

DECK DESIGN CRITERIA:

CITY: Denver
FROST DEPTH: 36" Below Grade
LIVE LOAD: 40 psf
SNOW LOAD: 35 psf
WIND DESIGN: 115 mph (V) Exp. B
MISC: 2018 IRC
DECK HEIGHT: 2'-11" Above Grade
ELEVATION: 5,413 Ft.
DECK SIZE: 161 sf
DECK SURFACE: 1" x 6" Trex
SOIL BEARING PRESSURE: 1500 PSF
SIDE SHEAR: 150 PSF

FRAMING NOTES:

- ALL FRAMING TO BE #2 OR BETTER SOUTHERN YELLOW PINE
- ALL FRAMING HARDWARE TO BE SIMPSON ZMAX APPROVED
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH 2018 IRC
- FORTRESS FE26 RAILING AND PICTURE FRAME DECKING TO BE BLOCKED WHERE NECESSARY FOR STRUCTURAL INTEGRITY
- A MINIMUM OF FOUR DTT1Z DECK TENSION TIES MUST BE EVENLY DISTRIBUTED ALONG THE DECK WITH ONE DTT1Z WITHIN TWO FEET OF EACH END OF THE LEDGER

FOOTING KEY

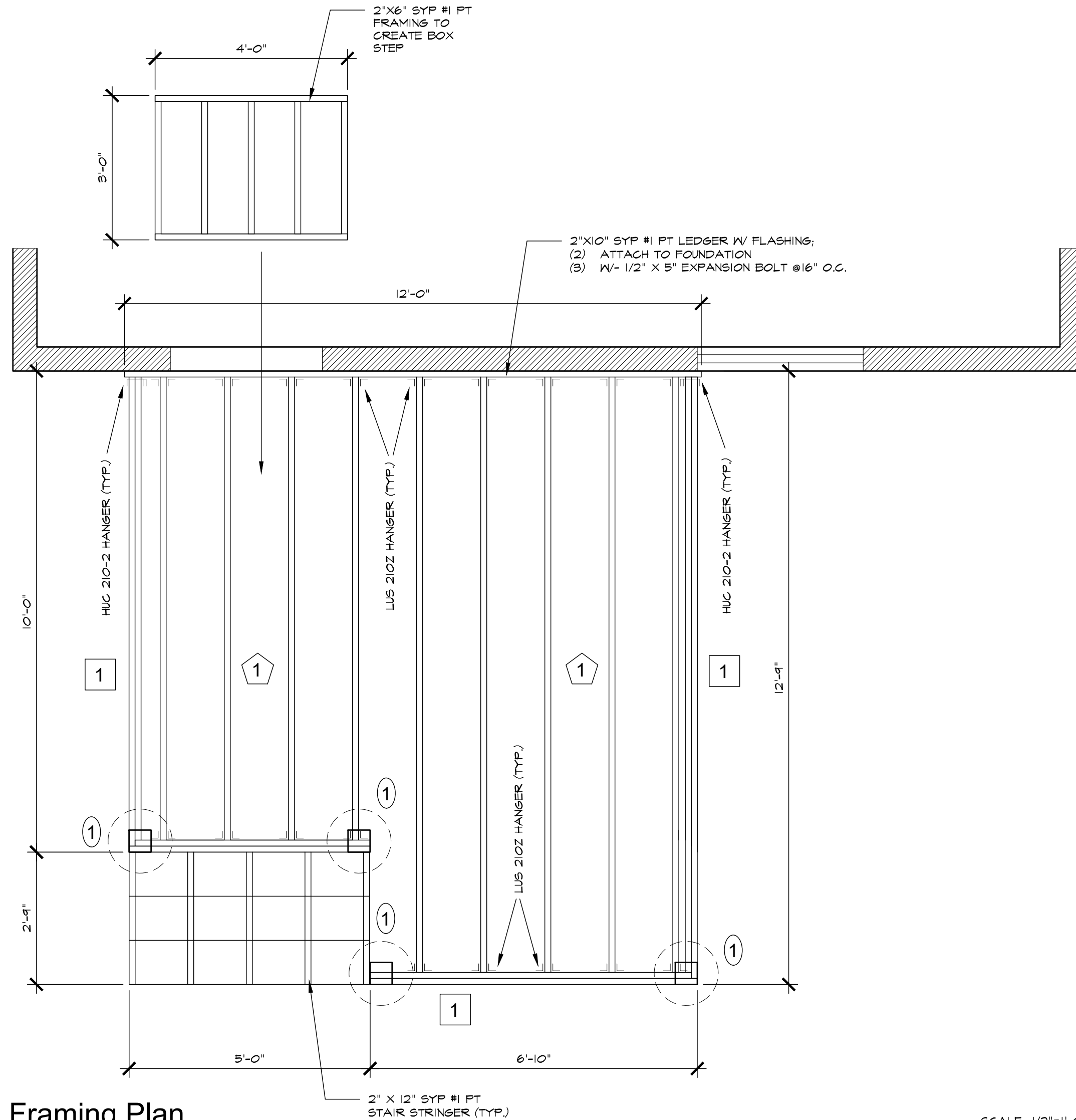
- ① NEW 16" x 36" CONCRETE FOOTING w/ 6" X 6" CEDAR POST

RIM KEY

- ① 2 - 2" x 10" SYP #1 PT

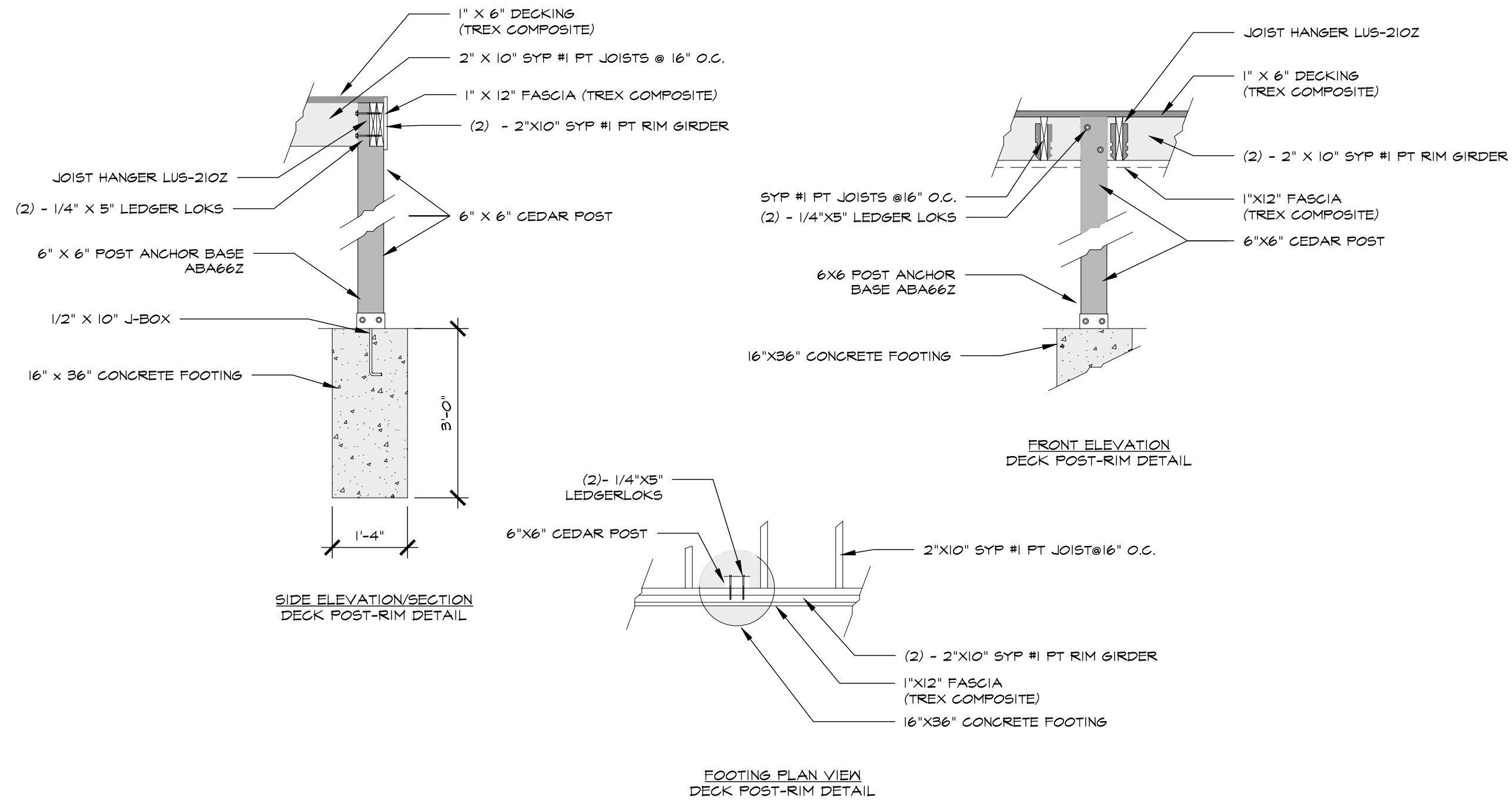
JOIST KEY

- ① 2" x 10" SYP #1 PT JOISTS 16" O.C. Typ



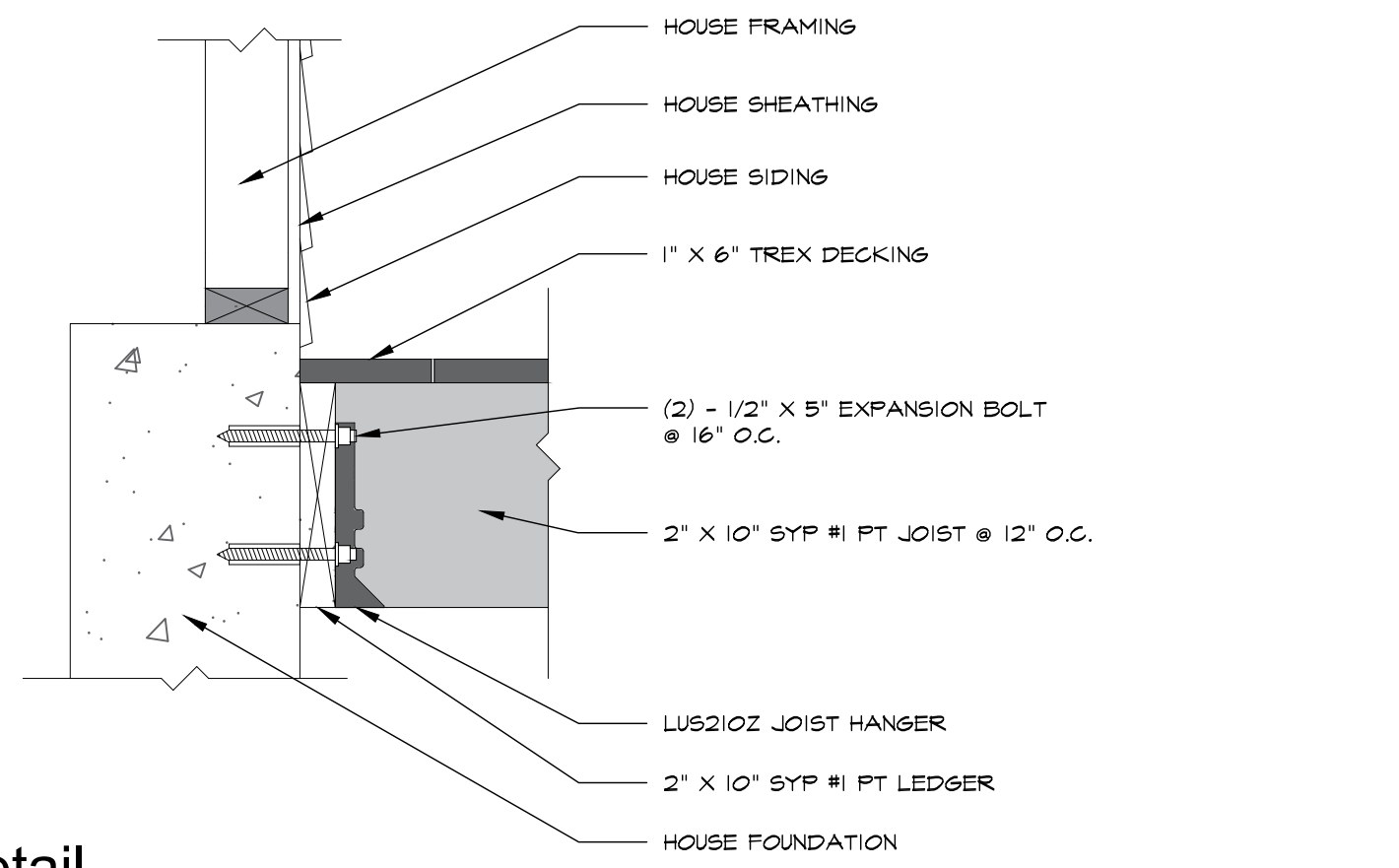
Framing Plan

SCALE: 1/2"=1'-0"



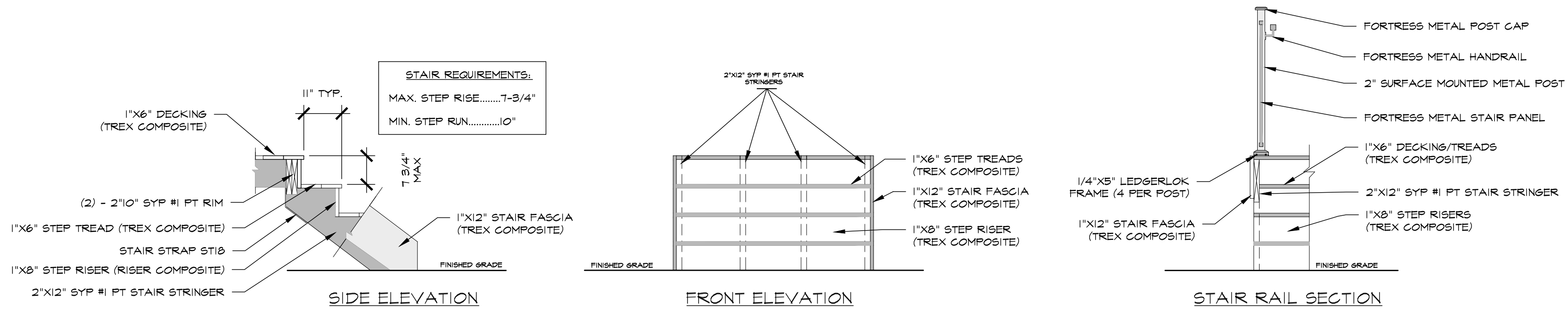
Rim Girder to Post with Footing - Detail

SCALE: 1/2"=1'-0"



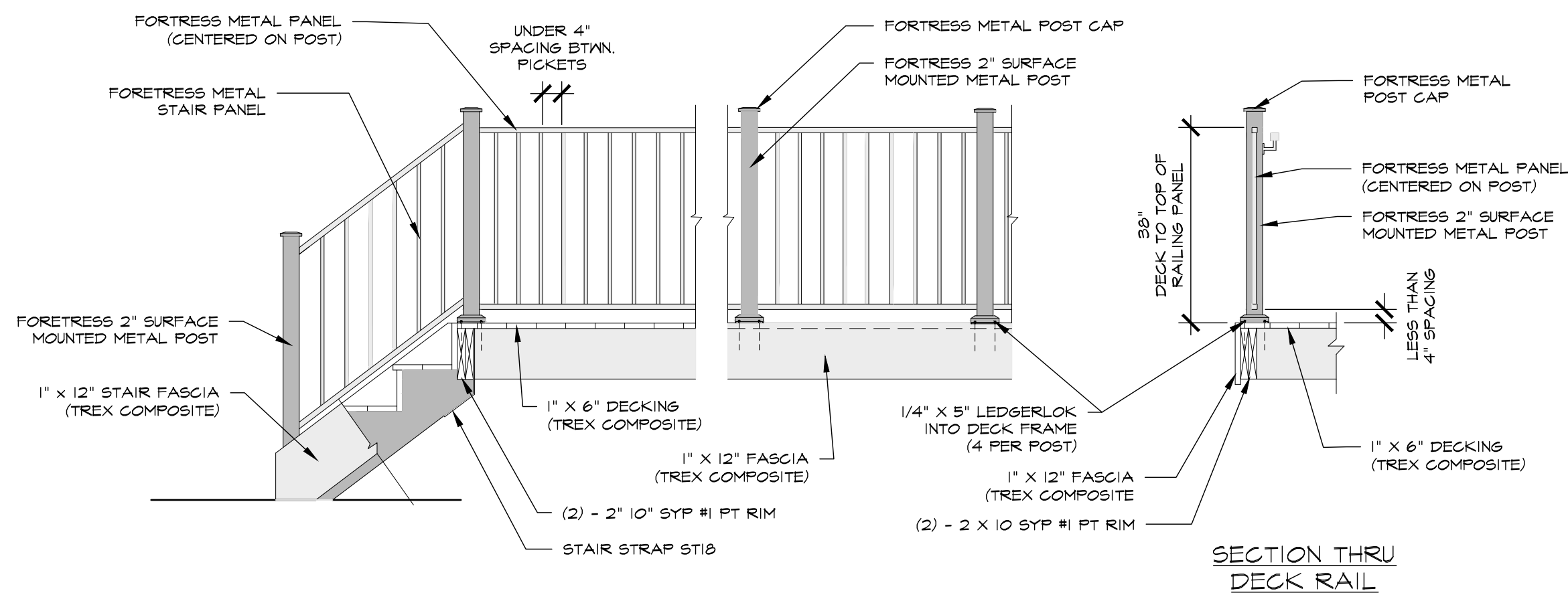
Ledger - Detail

SCALE: 1 1/2"=1'-0"



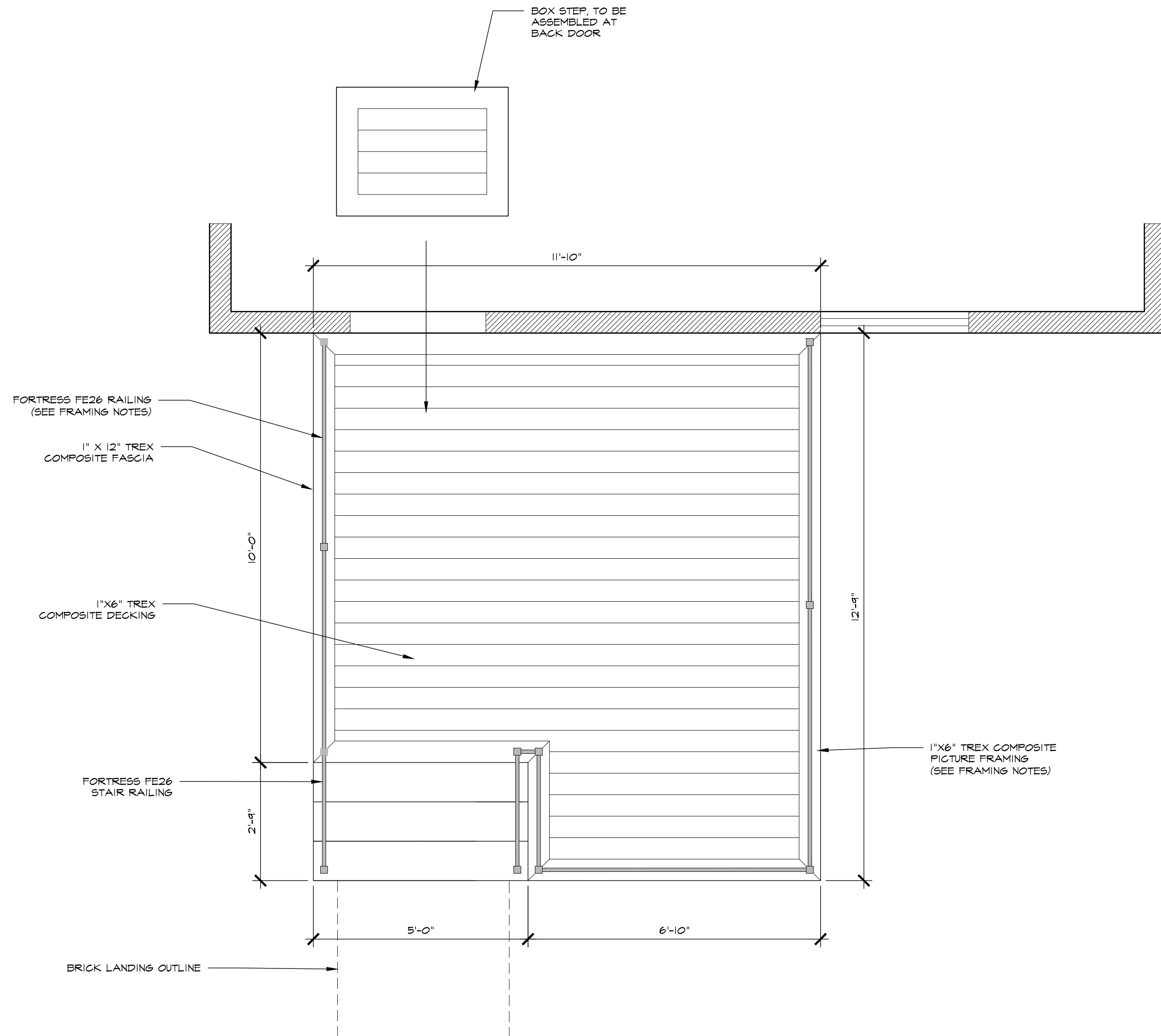
Stair - Detail

SCALE: 1/2"=1'-0"



Railing Details - Fortress Fe26 Panels with Surface Mounted Metal Posts

SCALE: 1/2"=1'-0"



Decking Plan

SCALE: 1/2"=1'-0"

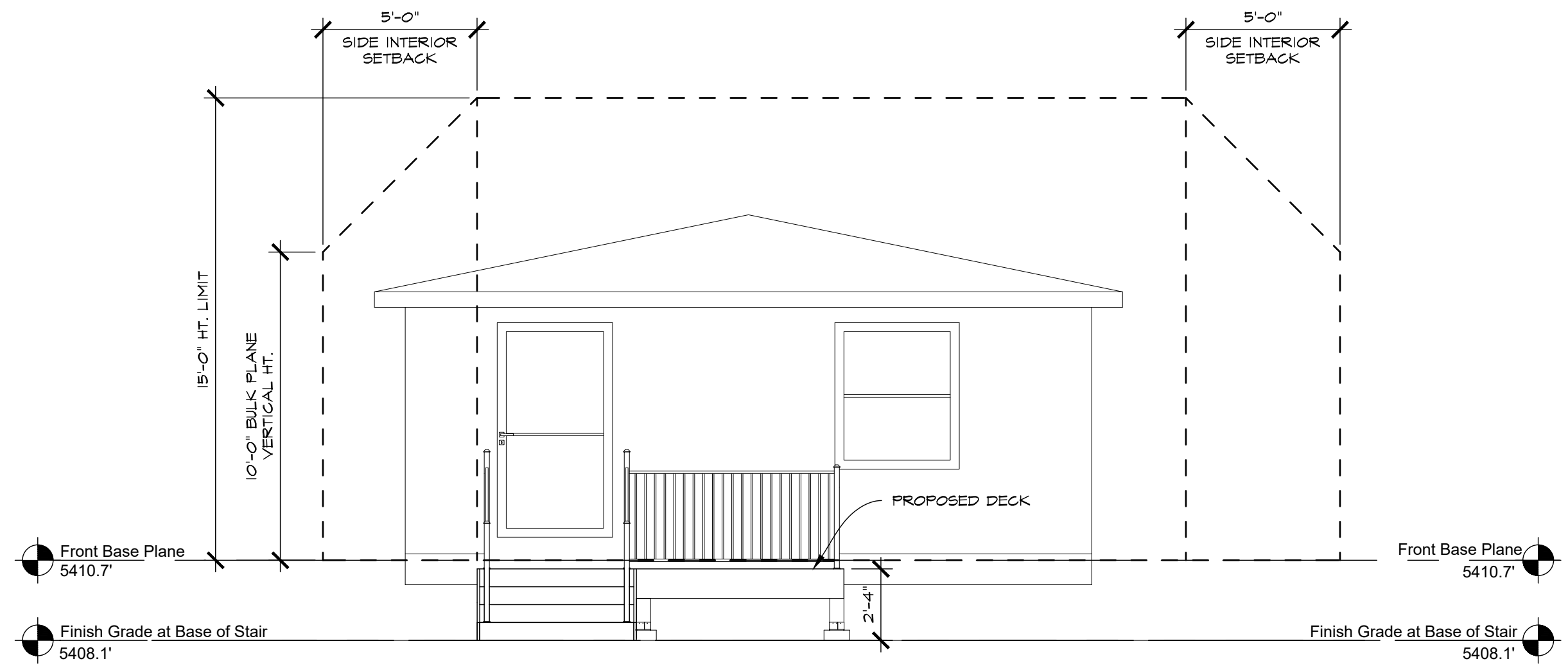
ADDRESS:
 ZONE: U-SU-C1
 BUILDING FORM: URBAN HOUSE
 ACCESSORY STRUCTURE UNDER 30"

ZONE LOT AREA: 4,144.8 SF
 ZONE LOT WIDTH: 33 FT
 (EXISTING) PRIMARY HOUSE FOOTPRINT
 (SINGLE STORY): 1,060.4 SF
 (EXISTING) UN-ENCLOSED FRONT PORCH
 FOOTPRINT: 33 SF (EXCEPTION FROM BUILDING
 COVERAGE CALCULATION PER 5.3.7.5 B)
 (EXISTING) GARAGE (SINGLE-STORY): 355.52 SF

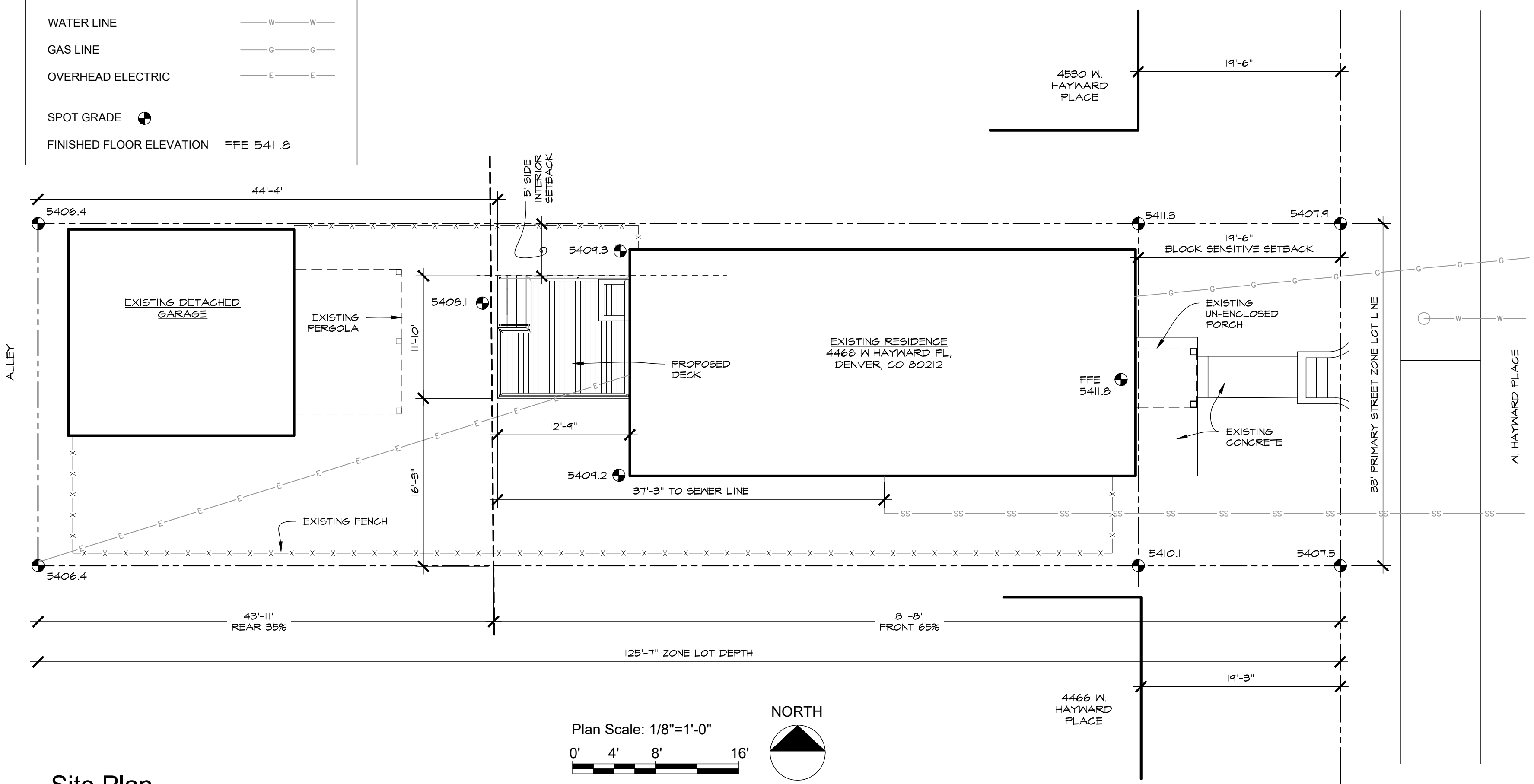
TOTAL BUILDING FOOTPRINTS: 1415.92 SF
 TOTAL BUILDING COVERAGE: 34.16 %

FRONT BASE PLANE ELEVATION: 5,410.7'
 REAR BASE PLANE ELEVATION: 5,406.4'

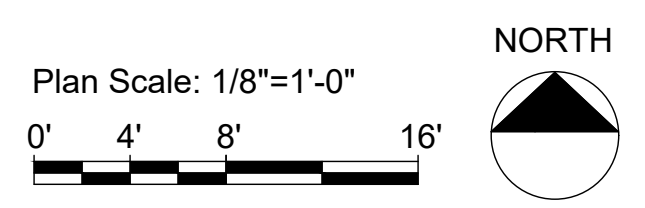
LEGEND:
 PROPERTY OR ZONE LOT LINE ———
 REQUIRED ZONE LOT SETBACK - - - - -
 65%/35% ZONE LOT DEPTH LINE - - - - -
 EXTERIOR BUILDING FOOTPRINT ———
 SEWER LINE ———SS———
 WATER LINE ———W———
 GAS LINE ———G———
 OVERHEAD ELECTRIC ———E———
 SPOT GRADE ●
 FINISHED FLOOR ELEVATION FFE 5411.8



Bulk Plane SCALE: 1/4"=1'-0"



Site Plan



Revisions:
 01/29/23
 City Review
 Deck Re-design

Scale:

Drawn By: VL/JM

Date: 01/29/23

Job:

Sheet:

IMPROVEMENT SURVEY PLAT

OF A PARCEL LOCATED IN THE SOUTHWEST 1/4 OF SECTION 30,
TOWNSHIP 3 SOUTH, RANGE 68 WEST, OF THE 6TH P.M.,
CITY AND COUNTY OF DENVER, STATE OF COLORADO.

LEGAL DESCRIPTION (RECORD)

THE WEST 1 FOOT OF LOTS 16, ALL OF LOT 17 AND THE EAST 7 FEET OF LOT 18, BLOCK 12, SLOAN'S LAKE HEIGHTS, CITY AND COUNTY OF DENVER, STATE OF COLORADO.

GENERAL NOTES

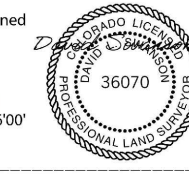
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-6-508, C.R.S.
- THIS SURVEY WAS PREPARED WITHOUT A TITLE COMMITMENT, A TITLE SEARCH WAS NOT PERFORMED BY COLORADO ILC TO DETERMINE OWNERSHIP, EASEMENTS OR OTHER MATTERS OF PUBLIC RECORD. INFORMATION CONTAINED HEREON IS BASED ON THE PLAT OF SLOAN'S LAKE HEIGHTS, RECORDED WITH THE COUNTY OF DENVER COUNTY CLERK AND RECORDER, STATE OF COLORADO.
- BASIS OF BEARINGS: BEARINGS ARE BASED ON GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE BEARING OF THE NORTHERN LINE OF BLOCK 12, SLOAN'S LAKE HEIGHTS, BETWEEN THE FOUND MONUMENTS AS SHOWN HEREON IS N 89°33'22" E, WITH ALL BEARINGS CONTAINED HEREON RELATIVE THERETO.
- ALL DISTANCES ARE GROUND MEASUREMENTS IN U.S. SURVEY FEET, DEFINED AS EXACTLY 1200/3937 METERS.
- ELEVATIONS ARE BASED ON DIFFERENTIAL GPS OBSERVATIONS PERFORMED ON 9/7/2022 AND ARE BASED ON NAVD88 VERTICAL DATUM.
- UTILITIES SHOWN ARE BASED ON FIELD EVIDENCE AT THE TIME OF FIELD WORK. ALL BURIED UTILITIES MUST BE FIELD LOCATED PRIOR TO ANY EXCAVATION BY CONTACTING THE UTILITY NOTIFICATION CENTER OF COLORADO BY CALLING 1-800-922-1987.

PROPERTY ADDRESS: 4468 WEST HAYWARD PLACE
DENVER, CO 80212

SURVEYOR'S CERTIFICATE

I, DAVID L. SWANSON, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Digitally signed
by David L Swanson
Date: 2022.11.03
11:03:01-0600

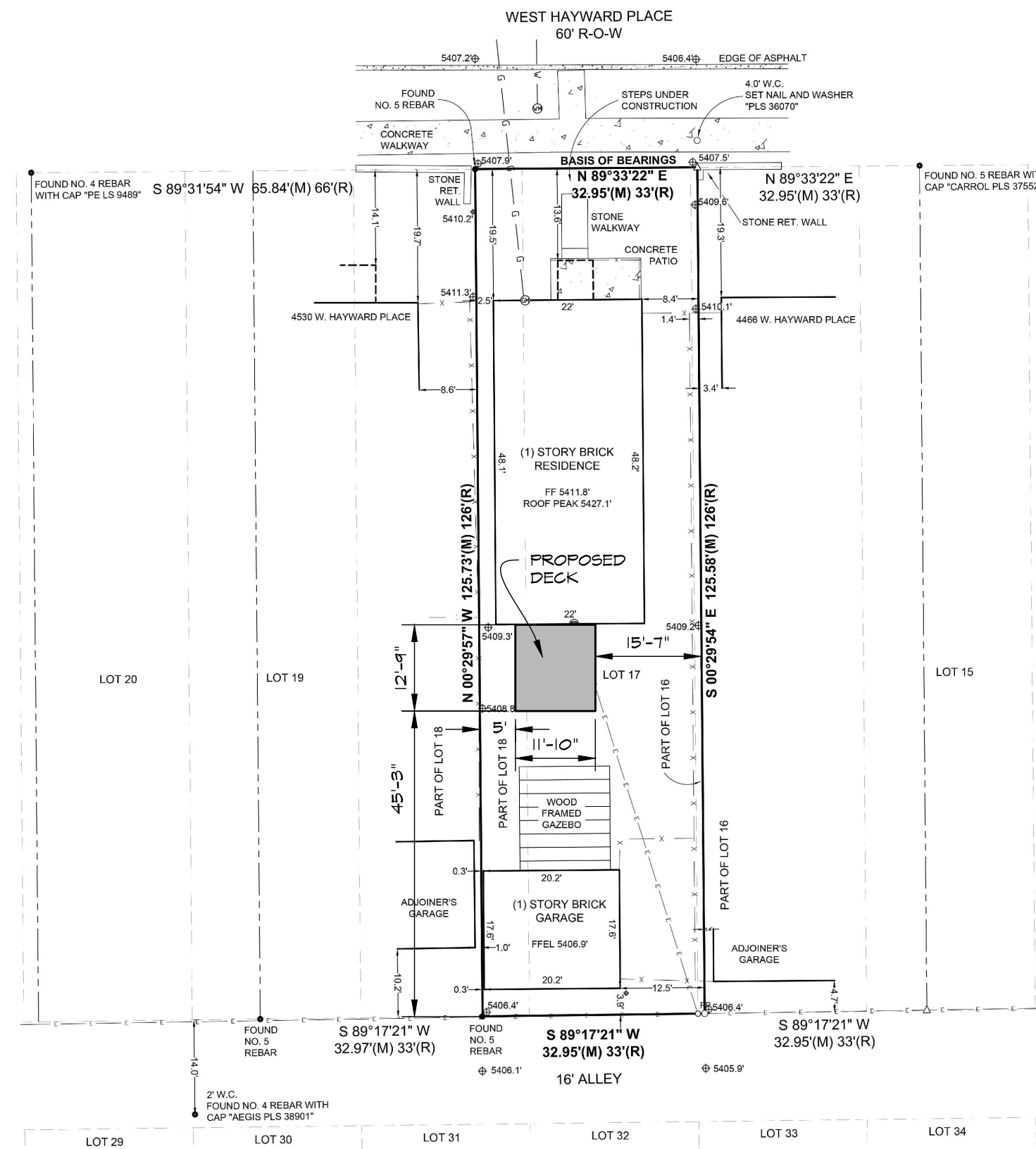


DAVID L. SWANSON, P.L.S. 36070
COLORADO PROFESSIONAL LAND SURVEYOR

PREPARED FOR:		BRYCE PERKINS	
NO.		JOB NUMBER	
0		22-10-1189	
DATE	3000 LAWRENCE ST, STE#111	DATE	
11/3/2022	DENVER, CO 80205	11/3/2022	
REVISION	O: 303.668.7540 F: 928.962.3123	DRAWN BY:	CHRIS FRANKS

LEGEND

○	= SET W.C. NAIL AND WASHER PLS#36070 (UNLESS OTHERWISE NOTED)
●	= FOUND MONUMENT AS NOTED
△	= CALCULATED POSITION
+	= FOUND CHISELED CROSS
(M)	= MEASURED (R) = RECORD INFORMATION
W.C.	= WITNESS CORNER (E) = SPOT ELEVATION
⊕	= WATER METER (A) = AIR CONDITIONER
⊖	= POWER METER (T) = TELCO CABINET
⊗	= GAS METER (G) = GROUND MOUNTED TRANSFORMER
---	= PROPERTY LINE
- - - -	= ADJOINER PROPERTY LINE
---	= LOT LINE
- - - -	= WOOD FENCE LINE
- - - -	= BURIED GAS LINE
- - - -	= OVERHEAD POWER LINE
- - - -	= OVERHEAD TELCO LINE
- - - -	= BURIED WATER LINE
▨	= CONCRETE
▩	= STONE



INDEXING STATEMENT
DEPOSITED THIS _____ DAY OF _____, 2022, AT _____ M., IN BOOK _____ OF THE
COUNTY SURVEYOR'S LAND SURVEY/RIGHT-OF-WAY SURVEYS AT PAGE(S) _____
RECEPTION NUMBER _____

Improvement Survey Plat

1"=20'-0"

Deck Construction Drawings
Hrabe-Baker Residence
4468 W. Hayward Place, Denver CO 80212

Revisions:
01/29/23
City Review
Deck Re-design

Scale:
Drawn By: VL/JM

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