

Kummer New Bi-Fold Doors by Constructify



CLIENT
Raymond Kummer

PROJECT
Bi-Fold Doors

CONTRACTOR
Constructify

DESIGNER
Bees Industries

ISSUE
05.25.2021



23534 Waynes Way
Golden, CO 80401

Legal Description

23534 Waynes Way, Golden, CO 80401

Type: Single Family
 Year Built: 2005
 Heating: Hot Water
 Cooling: Electric
 Parking: Garage - Attached
 HOA: \$154 monthly
 Lot: 1.13 Acres

Interior Details

Bedrooms: 4
 Bathrooms: 4
 Basement: Finished
 Heating Features: Hot Water
 Total Interior Livable Area: 2,697 SF
 Fireplace: Yes

Public Records

Beds: 4
 House Size: 2,698 SF
 Stories: 1
 Lot Size: 49440
 Garage: Attached Garage
 Heating: Hot Water
 Construction: Wood Frame
 Year Built: 2005
 Year Renovated: 2005
 Property Type: Single Family
 Style: Ranch
 Date Updated: 05/08/2021
 Fireplace: Yes

Property Details

Parking Features: Garage - Attached
 Lot Size: 1.13 Acres
 Parcel Number: 4019401039

Construction Details

Home Type: Single Family
 Construction Materials: Masonry
 Year Built: 2005

Community and Neighborhood Details

Region: Golden
 Has HOA Fee: Yes
 Tax Assessed Value: \$1,145,968
 Annual Tax Amount: \$7,665

Genesee Fire Protection District (GFPD)

23455 Currant Drive
 Golden, Colorado 80401
 303-526-1230

GFPD includes the communities of Genesee, Genesee Village, and Chimney Creek, and the Genesee Business District and Genesee Town Center; 4,000 people within a four square mile area comprised of approximately 1,500 homes, 28 commercial buildings and 1,200 acres of open space.

Property is located in FEMA Flood Zone X

Area of minimal flood hazard, usually depicted on FIRMs as above the 500 year flood level.

Zone C may have ponding and local drainage problems that don't warrant a detailed study or designation as base floodplain.

Zone X is the area determined to be outside the 500 year flood and protected by levee from 100 year flood.

Project Description

Raymond Kummer - New Bi-Fold Doors

With the intention of increasing home efficiency by maximizing the usage of natural light and air flow, Constructify (contractor) and Raymond Kummer (homeowner) propose to remove three windows and a sliding glass door on the south and west walls of the main floor. Replacing the windows, door, and part of two walls with one 14' wide by 10' tall bi-fold door on the south wall and one 6' wide by 10' tall bi-fold door on the west wall of the main floor living room onto the back deck.

As part of this renovation an interior wet bar will be permanently deleted and the plumbing will be removed from the local area and sealed off under the floor. As well, two GFCI 120A receptacles will be removed all the way to the electrical panel. One each interior light and switch will be relocated along with one each exterior light and GFCI 120A receptacle. Structural framing members will be removed on both the south and west walls to be replaced with an engineered system of laminated beams with king and trimmer stud posts to accommodate the new bi-fold doors.

For the finish one interior can light and one exterior light scone will be reused, along with one interior light switch and one exterior GFCI 120A receptacle. Existing wine cooler at wet bar to be relocated to the kitchen. Flooring under former wet bar to be patched to match existing floor as close as possible. The south wall exterior soffit arch will be extended from 9' to 14' using 1/2" plywood, 30# felt, 17GA lath, and stucco to match existing. The interior soffit will be replaced as needed and walls refinished with 5/8" gypsum to a level five finish. Additional stucco and drywall patch as needed with paint to match existing.

Building Departments of Jurisdiction

City of Golden

Building Division
 1445 10th Street
 Golden, CO 80401
 Phone: (303) 384-8151
 Fax: (303) 384-8161
 General Building Mailbox
 Email: building@cityofgolden.net

Jefferson County

100 Jefferson County Parkway
 Suite 3540
 Golden, CO 80419
 Phone: 303-271-8260
 Office Hours
 Monday - Thursday
 8 a.m. - 5 p.m.

CONTRACTOR
 Joe Lyon - Constructify
 6145 Broadway, Suite 205
 Denver, CO 80216

CLIENT
 Raymond Kummer
 23534 Waynes Way
 Golden, CO 80401

PROJECT
 Kummer Doors
DESIGN FIRM
 beesindustries.com
 800.716.7307

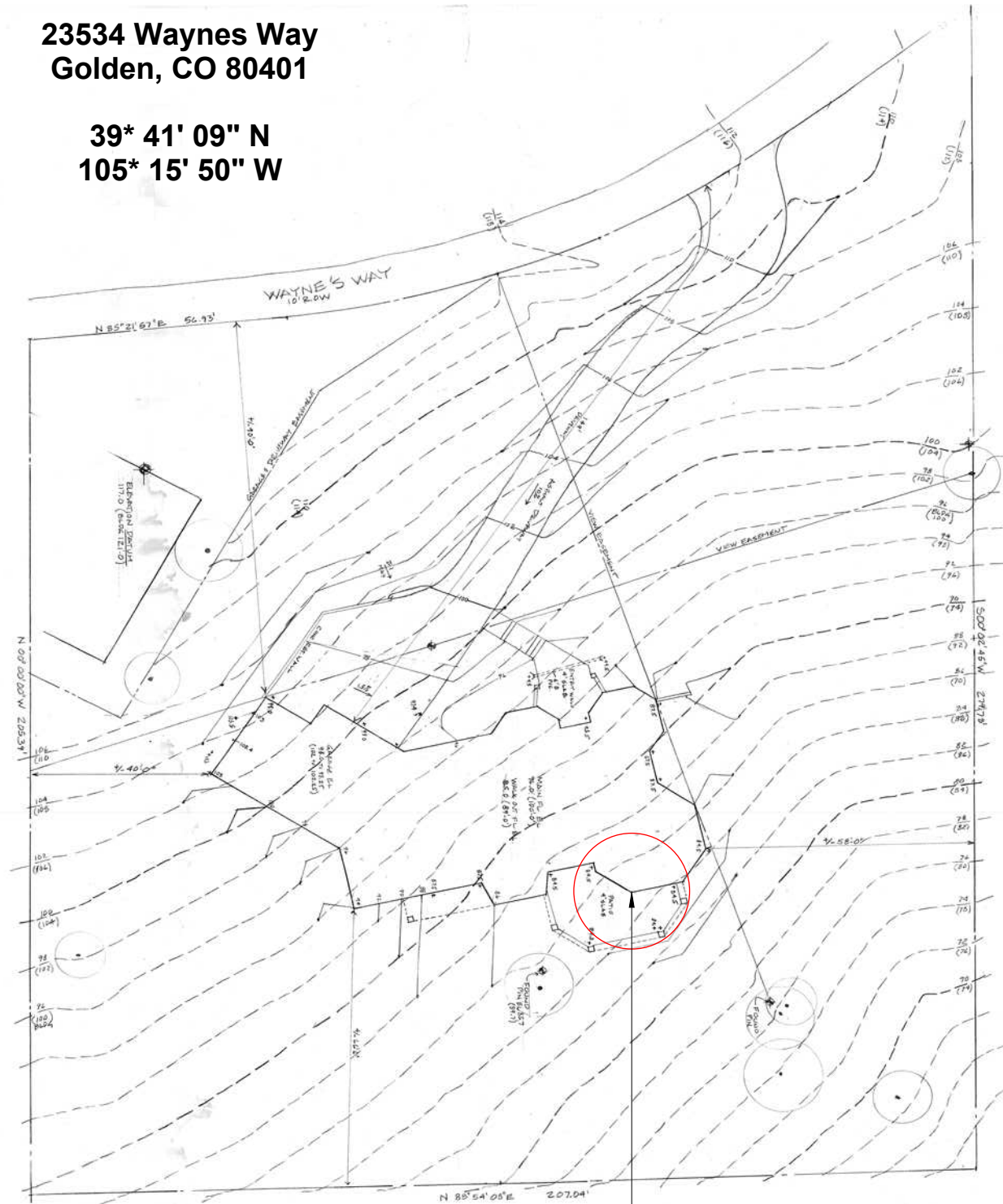
ISSUE
 05.25.2021
DRAWN BY
 Bryce Perkins
 720.750.2200

General
 Information

A.01

23534 Waynes Way
Golden, CO 80401

39° 41' 09" N
105° 15' 50" W



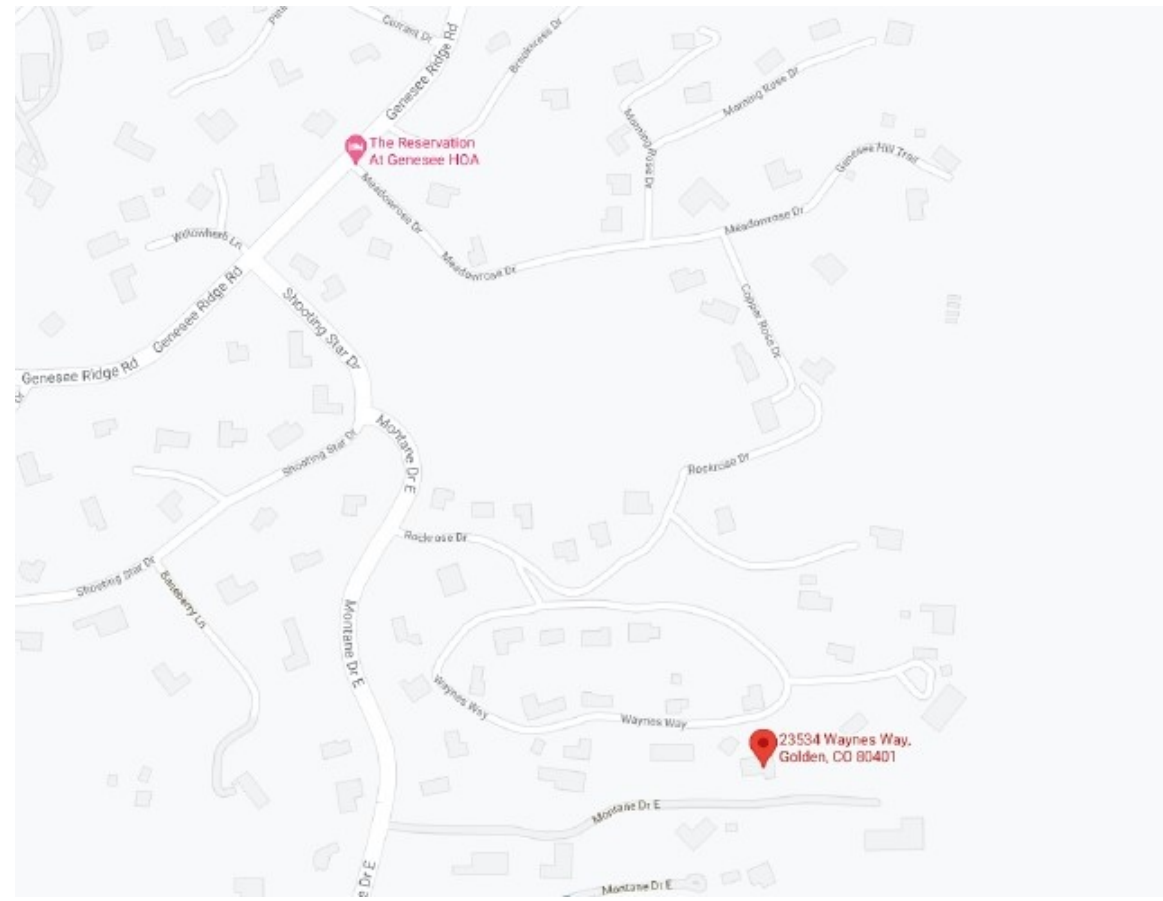
Area of Renovation

NOTE: DESIGNER'S MARKS
IDENTIFY CONSTRUCTION STANDARDS

BRUCKMAN ARCHITECTS
8250 E. Harvard Ave. #9-107
Denver, CO 80221
303-755-2724

BRUCKMAN ARCHITECTS
23644 Smith Holly St.
Denver, Colorado 80222
303-755-2724

PROJECT
RESIDENCE FOR A.D. WOLFF & ASSOC
LOT 14 & 15, BLOCK 21, GENESEE RESERVATION
23534 WAYNE'S WAY, JEFFERSON COUNTY, COLO

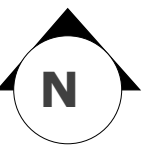


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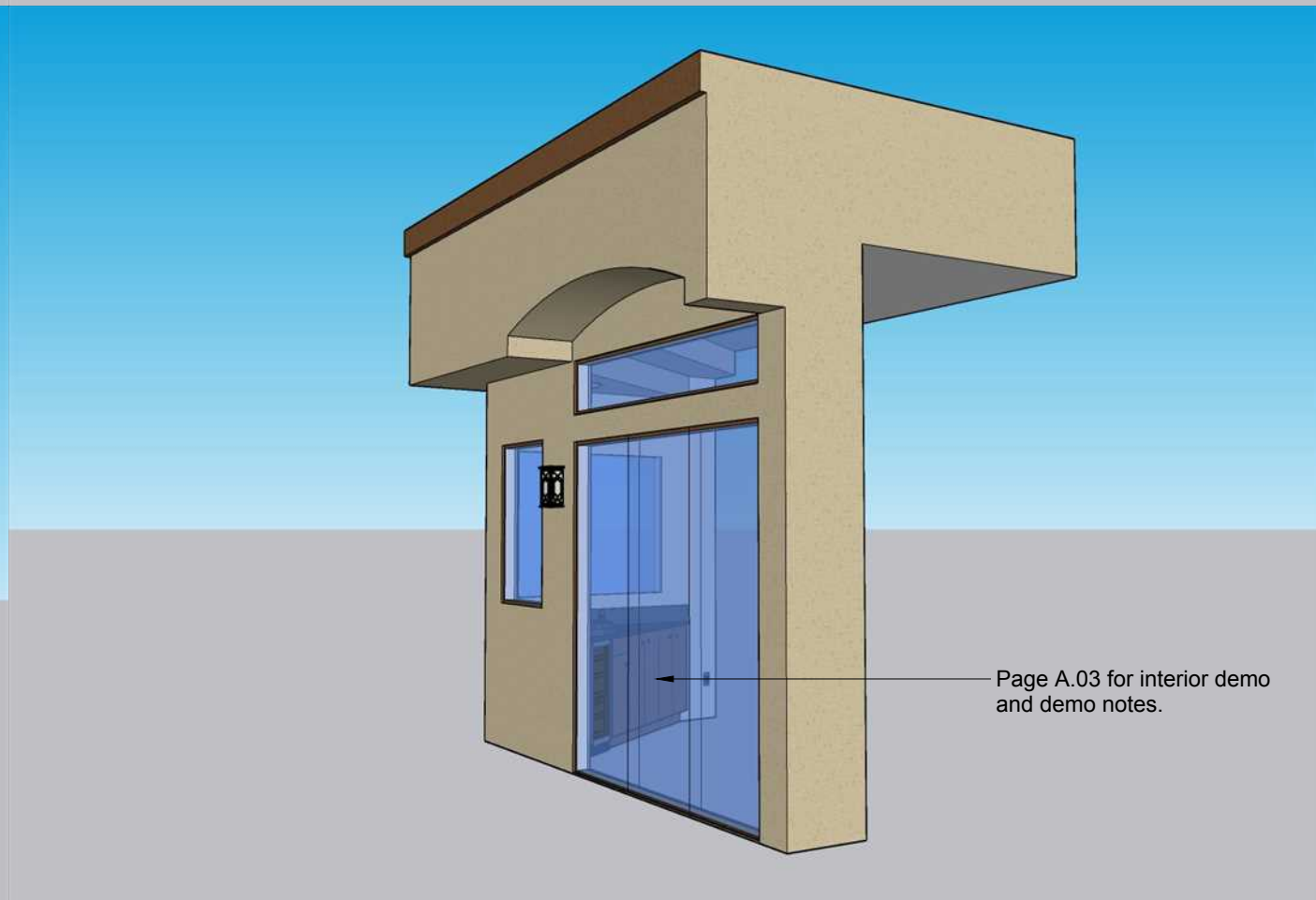
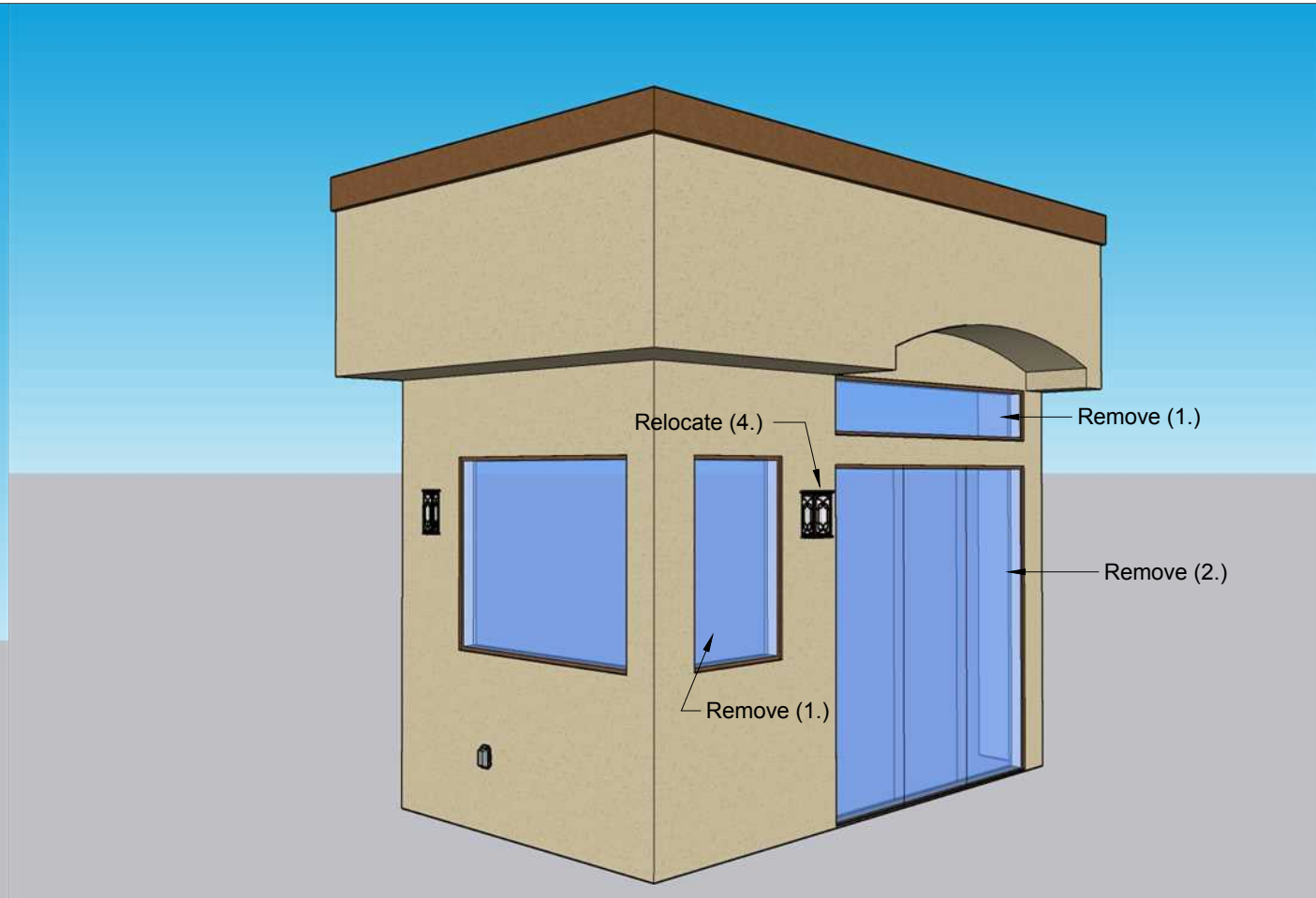
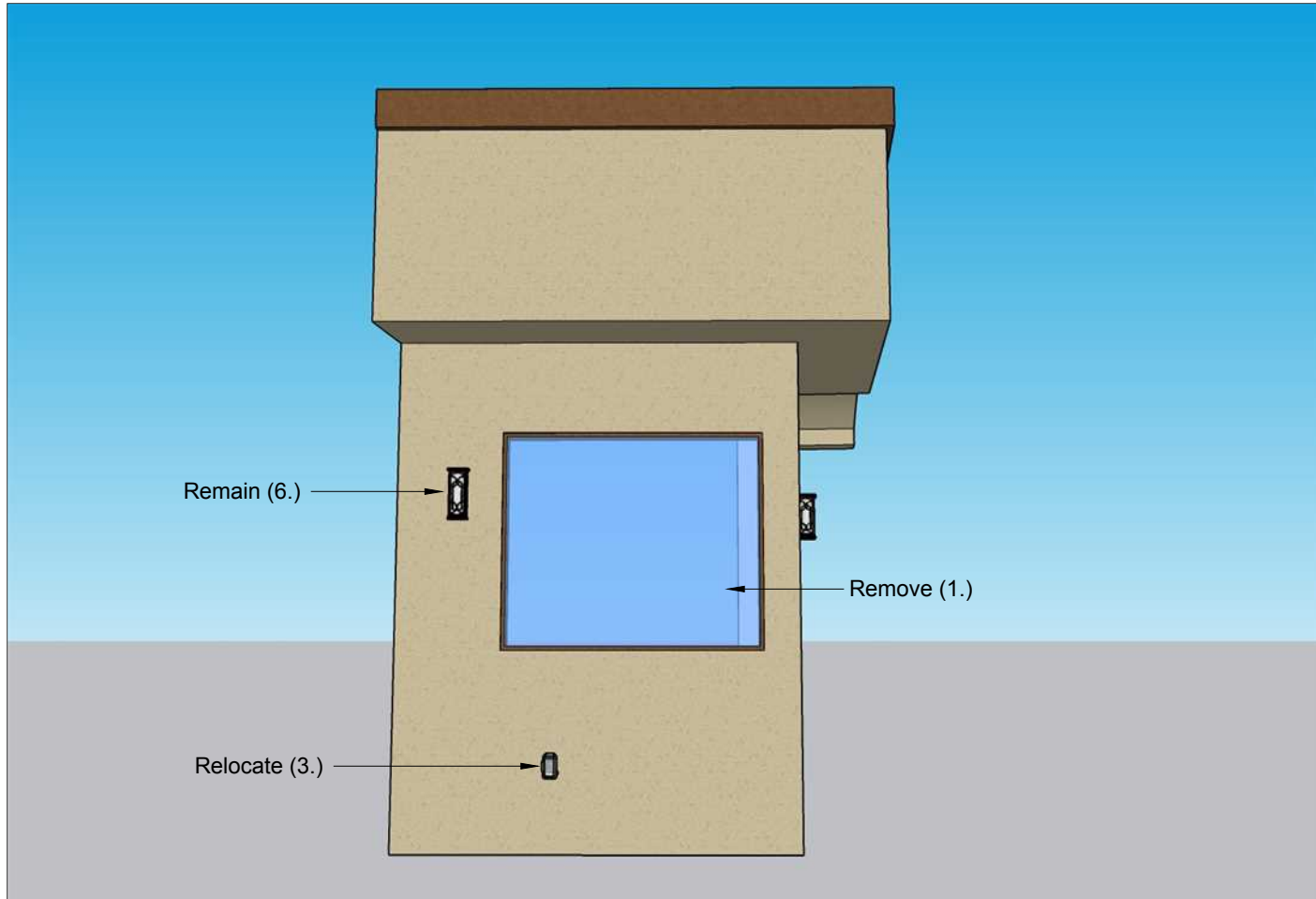
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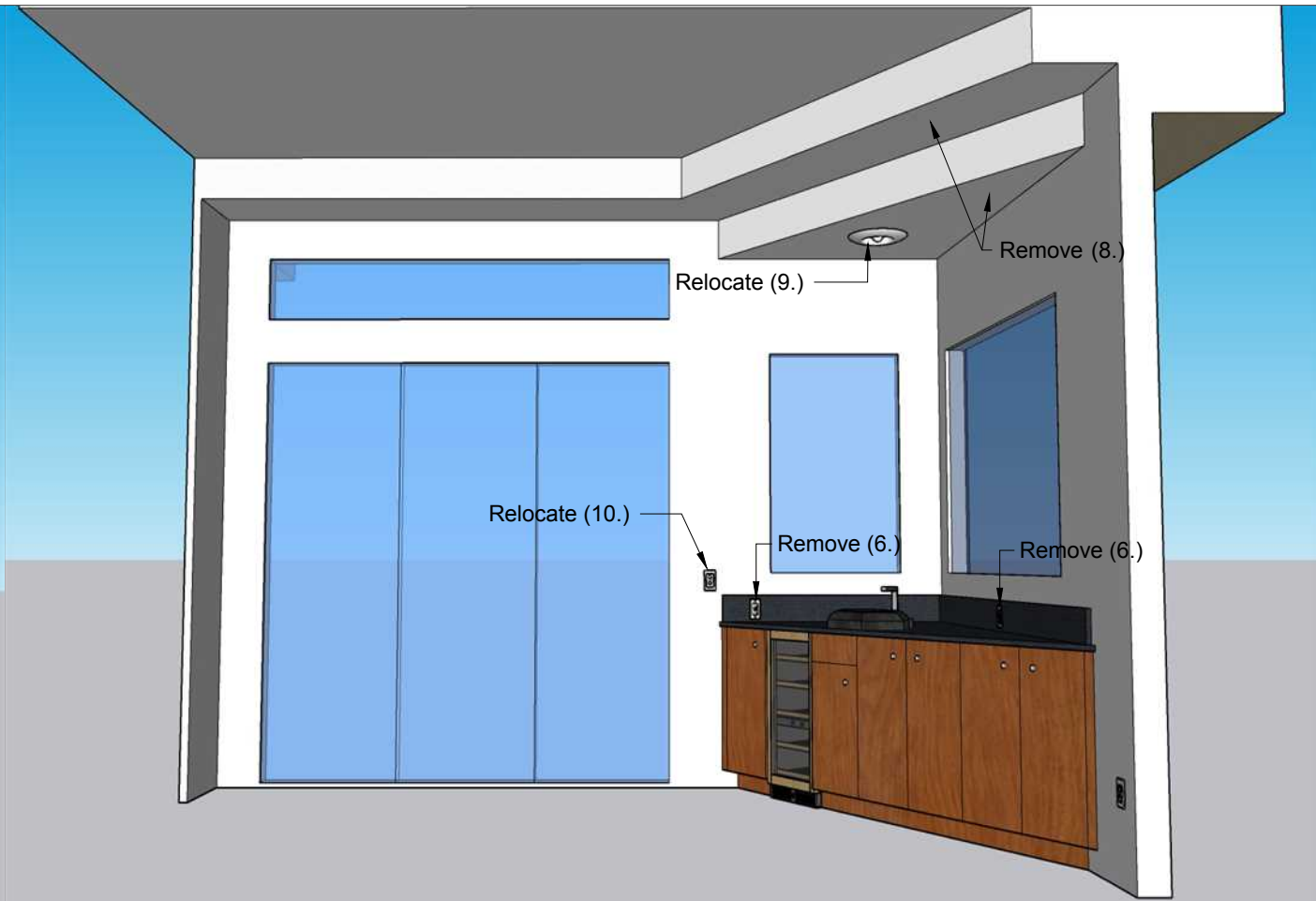
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Bryce Perkins
720.750.2200



Site Plan

A.02





Exterior Demo Notes

1. Remove and dispose of three existing windows as shown.
2. Remove and dispose of existing sliding glass door as shown.
3. Relocate existing exterior GFCI receptacle on west wall to north side of new 6' wide bi-fold door.
4. Relocate existing exterior light fixture on south wall to east side of new 14' wide bi-fold door.
5. Remove existing south wall soffit and soffit arch to make room for new 14' wide soffit arch.
6. Existing exterior light fixture on west wall to remain and be protected during construction.

Interior Demo Notes

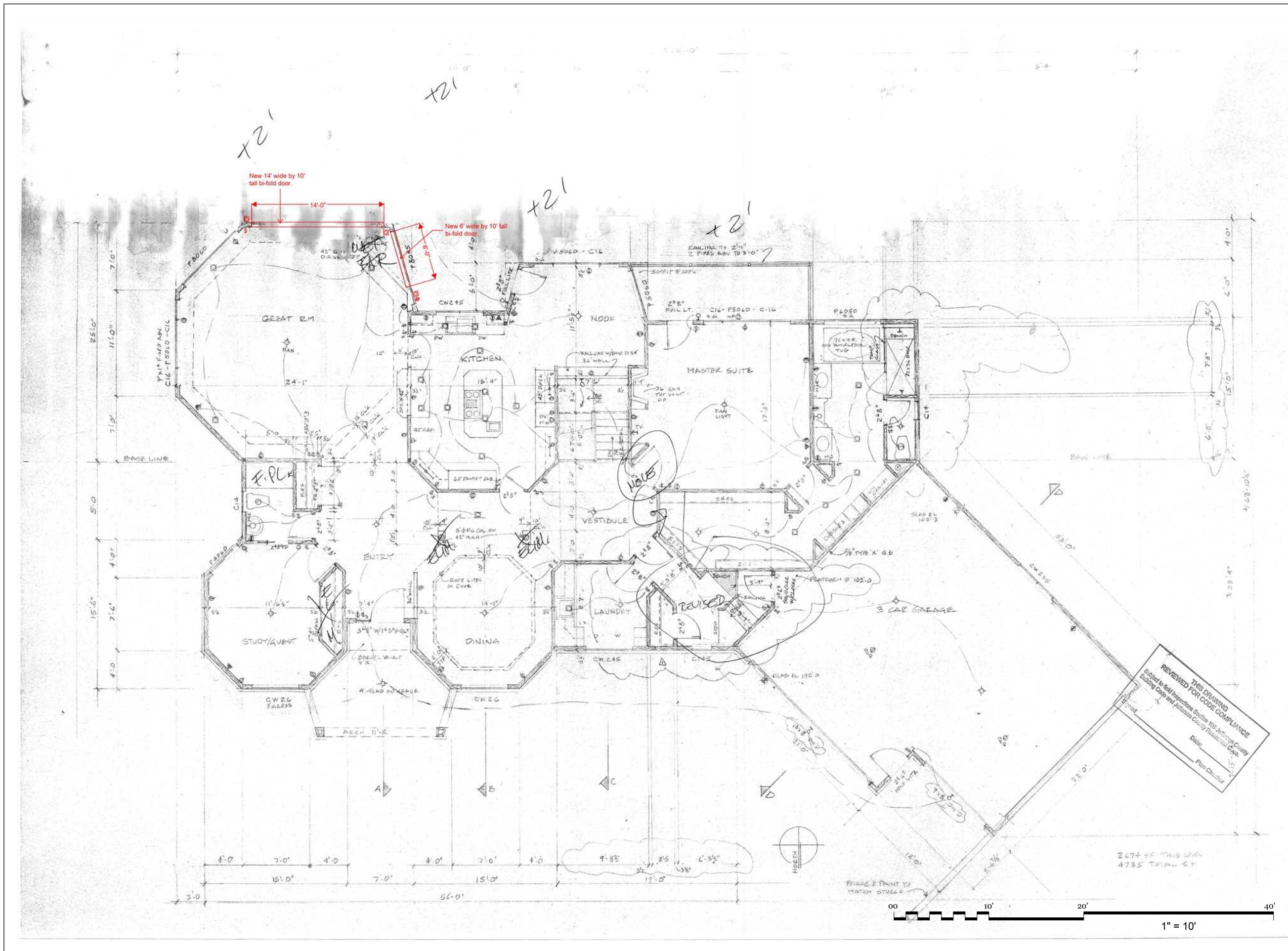
1. Remove and dispose of existing wet bar cabinets.
2. Relocate existing wine cooler to kitchen.
3. Remove and dispose of existing wet bar countertop and backsplash.
4. Remove and dispose of existing wet bar sink and faucet.
5. Cap off existing sink drain and water feed lines behind wall/under floor.
6. Remove and dispose of two existing GFCI receptacles at wet bar.
7. Remove wet bar GFCI receptacle circuits at the electrical panel box.
8. Remove and dispose of existing triangle soffit above wet bar.
9. Relocate existing interior can light to new soffit above new corner post.
10. Relocate interior light switch to east side of new 14' bi-fold door.

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PROJECT: RESIDENCE FOR AD WOLFF & ASSOC
LOT 14 & 15, BLOCK 21, GENESSEE RESERVATION
534 WAYNES WAY, JEFFERSON COUNTY, COLO.

DATE: 10/27/23
DRAWN BY: B.P.
SCALE: 1/8" = 1'-0"

REVIEWED FOR CODE COMPLIANCE
Subject to field inspection within 100 Jefferson County Building Code and Jefferson County Residential Code
Date: 11/15/23
Plan Checker: [Signature]

2674 SF THIS UNIT
4735 TOTAL SF

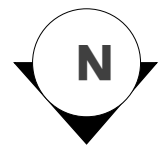
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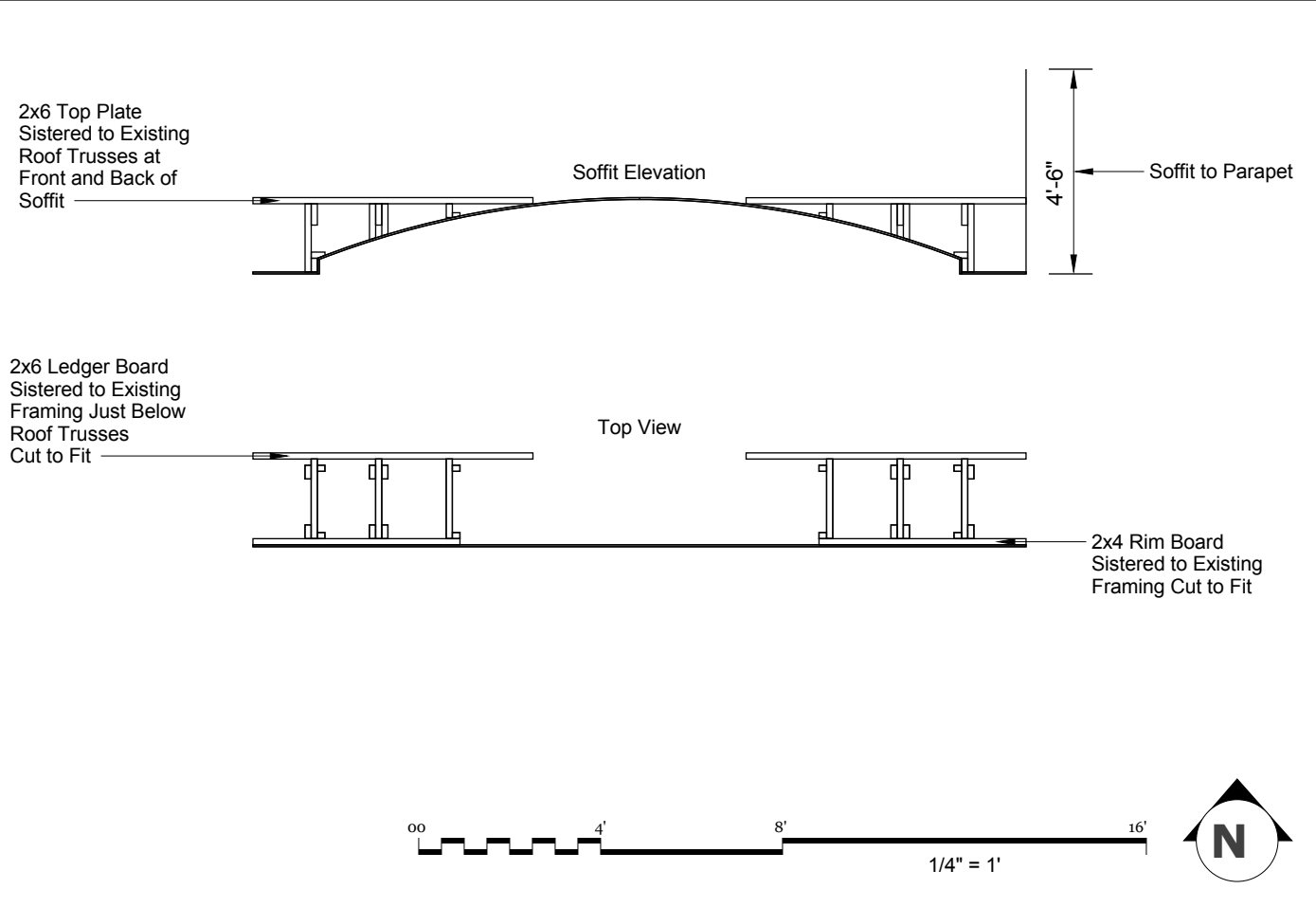
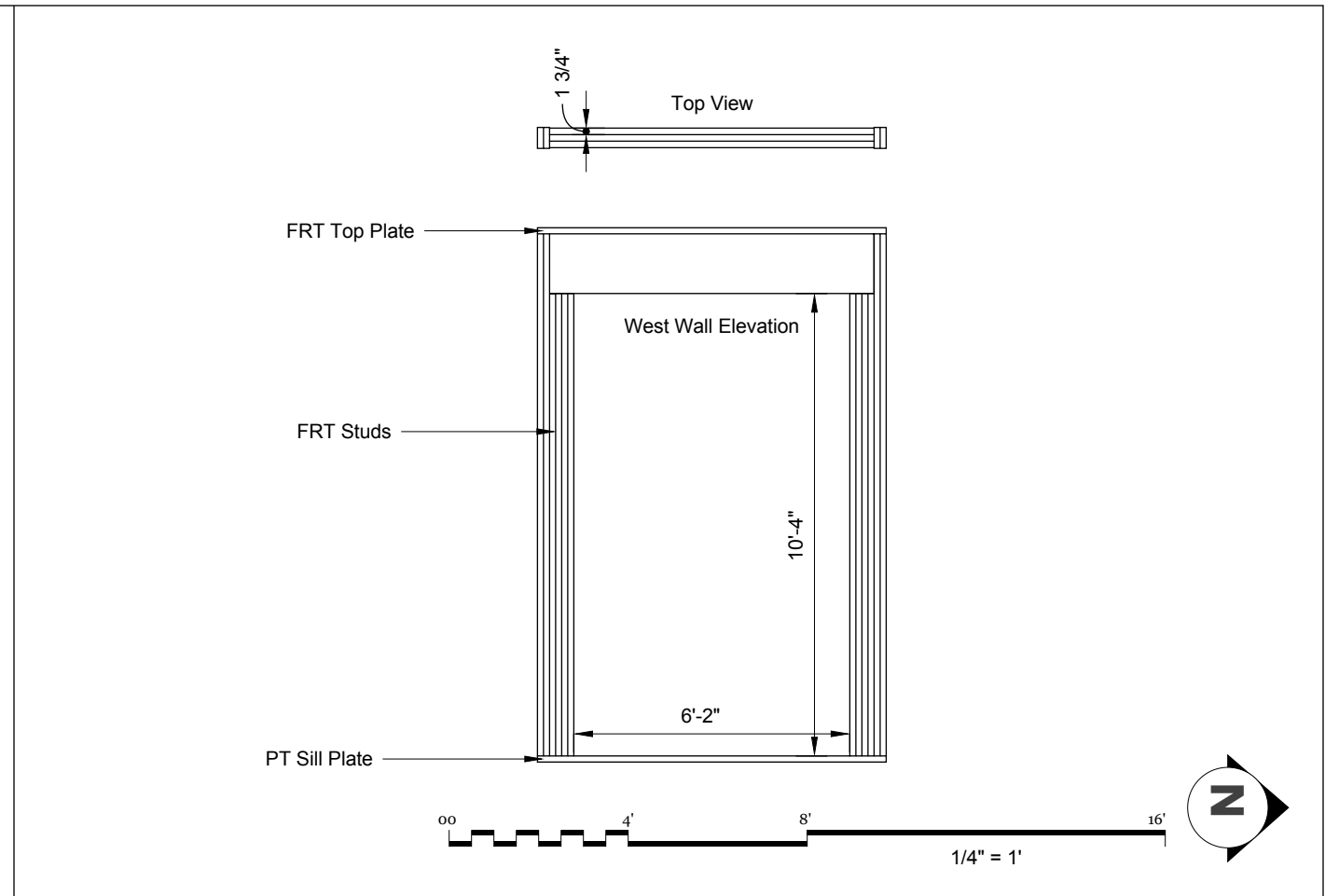
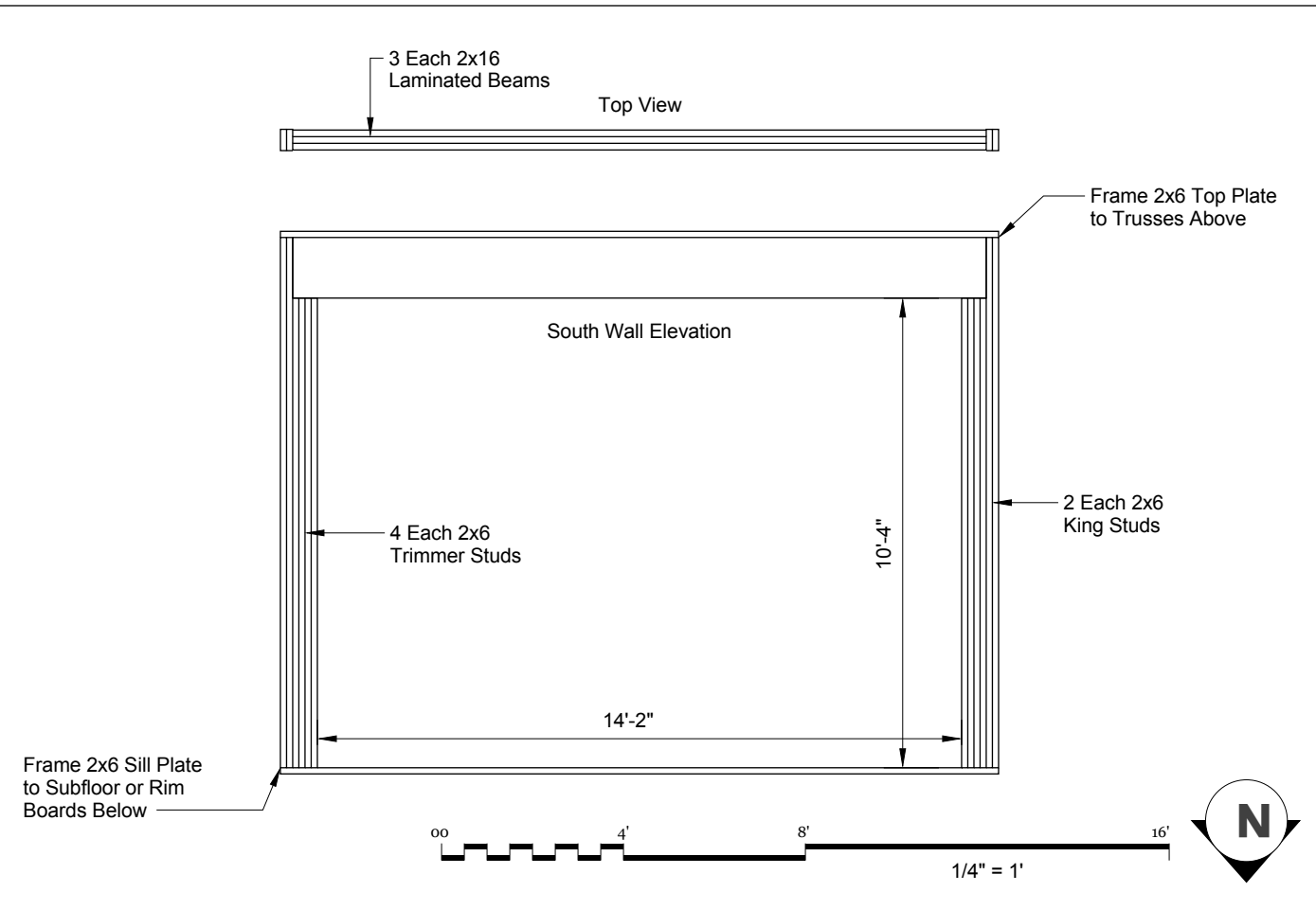
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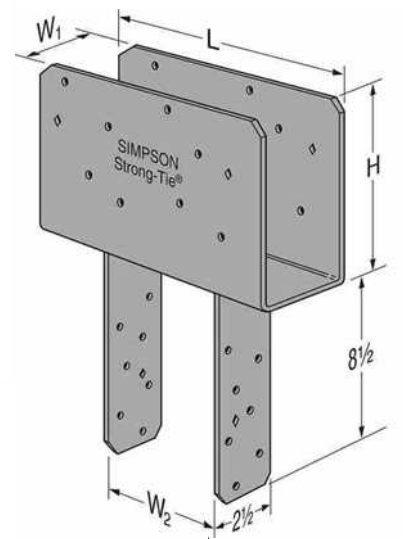
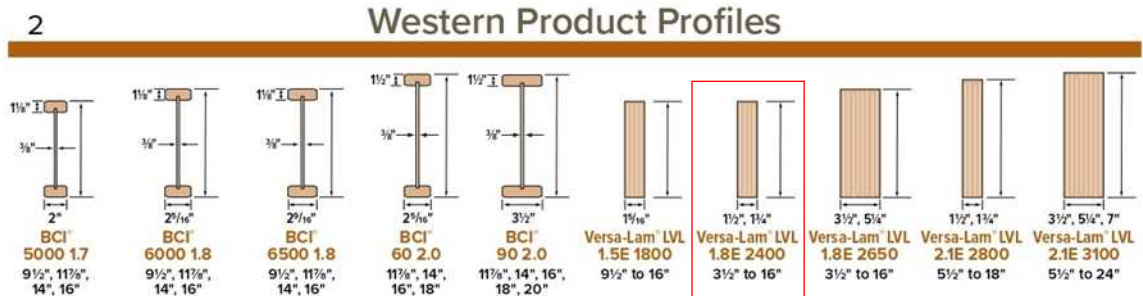
- Framing Notes**
1. **Simpson Strong-Tie connectors on inside and outside of each beam to post connection.**
 2. **Fire retardant treated lumber for all new framing members except sill plates and laminated beams.**
 3. **Pressure treated lumber for both sill plates.**
 4. **2x6 on joist hangers at ledger board, face nailed at rim board, with 2x4 blocking cut to fit as needed.**
 5. **2x4 on joist hangers at ledger board, face nailed at rim board, with 2x4 blocking cut to fit as needed.**
 6. **1/2" plywood face nailed to new framing members for finished soffit and fascia substrate.**
 7. **Frame interior soffit to match existing as needed, less the triangle soffit above deleted wet bar.**

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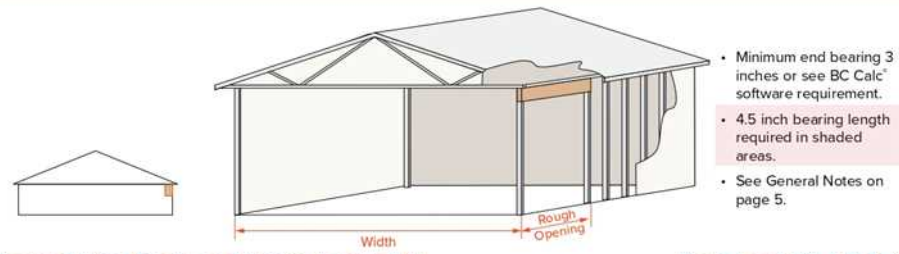
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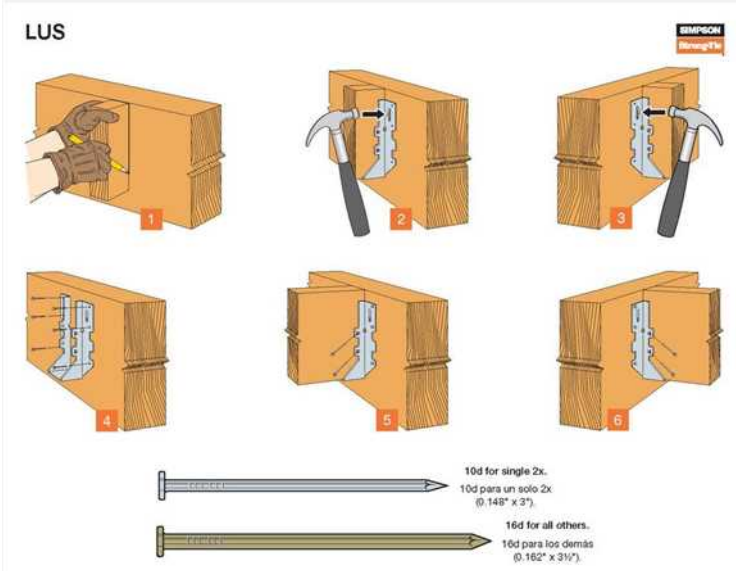
(3) 1 3/4" x 16" x 16"
(3) 1 3/4" x 16" x 8"

Roof Header Span Tables



Required Beam Depths and Bearing Lengths [in] Versa-Lam® LVL 2.1E 3100

Load Duration %	Roof Live	Roof Dead	Rough Opening [Feet]	Width of Building Segment [feet]									
				20	24	26	28	30	32	36	40		
125%	20	15	9	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	
			12	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	
			16	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	
			18	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	
			20	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	
			22	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	
	20	20	9	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	
			12	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	
			16	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	
			18	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	
			20	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	
			22	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	
115%	20	15	9	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	
			12	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	
			16	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	
			18	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	
			20	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	
			22	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	
	20	20	9	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	
			12	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	
			16	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	
			18	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	
			20	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	
			22	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	
40	15	15	9	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	3.5 x 7.25	
			12	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	5.25 x 7.25	
			16	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	
			18	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	
			20	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	
			22	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	
	50	15	15	9	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5	3.5 x 9.5
				12	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5	5.25 x 9.5
				16	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875	3.5 x 11.875
				18	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875	5.25 x 11.875
				20	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14	3.5 x 14
				22	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14	5.25 x 14



Versa-Lam® LVL Beams

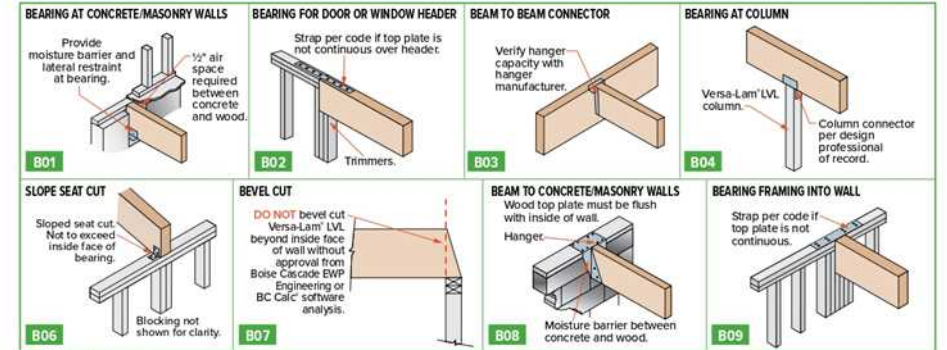
Closest Allowable Nail Spacing

Versa-Lam® LVL Products Nail Size	Nailing Parallel to Glue Lines (Narrow Face) ¹⁾						Nailing Perpendicular to Glue Lines (Wide Face)	
	Versa-Lam® LVL 1.5E 1800 1 1/2"		Versa-Lam® LVL 1"		Versa-Lam® LVL 3 1/2" & Wider		All Products	
	O.C. [in]	End [in]	O.C. [in]	End [in]	O.C. [in]	End [in]	O.C. [in]	End [in]
8d Box (0.113"ø x 2.5")	3	1 1/2	2	1	2	1 1/2	2	1 1/2
8d Common (0.131"ø x 2.5")	3	2	3	2	2	1	2	1
10d & 12d Box (0.128"ø x 3" & 3.25")	3	2	3	2	2	1	2	1
10d Box (0.135"ø x 3.5")	3	2	3	2	2	1	2	1
10d & 12d Common & 16d Sinker (0.148"ø x 3" & 3.25")	4	3	4	3	2	2	2	2
16d Common (0.162"ø x 3.5")	6	4	6	3	2	2	2	2

1) For 1 1/2" thickness and greater, 2 rows of nails (such as for a metal strap) are allowed (use 1/2" minimum offset between rows and stagger nails).

• Offset and stagger nail rows from floor sheathing and wall sole plate.
• Simpson Strong-Tie A35 and LPT4 connectors may be attached to the side Versa-Lam® LVL/Versa-Rim® LVL. Use nails as specified by Simpson Strong-Tie.

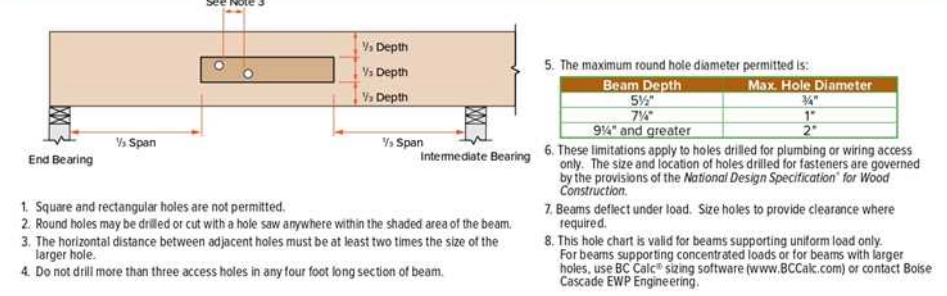
Versa-Lam® LVL Beam Details



INSTALLATION NOTES

- Minimum of 1/2" air space between beam and wall pocket or adequate barrier must be provided between beam and concrete/masonry.
- Adequate bearing shall be provided. If not shown on plans, please refer to load tables on pages 3-5 of this guide.
- Versa-Lam® LVL beams are intended for interior applications only and should be kept as dry as possible during construction.
- Continuous lateral support of top of beam shall be provided (side or top bearing framing).

Allowable Holes in Versa-Lam® LVL Beams



Structural Engineer Notes

CONTRACTOR
Joe Lyon - Constructify
6145 Broadway, Suite 205
Denver, CO 80216

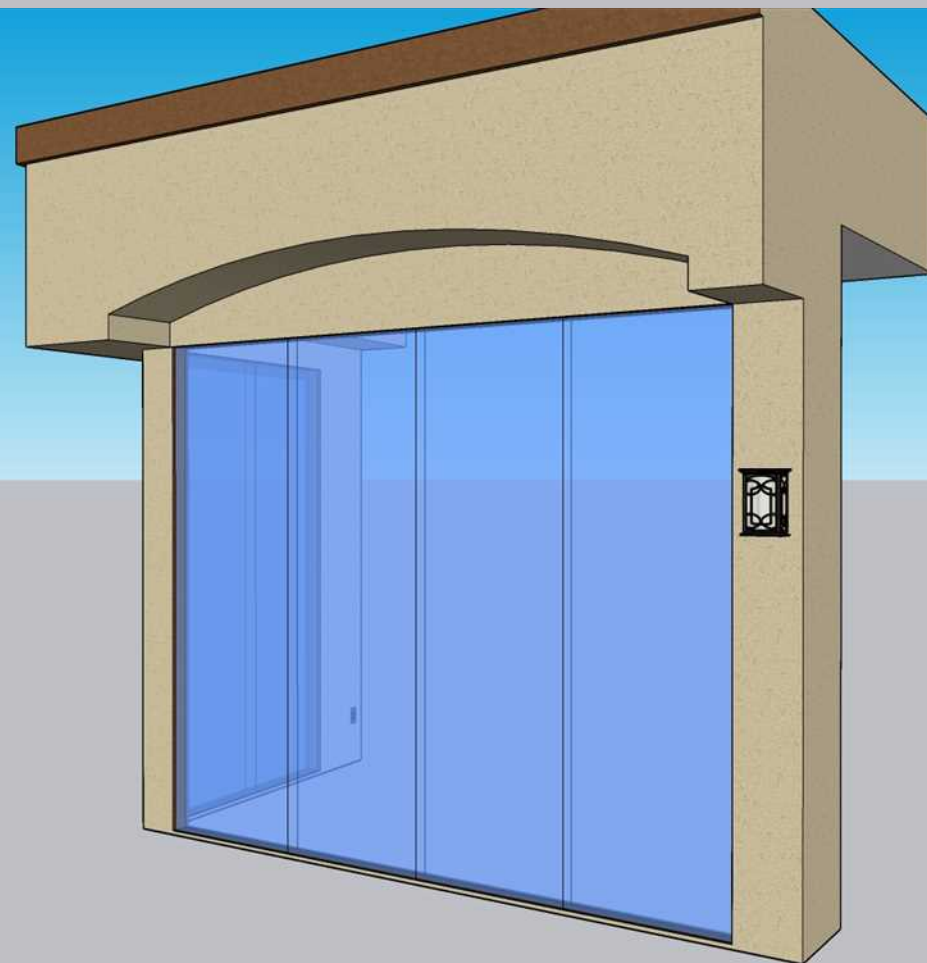
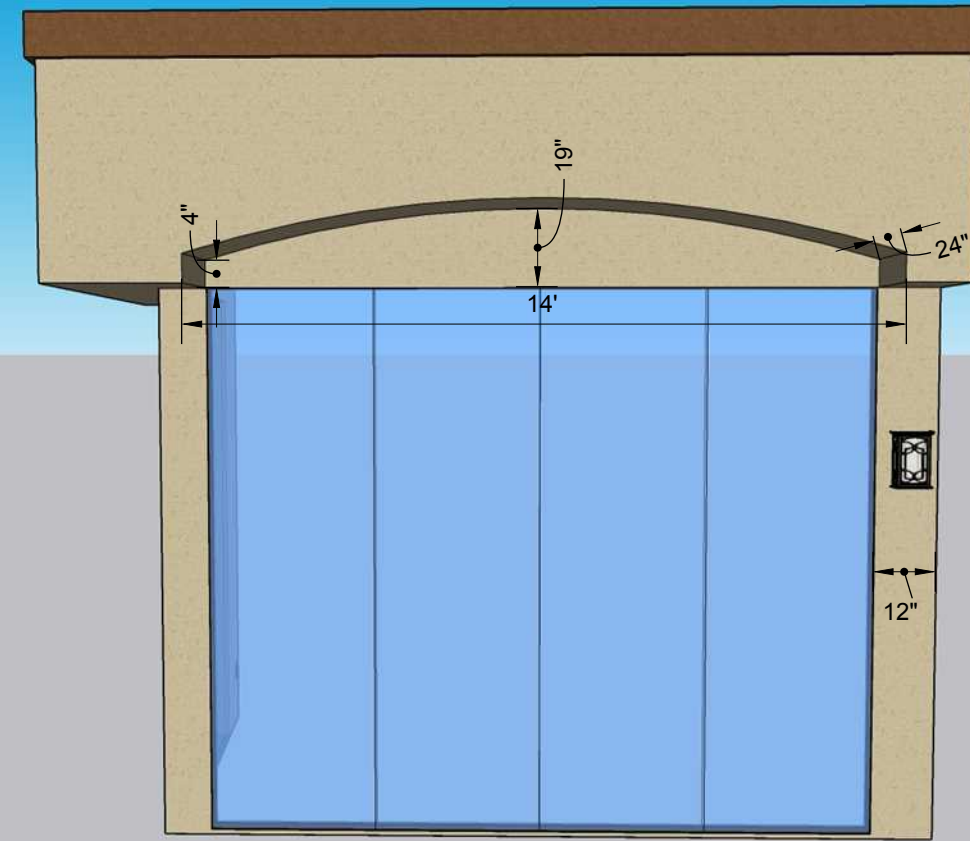
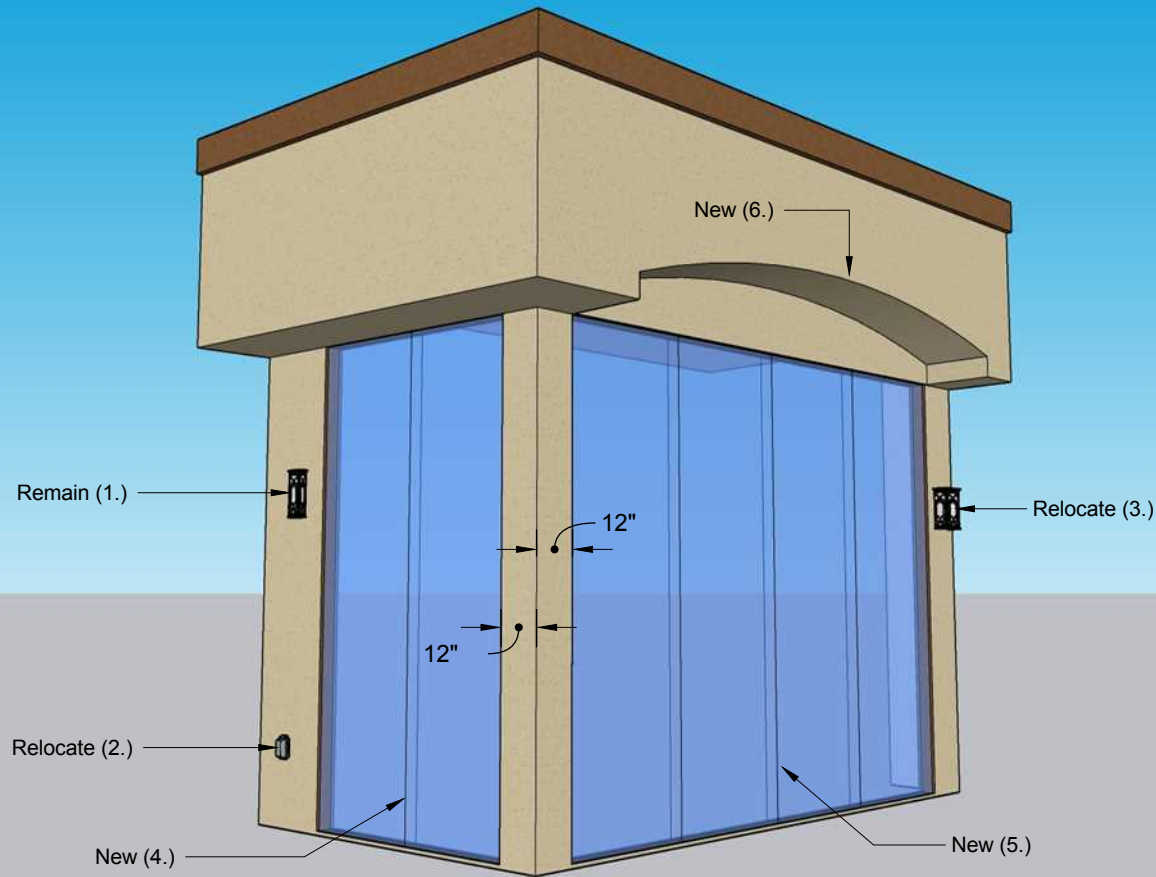
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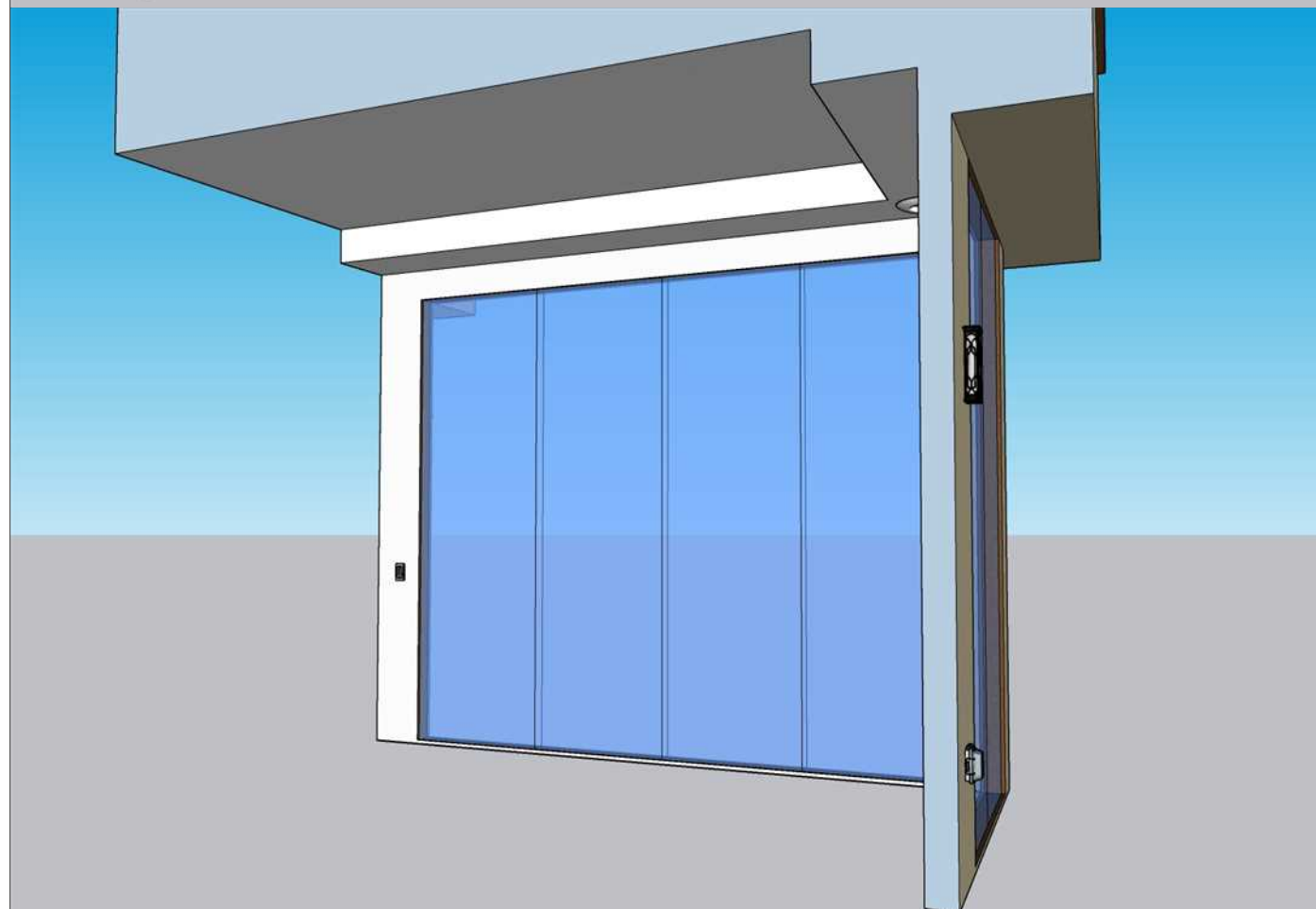
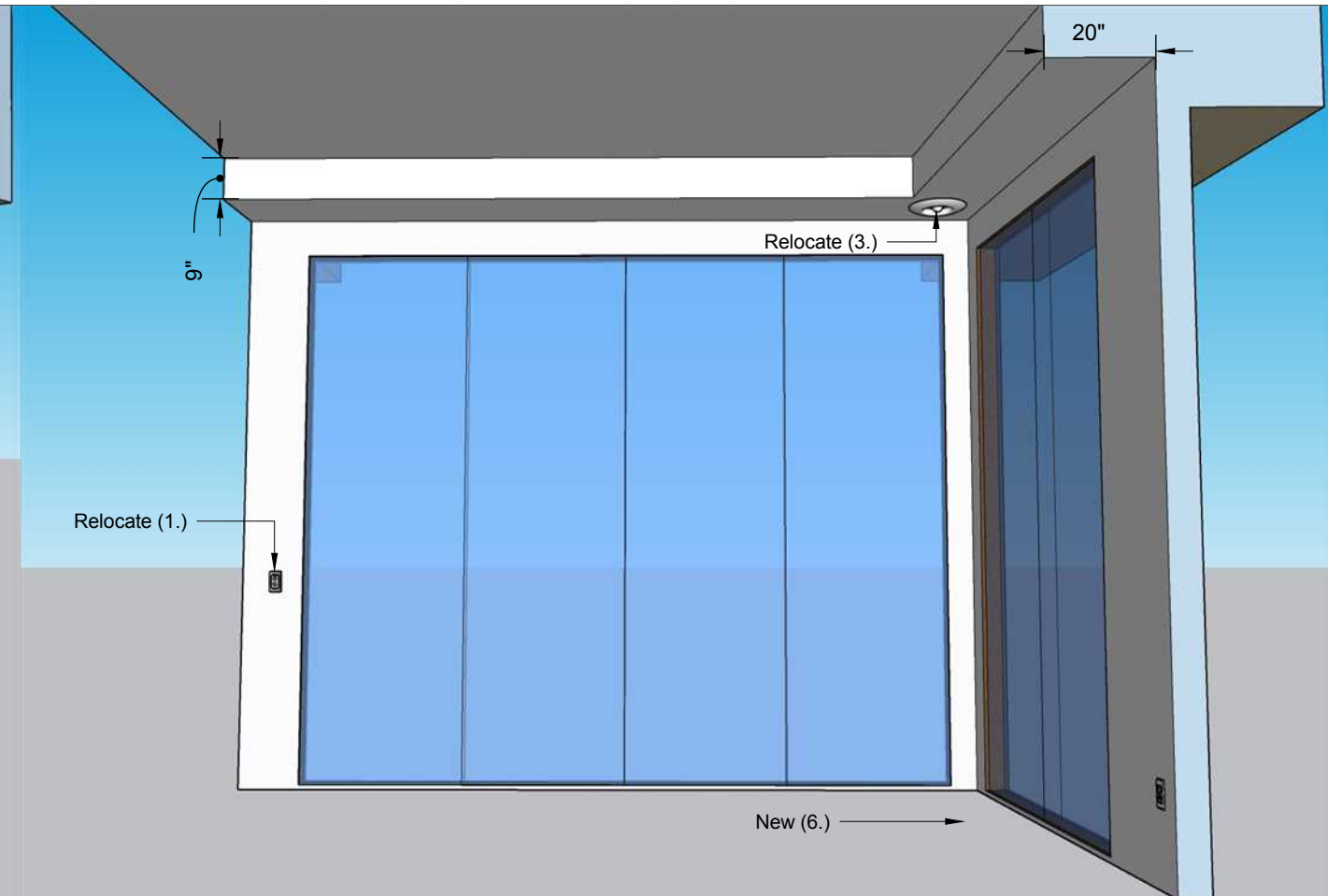
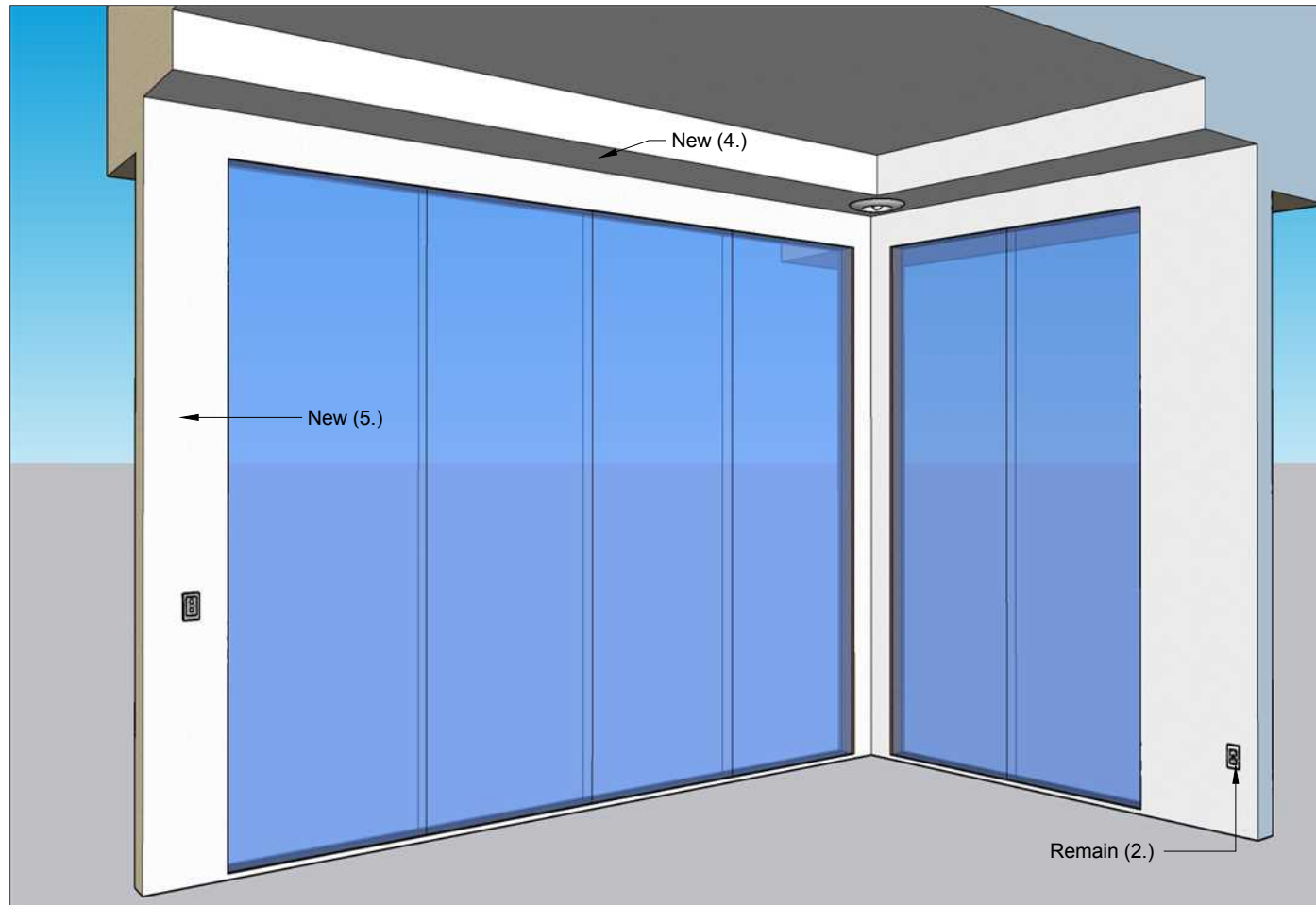
Framing Details

A.07



Exterior Elevation Notes

1. Light sconce to remain and be protected during construction.
2. Relocate 120A GFCI receptacle from adjacent location on west wall.
3. Relocate light sconce to east side of new door from adjacent location on south wall
4. New La Cantina aluminum framed thermally controlled 6' wide by 10' tall two panel glass bi-fold door.
5. New La Cantina aluminum framed thermally controlled 14' wide by 10' tall four panel glass bi-fold door.
6. New 14' wide by 19" tall arch with plywood soffit and stucco fascia to match existing.



CONTRACTOR
 Joe Lyon - Constructify
 6145 Broadway, Suite 205
 Denver, CO 80216

CLIENT
 Raymond Kummer
 23534 Waynes Way
 Golden, CO 80401

PROJECT
 Kummer Doors
DESIGN FIRM
 beesindustries.com
 800.716.7307

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 Bryce Perkins
 720.750.2200

Interior Elevation Notes

1. Relocate light switch to east side of new door from adjacent location on south wall
2. 120A receptacle to remain and be protected during construction.
3. Relocate can light from existing soffit to new soffit above interior corner post.
4. Frame and finish interior soffit to match existing.
5. Patch and paint effected drywall in work area to match existing.
6. Refinish floor to match existing.

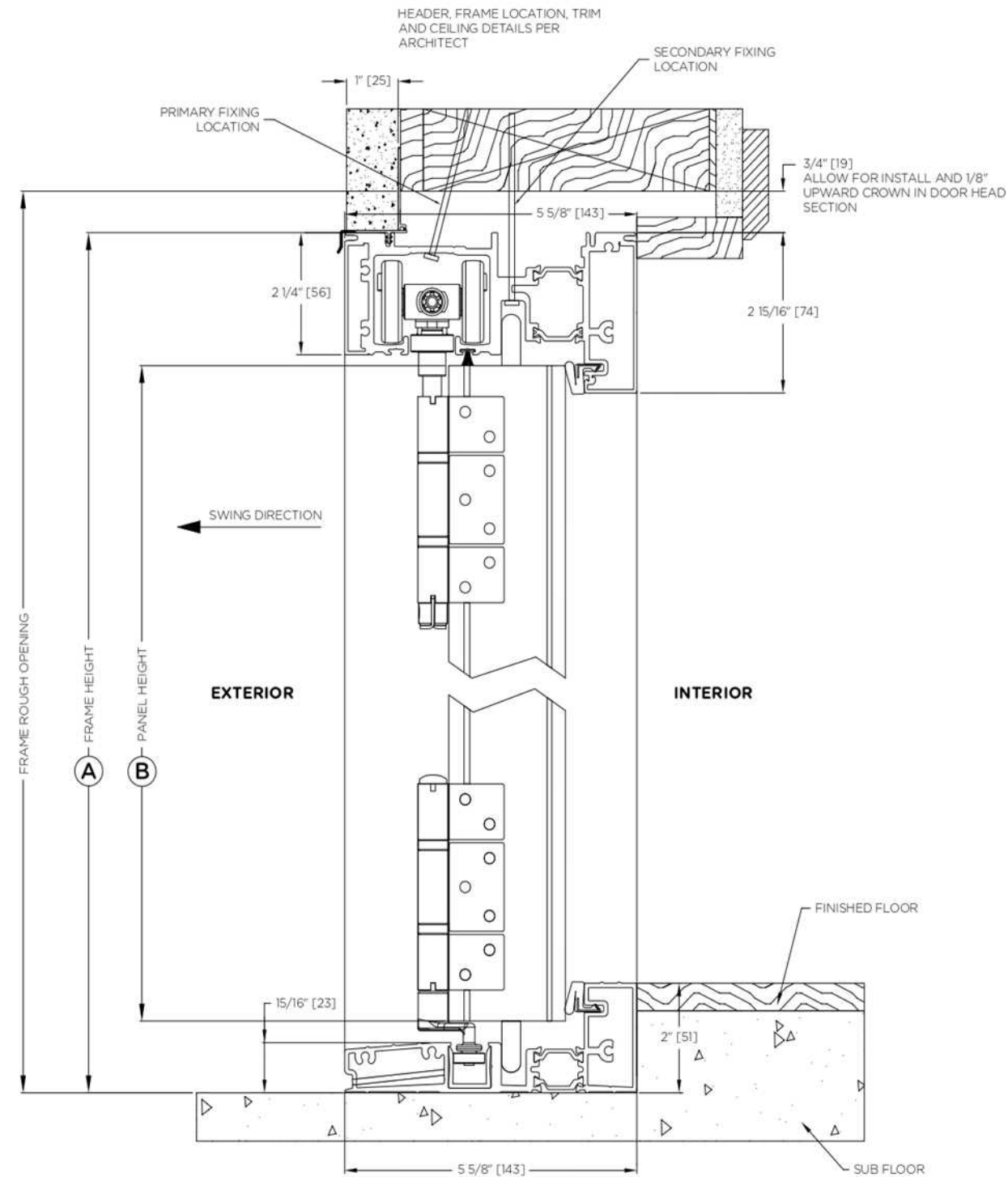
Interior
 Elevation

A.09

FOLDING | WEATHER RESISTANT SILL



ALUMINUM THERMALLY CONTROLLED - OUTSWING



System Letter:	Order #:	A
	Location:	B
	Date:	

PERFORMANCE & TESTING

PERFORMANCE TEST RESULTS

Product Type: Aluminum Thermally Controlled Outswing Bi-Fold Door
 Series/Model: Aluminum Thermally Controlled
 Description: Aluminum Core With Thermal Breaks
 Panel Size: 39" x 120"

Weather Resistant Sill Test Results

TEST	MEASURED	ALLOWED
Air Infiltration		
ASTM-E 283	1.6 psf	
(25 mph)	0.3 cfm/sq.ft.	0.3 cfm/sq.ft.

TEST	MEASURED	ALLOWED
Water Infiltration		
ASTM-E 547	5.25 psf	
DP 35	No Leakage	No Leakage

TEST	MEASURED	ALLOWED
Uniform Load Deflection		
ASTM-E 330	-+ 0.35 psf	
DP 35	1.44" Pos	
1.50" Neg	Report Only	
Report Only		

TEST	MEASURED	ALLOWED
Uniform Load Overload		
ASTM-E 330	+ 52.5 psf	
DP 35	0.05" Pos	
0.02" Neg	0.48"	
0.48"		

TEST	MEASURED	ALLOWED
Forced Entry		
AAMA 1304-02	Grade 10 Pass	
Pass		
No Entry		
No Entry		

Overall DP Rating DP 35 NFRC RATING | THERMAL PERFORMANCE

TYPE OF GLASS	U-FACTOR	SHGC
(1 LITE) AIR FILLED PANEL SIZE 42" x 94"		
Clear-Air-Clear	0.54	0.54
E180-Air-Clear	0.43	0.45
E272-Air-Clear	0.42	0.30
E270-Air-Clear	0.42	0.27
E340-Air-Clear	0.42	0.14
E366-Air-Clear	0.42	0.21
ARGON FILLED PANEL SIZE 42" x 94"		
Clear-Argon-Clear	0.52	0.54
E180-Argon-Clear	0.39	0.45
E272-Argon-Clear	0.38	0.30
E270-Argon-Clear	0.38	0.27
E340-Argon-Clear	0.37	0.14
E366-Argon-Clear	0.37	0.20
ARGON FILLED WITH i89 PANEL SIZE 42" x 104"		
E272-Argon-i89	0.36	0.29
E270-Argon-i89	0.36	0.26
E340-Argon-i89	0.35	0.13
E366-Argon-i89	0.35	0.20
TRIPLE GLAZED - ARGON FILLED PANEL SIZE 42" x 94"		
E366-E180-i89	0.28	0.18
E366-Clear-E366	0.30	0.17

*Results may vary based on size of glass

U-factor gives the rate of heat transfer through the window-from inside to outside when it is cold and from outside to inside when it is hot. The lower the U-factor, the better the insulating properties, resulting in greater energy efficiency.

Solar heat gain coefficient (SHGC) is defined when sunlight hits a window and the solar heat is absorbed and subsequently released inward. The SHGC represents the fractional amount of the solar energy that ends up warming the house. The lower the SHGC, the less solar heat it transmits.



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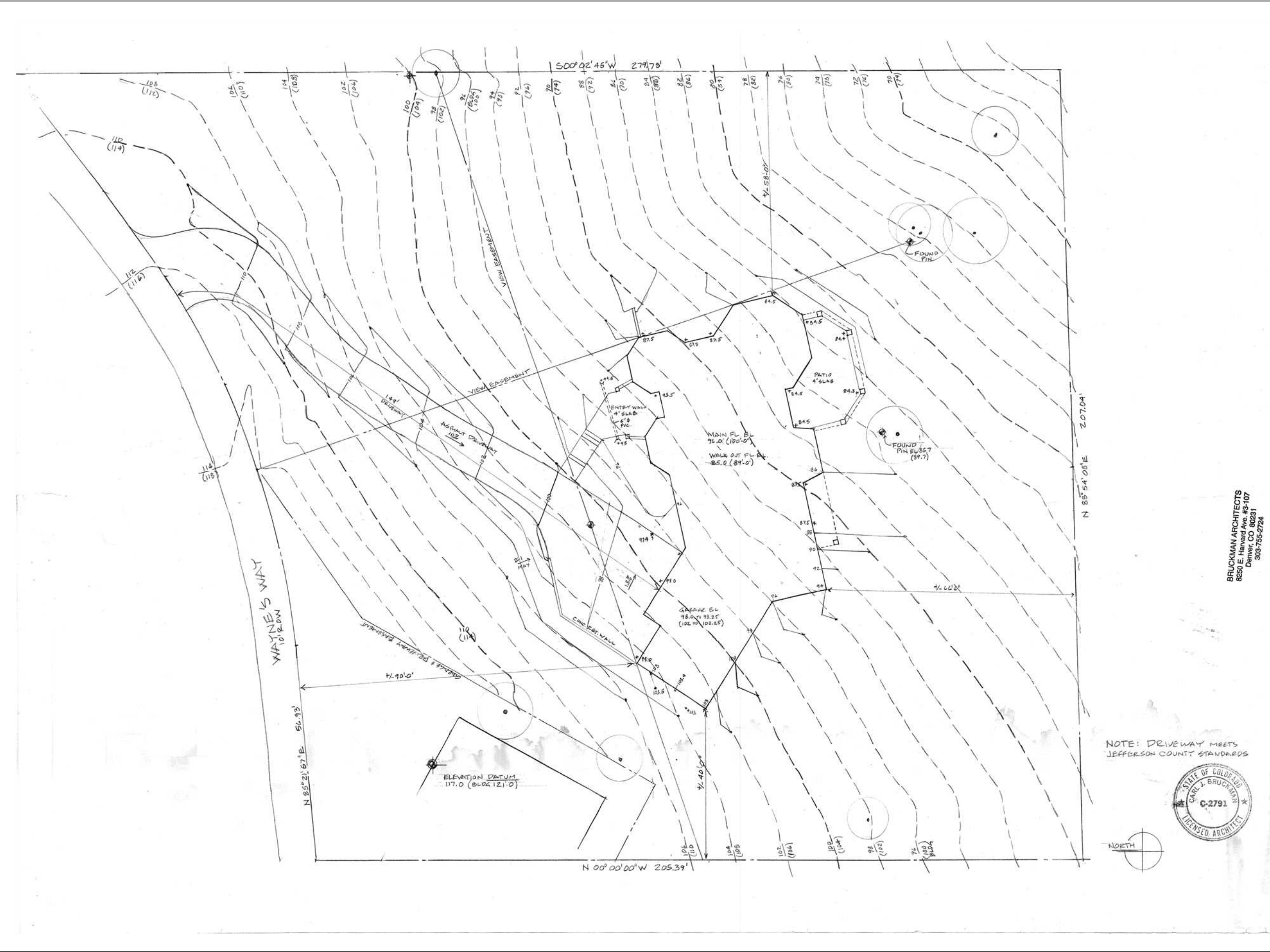
CLIENT
 Raymond Kummer
 23534 Waynes Way
 Golden, CO 80401

PROJECT
 Kummer Doors
DESIGN FIRM
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Door Schedule

A.10



WAYNES WAY 10' R.O.W.	SCALE 1" = 10'-0"	REV'S
	DATE 10/10/23	DATE 10/10/23
	DRAWN BY CJB	
	SITE PLAN	
A1		
OF 7		

BRUCKMAN ARCHITECTS
2304-C South Holly St.
Denver, Colorado 80222
303-755-2724

BRUCKMAN ARCHITECTS
8650 E. Harvard Ave. #8-107
Denver, CO 80231
303-755-2724



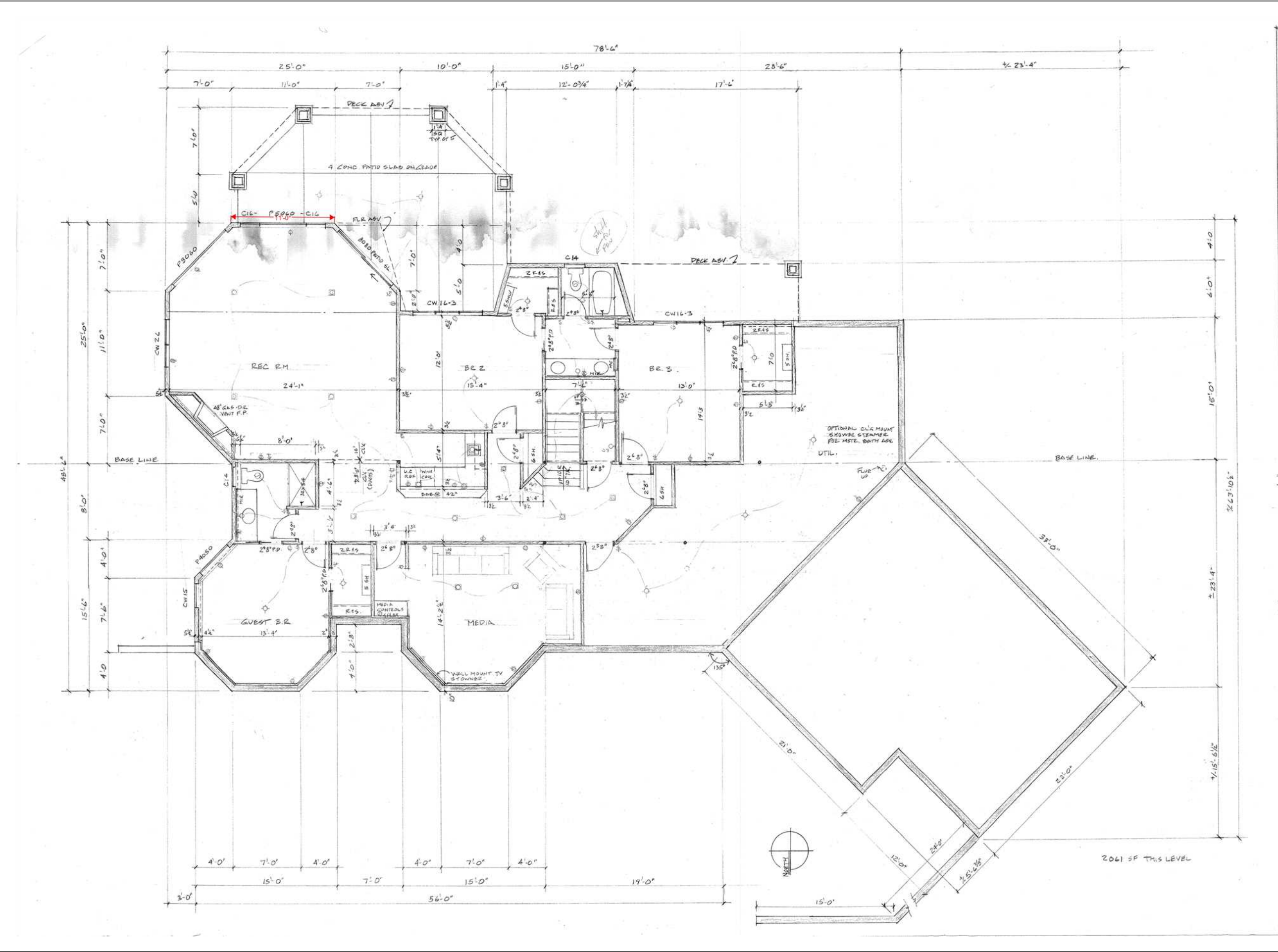
NOTE: DRIVEWAY MEETS JEFFERSON COUNTY STANDARDS

CONTRACTOR
Joe Lyon - Constructify
6145 Broadway, Suite 205
Denver, CO 80216

CLIENT
Raymond Kummer
23534 Waynes Way
Golden, CO 80401

PROJECT
Kummer Doors
DESIGN FIRM
beesindustries.com
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ISSUE
05.25.2021
DRAWN BY
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SCALE: 1/8"=1'-0" DATE: 10/10/23 DRAWN BY: CJB	ELEV.: LOWER FLOOR PLAN	PROJECT: RESIDENCE FOR A.D. WOLFF & ASSOC., LOT 14 & 15, BLOCK 21 GENESEE RESERVATION, 23534 WAYNE'S WAY, JEFFERSON COUNTY, CO.
2300 W. ARCHITECTS 2300 E. South Holly St. Denver, Colorado 80222 303-733-2724		
ISSUE: 05.25.2021 DRAWN BY: Bryce Perkins 720.750.2200		
PROJECT: Kummer Doors DESIGN FIRM: beesindustries.com 800.716.7307		
CLIENT: Raymond Kummer 23534 Waynes Way Golden, CO 80401		
CONTRACTOR: Joe Lyon - Constructify 6145 Broadway, Suite 205 Denver, CO 80216		

A2

OF 7

Existing
Conditions

A.12

CONTRACTOR
Joe Lyon - Constructify
6145 Broadway, Suite 205
Denver, CO 80216

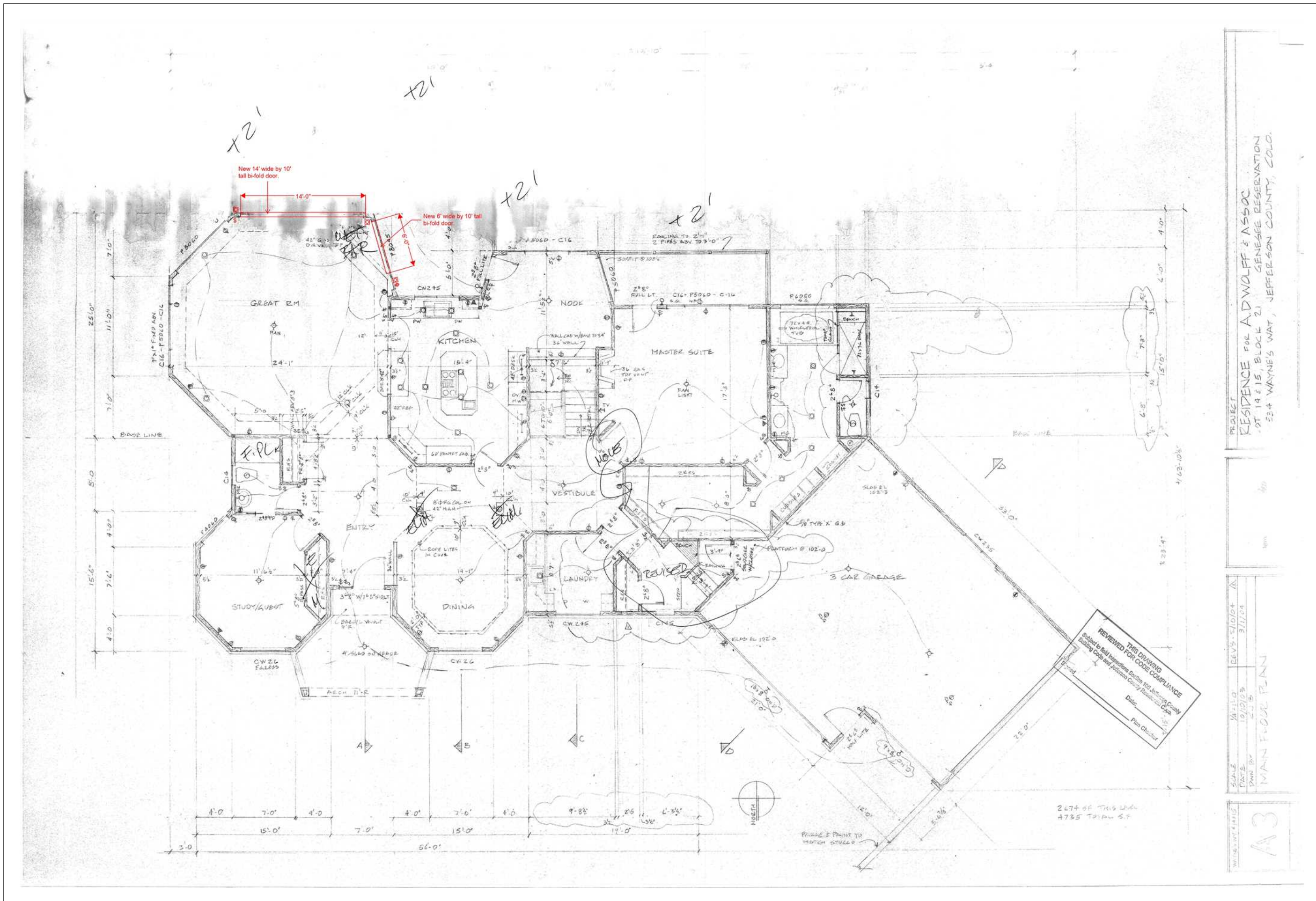
CLIENT
Raymond Kummer
23534 Waynes Way
Golden, CO 80401

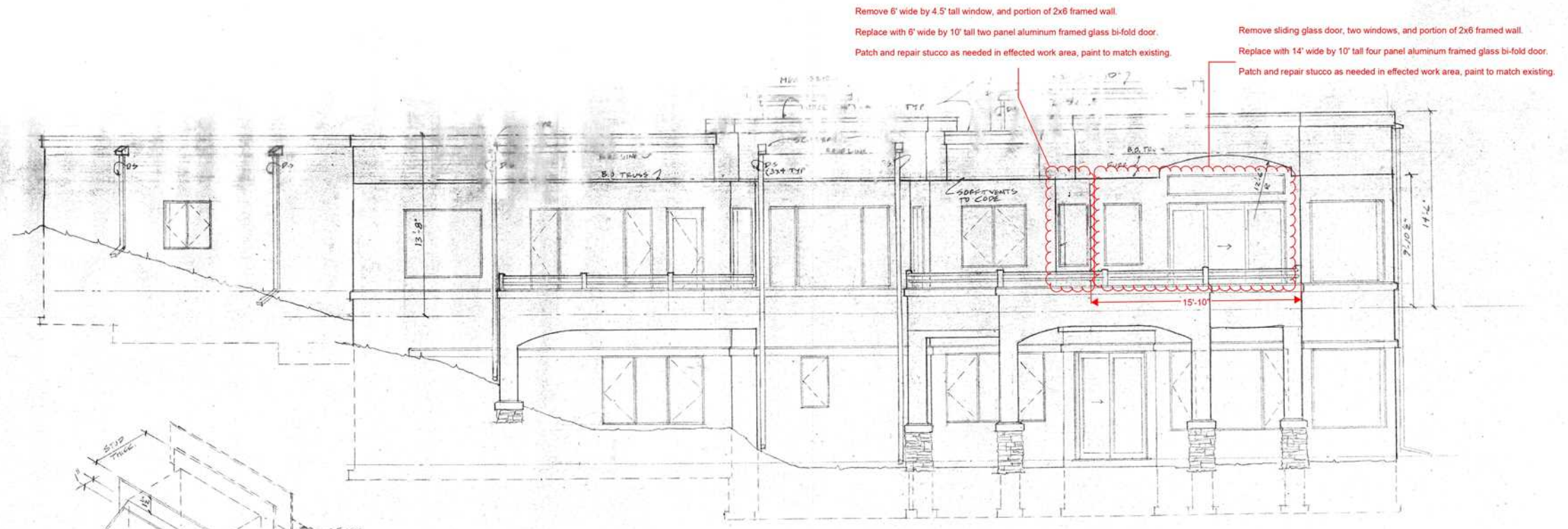
PROJECT
Kummer Doors
DESIGN FIRM
beesindustries.com
800.716.7307

ISSUE
05.25.2021
DRAWN BY
Bryce Perkins
720.750.2200

Existing
Conditions

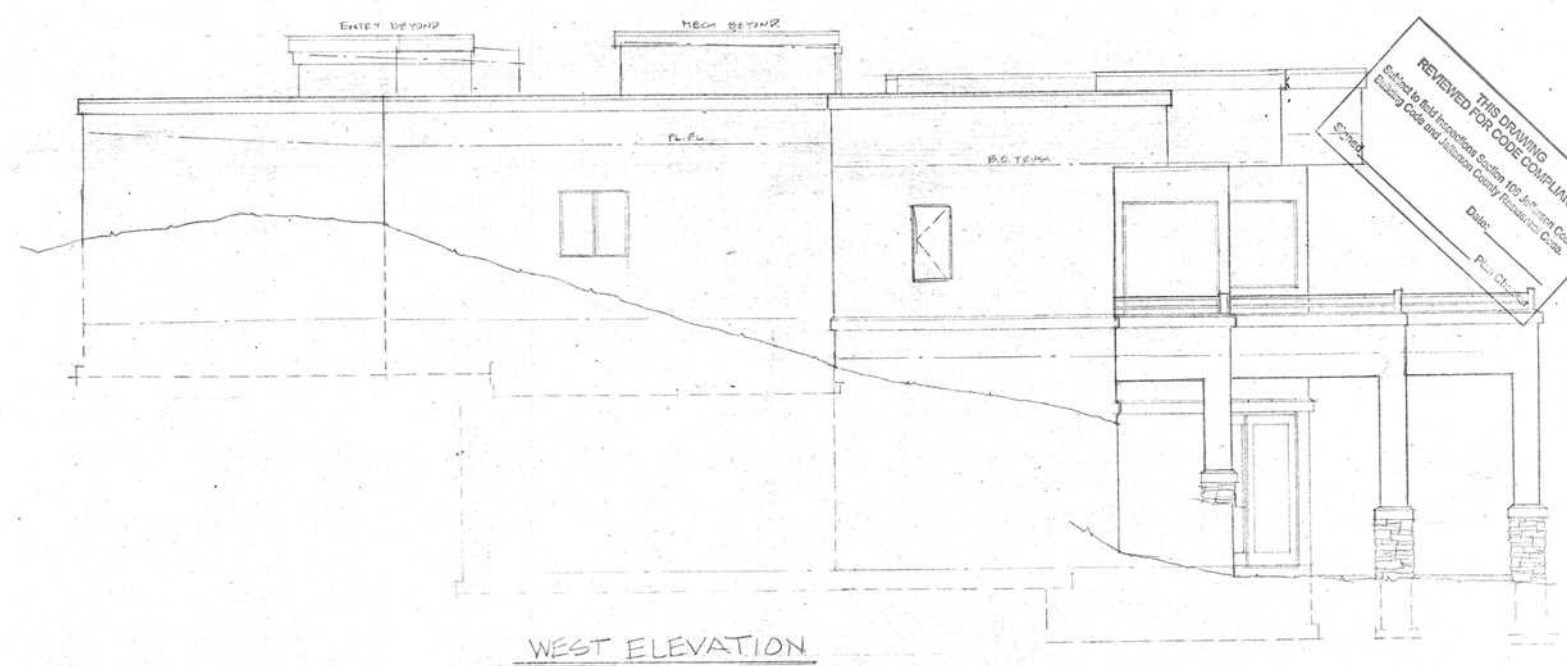
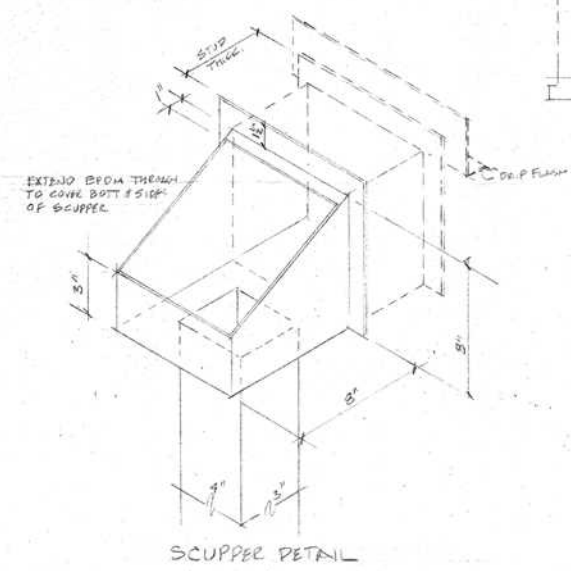
A.13





Remove 6' wide by 4.5' tall window, and portion of 2x6 framed wall.
 Replace with 6' wide by 10' tall two panel aluminum framed glass bi-fold door.
 Patch and repair stucco as needed in effected work area, paint to match existing.

Remove sliding glass door, two windows, and portion of 2x6 framed wall.
 Replace with 14' wide by 10' tall four panel aluminum framed glass bi-fold door.
 Patch and repair stucco as needed in effected work area, paint to match existing.



REVIEWED FOR CODE COMPLIANCE
 Subject to all applicable codes 105 Jefferson County
 Building Code and Jefferson County Residential Code.
 Date: _____
 P. Ch...

PROJECT
 RESIDENCE FOR A.D. WOLFF & ASSOC.
 LOT 14 & 15, BLOCK 21, GENESEE RESERVATION
 25524 WAYNES WAY, JEFFERSON COUNTY, COLORADO

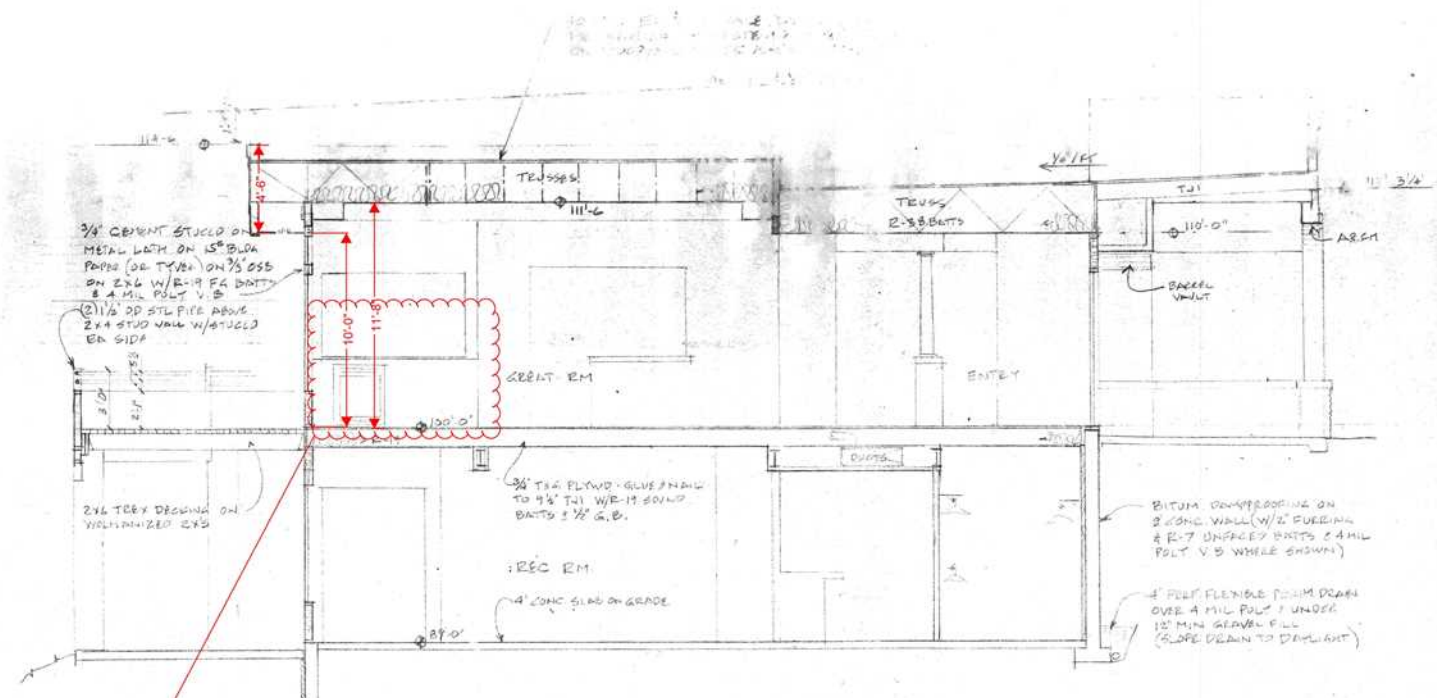
SCALE	1/4" = 1'-0"	REV'S	3-1-02
DATE	10/10/03	JOB#	802
DRAWN BY	CLB		
SOUTH & WEST ELEVATIONS			
A6			

CONTRACTOR
 Joe Lyon - Constructify
 6145 Broadway, Suite 205
 Denver, CO 80216

CLIENT
 Raymond Kummer
 23534 Waynes Way
 Golden, CO 80401

PROJECT
 Kummer Doors
DESIGN FIRM
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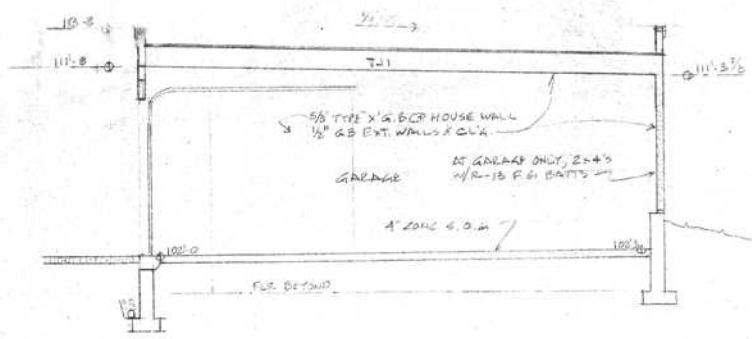


Wet bar cabinets, counter top, sink, faucet, and two GFCI power receptacles to be removed and disposed of.

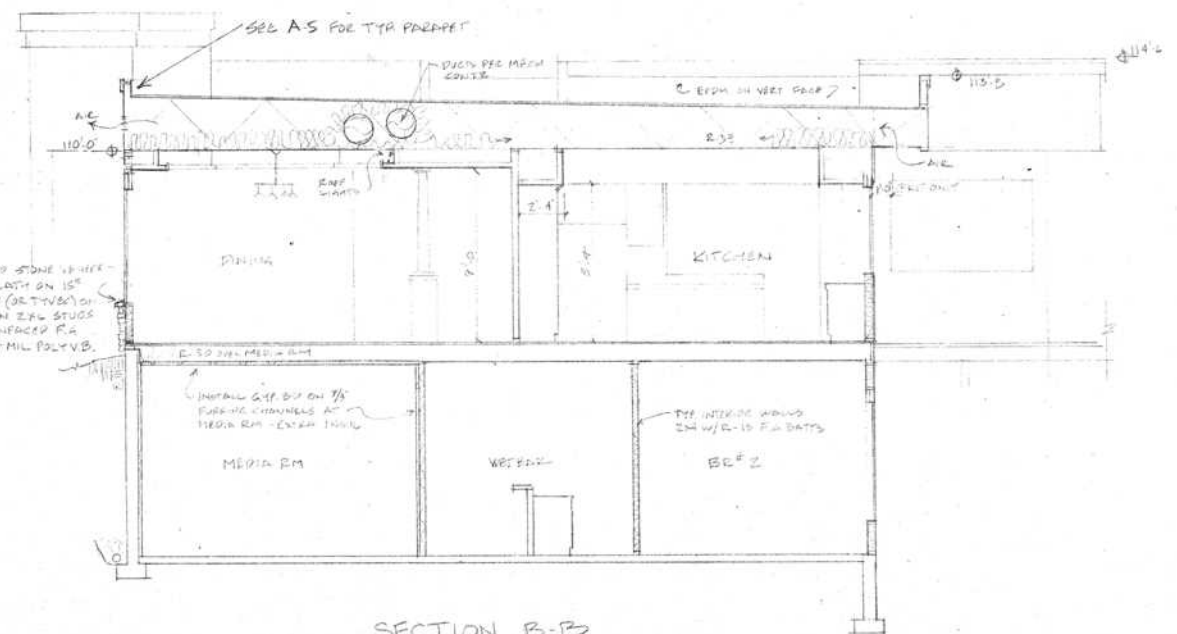
Wine cooler to be relocated to kitchen.

Plumbing drain and feed lines to be capped off and sealed under the floor or behind the wall.

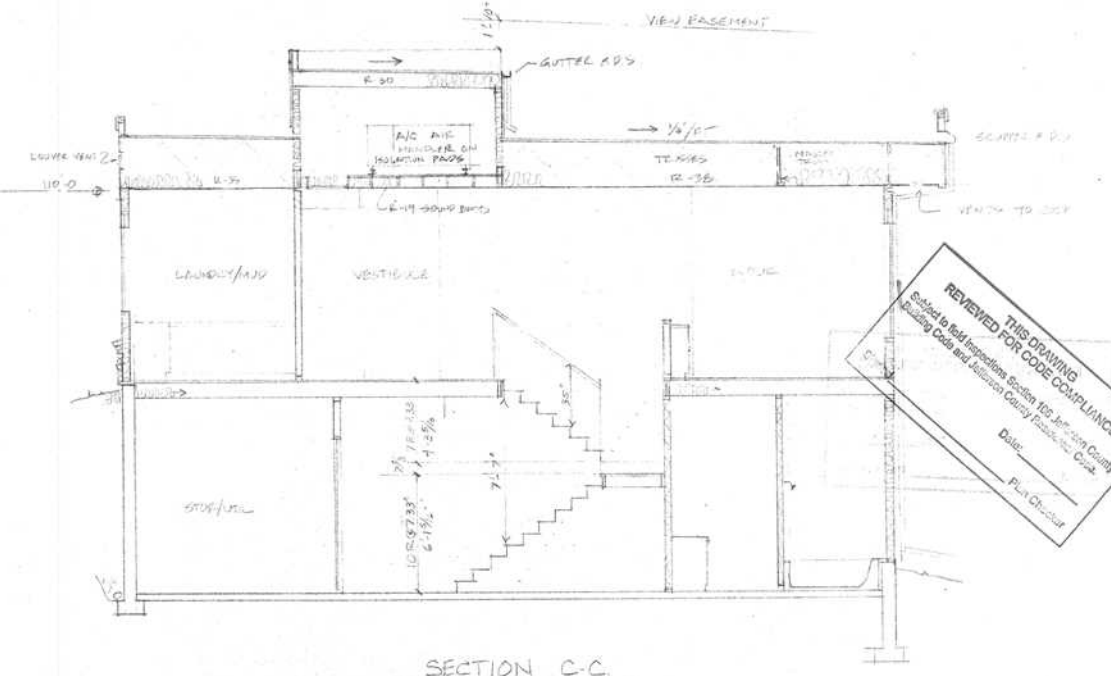
Two GFCI power receptacles to be removed at the panel box.



SECTION D-D



SECTION B-B



SECTION C-C

PROJECT
 RESIDENCE FOR AD WOLFF & ASSOC
 LOT 14 & 15, BLOCK 21, GENESSEE RESERVATION
 25554 WAYNES WAY, JEFFERSON COUNTY COLO.

000	000
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SCALE	DATE	DATE	DATE
1/8\"/>			

A7
BUILDING SECTIONS

REVIEWED THIS DRAWING FOR CODE COMPLIANCE
 Submitted to local jurisdictions Section 110.1 for Jefferson County Building Code and Jefferson County Executive Code
 Date: _____
 Plan Check:

CONTRACTOR
 Joe Lyon - Constructify
 6145 Broadway, Suite 205
 Denver, CO 80216

CLIENT
 Raymond Kummer
 23534 Waynes Way
 Golden, CO 80401

PROJECT
 Kummer Doors
DESIGN FIRM
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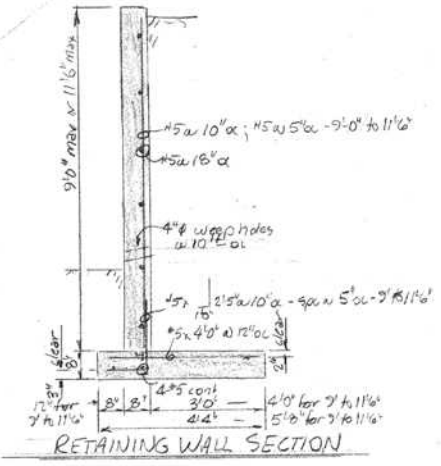
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DRAWN BY
 Bryce Perkins
 720.750.2200



* Provide Simpson HD64 above & below floor - bolt thru floor system. See 4th Floor Plan for exact locations of openings in walls.

THIS DRAWING
SUBJECT TO FIELD INSPECTIONS DESIGN 105 Jefferson County
Building Code and Jefferson County Foundation Code
Date: _____
Plan Checker

- GENERAL NOTES**
1. Assumed allowable soil bearing - 2000 psf
 2. Concrete to attain a minimum compressive strength of 3000 psi at 28 days.
 3. Reinforcing steel - A615 Grade 60
 4. Structural steel - A36, 10# steel - A500, Grade B.
 5. Dimensional Lumber - hem fir #2, micro lam beam - #2000 psi, E=1.9x10⁶ psi, Parallam - #2300 psi, E=2.0x10⁶ psi. Glu-lam beam - E=1.6x10⁶ psi, for 2400 psi.
 6. Sheath perimeter with 9/16" dia or plywood nail with 8d or 4" x 8" edges, 12" on field block free edges. Provide hold-down anchors at corners on PLAN. For sheets R-nail to all members with 5d nails @ 4" oc.
 7. Reinforce full height basement walls with #5 @ 18" oc, 1" clear top inside face. For shorter walls - see PLAN - place bars with 1" clear to outside face. Provide 2 #5 cont top & bottom.
 8. Design per 2009 code, wind 100 mph, exposure C.
 9. Provide Simpson H 23 on all roof trusses. Place m/hip/ridge anchors on master or gable trusses. Also use 1/2" x 4" thru treated timber plate at foundation typical unless noted otherwise.



RESERVE FOR AD WOLFF & ASSOC
LOT 14 & 15, BLOCK 21 GENESEE RESEVATION
23514 WAYNES WAY, JEFFERSON COUNTY

SCALE 1/4" = 1'-0" UNLESS NOTED
DATE 10/10/23
DESIGNED BY SJS
DRAWN BY
MAIN FLOOR FRAMING PLAN
STRUCTURAL DETAILS

3279
STATE OF COLORADO
3-5-24

CONTRACTOR
Joe Lyon - Constructify
6145 Broadway, Suite 205
Denver, CO 80216

CLIENT
Raymond Kummer
23534 Waynes Way
Golden, CO 80401

PROJECT
Kummer Doors
DESIGN FIRM
beesindustries.com
800.716.7307

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05.25.2021
DRAWN BY
Bryce Perkins
720.750.2200

Existing
Conditions

A.18

