDC hosted a webinar facilitated by the SBA Michigan District Office to educate for-profit and non-profit small business owners about updates to the Protection Program (PPP), Economic Injury Disaster Loans (EIDL), and discuss other SBA resources and services from SBA partners to help small business recover from the pandemic. There were 89 attendees on the webinar.
- The [Evie and Annie Boutique](#), women's clothing store, opened at 414 S Superior St.
- Consumers Energy is now offering a small business information tool called Size Up. Bowman attended a presentation on the resource, and we will be including it as part of the resources available for entrepreneurs. A tool resource sheet is attached.

Broadband Access

- W.E. Upjohn Institute has received a grant to study broadband access in the SW Michigan region. Upjohn is also already working with a small group in Calhoun County that recently contracted with [Merit Network](#) to assess broadband access throughout the County. Albion College has provided funding and is very involved in the endeavor with Merit. Calhoun County is forming additional work groups around building broadband access. The EDC will participate in one of those work groups. *Broadband access is both an economic and community development issue.

Community Development

The activity that is grayed out is ongoing and has not had any pertinent updates since the last report. Any updated/new information will be in normal print.

Downtown Development

- **Brick Street Lofts (ACE Investments)** – The BRA received the reimbursement request for this project on April 27, 2021 and will be beginning the certification process. Once complete, the Board will be asked to approve the certified costs and future increment will be paid out against the approved costs until all costs are paid. This redevelopment project (404-414 S. Superior Street) resulted in 3 jobs, 8 rehabbed residential units being added to the community housing stock (6,879 sf. ft.), and 695 sq. ft. of commercial/retail space being redeveloped.
- **Big Albion Plan (ARC)** – The Big Albion Plan (\$19 million investment / 57 apartments / 22 commercial units) is on track for development starting in 2022. ARC has a letter of intent from one major investor and still has 55% of the funding to acquire. Once the funding is in place, final architectural design work will be completed. They continue to meet with MEDC on a regular basis to share progress as this project moves along.

Housing Development

- **Project Green (Zero Plus Team)** – Zero Day has submitted a proposal to the City for development of the Urban Renewal and requesting land control. The City Council will consider this request along with two residents who wish to acquire portions of the assembled land for side lots. The City/EDC have worked with Zero Day since mid-2019 and feel there is real momentum with this project and several State departments. The proposal estimates 24 single family homes and 2 multi units, each with 36 units, and a trades training program onsite. The project is expected to have green elements and promote a walkable neighborhood. The home ownership component will encourage partnerships with the Veteran housing, Habitat for Humanity, and other key members of the housing industry. Both Vicky Clark and Al Smith played a part in getting this company interested in Albion.
- **500 Berrien** – A meeting was held in early April to discuss the findings from recent testing on the site, paid for by the EPA grant under the CCLBA/BC/Albion Coalition. The full report is available for interested developers and shows there are direct contact concerns in soil and water above required criteria, however the soil vapor numbers came back below the criteria. The environmental concerns for this site are manageable, and the BRA highly suggests that any developer interested in the site have experience and resources to handle a Brownfield redevelopment.
- **Place Plans** - In discussions with several of the developers interested in housing projects, there has been significant talk about the type of housing that would be envisioned for the various sites. As the Board knows, housing is a critical need in Albion and there really is not any housing type that is not needed. However, for a site, like 500 Berrien, where the parcel is larger and has various interested parties – it has been recommended that the EDC put together a place plan for the development sites. Place Plans are typically used for public spaces to gather input on what the community would like to see for a specific site. A similar approach can be done for development sites – gaining input from community members and stakeholders to identify the types of housing that would best fit the neighborhood and needs of the community. This gives interested developers a leg up on designing the proposed project – and instead of starting at zero they can design a project that the community has already shared is their vision for the site. The EDC will be taking on a pilot program for two of our development sites, with 500 Berrien being one of the chosen sites.

- **Wildflower Crossing** – The first homeowners for the community have closed on their purchase. Four Leaf Properties acquired the shuttered manufactured home park, Westover, and is developing an enhanced community – Wildflower Crossing. The community will include a community center and feature mainly 3-4 bedroom homes, ranging from approximately \$850 per month inclusive of home and land rent. To see the home options and for more information, please follow the link - <https://www.fourleafprop.com/virtual-home-tours/> .
- **Project HARRINGTON (Inheritance Development)** – This development is for 4 new single-family homes (3 Bed / 2.5 Bath) in the Harrington Development Corridor. A Pre-Sale Event was launched in November 2020, and to date no homes have been sold. The developer has met with Albion College, Dr. Johnson, to discuss options to make this opportunity available to faculty and staff that would qualify for the \$50,000 Harrington incentive. The EDC and Homestead Bank has worked with this developer for 2 years on getting the project to the pre-sale stage. The importance of this project is that it will set the market for new construction in the community and allow for adequate comp information for financing of new construction. As of an update with the developer the end of March, they are interested in understanding why the homes have not been spoken for yet, especially in a community where the housing stock is older and the need for new offerings is apparent.
- **Project HOPE** – This project is with a confidential client that EDC has worked with for the last couple of years. He is an alum of the college that wants to see Albion thrive. He has experience in mixed-use development and housing projects and has done a couple in Michigan already. His team is interested in four different projects currently, senior housing is one of them. Staff works with the team to pursue all options with the intent that one or two will come to the top and the team will pursue those in full force. The client recently met with the college to discuss a housing project with them, that if it materializes, would be the “anchor” project needed to bring his development to our community. Deprez followed up with property information on downtown buildings that may be available for development.
- Under the Community tab on the Main Menu of the EDC website, a Housing Development Projects page has been added. The page features brief information and links to marketing materials for new, single family home development projects. *Housing availability is both an economic and community development issue.

Miscellaneous Community Development

- **600 Block Austin (611, 617, 619 Austin Ave)** Through assistance from EGLE, we now have a Due Care Plan for the 600 Block of Austin that will give prospective developers much needed information. EDC has received approval from the Planning Commission to combine these three parcels into one and is currently going through the County tax search before that can happen.
- Bowman continues to share via bi-monthly email blasts to Council/Community Stakeholders/Non-industrial Business/Community Organizations a broad range of information about small business development and management resources and funding opportunities, housing development, community development related issues and grant opportunities, and job and skills training resources and programs for employers and job seekers.

Albion Small Business Pandemic Response Fund

- **21 Applications Requested**

- 4 Funded (Palmer House, Kids 'N' Stuff, Pure Albion, Bohm)
- 4 Denied/Withdrew
- 4 Pending Complete Application Packages
- 9 Applications Out / No Response

- **Funding Update**

Program	Amount Approved, Pending Closing	Closed & Funded	Available Balance
Micro-Grant	\$0	\$0	\$10,000
Pandemic Grant	\$0	\$12,800	\$7,200
Rent/Mortgage Loan	\$0	\$0	\$50,000
Pandemic Loan	\$0	\$0	\$100,000

Consumers Energy wants to help you learn things about your business that you may not have known, and potentially discover new opportunities. That's why we're providing our Michigan family of small businesses with complimentary access to SizeUp, a business intelligence tool.

Learn Your Business Ranking

Whether you are a business owner or entrepreneur, you can enter information to:

- Determine your business ranking against industry competitors
- Validate or test your assumptions about future performance
- Gain access to millions of data points providing an objective analysis in an easy to understand display of charts, tables and maps
- Information is hyper-local and industry-specific

Discover Customers, Suppliers, and Competitors

- Gain access to lists of potential customers, discover new suppliers and better understand the competitive landscape
- Lists provide business contact information and are displayed geographically
- Businesses that sell directly to consumers can access information about disposable income and consumer spending, eliminating the need to rely on outdated business development processes

Optimize Advertising

Using powerful, customizable business and demographic data, SizeUp has the ability to reveal optimal places to target marketing efforts. Choose from pre-set reports to find:

- Areas with highest industry revenue
- Underserved markets
- Where average business revenue is highest

