

# 2023 STRUCTURAL INSPECTION REPORT MARINERS POINT CONDOMINIUMS Parking Lot Side

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**Previous Inspection Date:** N/A

**Date Of Inspection:** 04/25/2023

**Globex Job No.:** G-6970

**Report Issued Date:** 05/12/2023

**Inspected By:** B. Gerst, J. Myers

**GENERAL NOTES: See the attached sheets for inspection findings and recommendations.**

A structural condition inspection of the wooden exterior walkways and stair towers on the parking lot side of Buildings 1 – 5 was performed from the ground level and the walking surfaces.

There is a joist cracked at mid-span and a stair tread which is spongy on one side when stepped on. See findings no. 91 and 108, as these are high priority P2 findings.

At Buildings 1, 2, 4 and 5, the wooden support columns for the walkways and the stair towers are buried in the ground and supported on concrete footings located below grade. The top of the concrete footings are generally located between 6”-12” below ground depending upon grade. At many locations, the buried portion of the wooden column below ground is exposed to high moisture contact and susceptible to decay. Several of the support columns located at Building 2 were wet, soft and decayed up to 100% through.

(Continued on Next Page)

This inspection report is intended to convey the condition of the inspected portion of the structure. The recommended repair guidelines and priorities given in this report are based solely on Globex Corporation’s experience with similar structures. However, these recommendations cannot be expected to account for any unknown occurrence of excessive loads being imposed on the structure, incorrect operating practices, accidents or abuse. The report is not intended to be a warranty or guarantee of present or future performance of the structure, its systems or structural elements. A complete structural, mechanical, and electrical assessment is required to determine the structure’s serviceability, code compliance, performance under service loads, and durability of which a structural, mechanical, and electrical inspection is only part.

### SUMMARY OF REPAIR PRIORITIES

**P1** (IMMEDIATE REPAIR) **P2** (PERFORM REPAIRS WITHIN 30 DAYS) **P3** (PERFORM REPAIRS WITHIN 6 MONTHS) **P4** (PERFORM REPAIRS WITHIN 1 YEAR) **P5** (MONITOR) **RO** (Record Only)

<b>P1</b>	<b>P2</b>	<b>P3</b>	<b>P4</b>	<b>P5</b>	<b>RO</b>	<b>TOTAL</b>
<b>0</b>	<b>44</b>	<b>52</b>	<b>11</b>	<b>15</b>	<b>12</b>	<b>134</b>

**P2:** 3, 5, 10, 13, 15, 21, 22, 23, 28, 30, 31, 32, 33, 34, 35, 40, 43, 44, 46, 47, 48, 58, 59, 61, 69, 70, 71, 72, 74, 75, 83, 85, 89, 91, 100, 103, 104, 108, 113, 114, 125, 127, 128, 129 | **P3:** 1, 2, 11, 12, 14, 16, 24, 25, 26, 27, 29, 36, 37, 39, 41, 42, 45, 49, 50, 51, 54, 55, 56, 57, 63, 64, 65, 66, 67, 68, 81, 82, 84, 86, 87, 88, 90, 93, 94, 95, 96, 97, 98, 99, 101, 102, 106, 111, 120, 121, 122, 126 | **P4:** 4, 9, 20, 53, 62, 73, 79, 110, 112, 119, 124 | **P5:** 6, 8, 17, 19, 52, 60, 76, 77, 78, 105, 107, 116, 130, 131, 132 | **RO:** 7, 18, 38, 80, 92, 109, 115, 117, 118, 123, 133, 134

**GENERAL NOTES: See the attached sheets for inspection findings and recommendations.**

This condition was reported to Mariner's Point at the time of inspection. Two possible repair options for the deteriorated column bases are listed below. It is recommended that the repairs be documented with drawings. A proposal can be submitted for this additional work.

Option 1: Remove the decayed portion of the columns, pour new concrete to extend the existing concrete footings above grade and to allow the wooden column to bear on the concrete footing above grade eliminating ground contact. Suggested details include:

1. Temporarily shore the column load, using level mark all adjacent decayed columns at same height above grade and cut off the decayed column base.
2. Install 4 epoxy adhesive #4 rebar dowels in existing footing with 3" cover. Install 2 #4 rebar hoop ties equally spaced vertically with 3" cover.
3. Attach a Simpson Strong Tie CB or equal
4. Place a Sono form tube over existing footing and pour 3000 psi concrete up to the base plate of the CB.
5. After concrete cures, remove the temporary shoring and the Sono tube form.

Option 2: Replace the decayed column base section in kind with pressure treated lumber and proper column splice. Suggested details include:

1. Temporarily shore the column load.
2. Remove the column from the center of the 1st elevation rim joists down.
3. Install new column section reusing the existing embedded anchor rod, to bear on the existing concrete footing and spliced with splice plates behind the rim joists.
4. Remove temporary shoring.
5. Apply sealant and stain in accordance with manufacturer's recommendations, color to match existing and backfill with a well-draining fill.

At Building 3, the top of the concrete footings extends above grade so the wooden columns are not buried.

At most of the walkway ledger boards, there are no visible lag screws only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist making them not visible for inspection. No evidence of any ledger pullout was observed. However, since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance. See finding nos. 14, 25, 58, 67, 85, 97, 115, 117, 124, and 129.

All fasteners and hardware recommended to be replaced shall be corrosion resistant hot-dipped galvanized or stainless steel.

The walkway deck boards identified as loose in this report are loose at their end connections.

Globex requested copies of the original design reference drawings. However, we were advised by Mariners Point Condo Association that they are unavailable.

# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## FINDINGS

## RECOMMENDATIONS

### BUILDING 1 - EAST STAIR TOWER AT 117

1. At landing 1, the East (2 x 12) rim joist has a full-length horizontal crack.

1. Replace the cracked rim joist in kind with pressure treated lumber and proper fasteners.  
Repair Priority: P3



0112



0111

Image(s) For Finding No.1

2. At landing 1, there are 2 deck boards which are not secured on the East end.

2. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0114



0115

Image(s) For Finding No.2

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

3. At landing 2, on the East side, there is 1 loose baluster.



0127

3. Secure the loose baluster with a proper length exterior deck screw.  
Repair Priority: P2



0126

Image(s) For Finding No.3

4. At the top of the stair tower, there is a section of overhead soffit missing and laying on the ground below.



0125



0124

Image(s) For Finding No.4

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

5. The stairway handrailing height is 29" and the required minimum handrailing guard height on stairs is 34".

5. Properly modify the existing handrailing system to achieve a minimum height of 34".  
Repair Priority: P2



0128

Image(s) For Finding No.5

### BUILDING 1-2ND FLOOR WALKWAY UNDERSIDE

6. At the 1st 11 joist hangers from the East on the building side, the galvanized coating is corroded.

6. Monitor the condition of the joist hangers until the next inspection.  
Repair Priority: P5



0130



0129

Image(s) For Finding No.6

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

7. At the East stair tower, 4 - 2x6 joist hanger brackets were used on the 2 x 8 joists on the stair tower side connection. There was no evidence of any failure at the connections.



0132

7. For the record only.No action is required at this time.



0131

Image(s) For Finding No.7

8. At the 1st 12 joist hangers from West on the building side, the galvanized coating is corroded.



0142



0140

8. Monitor the condition of the joist hangers until the next inspection.  
Repair Priority: P5

Image(s) For Finding No.8

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

9. There are no visible lag screws and only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist which are not visible for inspection. No evidence of any ledger pullout was observed.

9. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.  
Repair Priority: P4



0139



0134



0137

Image(s) For Finding No.9

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 1-2ND FLOOR WALKWAY TOPSIDE**

10. Between columns 3 and 4 from the West, there are 4 balusters loose at the bottom connection.

10. Secure the loose balusters with a proper length exterior deck screw.  
Repair Priority: P2



0145



0143

Image(s) For Finding No.10

11. Between columns 4 and 5 from the West, there is 1 deck board loose.

11. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0147



0146

Image(s) For Finding No.11



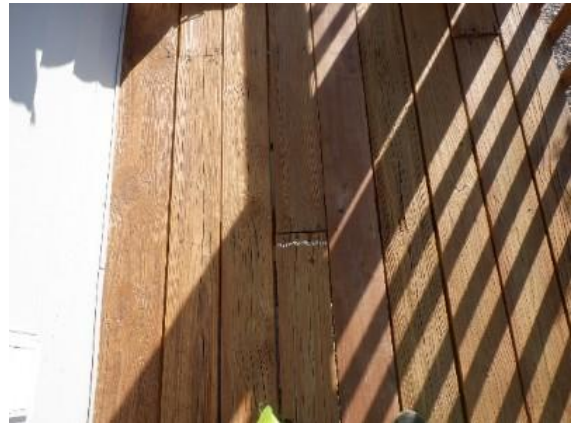
## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

12. Between columns 6 and 7 from the West, there is 1 deck board loose.



0152

12. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0150

Image(s) For Finding No.12

13. Between columns 7 and 8 from the West, there are 4 balusters loose.



0149

13. Secure the loose balusters with proper length exterior deck screws.  
Repair Priority: P2



0148

Image(s) For Finding No.13

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

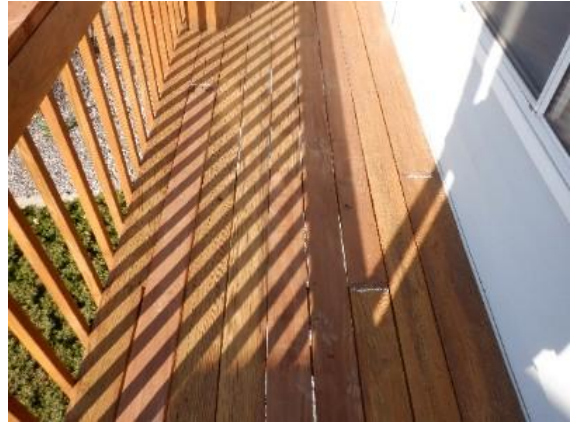
14. Between columns 8 and 9 from the West, there are 3 deck boards loose with nails pulling up.

14. Secure the loose deck boards with proper length exterior deck screws and remove the loose nails.

Repair Priority: P3



0155



0153

Image(s) For Finding No.14

15. Between columns 9 and 10, from the West, there are 2 deck boards and 3 balusters loose.

15. Secure the loose deck boards and balusters with proper length exterior deck screws.

Repair Priority: P2



0160



0159

Image(s) For Finding No.15

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

16. Between columns 11 and 12 from the West, there are 2 deck boards loose.

16. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0163



0161

Image(s) For Finding No.16

### BUILDING 1-3RD FLOOR WALKWAY UNDERSIDE

17. At the 1st 8 joist hangers from the East on the building side, the galvanized coating is corroded.

17. Monitor the condition of the corroded hangers until the next inspection.  
Repair Priority: P5



0168



0166

Image(s) For Finding No.17

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

18. At the 1st joist from the East on the building side, there is no joist hanger. The joist was toe-nailed instead. No evidence of any connection failure was observed.



0165

18. For the record only. No action is required at this time.



0164

Image(s) For Finding No.18

19. At the 2nd through 9th joist hangers from the West on the building side, the galvanized coating is corroded



0177

19. Monitor the condition of the corroded hangers until the next inspection. Repair Priority: P5



0175

Image(s) For Finding No.19

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

20. There are no visible lag screws and only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist making them not visible for inspection. No evidence of any ledger pullout was observed.

20. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.

Repair Priority: P4



0174



0169



0171

Image(s) For Finding No.20

# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 1 - 3RD FLOOR WALKWAY TOPSIDE

21. Between columns 2 and 3 from the West, there is 1 baluster and 1 deck board loose.

21. Secure the loose baluster and deck board with proper length exterior deck screws. Repair Priority: P2



0180



0178

Image(s) For Finding No.21

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

22. Between columns 3 and 4 from the West, there are 11 balusters loose.



0183

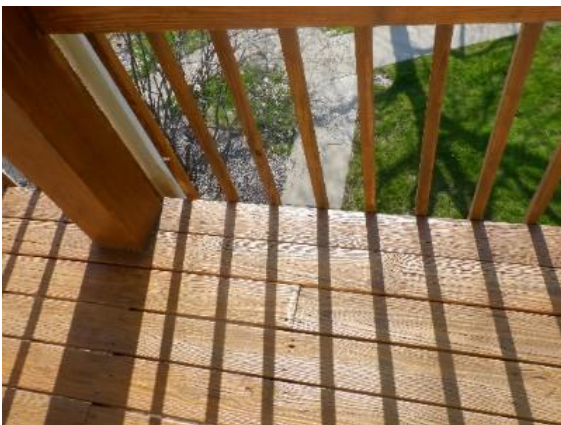
22. Secure the loose balusters with proper length exterior deck screws.  
Repair Priority: P2



0181

Image(s) For Finding No.22

23. Between columns 4 and 5 from the West, there are 2 deck boards and 1 baluster loose.



0185

23. Secure the loose deck boards and baluster with proper length exterior deck screws.  
Repair Priority: P2



0184

Image(s) For Finding No.23

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

24. Between columns 5 and 6 from the West, there is 1 deck board loose.



0187

24. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3

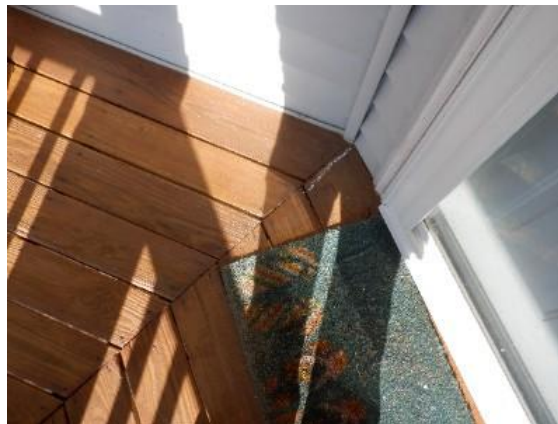


0186

Image(s) For Finding No.24

25. At column 6 from the West, there is 1 deck board loose.

25. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0188

Image(s) For Finding No.25



**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

26. Between columns 6 and 7 from the West, there is 1 deck board loose.

26. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0189

Image(s) For Finding No.26

27. Between columns 7 and 8 from the West, there is 1 deck board loose.

27. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3

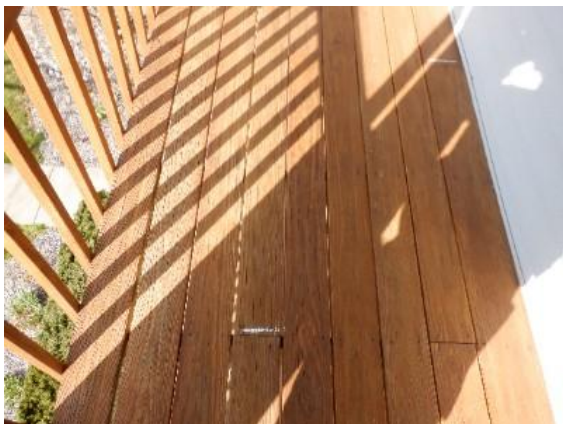


0190

Image(s) For Finding No.27

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

28. Between columns 8 and 9 from the West, there are 3 deck boards and 1 baluster loose.



0191

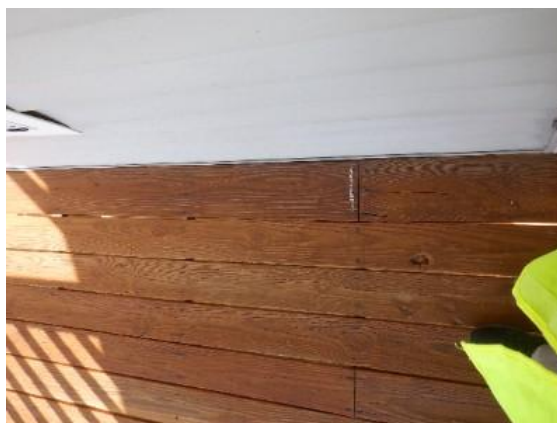
28. Secure the loose deck boards and baluster with proper length exterior deck screws.  
Repair Priority: P2



0192

Image(s) For Finding No.28

29. Between columns 9 and 10 from the West, there are 4 deck boards loose.



0193

29. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3

Image(s) For Finding No.29

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 1 - WEST STAIR TOWER AT 112**

30. At the 2nd landing, on the South side there is 1 baluster loose.

30. Secure the loose baluster with a proper length exterior deck screw.  
Repair Priority: P2



0195

Image(s) For Finding No.30

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

31. At the stairs between 3rd floor and 2nd landing, at the stair stringers top connection to rim joist, the stringers are end nailed to the rim joists, the nails are pulling out and the connection is gapped approximately 3/8"-1/2".

31. Remove the existing nails, pull the stair stringers tight against the rim joist, and secure by pre-drilling and installing two 1/2" diameter x 4" lg. lag screws with washers on each stringer or installing adjustable u-joist hangers in accordance with the manufacturer's recommendations.  
Repair Priority: P2



0196



0198



0199

Image(s) For Finding No.31

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

32. At the stairs between the 2nd landing and 2 floor walkway, at the West stair stringer top connection to rim joist, there is only 1 nail and the connection is gapped approximately 1/2".



0201

32. Remove the existing nails, pull the stair stringers tight against the rim joist, and secure by pre-drilling and installing two 1/2" diameter x 4" lg. lag screws with washers on each stringer or installing adjustable u-joint hangers in accordance with the manufacturer's recommendations.  
Repair Priority: P2



0200

Image(s) For Finding No.32

33. At the 2nd landing, the North rim joist has no lag screws, only nails that are pulling out.



0203

33. Secure the rim joist to the support columns with the proper length lag screws.  
Repair Priority: P2



0202

Image(s) For Finding No.33

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

34. At the stair stringer between 1st landing and ground elevation, the top stair stringer connections are not attached to the rim joist. Instead, the top stair tread was nailed to the rim joist. As a result, the stair tread is cracked.

34. Replace the cracked stair tread in kind with pressure treated lumber. Secure the stair stringers to the rim joist by pre-drilling and installing two ½" diameter x 4" lg. lag screws with washers on each stringer or installing adjustable u-joist hangers in accordance with the manufacturer's recommendations.

Repair Priority: P2



0206



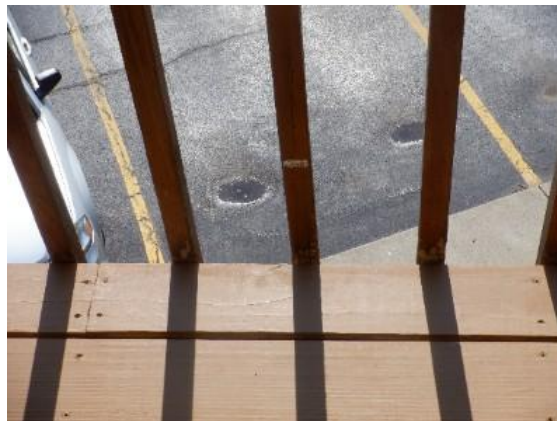
0204

Image(s) For Finding No.34

### BUILDING 2 - NORTH STAIR TOWER AT 216

35. At 2nd landing, there is 1 baluster loose.

35. Secure the loose baluster with a proper length exterior deck screw.  
Repair Priority: P2



0207

Image(s) For Finding No.35

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

36. At 2nd landing, the East rim board has no lag screws only nails.

36. Secure the rim joist to the support columns with proper length lag screws.  
Repair Priority: P3



0209

Image(s) For Finding No.36

37. At East side of stair tower, the down spout is loose and detached.

37. Secure the loose down spout to the stair tower.  
Repair Priority: P3



0208

Image(s) For Finding No.37

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

38. At 2nd landing, the Northeast column has wane (lumber defect with wood missing along the corner).

38. For the record only. No action is required at this time.



0210

Image(s) For Finding No.38

39. At the North stair tower, the protectant sealant is weathered.

39. Prepare and apply new protective sealant suited for the application in accordance with the manufacturer's recommendations and color to match existing. Repair Priority: P3



0213



0211

Image(s) For Finding No.39



## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

40. At the North stair tower, at the North column on the building side, the column base below grade is wet and decayed 100% through.

40. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0475

Image(s) For Finding No.40

41. At the North stair tower, at the South column on the building side, the column base below grade is wet and decayed with approximately 25% section loss.

41. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P3



0473

Image(s) For Finding No.41

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

42. At the North stair tower, at the South column on the parking lot side, the column base below grade is wet and decayed with approximately 25% section loss.

42. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P3



0474

Image(s) For Finding No.42

### BUILDING 2 - 2ND FLOOR WALKWAY UNDERSIDE

43. At column 1 from South, at the parking lot side column below grade, the column base wet and decayed 100% through.

43. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0464

Image(s) For Finding No.43

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

44. At column 2 from South, the column base below grade is wet and decayed with approximately 75% section loss.

44. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0465

Image(s) For Finding No.44

45. At column 3 from South, the column base below grade is wet and decayed with approximately 50% section loss.

45. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P3



0466

Image(s) For Finding No.45

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

46. At column 4 from South, the column base below grade is wet and decayed with approximately 75% section loss.

46. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0467

Image(s) For Finding No.46

47. At column 5 from South, at the building side column below grade, the column is wet and decayed 100% through.

47. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0468

Image(s) For Finding No.47

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

48. At column 5 from South, at the parking lot side column below grade, the column is wet and decayed with approximately 75% section loss.

48. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2

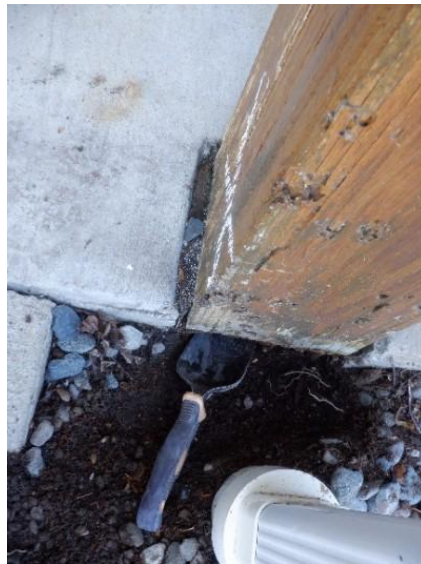


0469

Image(s) For Finding No.48

49. At column 6 from South, the column base below grade is wet and decayed with approximately 50% section loss

49. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P3



0470

Image(s) For Finding No.49

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

50. At column 7 from South, the column base below grade is wet and decayed with approximately 50% section loss.

50. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P3

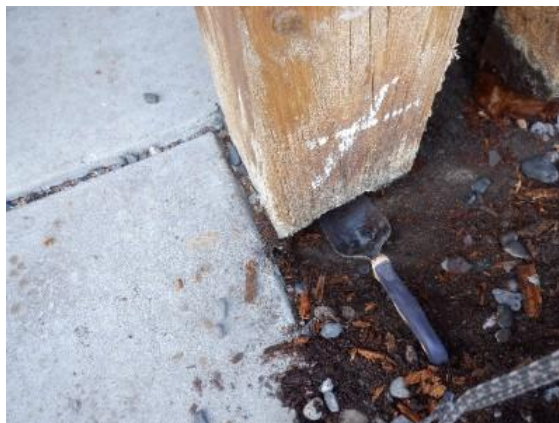


0471

Image(s) For Finding No.50

51. At column 8 from South, at the parking lot side column below grade, the column is wet and decayed with approximately 50% section loss.

51. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P3



0472

Image(s) For Finding No.51

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

52. At the joist hanger brackets along the entire building length, the galvanized coating is corroded. This condition is worse near the stair towers.

52. Monitor the condition of the hanger brackets until the next inspection.  
Repair Priority: P5



0217



0221



0214



0220

Image(s) For Finding No.52

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

53. There are no visible lag screws and only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist which are not visible for inspection. No evidence of any ledger pullout was observed.

53. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.  
Repair Priority: P4

### BUILDING 2 - 2ND FLOOR WALKWAY TOPSIDE

54. Between columns 2 and 3 from the South, there is 1 deck board loose.

54. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0222

Image(s) For Finding No.54



## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

55. Between columns 3 and 4 from the South, there are 3 deck boards loose.

55. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0223

Image(s) For Finding No.55

56. Between columns 5 and 6 from the South, there are 5 deck boards loose.

56. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0224

Image(s) For Finding No.56

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

57. Between columns 6 and 7 from the South, there are 2 deck boards loose.

57. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0225

Image(s) For Finding No.57

58. Between columns 7 and 8 from the South, there is 1 baluster loose.

58. Secure the loose baluster with a proper length exterior deck screw.  
Repair Priority: P2



0226

Image(s) For Finding No.58

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

59. At column 8 on the North side, there is 1 cracked baluster.

59. Replace the cracked baluster in kind with pressure treated lumber and secure the with proper length exterior deck screws.  
Repair Priority: P2



0227

Image(s) For Finding No.59

# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 2 - 3RD FLOOR WALKWAY UNDERSIDE

60. At the joist hanger brackets along the entire building length, the galvanized coating is corroded. This condition is worse near the stair towers.

60. Monitor the condition of the hanger brackets until the next inspection.  
Repair Priority: P5



0232



0234



0237



0230

Image(s) For Finding No.60

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

61. Between columns 1 and 2 from the South, there is 1 joist hanger bracket on the building side that is corroded and cracked.



0240

61. Replace the corroded joist hanger in kind  
Repair Priority: P2



0238

Image(s) For Finding No.61

62. The ledger boards have no visible lag screws only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist making them not visible for inspection. No evidence of any ledger pullout was observed.

62. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.  
Repair Priority: P4

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

### BUILDING 2 - 3RD FLOOR WALKWAY TOPSIDE

63. Between columns 1 and 2 from the South, there is 1 deck board loose.

63. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0244

Image(s) For Finding No.63

64. Between columns 2 and 3 from the South, there are 2 deck boards loose.

64. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0245

Image(s) For Finding No.64

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

65. Between columns 3 and 4 from the South, there are 7 deck boards loose.



0247

65. Secure the loose deck boards with proper length exterior deck screws  
Repair Priority: P3



0246

Image(s) For Finding No.65

66. Between columns 4 and 5 from the South, there is 1 deck board loose.

66. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0248

Image(s) For Finding No.66

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

67. Between columns 5 and 6 from the South, there are 2 deck boards loose.

67. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



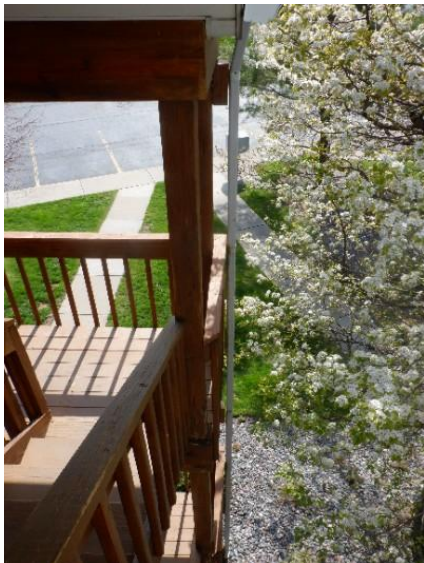
0249

Image(s) For Finding No.67

### BUILDING 2 - SOUTH STAIR TOWER AT 211

68. On the South side, the down spout is loose and detached.

68. Secure the loose down spout to the stair tower.  
Repair Priority: P3



0241



0242

Image(s) For Finding No.68



## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

69. At the South stair tower, at the South column on the building side, the column base below grade is wet and decaying with approximately 60% section loss.

69. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0460

Image(s) For Finding No.69

70. At the South stair tower, at the South column on the parking lot side, the column base below grade is wet and decayed 100% through.

70. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0461

Image(s) For Finding No.70

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

71. At the South stair tower, at the North column on the parking lot side, the column base below grade is wet and decayed 100% through.

71. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0462

Image(s) For Finding No.71

72. At the South stair tower, at the North column on the building side, the column base below grade is wet and decayed 100% through.

72. Repair the deteriorated column base. See cover sheet notes for suggested repair options.  
Repair Priority: P2



0463

Image(s) For Finding No.72

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 3 - NORTH STAIR TOWER AT 316**

73. The concrete pad at the base of the 1st stair is cracked under the South stair stringer.

73. Replace the cracked concrete pad.  
Repair Priority: P4



0258



0259

Image(s) For Finding No.73

74. At the stairs between 3rd floor and 2nd landing, the top North stringer is end nailed to the rim joist and the connection is gapped.

74. Remove the existing nails, pull the stair stringers tight against the rim joist, and secure by pre-drilling and installing 2 ½" diameter x 4" lg. lag screws with washers on each stringer or installing adjustable u-joist hangers in accordance with the manufacturer's recommendations.  
Repair Priority: P2



0263



0262

Image(s) For Finding No.74

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

75. At the 2nd landing on the North side, there is 1 baluster loose.

75. Secure the loose baluster with a proper length exterior deck screw.  
Repair Priority: P2



0264

Image(s) For Finding No.75

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 3 - 2ND FLOOR WALKWAY UNDERSIDE**

76. At columns 2, 3 and 4 from the South, the column base plates are rust packed and expanding.

76. Monitor the condition of the column base plates until the next inspection.  
Repair Priority: P5



0273



0271



0270

Image(s) For Finding No.76

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

77. At columns 13, 14 and 15 from the South, the column base plates are rust packed and expanding.



0266

77. Monitor the condition of the column base plate until the next inspection.  
Repair Priority: P5



0269



0265

Image(s) For Finding No.77

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

78. At the stair tower areas, at the building side joist hangers, the galvanized coating is corroded on the joist hangers.

78. Monitor the condition of the hanger brackets until the next inspection.  
Repair Priority: P5



0281



0277



0278

Image(s) For Finding No.78

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

79. At column 7 from the South, the brace was installed backwards.

79. Remove and properly reinstall the brace.  
Repair Priority: P4



0284



0283

Image(s) For Finding No.79



**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

80. The ledger boards have a lag screw installed every 6' on center. The building side joist hangers are 2x6 hangers and the parking lot side joist hangers are for 2x8 hangers. No evidence of any ledger or joist hanger pullout was observed.

80. For the record only. No action is required at this time.



0276



0274



0275

Image(s) For Finding No.80

# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 3 - 2ND FLOOR WALKWAY TOPSIDE

81. At column 1 from the South, on the South side, there are 3 deck boards loose and nails popped up.

81. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0285

Image(s) For Finding No.81

82. Between columns 1 and 2 from the South, there are 2 deck boards loose.

82. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0286

Image(s) For Finding No.82

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

83. Between columns 2 and 3 from the South, there is 1 deck board and 1 baluster loose.

83. Secure the loose deck board and baluster with proper length exterior deck screws.  
Repair Priority: P2



0288



0287

Image(s) For Finding No.83

84. Between columns 4 and 5 from the South, there are 3 deck boards loose.

84. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0289

Image(s) For Finding No.84

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

85. Between columns 5 and 6 from the South, there are 2 deck boards and 1 baluster loose.

85. Secure the loose deck boards and baluster with proper length exterior deck screws.  
Repair Priority: P2



0291



0290

Image(s) For Finding No.85

86. Between columns 7 and 8 from the South, there are 3 deck boards loose.

86. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0292

Image(s) For Finding No.86

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

87. Between columns 8 and 9 from the South, there are 2 deck boards loose.

87. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0293

Image(s) For Finding No.87

88. Between columns 12 and 13 from the South, there is 1 deck board loose.

88. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0294

Image(s) For Finding No.88

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

89. Between columns 15 and 16 from the South, there are 2 balusters loose.

89. Secure the loose balusters with proper length exterior deck screws.  
Repair Priority: P2

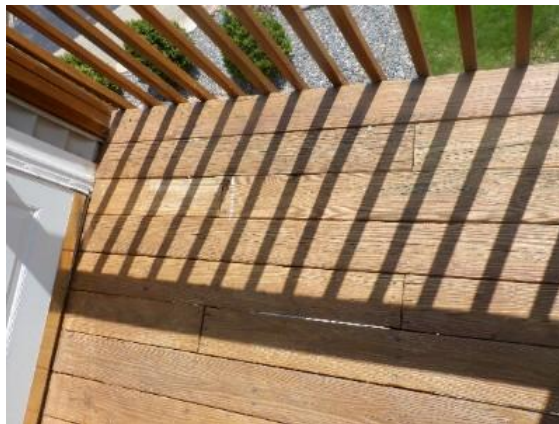


0295

Image(s) For Finding No.89

90. North of column 16 from the South, there is 1 deck board loose.

90. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0296

Image(s) For Finding No.90

# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 3 - 3RD FLOOR WALKWAY UNDERSIDE

91. At column 7 from the South, there is a 2x8x4'-4" Lg. joist that is cracked at mid span.

91. Replace the joist in kind with pressure treated lumber  
Repair Priority: P2



0299



0300



0301

Image(s) For Finding No.91

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

92. The ledger boards have a lag screw installed every 6' on center. The building side joist hangers are 2x6 hangers and the parking lot side joist hangers are for 2x8 hangers. No evidence of any ledger or joist hanger pullout was observed.

92. For the record only. No action is required at this time.



0276



0274



0275

Image(s) For Finding No.92



# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 3 - 3RD FLOOR WALKWAY TOPSIDE

93. Between columns 1 and 2, there is 1 deck board loose.

93. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0302

Image(s) For Finding No.93

94. Between columns 2 and 3, there is 1 deck board loose.

94. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0303

Image(s) For Finding No.94

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

95. Between columns 4 and 5, there are 2 deck boards loose.

95. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0304

Image(s) For Finding No.95

96. Between columns 5 and 6, there are 2 deck boards loose.

96. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0305

Image(s) For Finding No.96

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

97. At column 7 from the South, there are 7 deck boards loose.

97. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3

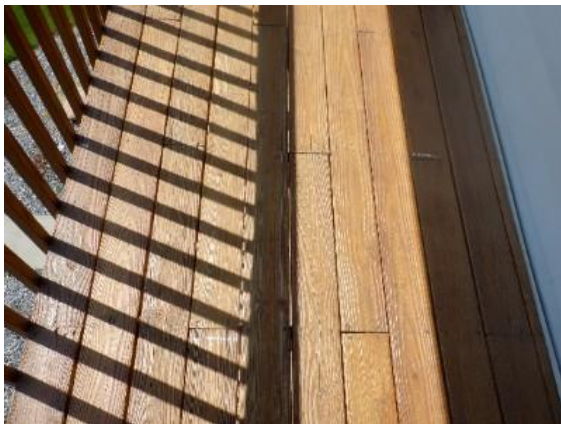


0306

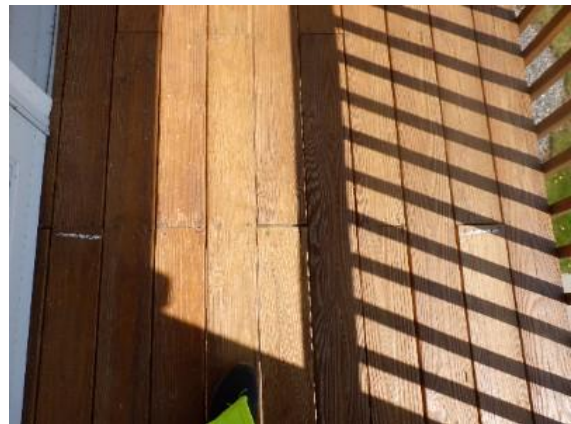
Image(s) For Finding No.97

98. Between columns 8 and 9, there are 4 deck boards loose.

98. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0308



0307

Image(s) For Finding No.98

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

99. Between columns 10 and 11, there are 2 deck boards loose.

99. Secure the loose deck boards with proper length exterior deck screws.  
Repair Priority: P3



0309

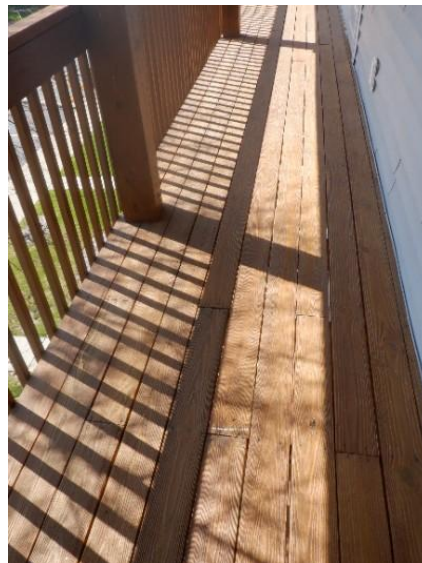
Image(s) For Finding No.99

100. Between columns 11 and 12, there is 1 deck board and 1 baluster loose.

100. Secure the loose deck board and baluster with proper length exterior deck screws.  
Repair Priority: P2



0311



0310

Image(s) For Finding No.100

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

101. Between columns 12 and 13, there is 1 deck board loose.

101. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0312

Image(s) For Finding No.101

102. North of column 16 from the South, there is 1 deck board loose.

102. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0313

Image(s) For Finding No.102

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 3 - SOUTH STAIR TOWER AT 311**

103. At the 2nd landing, on the North side, there is 1 cracked baluster.

103. Replace the cracked baluster in kind with pressure treated lumber and secure with proper length exterior deck screws.  
Repair Priority: P2



0314

Image(s) For Finding No.103

104. At the 1st landing, on the South side, there is 1 cracked baluster.

104. Replace the cracked baluster in kind with pressure treated lumber and secure with proper length exterior deck screws.  
Repair Priority: P2



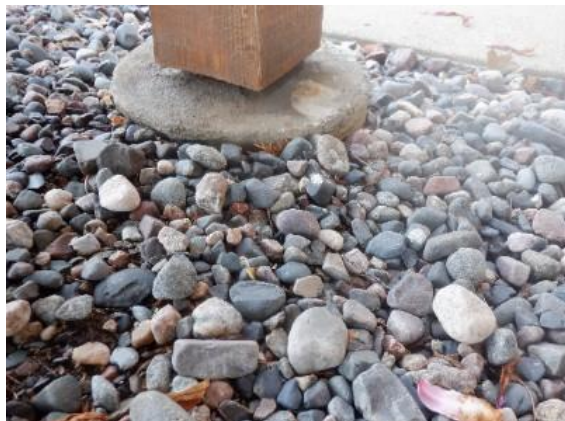
0317

Image(s) For Finding No.104

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

105. At the column base, the base plates are cracked at 4 columns.

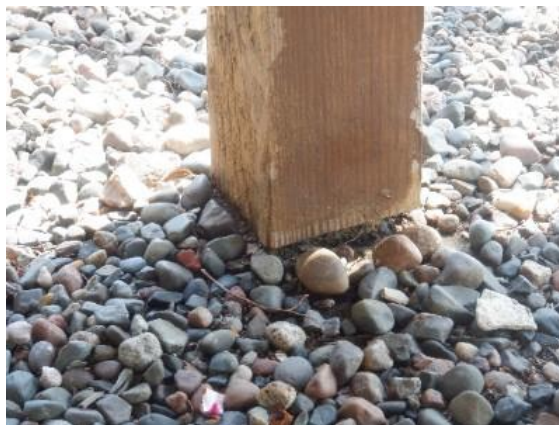
105. Monitor the condition of the base plates until the next inspection.  
Repair Priority: P5



0318



0319



0321

Image(s) For Finding No.105

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

106. The protectant sealant is weathered around the stair tower area.

106. Prepare and apply new protective sealant suited for the application in accordance with the manufacturer's recommendations and color to match existing.  
Repair Priority: P3



0450



0448



0449

Image(s) For Finding No.106



# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 4 - SOUTH STAIR TOWER AT 414

107. At the South stair tower, the North West column base is wet and starting to decay below grade.

107. Monitor the condition of the support column until the next inspection.  
Repair Priority: P5



0447

Image(s) For Finding No.107

108. At the stairs between ground and 1st landing, the 3rd tread up is spongy on East side when stepped on.

108. Replace the existing ledger strips under the stair tread with corrosion resistant tread connectors  
Repair Priority: P2



0324

Image(s) For Finding No.108

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

109. At South stair tower landings, the joists are end nailed with no joist hangers. No evidence of any joist pull out was observed.

109. For the record only. No action is required at this time.



0327



0329

Image(s) For Finding No.109

# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 4 - 2ND FLOOR WALKWAY UNDERSIDE

110. The ledger boards have no visible lag screws only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist making them not visible for inspection. The building side joist hangers are 2x8 hangers and there are no hangers on parking lot side. The parking lot side joists were end nailed. No evidence of any ledger or joist hanger pullout was observed.

110. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.  
Repair Priority: P4



0332



0334



0331



0333

Image(s) For Finding No.110

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 4 - 2ND FLOOR WALKWAY TOPSDIE**

111. Between columns 5 and 6 from the North, there is 1 deck board loose.

111. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0335

Image(s) For Finding No.111

# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 4 - 3RD FLOOR WALKWAY UNDERSIDE

112. The ledger boards have no visible lag screws only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist making them not visible for inspection. The building side joist hangers are 2x8 hangers and there are no hangers on parking lot side. The parking lot side joists were end nailed. No evidence of any ledger or joist hanger pullout was observed.

112. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.  
Repair Priority: P4



0334



0331



0332



0333

Image(s) For Finding No.112

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 4 - NORTH STAIR TOWER AT 411**

113. At the 4th landing, there are 7 balusters loose.

113. Secure the loose balusters with proper length exterior deck screws.  
Repair Priority: P2



0342



0341

Image(s) For Finding No.113

114. At the 3rd landing, the handrailing return is connected to a baluster which is loose.

114. Secure the loose baluster with proper length exterior deck screws.  
Repair Priority: P2



0343

Image(s) For Finding No.114

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

115. At North stair tower landings, the joists are end nailed with no joist hangers. No evidence of any joist pullout twas observed.

115. For the record only. No action is required at this time.



0329



0327

Image(s) For Finding No.115

### BUILDING 5 - SOUTH STAIR TOWER AT 516

116. At the South stair tower, the North West column base is wet and starting to decay below grade.

116. Monitor the condition of the column base until the next inspection.  
Repair Priority: P5



0446

Image(s) For Finding No.116

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

117. At South stair tower landings, the joists are end nailed with no joist hangers. No evidence of any joist pullout was observed.

117. For the record only. No action is required at this time.



0345

Image(s) For Finding No.117

118. All stair stringers are end nailed at top connection to the rim joist but there is no gap.

118. For the record only. No action required at this time.



0346

Image(s) For Finding No.118



# STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

## BUILDING 5 - 2ND FLOOR WALKWAY UNDERSIDE

119. The ledger boards have no visible lag screws only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist making them not visible for inspection. The building side joist hangers are 2x8 hangers and there are no joist hangers on parking lot side. The joist are end nailed on the parking lot side. No evidence of any ledger or joist hanger pullout was observed.

119. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.  
Repair Priority: P4



0348



0349



0347



0350

Image(s) For Finding No.119

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

**BUILDING 5 - 2ND FLOOR WALKWAY TOPSIDE**

120. Between columns 3 and 4 from North, there is 1 deck board loose.

120. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3

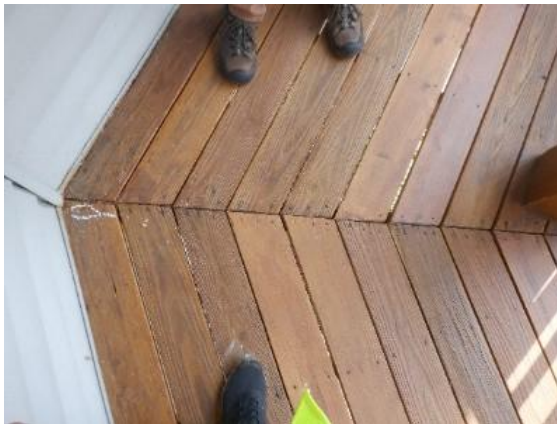


0351

Image(s) For Finding No.120

121. At column 6 from North, there is 1 deck board loose.

121. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0352

Image(s) For Finding No.121

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

122. Between columns 11 and 12 from North, there is 1 deck board loose at top of stairs.

122. Secure the loose deck board with proper length exterior deck screws.  
Repair Priority: P3



0353

Image(s) For Finding No.122

### BUILDING 5 - 3RD FLOOR WALKWAY UNDERSIDE

123. At column 3 from North, there are 4 of 4 carriage bolts loose.

123. Tighten the loose carriage bolts until the bolt head and washer are tight and flush with the wood surfaces.



0356



0355

Image(s) For Finding No.123

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

124. The ledger boards have no visible lag screws only a few sporadic visible nails. It appears that the ledger board connection nails may be located behind each joist making them not visible for inspection. The building side joist hangers are 2x8 hangers and there are no joist hangers on parking lot side. The joist are end nailed on the parking lot side. No evidence of any ledger or joist hanger pullout was observed.

124. Since the ledger board connection to the building cannot be verified, further engineering and investigation is recommended to review original design drawings and the ledger connections for code compliance.  
Repair Priority: P4



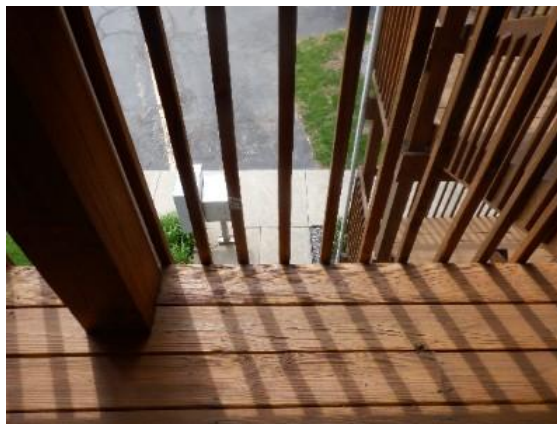
0354

Image(s) For Finding No.124

### BUILDING 5 - 3RD FLOOR WALKWAY TOPSIDE

125. Between column 2 and 3 from North, there is 1 baluster loose

125. Secure the loose baluster with proper length exterior deck screws.  
Repair Priority: P2



0357

Image(s) For Finding No.125

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

126. Between column 3 and 4 from North,  
there is 1 deck board loose.

126. Secure the loose deck board with proper  
length exterior deck screws.  
Repair Priority: P3



0358

Image(s) For Finding No.126

127. Between column 4 and 5 from North,  
there is 1 baluster loose.

127. Secure the loose baluster with a proper  
length exterior deck screw.  
Repair Priority: P2



0359

Image(s) For Finding No.127

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

128. Between column 7 and 8 from North, there are 2 balusters loose.

128. Secure the loose balusters with proper length exterior deck screws.  
Repair Priority: P2



0360

Image(s) For Finding No.128

### BUILDING 5 - NORTH STAIR TOWER AT 511

129. At the 2nd landing, the South handrailing is separating.

129. Draw the separated handrailing sections together and secure with a splice plate on the backside or other appropriate means.  
Repair Priority: P2



0361

Image(s) For Finding No.129

**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

130. At the North stair tower, the North column on the building side, the column base below grade is wet and decaying with approximately 25% section loss.

130. Monitor the condition of the column bases until the next inspection.  
Repair Priority: P5



0439



0440

Image(s) For Finding No.130

131. At the North stair tower, at the North column on the parking lot side, the column base below grade is wet and starting to decay.

131. Monitor the condition of the column bases until the next inspection.  
Repair Priority: P5



0442



0441

Image(s) For Finding No.131

## STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER

132. At the North stair tower, South column on the parking lot side, at the column base below grade, is wet and decaying with approximately 25% section loss.

132. Monitor the condition of the column bases until the next inspection.  
Repair Priority: P5



0444

Image(s) For Finding No.132

133. At North stair tower landings, the joists are end nailed with no joist hangers. No evidence of any joist pullout was observed.

133. For the record only. No action is required at this time.



0362

Image(s) For Finding No.133



**STRUCTURE TAG NO.: WALKWAYS AND STAIR TOWER**

134. All stair stringers are end nailed at top connection to the rim joist but there is no gap.

134. For the record only. No action is required at this time.



0363

Image(s) For Finding No.134