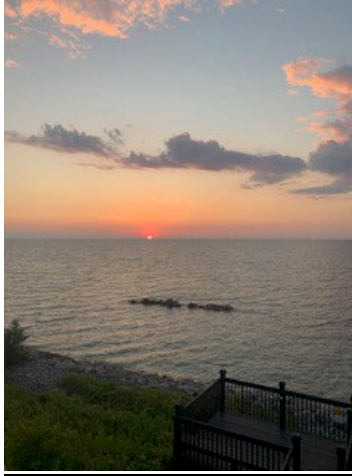


# The Mariners Point Newsletter

June 2023



## Board Officers

President: Bill Zetlaw  
Vice Pres: Joe Magni  
Secretary: Donald Powell, Jr.  
Treasurer: Gary Burlin  
Member: Chad Gooding  
Asst. to the VP: Tom Prince

## Management

John Phillips Real Estate  
and Property Management  
Office: 330-847-0850

## Upcoming Meetings

June 24<sup>th</sup> at 9:30 a.m. in  
Unit 534. All are welcome  
to attend.

Annual Meeting July 1<sup>st</sup> at  
10:00 a.m. Registration  
begins at 9:30 a.m.

## Website

Reserve the clubhouse, read  
meeting minutes, review  
financial reports, find  
copies of governing  
documents, rules and  
regulations and other  
forms.

[marinerspointcondos.org](http://marinerspointcondos.org)

Like us on Facebook!

## *A Note from the President:*

Dear Homeowners,

I'd like to provide the following updates:

1. The Annual Meeting is set for July 1<sup>st</sup>. Registration will begin at 9:30 a.m.; coffee and donuts provided. The meeting will begin at 10:00 a.m. If you are not able to attend, you can sign your proxy and give it to a neighbor to vote on your behalf. In the alternative, you can return your proxy via mail to the management company. If you are attending, please turn in your unused proxy at the time of registration.
2. Pavement work has been completed. Sealing of the west side lot will take place in the fall.
3. Landscaping work has begun. Bldg. 5 work has temporary stone in place until fall (rainy season) to provide best growth opportunity for the new plants.
4. Common area deck inspections by Globex have been completed and a final report has been received. Structure repair drawings are being developed by Globex and qualified contractor(s) are being pursued.
5. Limited common deck inspections have been completed by Globex; final report pending. Individual owners will be notified via email and USPS if repaired are required. First and foremost, the safety of our owners, residents, family members and guests are our top priority.
6. The pool is open and the ladder steps in the deep end have been replaced.
7. Clubhouse gas grills have been cleaned and the burners and deflector plates replaced.
8. Green area rut repairs by Ron Chambers have been approved and the project is pending.
9. LED lighting project pending contractor interest and bidding.

Sincerely,

Bill, Unit 135

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## Important Reminders:

For everyone's enjoyment, please review the Rules and Regulations, especially for use of the pool and beach. A copy of the booklet is available on the website.

This is also a good time to remind everyone to be mindful of the use of parking spaces. Please, only one vehicle from each unit should utilize a building side/sidewalk space. Please Park additional vehicles in the spaces along the fences.

## Units for Sale:

Getting ready to sell your unit? A current owner may be interested in your unit. Send an email to marielane2015@gmail.com, and it will be listed here first!

## From the Finance Committee:

The Finance Committee has completed their 2022 internal audit of MPCA finances. A preliminary report will be delivered during the June 24<sup>th</sup> regular board meeting, and an official report delivered during the annual meeting. Unfortunately, Gina from GMJ accounting has informed us that she is too busy to have her audit completed in time for the annual meeting. We hope to have the official audit report sometime during the 3<sup>rd</sup> or 4<sup>th</sup> quarter of 2023.

## From the Nominating Committee:

Two board positions will be expiring this year, so we'll need to elect replacement(s) during the Annual Meeting. The seats are currently held by Bill Zetlaw and Gary Burlin. Bill will not be running for re-election. Gary will be running again. Two other homeowners have also expressed interest in running. Any other homeowners interested in running for a board seat should contact Joe Magni ([josephcmagni@gmail.com](mailto:josephcmagni@gmail.com)) or Bill Zetlaw ([mpcazetlaw@gmail.com](mailto:mpcazetlaw@gmail.com))

## News from the Social Committee:

### Save the dates!

Saturday, July 1<sup>st</sup> at 6:00 p.m. – Annual Meeting Dinner. All food provided, BYOB

Monday, July 3<sup>rd</sup>, 6:00 p.m. – 8:00 p.m. – Ice Cream Social

Saturday, August 5<sup>th</sup> at 6:00 p.m. - Stay tuned! Additional information available soon!

## News From the Lakefront

### Improvement Committee:

The Board would like to express its **sincerest gratitude to Diana DeVito** for her many years of service as chair of this committee. Diana spearheaded our major lakefront erosion/beachfront project. Without her hard work this project would not have been possible. The Board would also like to thank Ken Kondas for agreeing to now serve as chair of this committee.

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## News from the Rules Committee:

Volunteers Needed! The Board would like to express its **sincerest gratitude to Lynn Munson and Ruth Prince** for their years of service to this committee. Anyone interested in serving on this committee, please contact any board member.

## Congratulations, Celebrations or Great MPCA photos!

Whether it is welcoming new neighbors, celebrating a birthday, a special anniversary, or just a fantastic photo of the property, you would like to share, send the news or photos to Marie Lane, Unit 424, [marielane2015@gmail.com](mailto:marielane2015@gmail.com)

## Photos of the recent work on the grills and parking lots:

