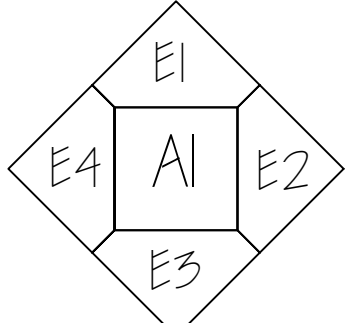

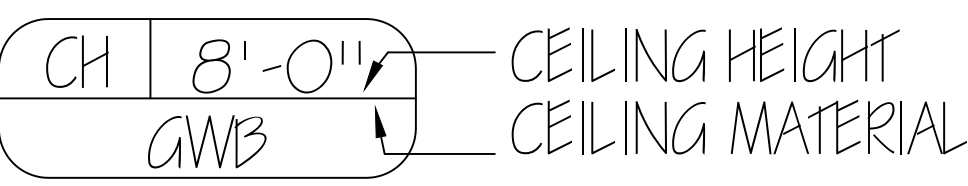




TAGS & SYMBOLS


 ELEVATION TAG


 ROOM NAME & NUMBER


 CEILING HEIGHT
CEILING MATERIAL


 SECTION MARKER


 WINDOW NUMBER


 DOOR NUMBER


 FINISH MARK


 DEMOLITION NOTE


 PARTITION TYPE

 ELEVATION

 EXISTING CONSTRUCTION TO REMAIN

 EXISTING CONSTRUCTION TO BE REMOVED

 NEW LOW HEIGHT PARTITION

 NEW CONSTRUCTION

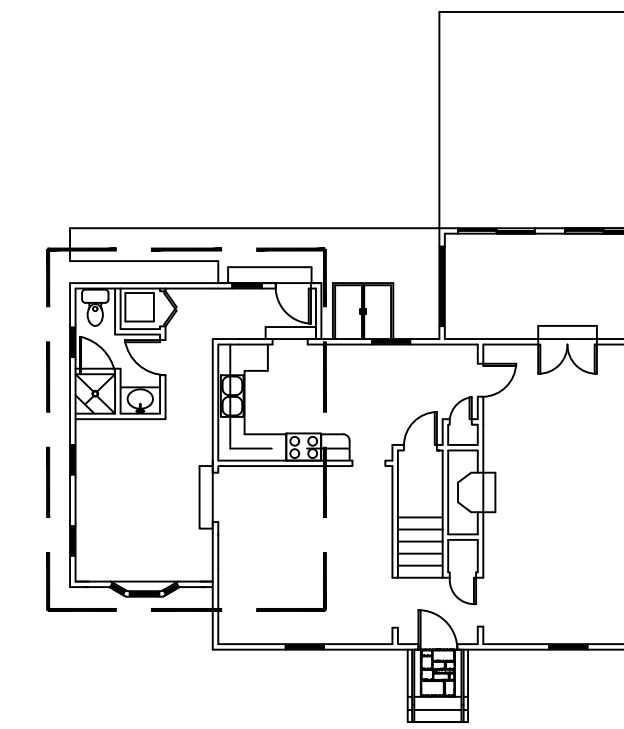
GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITIONS. ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISHED TO TO FINISHED FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR OR "HOLD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF ALL FINISHES.
- ALIGN MEANS TO ACCURATELY LOCATE FINISHED FACES IN SAME PLANE.
- ALL CONSTRUCTION SHALL CONFORM TO THE GOVERNING CODES & AS ADOPTED & AMMENDED BY LOCAL ORDINANCES.
- COORDINATION OF ALL PHASES OF CONSTRUCTION TO BE THROUGH OWNER.
- G.C. TO COORDINATE WORK BY SEPARATE SUBCONTRACTORS RETAINED BY OWNER IN ORDER TO MEET PROJECT SCHEDULES.

DIVISION OF WORK

ITEM	DESCRIPTION	FURN		INST	
		OWNER	GEN. CON.	OWNER	GEN. CON.
01	GENERAL REQUIREMENTS As req. - local building department				
	1. Permits and Fees		●		●
	2. Inspections		●		●
	3. Temporary Heat		●		●
	4. Temporary Electrical		●		●
	5. Construction Barricade		●		●
	6. Clean Up		●		●
	7. Insurance		●		●
	8. Job Phone and fax		●		●
02	SITE WORK				
	1. Saw cut slab		●		●
03	CONCRETE				
	1. Concrete/ Floor Leveling.		●		●
	2. Concrete Slab		●		●
	3. Concrete		●		●
04	WOOD				
	1. Wood Studs		●		●
	a. Interior Partitions		●		●
	b. Furring		●		●
	c. Demising walls		●		●
05	MOISTURE CONTROL				
	1. Caulking		●		●
	2. Sealants		●		●
06	DOORS & WINDOWS				
	1. Doors and Frames		●		●
	2. Door Hardware		●		●
07	FINISHES				
	1. AMB		●		●
	2. Gypsum Board on Other Interior Partitions		●		●
	3. Floors		●		●
	a. Tile and Adhesive through out		●		●
	b. Transition Strip		●		●
	c. Transition Strip adhesive		●		●
	4. Walls		●		●
	a. Paint		●		●
	5. Base		●		●
	a. Wood Base		●		●
	6. Existing Ceiling and Structure		●		●
	a. Paint		●		●
08	SPECIALTIES				
	1. Toilet Accessories (Toilet/ Vanity, etc)		●		●
	2. Stackable Washer/ Dryer		●		●
09	MECHANICAL				
	1. Exhaust Fans		●		●
	2. Plumbing (Toilet, Laundry Room)		●		●
	3. Smoke detectors		●		●
	4. Thermostats		●		●
10	ELECTRICAL				
	1. Light Fixtures (See A2; RCP and Light Fixture Schedule)		●		●

PROJECT



DRAWINGS

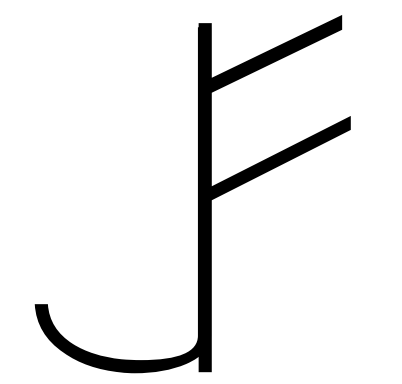
T1	TITLE SHEET	
AO	SITE PLAN	2
D1	DEMOLITION PLAN	3
A1	CONSTRUCTION PLAN	4
A2	REFLECTED CEILING PLAN	5
A3	INTERIOR ELEVATIONS	6
A3.1	INTERIOR ELEVATIONS	7
A3.2	INTERIOR ELEVATIONS	8
A4	EXTERIOR ELEVATIONS (FRONT)	9
A4.1	EXTERIOR ELEVATIONS (SIDE)	10
A4.2	EXTERIOR ELEVATIONS (REAR)	11
A5	EXTERIOR SECTIONS	12

PROJECT DIRECTORY

OWNER

INTERIOR DESIGNER
JF INTERIORS

GENERAL CONTRACTOR
TBD



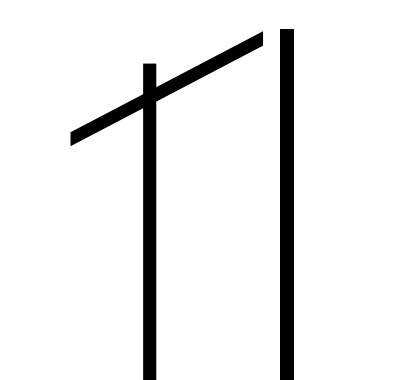
INTERIORS

	JF	4-16-02	PERMIT/ CONSTR
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No.	By	Date	Description

WOBURN RESIDENCE
WOBURN, MA 01801

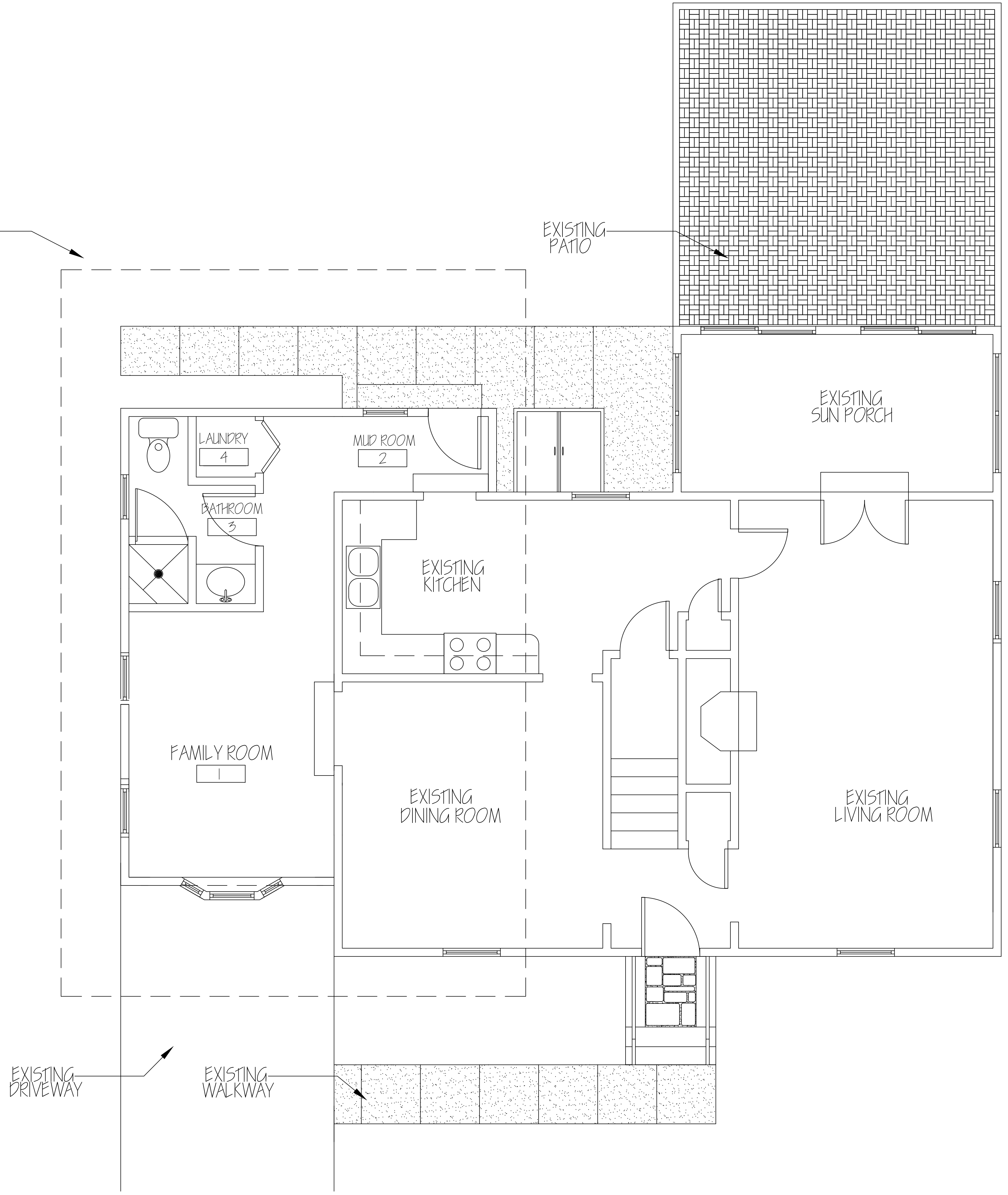
TITLE SHEET



SHEET 1 OF 12

AREA OF WORK

EXISTING PATIO



EXISTING DRIVEWAY

EXISTING WALKWAY

JF

INTERIORS

No.	By	Date	Description
JF		4-16-02	PERMIT/ CONSTR

No.	By	Date	Description

WOBURN RESIDENCE
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SITE PLAN

AO

SITE PLAN

NTS

1
AO

SHEET 2 OF 12

GENERAL DEMOLITION NOTES

THE G.C. SHALL BE RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR COMPLETION OF THE WORK. DEMOLITION ITEMS HAVE BEEN LISTED HEREIN FOR THE PURPOSE OF DESCRIBING THE OVERALL SCOPE OF DEMOLITION. THE LIST IS NOT INTENDED TO CALL OUT EVERY ITEM TO BE REMOVED. OMISSION OF ITEMS DOES NOT RELIEVE THE G.C. FROM RESPONSIBILITY FOR ALL REQUIRED DEMOLITION. NOT ALL ITEMS ARE DRAWN.

THE G.C. SHALL BE RESPONSIBLE FOR MISCELLANEOUS DEMOLITION SUCH AS ELECTRICAL PASSES. THE G.C. SHALL BE RESPONSIBLE FOR PATCHING ALL AREAS OF MISCELLANEOUS DEMOLITION TO MATCH EXISTING FINISH.

THE G.C. AND ALL SUBCONTRACTORS SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SPACE DAILY. THE G.C. SHALL BE RESPONSIBLE FOR RENTAL OF AND PAYMENT FOR DUMPSTER.

THE G.C. SHALL LEAVE IN PLACE ALL ITEMS NOTED TO REMAIN. ALL ITEMS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION. ITEMS DAMAGED DURING DEMOLITION SHALL BE REPAIRED OR REPLACED BY THE G.C. AT THE G.C.'S EXPENSE.

DEMOLITION NOTES AND DRAWINGS MUST BE USED IN COORDINATION WITH CONSTRUCTION DOCUMENTS. COORDINATE DEMOLITION WORK WITH REQUIREMENTS OF NEW CONSTRUCTION.

ITEMS TO REMAIN


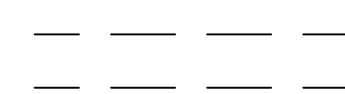
(ALL ITEMS TYPICAL THROUGHOUT UNLESS SPECIFICALLY NOTED ON DRAWINGS.)

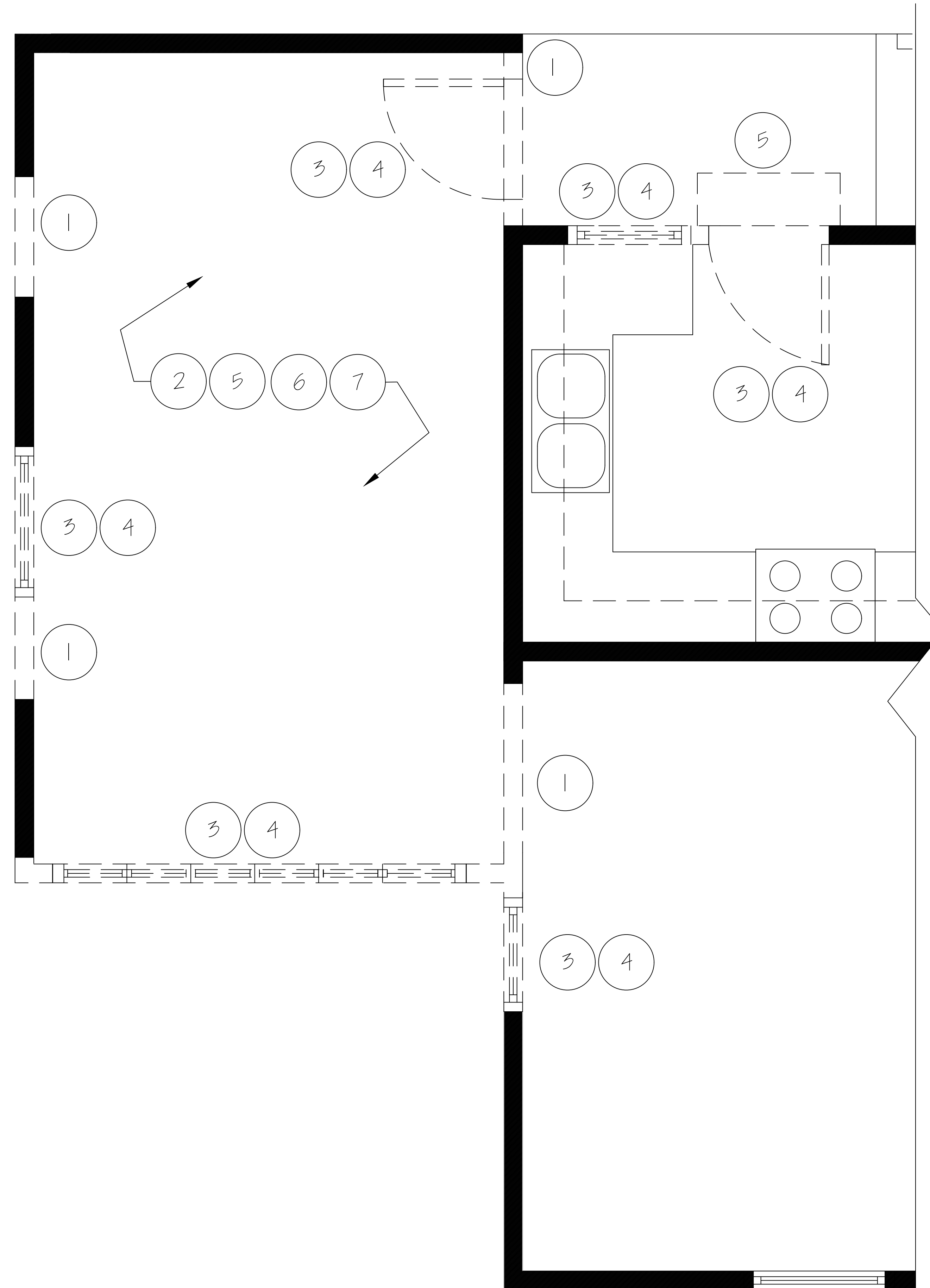
- A. EXISTING CONCRETE SLAB TO REMAIN.
- B. EXISTING DEMISING WALLS INCLUDING GMB SURFACES ARE TO REMAIN UNLESS NOTED OTHERWISE. PATCH AND REPAIR TO PROVIDE A SMOOTH SURFACE FOR NEW FINISHES.

ITEMS TO BE REMOVED

1. REMOVE ALL EXISTING PARTITIONS INDICATED BY DASHED LINES ON THE DEMOLITION PLAN AND ALL EXISTING PARTITIONS NOT SHOWN TO REMAIN ON FLOOR PLAN. VERIFY CONDITIONS AT SITE.
2. REMOVE ALL EXISTING CEILING BUILDOUTS.
3. REMOVE ALL FINISH CARPENTRY - CASING AND TRIM WHERE INDICATED.
4. REMOVE ALL DOORS, WINDOWS AND FRAMES INDICATED BY DASHED LINES ON THE DEMOLITION PLAN AND NOT SHOWN TO REMAIN ON FLOOR PLAN.
5. REMOVE ALL FLOOR FINISHES ON CONCRETE SLAB. PROVIDE CLEAN CONCRETE SURFACE TO RECEIVE NEW FLOOR FINISHES.
6. REMOVE ALL ELECTRICAL EQUIPMENT NOT TO BE USED FOR NEW LAYOUT.
7. REMOVE ALL WALL MOUNTED MATERIALS INCLUDING FURRING, TRIM AND WALLCOVERING TO EXPOSE EXISTING DEMISING WALL. PATCH AND REPAIR AS REQUIRED. PROVIDE A SMOOTH SURFACE FOR NEW FINISHES.

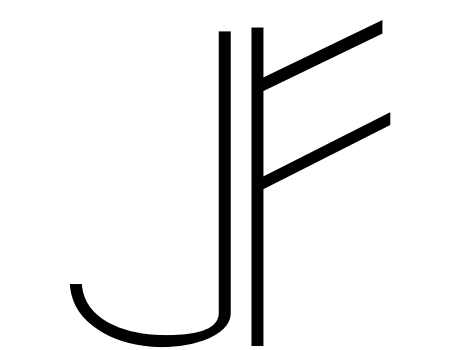
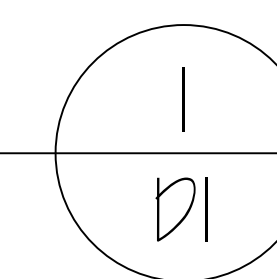
LEGEND

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED



DEMOLITION PLAN

1/4" = 1'-0"

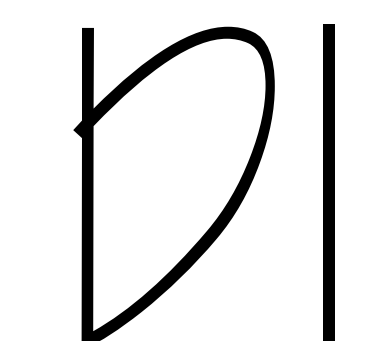


INTERIORS

	JF	4-16-02	PERMIT/CONSTR
No.	By	Date	Description




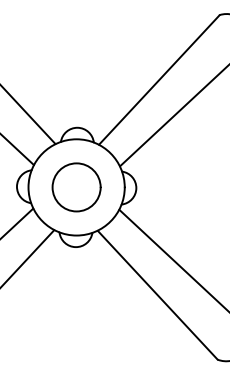
WONURN RESIDENCE
WOBURN, MA 01801

DEMOLITION PLAN



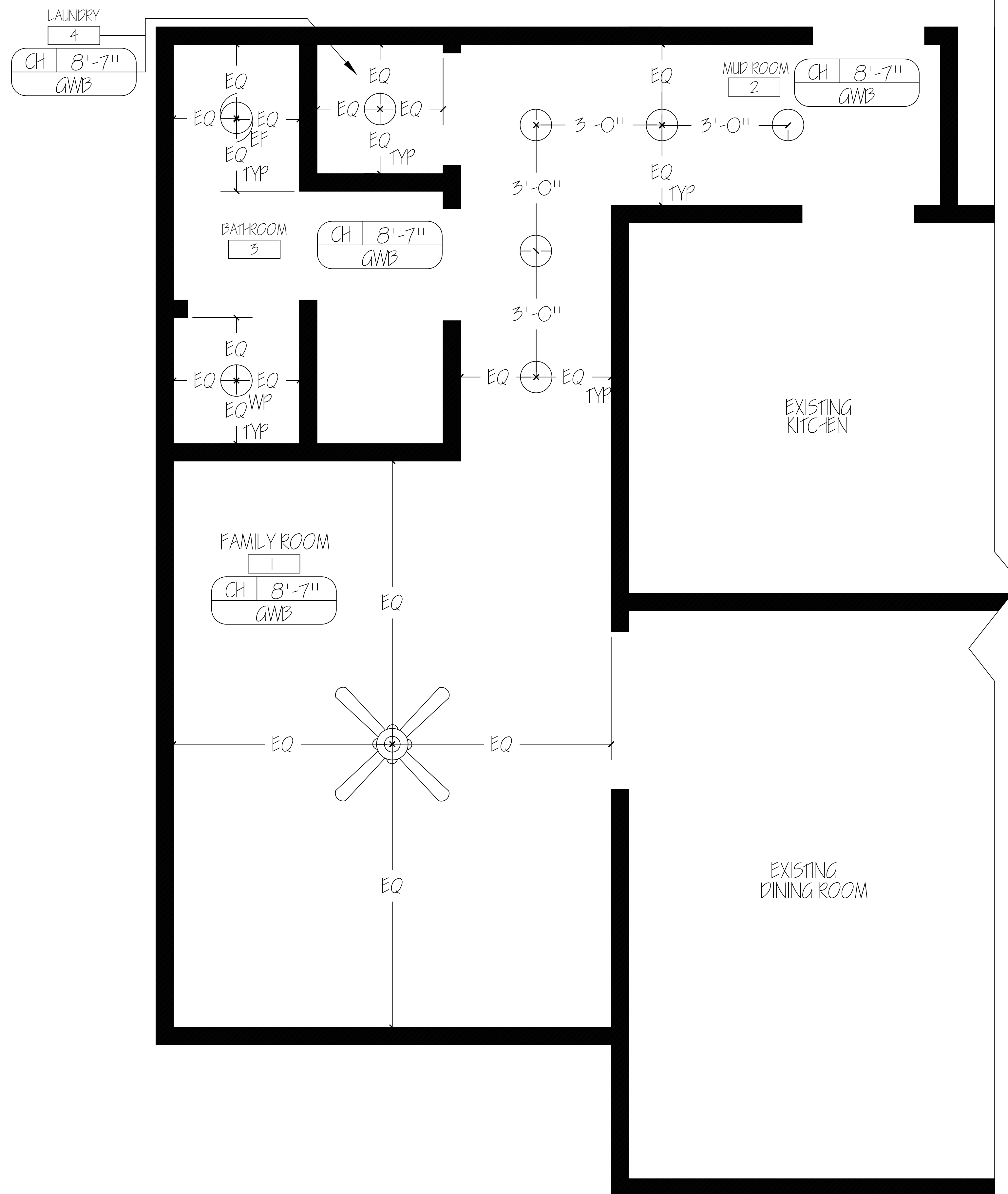
SHEET 2 OF 12

LIGHTING LEGEND

-  RECESSED LIGHT FIXTURE - PROVIDED BY OWNER
-  WATERPROOF RECESSED LIGHT FIXTURE - PROVIDED BY OWNER
-  RECESSED LIGHT FIXTURE W/ EXHAUST FAN - PROVIDED BY OWNER
-  CEILING FAN W/ LIGHT FIXTURE - PROVIDED BY OWNER

GENERAL RCP NOTES

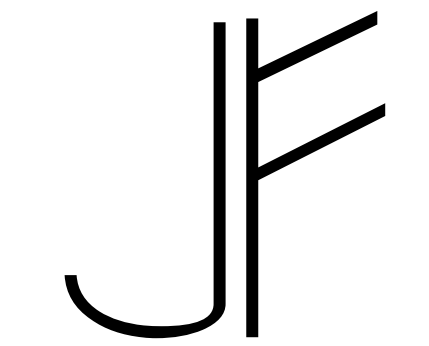
1. ALL LIGHT FIXTURES TO BE SUPPLIED BY OWNER AND INSTALLED BY G.C.
2. WHERE DIMENSIONS ARE CALLED OUT AS "EQ", LIGHT FIXTURE IS TO BE CENTERED WITHIN GIVEN SPACE.
3. ALL GWB CEILINGS ARE TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.



REFLECTED CEILING PLAN

1/4" = 1'-0"

1
A2



INTERIORS

JF	4-16-02	PERMIT/ CONSTR	
No.	By	Date	Description

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REFLECTED CEILING PLAN

A2

SHEET 5 OF 12

PARTITION TYPES

- A** DEMISING PARTITIONS
EXISTING PARTITION. MINIMUM 1 HOUR RATING. MAINTAIN INTEGRITY OF RATING. 5/8" TYPE "X" GWB ON BOTH SIDES OF STANDARD WOOD STUD AT 16" O.C. TO UNDERSIDE OF DECK.
- B** HALF HEIGHT PARTITIONS
NEW PARTITION. 1/2" TYPE "X" GWB ON BOTH SIDES OF STANDARD WOOD STUD AT 16" O.C. REFER TO ELEVATIONS FOR PARTITION HEIGHT.
- C** BATHROOM/LAUNDRY ROOM PARTITIONS
NEW PARTITION. 1/2" TYPE "X" GWB ON BOTH SIDES OF STANDARD WOOD STUD AT 16" O.C. TO UNDERSIDE OF SECOND FLOOR.
- D** SHOWER STALL PARTITIONS
NEW PARTITION. 1/2" TYPE "X" GWB (MOISTURE BARRIER TREATED) ON BOTH SIDES OF STANDARD WOOD STUD AT 16" O.C. TO UNDERSIDE OF SECOND FLOOR.

GENERAL NOTES

1. G.C. SHALL MARK LOCATIONS OF PARTITIONS, DOORS AND WINDOWS. G.C. SHALL COORDINATE AND VERIFY ALL SITE CONDITIONS TO ENSURE PROPER FIT OF ALL ELEMENTS.
2. UNDERCUT ALL DOORS TO CLEAR TOP OF FINISHED FLOOR BY 1/4" UNLESS OTHERWISE NOTED.
3. DIMENSIONS SHOWING LOCATIONS OF DOORS BY THE EDGE ARE TO THE INSIDE EDGE OF JAMB UNLESS OTHERWISE NOTED.
4. REFERENCE SPECIFICATIONS AND SCHEDULES FOR ROOM FINISHES, DOOR, WINDOW AND HARDWARE INFORMATION AND PARTITION TYPES.
5. G.C. TO REPAIR, REPAINT AND RESIDE PROPERTY DAMAGED DURING IMPROVEMENT.
6. G.C. TO SUPPLY ALL DUPLEX OUTLETS AND BASEBOARD HEATERS AS REQUIRED BY CODE.
7. G.C. SHALL CONSTRUCT ALL PARTITIONS IN ACCORDANCE WITH LOCAL GOVERNING AGENCIES.

WINDOW SCHEDULE

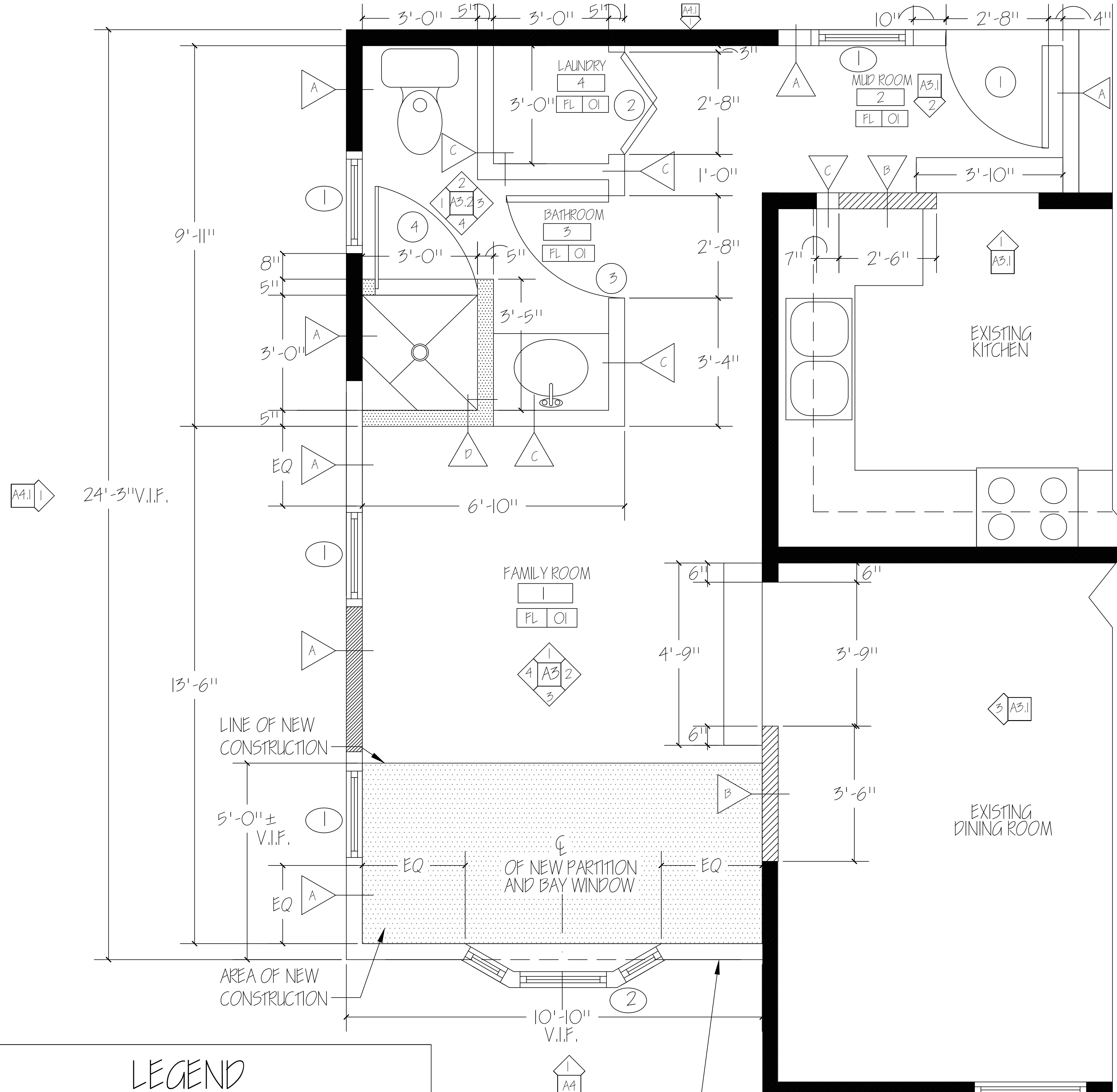
- ① - EXTERIOR WINDOW 4'-5" X 2'-3" - PROVIDED BY OWNER (TBD)
- ② - EXTERIOR BAY WINDOW - PROVIDED BY OWNER (TBD)

DOOR SCHEDULE

- ① - EXTERIOR ENTRY 2'-8" X 6'-9 1/2" X 1 3/4" - PROVIDED BY OWNER (TBD)
- ② - LAUNDRY DOOR (LOUVER STYLE) 2'-8" X 6'-9 1/2" X 1 1/4" - PROVIDED BY OWNER (TBD)
- ③ - BATHROOM DOOR 2'-8" X 6'-9 1/2" X 1 3/4" - PROVIDED BY OWNER (TBD)
- ④ - BATHROOM SHOWER STALL DOOR - PROVIDED BY OWNER. (TBD)

FINISH SCHEDULE

- FL | O1 - STONE TILE - PROVIDED BY OWNER (TBD)
- WD | O1 - WOOD BASE - PROVIDED BY OWNER (TBD)
- PT | O1 - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT | O2 - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT | O3 - CEILING PAINT - PROVIDED BY OWNER (TBD)



LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW LOW HEIGHT PARTITION
- NEW MOISTURE BARRIER PARTITION
- NEW CONSTRUCTION

NEW PARTITION TO ALIGN W/ EXISTING ROOF SOFFIT

CONSTRUCTION PLAN

1/4" = 1'-0"

1
AI

JF

INTERIORS

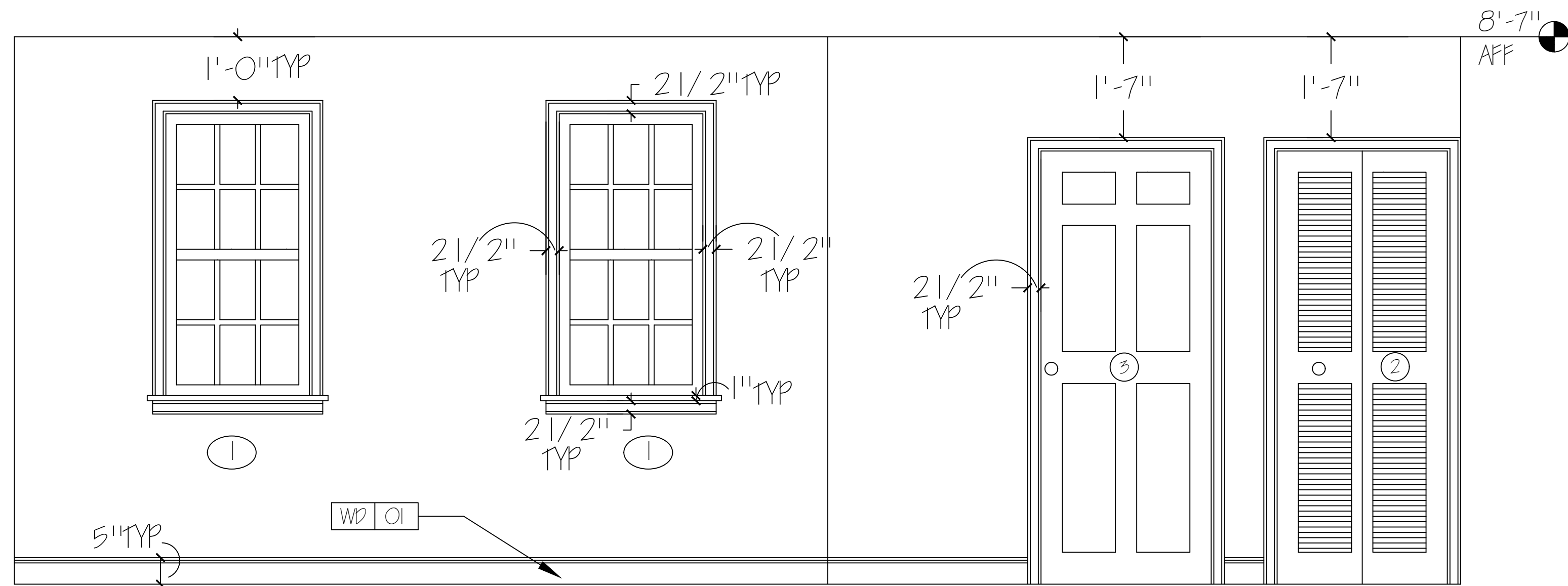
JF	4-16-02	PERMIT/ CONSTR	
No.	By	Date	Description

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CONSTRUCTION PLAN

AI

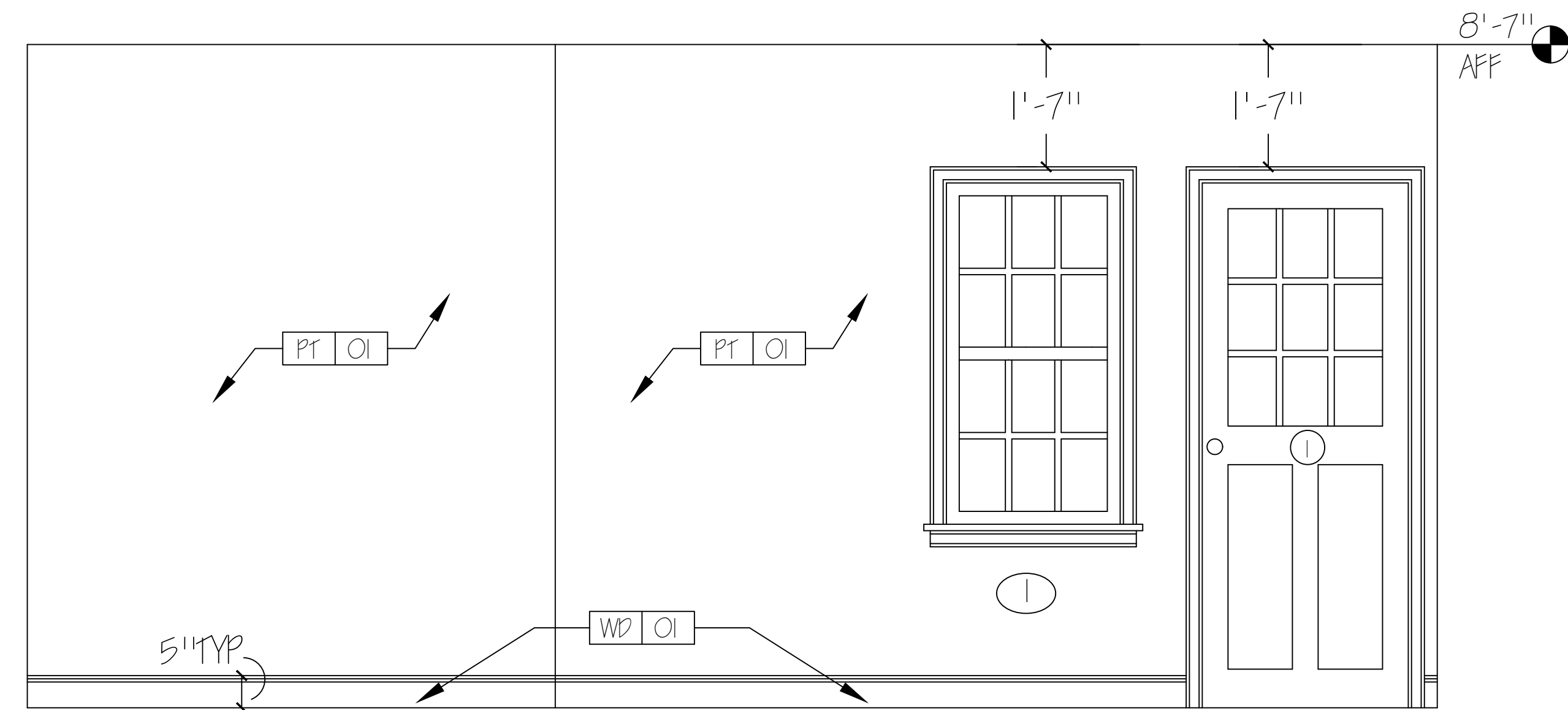
SHEET 3 OF 12



FAMILY ROOM ELEVATION (WEST)

1/4" = 1'-0"

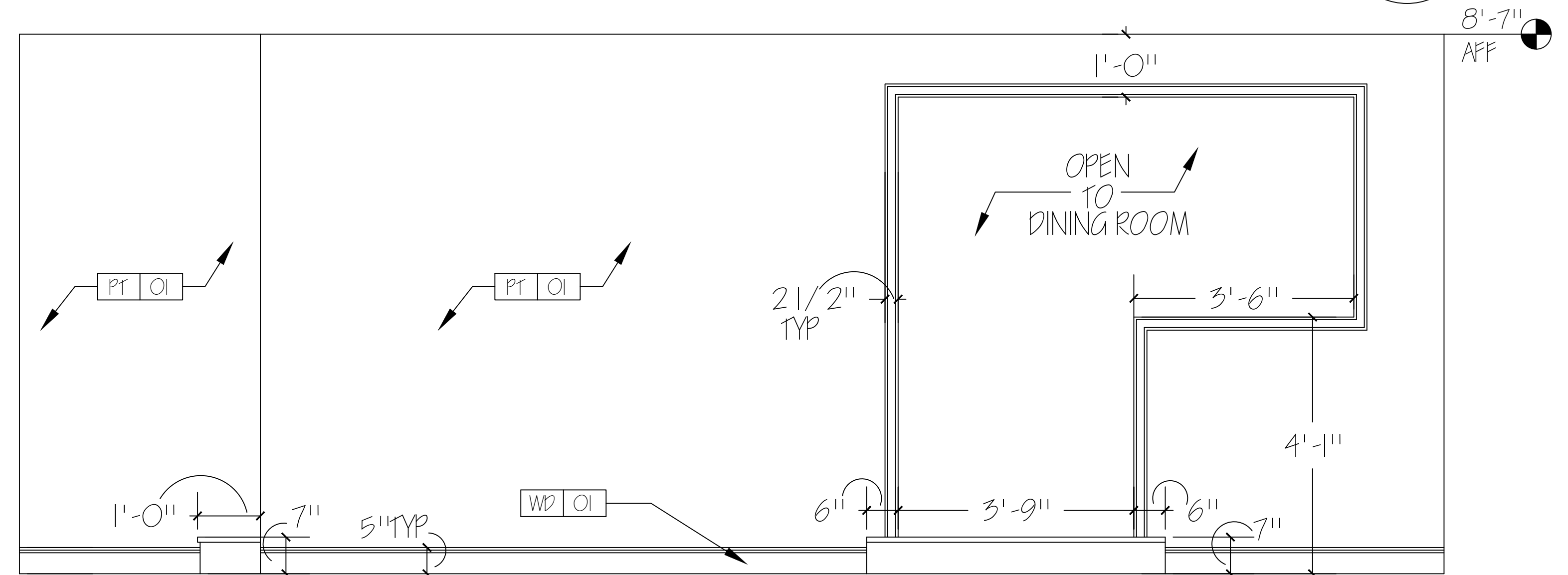
1
A3



FAMILY ROOM/ MUD ROOM ELEVATION (NORTH)

1/4" = 1'-0"

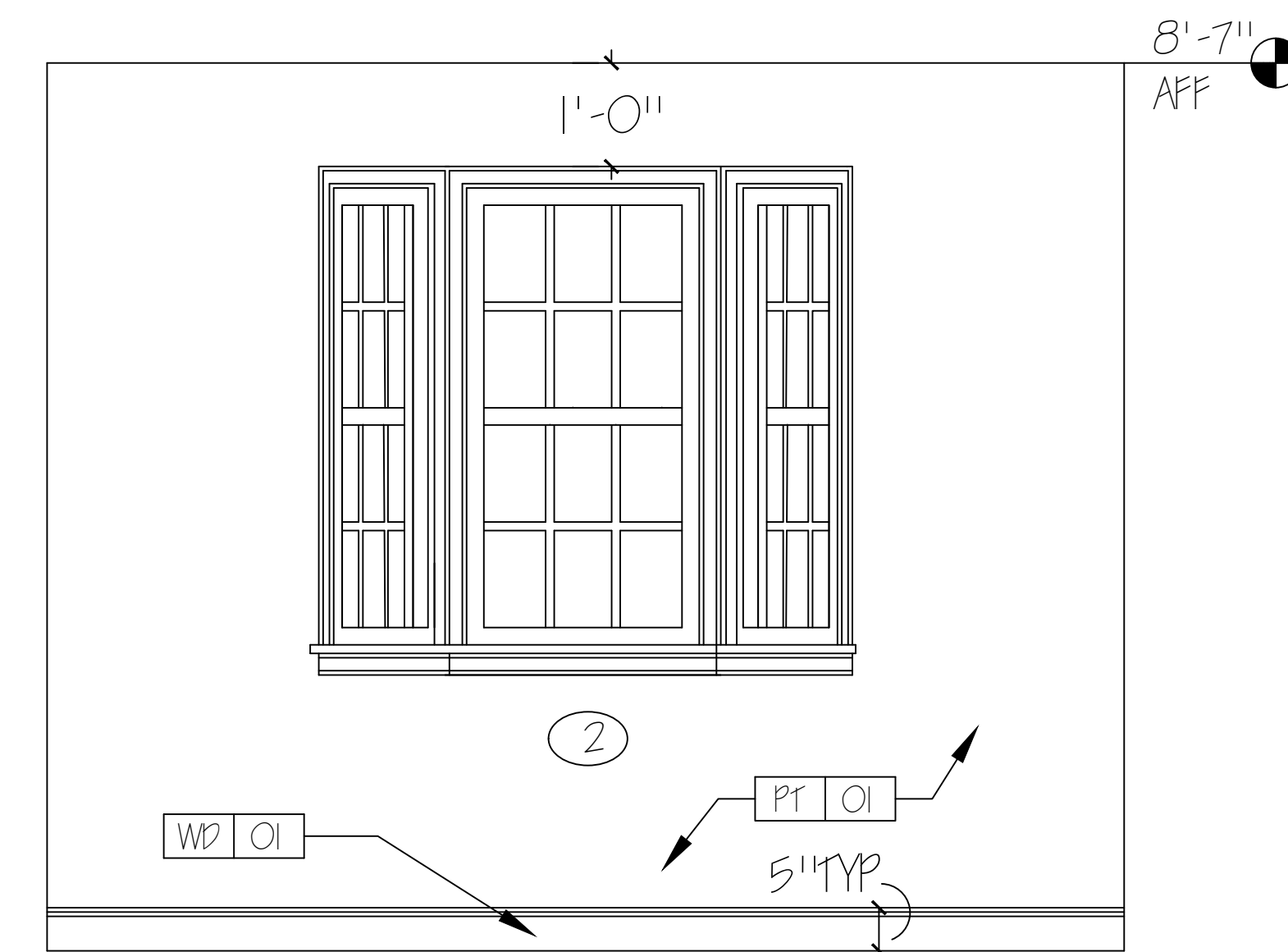
2
A3



FAMILY ROOM ELEVATION (EAST)

1/4" = 1'-0"

3
A3



FAMILY ROOM ELEVATION (SOUTH)

1/4" = 1'-0"

4
A3

JF

INTERIORS

No.	By	Date	Description
JF	4-16-02	PERMIT/CONSTR	

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INTERIOR ELEVATIONS

A3

SHEET 6 OF 12

WINDOW LEGEND

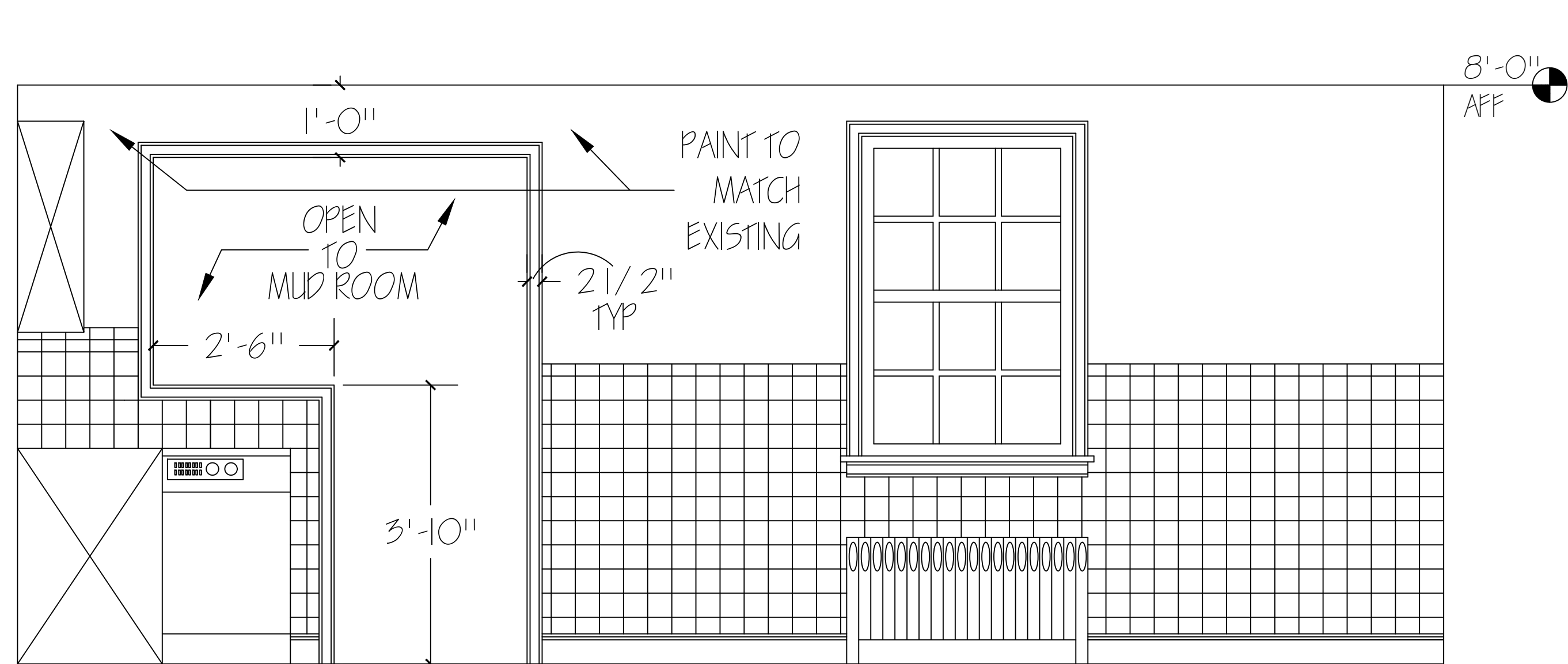
- ① - EXTERIOR WINDOW 4'-5" X 2'-3" - PROVIDED BY OWNER (TBD)
- ② - EXTERIOR BAY WINDOW - PROVIDED BY OWNER (TBD)

DOOR LEGEND

- ① - EXTERIOR ENTRY 2'-8" X 6'-9 1/2" X 1 3/4" - PROVIDED BY OWNER (TBD)
- ② - LAUNDRY DOOR (LOUVER STYLE) 2'-8" X 6'-9 1/2" X 1/34" - PROVIDED BY OWNER (TBD)
- ③ - BATHROOM DOOR 2'-8" X 6'-9 1/2" X 1-3/4" - PROVIDED BY OWNER (TBD)
- ④ - BATHROOM SHOWER STALL DOOR - PROVIDED BY OWNER. (TBD)

FINISH LEGEND

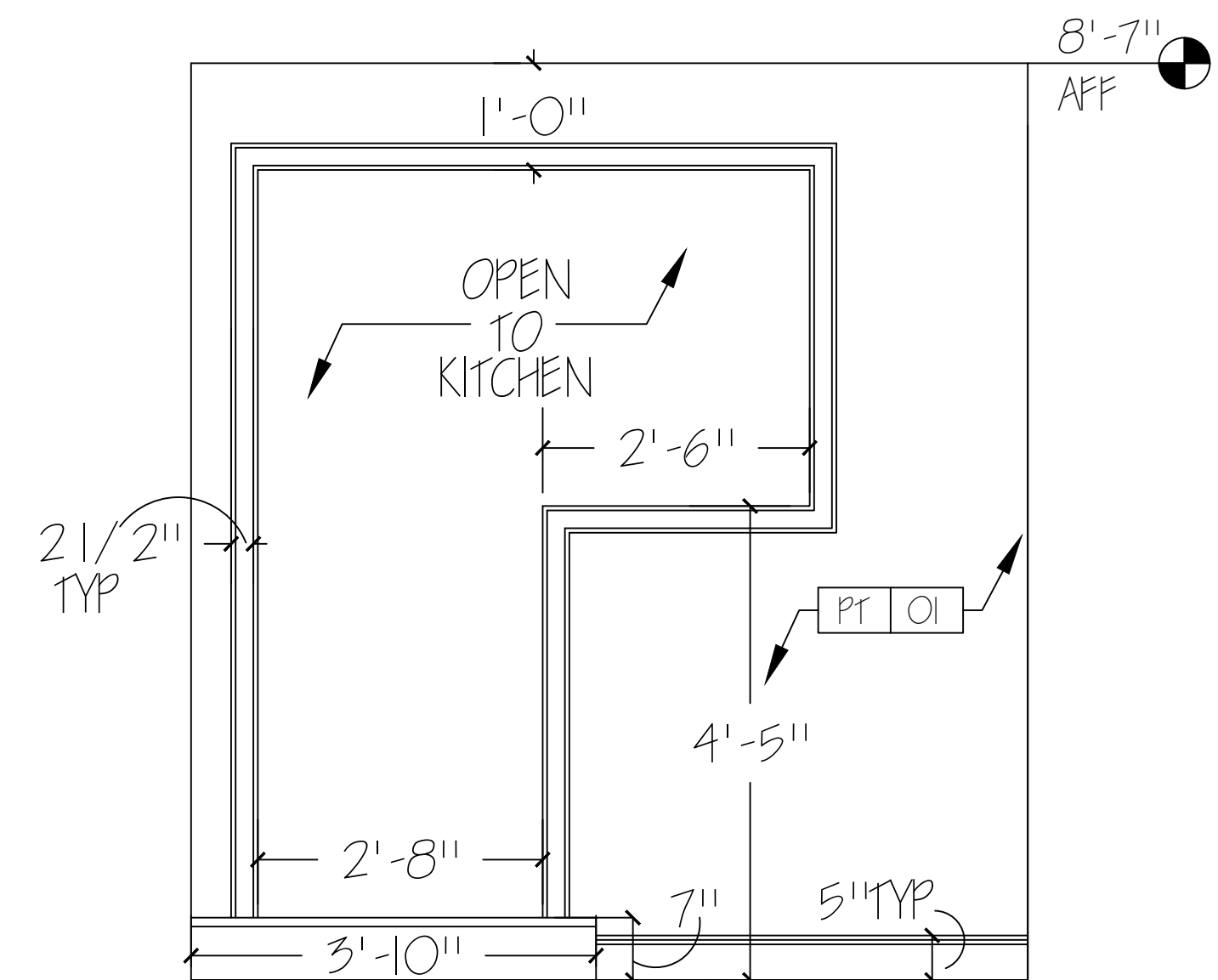
- FL | OI - STONE TILE - PROVIDED BY OWNER (TBD)
- WD | OI - WOOD BASE - PROVIDED BY OWNER (TBD)
- PT | OI - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT | O2 - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT | O3 - CEILING PAINT - PROVIDED BY OWNER (TBD)



KITCHEN ELEVATION (NORTH)

1/4" = 1'-0"

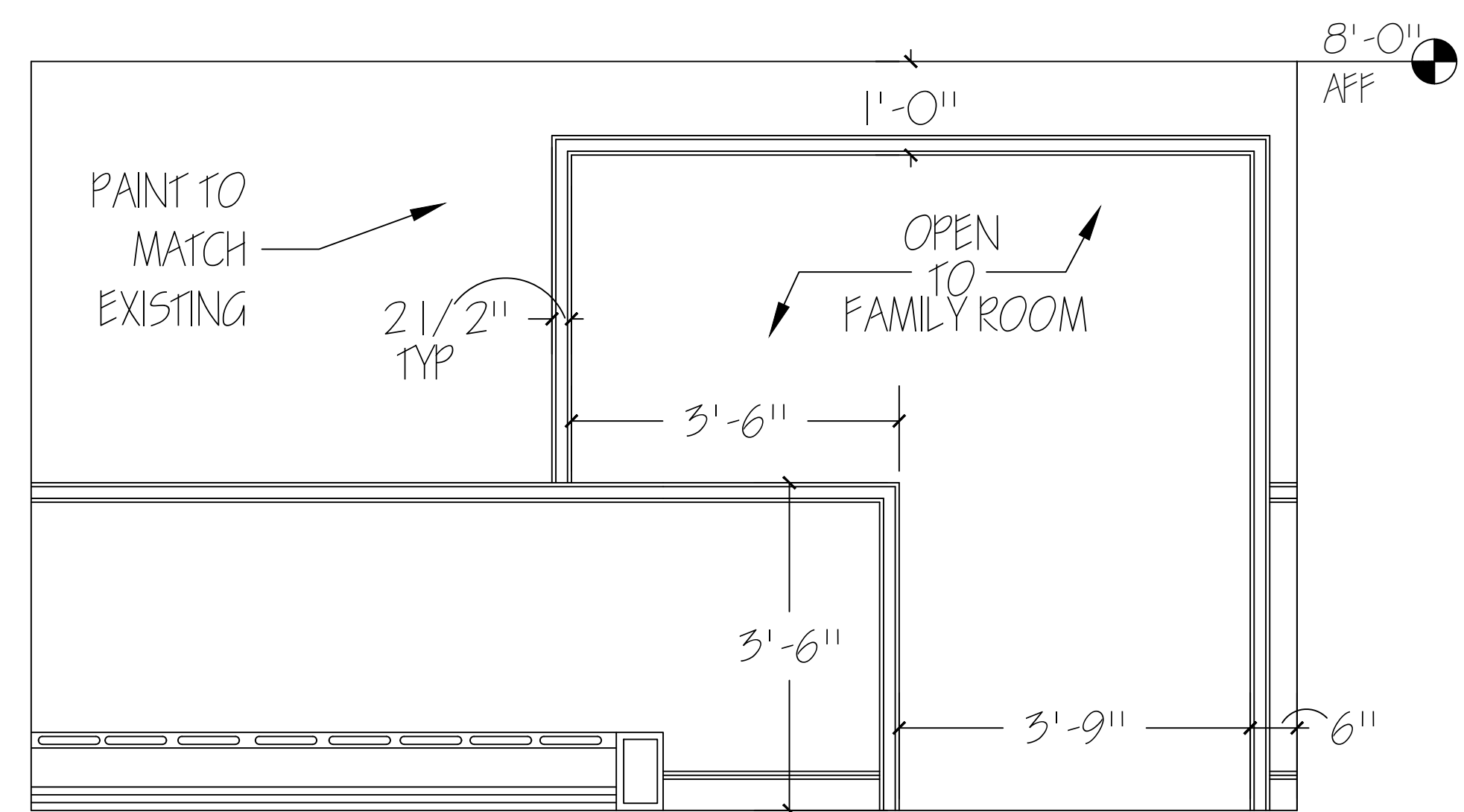
1
A3.1



MUDROOM ELEVATION (SOUTH)

1/4" = 1'-0"

2
A3.1



DINING ROOM ELEVATION (WEST)

1/4" = 1'-0"

3
A3.1

WINDOW LEGEND

- ① - EXTERIOR WINDOW 4'-5" X 2'-3" - PROVIDED BY OWNER (TBD)
- ② - EXTERIOR BAY WINDOW - PROVIDED BY OWNER (TBD)

DOOR LEGEND

- ① - EXTERIOR ENTRY 2'-8" X 6'-9 1/2" X 1 3/4" - PROVIDED BY OWNER (TBD)
- ② - LAUNDRY DOOR (LOUVER STYLE) 2'-8" X 6'-9 1/2" X 1 3/4" - PROVIDED BY OWNER (TBD)
- ③ - BATHROOM DOOR 2'-8" X 6'-9 1/2" X 1 3/4" - PROVIDED BY OWNER (TBD)
- ④ - BATHROOM SHOWER STALL DOOR - PROVIDED BY OWNER (TBD)

FINISH LEGEND

- FL 01 - STONE TILE - PROVIDED BY OWNER (TBD)
- WB 01 - WOOD BASE - PROVIDED BY OWNER (TBD)
- PT 01 - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT 02 - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT 03 - CEILING PAINT - PROVIDED BY OWNER (TBD)

JF

INTERIORS

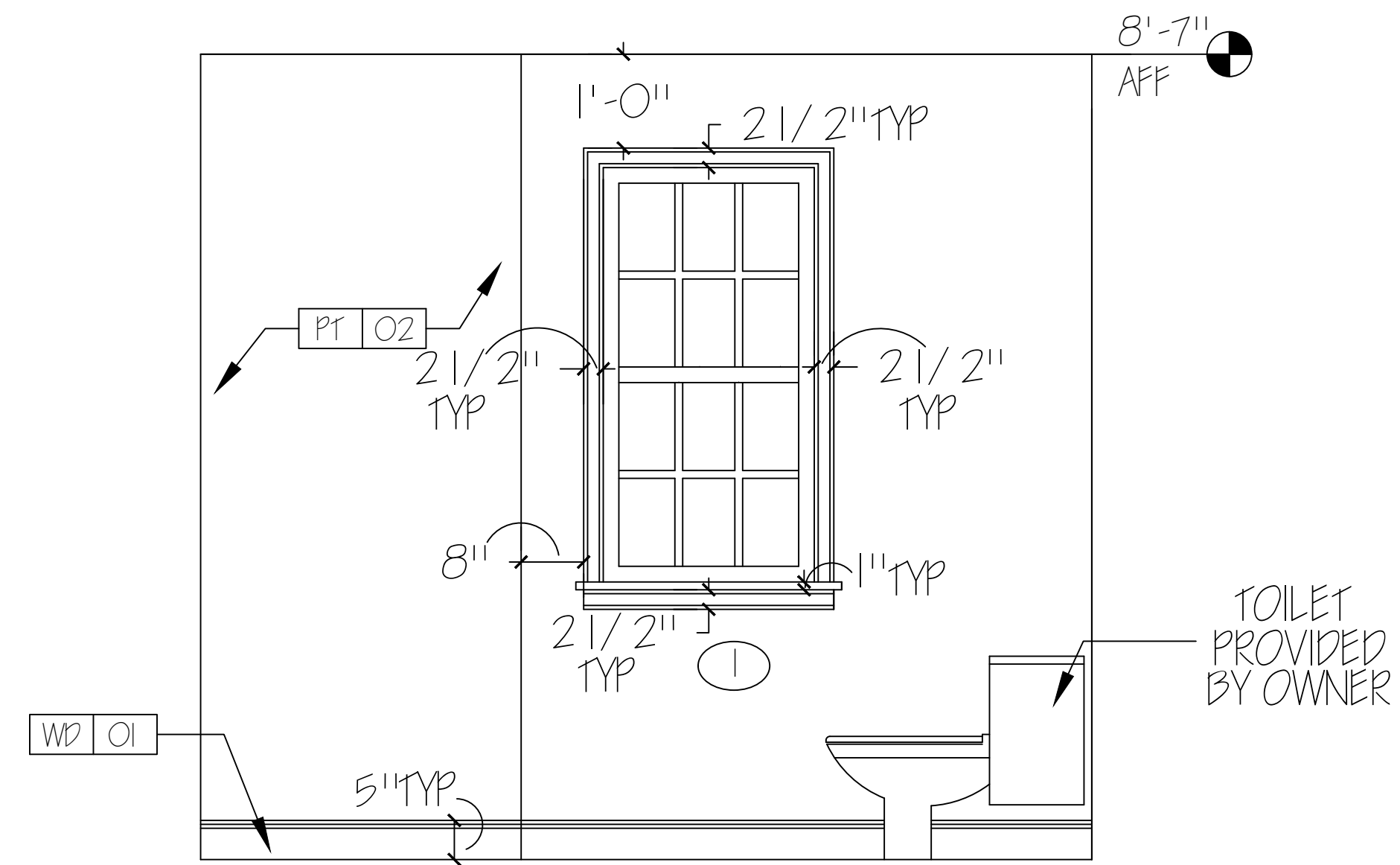
No.	By	Date	Description
JF	4-16-02	PERMIT/ CONSTR	

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INTERIOR ELEVATIONS

A3.1

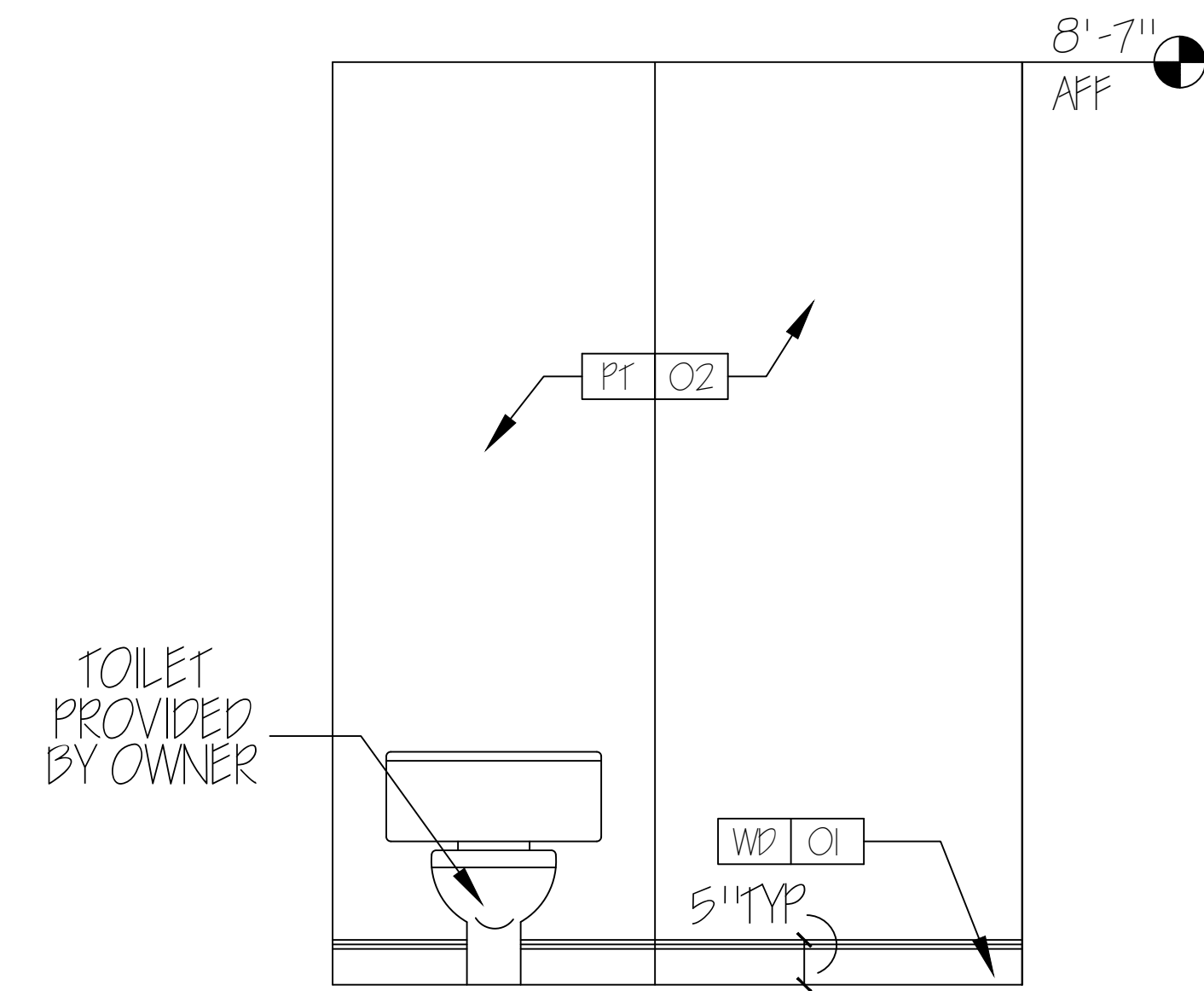
SHEET 7 OF 12



BATHROOM ELEVATION (WEST)

1/4" = 1'-0"

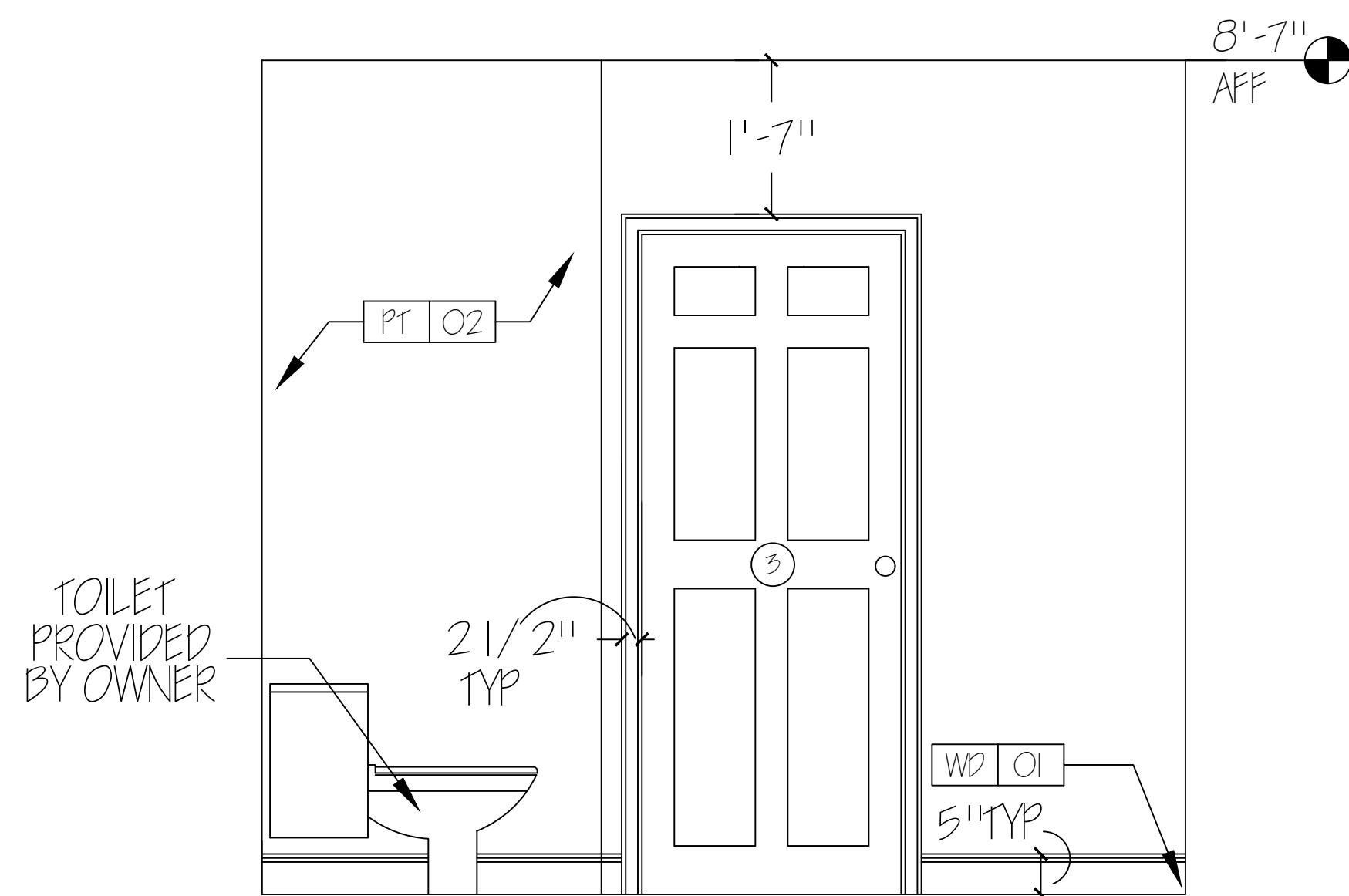
1
A3.2



BATHROOM ELEVATION (NORTH)

1/4" = 1'-0"

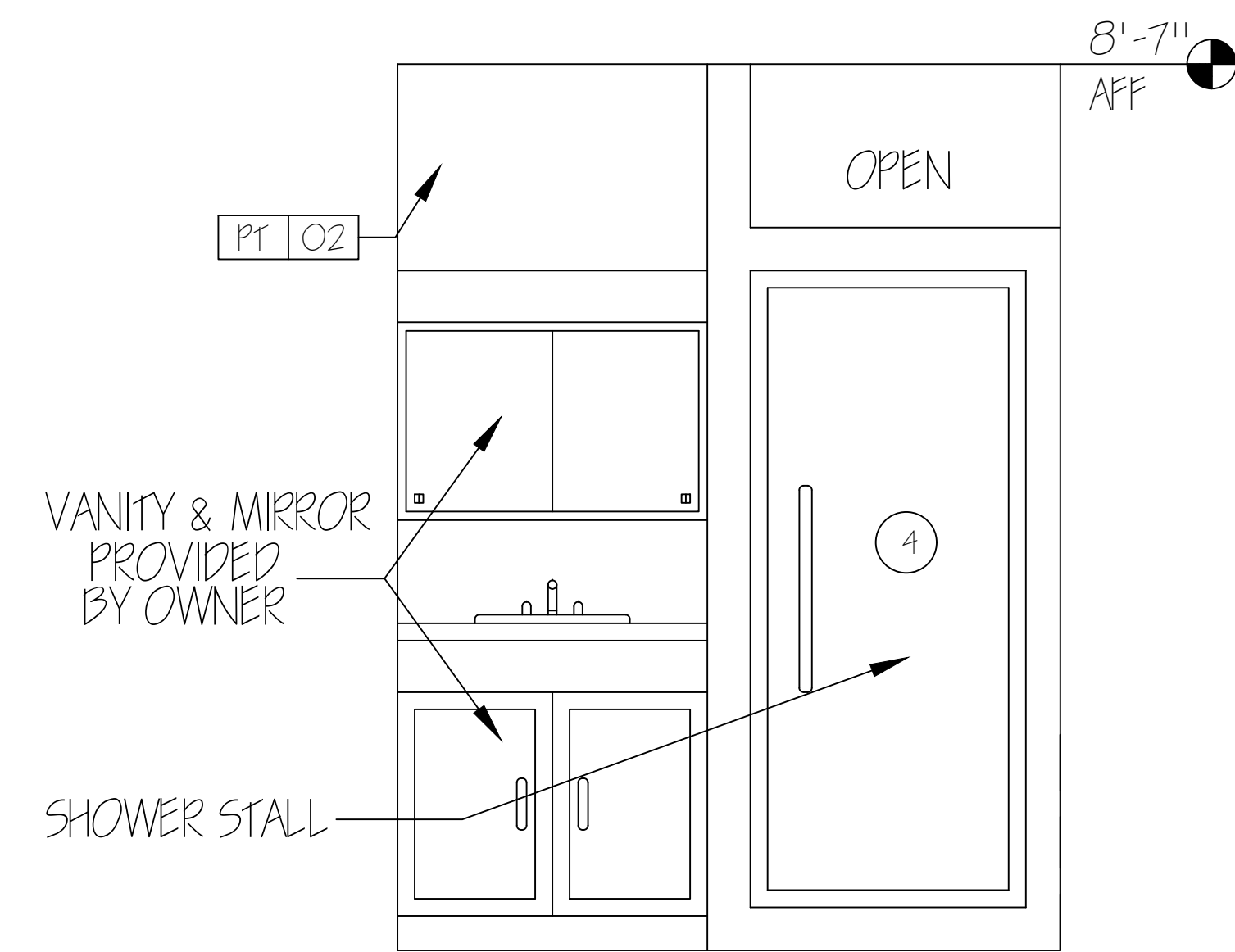
2
A3.2



BATHROOM ELEVATION (EAST)

1/4" = 1'-0"

3
A3.2



BATHROOM ELEVATION (SOUTH)

1/4" = 1'-0"

4
A3.2

JF

INTERIORS

No.	By	Date	Description
JF	4-16-02	PERMIT / CONSTR	

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INTERIOR ELEVATIONS

A3.2

SHEET 8 OF 12

WINDOW LEGEND

- ① - EXTERIOR WINDOW 4'-5" X 2'-3" - PROVIDED BY OWNER (TBD)
- ② - EXTERIOR BAY WINDOW - PROVIDED BY OWNER (TBD)

DOOR LEGEND

- ① - EXTERIOR ENTRY 2'-8" X 6'-9 1/2" X 1 3/4" - PROVIDED BY OWNER (TBD)
- ② - LAUNDRY DOOR (LOUVER STYLE) 2'-8" X 6'-9 1/2" X 1/34" - PROVIDED BY OWNER (TBD)
- ③ - BATHROOM DOOR 2'-8" X 6'-9 1/2" X 1-3/4" - PROVIDED BY OWNER (TBD)
- ④ - BATHROOM SHOWER STALL DOOR - PROVIDED BY OWNER. (TBD)

FINISH LEGEND

- FL | O1 - STONE TILE - PROVIDED BY OWNER (TBD)
- WD | O1 - WOOD BASE - PROVIDED BY OWNER (TBD)
- PT | O1 - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT | O2 - WALL PAINT - PROVIDED BY OWNER (TBD)
- PT | O3 - CEILING PAINT - PROVIDED BY OWNER (TBD)

JF

INTERIORS

No.	By	Date	Description
JF		4-16-02	PERMIT/ CONSTR

WOBURN RESIDENCE
WOBURN, MA 01801

EXTERIOR ELEVATIONS (FRONT)

A4

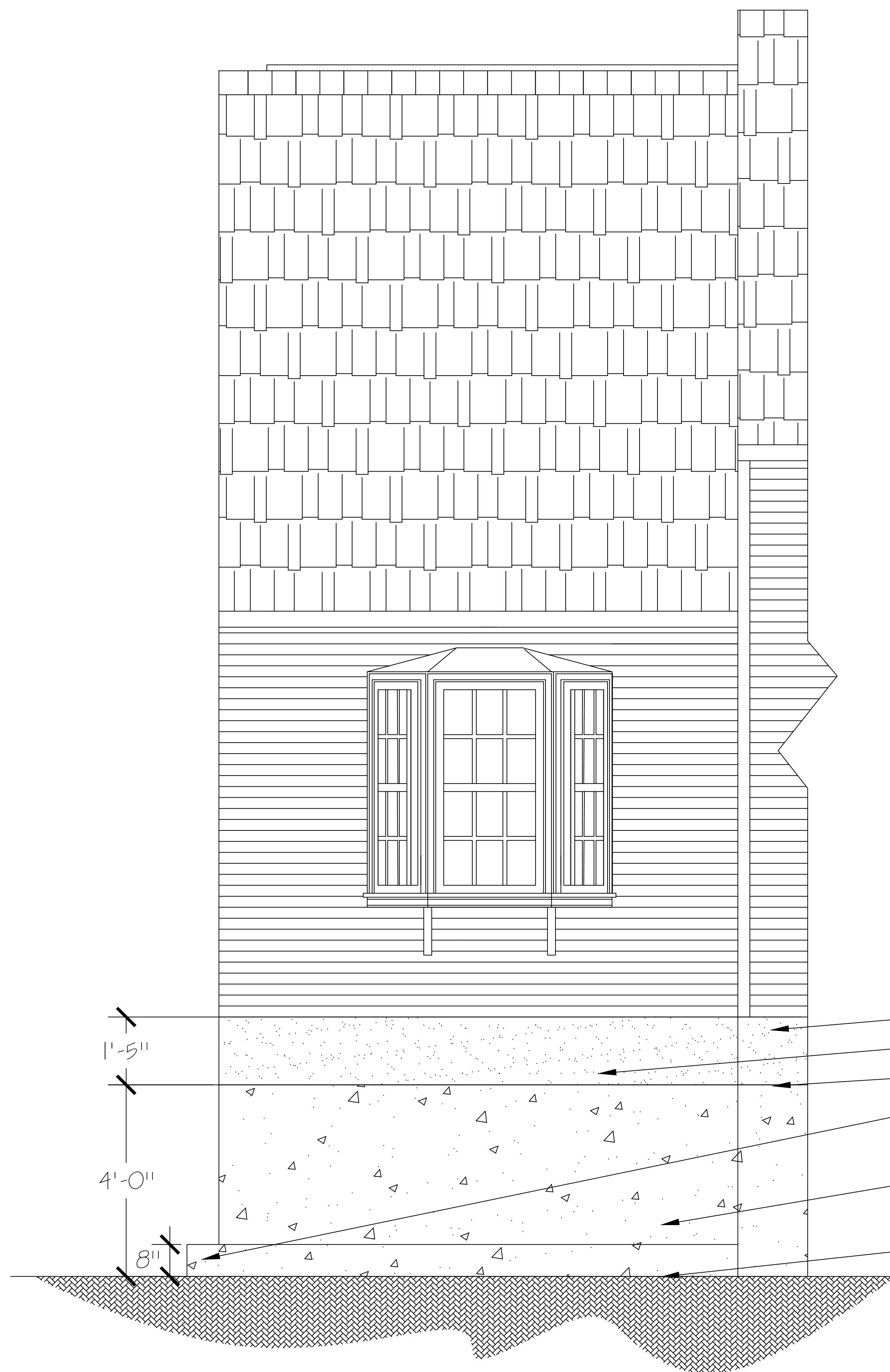
SHEET 9 OF 12



FRONT EXTERIOR ELEVATION

NTS

2
A4

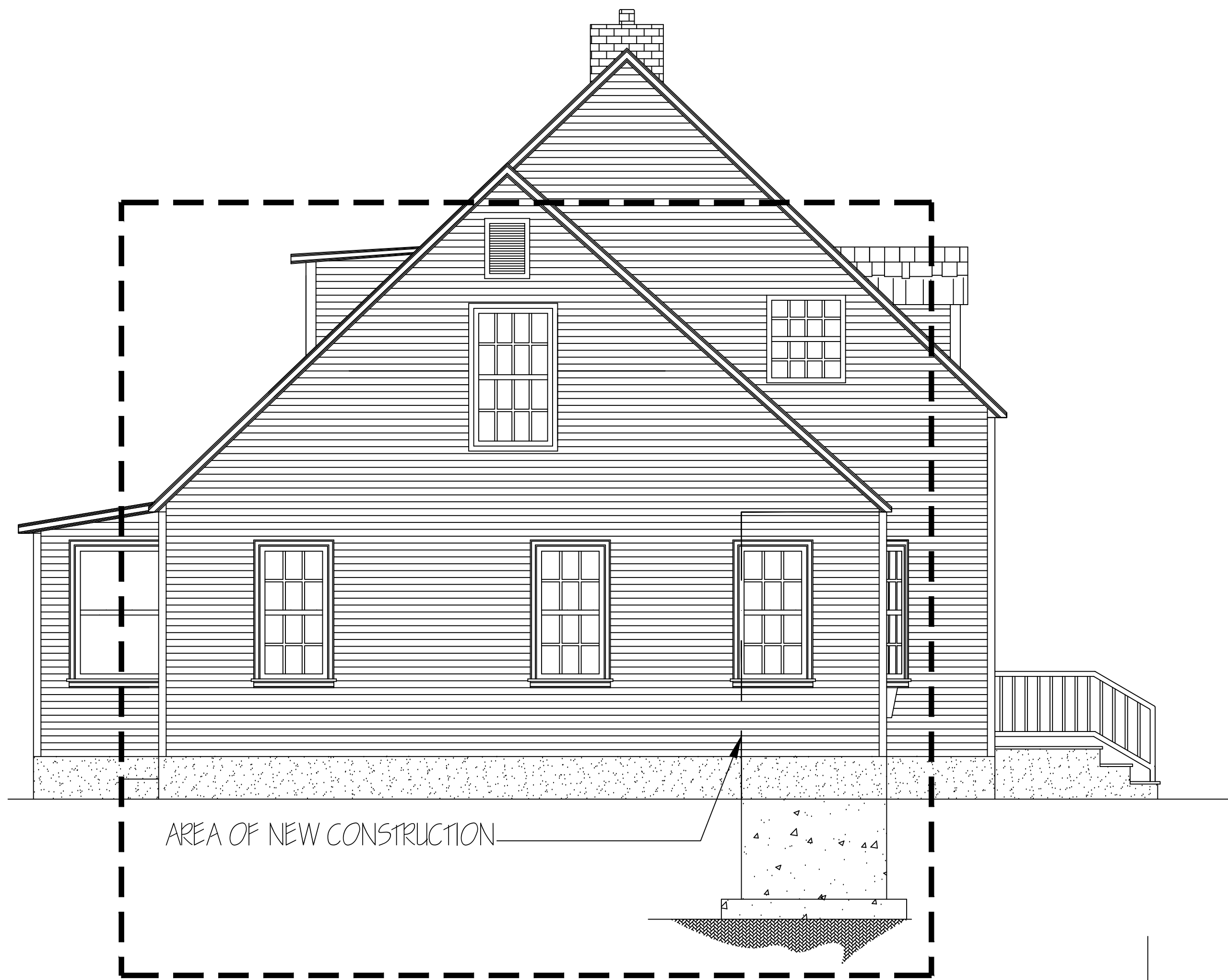


- EXISTING FOUNDATION
- NEW FOUNDATION
- GRADE LEVEL
- CONTINUOUS 8" CONCRETE FOOTING
- COMPACTED SAND AND GRAVEL
- NEW FOOTING PLACED ON UNDISTURBED SOIL.

FRONT EXTERIOR ELEVATION (PARTIAL)

1/4" = 1'-0"

1
A4



SIDE EXTERIOR ELEVATION

NTS

2
A4.1



SIDE EXTERIOR ELEVATION (PARTIAL)

1/4" = 1'-0"

1
A4.1

JF

INTERIORS

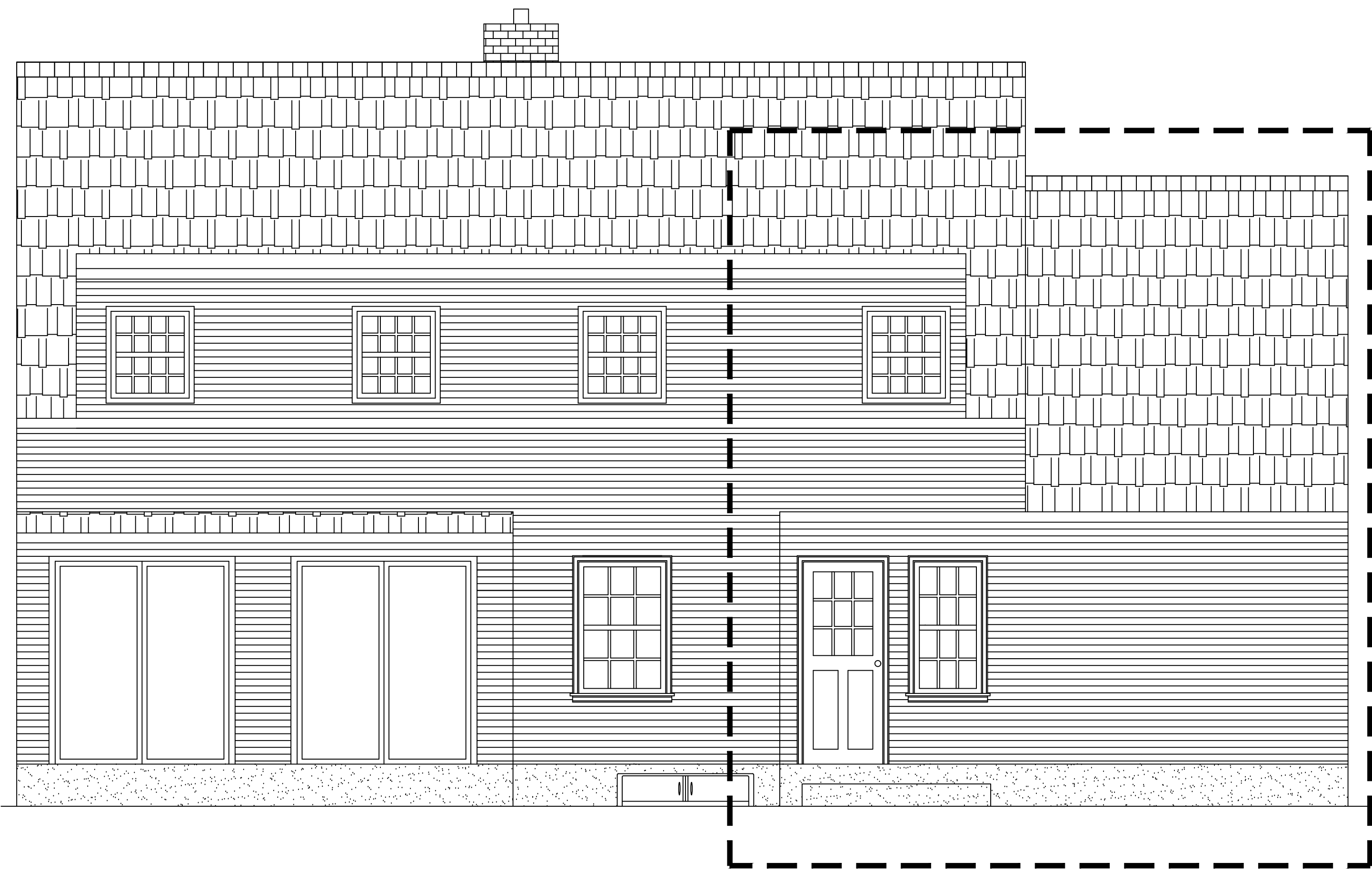
No.	By	Date	Description
JF		4-16-02	PERMIT/ CONSTR

WOBURN RESIDENCE
WOBURN, MA 01801

EXTERIOR ELEVATIONS (SIDE)

A4.1

SHEET 10 OF 12



REAR EXTERIOR ELEVATION

NTS

2
A4.2



- NEW DOOR PROVIDED BY OWNER
- NEW WINDOW PROVIDED BY OWNER
- PATCH & REPAIR SIDING
- EXISTING FOUNDATION

REAR EXTERIOR ELEVATION (PARTIAL)

1/4" = 1'-0"

1
A4.2

JF

INTERIORS

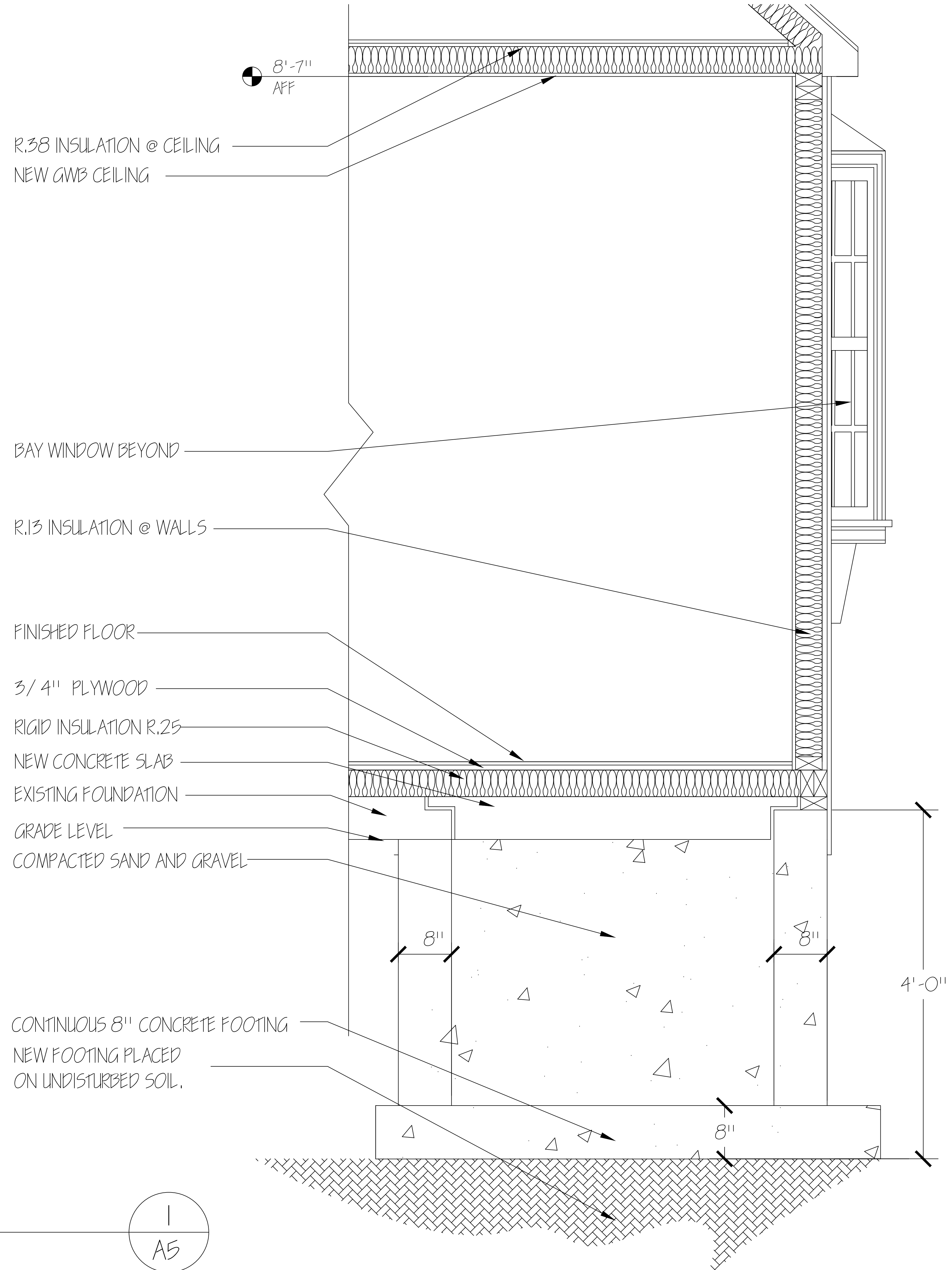
No.	By	Date	Description
JF		4-16-02	PERMIT / CONSTR

WOBURN RESIDENCE
WOBURN, MA 01801

EXTERIOR ELEVATION (REAR)

A4.2

SHEET 11 OF 12



R.38 INSULATION @ CEILING
 NEW GWB CEILING

BAY WINDOW BEYOND

R.13 INSULATION @ WALLS

FINISHED FLOOR

3/4" PLYWOOD

RIGID INSULATION R.25

NEW CONCRETE SLAB

EXISTING FOUNDATION

GRADE LEVEL

COMPACTED SAND AND GRAVEL

CONTINUOUS 8" CONCRETE FOOTING

NEW FOOTING PLACED
 ON UNDISTURBED SOIL.

8'-7"
 AFF

4'-0"

8"

8"

8"

1
 A5

JF

INTERIORS

JF	4-16-02	PERMIT/ CONSTR	
No.	By	Date	Description

WOBURN RESIDENCE
 WOUBURN, MA 01801

EXTERIOR SECTION

A5

SHEET 12 OF 12

SECTION @ NEW CONSTRUCTION

1/2" = 1'-0"