





### PARKING MATRIX

SIZE	COUNT
SMALL	17
MEDIUM (VAN)	1
<b>TOTAL</b>	<b>18</b>

### UNIT AREAS

UNIT	GROSS AREA	TYPE
<b>LEVEL 1</b>		
104	832 SF	2 BED / 2 BATH
105	559 SF	OPEN 1 BEDROOM
106	915 SF	2 BED / 2 BATH
107	880 SF	2 BED / 1 BATH
108	852 SF	2 BED / 2 BATH
109	689 SF	1 BEDROOM + DEN
110	748 SF	2 BED / 2 BATH
<b>LEVEL 2</b>		
201	384 SF	STUDIO
202	830 SF	2 BED / 1 BATH
203	653 SF	OPEN 1 BEDROOM
204	654 SF	OPEN 1 BEDROOM
205	631 SF	OPEN 1 BEDROOM
206	652 SF	OPEN 1 BEDROOM
207	698 SF	2 BED / 1 BATH
208	496 SF	OPEN 1 BEDROOM
209	434 SF	STUDIO
210	660 SF	2 BED / 1 BATH
211	493 SF	1 BEDROOM
212	347 SF	EFFICIENCY
213	346 SF	EFFICIENCY
214	406 SF	STUDIO
215	360 SF	STUDIO
<b>LEVEL 3</b>		
301	384 SF	STUDIO
302	830 SF	2 BED / 1 BATH
303	654 SF	OPEN 1 BEDROOM
304	654 SF	OPEN 1 BEDROOM
305	635 SF	OPEN 1 BEDROOM
306	654 SF	OPEN 1 BEDROOM
307	761 SF	2 BED / 1 BATH
308	551 SF	OPEN 1 BEDROOM
309	496 SF	STUDIO
310	728 SF	2 BED / 1 BATH
311	494 SF	1 BEDROOM
312	348 SF	EFFICIENCY
313	348 SF	EFFICIENCY
314	406 SF	STUDIO
315	358 SF	STUDIO
<b>LEVEL 4</b>		
401	395 SF	STUDIO
402	830 SF	2 BED / 1 BATH
403	654 SF	OPEN 1 BEDROOM
404	654 SF	OPEN 1 BEDROOM
405	635 SF	OPEN 1 BEDROOM
406	654 SF	OPEN 1 BEDROOM
407	761 SF	2 BED / 1 BATH
408	551 SF	OPEN 1 BEDROOM
409	496 SF	STUDIO
410	725 SF	2 BED / 1 BATH
411	495 SF	1 BEDROOM
412	348 SF	EFFICIENCY
413	348 SF	EFFICIENCY
414	408 SF	STUDIO
415	362 SF	STUDIO
<b>LEVEL 5</b>		
507	758 SF	1 BEDROOM + DEN
508	560 SF	OPEN 1 BEDROOM
509	496 SF	OPEN 1 BEDROOM
510	720 SF	1 BEDROOM + DEN
511	497 SF	1 BEDROOM
512	349 SF	EFFICIENCY
513	348 SF	EFFICIENCY
514	408 SF	STUDIO
515	357 SF	STUDIO

### ISSUANCE

NO.	DESCRIPTION	DATE
1	MUP CORRECTIONS #1	1/13/2017
	DD SUBMITTAL	3/14/2017
	BP SUBMITTAL	5/12/2017
	85% SET	9/25/2017
10	POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
 736 BELLEVUE PLACE EAST  
**BELL VIEW LLC**

### SDCI STAMP



### PROJECT DATA

PROJECT #: 16070  
 DRAWN BY: MC  
 CHECKED BY: RH  
 FILE NAME: WALLS BELLEVUE PLACE

# A0.01

### GROSS FLOOR AREA MATRIX

LEVEL	RESID.	CORE	AMENITY	PARKING	UTILITY	TOTAL
T.O. PLATE (UPPER)	179 SF	0 SF	0 SF	0 SF	0 SF	179 SF
MEZZANINE	710 SF	229 SF	0 SF	0 SF	0 SF	939 SF
LEVEL 5	4,493 SF	1,246 SF	619 SF	0 SF	77 SF	6,435 SF
LEVEL 4	8,316 SF	1,132 SF	0 SF	0 SF	120 SF	9,568 SF
LEVEL 3	8,301 SF	1,132 SF	0 SF	0 SF	117 SF	9,550 SF
LEVEL 2	8,044 SF	1,129 SF	0 SF	0 SF	126 SF	9,299 SF
LEVEL 1	5,475 SF	1,912 SF	0 SF	0 SF	553 SF	7,939 SF
LEVEL P1	0 SF	651 SF	0 SF	5,873 SF	1,760 SF	8,284 SF
<b>Grand total</b>	<b>35,518 SF</b>	<b>7,430 SF</b>	<b>619 SF</b>	<b>5,873 SF</b>	<b>2,752 SF</b>	<b>52,193 SF</b>

### UNIT MATRIX

LEVEL	EFFICIENCY	STUDIO	OPEN 1	1 BEDROOM	1 BED PLUS	2 BED / 1 BATH	2 BED / 2 BATH	4 BED / 3 BATH	COUNT
LEVEL 5	2	2	0	1	0	0	0	1	9
LEVEL 4	2	4	5	1	0	3	0	0	15
LEVEL 3	2	4	5	1	0	3	0	0	15
LEVEL 2	2	4	5	1	0	3	0	0	15
LEVEL 1	0	0	1	0	1	1	4	0	7
<b>TOTAL</b>	<b>8</b>	<b>14</b>	<b>16</b>	<b>4</b>	<b>1</b>	<b>10</b>	<b>4</b>	<b>1</b>	<b>61</b>

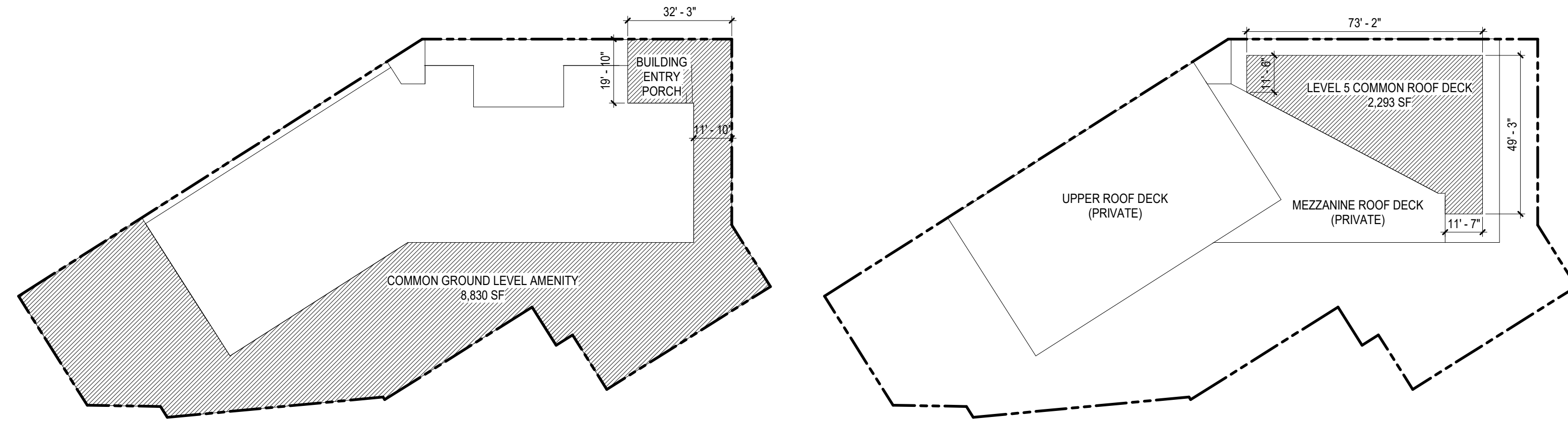


March 22, 2017

Liz Kain, SW Contract Administration  
Seattle Public Utilities  
Utility Systems Management  
P.O. Box 34018  
Seattle, WA 98124-4018

This Project #3017032 at address 736 Bellevue Pl E has been reviewed and the space has been found adequate for storage of residential garbage and recycling containers and is approved by SPU/Solid Waste Management. The contractor will bring the containers from the trash room to Bellevue Pl E for collection.

Liz Kain  
Date: 03/22/17  
Office (206) 684-4166  
Fax (206) 684-0206  
liz.kain@seattle.gov



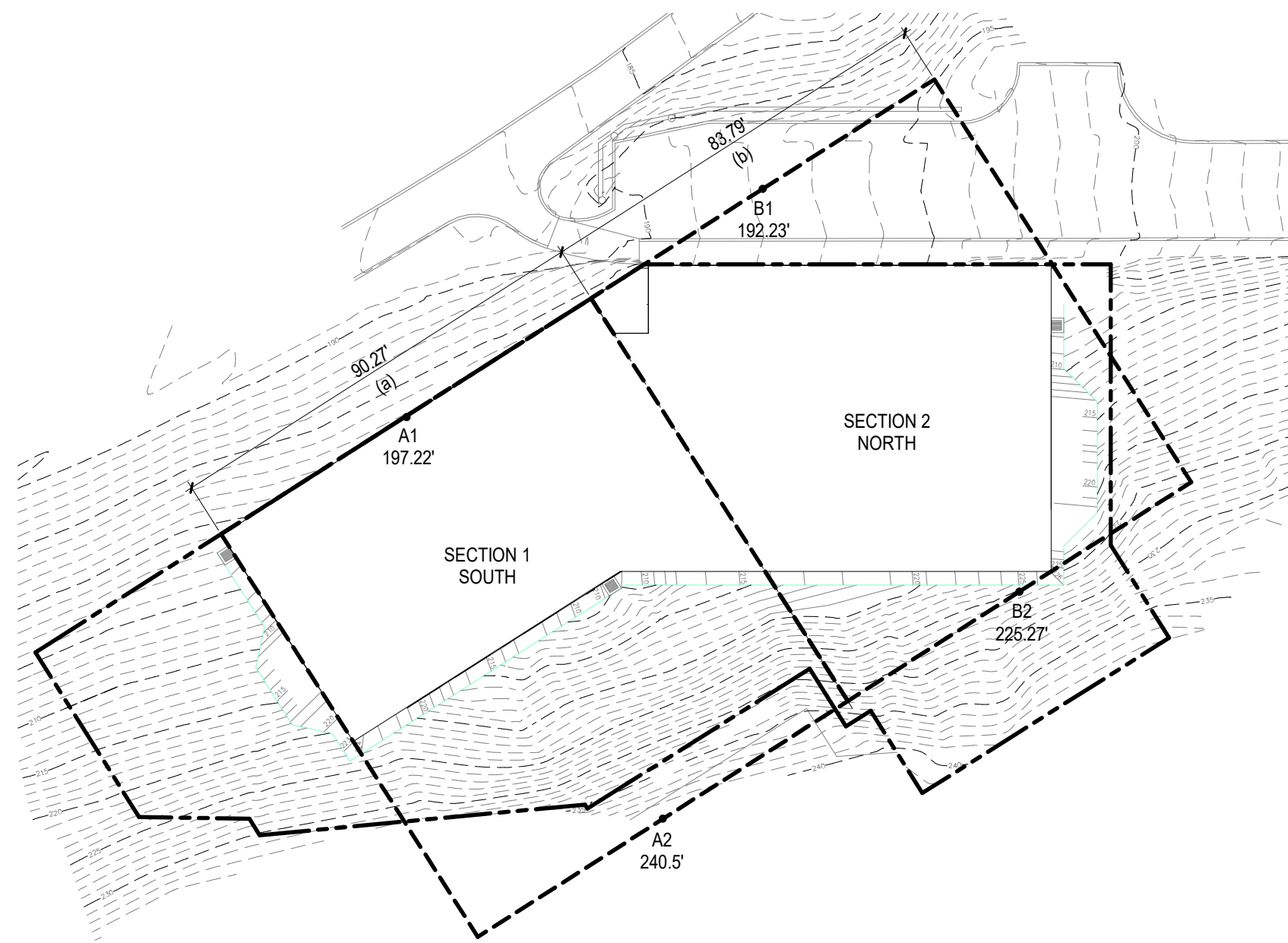
GROUND LEVEL  
ROOF LEVEL  
AMENITY DIAGRAM  
SCALE: 1" = 30'-0"

Mami Marc, General Manager/CEO  
Seattle Public Utilities  
700 West 34th St  
Seattle, WA 98124-4818

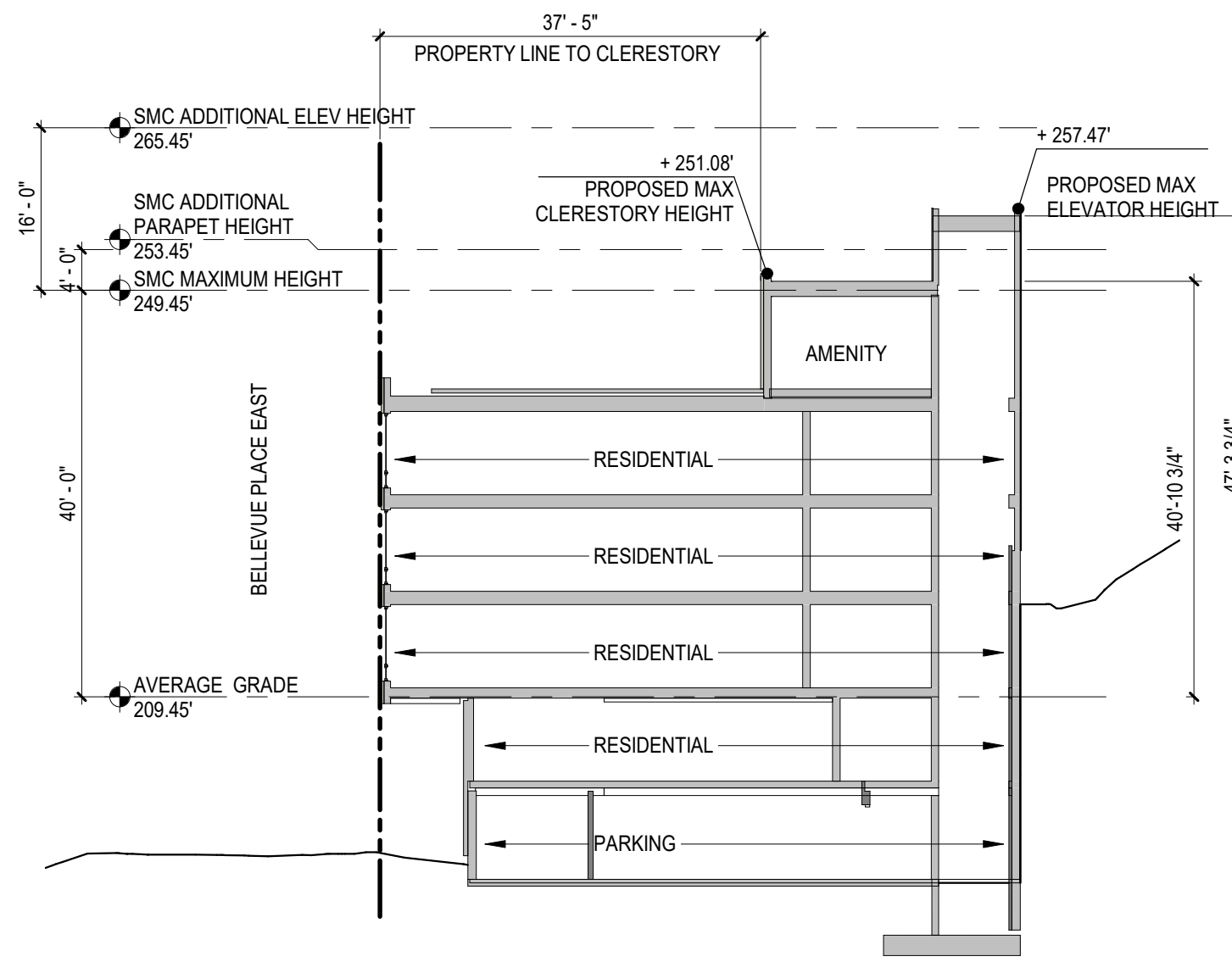
Tel (206) 684-5851  
Fax (206) 684-4631  
TDD (206) 333-7341  
http://www.seattle.gov

AVERAGE GRADE CALC  
SECTION 1 : SOUTH  
MIDPOINT EXTERIOR  
ELEVATION WALL LENGTH  
A1 = 197.22' a = 90.27'  
A2 = 240.50'  
FORMULA =  $\frac{(A1 \times a) + (A2 \times a)}{a + a}$   
 $\frac{(197.22 \times 90.27) + (240.50 \times 90.27)}{90.27 + 90.27}$   
 $\frac{(17,803.05) + (21,709.94)}{180.54}$   
AVERAGE GRADE = 218.86'

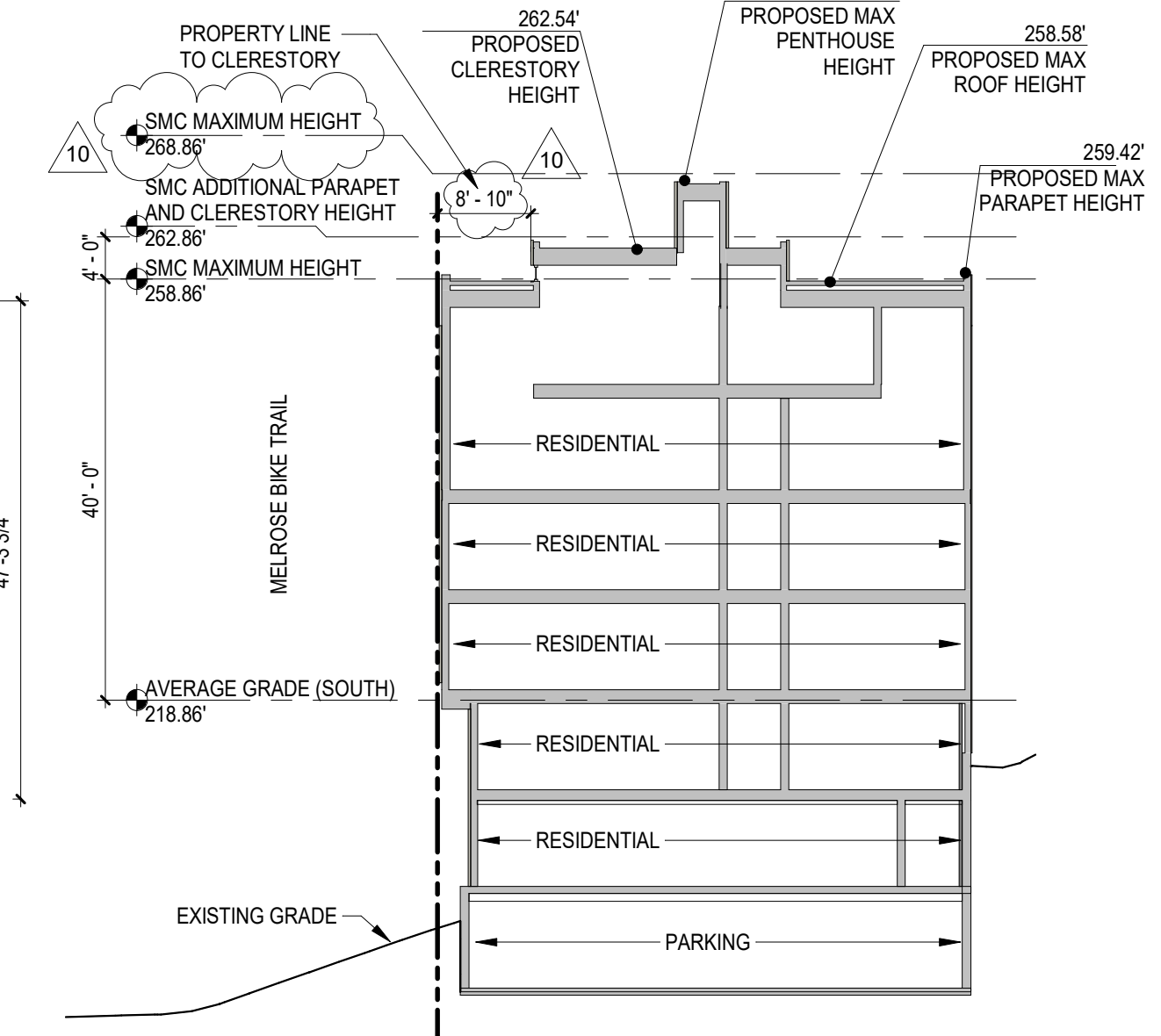
AVERAGE GRADE CALC  
SECTION 2 : NORTH  
MIDPOINT EXTERIOR  
ELEVATION WALL LENGTH  
B1 = 192.23' b = 83.79'  
B2 = 226.27'  
FORMULA =  $\frac{(B1 \times b) + (B2 \times b)}{b + b}$   
 $\frac{(192.23 \times 83.79) + (226.27 \times 83.79)}{83.79 + 83.79}$   
 $\frac{(16,115.33) + (18,984.30)}{167.58}$   
AVERAGE GRADE = 209.45'



SMC AVERAGE GRADE CALCULATION



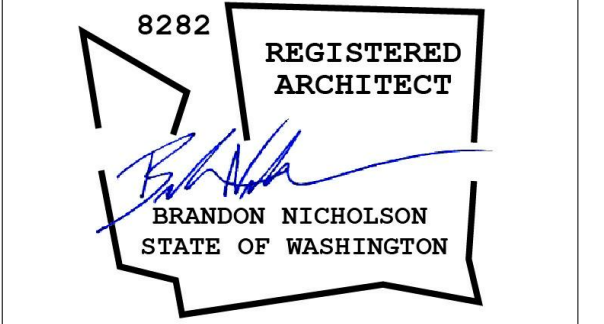
BUILDING HEIGHT DIAGRAM: NORTH  
SCALE: 1/16" = 1'-0"



BUILDING HEIGHT DIAGRAM: SOUTH  
SCALE: 1/16" = 1'-0"



NICHOLSON KOVALCHICK ARCHITECTS  
310 FIRST AVENUE SOUTH SUITE 4S  
SEATTLE, WASHINGTON 98104  
T: 206.933.1150 F: 206.933.1154  
www.nkarch.com



ISSUANCE	
MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
2 MUP CORRECTIONS #2	3/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
3 MUP CORRECTIONS #3	08/25/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

BELL VIEW APARTMENTS  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC



ZONING CODE ANALYSIS & DIAGRAMS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

A0.10

ZONING SUMMARY - APPLICABLE PROVISIONS

DESIGN REVIEW SMC 23.41.004	A. DESIGN REVIEW REQUIRED THRESHOLD 8 DWELLING UNITS PROPOSED 58 DWELLING UNITS
PERMITTED AND PROHIBITED USES SMC 23.45.504	TABLE A PERMITTED AND PROHIBITED USES PERMITTED RESIDENTIAL USE PROPOSED RESIDENTIAL USE
FLOOR AREA RATIO (FAR) LIMITS SMC 23.45.510	TABLE A FLOOR AREA RATIOS IN LR ZONES LR3 APARTMENTS INSIDE URBAN VILLAGE 1.5 OR 2.0 PROPOSED 1.98 *BUILT GREEN LOT DOES NOT ABUT AN ALLEY, ALL PARKING UNDER STRUCTURE, ACCESS TO PARKING IS FROM STREET
DENSITY LIMITS SMC 23.45.512	TABLE A DENSITY LIMITS IN LOWRISE ZONES LR3 MEETING STANDARDS FOR HIGHRISE FAR (SEE ABOVE) NO LIMIT PROPOSED IS COMPLIANT
STRUCTURE HEIGHT SMC 23.45.514	SEE AVERAGE GRADE DIAGRAM & CALCULATION ON THIS SHEET ALLOWED MAXIMUM STRUCTURE HEIGHT (FOR LR3 APARTMENT IN URBAN VILLAGE): BASE HEIGHT: 40'-0" **4' ADDITIONAL ALLOWED FOR PARAPETS: 44'-0" **4' ADDITIONAL ALLOWED FOR CLERESTORIES: 44'-0" **10' ADDITIONAL ALLOWED FOR MECHANICAL/STAIR PENTHOUSE: 50'-0" (ABOVE ROOFTOP FEATURES ALLOWED IF THE COMBINED TOTAL COVERAGE DOES NOT EXCEED 15% OF THE ROOF AREA) **16' ADDITIONAL ALLOWED FOR ELEVATOR PENTHOUSE: 56'-0" **16' ADDITIONAL FOR STAIR PENTHOUSE ADJACENT TO ELEV: 56'-0" PROPOSED MAXIMUM STRUCTURE HEIGHT (ABOVE AVERAGE GRADE LINE): *TO TOP OF SOUTH ROOF: 39.72' *TO TOP OF SOUTH ROOF CLERESTORY: SEE DIAGRAM THIS PAGE **TO TOP OF PARAPETS: 40.56' *TO TOP OF NORTH ROOF: 39.38' **TO TOP OF STAIR/ELEVATOR PENTHOUSE: SEE DIAGRAM THIS PAGE

SETBACKS AND SEPARATIONS SMC 23.45.018	TABLE A REQUIRED SETBACKS IN LR ZONES MEASURED IN FEET REQUIRED PROPOSED FRONT 5' 0' REAR 15' (NO ALLEY) GREATER THAN 15' SIDE FOR 40'+ FACADE 5' 12'-3" ON NORTH 45' FOR SOUTH 0' FOR SOUTHWEST *DEPARTURES PRESENTED AND SUPPORTED BY EAST DESIGN REVIEW BOARD, SEE DEPARTURE TABLE A0.12
AMENITY AREA SMC 23.45.522.A	AMENITY AREA MINIMUM REQUIRES 25% OF LOT AREA 25% OF 18,175 SF = 4,544 SF 50% MIN OF REQUIRED AMENITY AREA MUST BE AT GROUND LEVEL PROPOSED COMMON ROOF DECK (LEVEL 5) 2,293 SF GROUND LEVEL LANDSCAPE 8,830 SF (2,272 MIN AT GROUND LEVEL) TOTAL 11,123 SF COMMON AMENITY ALLOWED PROPOSED MINIMUM SIZE 250 SF 2,293 SF
LANDSCAPING STANDARDS SMC 23.45.524	A. GREEN FACTOR REQUIRED PROPOSED 0.6 SEE LANDSCAPE B. STREET TREE REQUIREMENTS SEE LANDSCAPE
STRUCTURE WIDTH AND FACADE LENGTH LIMITS SMC 23.45.527	TABLE A MAXIMUM STRUCTURE WIDTH IN LR ZONES IN FEET LR3 INSIDE URBAN VILLAGES 150' 82'-3"

STRUCTURE WIDTH AND FACADE LENGTH LIMITS SMC 23.45.527.B.1	MAXIMUM COMBINED LENGTH WITHIN 15' OF A LOT LINE ALLOWED 65% PROPOSED 82% *DEPARTURES PRESENTED AND SUPPORTED BY EAST DESIGN REVIEW BOARD SEE DEPARTURE TABLE A0.12
PARKING LOCATION, ACCESS, AND SCREENING SMC 23.45.536.C	ACCESS FOR PARKING SHALL BE FROM THE STREET: A. THE LOT DOES NOT ABUT AN ALLEY SCREENING OF PARKING 3. SCREENING BY GARAGE DOOR FACING THE STREET SIZE MAXIMUM 75 SF PROPOSED 85 SF (10' x 8'-6") (DEPARTURE REQUESTED)
IMPROVEMENTS FOR EXISTING STREETS IN RESIDENTIAL ZONES SMC 23.53.015	MINIMUM WIDTH PER 23.53.015 52' EXISTING 15' PROPOSED 23' *SDOT SIP PROCESS ONGOING WITH 90% CURRENTLY APPROVED
REQUIRED PARKING SMC 23.54.015	A. MINIMUM PARKING REQUIREMENTS (B & E FOR 23.54.015) RESIDENTIAL USE REQUIREMENTS IN URBAN CENTERS 0 PROPOSED RESIDENTIAL PARKING 18 K. RESIDENTIAL BICYCLE PARKING (1 PER 4 UNITS @ 58 UNITS) 15 PROPOSED RESIDENTIAL LONG TERM BICYCLE PARKING 15 LONG TERM BICYCLE PARKING REQUIRED 0 PROPOSED LONG TERM BICYCLE PARKING 0 C. MAXIMUM PARKING LIMITS MAXIMUM COMMERCIAL AUTO PARKING 10 PROPOSED COMMERCIAL AUTO PARKING 0

SOLID WASTE/ RECYCLING SMC 23.54.040	REQUIRED SIZE: 407 SF: 375 SF MINIMUM FOR 50-100 RESIDENTIAL UNITS PLUS 4 SF FOR EACH UNIT OVER 50 CONTAINER TYPE: FRONT LOADING ACCESS: DIRECT ACCESS FROM STREET PROPOSED SIZE: 370 SF STORAGE (SEE SHEET A2.10) CONTAINER TYPE: FRONT LOADING
PARKING SPACE STANDARDS SMC 23.54.030	D. DRIVEWAYS - RESIDENTIAL USES MINIMUM REQUIRED WIDTH: 10' PROPOSED: 10' (GARAGE DOOR WIDTH) G. SIGHT TRIANGLES FOR TWO WAY DRIVEWAYS LESS THAN 22' WIDE, A SIGHT TRIANGLE ON BOTH SIDES OF THE DRIVEWAY OR EASEMENT SHALL BE PROVIDED AND SHALL BE KEPT CLEAR. SEE SHEET A1.10 PROPOSED DRIVEWAY WIDTH: 20'
PARKING SPACE STANDARDS SMC 23.54.030	D3. DRIVEWAY SLOPE FOR ALL USES MAXIMUM SLOPE: 15% PROPOSED: 10.5% (PLUS CREST AND SAG)



Tina Capestany  
Seattle Department of Construction and Inspections  
700 5th Ave, Suite 2000  
PO Box 34019  
Seattle, WA 98124-4019  
June 2, 2017

DPD Project #: 3017032  
Address: 736 Bellevue Place E  
Subject: Zoning Correction #4

I, Preston Walls, am the owner or financially responsible party.

The proposed project, referenced above, will meet the green building standard by earning Built Green 4-star rating and the proposed building(s) is estimated to achieve an annual energy use of at least 15 percent lower than the standard reference design calculated in the 2015 Seattle Energy Code.

I acknowledge the compliance requirements in SMC 23.58D.004, and will submit documentation from the applicable third party organization to certify that the project has met the green performance standard referenced above. I acknowledge that this documentation must be received no later than 180 days after issuance of final Certificate of Occupancy or final inspection if no Certificate of Occupancy is required, or by such later date as may be allowed by the Director.

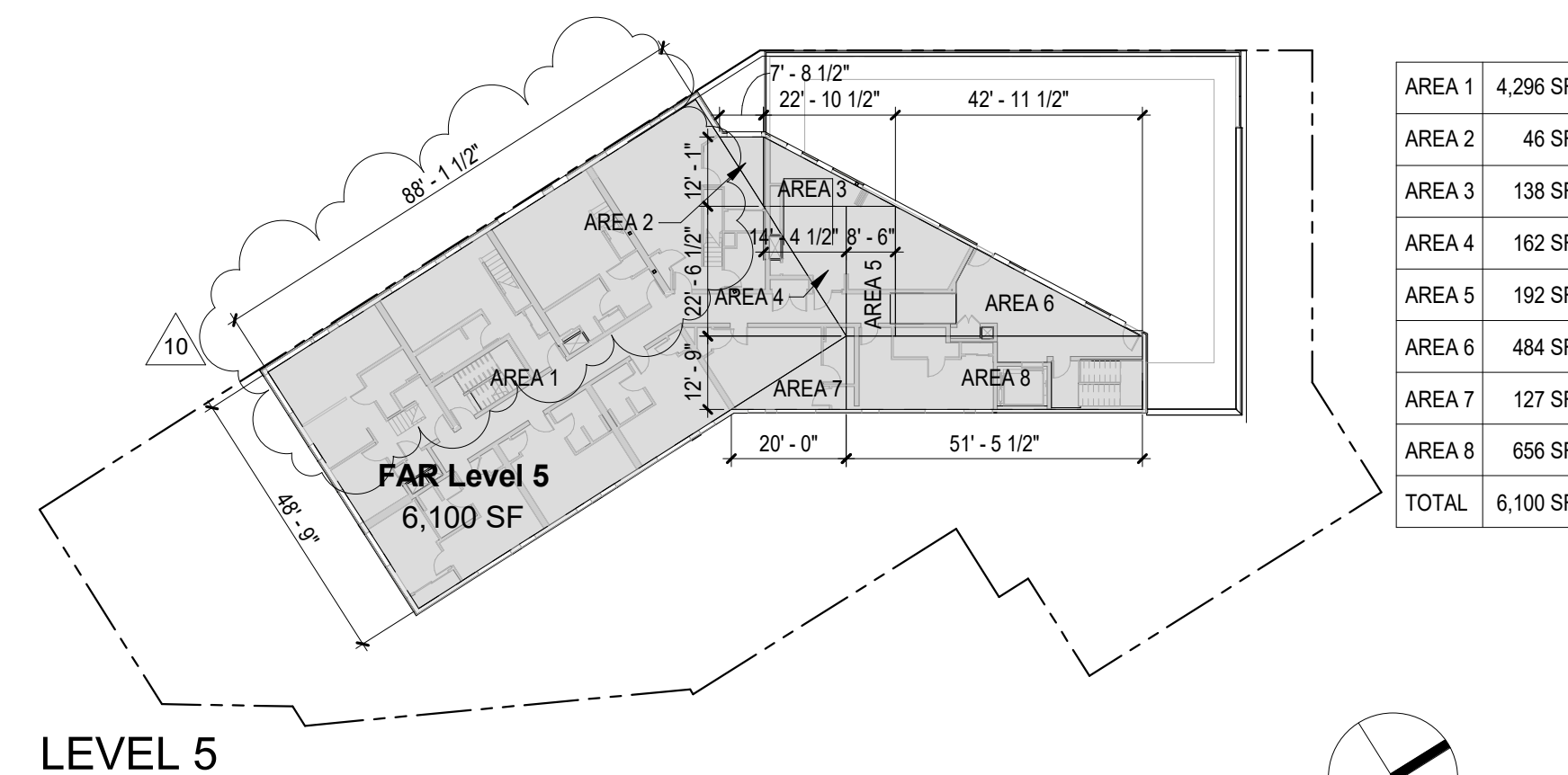
I acknowledge that failure to submit the applicable documentation within the established timeframe could result in penalties of \$500 per day and failure to show compliance is subject to a maximum penalty of 2 percent of construction value pursuant to SMC 23.58D.006.

Sincerely,

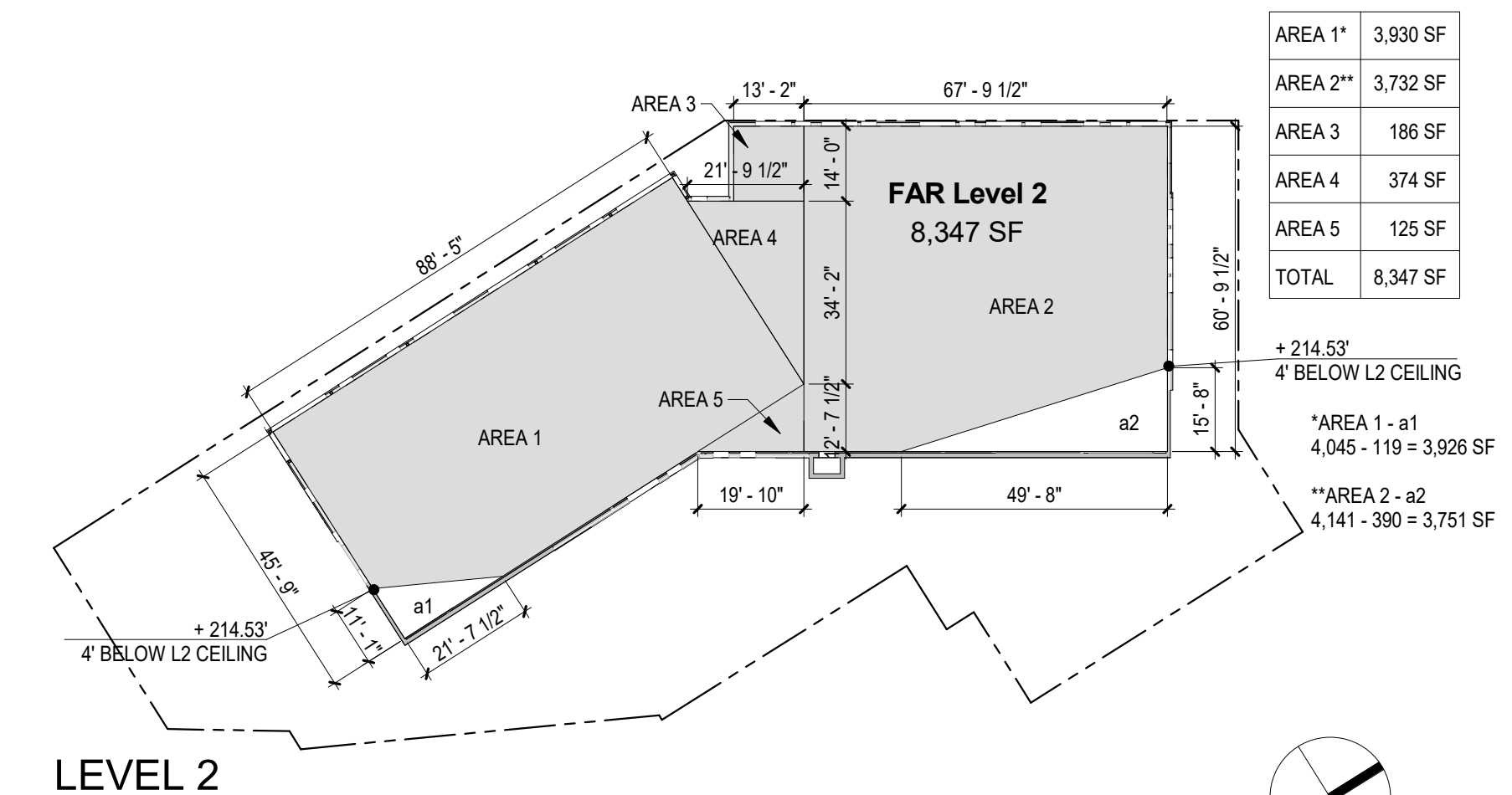
Preston Walls, Bell View LLC

### FLOOR AREA CALCULATIONS

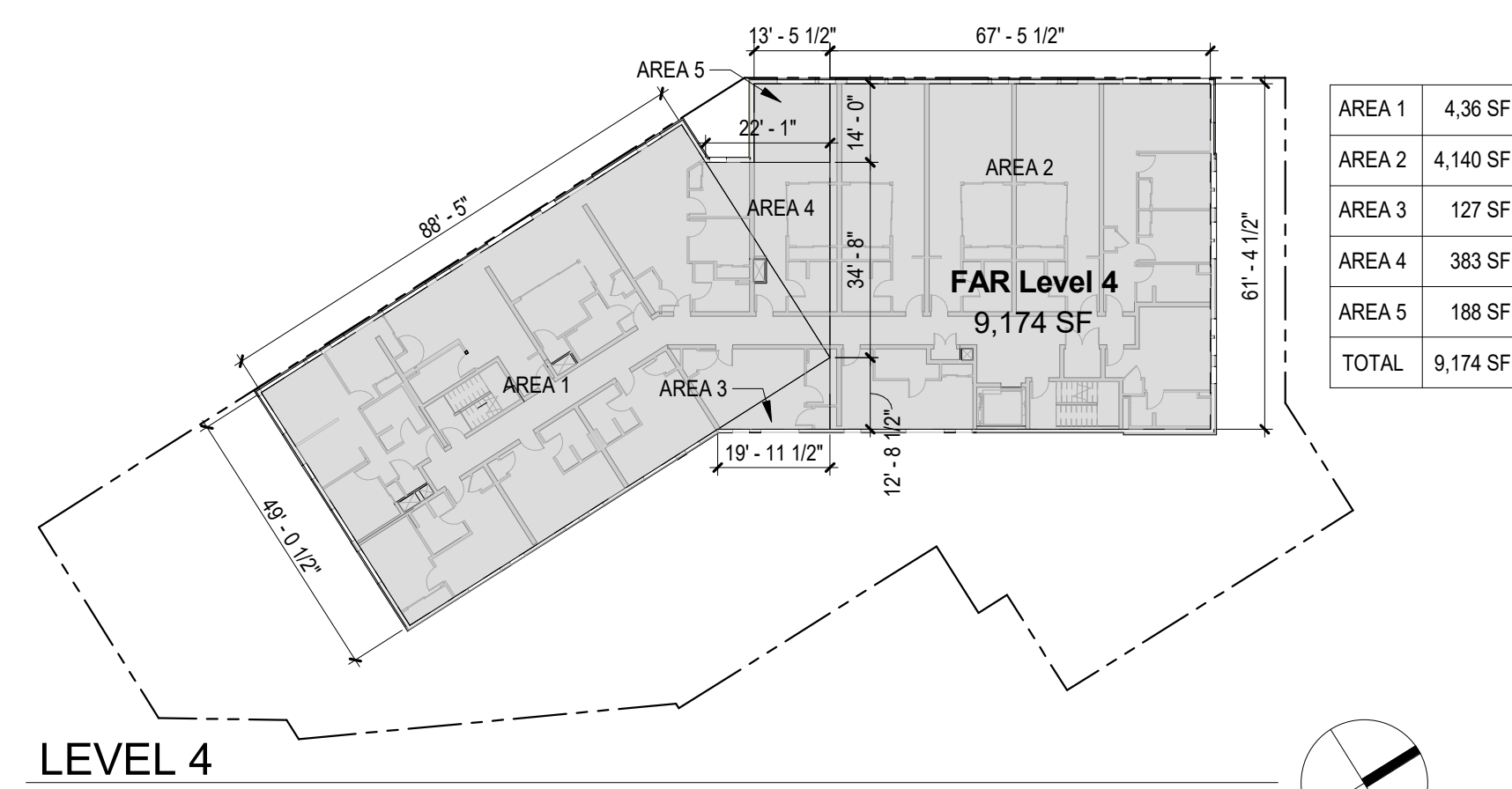
ALLOWABLE FAR: 2.0	SITE: 18,175 SF
PROPOSED FAR: 2.0 (36,265 SF / 18,175 SF = 1.99)	ALLOWABLE FAR (2.0): 36,340 SF
ROOF DECK (UPPER)	75 SF
MEZZANINE	741 SF
LEVEL 5	6,100 SF
LEVEL 4	9,174 SF
LEVEL 3	9,147 SF
LEVEL 2	8,347 SF
LEVEL 1	2,385 SF
LEVEL P1	304 SF
<b>TOTAL</b>	<b>36,272 SF</b>



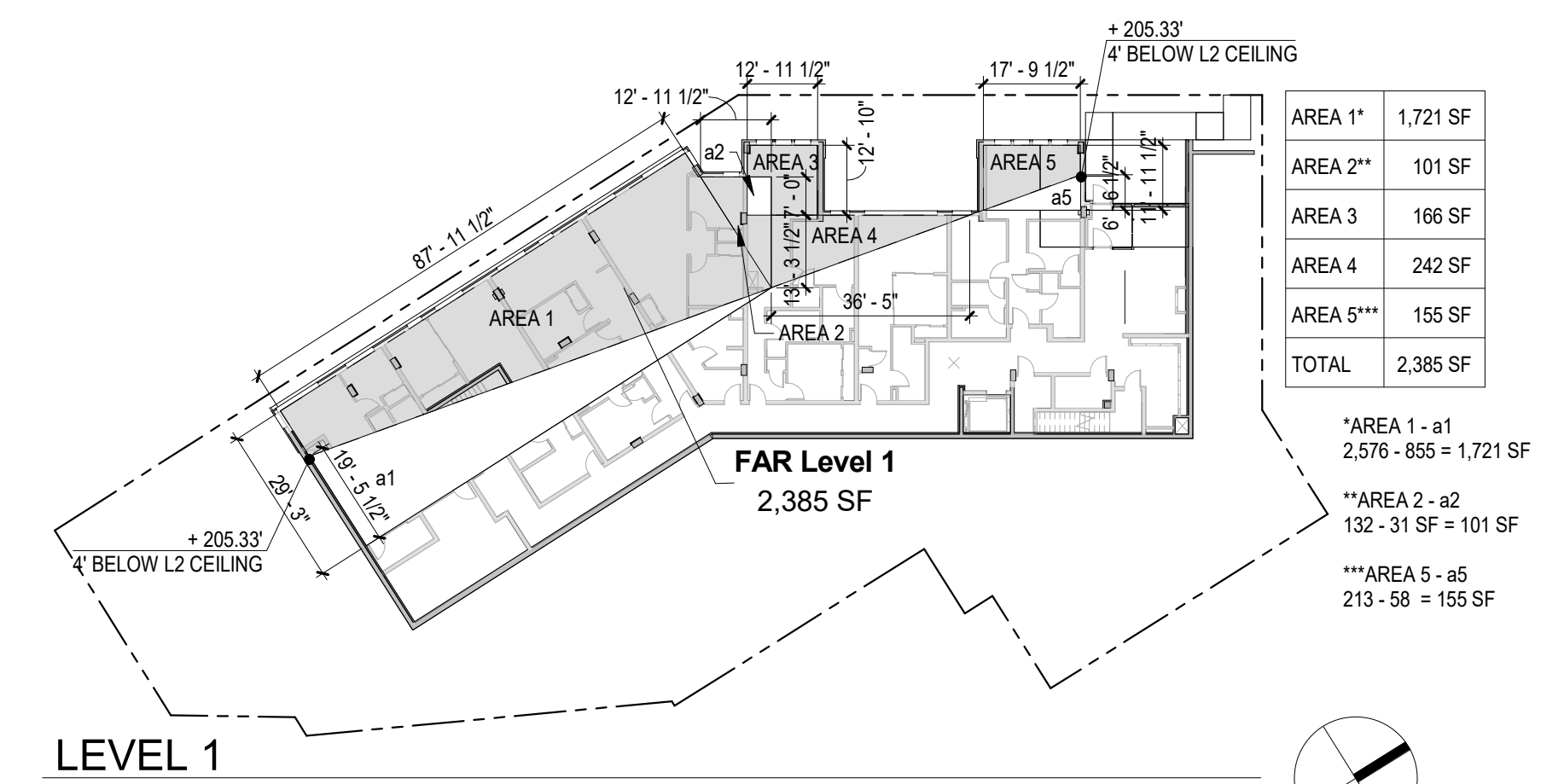
LEVEL 5



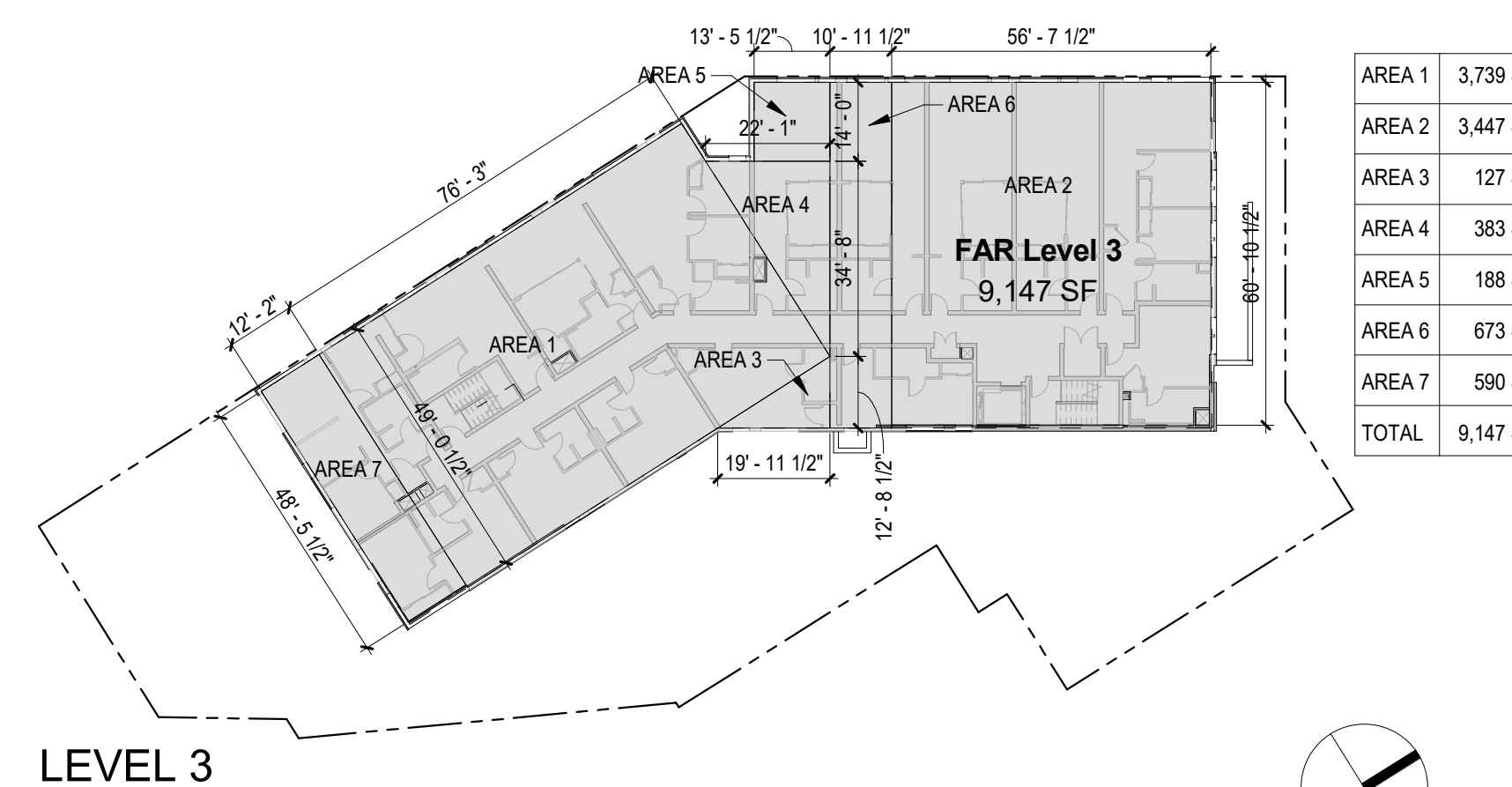
LEVEL 2



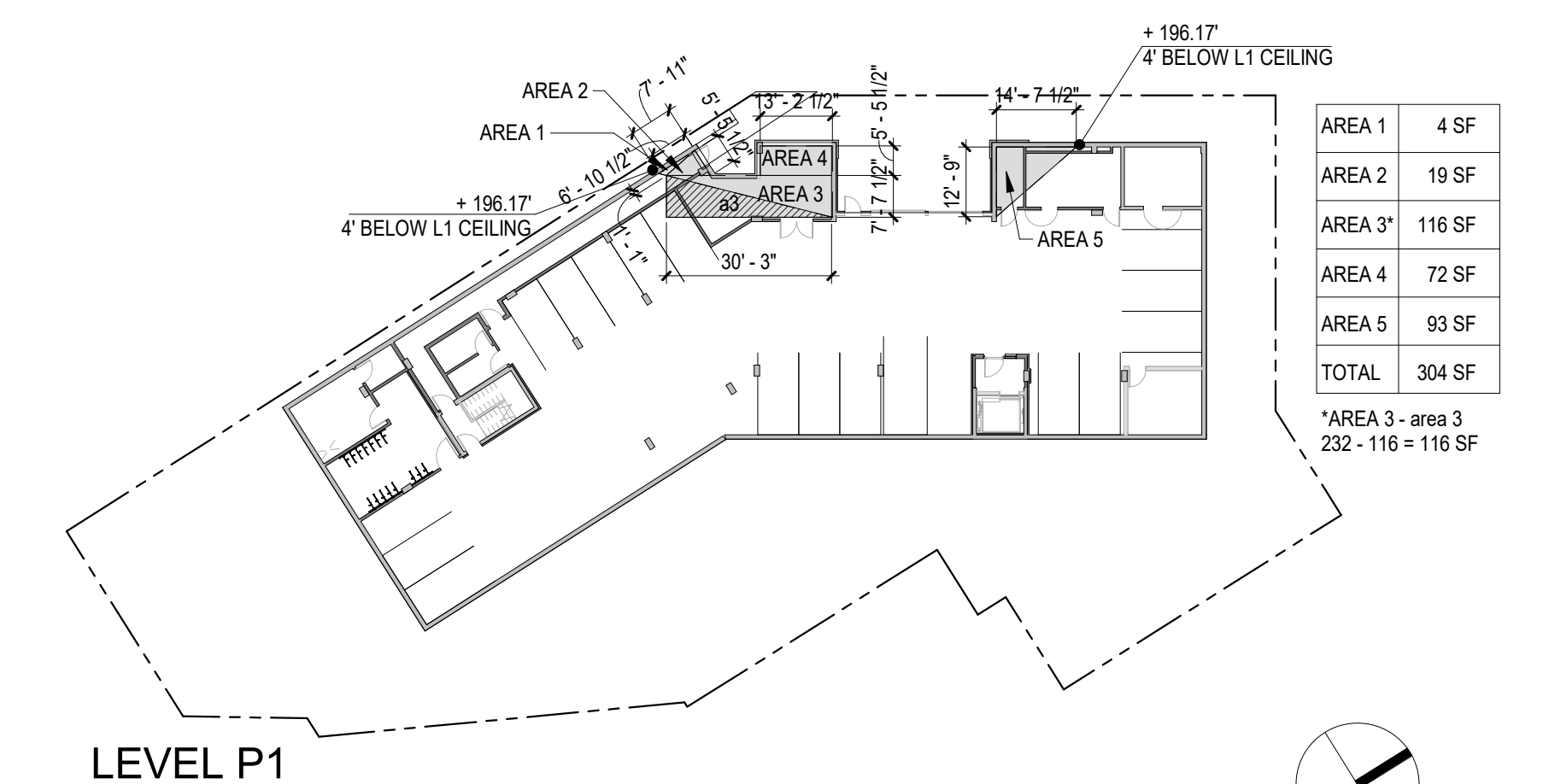
LEVEL 4



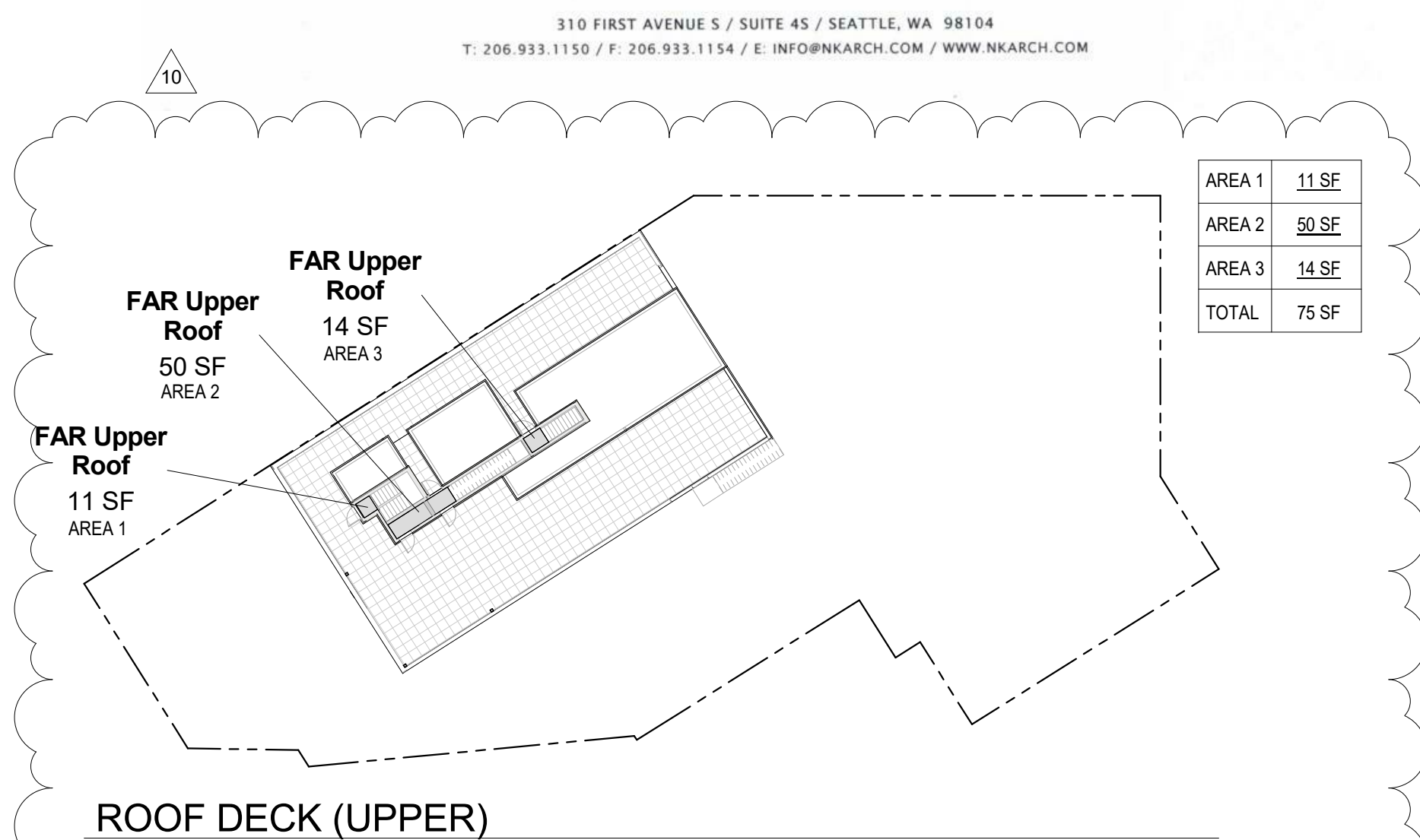
LEVEL 1



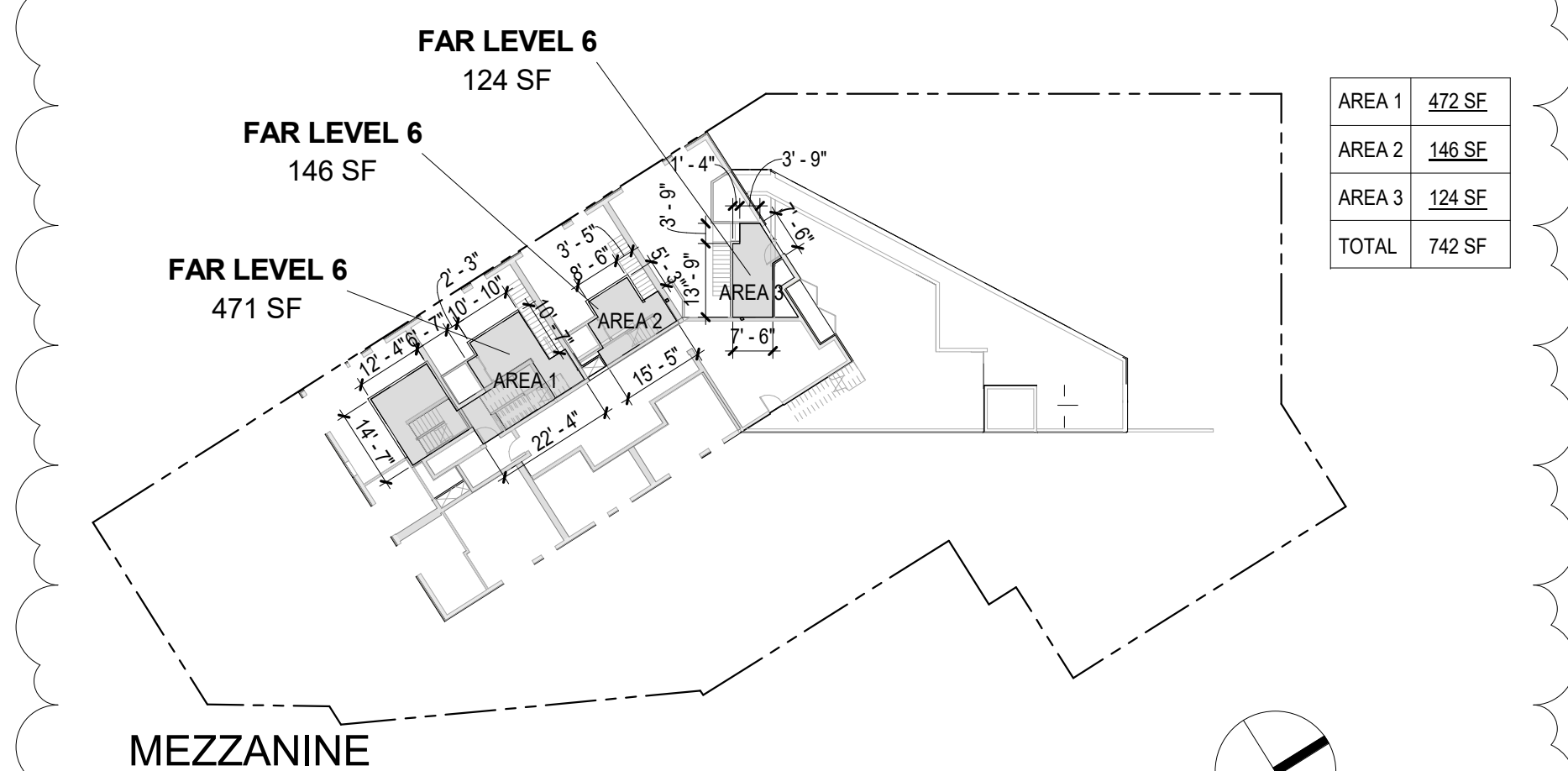
LEVEL 3



LEVEL P1



ROOF DECK (UPPER)



MEZZANINE

310 FIRST AVENUE S / SUITE 45 / SEATTLE, WA 98104  
T: 206.933.1150 / F: 206.933.1154 / E: INFO@NKARCH.COM / WWW.NKARCH.COM



310 FIRST AVENUE SOUTH SUITE 45  
SEATTLE, WASHINGTON 98104  
T: 206.933.1150 F: 206.933.1154  
www.nkarch.com



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## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

### SDCI STAMP



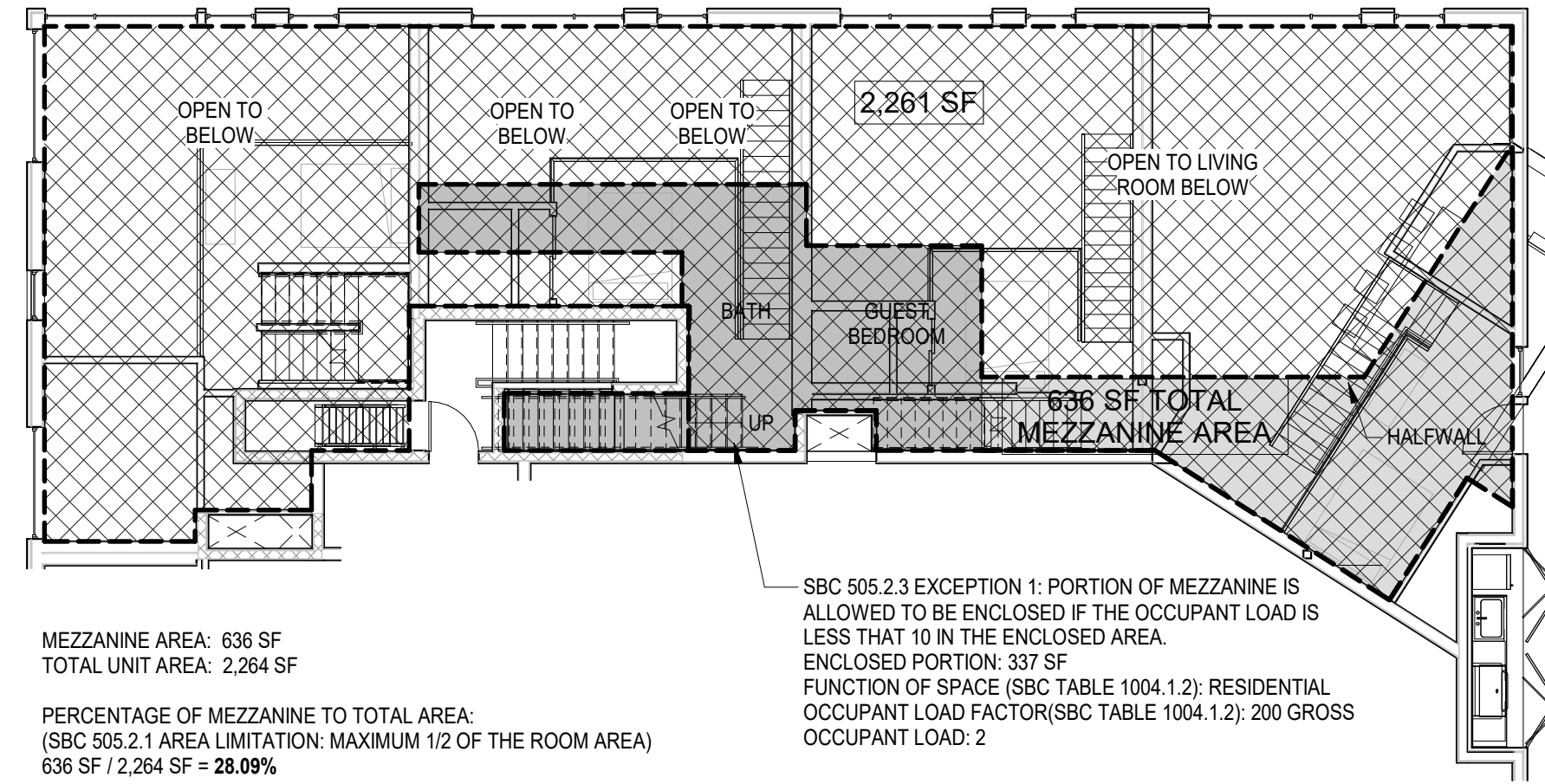
### ZONING CODE DIAGRAMS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A0.11

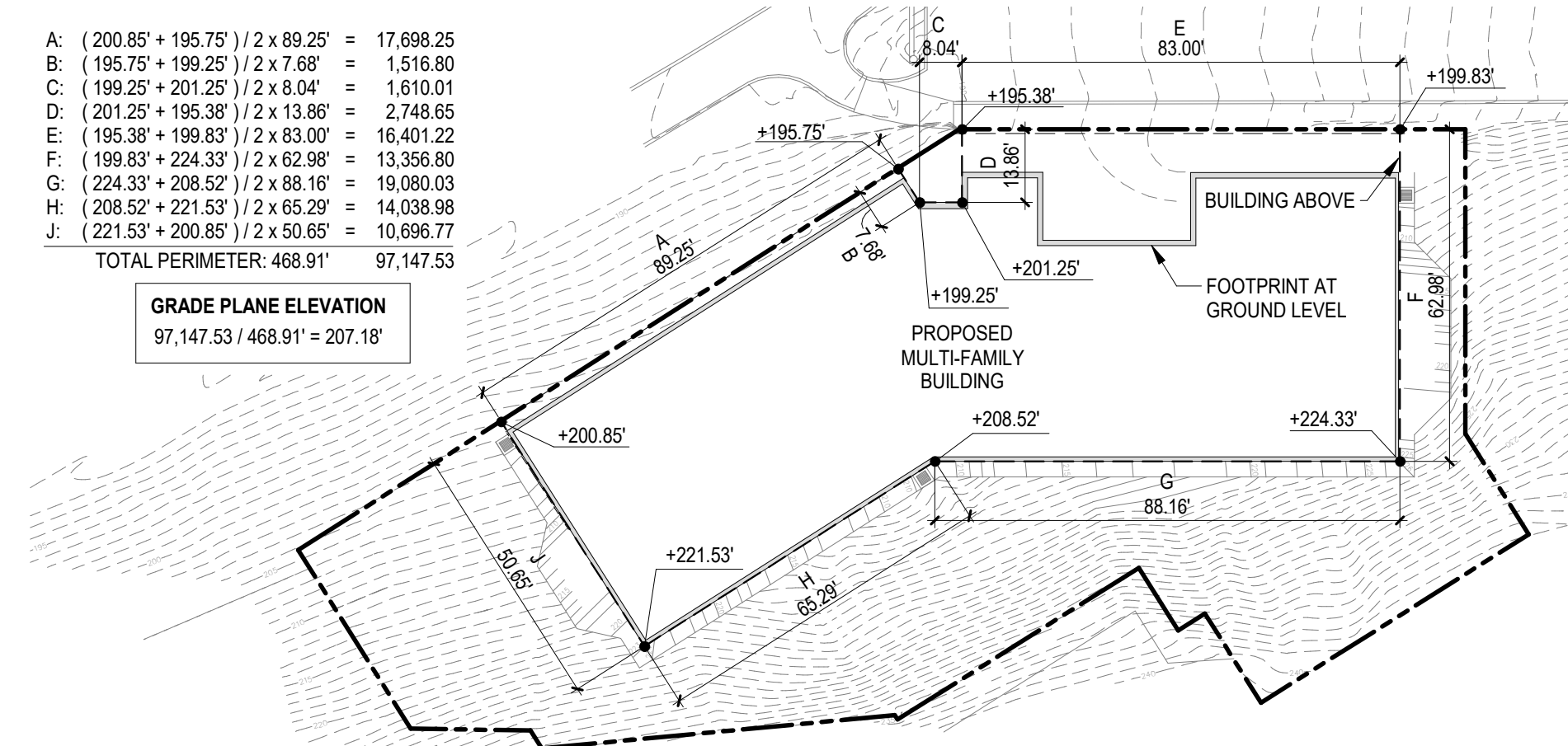
# BUILDING CODE ANALYSIS

BUILDING CODES	2015 SEATTLE BUILDING CODE 2015 SEATTLE ENERGY CODE 2015 SEATTLE FIRE CODE ICC A117.1-2009: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	2015 SEATTLE MECHANICAL CODE 2015 SEATTLE PLUMBING CODE 2014 SEATTLE ELECTRICAL CODE
PROPOSED USE	APARTMENT UNITS (RESIDENTIAL)	
CONSTRUCTION TYPE SBC TABLE 601	5 STORIES TYPE V-A OVER 1 BASEMENT STORY TYPE I-A	
BLDG OCCUPANCY SBC CHAPTER 3	R-2 APARTMENTS A-2 AMENITY ROOM (ACCESSORY TO R-2 PER SBC 508.2) S-2 PARKING GARAGE	
STRUCTURE HEIGHT SBC TABLE 504.4	TYPE V-A, GROUP R-2 OCCUPANCY TABULAR HEIGHT (STORIES): 5 STORIES, TABULAR HEIGHT (FEET): 70' PROPOSED HEIGHT: 5 STORIES (TYPE V-A) OVER 1 STORY TYPE I-A, 56'-6" SEE GRADE PLANE CALCULATION ON THIS SHEET.	
SBC TABLE 504.3	TYPE V-A/GROUP R-2 TABULAR ALLOWABLE AREA FACTOR (A): 36,000 SF TABULAR ALLOWABLE AREA FACTOR (NS): 12,000 SF PERIMETER ON PUBLIC WAY (F): 310' BUILDING PERIMETER (P): 466' ROW WIDTH (W): 30' AREA FACTOR INCREASE (I): IF $(F/P - 0.25)W/30$ IF = $(310/466) - 0.25 / 30/30 = 0.41$ STORIES ABOVE GRADE PLANE (Sa): 3 (MAX. PER 506.2.3) ALLOWABLE AREA (Aa): $Aa = [A + (NS \times I)] \times Sa$ $Aa = [36,000 + (12,000 \times 0.41)] \times 3 = 122,760$ SF PROPOSED BUILDING AREA (Aa): 41,325 SF	
BUILDING AREA SBC TABLE 506.2 SBC TABLE 506.3	TYPE I-A/GROUP S-2 TABULAR AREA (A): UNLIMITED	
SBC 506.2 SBC 506.2	ALL AREAS ARE PROTECTED BY SPRINKLERS: R-2 TO R-2 1 HOUR (BETWEEN INDIVIDUAL DWELLING UNITS PER SBC 420.2) R-2 TO A-2 1 HOUR R-2 TO S-2 1 HOUR	
SBC TABLE 506.2	HORIZONTAL BUILDING SEPARATION ALLOWANCE. A BUILDING SHALL BE CONSIDERED AS SEPARATE AND DISTINCT BUILDINGS FOR THE PURPOSES OF DETERMINING AREA LIMITATIONS, CONTINUITY OF FIRE WALLS, LIMITATION OF NUMBER OF STORIES AND TYPE OF CONSTRUCTION WHERE ALL OF THE CONDITIONS SET FORTH IN SBC SECTION 510.2 ARE MET.	
SPECIAL PROVISIONS SBC 510.2	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS	
CONSTRUCTION TYPE SBC TABLE 601	ASSEMBLY TYPE TYPE I-A TYPE V-A STRUCTURAL FRAME 3-HOUR 1-HOUR INTERIOR / EXTERIOR BEARING WALLS 3-HOUR 1-HOUR EXTERIOR NON-BEARING WALLS SEE 602 NOTES BELOW SEE 602 NOTES BELOW INTERIOR NON-BEARING WALLS 0 HOUR 0 HOUR FLOOR CONSTRUCTION 2 HOUR 1 HOUR ROOF CONSTRUCTION 1.5 HOUR 1 HOUR	
SBC TABLE 602	FIRE RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	
FIRE-RESISTANCE RATED CONSTRUCTION SBC CHAPTER 7	FIRE SEPARATION DISTANCE TYPE I-A TYPE V-A < 5' 1-HOUR 1-HOUR > 5' & < 10' 1-HOUR 1-HOUR > 10' & < 30' 1-HOUR 1-HOUR > 30' 0-HOUR 0-HOUR	
EXTERIOR WALLS ARE NOT REQUIRED TO BE RATED FROM THE EXTERIOR WHEN FIRE SEPARATION DISTANCE IS > 10' PER SBC 705.5.	RATED CONSTRUCTION REQUIREMENTS BY OCCUPANCY	
SBC 420.2	WALLS SEPARATING DWELLING UNITS	1 HR FIRE PARTITION
SBC 420.3	FLR / CLGS SEPARATING DWELLING UNITS	1 HR HORIZONTAL ASSEMBLY
SBC 426.6.2	TRANSFORMER VAULT (ENTIRE ENCLOSURE)	3 HOUR
RATED CONSTRUCTION REQUIREMENTS BY LOCATION		
SBC 510.2	HORIZONTAL ASSEMBLY SEPARATING TYPE I-A AND TYPE VA CONSTRUCTION SHAFT / STAIRWAY ENCLOSURE PENETRATING THROUGH 3-HR HORIZONTAL ASSEMBLY	3 HR ASSEMBLY 2-HR CONTINUOUS FIRE BARRIERS
SBC 713.4	OTHER SHAFT ENCLOSURES CONNECTING MORE THAN 4 STORIES OTHER SHAFT ENCLOSURES CONNECTING 4 AND FEWER STORIES	2 HR FIRE BARRIER 1 HR FIRE BARRIER
SBC 1024.3	EXIT PASSAGEWAYS (1 HR FIRE BARRIER MIN. AND NOT LESS THAN THAT REQUIRED FOR THE CONNECTING ENCLOSURE)	2 HR FIRE BARRIER & HORIZ ASSEMBLY NOTE: TO MATCH STAIR ENCLOSURE
ALL ASSEMBLIES SHALL MEET THE SBC REQUIREMENTS OR UL EQUIVALENT OF THE REQUIRED FIRE-RESISTANCE RATING. REQUIRED SEPARATIONS SHALL COMPLETELY SEPARATE ADJACENT OCCUPANCIES. SBC 713.4.2 EXCEPTION 1: ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED WHERE THE BUILDING IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1. SEE ASSEMBLY SCHEDULES ON SHEETS A0.30-0.32		
AUTOMATIC SPRINKLER SYSTEM SBC 903.3.1.1	NFPA 13 SPRINKLER SYSTEM TO BE PROVIDED THROUGHOUT. (REQ'D PER SBC TABLE 504.4 FOR 5 STORIES TYPE VA CONSTRUCTION).	
MINIMUM EGRESS WIDTH SBC 1005 & 1009	THE MINIMUM WIDTH, IN INCHES, OF MEANS OF EGRESS SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD SERVED BY THE MEANS OF EGRESS MULTIPLIED BY 0.3 INCHES PER OCCUPANT FOR STAIRWAYS AND BY 0.2 INCHES PER OCCUPANT FOR OTHER EGRESS COMPONENTS. THE WIDTH OF STAIRWAYS SHALL BE DETERMINED AS SPECIFIED IN SECTION 1005.3, BUT NOT LESS THAN 44 INCHES.	
NUMBER OF EXIT AND ACCESS DOORWAYS SBC 1006	TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY R-2 (SPRINKLERED): 125'	
EXIT AND EXIT ACCESS DOORWAY CONFIG. SBC 1007	1007.1.1 EXCEPTION 2. WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.3.1.1, THE SEPARATION DISTANCE SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.	
EXIT ACCESS TRAVEL DISTANCE SBC 1017	TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE ALL R OCCUPANCIES (SPRINKLERED): 250' S-2 OCCUPANCIES (SPRINKLERED): 400'	
CORRIDORS SBC 1020	TABLE 1020.1 CORRIDOR FIRE RESISTANCE RATING ALL R OCCUPANCIES (SPRINKLERED): 1-HR FIRE RESISTANCE RATING TABLE 1020.2 CORRIDOR WIDTH THE MINIMUM CORRIDOR WIDTH SHALL BE AS DETERMINED IN SECTIONS 1005.1, BUT NOT LESS THAN 44 INCHES. EXCEPTIONS 1. 24 INCHES FOR ACCESS TO AND UTILIZATION OF ELECTRICAL, MECHANICAL OR PLUMBING SYSTEMS OR EQUIPMENT. 2. 36 INCHES WITH A REQUIRED OCCUPANT CAPACITY OF LESS THAN 50. 3. 36 INCHES WITHIN A DWELLING UNIT. SBC 1020.4 DEAD ENDS WHERE MORE THAN ONE EXIT OR EXIT ACCESS DOORWAY IS REQUIRED, THE EXIT ACCESS SHALL BE ARRANGED SUCH THAT THERE ARE NOT DEAD ENDS IN CORRIDORS MORE THAN 25 FEET IN LENGTH. EXCEPTION 2. IN GROUP R-2 OCCUPANCIES WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM PER 903.3.1.1, THE LENGTH OF THE DEAD-END CORRIDORS SHALL NOT EXCEED 50 FEET.	
EGRESS BASED ON OCCUPANT LOAD SBC 1006	TABLE 1006.3.1 MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY 1-500 OCCUPANT LOAD PER STORY: 2 EXITS 1006.2.1 EXCEPTION 1. TWO EXITS OR EXIT ACCESS DOORWAYS SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE VALUES LISTED IN TABLE 1006.2.1, EXCEPT IN GROUP R-2 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 20 WHERE THE DWELLING UNIT IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER PER SECTION 903.3.1.1	
ACCESSIBLE PARKING SBC 1106.2	MINIMUM 2% OF PARKING SPACES SHALL BE ACCESSIBLE TOTAL PARKING PROVIDED: 18 SPACES ACCESSIBLE PARKING PROVIDED: 1 SPACE	
ACCESSIBLE DWELLING UNITS SBC 1107.6.2	MINIMUM 5% OF DWELLING UNITS SHALL BE TYPE A UNITS. ALL OTHER UNITS SHALL BE TYPE B UNITS TOTAL DWELLING UNITS: 58 TYPE A UNITS PROVIDED: 3	



**SBC MEZZANINE DIAGRAM**

SCALE: 1" = 10'-0"



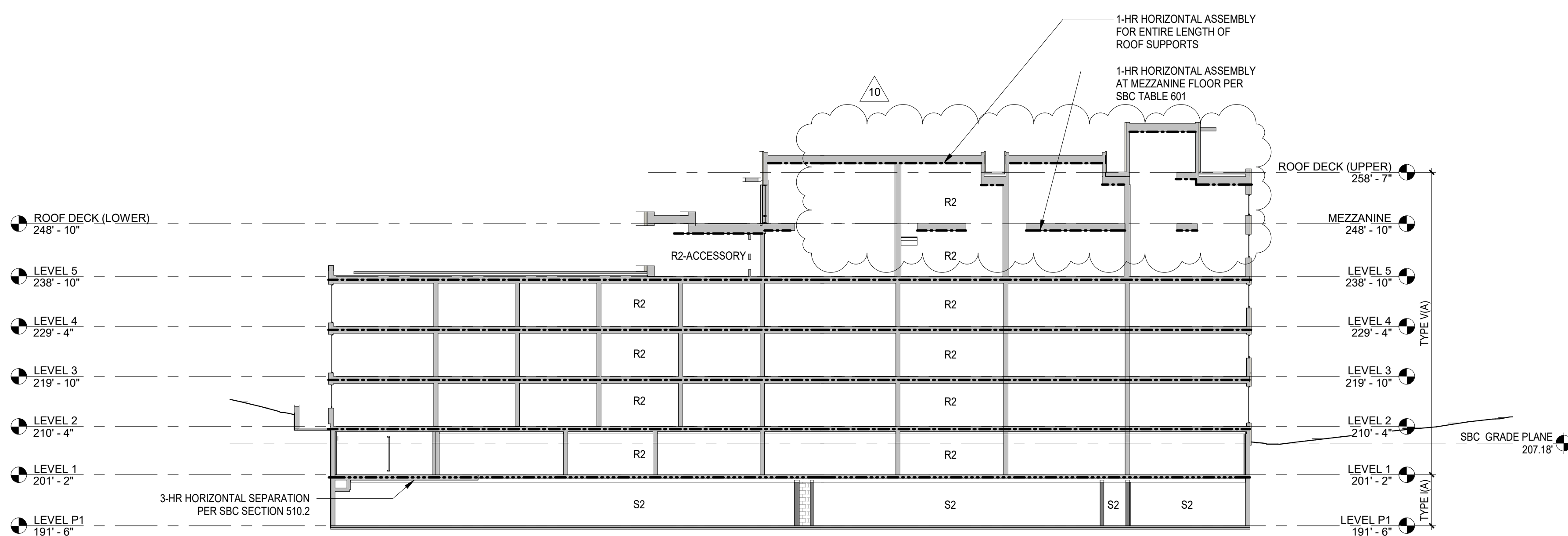
**SBC GRADE PLANE CALCULATION**

SCALE: 1" = 30'-0"



**4 BUILDING HEIGHT DIAGRAM**

SCALE: 1/16" = 1'-0"

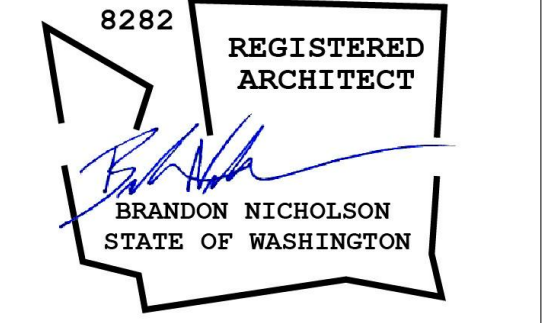


**HORIZONTAL SEPARATION DIAGRAM**

SCALE: 1/16" = 1'-0"



NICHOLSON KOVALCHICK ARCHITECTS  
310 FIRST AVENUE SOUTH SUITE 4S  
SEATTLE, WASHINGTON 98104  
T: 206.933.1150 F: 206.933.1154  
www.nkarch.com



**ISSUANCE**

1	MUP CORRECTIONS #1	1/13/2017
	BP SUBMITTAL	5/12/2017
	85% SET	9/25/2017
10	POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

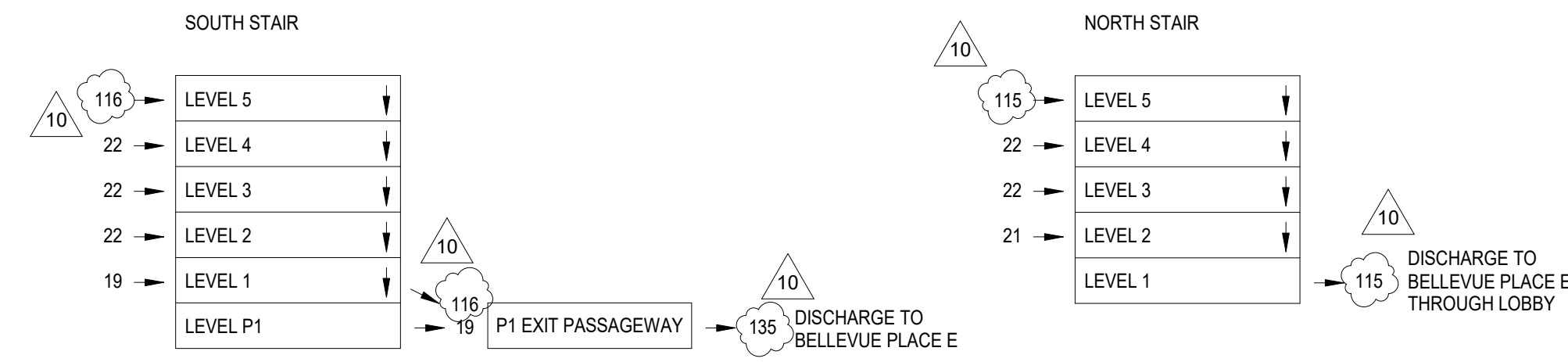
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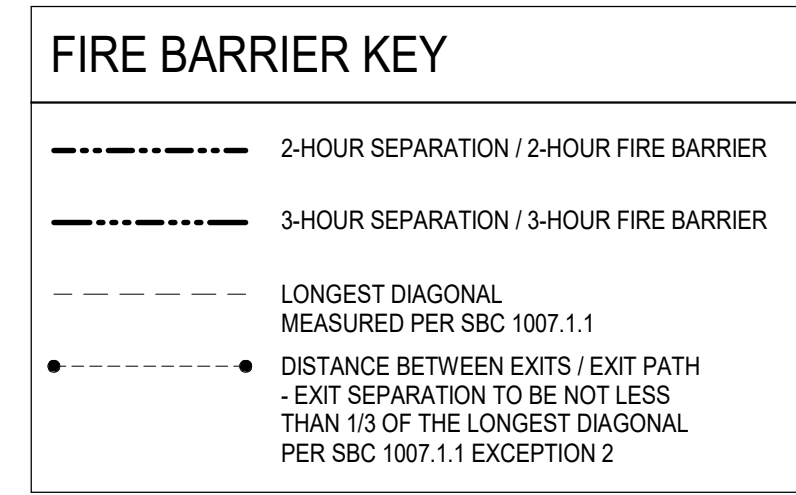
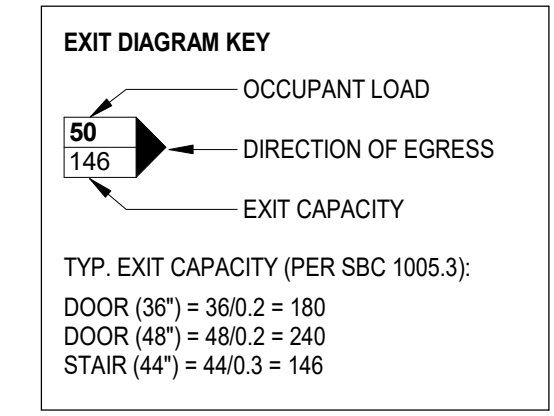
**BUILDING CODE ANALYSIS and BUILDING CODE DIAGRAMS**

PROJECT #: 16070  
DRAWN BY: NB  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

**A0.20**  
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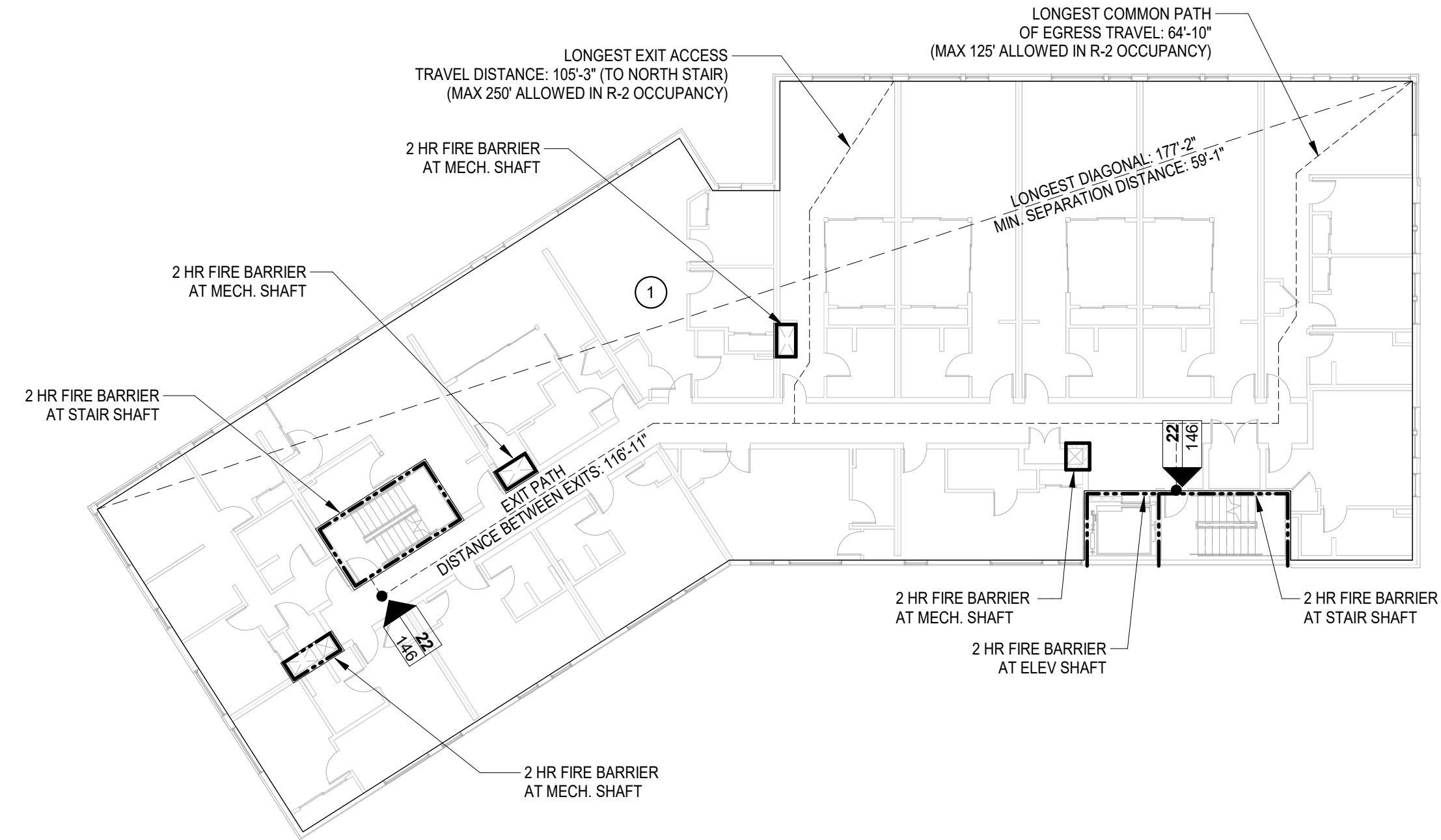


EXITING DIAGRAM - SECTION



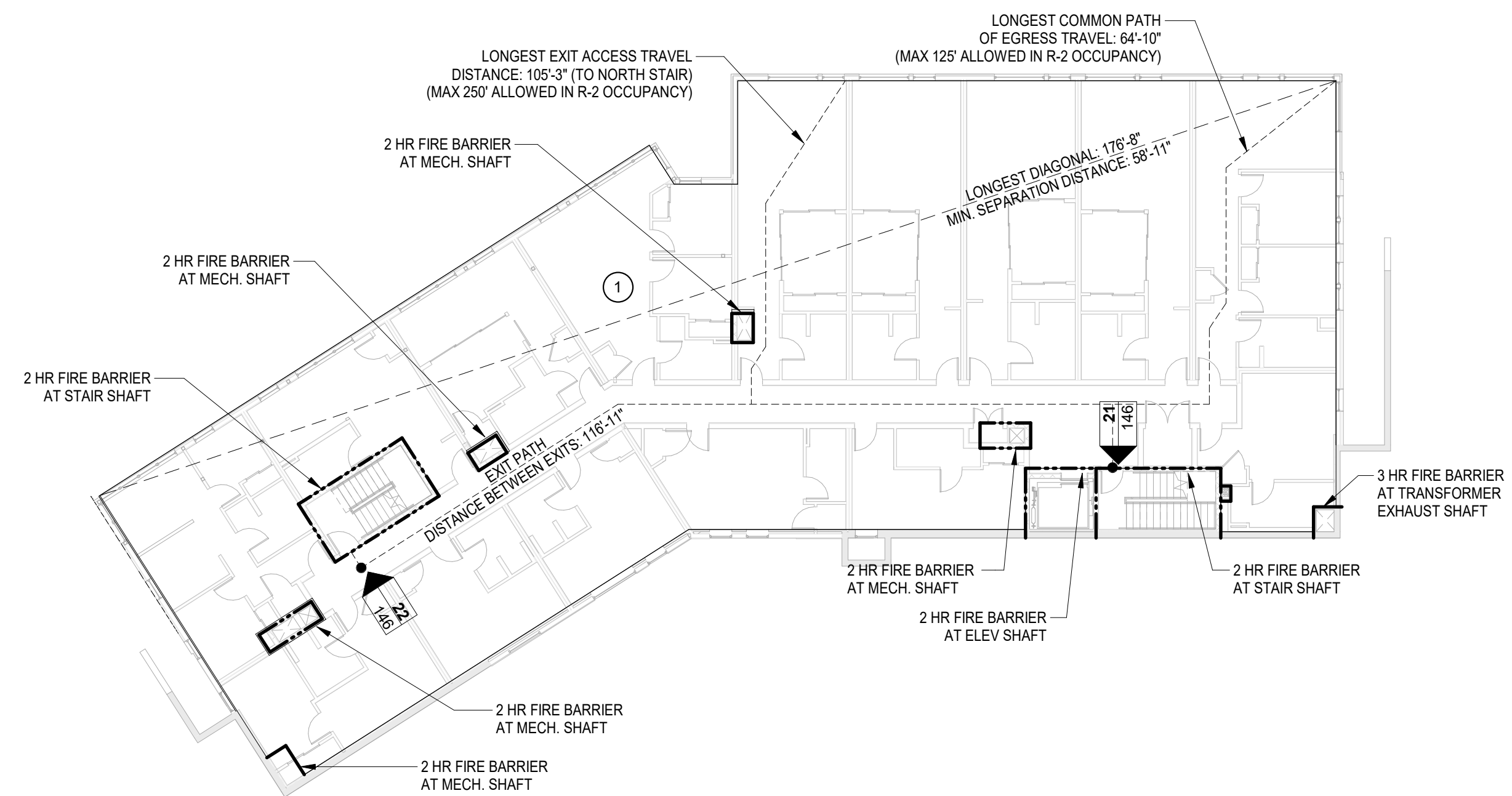
NOTES  
 • SEE DIAGRAMS FOR ASSEMBLY TYPE, SUCH AS EXTERIOR WALL, FIREWALL, ETC.  
 • ALL WALLS TO BE 1-HOUR RATED UNLESS NOTED OTHERWISE

OCCUPANT LOAD (SBC TABLE 1004.1.2)  
 LEVEL 3-4  
 1) RESIDENTIAL  
 FUNCTION OF SPACE: RESIDENTIAL  
 AREA: 8,682 SF  
 OLF: 200 GROSS  
 OL: 44



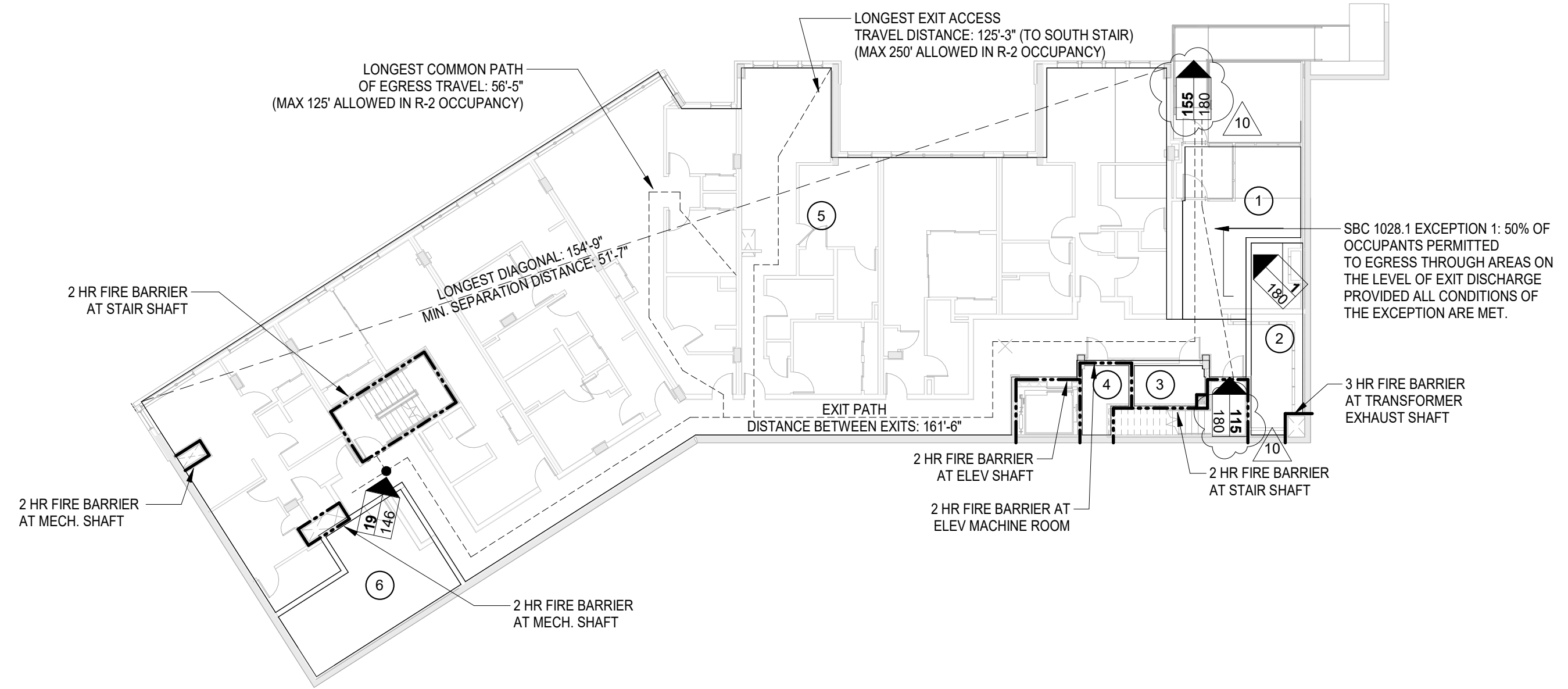
LEVELS 3-4 EXITING  
 SCALE: 1/16" = 1'-0"

OCCUPANT LOAD (SBC TABLE 1004.1.2)  
 LEVEL 2  
 1) RESIDENTIAL  
 FUNCTION OF SPACE: RESIDENTIAL  
 AREA: 8,440 SF  
 OLF: 200 GROSS  
 OL: 43



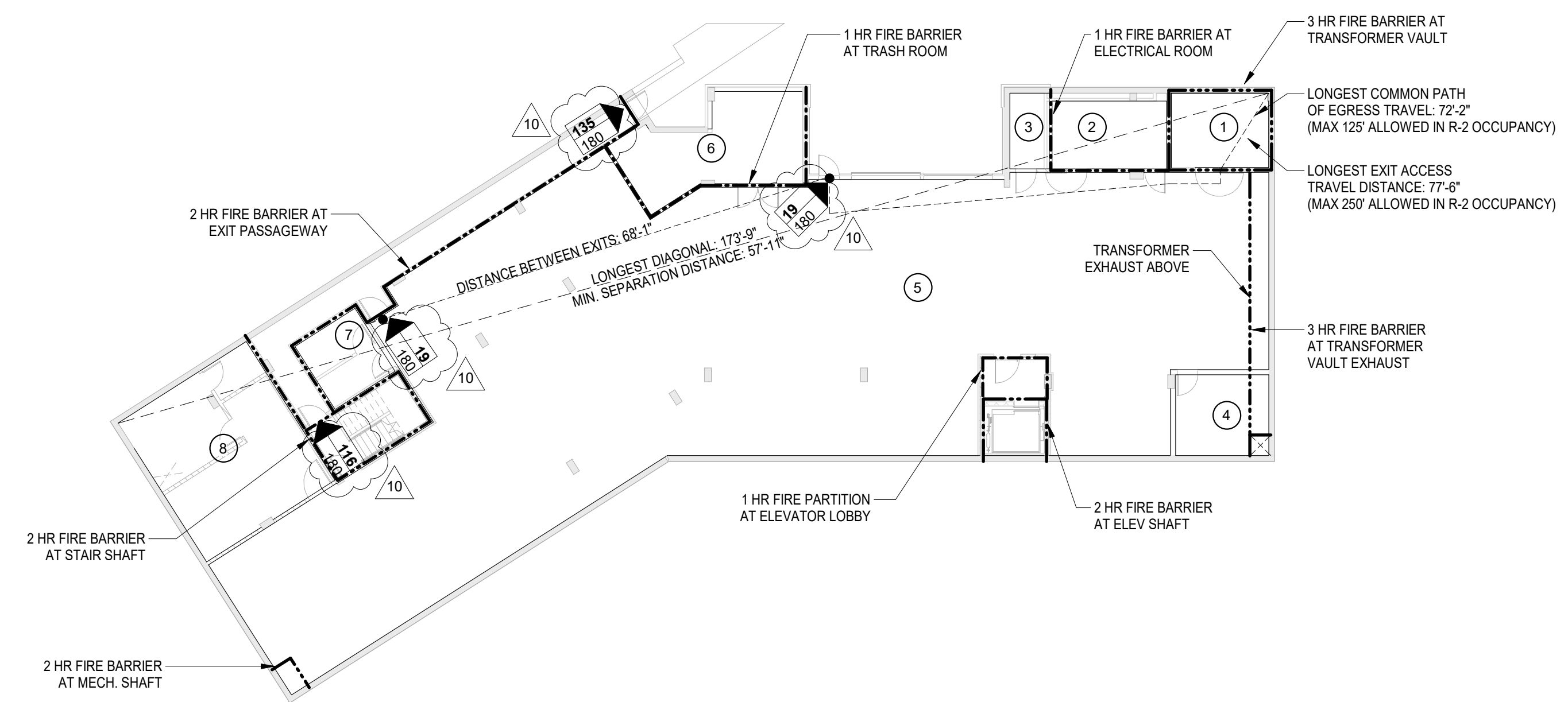
LEVEL 2 EXITING  
 SCALE: 1/16" = 1'-0"

OCCUPANT LOAD (SBC TABLE 1004.1.2)  
 LEVEL 1  
 1) LOBBY  
 FUNCTION OF SPACE: ASSEMBLY (UNCONSECRATED)  
 AREA: 325 SF  
 OLF: 15 NET  
 OL: 22 (EGRESS TO EXTERIOR)  
 2) PARCEL STORAGE  
 FUNCTION OF SPACE: ACCESSORY STORAGE  
 AREA: 196 SF  
 OLF: 300 GROSS  
 OL: 1  
 3) TELECOMMUNICATIONS ROOM  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 66 SF  
 OLF: 300 GROSS  
 OL: 1  
 4) ELEVATOR MACHINE ROOM  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 56 SF  
 OLF: 300 GROSS  
 OL: 1  
 5) RESIDENTIAL  
 FUNCTION OF SPACE: RESIDENTIAL  
 AREA: 6,308 SF  
 OLF: 200 GROSS  
 OL: 32  
 6) UTILITY  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 314 SF  
 OLF: 300 GROSS  
 OL: 2

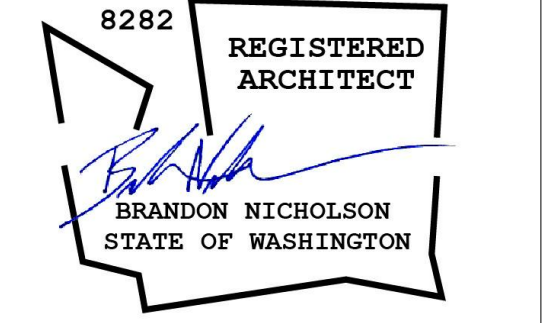


LEVEL 1 EXITING  
 SCALE: 1/16" = 1'-0"

OCCUPANT LOAD (SBC TABLE 1004.1.2)  
 LEVEL P1  
 1) TRANSFORMER VAULT  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 154 SF  
 OLF: 300 GROSS  
 OL: 1  
 2) ELECTRICAL ROOM  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 164 SF  
 OLF: 300 GROSS  
 OL: 1  
 3) SPRINKLER ROOM  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 63 SF  
 OLF: 300 GROSS  
 OL: 1  
 4) BOILER ROOM  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 159 SF  
 OLF: 300 GROSS  
 OL: 1  
 5) PARKING  
 FUNCTION OF SPACE: PARKING GARAGES  
 AREA: 5,785 SF  
 OLF: 200 GROSS  
 OL: 29  
 6) TRASH / RECYCLE  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 307 SF  
 OLF: 300 GROSS  
 OL: 2  
 7) EMERGENCY EQUIPMENT ROOM  
 FUNCTION OF SPACE: ACCESSORY MECH.  
 AREA: 113 SF  
 OLF: 300 GROSS  
 OL: 1  
 8) STORAGE  
 FUNCTION OF SPACE: ACCESSORY STORAGE  
 AREA: 528 SF  
 OLF: 300 GROSS  
 OL: 2



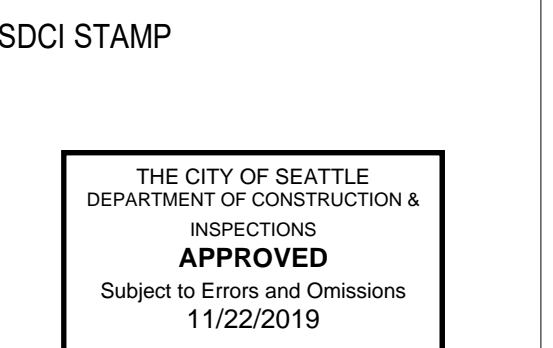
LEVEL P1 EXITING  
 SCALE: 1/16" = 1'-0"



ISSUANCE

BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

BELL VIEW APARTMENTS  
 736 BELLEVUE PLACE EAST  
 BELL VIEW LLC

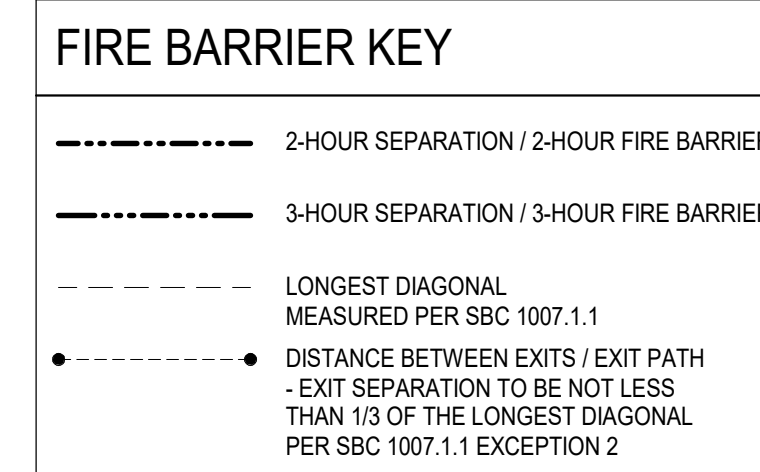
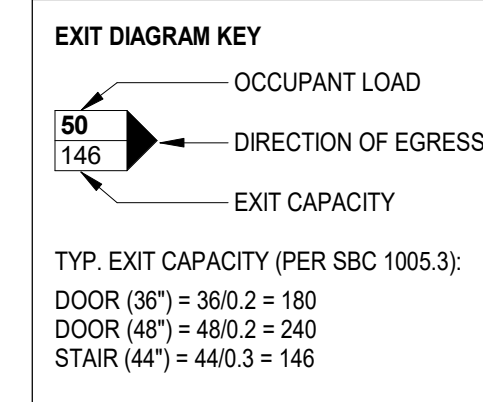


EXITING DIAGRAMS

PROJECT #: 16070  
 DRAWN BY: SD  
 CHECKED BY: MC  
 FILE NAME: WALLS BELLEVUE PLACE

A0.21  
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C:\Users\andread\Documents\16070 Walls Bellevue Place\_andread@nkarch.com.rvt 10/28/2018 11:23:00 AM

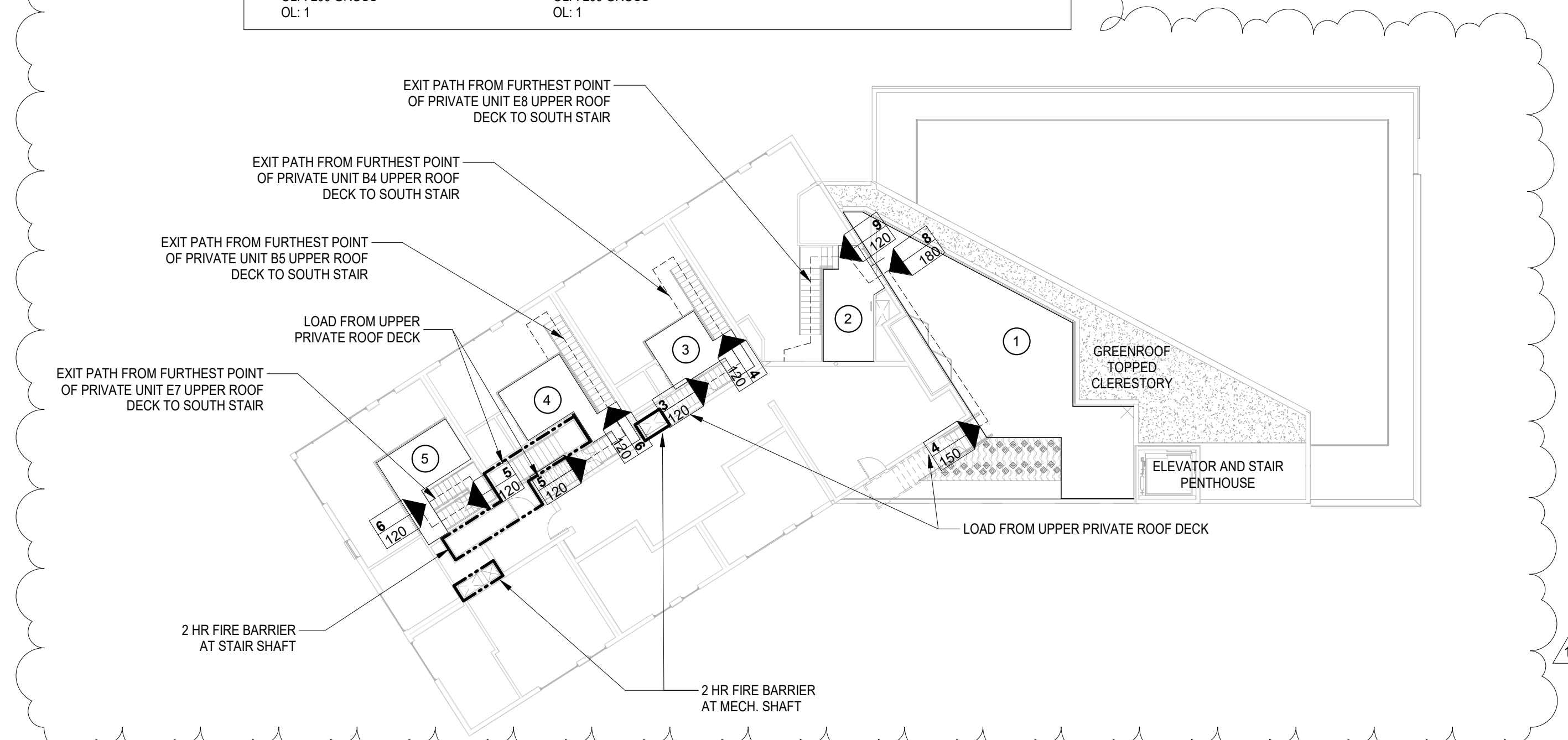


**NOTES**

- SEE DIAGRAMS FOR ASSEMBLY TYPE, SUCH AS EXTERIOR WALL, FIREWALL, ETC.
- ALL WALLS TO BE 1-HOUR RATED UNLESS NOTED OTHERWISE

**OCCUPANT LOAD (SBC TABLE 1004.1.2) MEZZANINE**

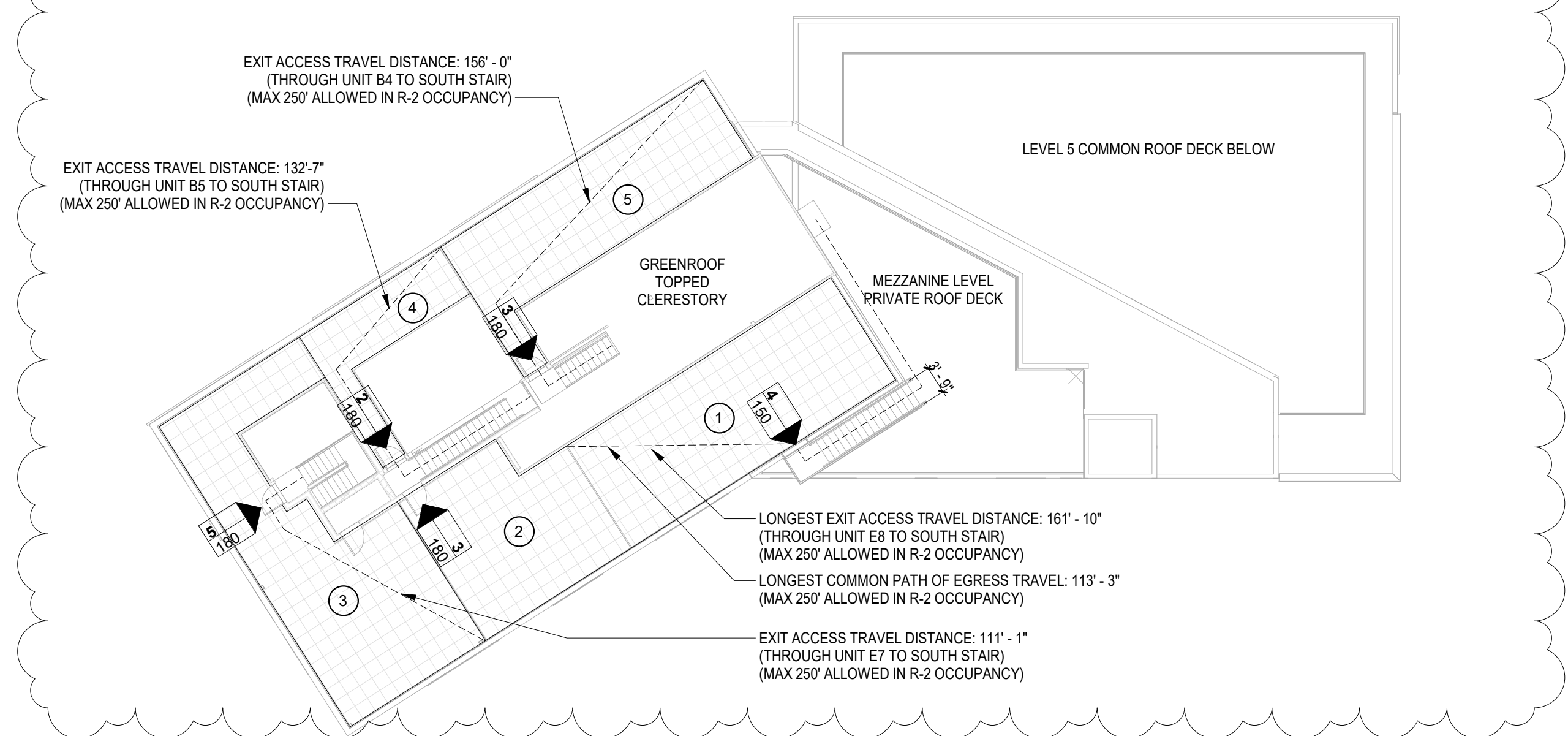
1) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 889 SF OLF: 200 GROSS OL: 4	3) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 95 SF OLF: 200 GROSS OL: 1	5) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 115 SF OLF: 200 GROSS OL: 1
2) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 123 SF OLF: 200 GROSS OL: 1	4) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 130 SF OLF: 200 GROSS OL: 1	



**MEZZANINE EXITING**  
SCALE: 1/16" = 1'-0"

**OCCUPANT LOAD (SBC TABLE 1004.1.2) UPPER ROOF DECK**

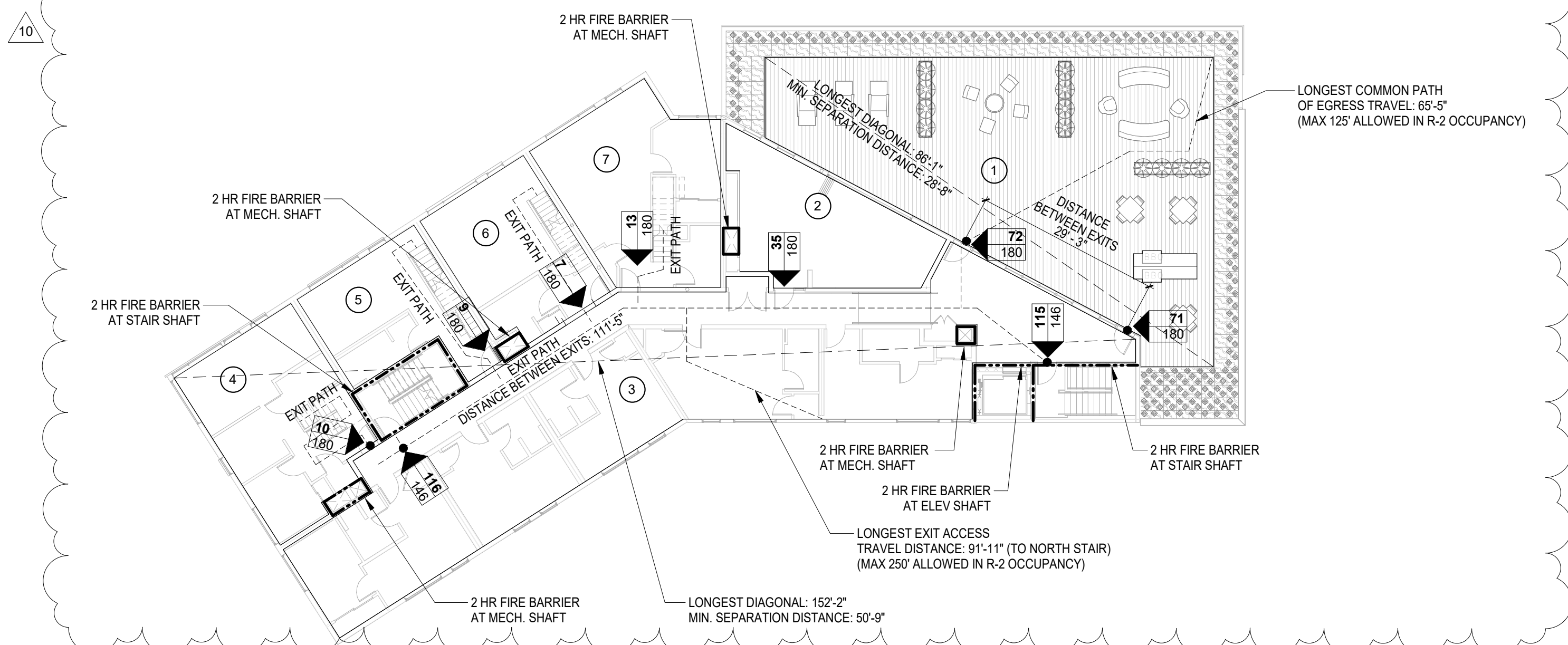
1) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 689 SF OLF: 200 GROSS OL: 4	3) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 822 SF OLF: 200 GROSS OL: 5	5) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 688 SF OLF: 200 GROSS OL: 3
2) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 475 SF OLF: 200 GROSS OL: 3	4) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 218 SF OLF: 200 GROSS OL: 2	



**UPPER ROOF EXITING**  
SCALE: 1/16" = 1'-0"

**OCCUPANT LOAD (SBC TABLE 1004.1.2) LEVEL 5**

1) ROOF DECK FUNCTION OF SPACE: ASSEMBLY (UNCONCENTRATED) AREA: 2,131 SF OLF: 15 NET OL: 143	3) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 2,700 SF OLF: 200 GROSS OL: 14	5) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 422 SF OLF: 200 GROSS OL: 9 (3 + 1 MEZZANINE + 5 UPPER ROOF DECK)	7) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 683 SF OLF: 200 GROSS OL: 13 (4 + 1 MEZZANINE + 4 LOWER ROOF DECK + 4 UPPER ROOF DECK)
2) CLUB ROOM FUNCTION OF SPACE: ASSEMBLY (UNCONCENTRATED) AREA: 518 SF OLF: 15 NET OL: 35	4) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 638 SF OLF: 200 GROSS OL: 10 (4 + 1 MEZZANINE + 5 UPPER ROOF DECK)	6) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 482 SF OLF: 200 GROSS OL: 7 (3 + 3 MEZZANINE + 1 UPPER ROOF DECK)	



**LEVEL 5 EXITING**  
SCALE: 1/16" = 1'-0"

**ISSUANCE**

BP SUBMITTAL	5/12/2017
4 BP CORRECTION #1	09/11/2017
85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

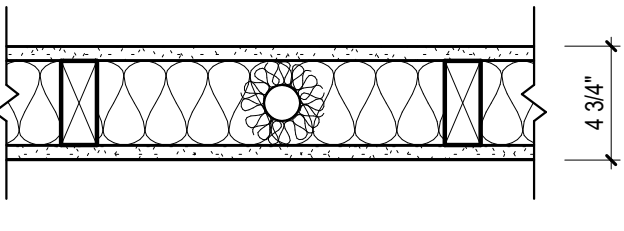
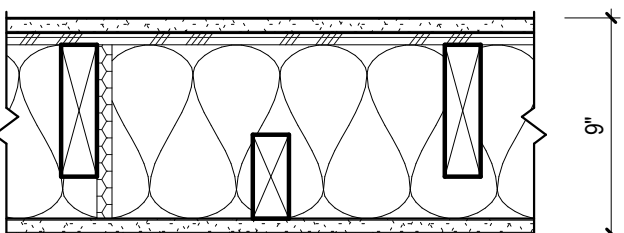
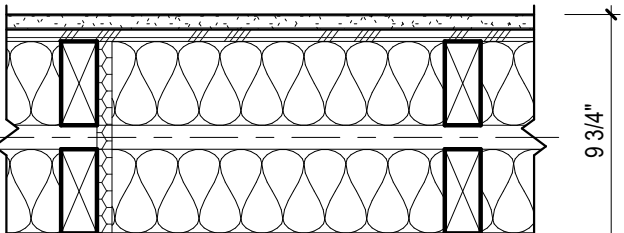
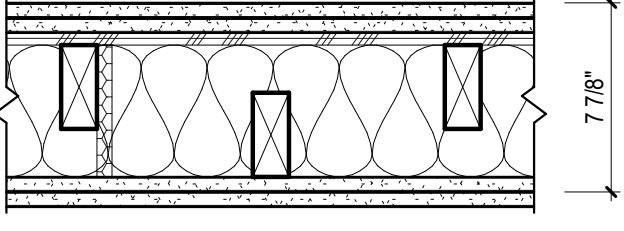
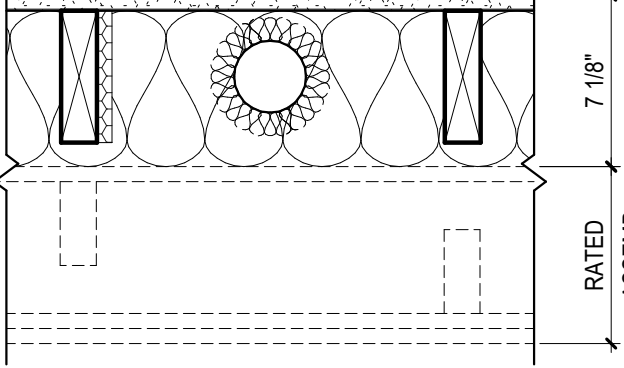
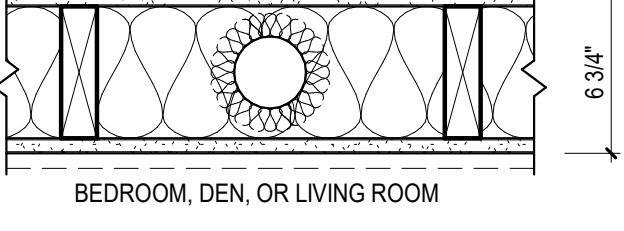
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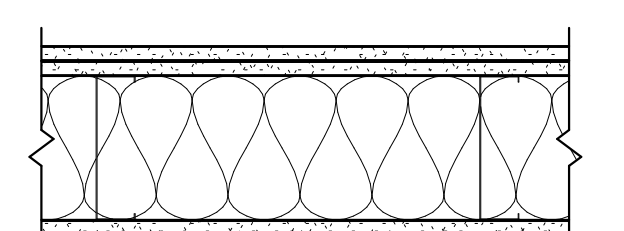
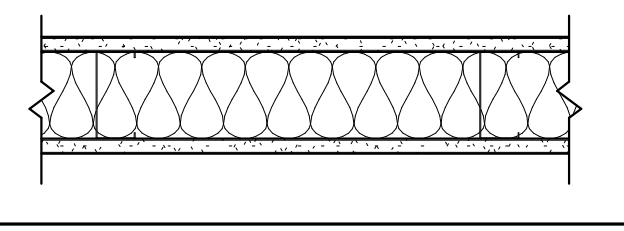
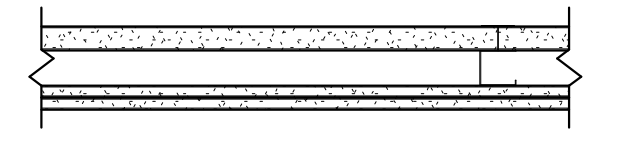

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

**EXITING DIAGRAMS**

PROJECT #: 16070  
DRAWN BY: BP  
CHECKED BY: MC  
FILE NAME: WALLS BELLEVUE PLACE

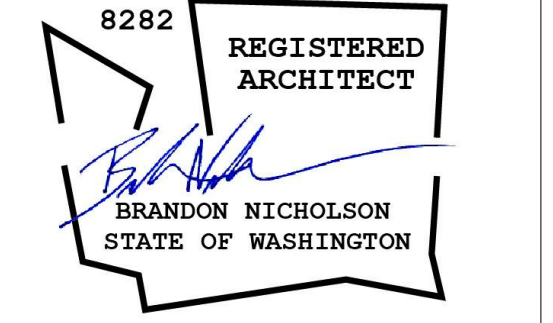
**A0.22**

WALL TYPE ASSEMBLIES: INTERIOR TYPE VA			RATING		
WALL TYPE	WALL DETAIL	ASSEMBLY DESCRIPTION	FIRE	SOUND	THERMAL
A1 [A1a] TYPICAL INTERIOR PARTITION		5/8" TYPE 'X' GWB 2x4 WOOD STUDS (PER STRUCTURAL) (OR 2x6 TALL WALL WOOD STUDS WERE INDICATED PER PLAN) BY [A1a] 3 1/2" BATT INSULATION FOR SOUND ATTENUATION 5/8" TYPE 'X' GWB  NOTE: 1. PROVIDE SOLID NON-PAPER FACED BACKERBOARD BEHIND TUB ENCLOSURES OR PAPER-FACED GWB THAT MEETS ASTM D 3273 WITH A SCORE OF 10	1 HOUR GA WP 3510	35-39 STC	
A2 FIRE PARTITION (CORRIDOR WALL)		5/8" TYPE 'X' GWB SHEATING AT SHEARWALL (PER STRUCTURAL) 2x6 WOOD STUDS (CORRIDOR SIDE) AND 2x4 WOOD STUDS (UNIT SIDE) 16" O.C. STAGGERED 8" O.C. ON COMMON 2x8 PLATE (PER STRUCT) ROCK WOOL FIRE BLOCK AT 10'-0" MAX. INTERVAL 5 1/2" BATT INSULATION FOR SOUND ATTENUATION 5/8" TYPE 'X' GWB  NOTE: 1. WRAP PLUMBING PIPE WITH SOUND ATTENUATION BATT, UNLESS PIPES ARE CAST IRON. 2. IF NOT SHEAR WALL, PROVIDE 5/8" GWB IN LIEU OF PLYWOOD 3. ON CONCRETE SLAB, FIRST LAYER GWB ON EACH SIDE OF STUD TO BE CAULKED, TOP AND BOTTOM USING RESILIENT CAULK 4. RECESSED EQUIPMENT (E.G. FIRE EXTINGUISHERS) SHALL BE LINED WITH 1 LAYER 5/8" TYPE 'X' GWB 5. SEE DOOR DETAILS FOR GASKET REQUIREMENTS 6. PROVIDE SOLID NON-PAPER FACED BACKERBOARD BEHIND TUB ENCLOSURES OR PAPER-FACED GWB THAT MEETS ASTM D 3273 WITH A SCORE OF 10 BEHIND FIBERGLASS TUB SURROUNDS	1 HOUR GA WP 3380	52 STC NRCC TL-93-226	
A3 [A3a] FIRE PARTITION (PARTY WALL)		5/8" TYPE 'X' GWB SHEATING AT SHEARWALL (PER STRUCTURAL) 2x4 WOOD STUDS 16" O.C. ON SEPARATE PLATES (PER STRUCT) (OR 2x6 TALL WALL WOOD STUDS WERE INDICATED PER PLAN) BY [A3a] 1" AIR SPACE BETWEEN STUDS ROCK WOOL FIRE BLOCK AT 10'-0" MAX. INTERVAL R-11 SOUND ATTENUATION BATT INSULATION, BOTH SIDES 5/8" TYPE 'X' GWB  NOTE: 1. WRAP PLUMBING PIPE WITH SOUND ATTENUATION BATT, UNLESS PIPES ARE CAST IRON. 2. IF NOT SHEAR WALL, PROVIDE 5/8" GWB IN LIEU OF PLYWOOD 3. ON CONCRETE SLAB, FIRST LAYER GWB ON EACH SIDE OF STUD TO BE CAULKED, TOP AND BOTTOM USING RESILIENT CAULK 4. ELECTRICAL & COMMUNICATION BOXES SHALL BE SEPARATED BY A MIN OF 24" ON OPPOSITE SIDES OF WALL. ALL UNUSED KNOCKOUTS SHALL BE FITTED WITH PUTTY PACKS ON THE BACKSIDE. 5. PENETRATIONS FOR SMALL PIPING AND CONDUIT WITHIN WALL SHALL BE SEALED WITH RESILIENT CAULK. 6. PROVIDE SOLID NON-PAPER FACED BACKERBOARD BEHIND TUB ENCLOSURES OR PAPER-FACED GWB THAT MEETS ASTM D 3273 WITH A SCORE OF 10 BEHIND FIBERGLASS TUB SURROUNDS	1 HOUR GA WP 3370	63 STC	
A4 FIRE PARTITION (SHAFT WALL AT STAIR / ELEVATOR)		2 LAYERS 5/8" TYPE 'X' GWB SHEATING (PER STRUCTURAL) 2x4 WOOD STUDS 16" O.C. STAGGERED 8" O.C. ON COMMON 2x8 PLATE (PER STRUCT) ROCK WOOL FIRE BLOCK AT 10'-0" MAX. INTERVAL 5 1/2" BATT INSULATION FOR SOUND ATTENUATION 5/8" TYPE 'X' GWB  NOTE: 1. AT STAIR LOCATIONS, DO NOT ATTACH STAIR STRINGER TO WALL STUDS 2. AT MECHANICAL SHAFTS, ADD SHEET METAL SHAFT LINER PER MECHANICAL 3. AT GARAGE MECHANICAL SHAFT, PROVIDE AIR BARRIER	2 HOUR GA WP 3910	50-54 STC	R-21 (AT THERMAL BOUNDARY)
A5 FURRED PLUMBING WALL		5/8" TYPE 'X' GWB 2x6 WOOD STUDS ROCK WOOL FIRE BLOCK AT 10'-0" MAX. INTERVAL 6 1/2" BATT INSULATION FOR SOUND ATTENUATION (MIN R-21 AT THERMAL BOUNDARY) 1" AIR SPACE RATED WALL PER PLANS  NOTE: 1. WRAP PLUMBING PIPE WITH SOUND ATTENUATION BATT 2. PROVIDE SOLID NON-PAPER FACED BACKERBOARD BEHIND TUB ENCLOSURES OR PAPER-FACED GWB THAT MEETS ASTM D 3273 WITH A SCORE OF 10	NOT RATED	NOT RATED	R-21 (AT THERMAL BOUNDARY)
A6 INTERIOR PARTITION WITH PLUMBING BEDROOM, DEN, OR LIVING ROOM		5/8" TYPE 'X' GWB 2x6 WOOD STUDS (PER STRUCTURAL) 5/8" TYPE 'X' GWB  NOTE: 1. PROVIDE SOLID NON-PAPER FACED BACKERBOARD BEHIND TUB ENCLOSURES OR PAPER-FACED GWB THAT MEETS ASTM D 3273 WITH A SCORE OF 10. 2. ADD 2ND LAYER OF 5/8" GWB NEXT TO BEDROOM (ON BEDROOM SIDE) OR LIVING ROOM (ON LIVING ROOM SIDE)	1 HOUR GA WP 3661	35-39 STC	

WALL TYPE ASSEMBLIES: INTERIOR TYPE IA			RATING		
WALL TYPE	WALL DETAIL	ASSEMBLY DESCRIPTION	FIRE	SOUND	THERMAL
B1 FIRE PARTITION (SHAFT WALL)		2 LAYERS 5/8" TYPE 'X' GWB 6" METAL STUDS (PER STRUCTURAL) 6" BATT INSULATION 2 LAYERS 5/8" TYPE 'X' GWB	2 HOUR GA WP 1522	55-59 STC	
B2 INTERIOR PARTITION		2 LAYERS 5/8" TYPE 'X' GWB 3 1/2" METAL STUDS (PER STRUCTURAL) 3 1/2" BATT INSULATION 2 LAYERS 5/8" TYPE 'X' GWB	1 HOUR GA WP 1072	45-49 STC	
B3 SHAFT WALL (2 HOUR)		1" x 24" TYPE 'X' GYPSUM CORE BOARD 2 1/2" STEEL C-H STUDS 24" O.C. 2 LAYERS 1/2" TYPE 'X' GWB	2 HOUR GA WP 7051	50-54 STC	
B4 SHAFT WALL (3 HOUR)		1" x 24" TYPE 'X' GYPSUM CORE BOARD 2 1/2" STEEL C-H STUDS 24" O.C. 3 LAYERS 5/8" TYPE 'X' GWB  NOTE: PROVIDE SHEET METAL SHAFT LINER PER MECHANICAL.	3 HOUR GA WP 7492		

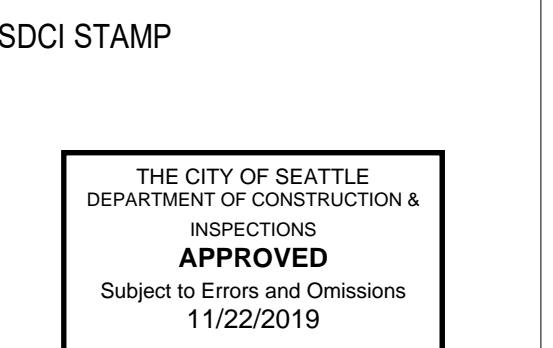


NICHOLSON KOVALCHICK ARCHITECTS  
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ISSUANCE	
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
**BELL VIEW LLC**



WALL ASSEMBLIES - INTERIOR

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

A0.30

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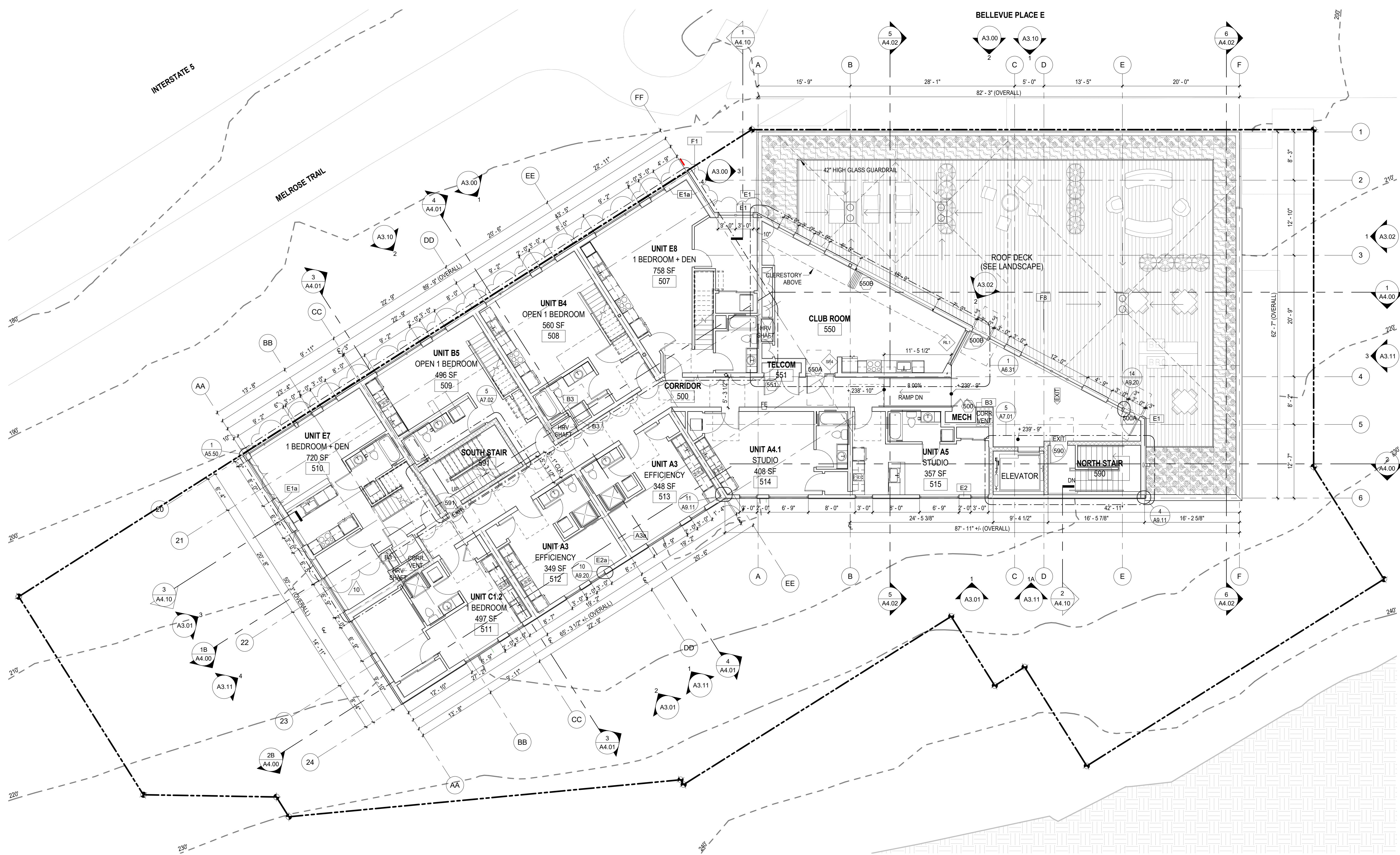


**GENERAL PLAN NOTES**

- DIMENSIONS ARE SHOWN TO FACE OF CONCRETE AT CONCRETE WALLS
- DIMENSIONS ARE SHOWN TO FACE OF SHEATHING AT WOOD FRAMED EXTERIOR WALLS
- DIMENSIONS ARE SHOWN TO FACE OF STUD FOR INTERIOR WALLS WITH THE EXCEPTION OF PARTY WALLS. PARTY WALLS ARE DIMENSIONED TO CENTER OF AIR GAP.
- SEE HVAC SHEETS FOR UNIT VENTILATION
- SEE A5.XX SERIES FOR ENLARGED UNIT PLANS, INTERIOR PARTITION WALL TYPES AND LOCATIONS

**WALL TYPES (LEVELS 1-MEZZANINE)**  
UNLESS NOTED OTHERWISE:

- A2 CORRIDOR WALLS
- A3 PARTY WALLS



**ISSUANCE**

MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
4 BP CORRECTION #1	09/11/2017
85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

SDCI STAMP

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

FLOOR PLAN - LEVEL 5

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A2.15

**1 LEVEL 5**  
SCALE: 1/8" = 1'-0"

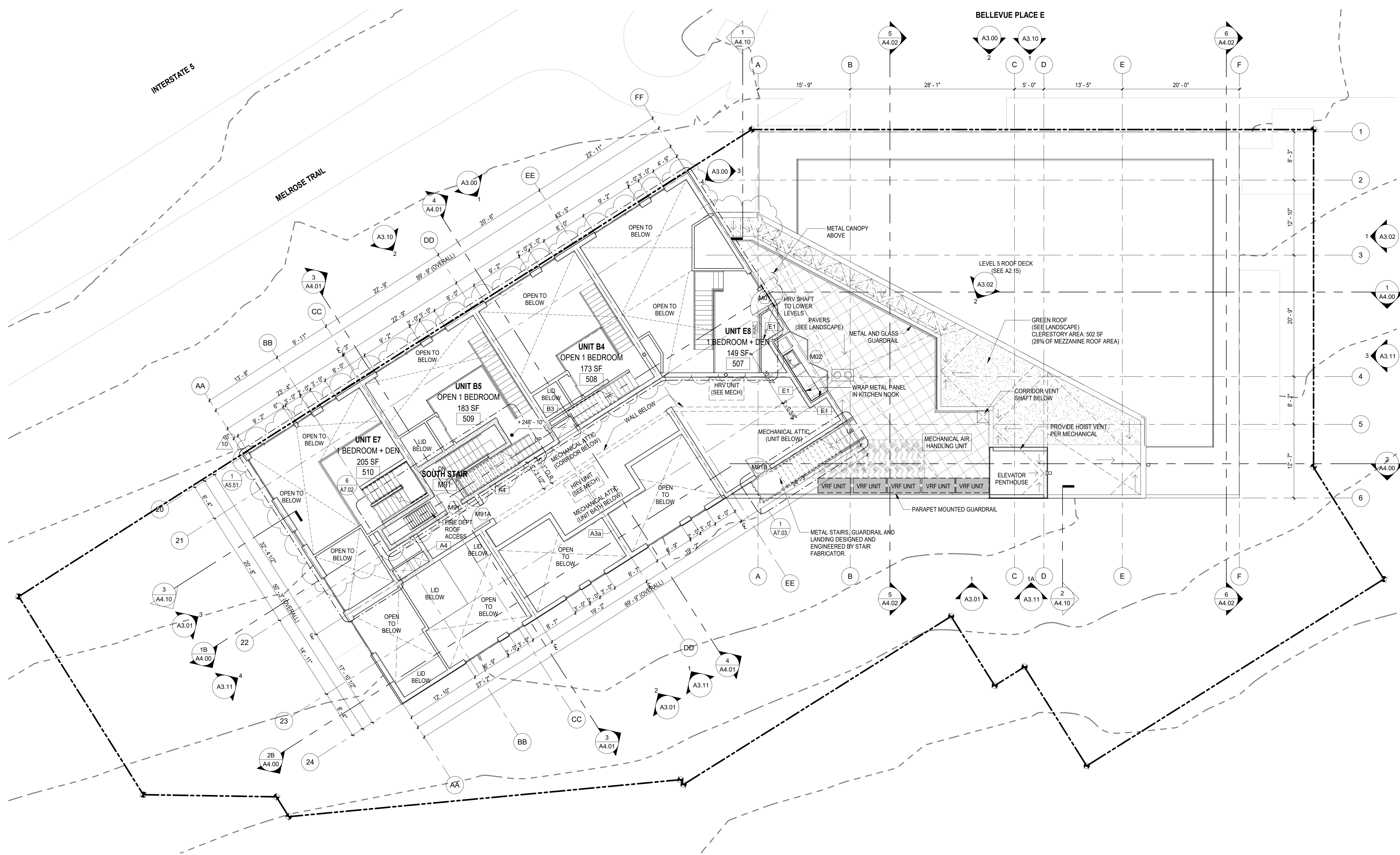
C:\Users\andead\Documents\16070 Walls Bellevue Place\_andead@nkarch.com.rvt 10/28/2018 11:23:50 AM

**GENERAL PLAN NOTES**

- DIMENSIONS ARE SHOWN TO FACE OF CONCRETE AT CONCRETE WALLS
- DIMENSIONS ARE SHOWN TO FACE OF SHEATHING AT WOOD FRAMED EXTERIOR WALLS
- DIMENSIONS ARE SHOWN TO FACE OF STUD FOR INTERIOR WALLS WITH THE EXCEPTION OF PARTY WALLS. PARTY WALLS ARE DIMENSIONED TO CENTER OF AIR GAP.
- SEE HVAC SHEETS FOR UNIT VENTILATION
- SEE A5.XX SERIES FOR ENLARGED UNIT PLANS, INTERIOR PARTITION WALL TYPES AND LOCATIONS

**WALL TYPES (LEVELS 1-MEZZANINE)**  
UNLESS NOTED OTHERWISE:

- A2 CORRIDOR WALLS
- A3 PARTY WALLS



**ISSUANCE**

NO.	DESCRIPTION	DATE
1	MUP CORRECTIONS #1	1/13/2017
2	DD SUBMITTAL	3/14/2017
3	BP SUBMITTAL	5/12/2017
4	BP CORRECTION #1	09/11/2017
5	85% SET	9/25/2017
6	BP CORRECTION #2	12/06/17
7	POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP

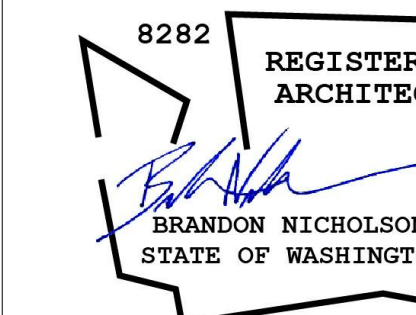
THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

FLOOR PLAN - MEZZANINE

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

**A2.16**

**1** MEZZANINE  
SCALE: 1/8" = 1'-0"



ISSUANCE	
MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
4 BP CORRECTION #1	09/11/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

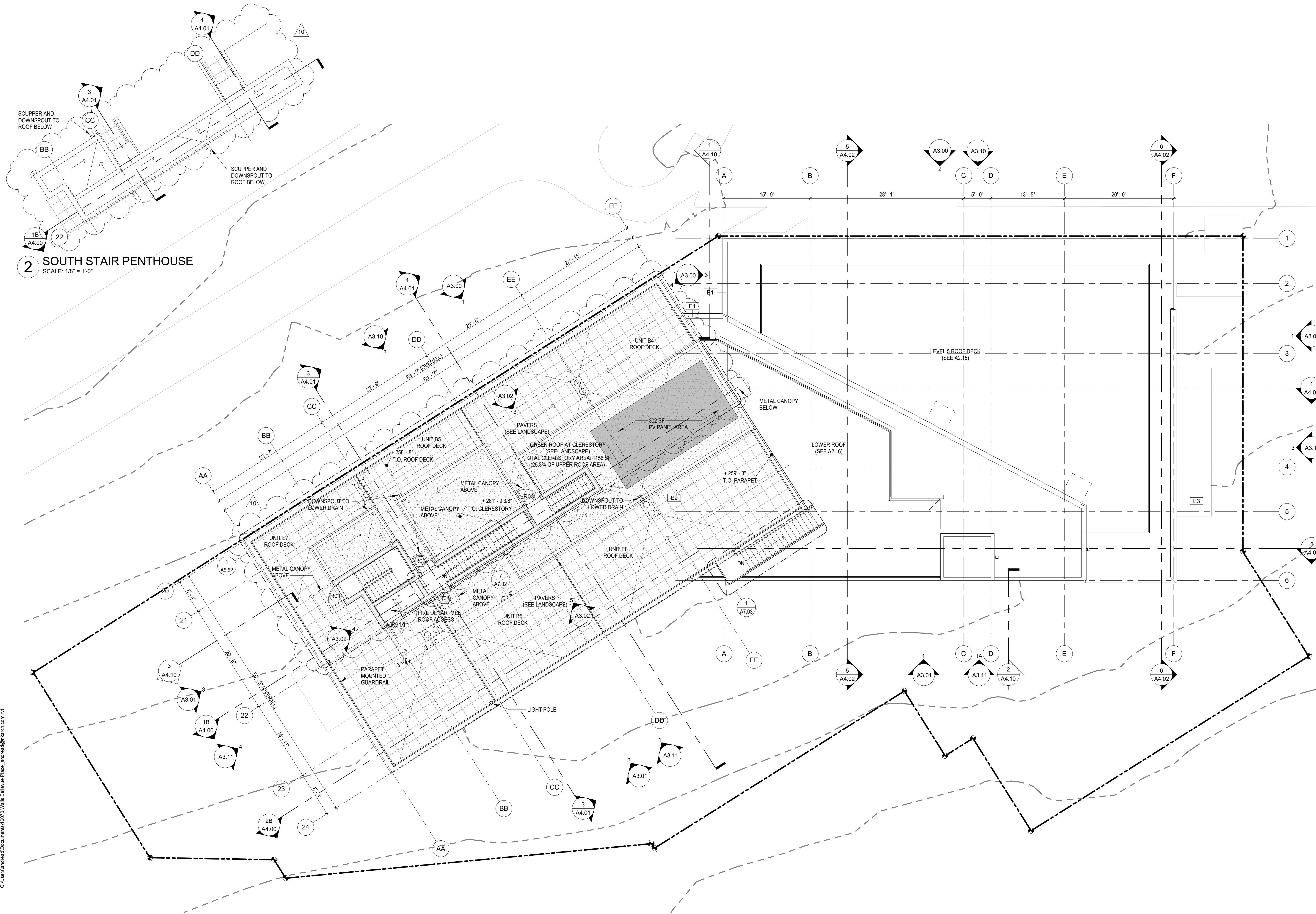
SDCI STAMP



UPPER ROOF

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

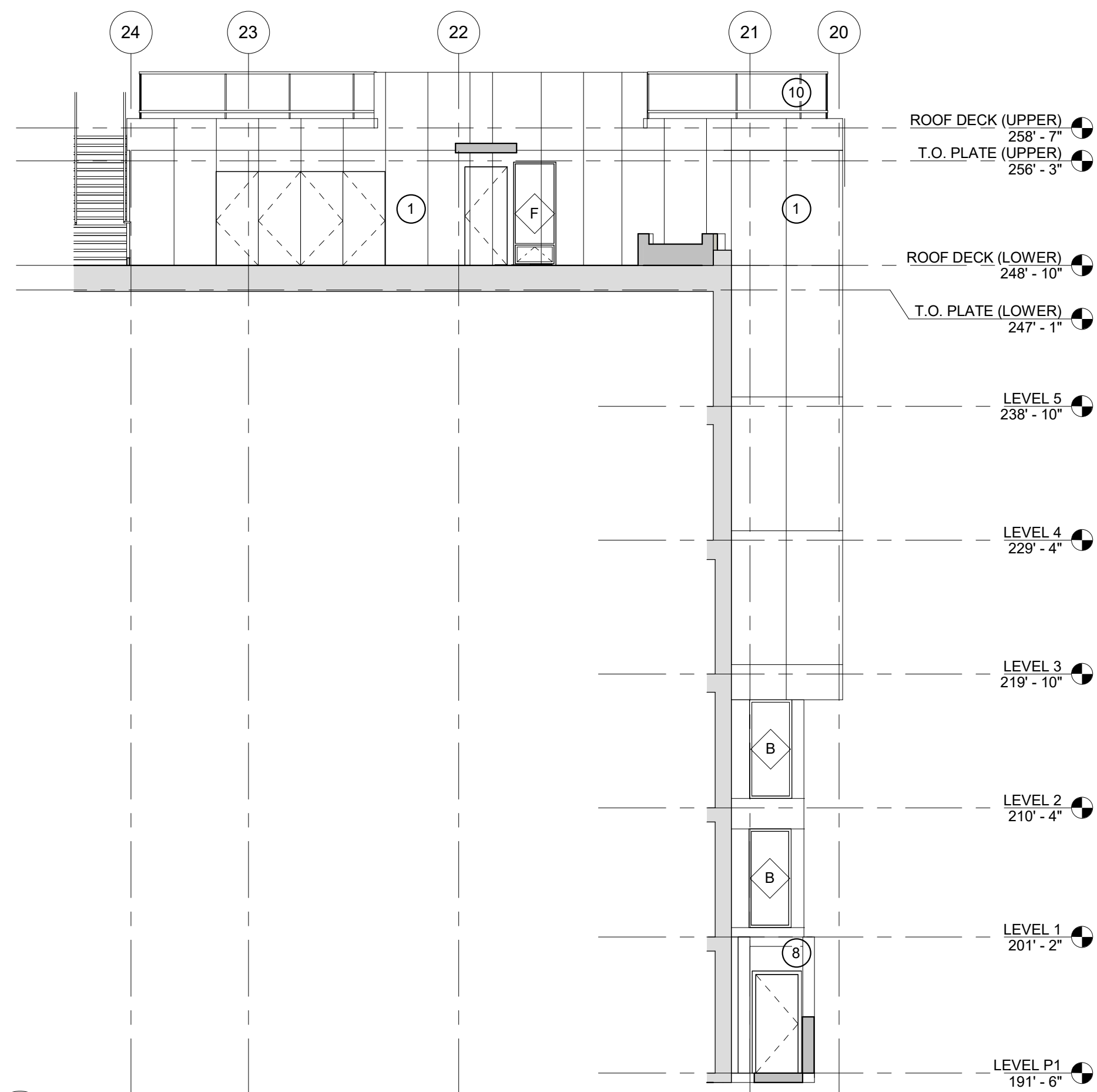
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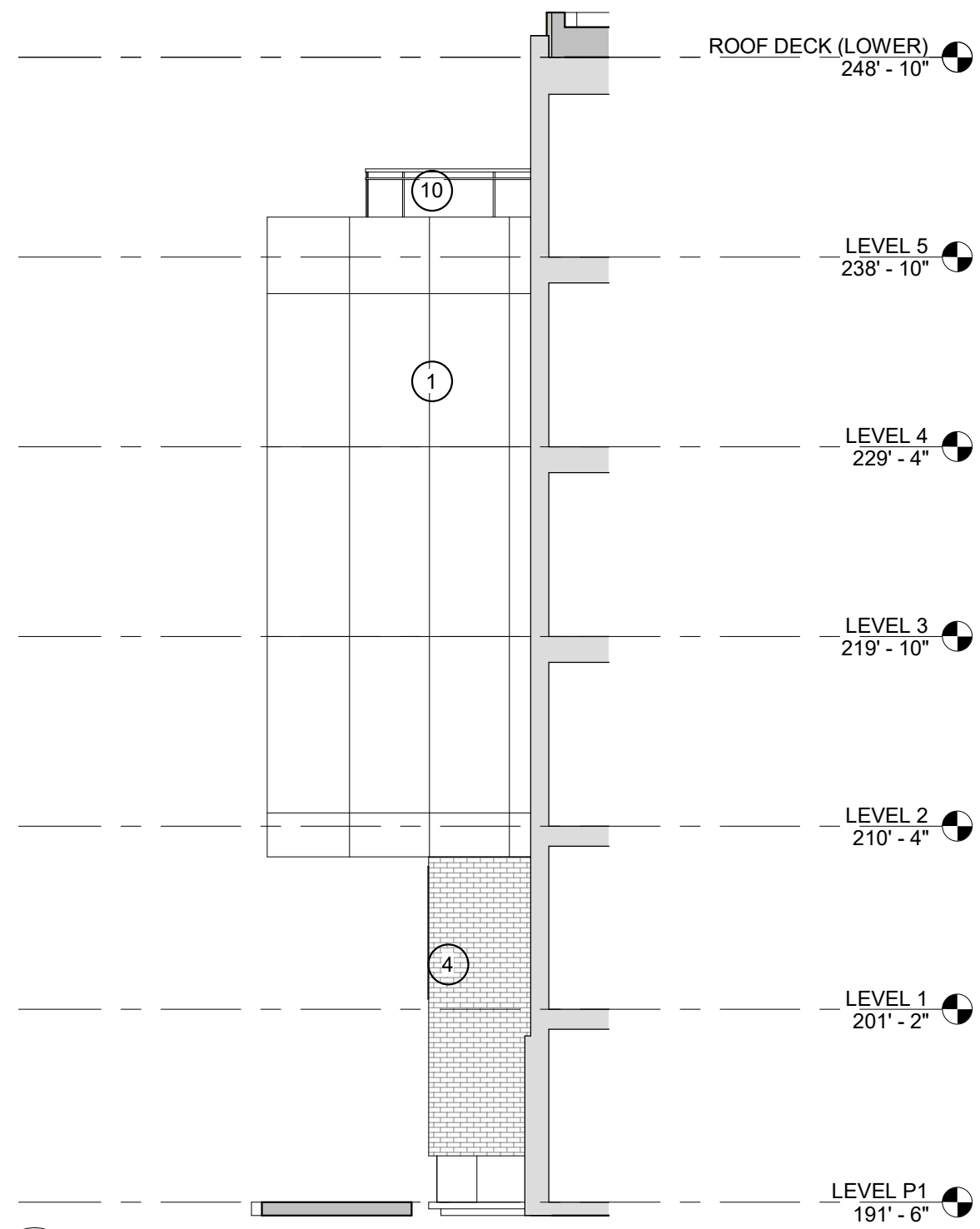
**2 SOUTH STAIR PENTHOUSE**  
SCALE: 1/8" = 1'-0"

**1 UPPER ROOF**  
SCALE: 1/8" = 1'-0"

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**4 INSET SOUTH**  
SCALE: 1/8" = 1'-0"



**3 INSET NORTH**  
SCALE: 1/8" = 1'-0"

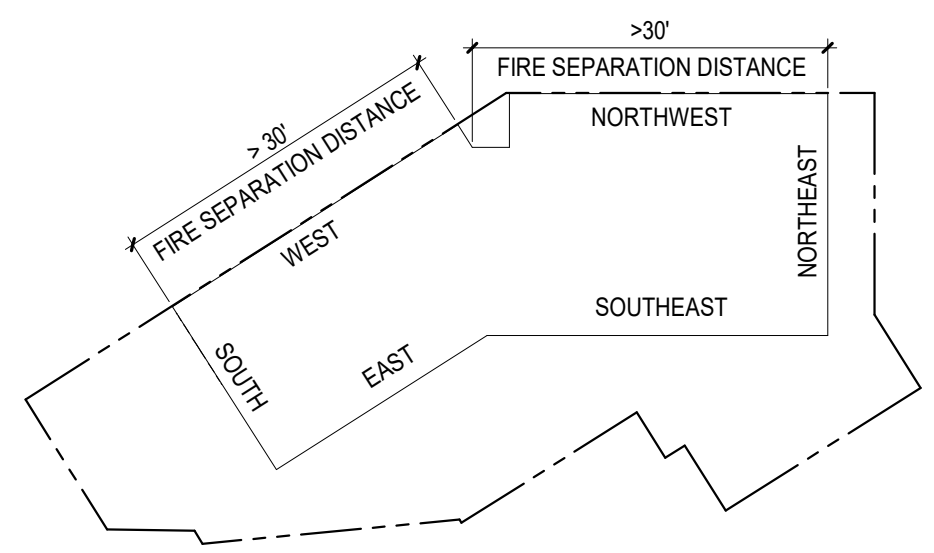
- EXTERIOR MATERIALS KEY**
- 1 DARK GRAY METAL PANEL
  - 2 KAMELEON RED SUNRISE METAL PANEL
  - 3 LIGHT GRAY METAL PANEL
  - 4 BRICK (DARK GRAY)
  - 5 STOREFRONT GLAZING SYSTEM
  - 6 FIBERGLASS WINDOW (LIGHT GRAY)
  - 7 METAL SECTIONAL GARAGE DOOR
  - 8 CONCRETE
  - 9 METAL SIGNAGE (NON-ILLUMINATED)
  - 10 METAL / GLASS GUARDRAIL (MIN 80% TRANSPARENT)
  - 11 FIBER CEMENT- DARK GREY
  - 12 FIBER CEMENT- SIENNA
  - 13 FIBER CEMENT- LIGHT GRAY

WALL OPENING CALCULATIONS (SBC 705.8)  
NORTHWEST ELEVATION

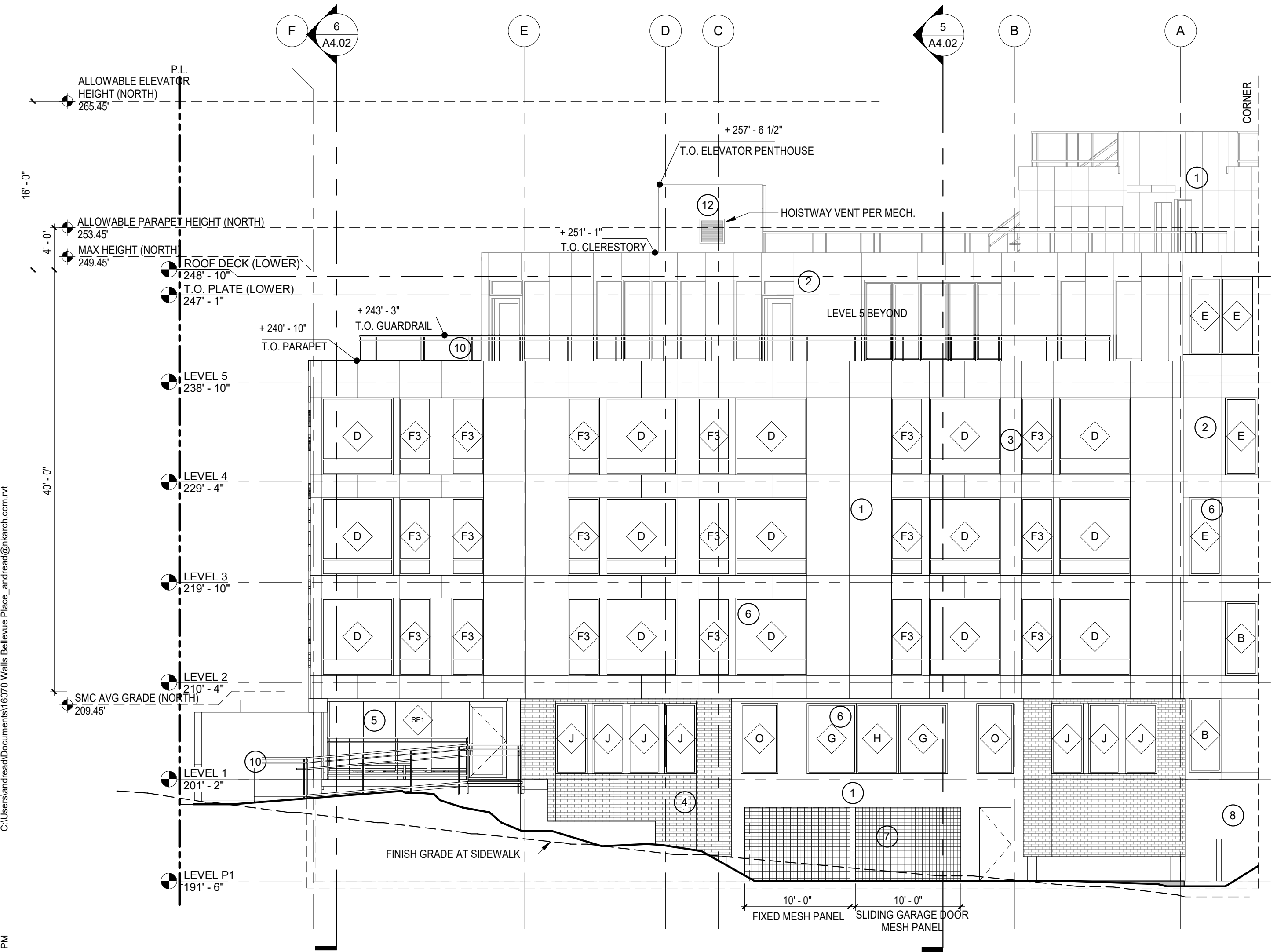
>30'	UNLIMITED PER LEVEL (UNPROTECTED, SPRINKLERED)
------	--

WALL OPENING CALCULATIONS (SBC 705.8)  
WEST ELEVATION

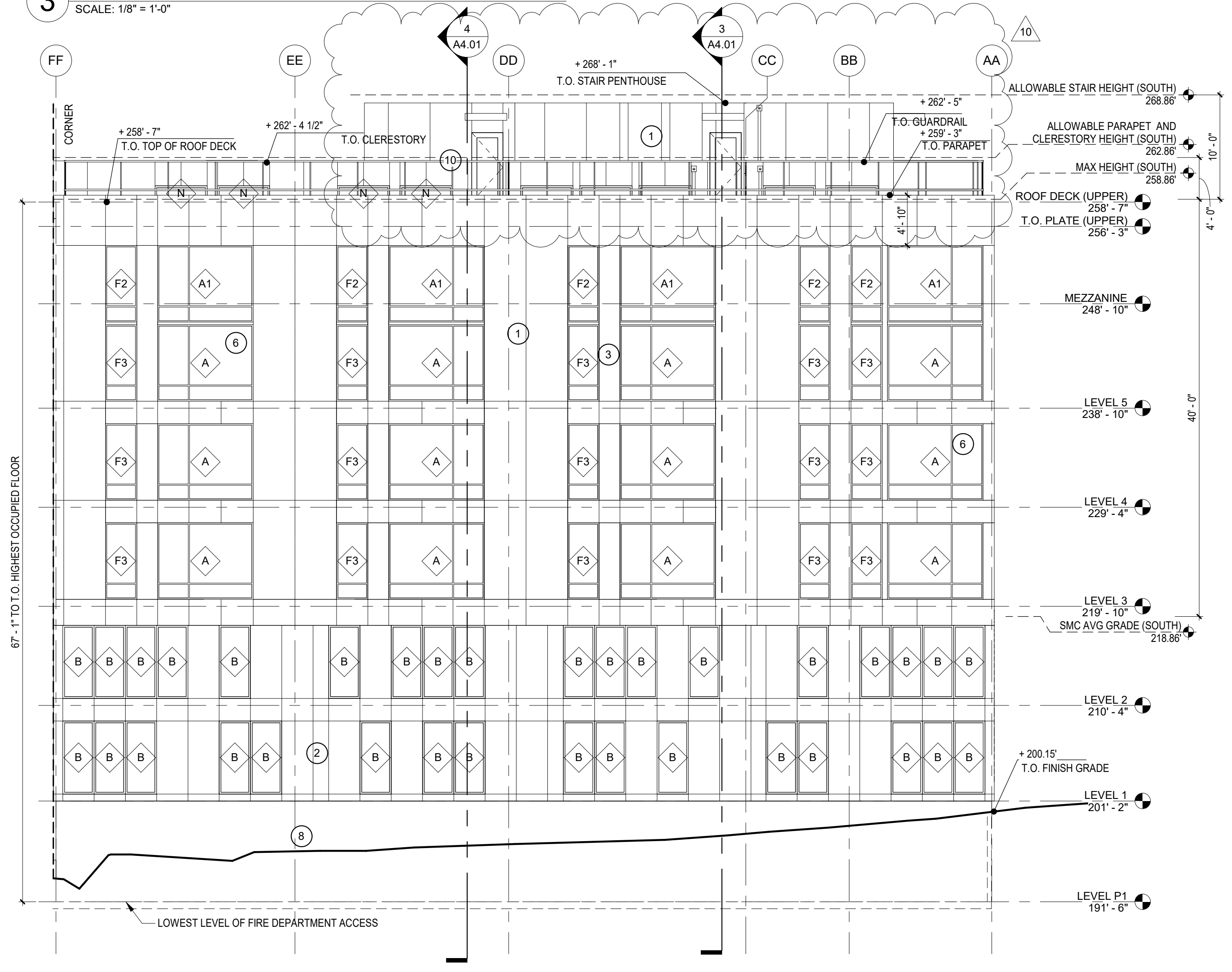
>30'	UNLIMITED PER LEVEL (UNPROTECTED, SPRINKLERED)
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**ELEVATION KEY**



**2 ELEVATION: NORTHWEST AT BELLEVUE AVE**  
SCALE: 1/8" = 1'-0"



**1 ELEVATION: WEST**  
SCALE: 1/8" = 1'-0"



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**ISSUANCE**

MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
2 MUP CORRECTIONS #2	3/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

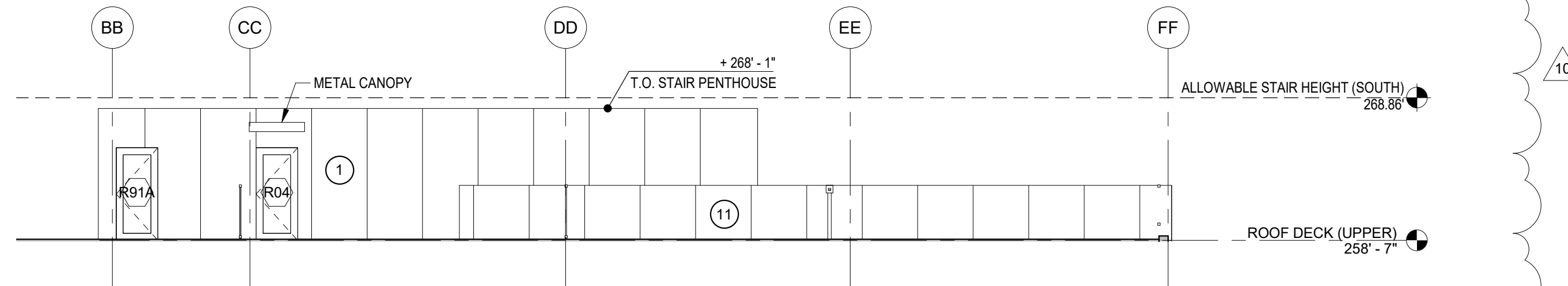
**SDCI STAMP**



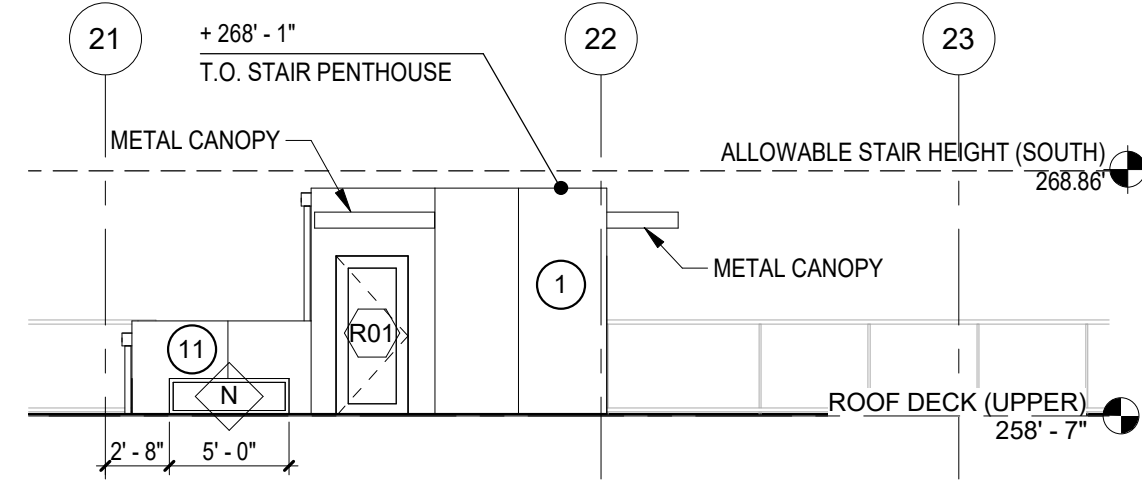
**ELEVATIONS**

PROJECT #: 16070  
DRAWN BY: SD, MC, BP, CD  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

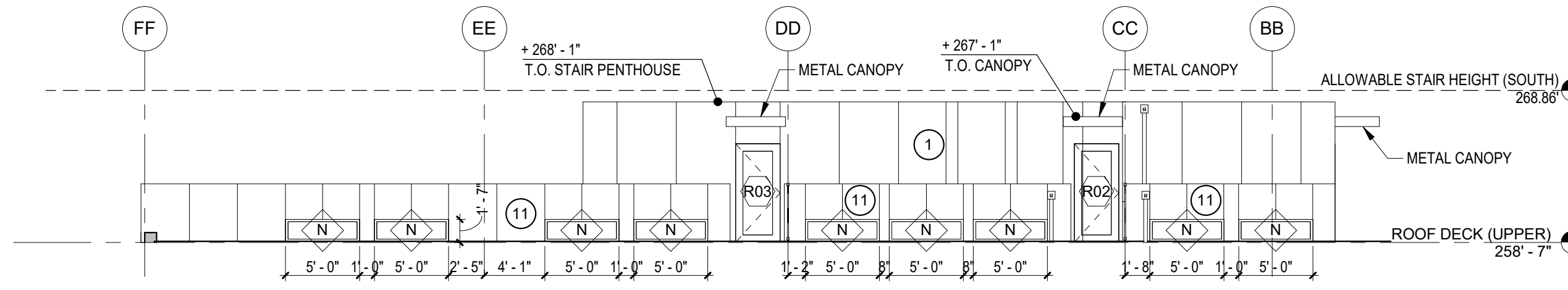
**A3.00**



**5 UPPER ROOF CLERESTORY EAST**  
SCALE: 1/8" = 1'-0"



**4 UPPER ROOF STAIR PENTHOUSE SOUTH**  
SCALE: 1/8" = 1'-0"



**3 UPPER ROOF CLERESTORY WEST**  
SCALE: 1/8" = 1'-0"



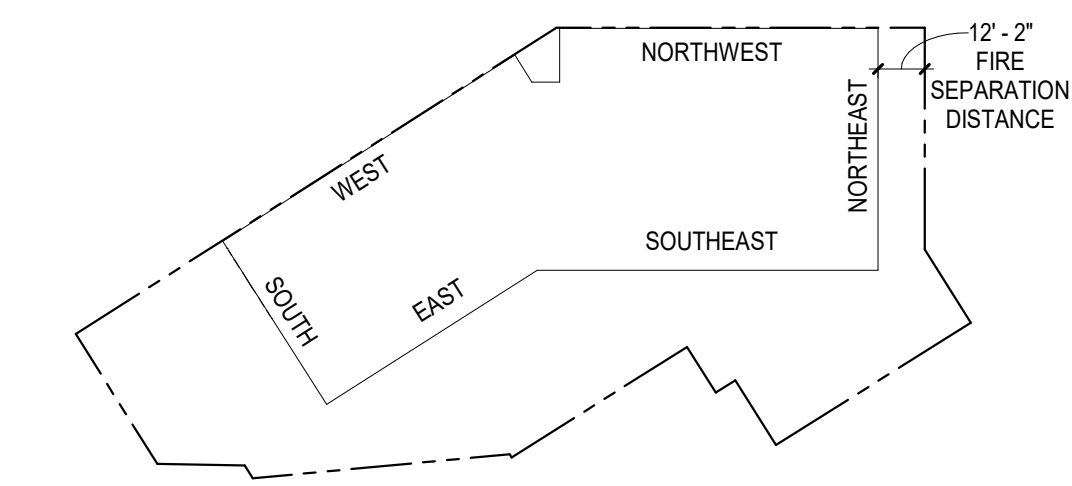
**2 ROOF DECK AT LEVEL 5**  
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS KEY**

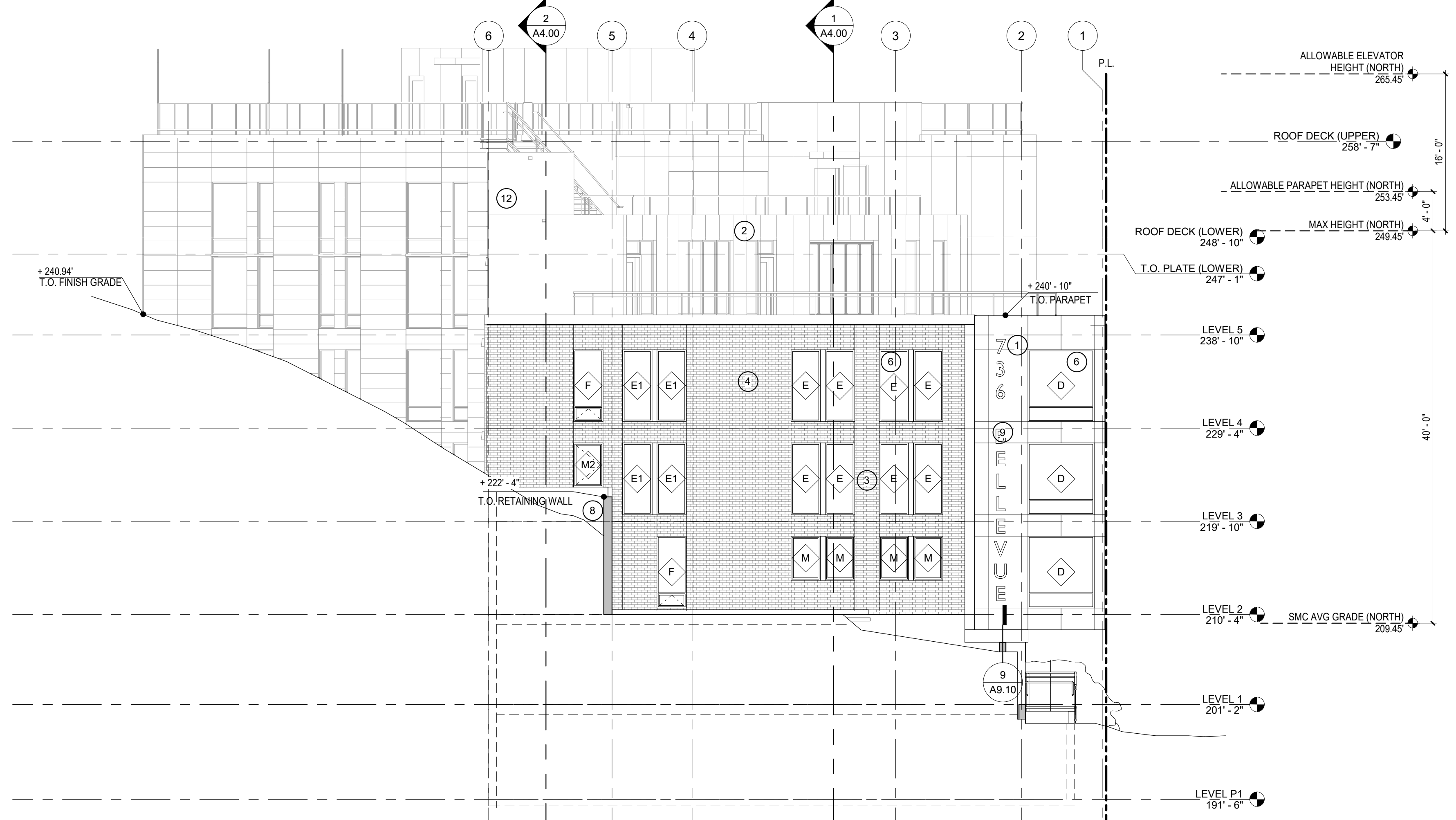
- 1 DARK GRAY METAL PANEL
- 2 KAMELEON RED SUNRISE METAL PANEL
- 3 LIGHT GRAY METAL PANEL
- 4 BRICK (DARK GRAY)
- 5 STOREFRONT GLAZING SYSTEM
- 6 FIBERGLASS WINDOW (LIGHT GRAY)
- 7 METAL SECTIONAL GARAGE DOOR
- 8 CONCRETE
- 9 METAL SIGNAGE (NON-ILLUMINATED)
- 10 METAL / GLASS GUARDRAIL (MIN 80% TRANSPARENT)
- 11 FIBER CEMENT- DARK GREY
- 12 FIBER CEMENT- SIENNA
- 13 FIBER CEMENT- LIGHT GRAY

**WALL OPENING CALCULATIONS (SBC 705.8)  
SOUTHEAST ELEVATION**

FIRE SEPARATION DISTANCE	GROSS WALL AREA (SF)	WINDOW AREA (SF)	PERCENTAGE OF WALL
10' TO <15'	45% MAX PER LEVEL (UNPROTECTED, SPRINKLERED)		
LEVEL 4	603 SF	204 SF	33.8%
LEVEL 3	580 SF	204 SF	35.2%
LEVEL 2	441 SF	126 SF	28.6%
LEVEL 1	0 SF	0 SF	0%



**ELEVATION KEY**



**1 ELEVATION: NORTH EAST**  
SCALE: 1/8" = 1'-0"



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**ISSUANCE**

NO.	DESCRIPTION	DATE
1	MUP SUBMITTAL	10/14/2014
1	MUP CORRECTIONS #1	1/13/2017
2	MUP CORRECTIONS #2	3/13/2017
DD	DD SUBMITTAL	3/14/2017
BP	BP SUBMITTAL	5/12/2017
3	MUP CORRECTIONS #3	08/25/2017
	85% SET	9/25/2017
10	POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP  
THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

ELEVATIONS

PROJECT #: 16070  
DRAWN BY: SD, MC, BP, CD  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

**A3.02**



ISSUANCE

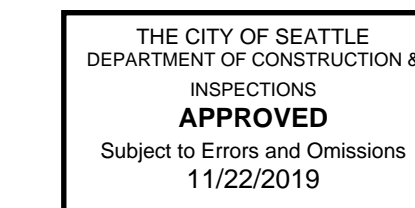
MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

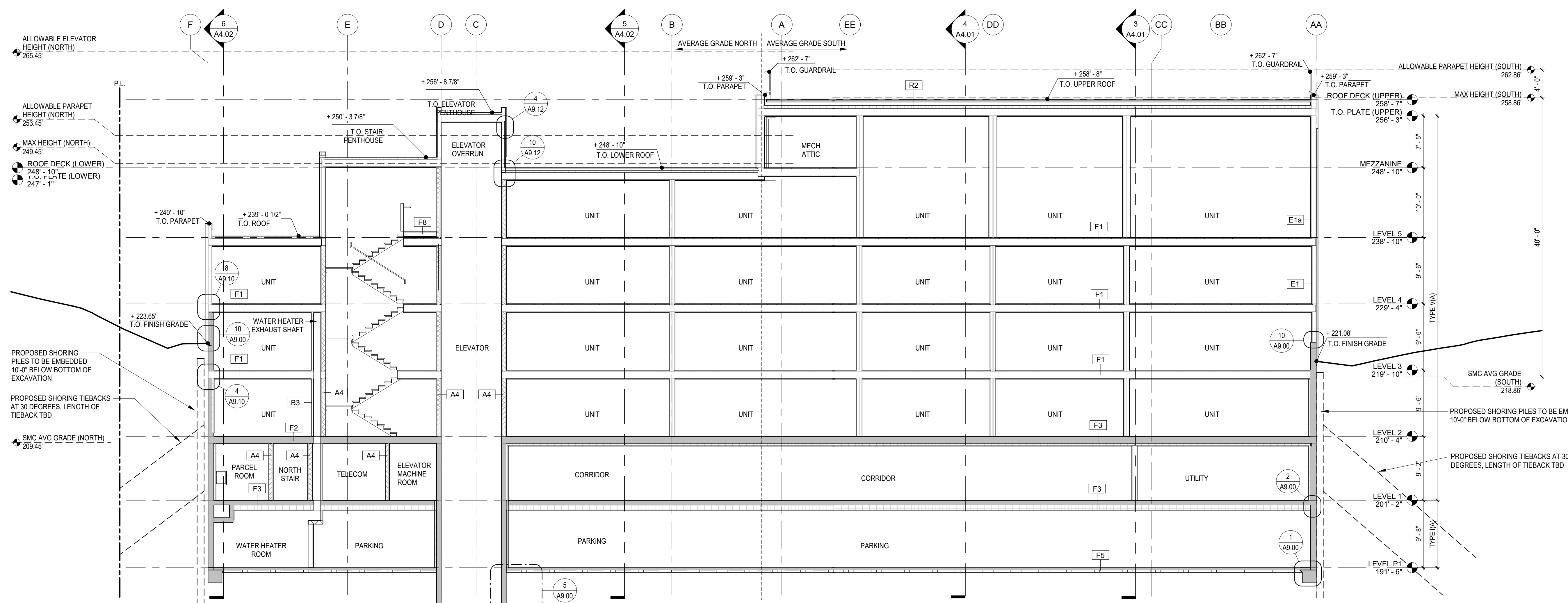
SDCI STAMP



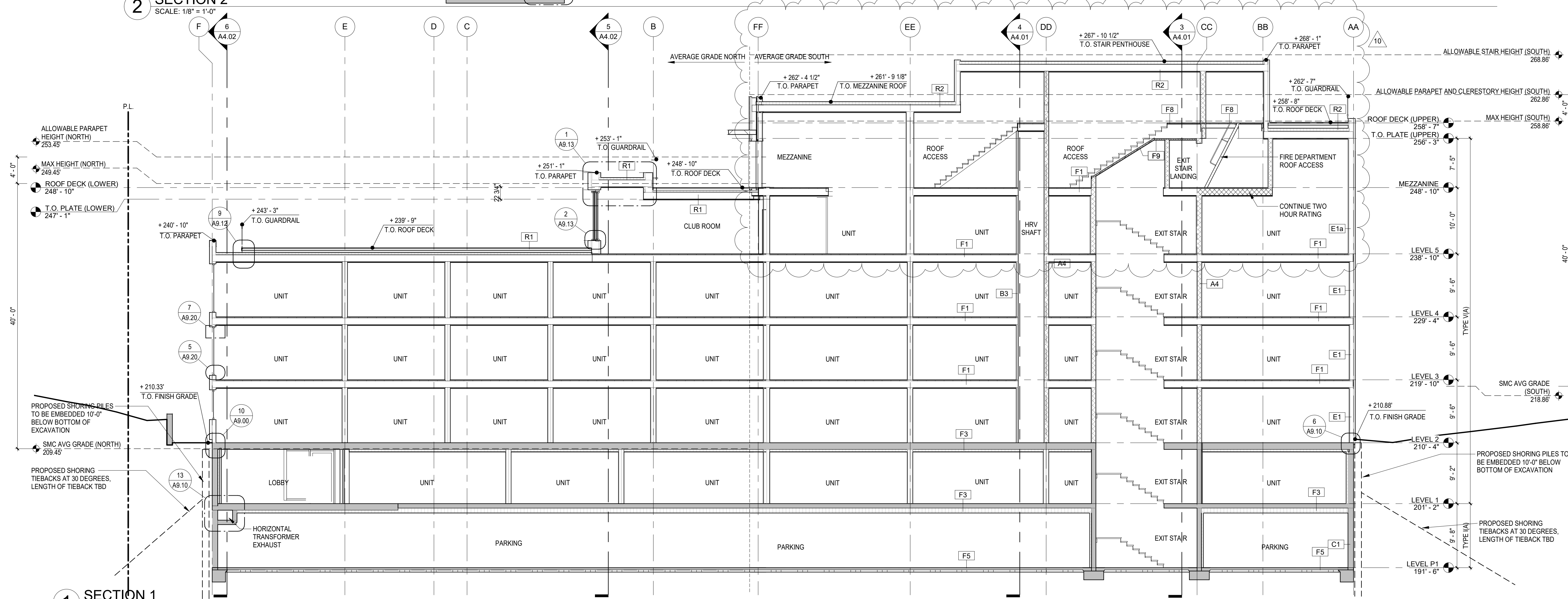
BUILDING SECTIONS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A4.00



2 SECTION 2  
SCALE: 1/8" = 1'-0"



1 SECTION 1  
SCALE: 1/8" = 1'-0"

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ISSUANCE

MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
3 MUP CORRECTIONS #3	08/25/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

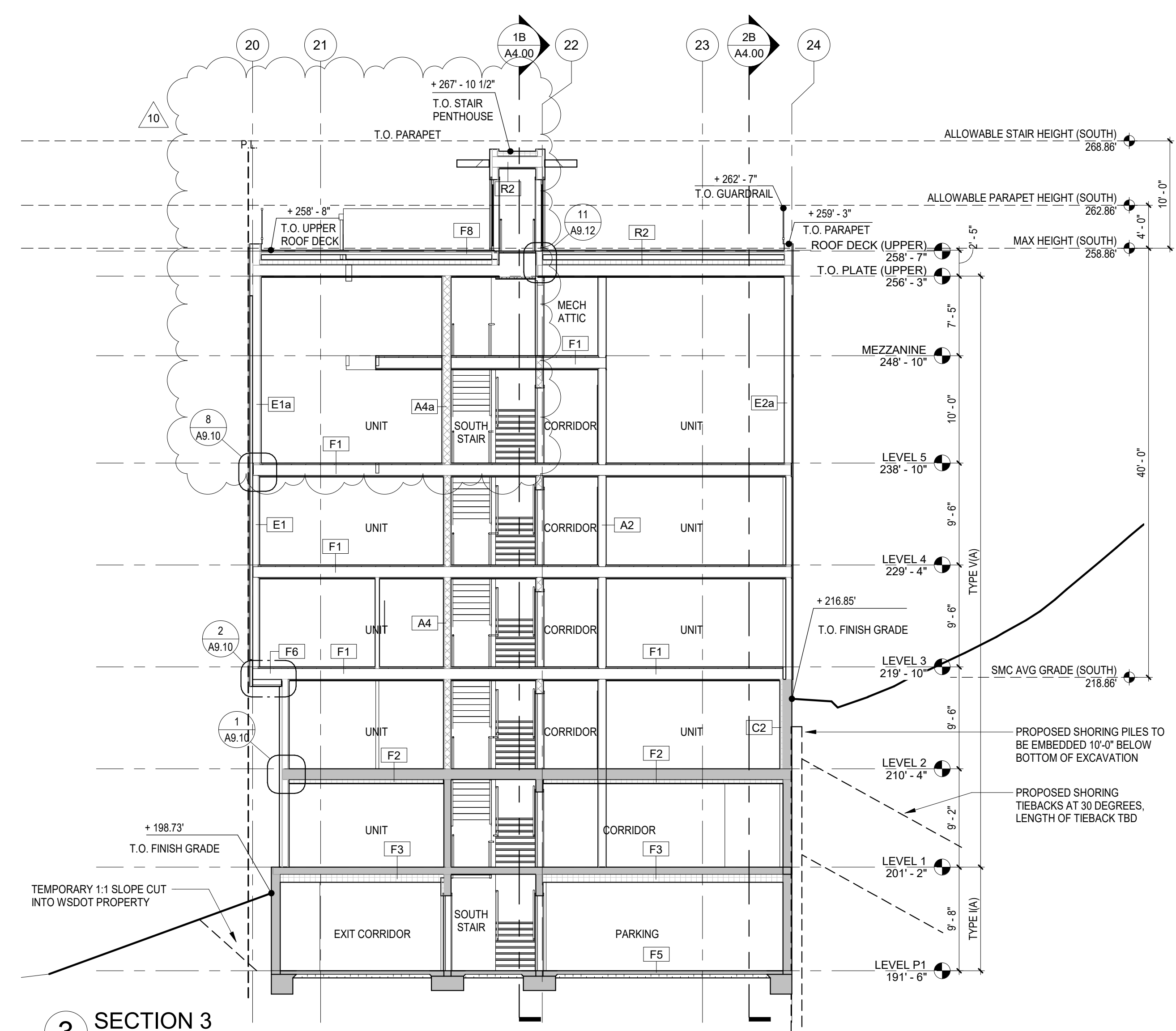
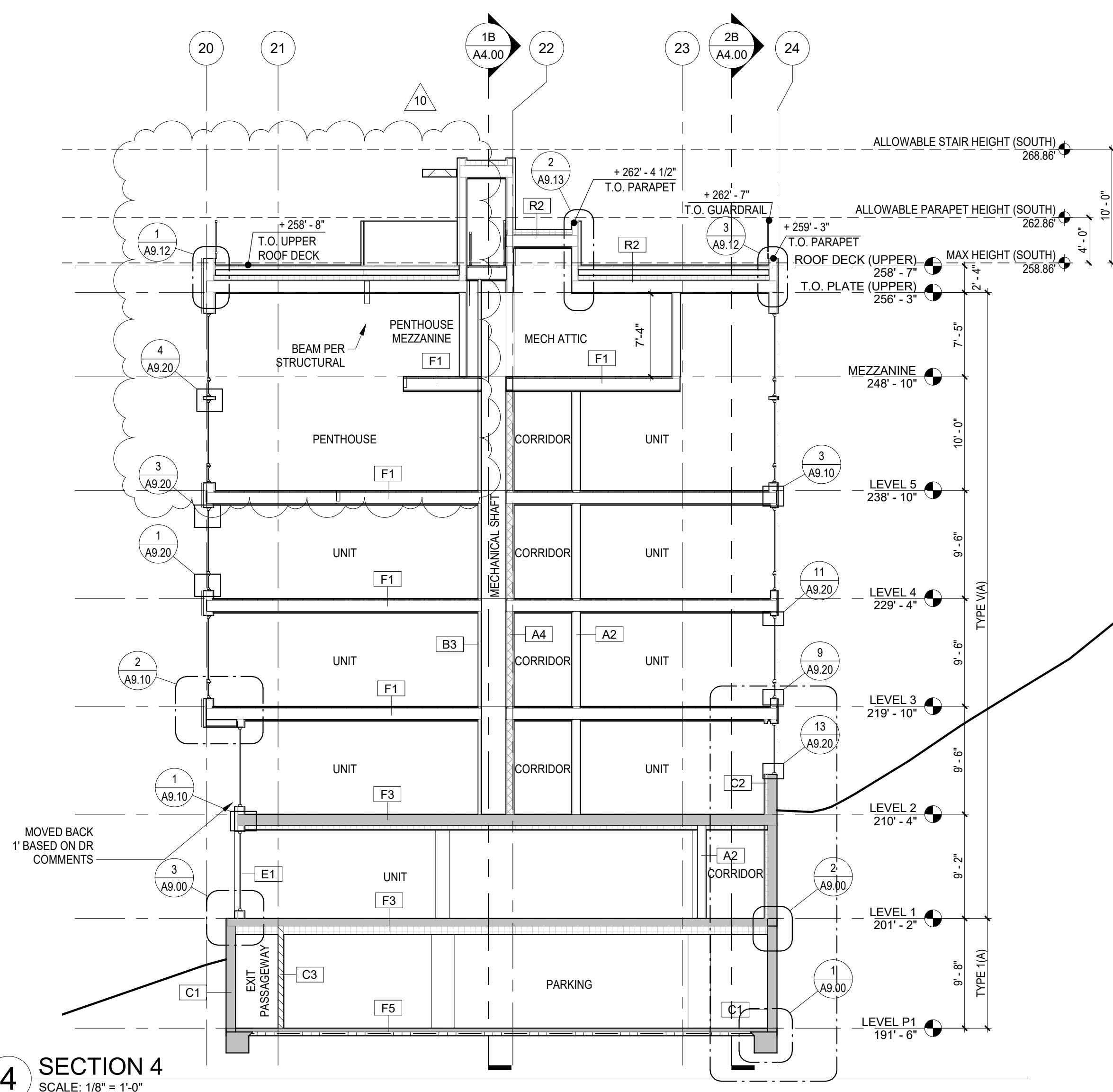
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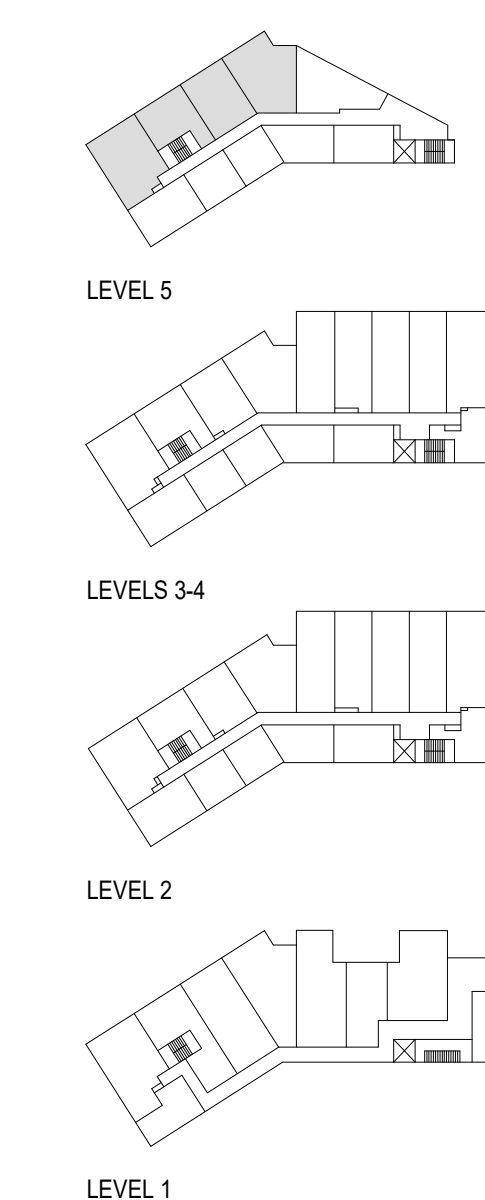
BUILDING SECTIONS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A4.01



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ISSUANCE

DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

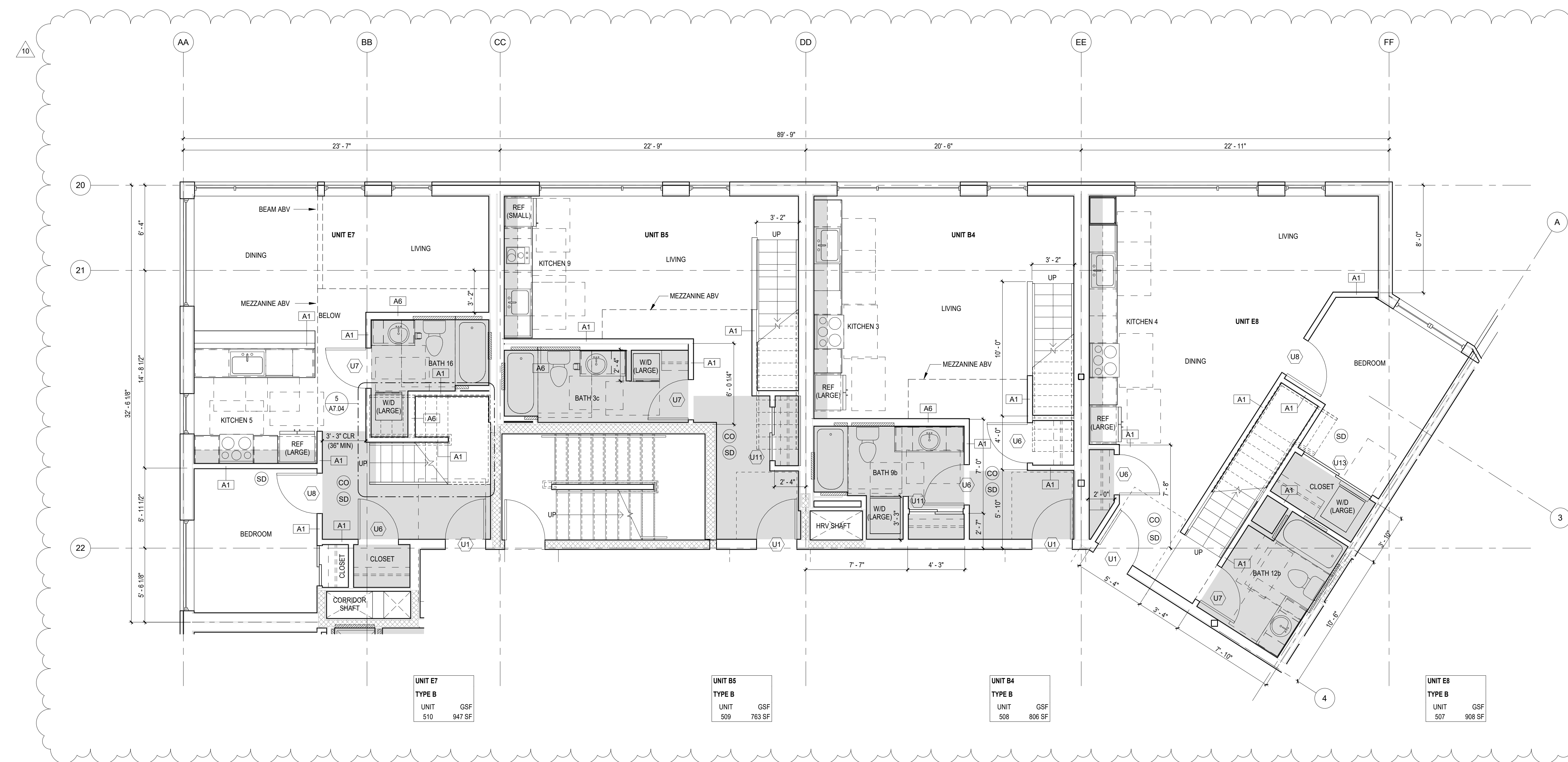
SDCI STAMP

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11/22/2019

### UNIT PLANS - PENTHOUSE UNIT

PROJECT #: 16070  
DRAWN BY: SD, BP, MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A5.50



UNIT E7  
TYPE B  
UNIT GSF  
510 947 SF

UNIT B5  
TYPE B  
UNIT GSF  
509 763 SF

UNIT B4  
TYPE B  
UNIT GSF  
508 806 SF

UNIT E8  
TYPE B  
UNIT GSF  
507 908 SF

### PENTHOUSE UNITS - LEVEL 5

SCALE: 1/4" = 1'-0"





ISSUANCE

DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

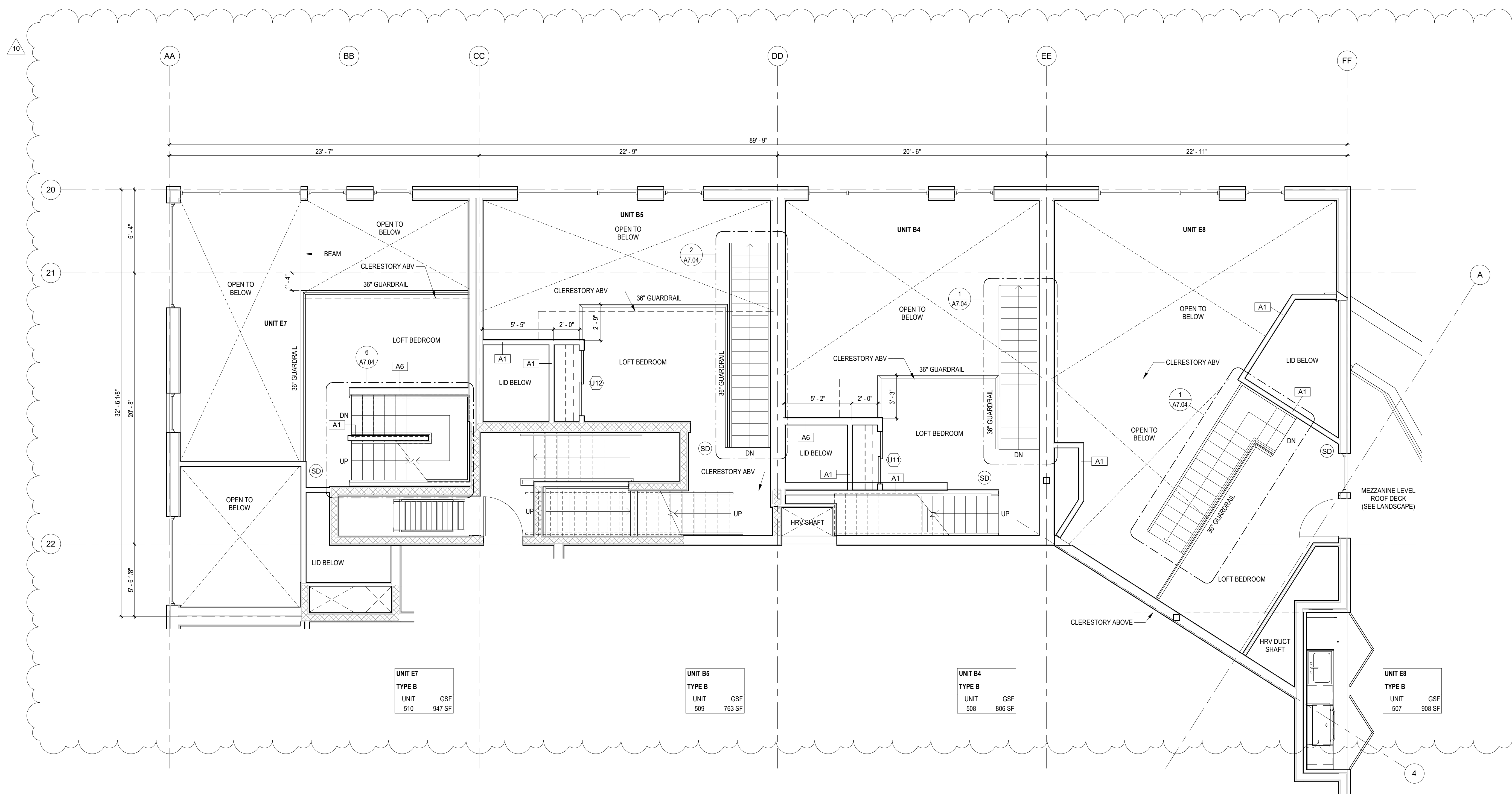
SDCI STAMP

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DEPARTMENT OF CONSTRUCTION &  
INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

UNIT PLANS -  
PENTHOUSE  
MEZZANINE

PROJECT #: 16070  
DRAWN BY: SD, BP, MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A5.51



UNIT E7  
TYPE B  
UNIT GSF  
510 947 SF

UNIT B5  
TYPE B  
UNIT GSF  
509 763 SF

UNIT B4  
TYPE B  
UNIT GSF  
508 806 SF

UNIT E8  
TYPE B  
UNIT GSF  
507 908 SF

### PENTHOUSE UNITS - MEZZANINE

SCALE: 1/4" = 1'-0"



ISSUANCE

10	POST PERMIT REVISION	10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

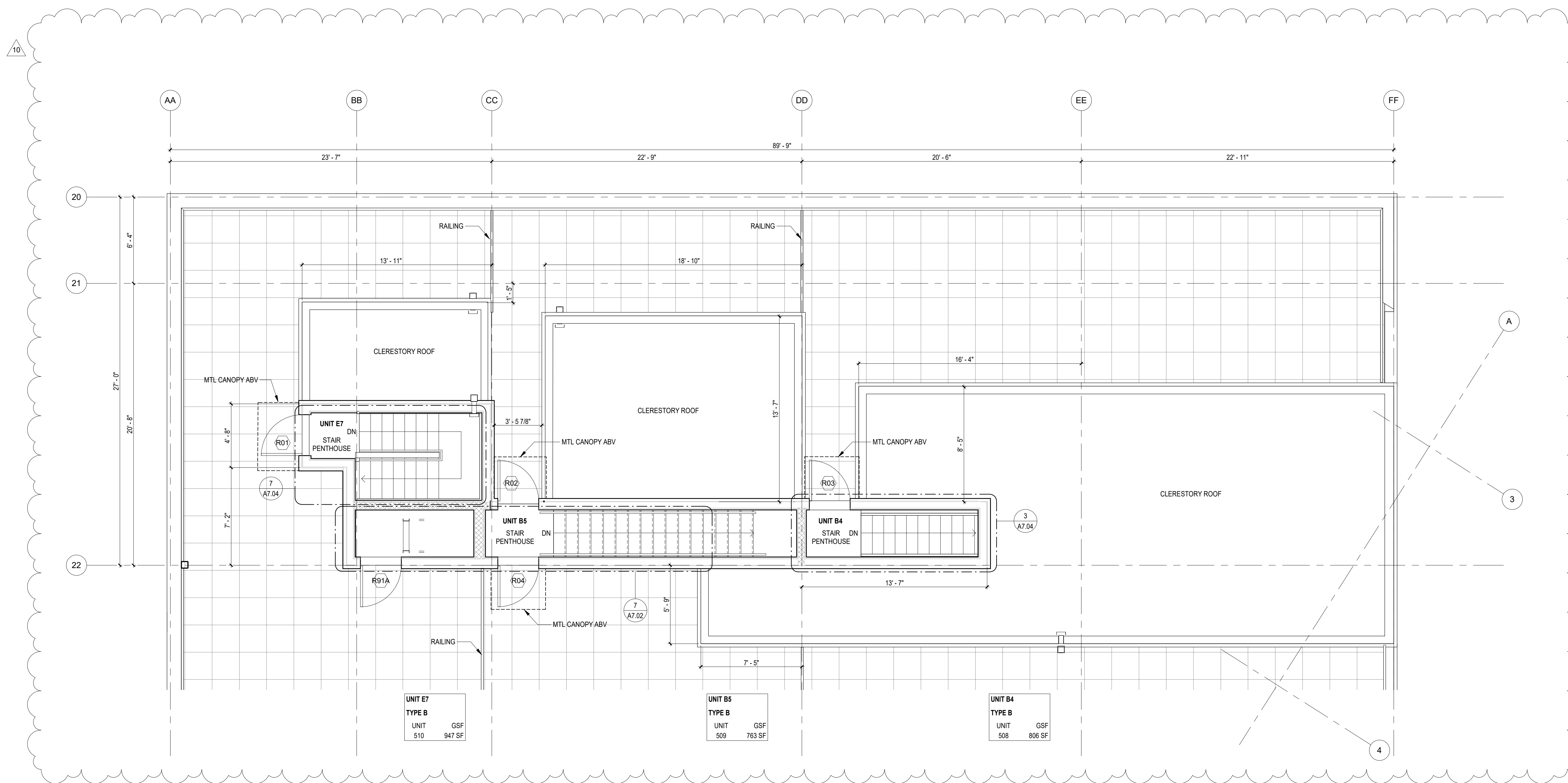
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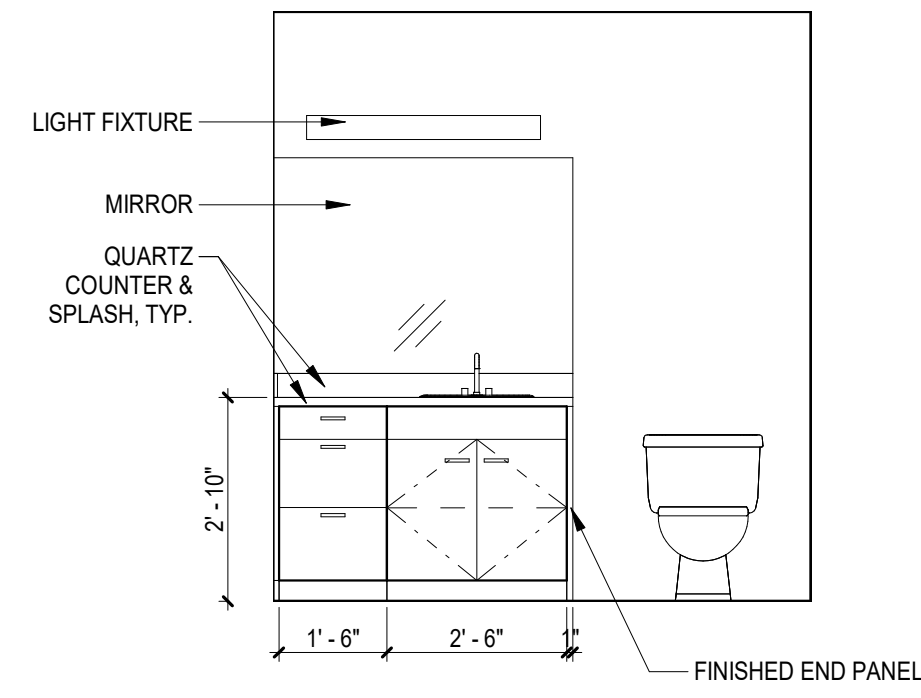
### UNIT PLANS - UPPER ROOF PRIVATE UNIT DECKS

PROJECT #: 16070  
DRAWN BY: AD  
CHECKED BY: SF  
FILE NAME: WALLS BELLEVUE PLACE

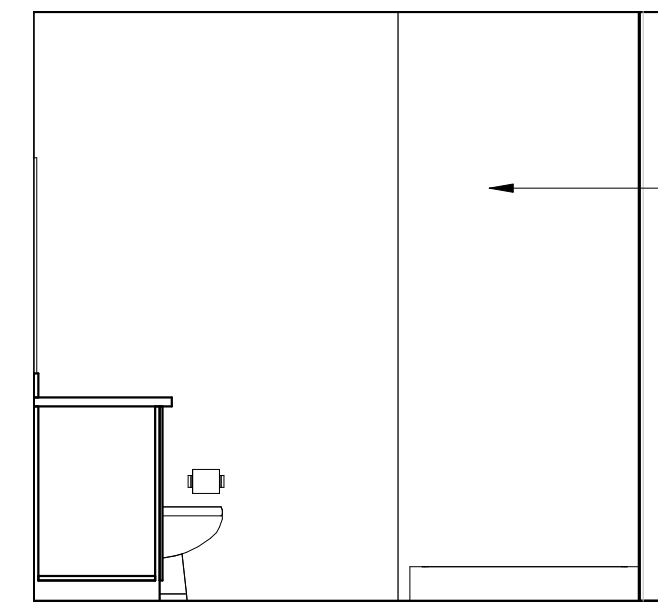
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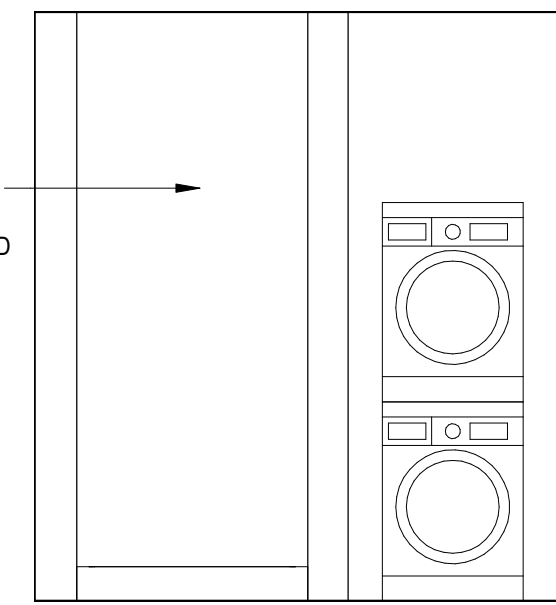
**1** UPPER ROOF PRIVATE UNIT DECKS  
SCALE: 1/4" = 1'-0"



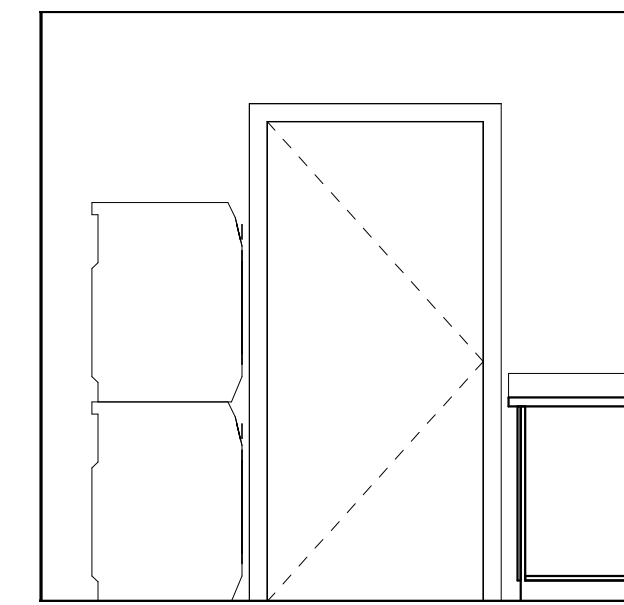
ELEVATION 1A



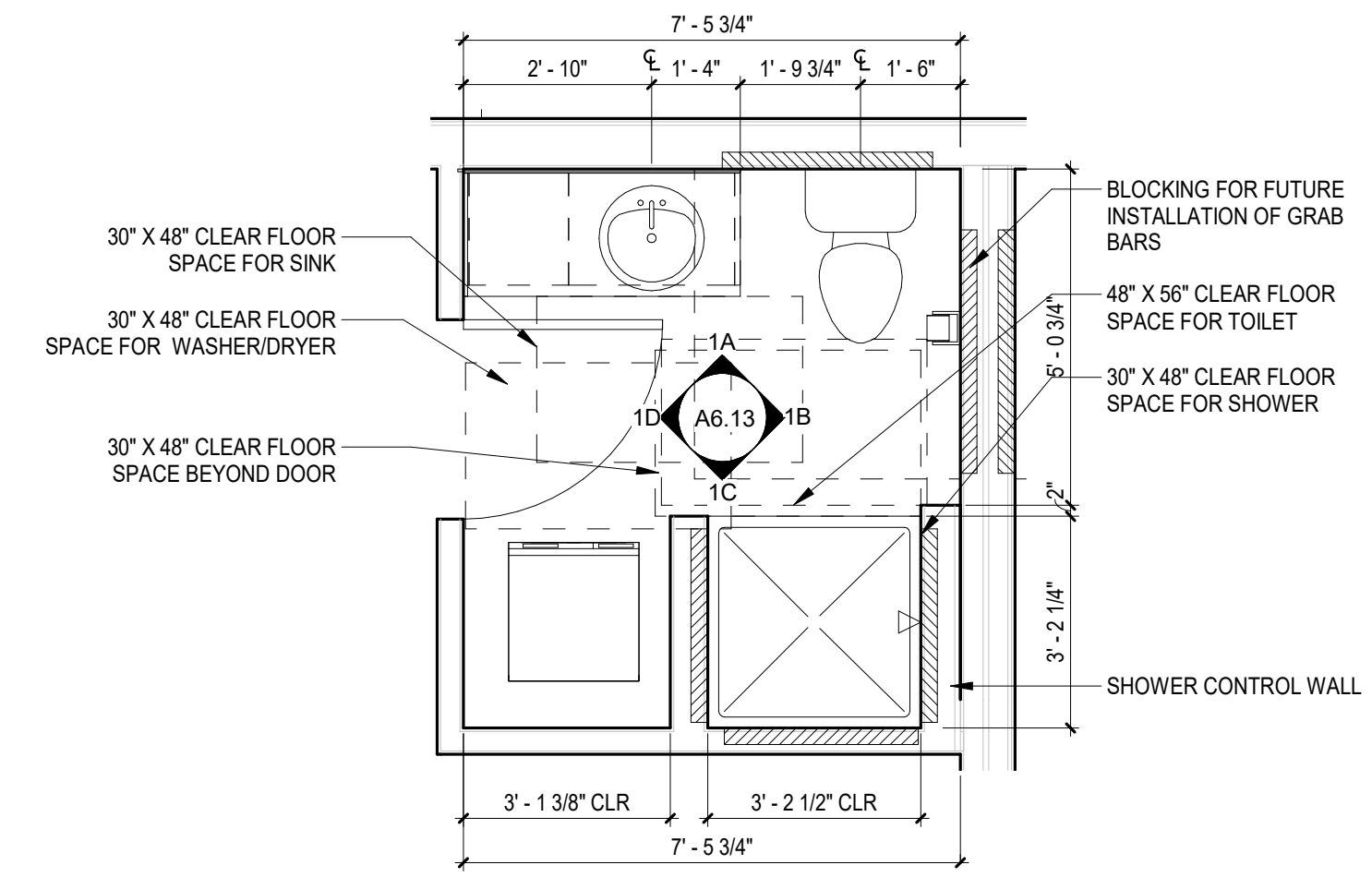
ELEVATION 1B



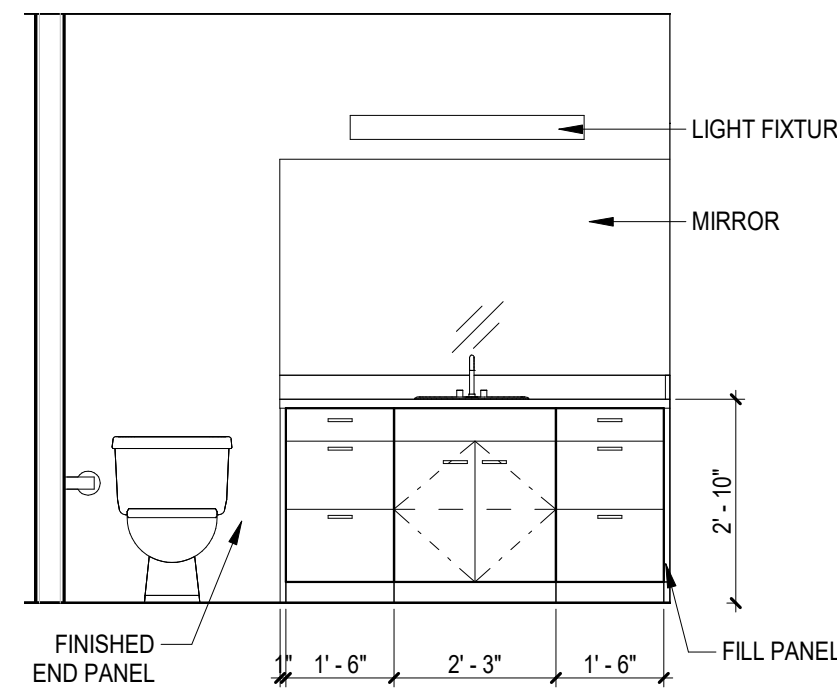
ELEVATION 1C



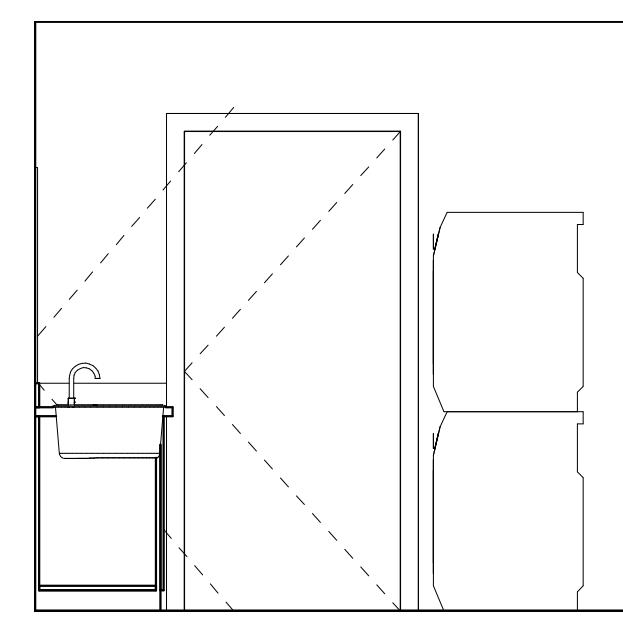
ELEVATION 1D



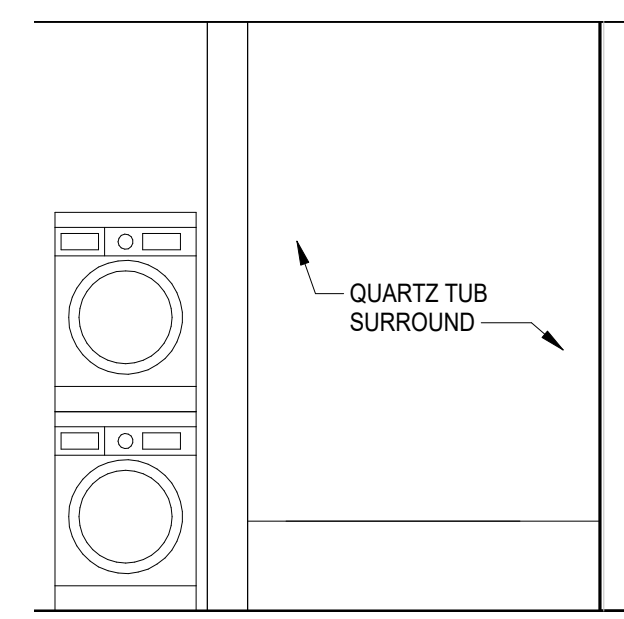
**1 BATH 1 (TYPE B)**  
SCALE: 3/8" = 1'-0"



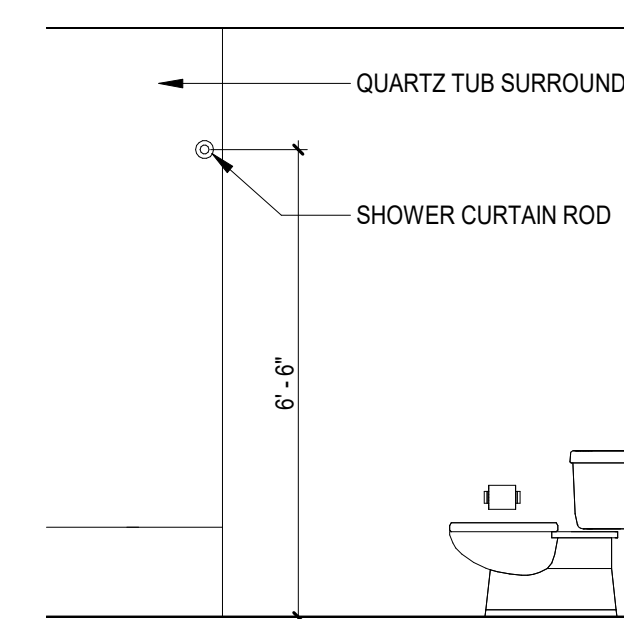
ELEVATION 2A



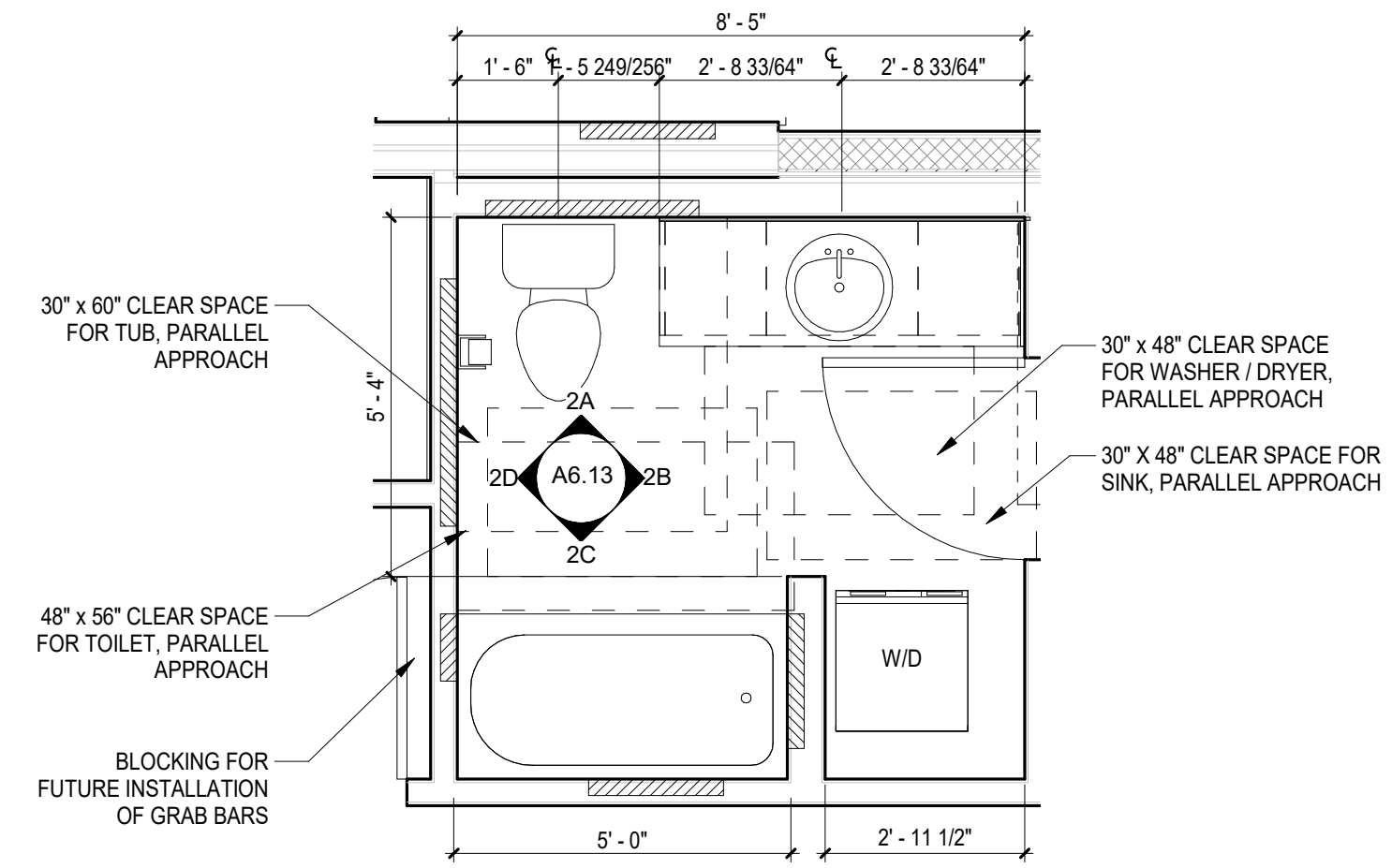
ELEVATION 2B



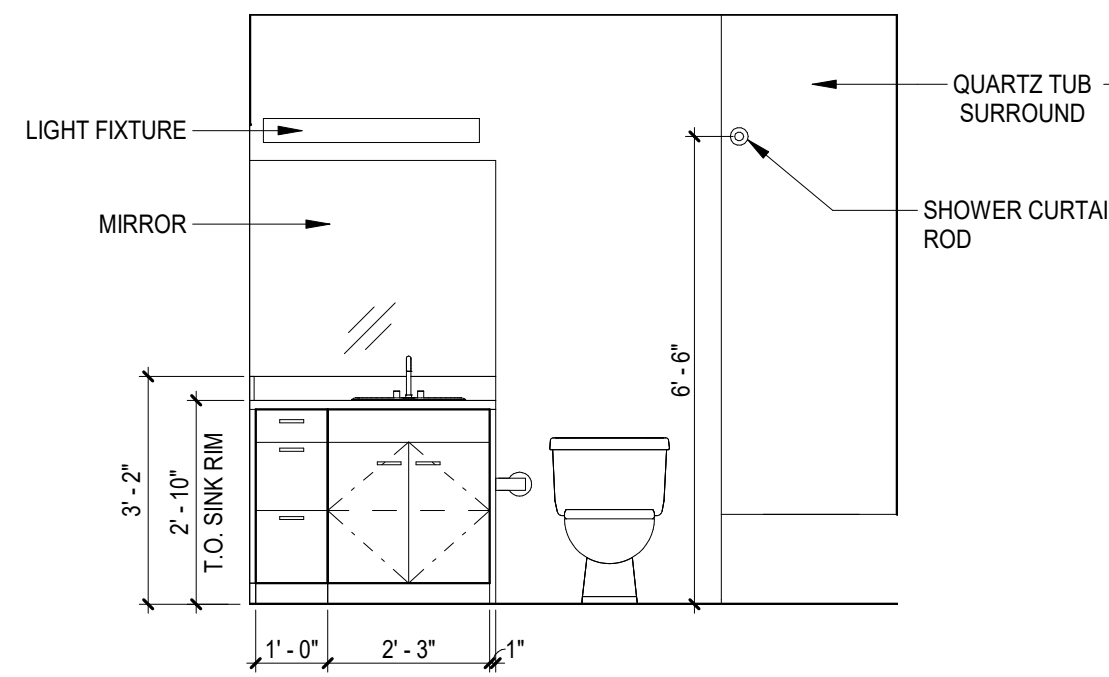
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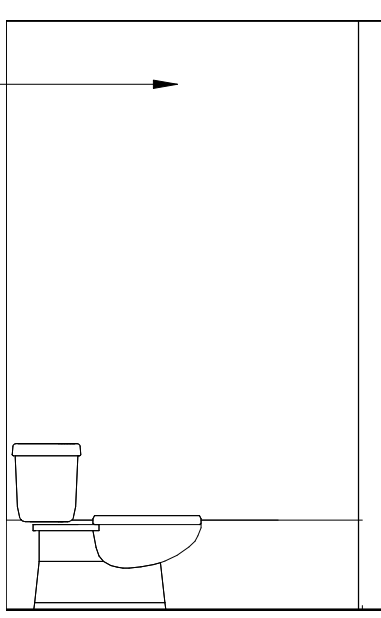
ELEVATION 2D



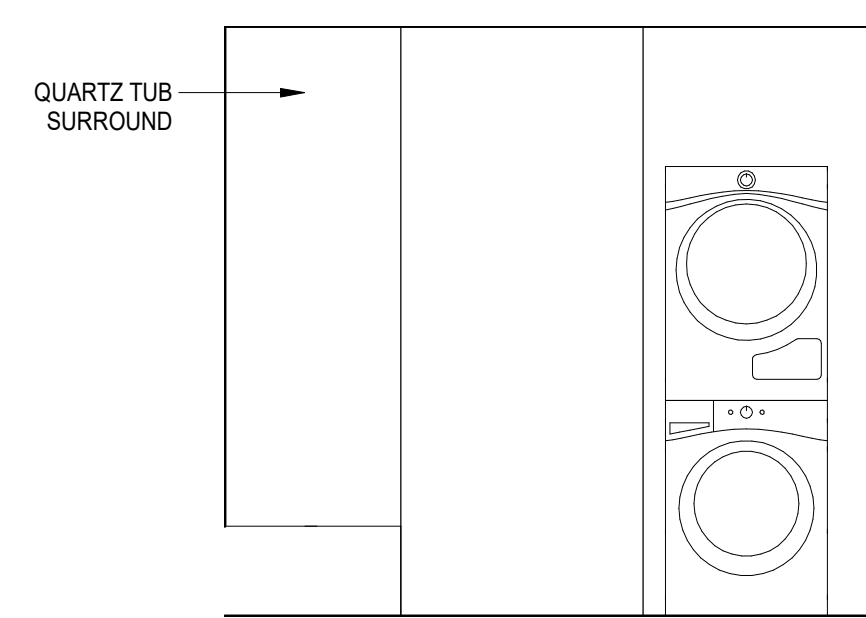
**2 BATH 2 - TYPE B**  
SCALE: 3/8" = 1'-0"



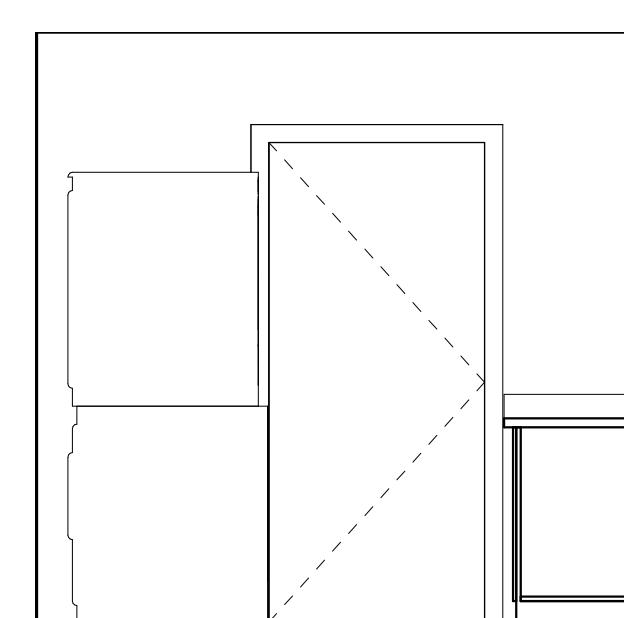
ELEVATION 3A



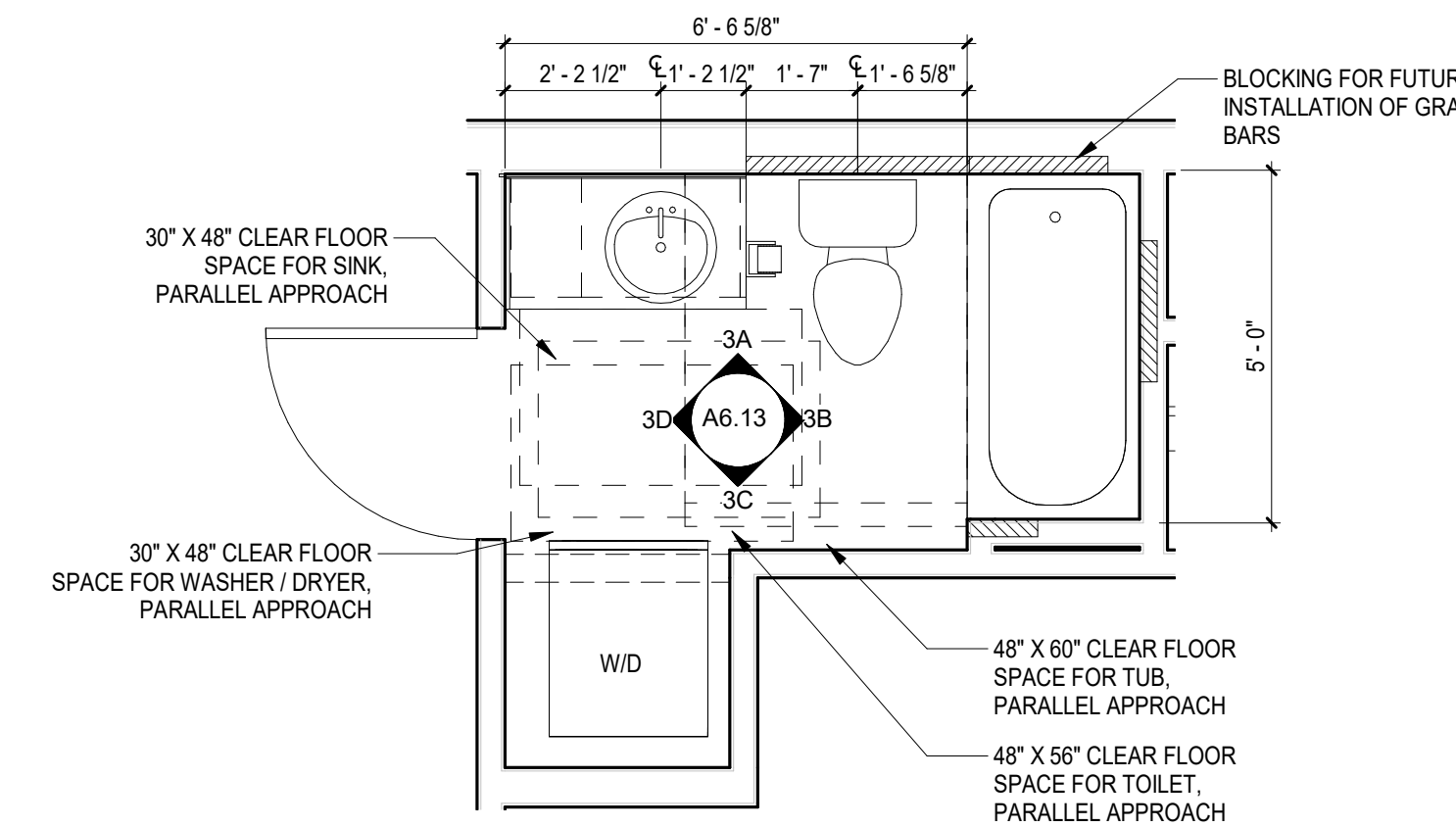
ELEVATION 3B



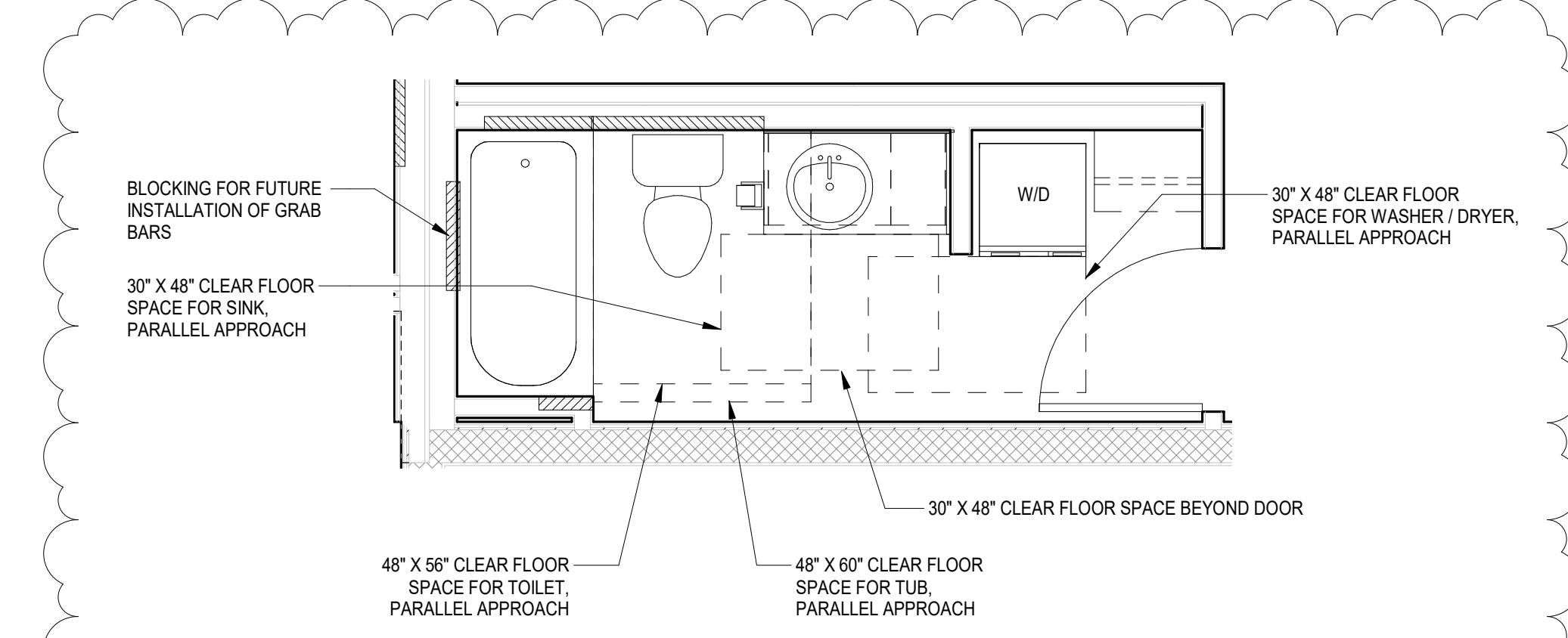
ELEVATION 3C



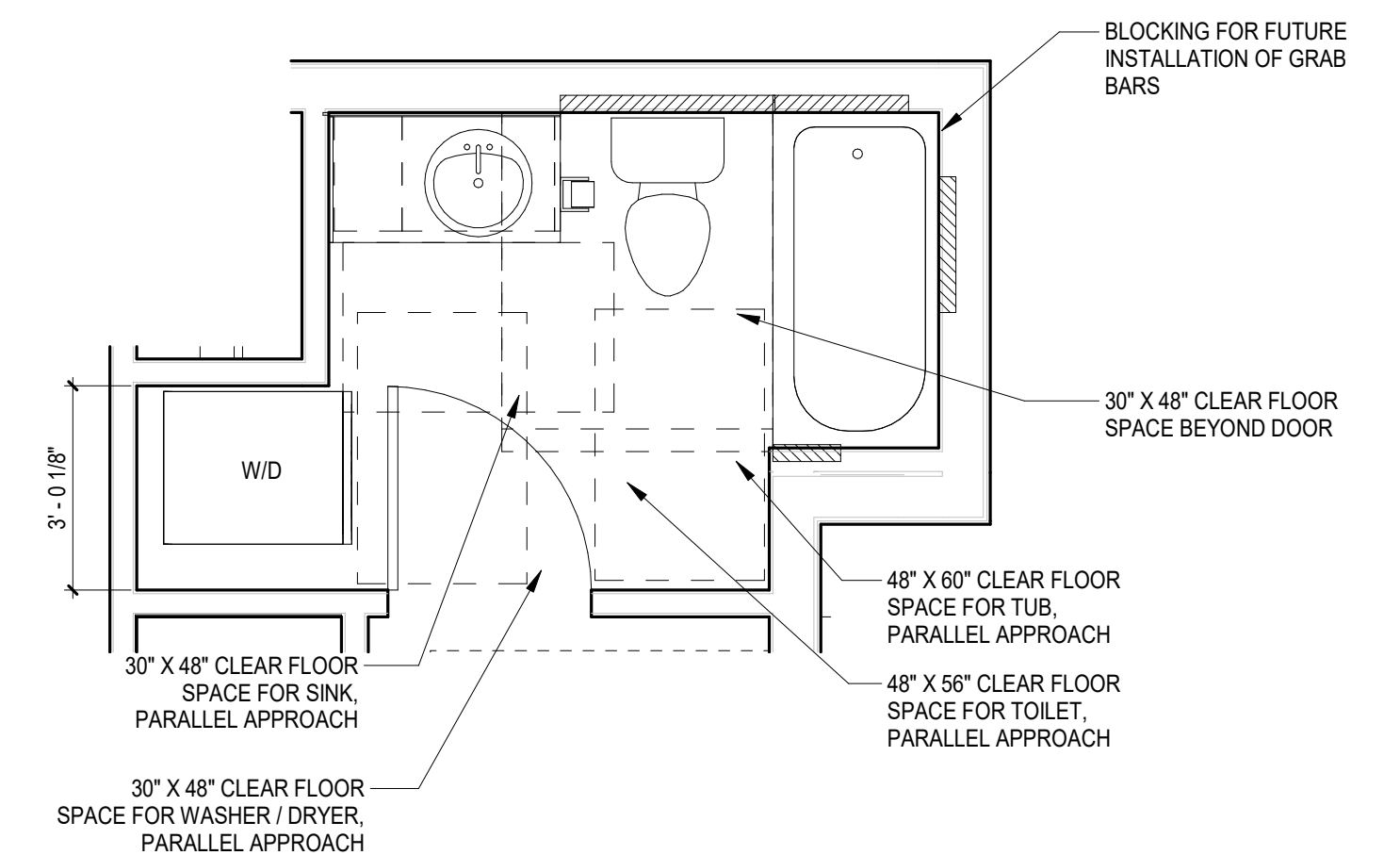
ELEVATION 3D



**3 BATH 3 - TYPE B**  
SCALE: 3/8" = 1'-0"



**3c Bath 3c - TYPE B (ALTERNATE WASHER / DRYER LOCATION)**  
SCALE: 3/8" = 1'-0"



**3b BATH 3b - TYPE B (ALTERNATE WASHER / DRYER LOCATION)**  
SCALE: 3/8" = 1'-0"

ISSUANCE

BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP



INTERIOR ELEVATIONS - BATHROOMS

PROJECT #: 16070  
DRAWN BY: BP  
CHECKED BY: MC  
FILE NAME: WALLS BELLEVUE PLACE

**A6.13**

ISSUANCE	
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

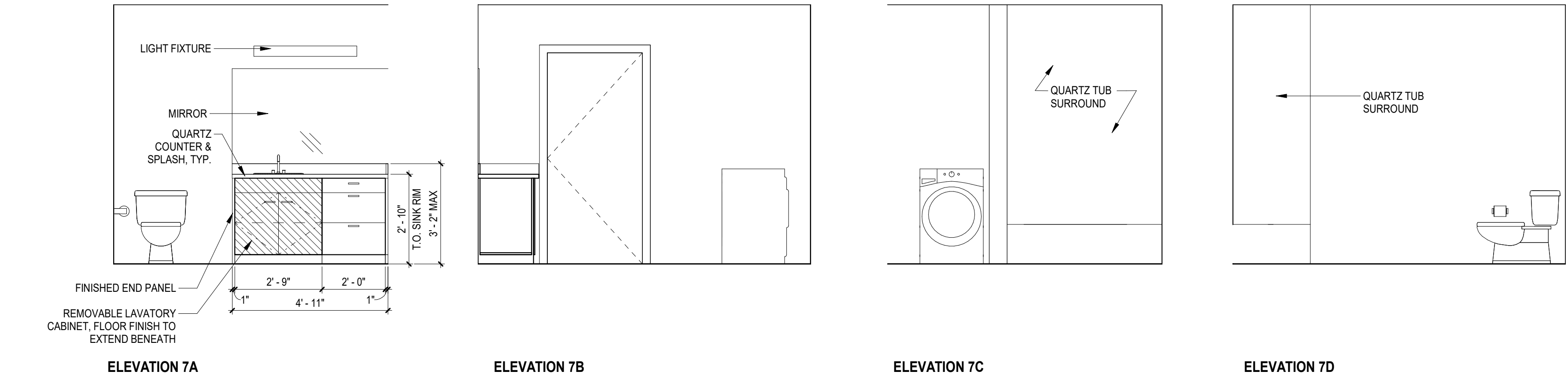
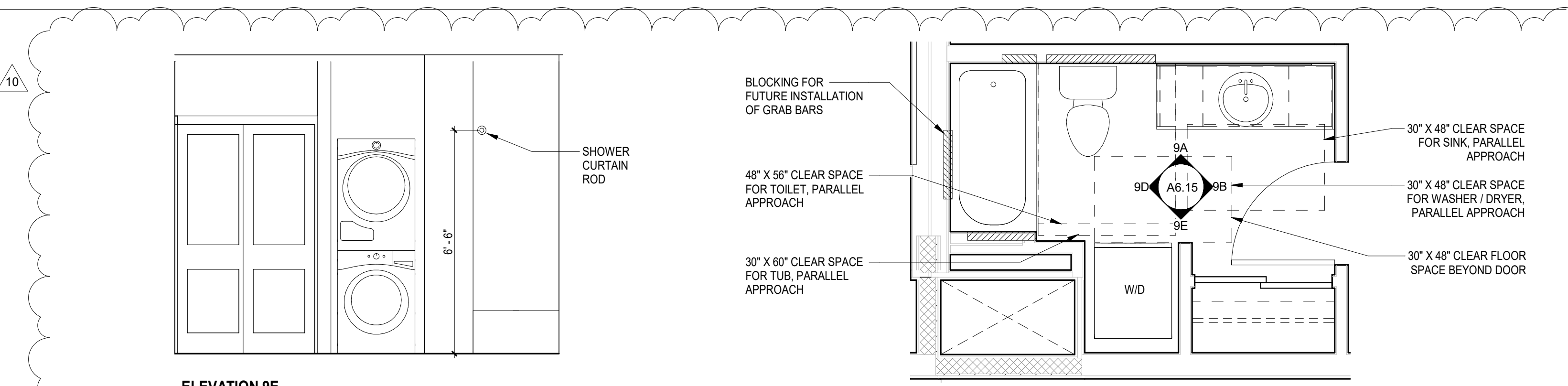
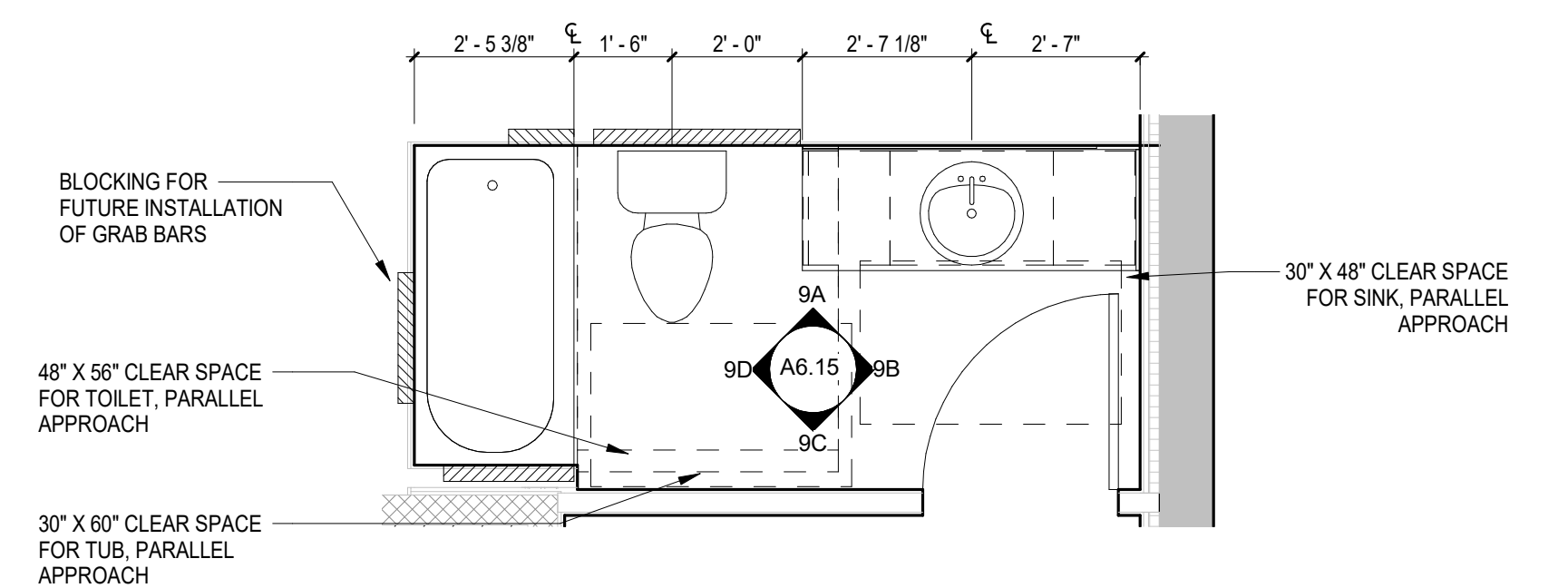
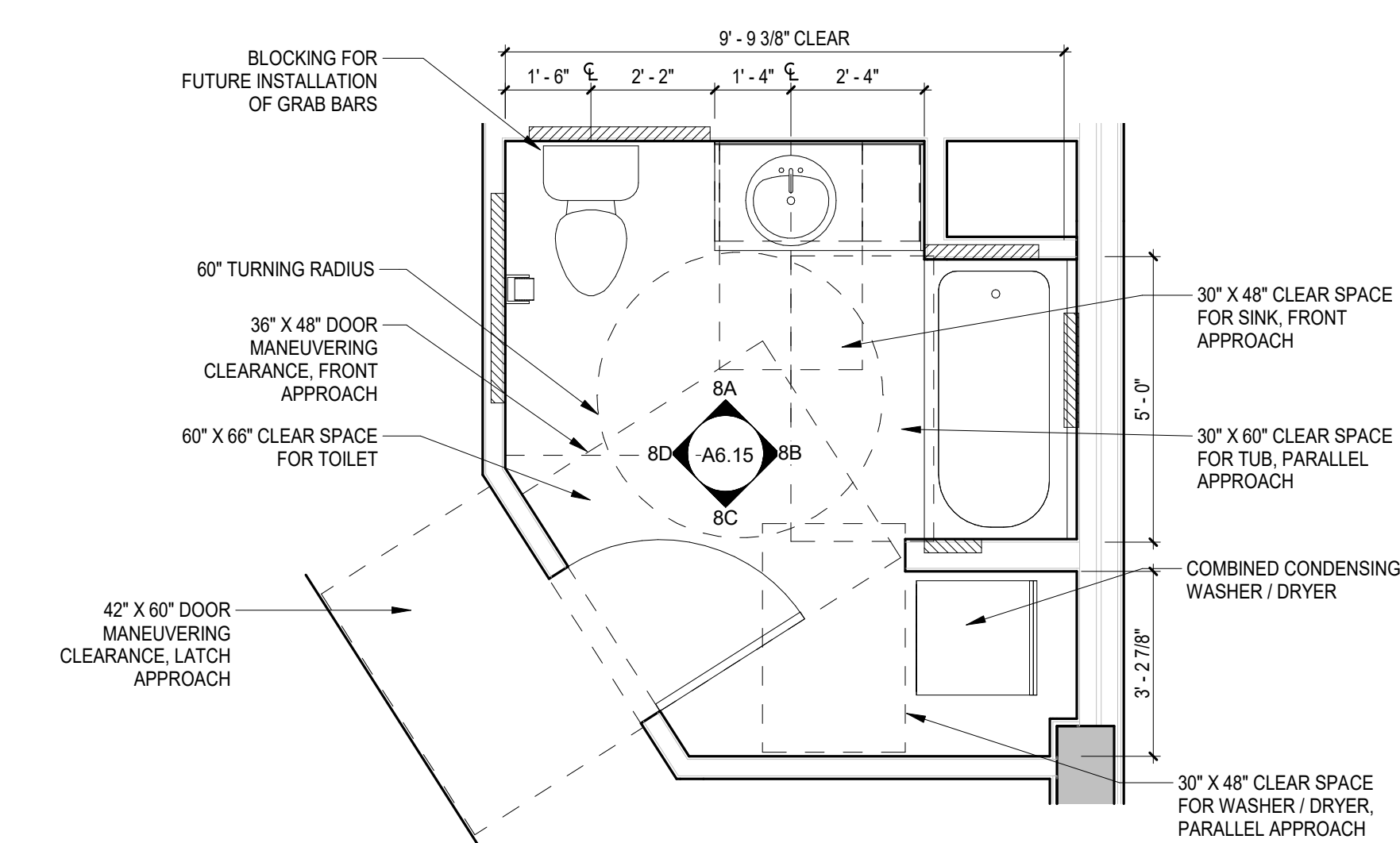
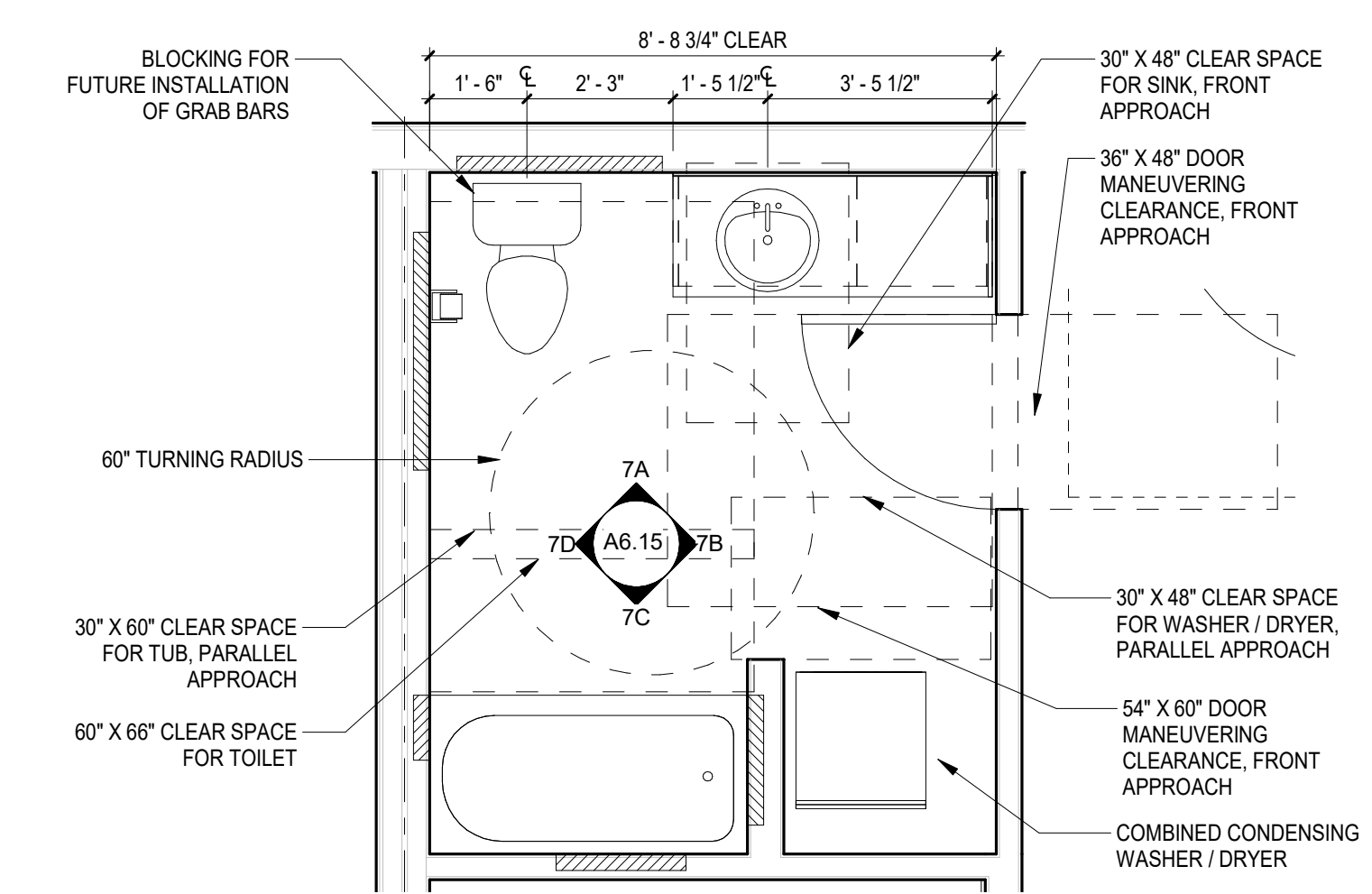
**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP  
THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

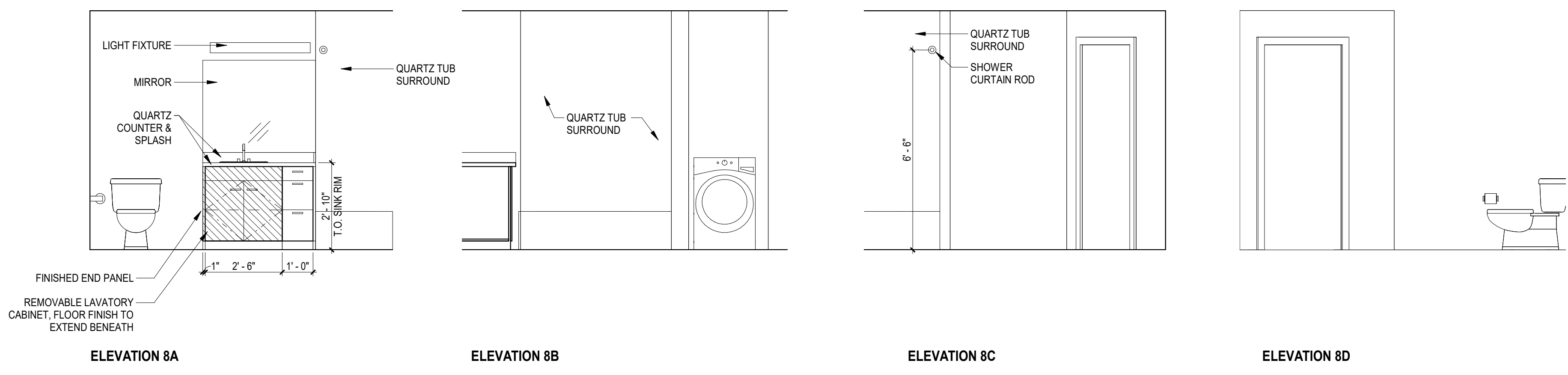
INTERIOR ELEVATIONS - BATHROOMS

PROJECT #: 16070  
DRAWN BY: BP  
CHECKED BY: MC  
FILE NAME: WALLS BELLEVUE PLACE

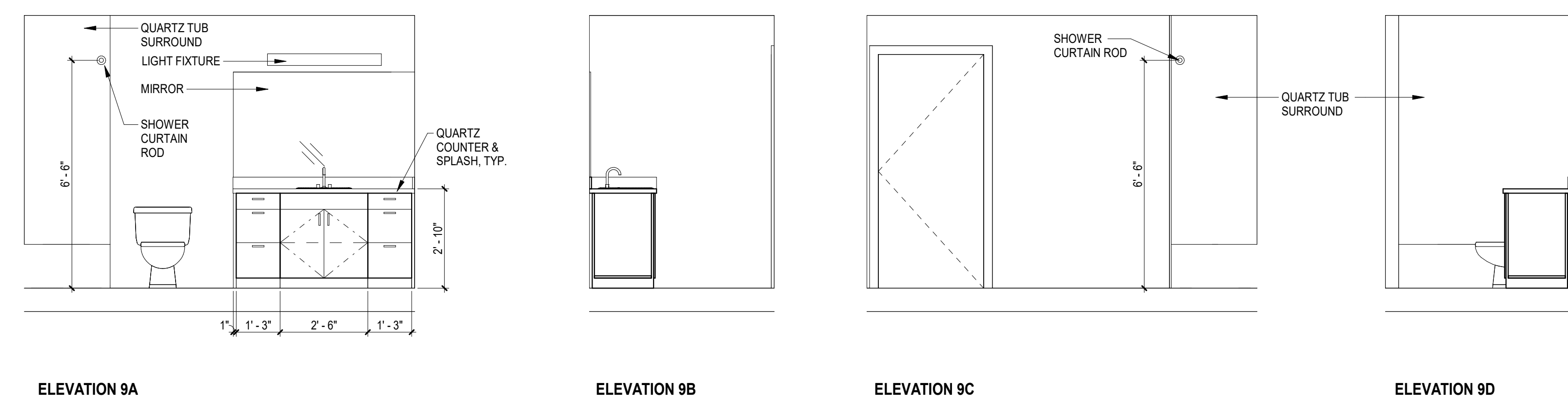
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**7 BATH 7 - TYPE A**  
SCALE: 3/8" = 1'-0"

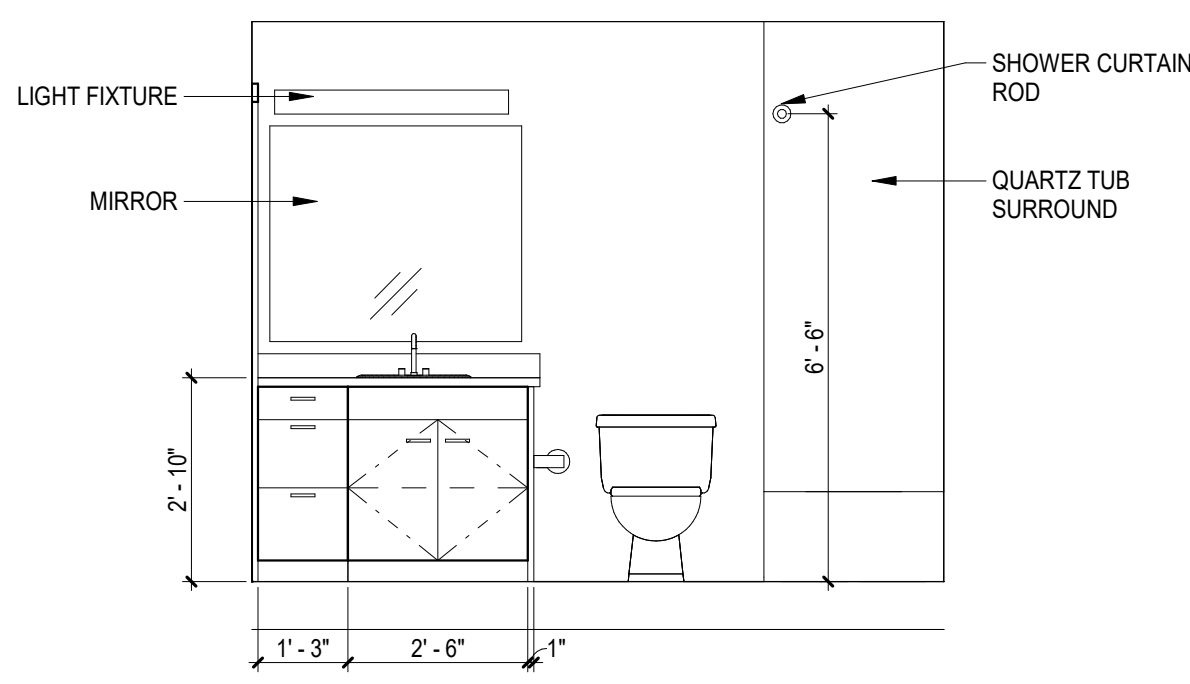


**8 BATH 8 - TYPE A**  
SCALE: 3/8" = 1'-0"

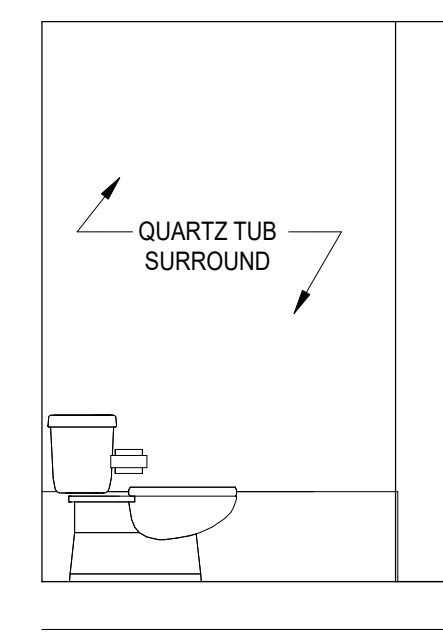


**9 BATH 9 - TYPE B**  
SCALE: 3/8" = 1'-0"

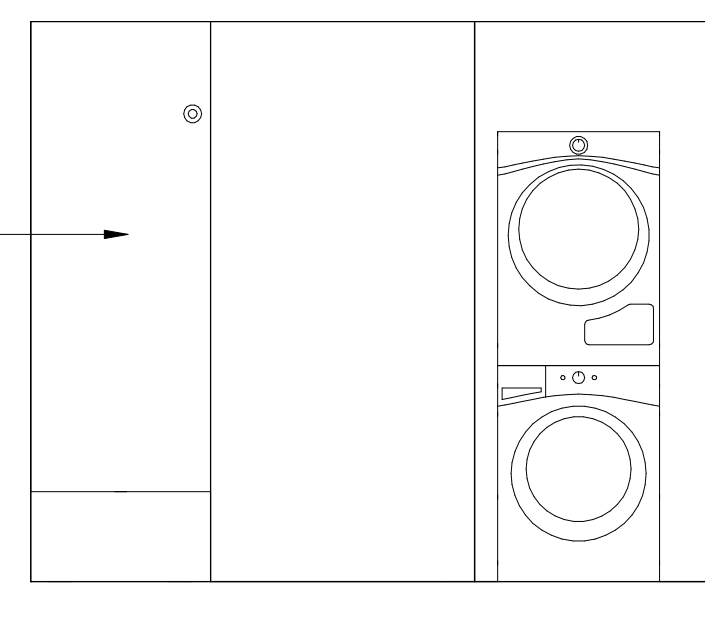
**9b Bath 9b - TYPE B**  
SCALE: 3/8" = 1'-0"  
WASHER/DRYER ALTERNATE



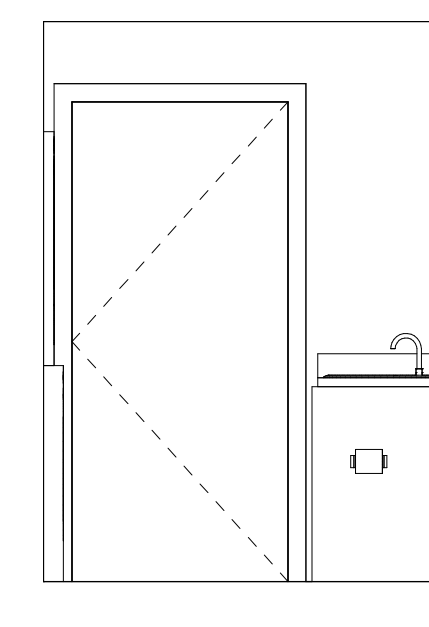
ELEVATION 10A



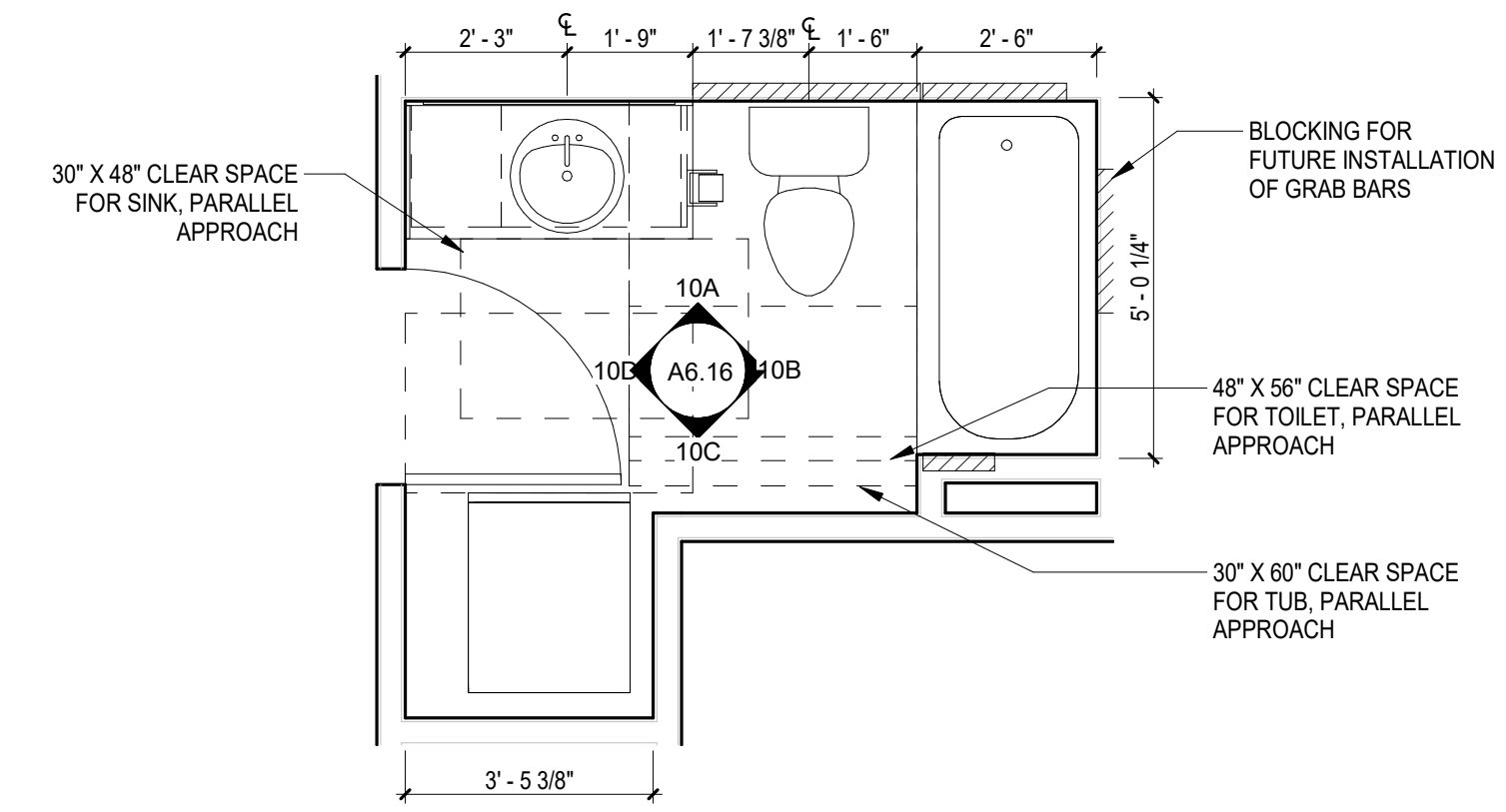
ELEVATION 10B



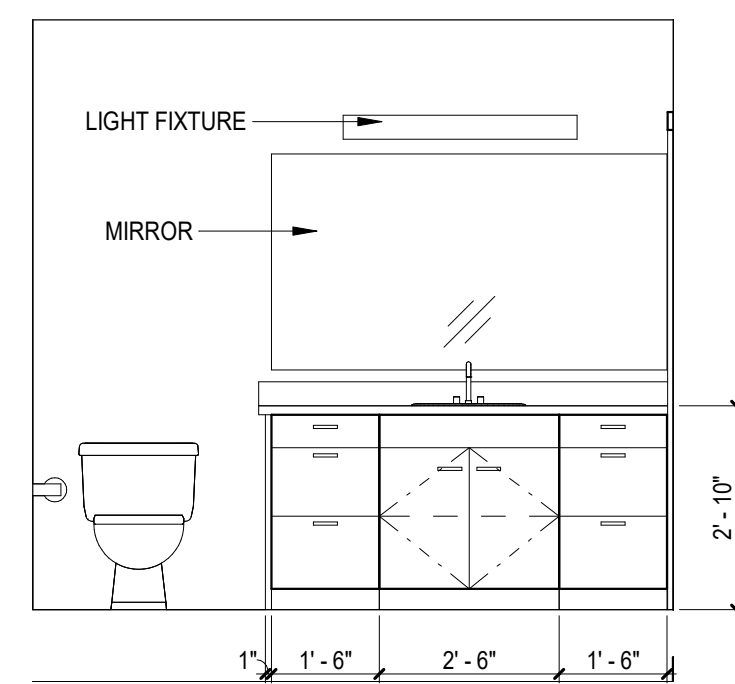
ELEVATION 10C



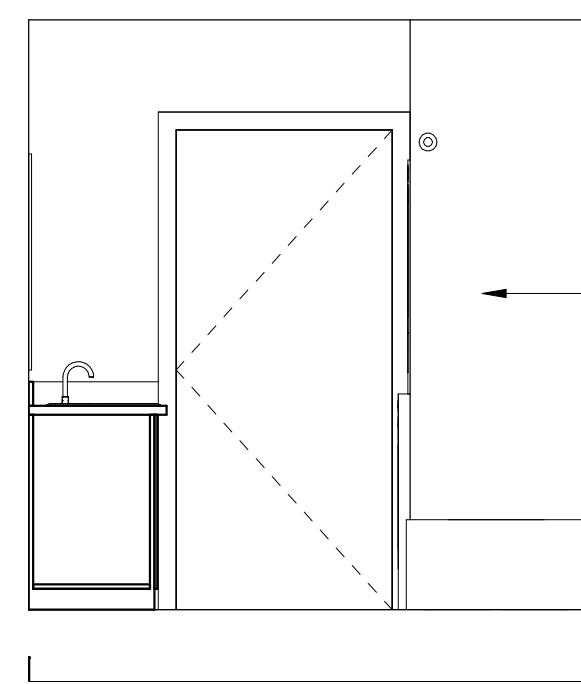
ELEVATION 10D



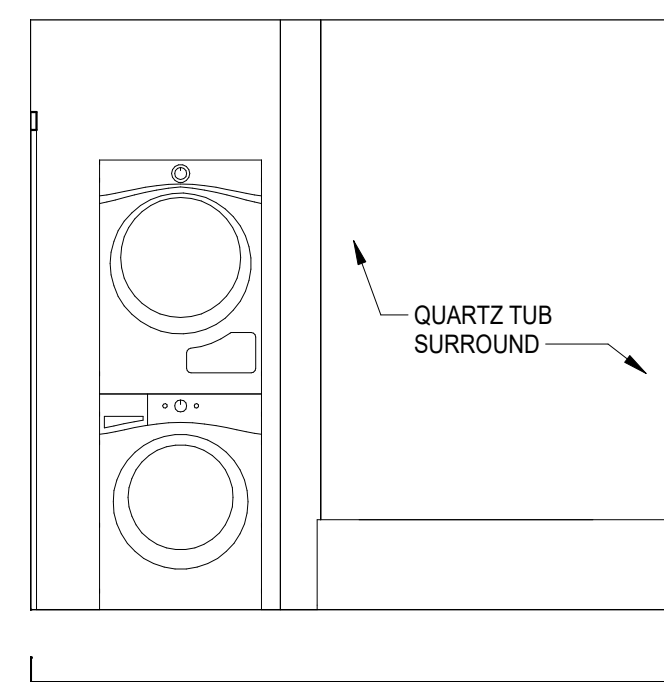
**10 BATH 10 - TYPE B**  
SCALE: 3/8" = 1'-0"



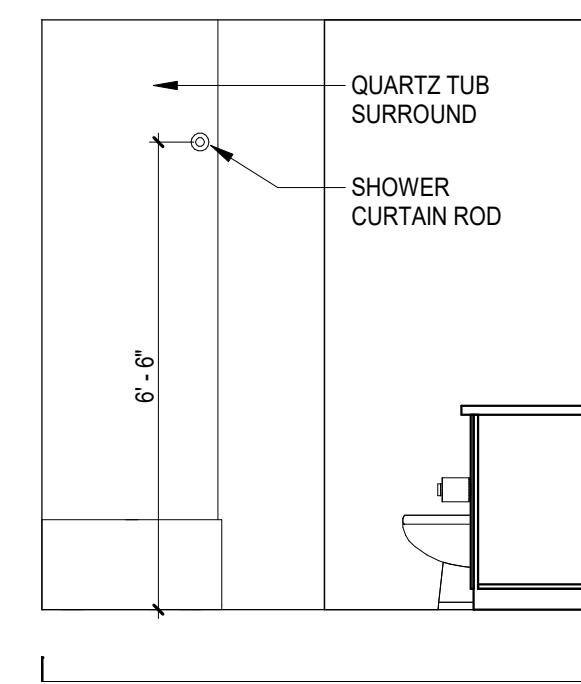
ELEVATION 11A



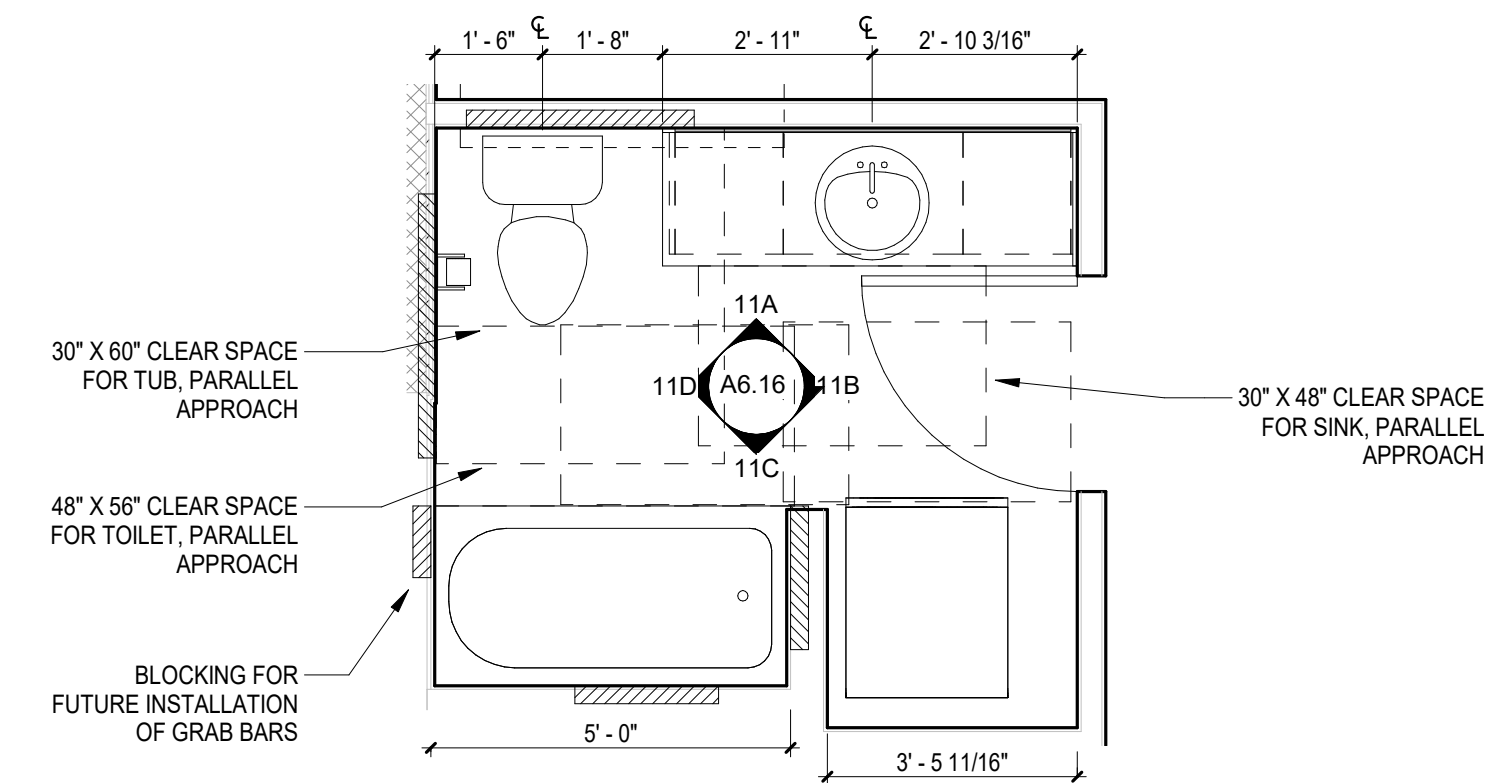
ELEVATION 11B



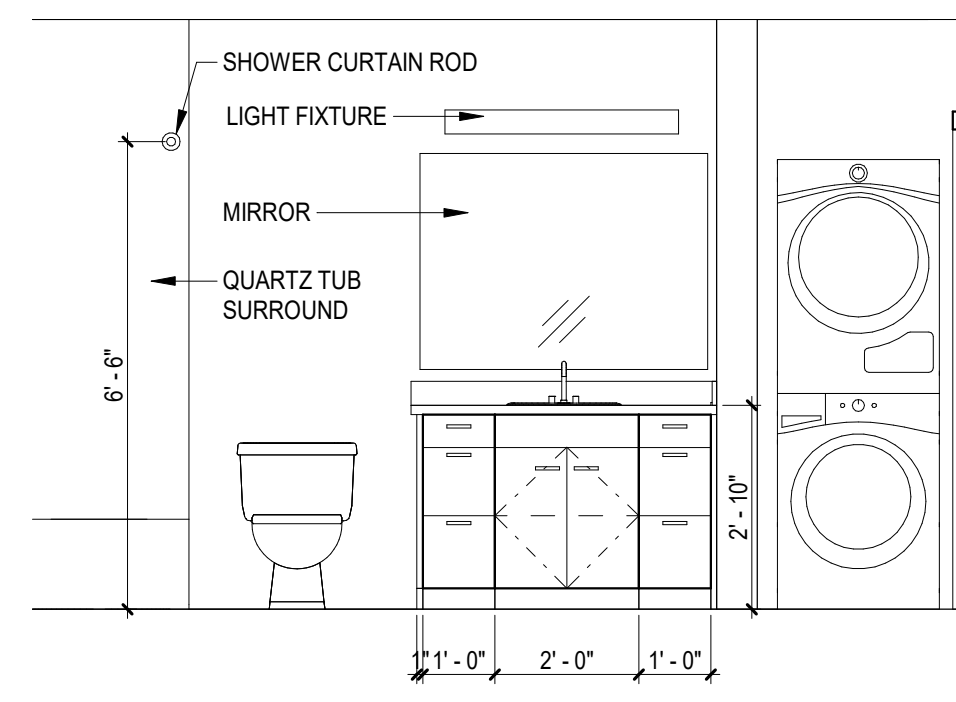
ELEVATION 11C



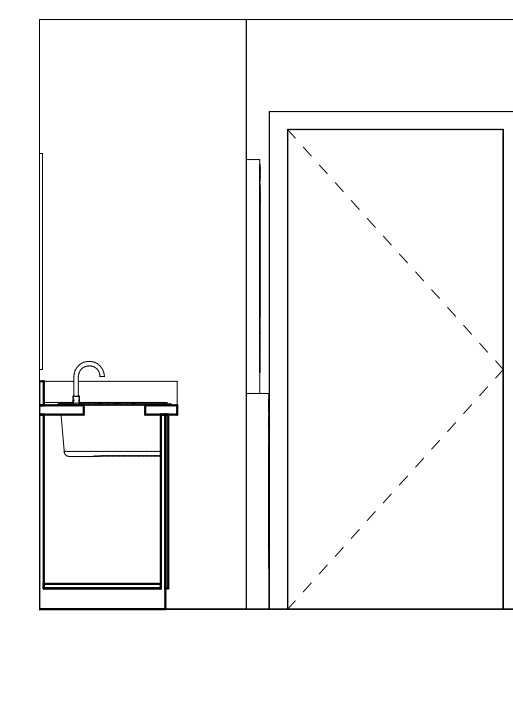
ELEVATION 11D



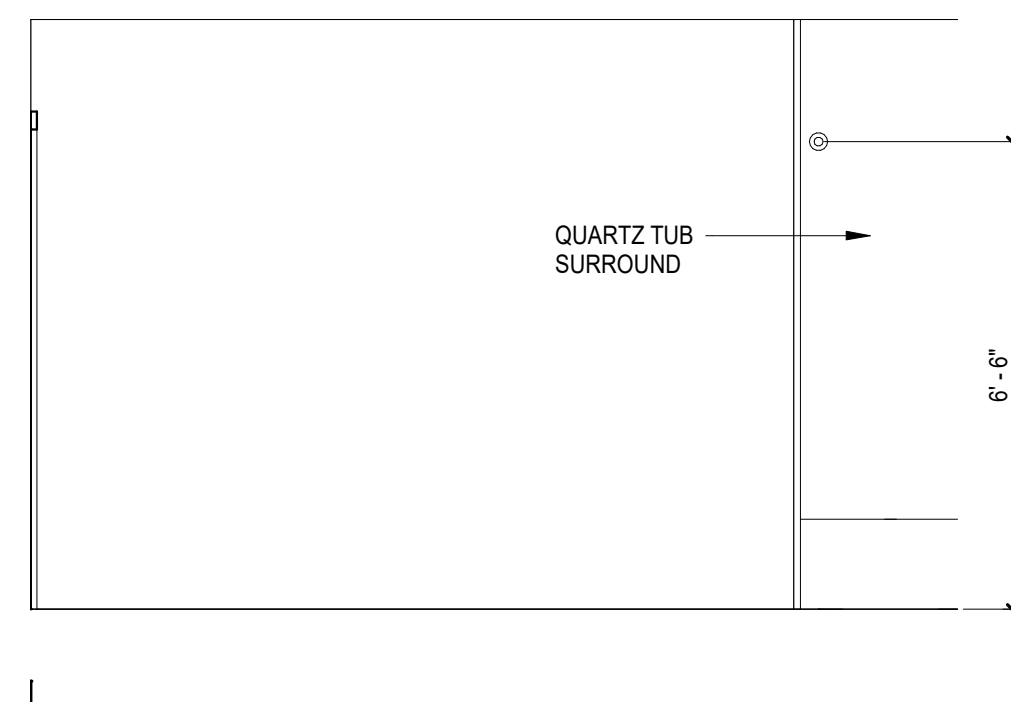
**11 BATH 11 - TYPE B**  
SCALE: 3/8" = 1'-0"



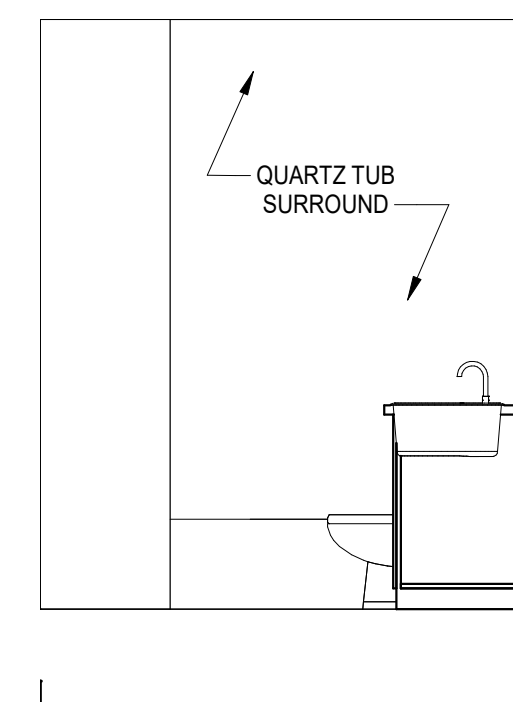
ELEVATION 12A



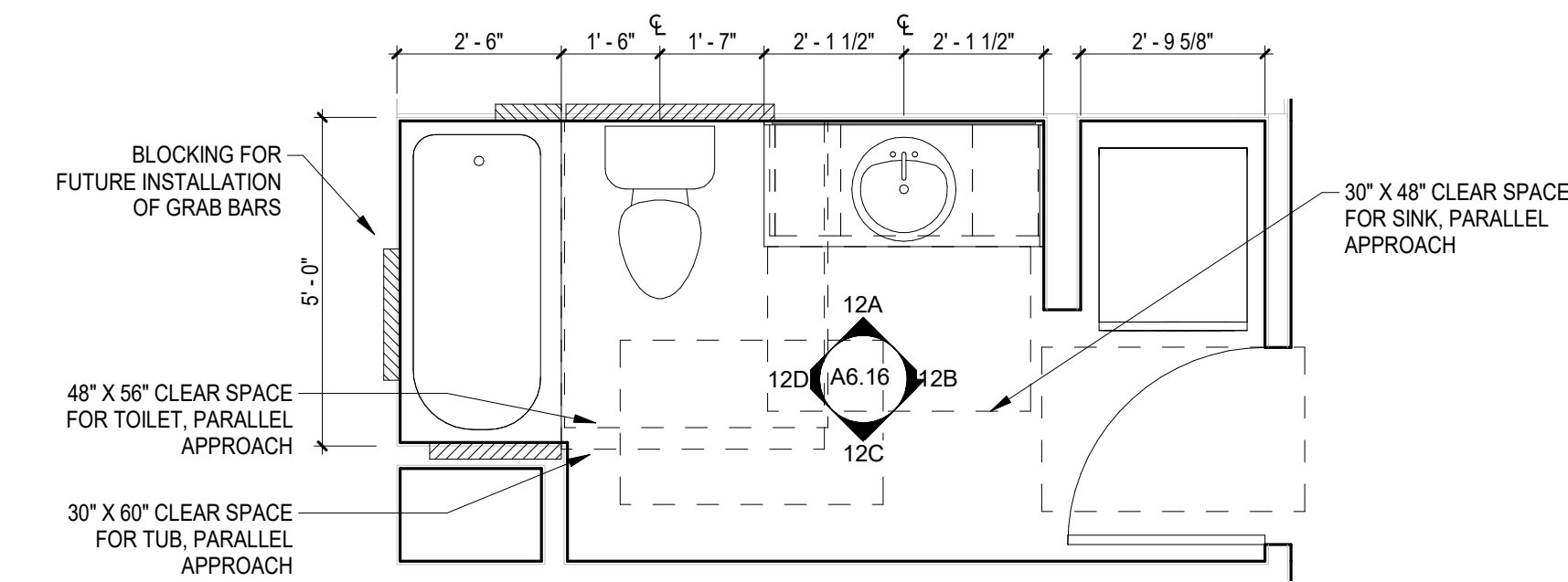
ELEVATION 12B



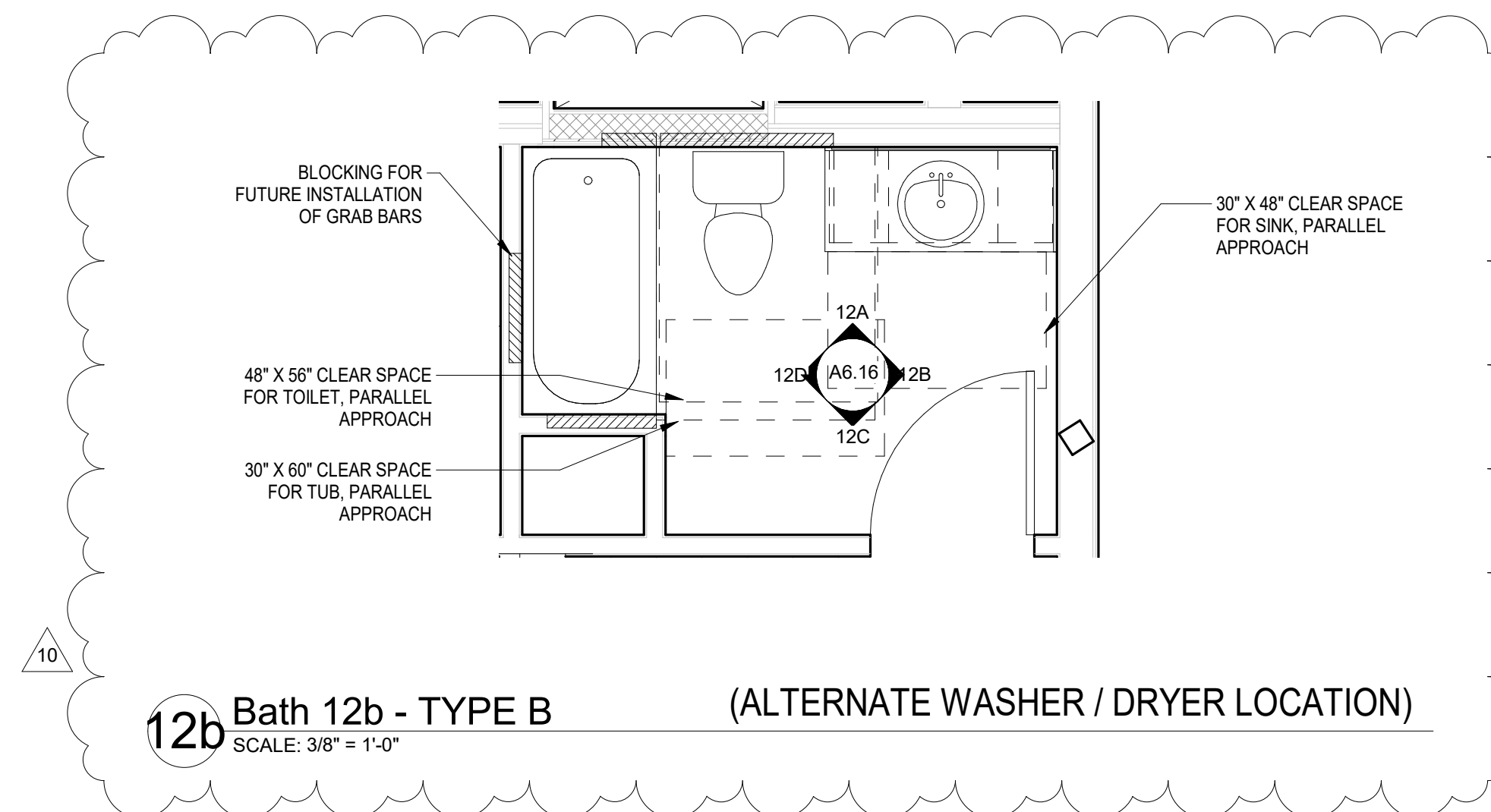
ELEVATION 12C



ELEVATION 12D



**12 BATH 12 - TYPE B**  
SCALE: 3/8" = 1'-0"



**12b Bath 12b - TYPE B**  
SCALE: 3/8" = 1'-0" (ALTERNATE WASHER / DRYER LOCATION)



NICHOLSON KOVALCHICK ARCHITECTS  
310 FIRST AVENUE SOUTH SUITE 4S  
SEATTLE, WASHINGTON 98104  
T: 206.933.1150 F: 206.933.1154  
www.nkarch.com



ISSUANCE	
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC



INTERIOR ELEVATIONS - BATHROOMS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

**A6.16**  
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ISSUANCE

NO.	DESCRIPTION	DATE
10	POST PERMIT REVISION	10/10/2018

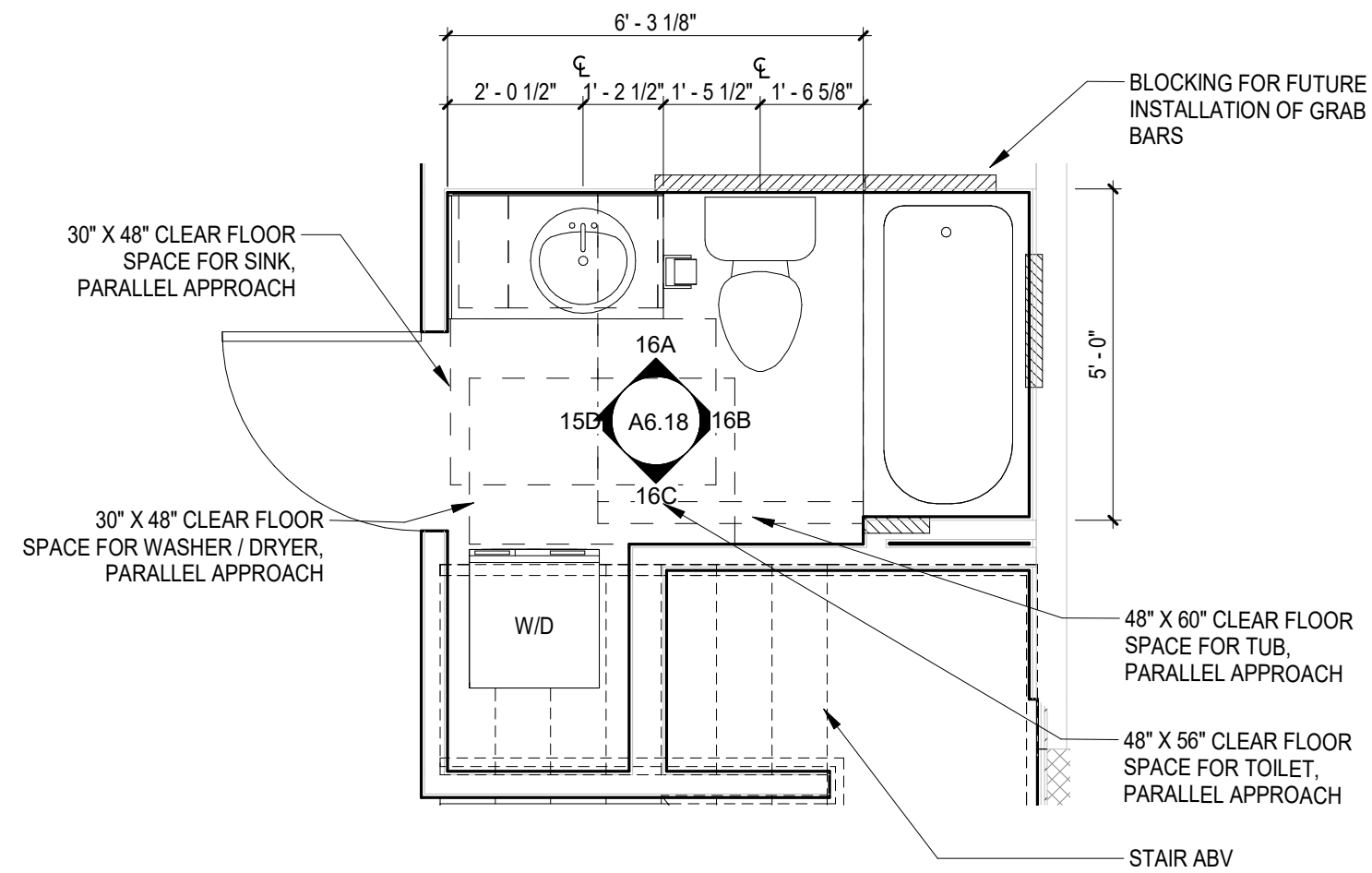
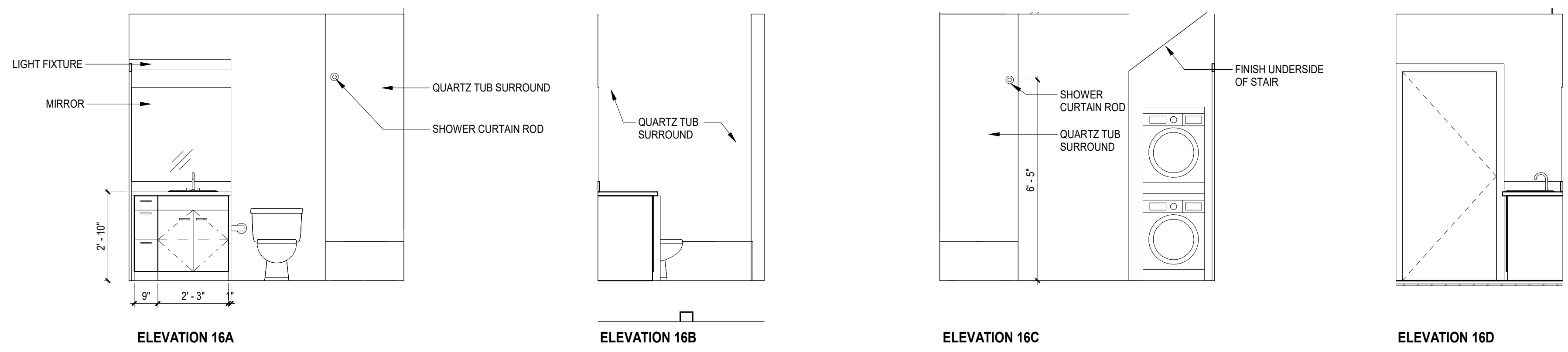
**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP



INTERIOR ELEVATIONS - BATHROOMS

PROJECT #: 16070  
DRAWN BY: AD  
CHECKED BY: BN  
FILE NAME: WALLS BELLEVUE PLACE



**1 Bath 16 - TYPE B**  
SCALE: 3/8" = 1'-0"



ISSUANCE

BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
7 BP CORRECTION #3	2/26/2018
10 POST PERMIT REVISION	10/10/2018

BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

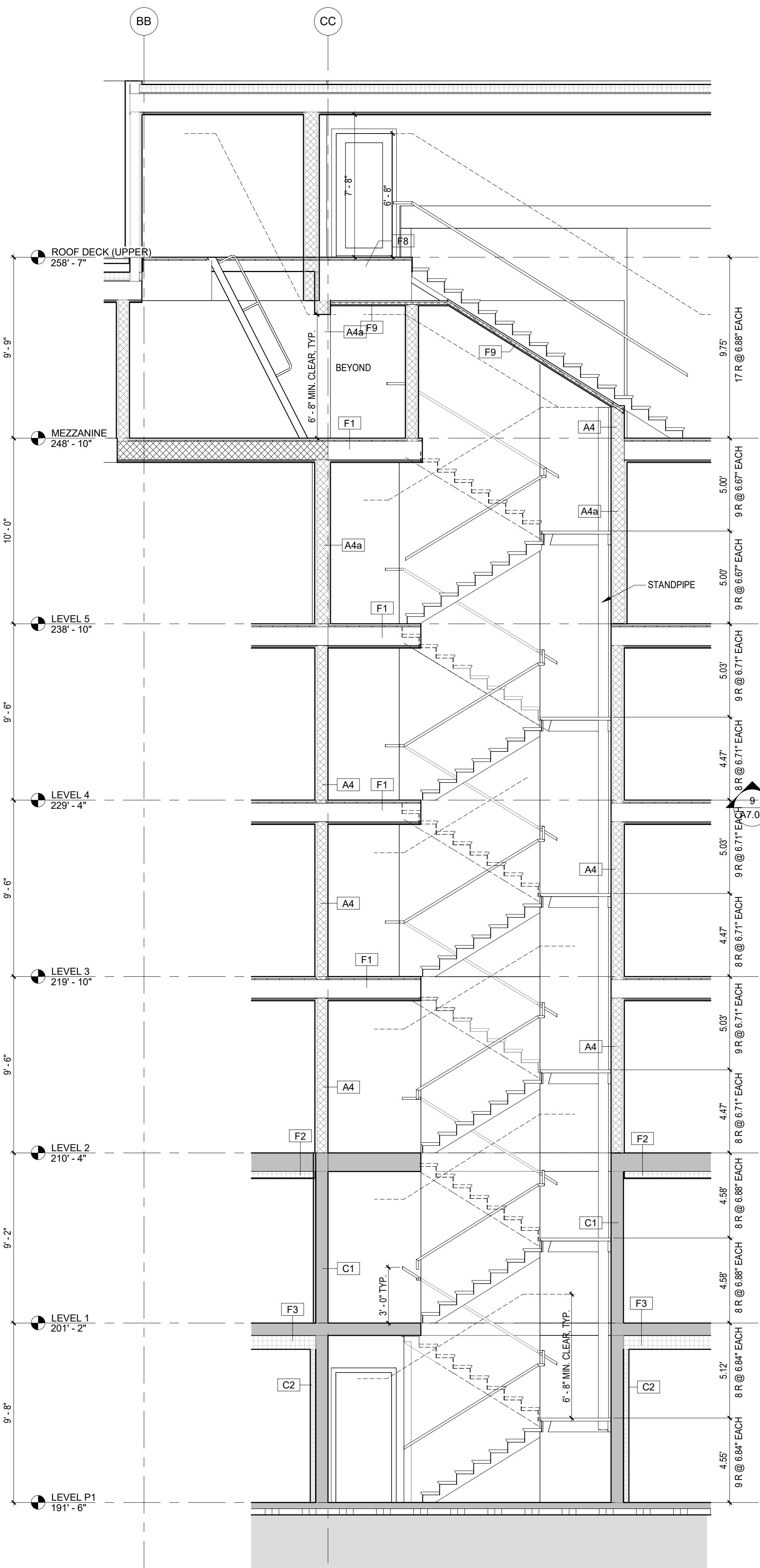
SDCI STAMP



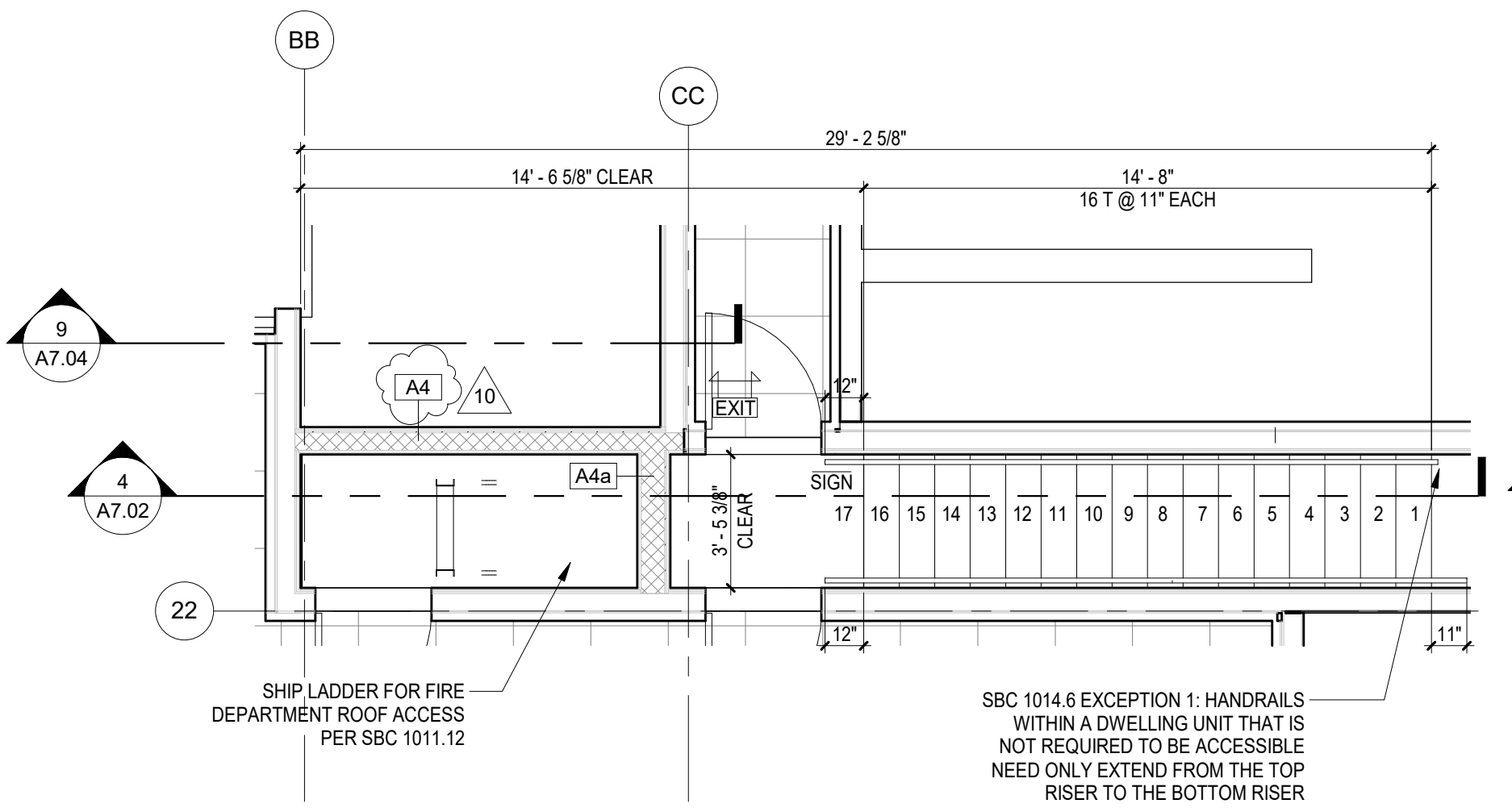
SOUTH STAIR - ENLARGED PLANS AND SECTION

PROJECT #: 16070  
DRAWN BY: BP, MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

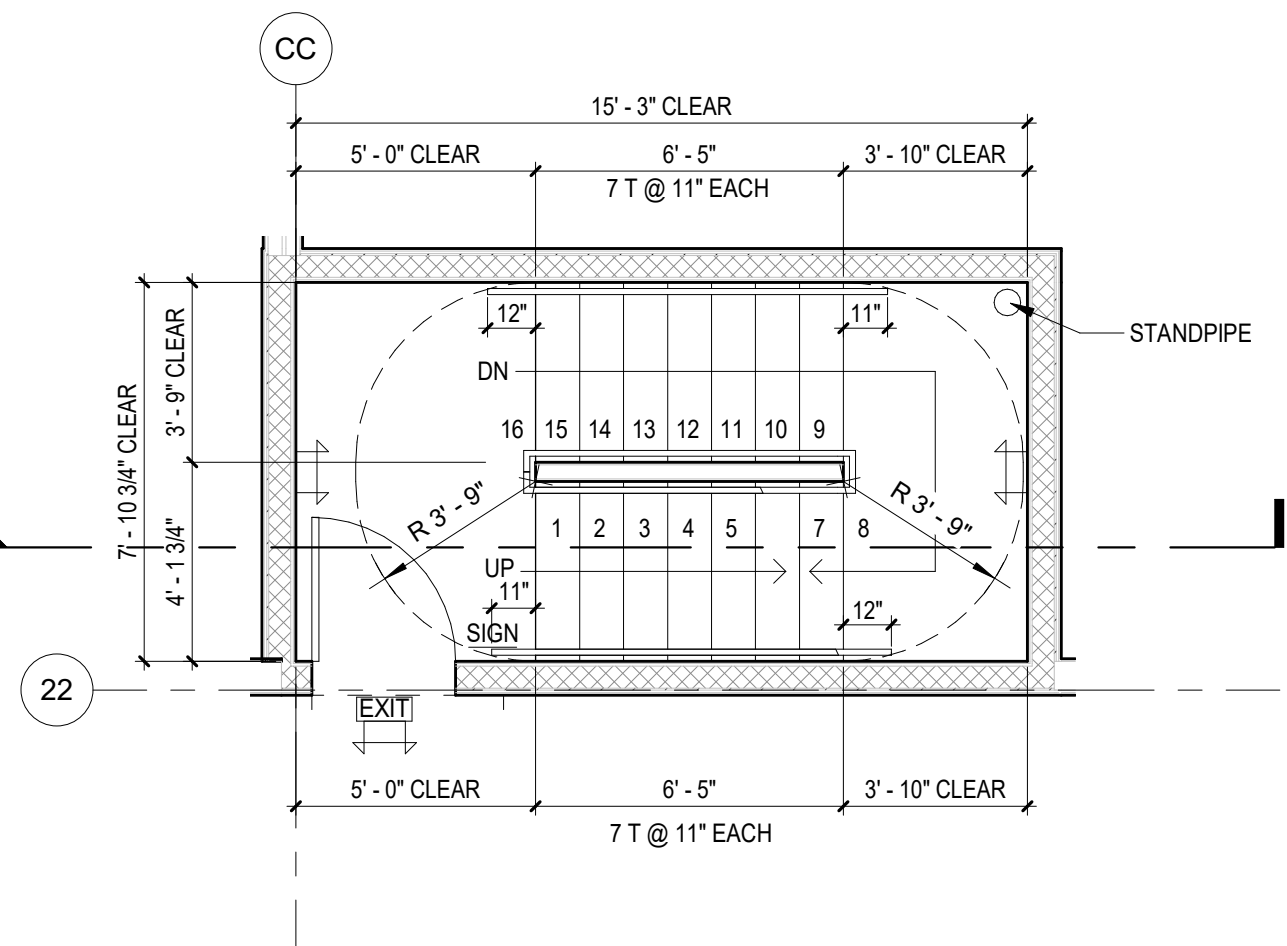
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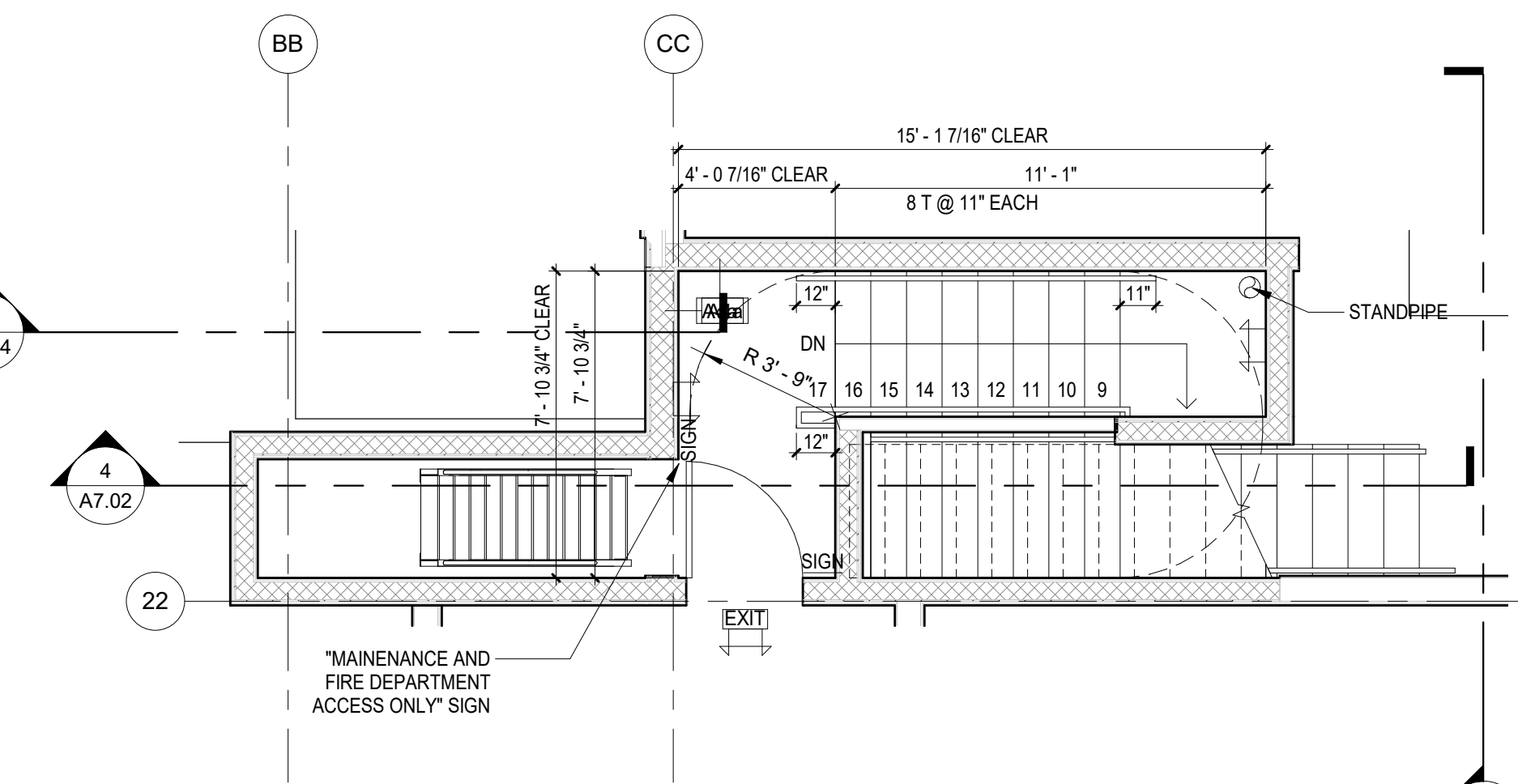
SOUTH STAIR SECTION  
SCALE: 1/4" = 1'-0"



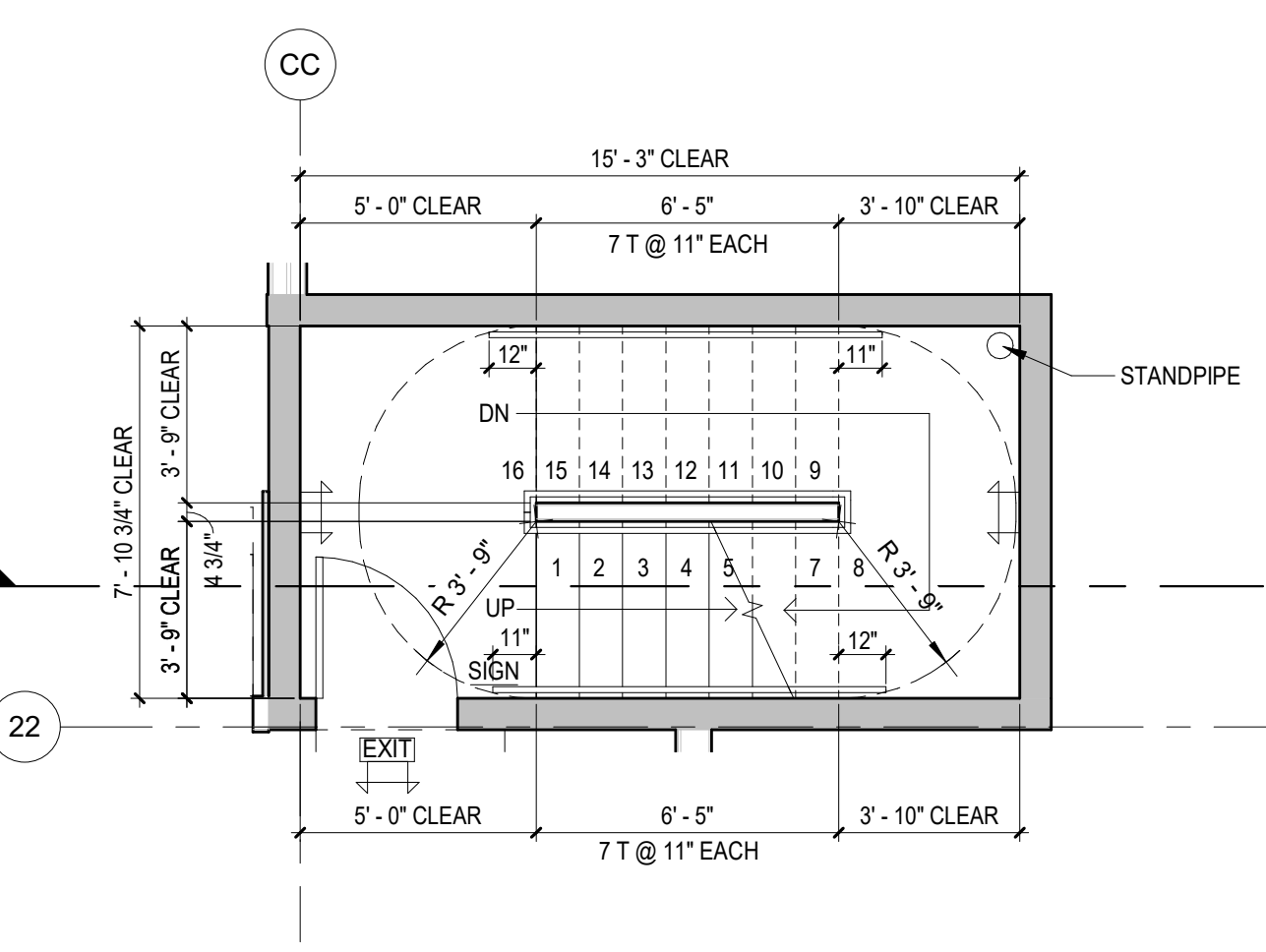
ROOF DECK - SOUTH STAIR PLAN  
SCALE: 1/4" = 1'-0"



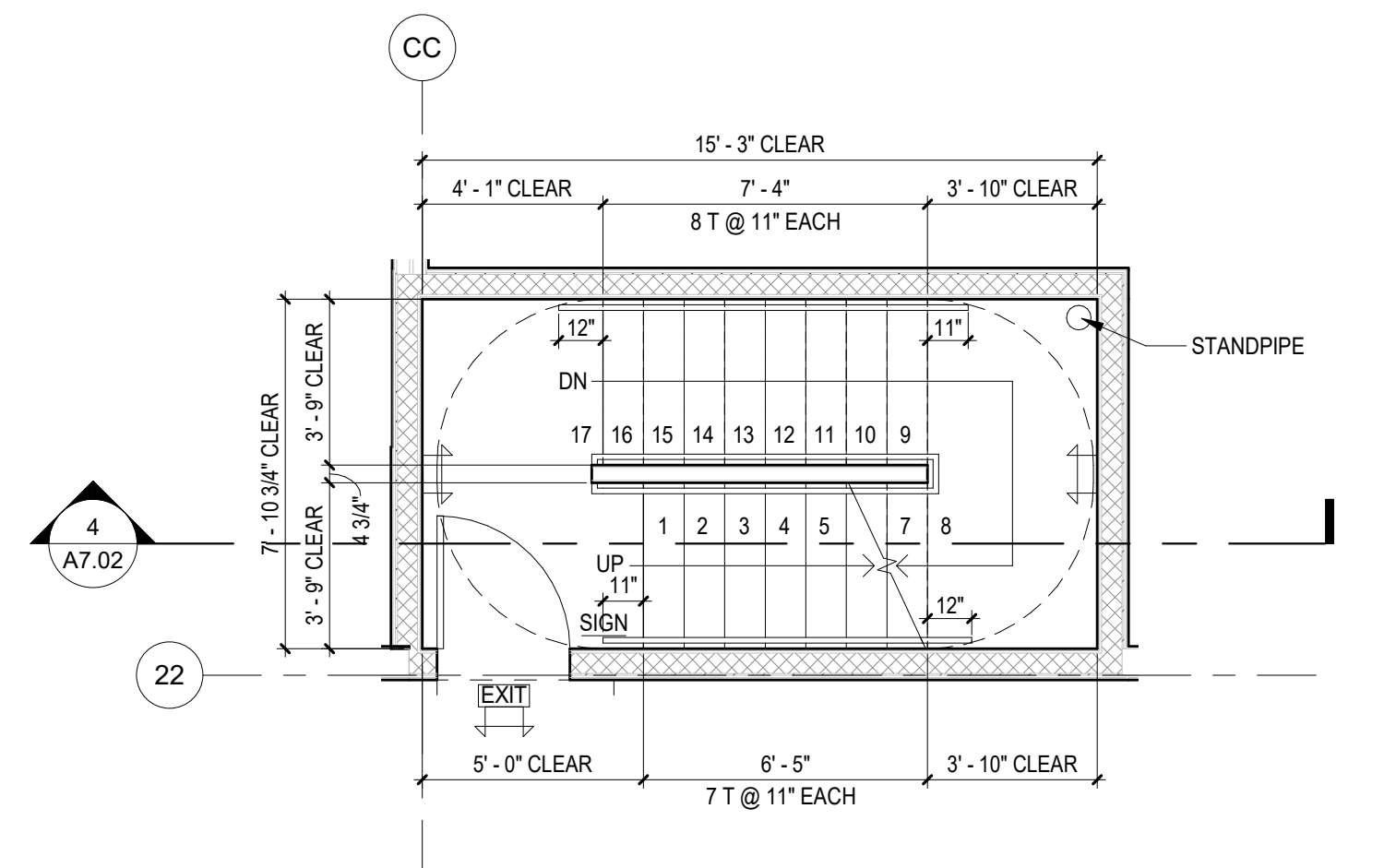
LEVEL 2 - SOUTH STAIR PLAN  
SCALE: 1/4" = 1'-0"



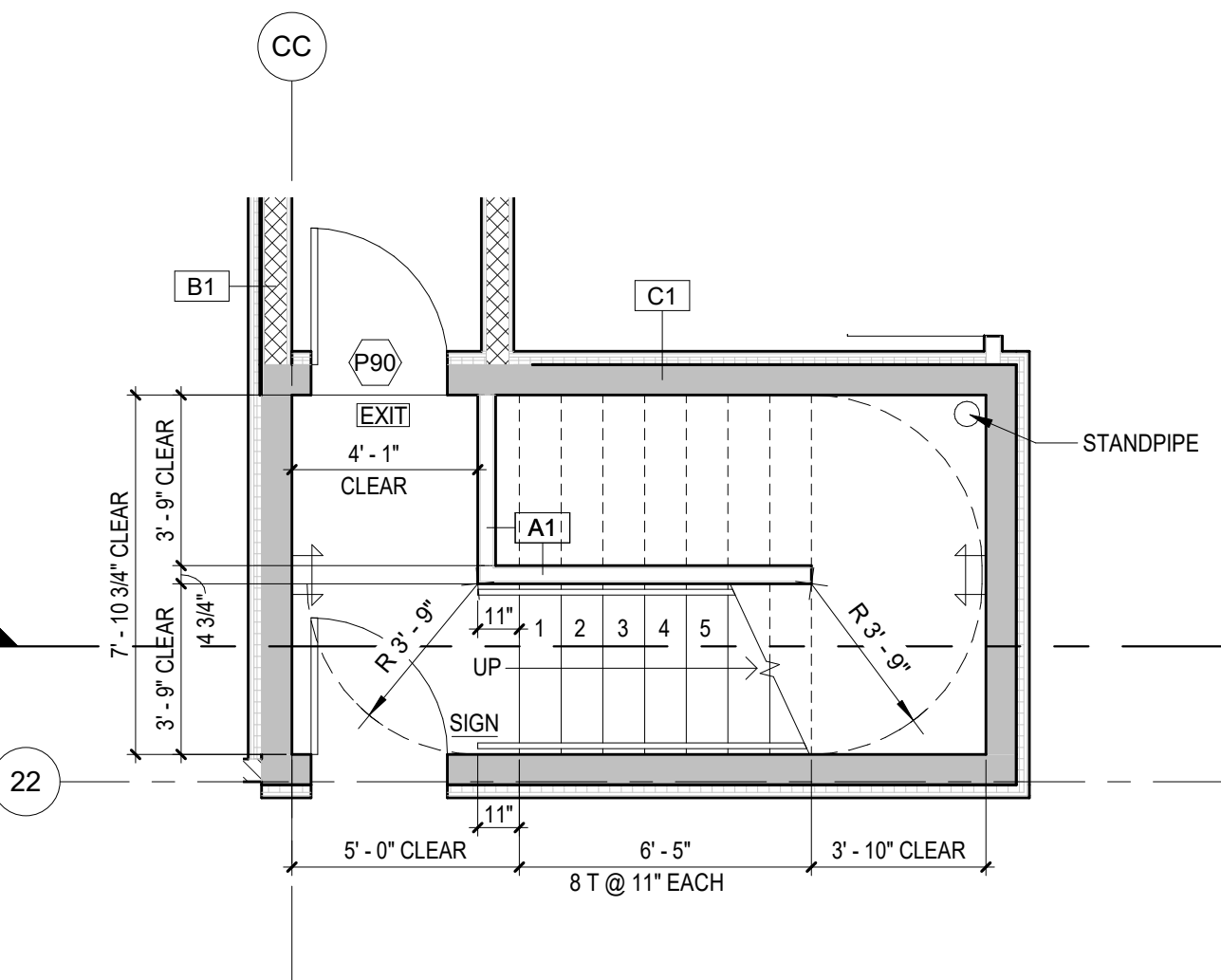
MEZZANINE - SOUTH STAIR PLAN  
SCALE: 1/4" = 1'-0"



LEVEL 1 - SOUTH STAIR PLAN  
SCALE: 1/4" = 1'-0"



LEVEL 3-5 - SOUTH STAIR PLAN  
SCALE: 1/4" = 1'-0"



LEVEL P1 - SOUTH STAIR  
SCALE: 1/4" = 1'-0"

ISSUANCE		
85% SET		9/25/2017
5 BP CORRECTION #2		12/06/17
10 POST PERMIT REVISION		10/10/2018

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

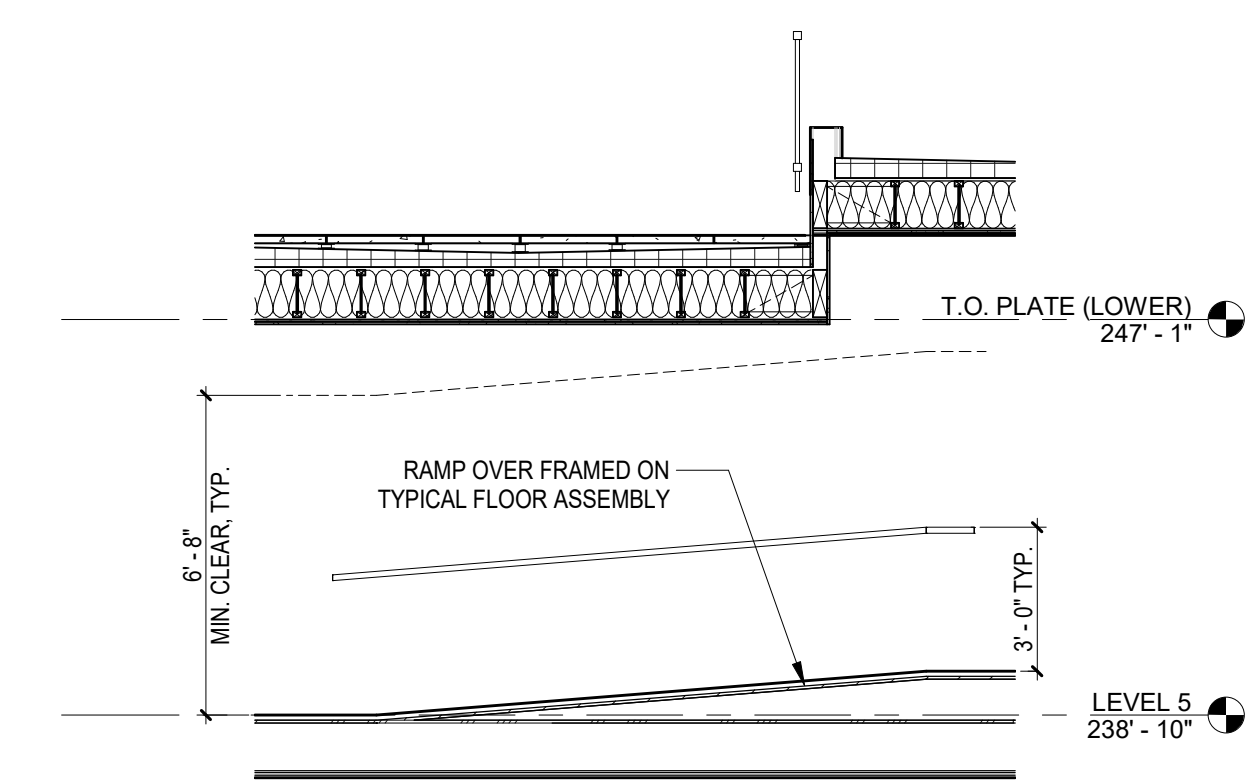
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THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION &  
INSPECTIONS  
**APPROVED**  
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11/22/2019

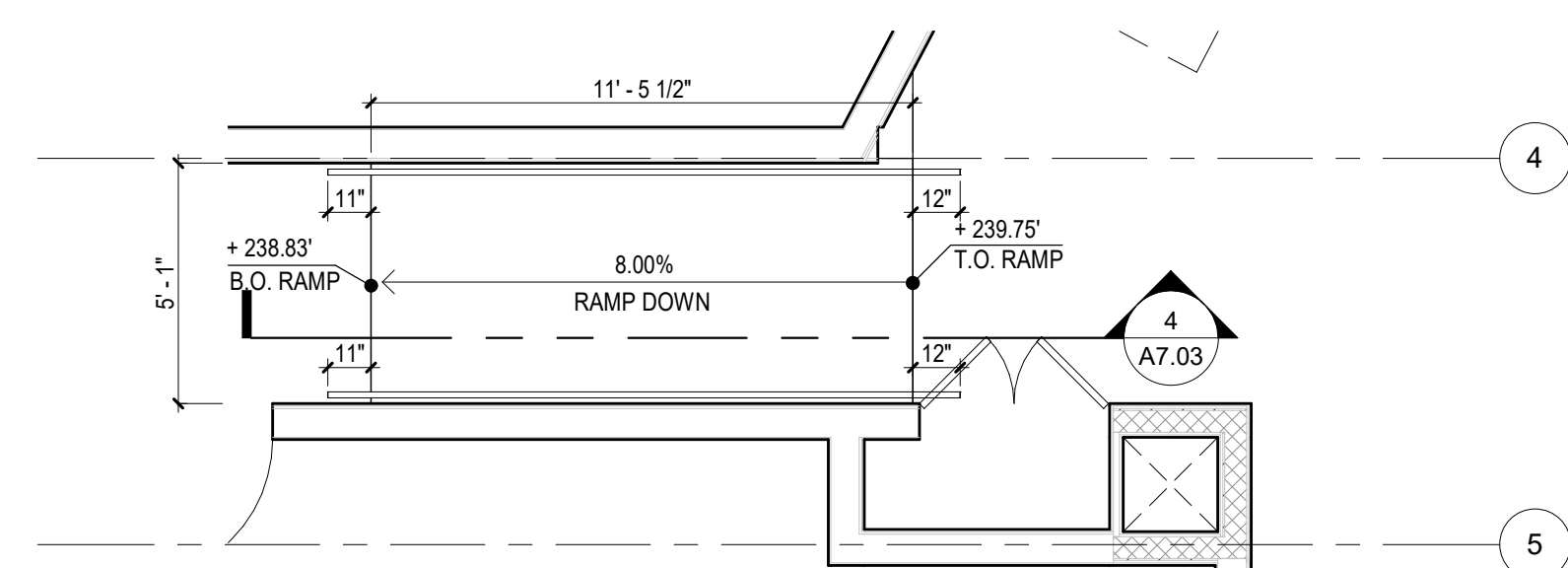
### ADDITIONAL STAIR PLANS AND SECTIONS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY:  
FILE NAME: WALLS BELLEVUE PLACE

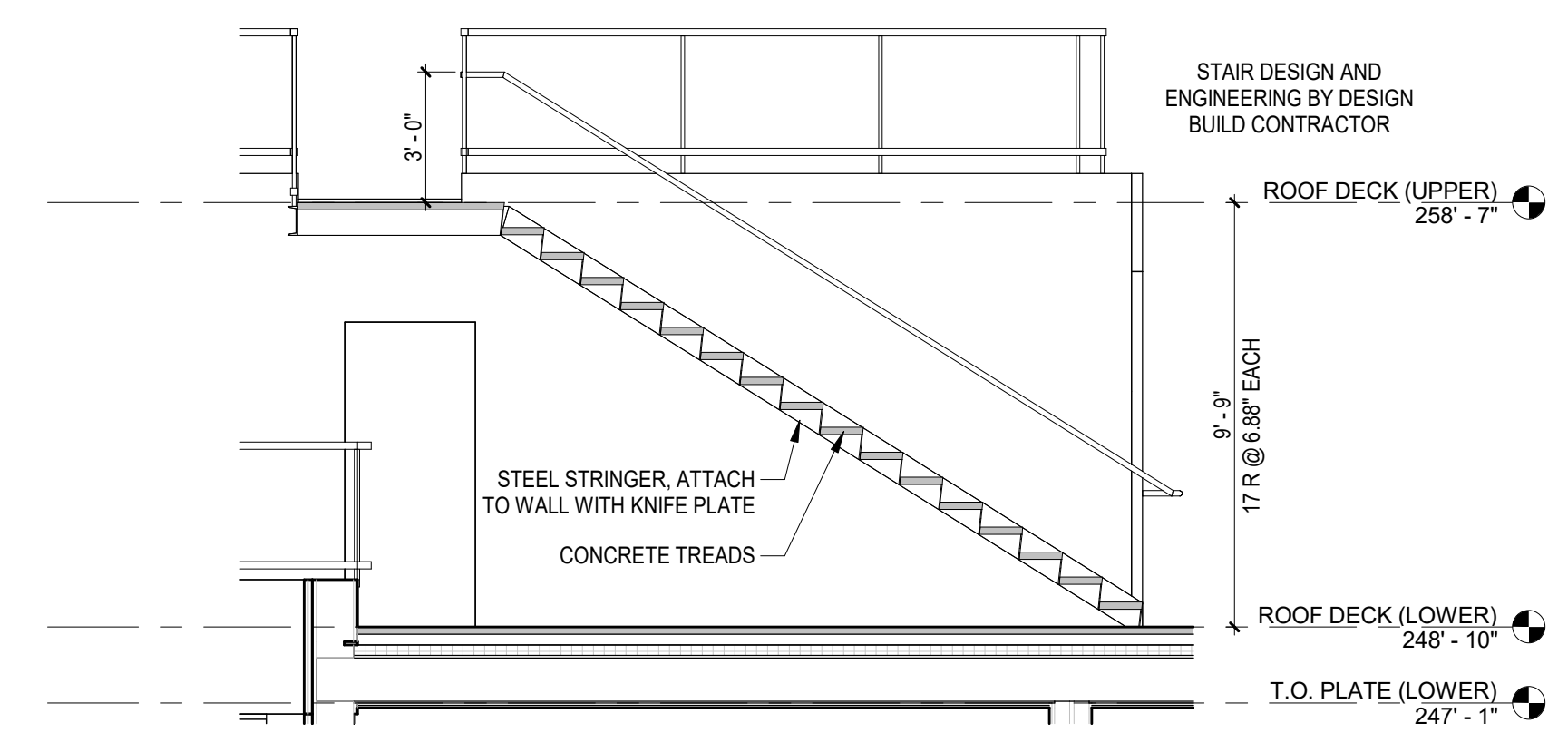
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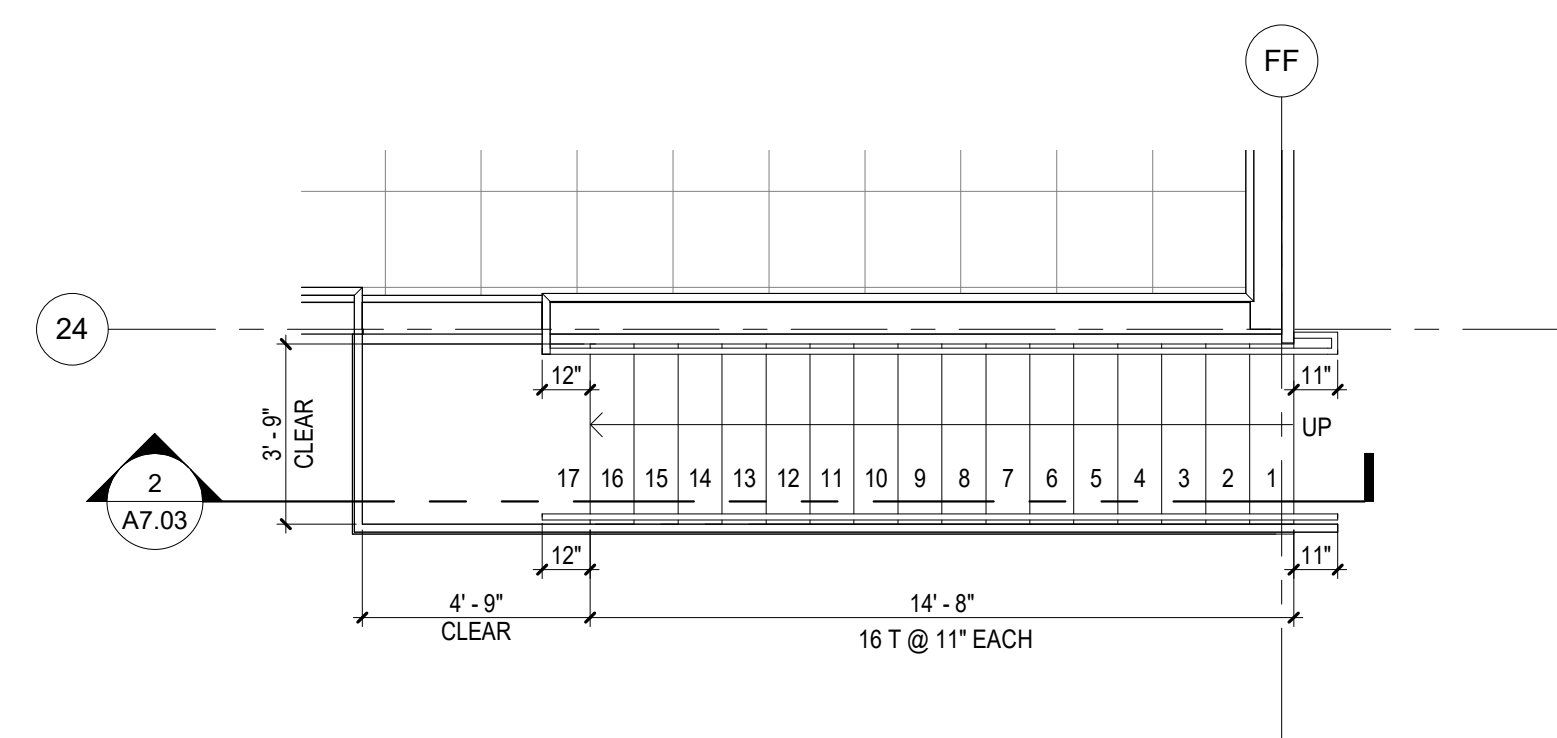
4 LEVEL 5 LOBBY RAMP - SECTION  
SCALE: 1/4" = 1'-0"



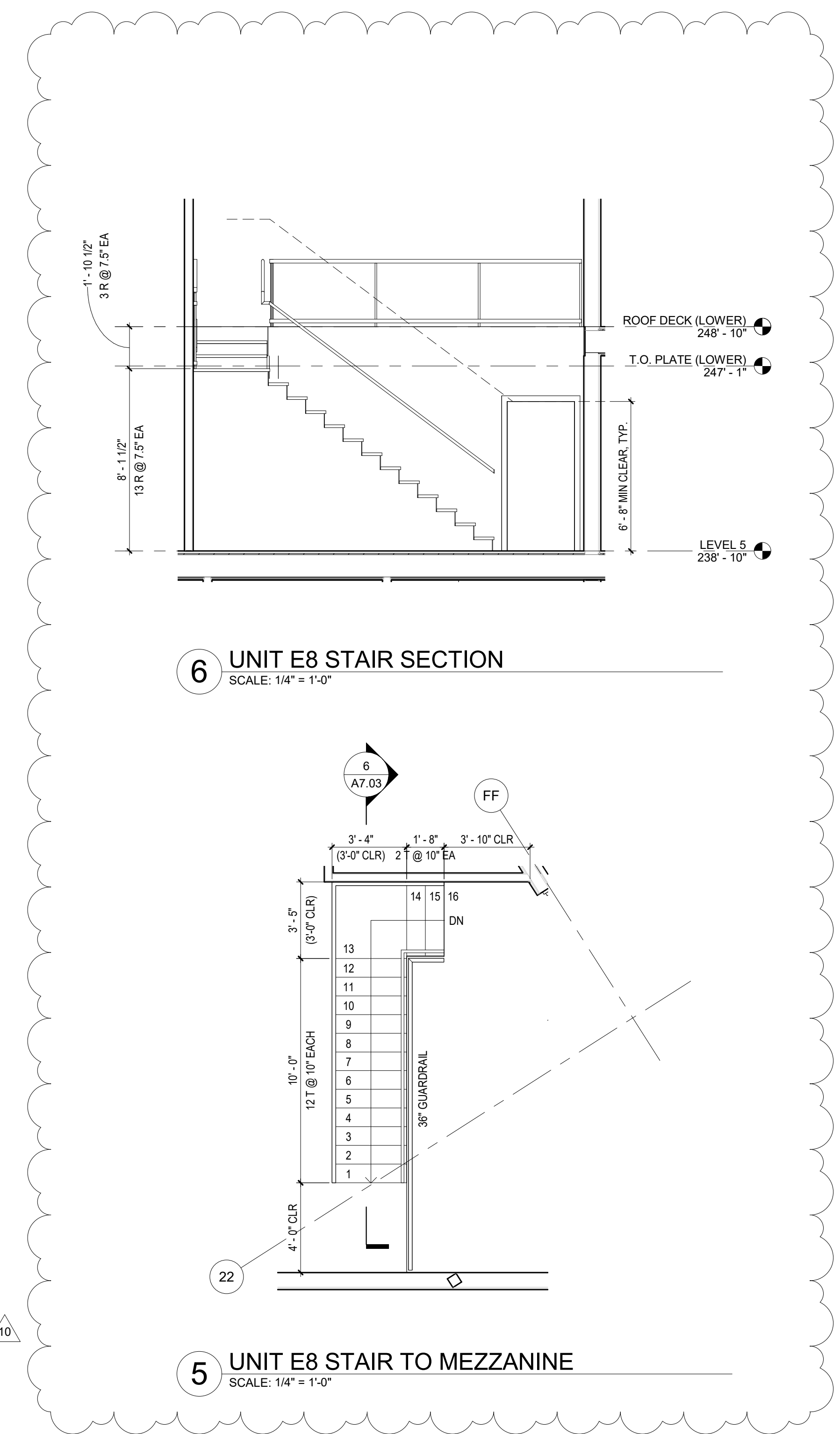
3 LEVEL 5 LOBBY RAMP  
SCALE: 1/4" = 1'-0"



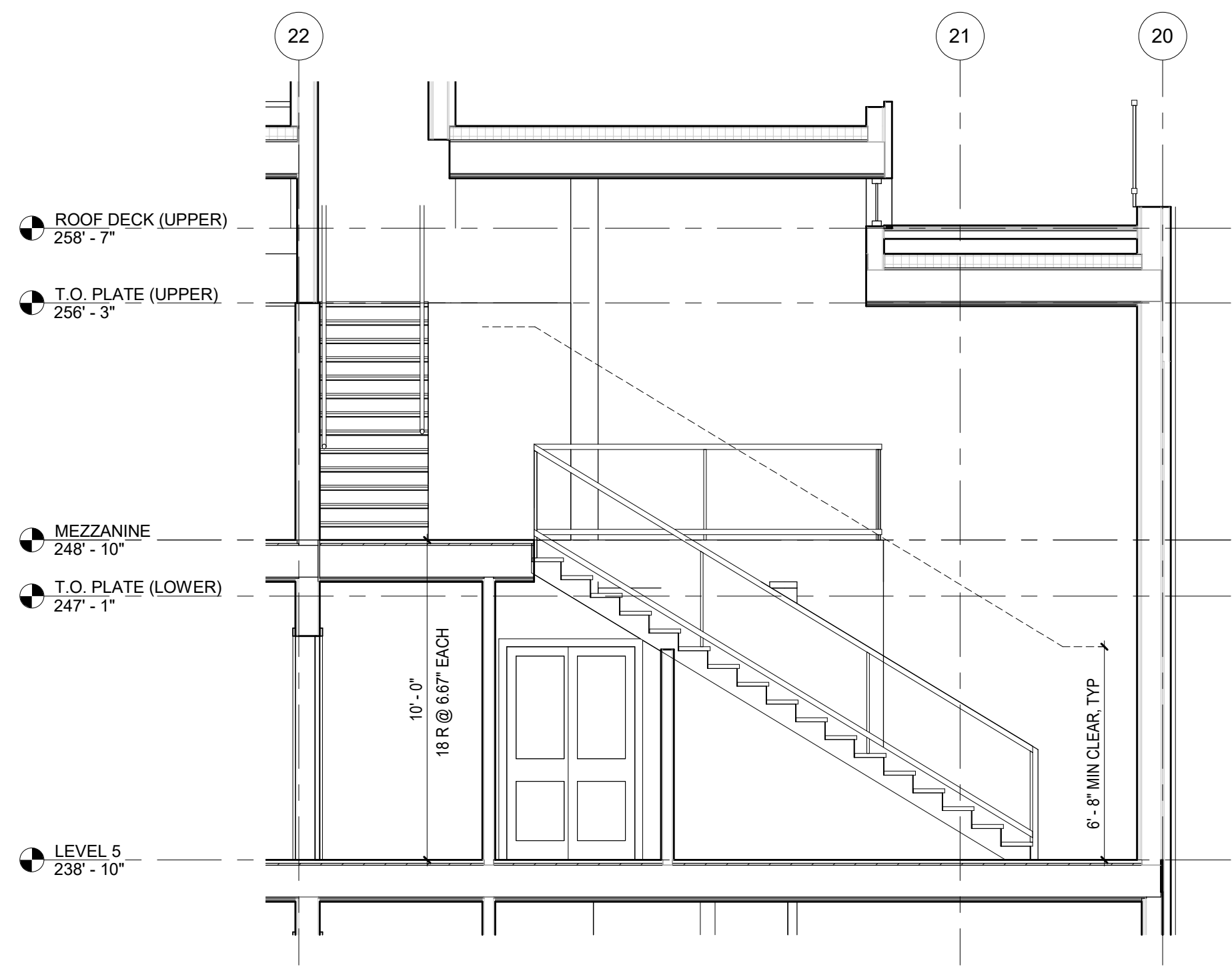
2 PENTHOUSE ROOF DECK STAIR  
SCALE: 1/4" = 1'-0"



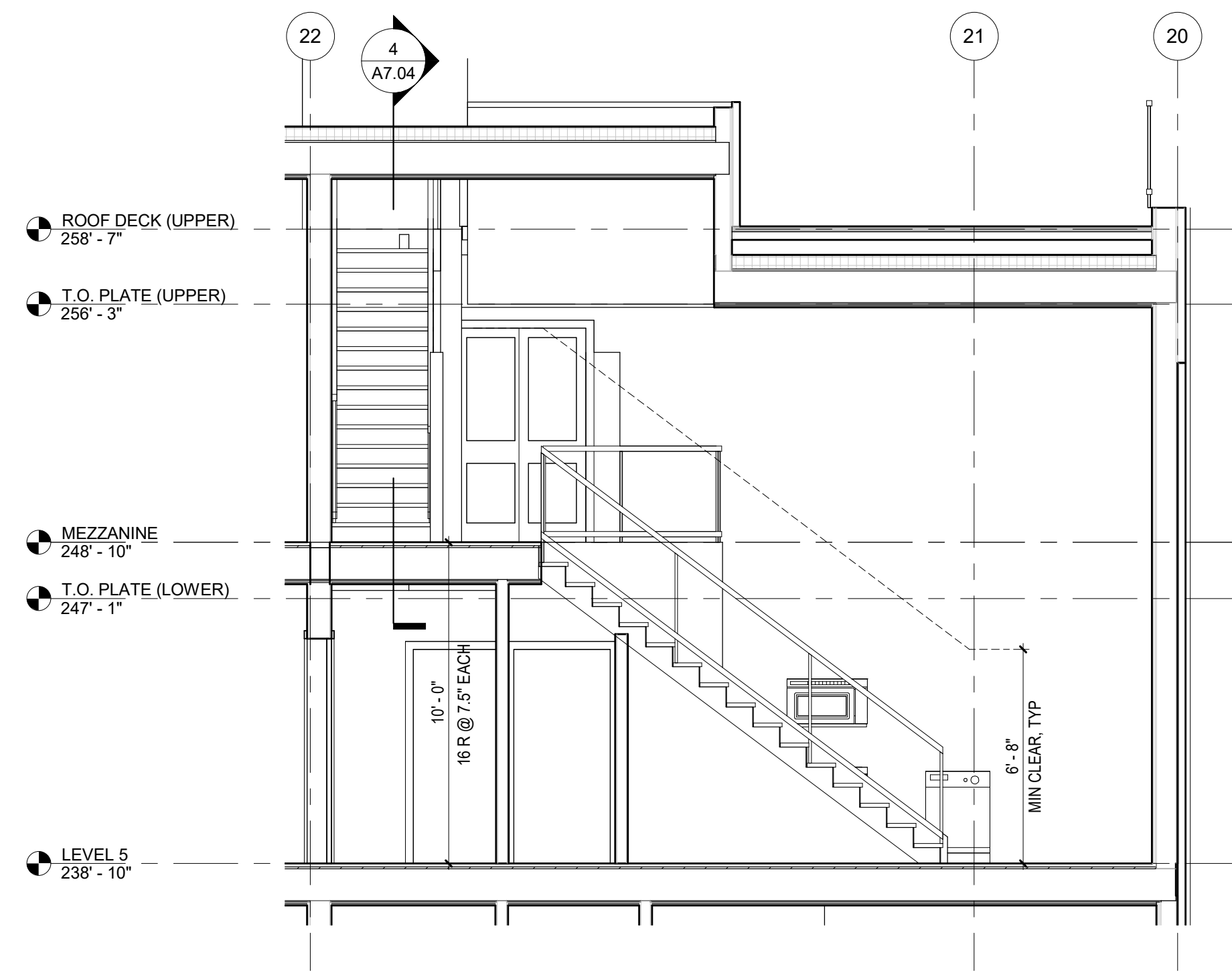
1 PENTHOUSE ROOF DECK STAIR  
SCALE: 1/4" = 1'-0"



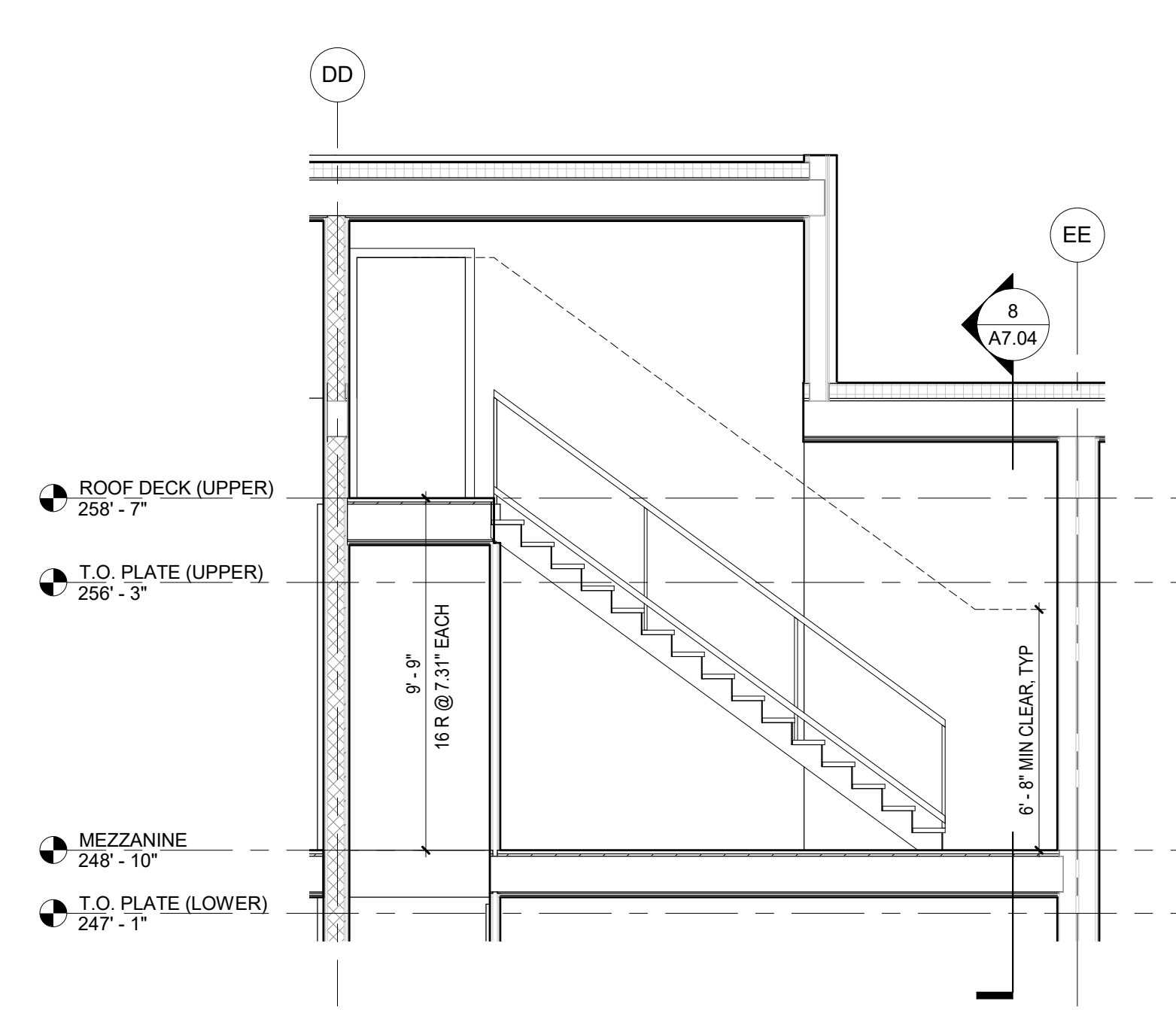




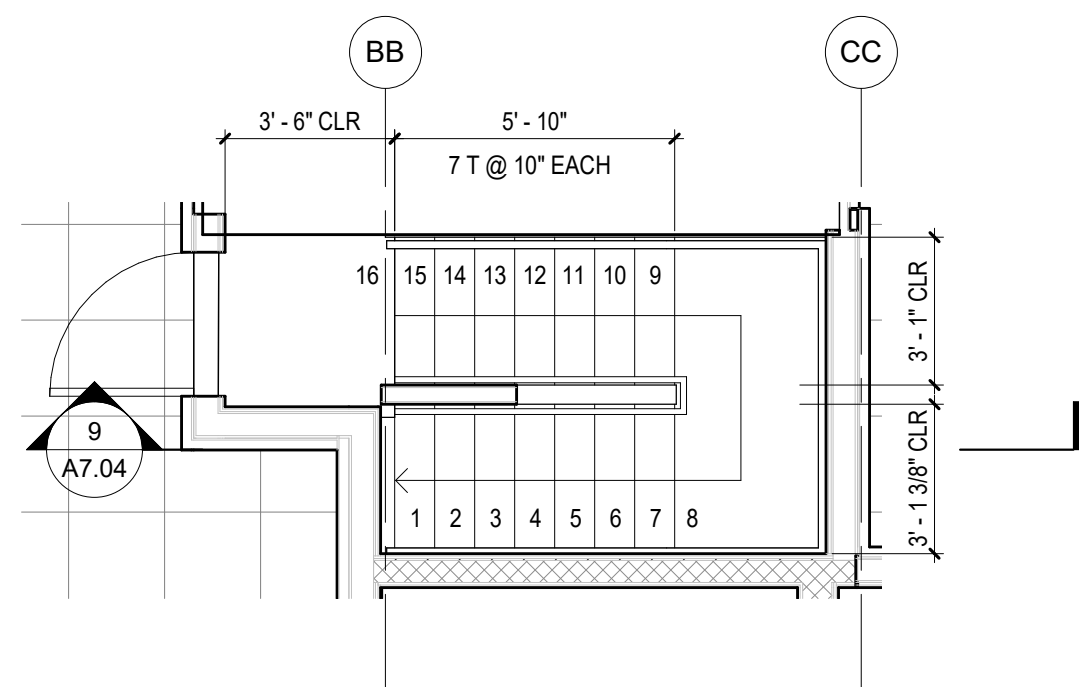
**10** UNIT B5 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



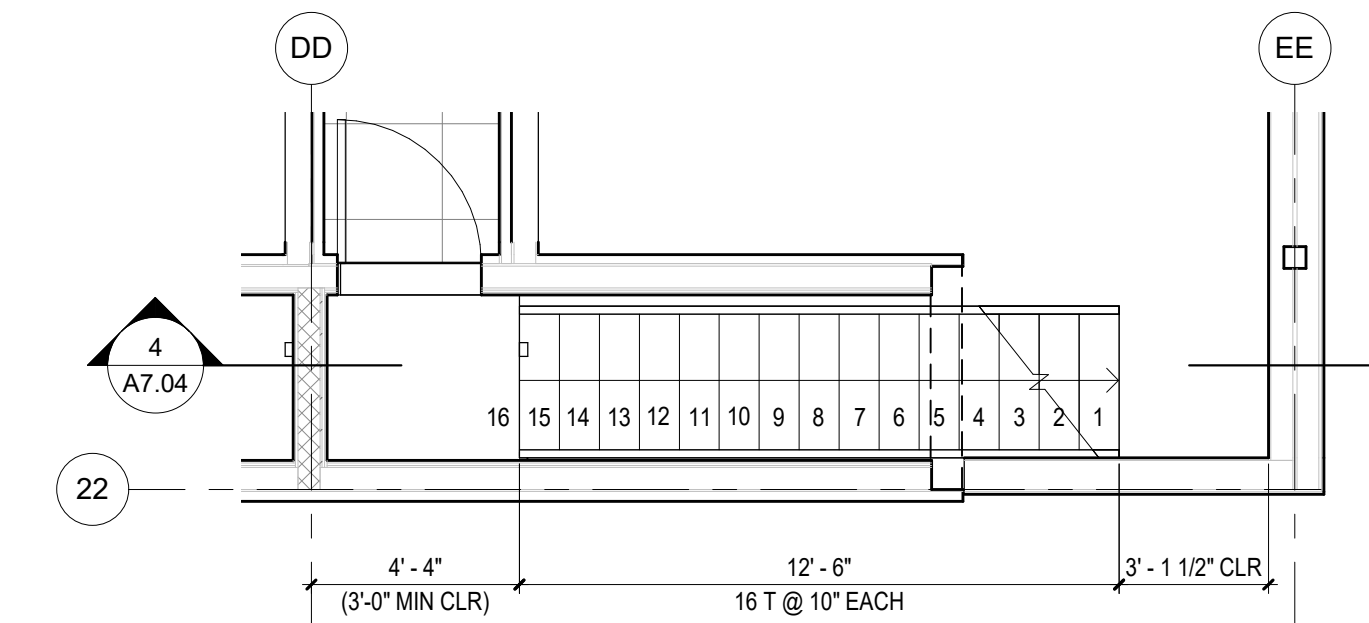
**8** UNIT B4 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



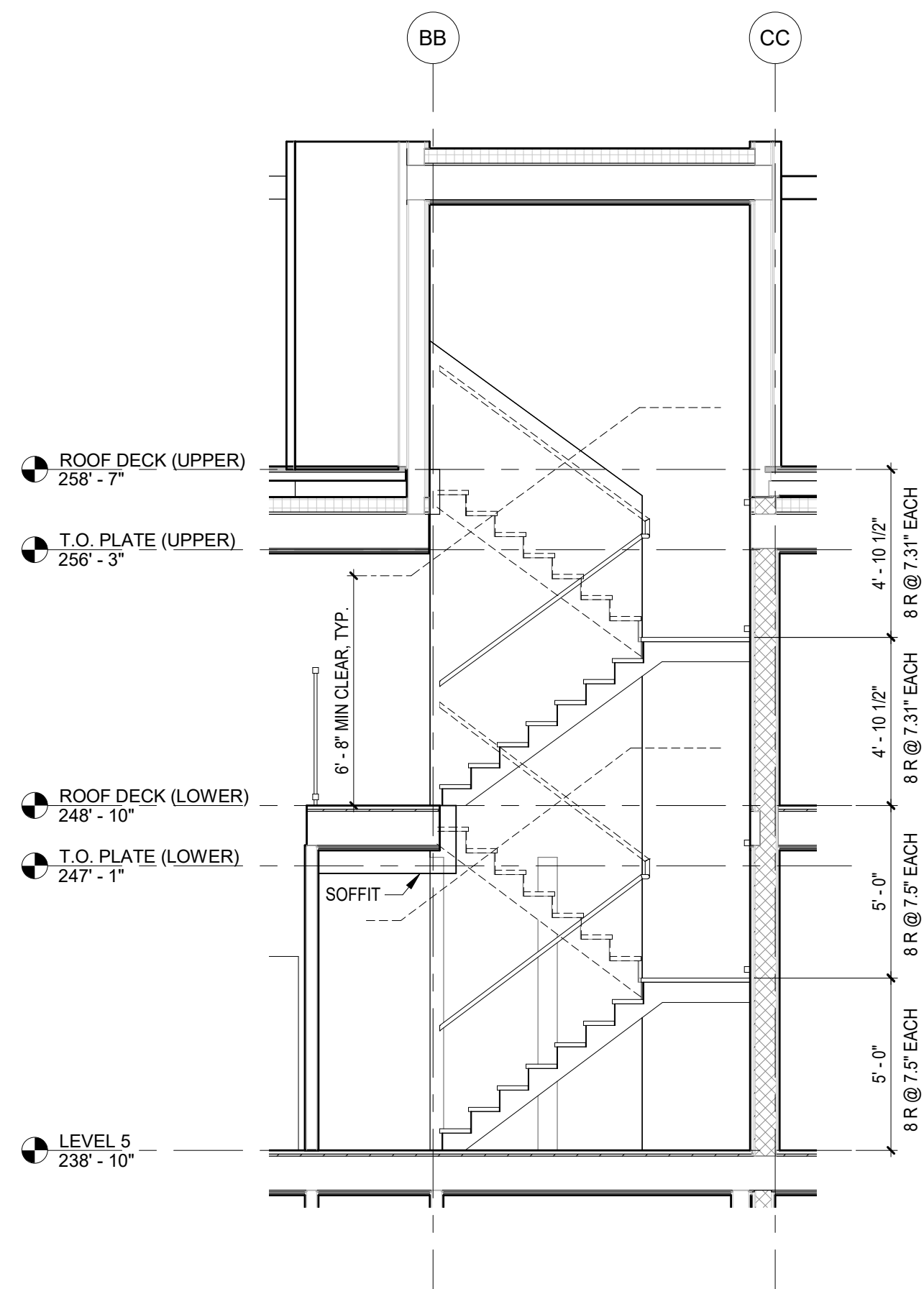
**4** UNIT B4 STAIR TO ROOF DECK  
SCALE: 1/4" = 1'-0"



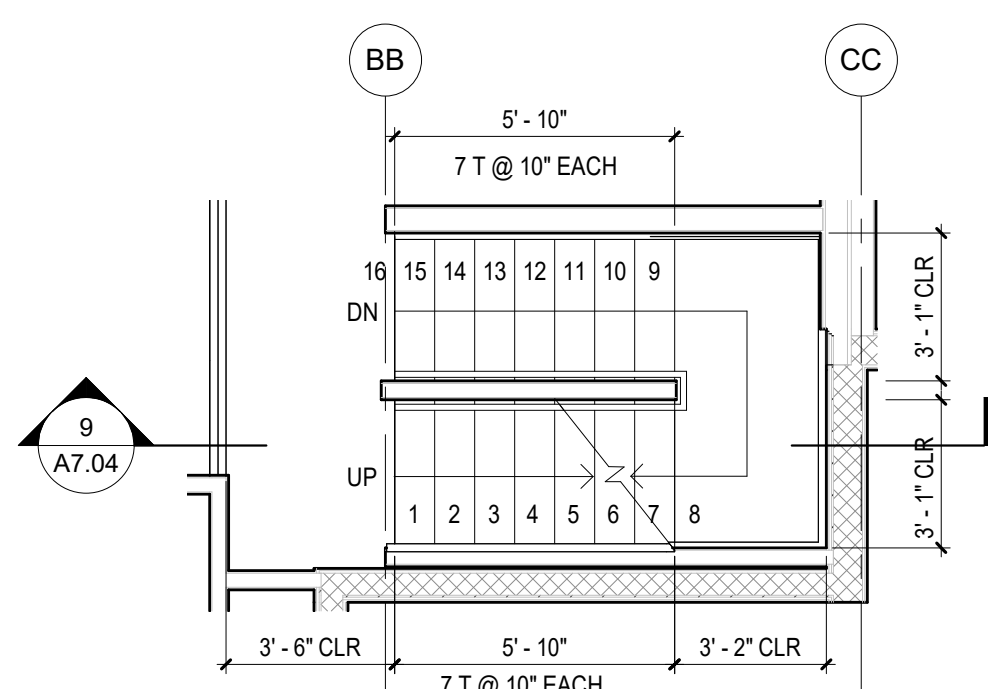
**9** UNIT A7.04 STAIR TO ROOF DECK  
SCALE: 1/4" = 1'-0"



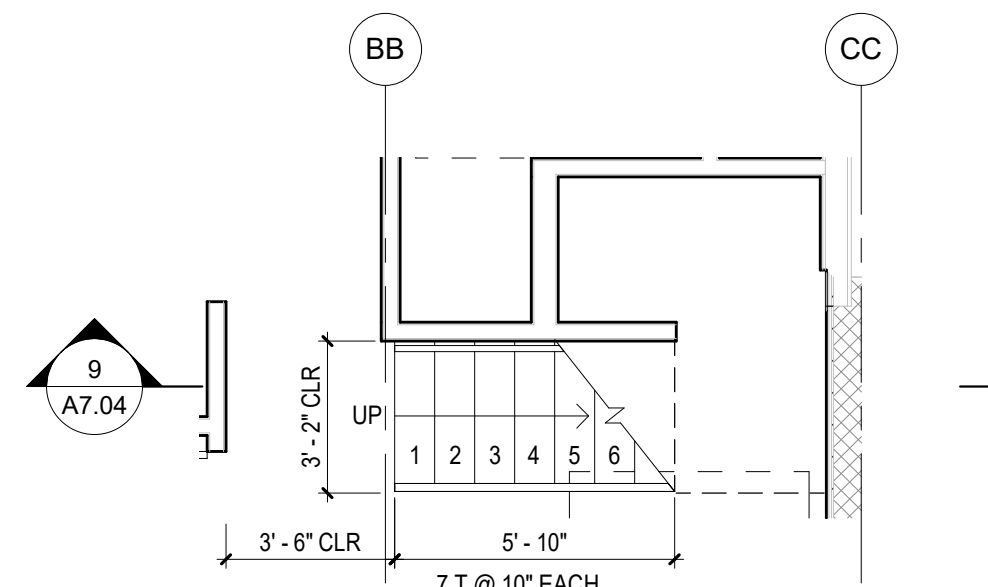
**3** UNIT B4 STAIR TO ROOF DECK  
SCALE: 1/4" = 1'-0"



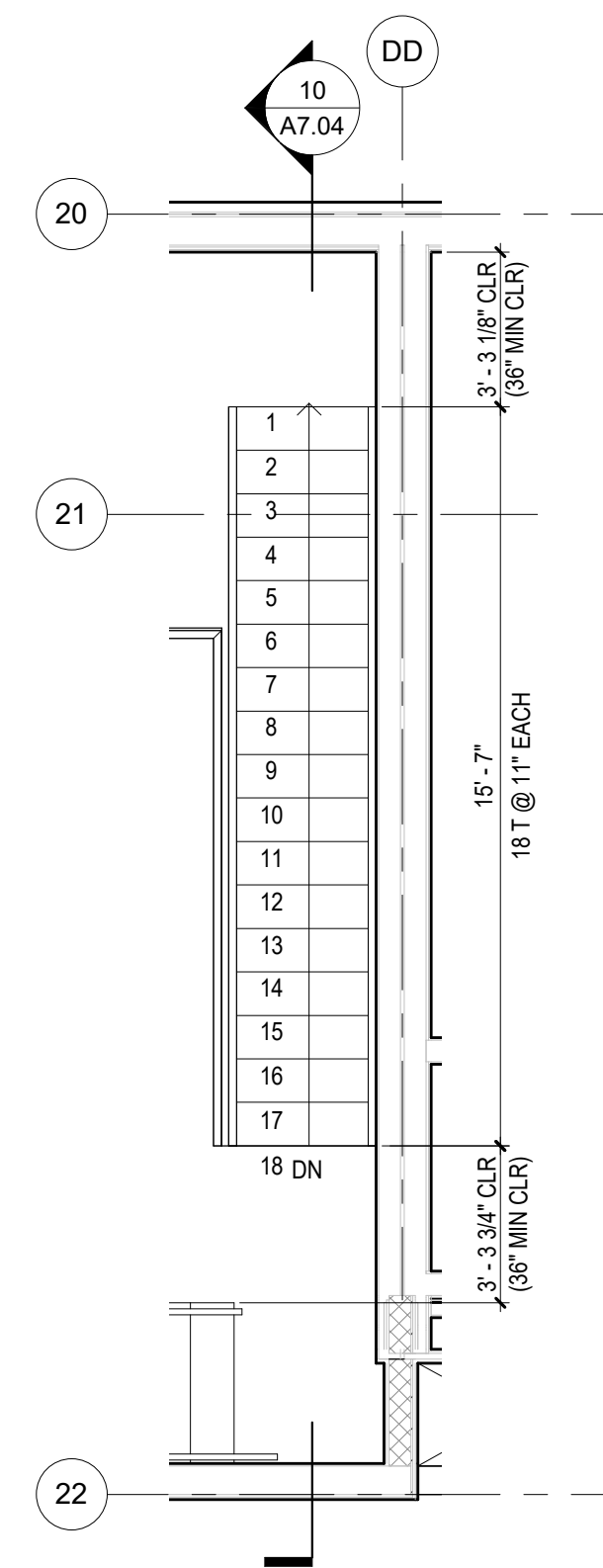
**9** UNIT E7 STAIR SECTION  
SCALE: 1/4" = 1'-0"



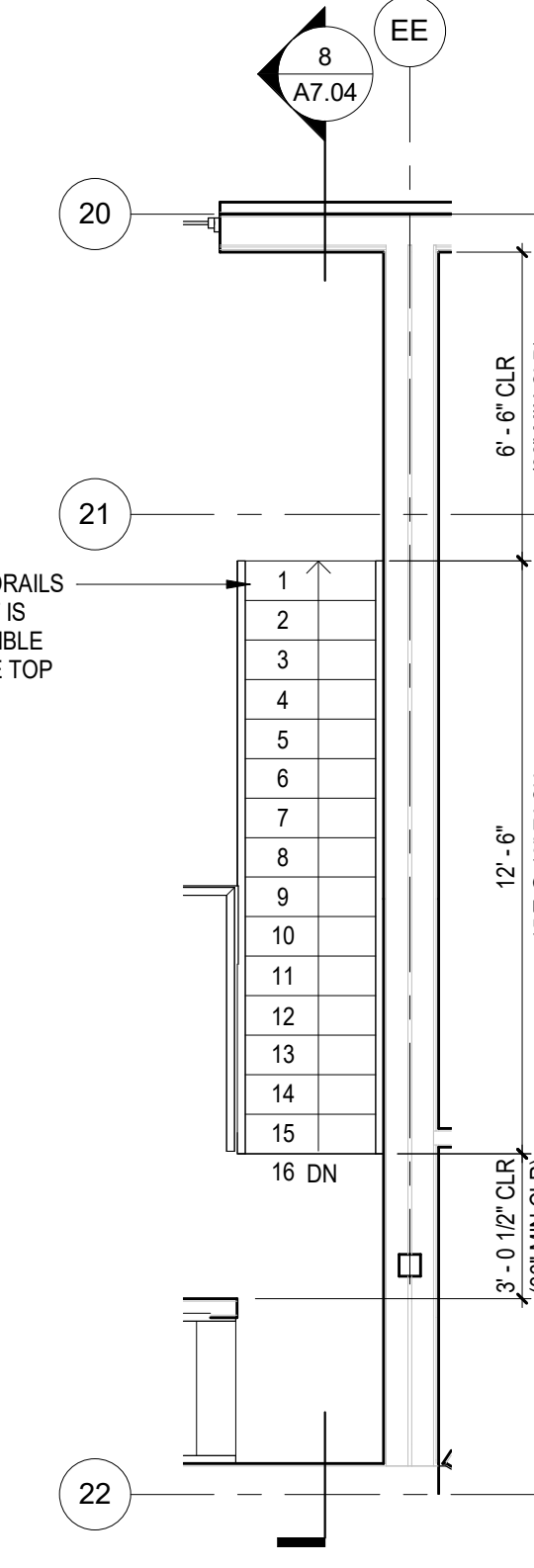
**7** UNIT E7 STAIR TO ROOF DECK  
SCALE: 1/4" = 1'-0"



**5** UNIT E7 STAIR - L5  
SCALE: 1/4" = 1'-0"



**2** UNIT B5 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



**1** UNIT B4 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"

SBC 1014.6 EXCEPTION 1: HANDRAILS WITHIN A DWELLING UNIT THAT IS NOT REQUIRED TO BE ACCESSIBLE NEED ONLY EXTEND FROM THE TOP RISER TO THE BOTTOM RISER

ISSUANCE

NO.	DESCRIPTION	DATE
10	POST PERMIT REVISION	10/10/2018

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP  
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11/22/2019

ADDITIONAL STAIR PLANS AND SECTIONS


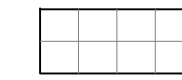
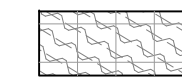
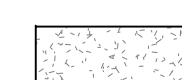


PROJECT #: 16070  
DRAWN BY: AD  
CHECKED BY: BN  
FILE NAME: WALLS BELLEVUE PLACE

**A7.04**

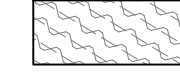



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10/29/2018 1:35:52 PM

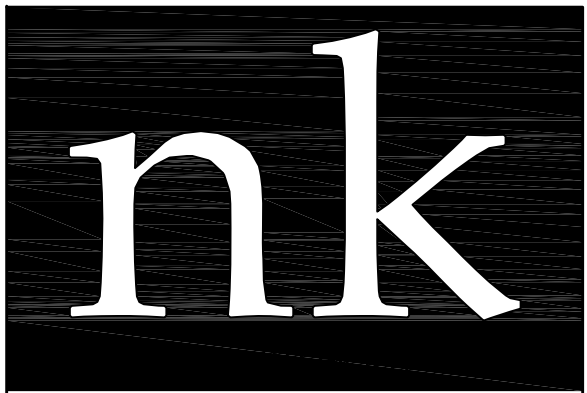
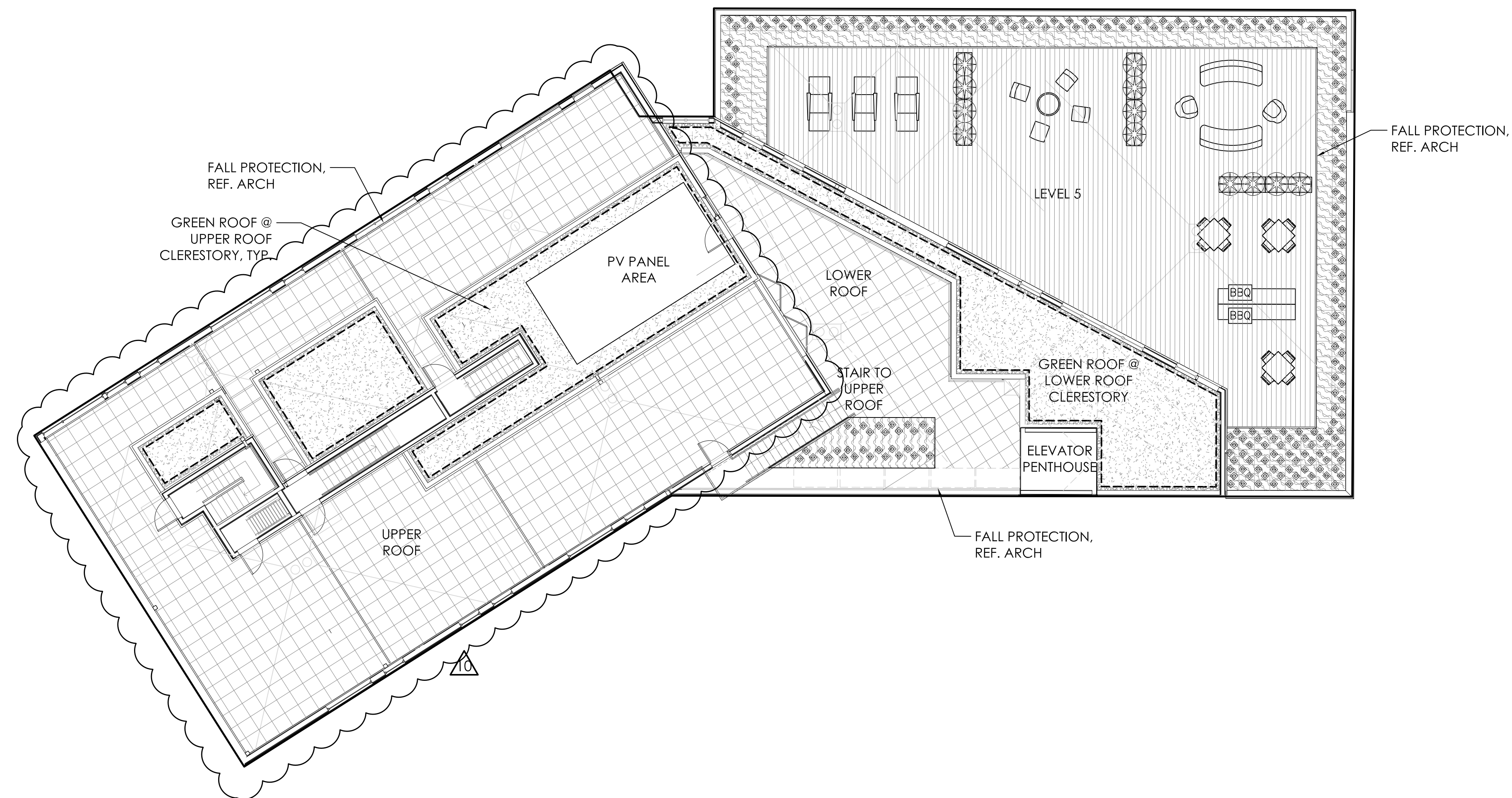


**MATERIALS LIST (LEVEL 5, ROOF & UPPER ROOF)**

-  IPE DECKING
-  PRECAST PAVERS ON PEDESTAL
-  2'x2' VEGETATED ROOF TRAY SYSTEM @ LEVEL 5  
4" DEPTH OF LIGHTWEIGHT SOIL, MOUND TO 8" W/ INTEGRATED DRIP IRRIGATION
-  VEGETATED ROOF MULTILAYER SYSTEM @ ROOF  
4" DEPTH OF LIGHTWEIGHT SOIL.  
IRRIGATED WITH SPRAY IRRIGATION
-  GRAVEL, 2" DEPTH DRAIN ROCK 3/8" MINUS
-  2X6 FIBERGLASS PLANTERS, WILSHIRE COLLECTIONS BY TOURNESOL SITEWORKS  
20" DEPTH LIGHTWEIGHT SOIL  
(2) 5 GAL. BAMBOO

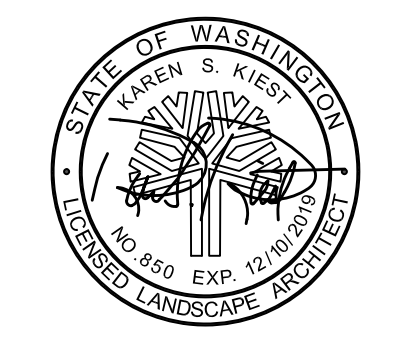
**PLANTING SCHEDULE (LEVEL 5 & ROOF)**

-  PRE-GROWN SEDUM TILES AVAIL. FROM ETERA. MIX: COLOR MAX
-  PRE-GROWN SEDUM TILES AVAIL. FROM ETERA. MIX: ALL SEASONS
-  SEDUM 'AUTUMN JOY' / AUTUMN JOY STONECROP  
STIPA TENUISSIMA / MEXICAN FEATHER GRASS  
ACHILLEA MILLEFOLIUM 'SUMMER PASTELS' / YARROW  
ACHILLEA LEWISII 'KING EDWARD' / YARROW
-  SHIBATAEA KUMASACA / SHIBATAEA BAMBOO  
WITH GROUND COVER (8 PLANTS PER 6' PLANTER):  
OPHIOPOGON PLANISCAPUS 'NIGRESCENS' / BLACK MONDO GRASS



310 FIRST AVE S #45  
SEATTLE WA, 98104  
TEL 206.933.1150  
FAX 206.933.1154  
WWW.NKARCH.COM

Karen Kiest  
Landscape Architects  
111 west john street suite 306  
seattle washington 98119  
tel 206 323 6032

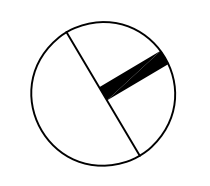
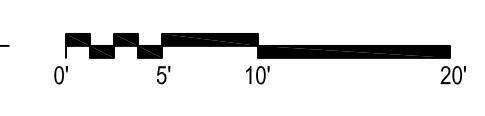


RELEASE:  
MUP CORRECTION #1  
MUP CORRECTION #2  
BUILDING PERMIT  
MUP REVISION  
BUILDING PERMIT CORR  
BUILDING PERMIT CORR #3  
POST PERMIT REVISION

**WALLS BELLEVUE**  
736 BELLEVUE PL E  
SEATTLE, WA 98102  
BELL VIEW LLC


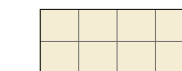

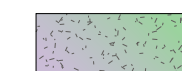

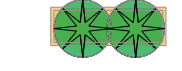
**SHEET TITLE:**  
LANDSCAPE PLAN  
LEVEL 5, LOWER &  
UPPER ROOF

DATE: 02-26-2018  
PROJ #: BEPL  
DRAWN BY: CP  
CHECKED BY: KK

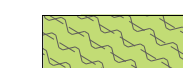
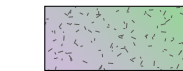




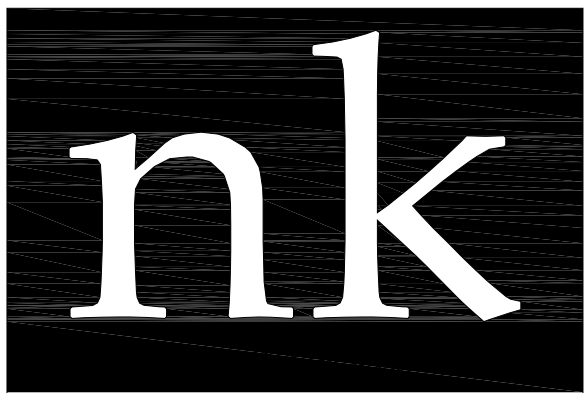
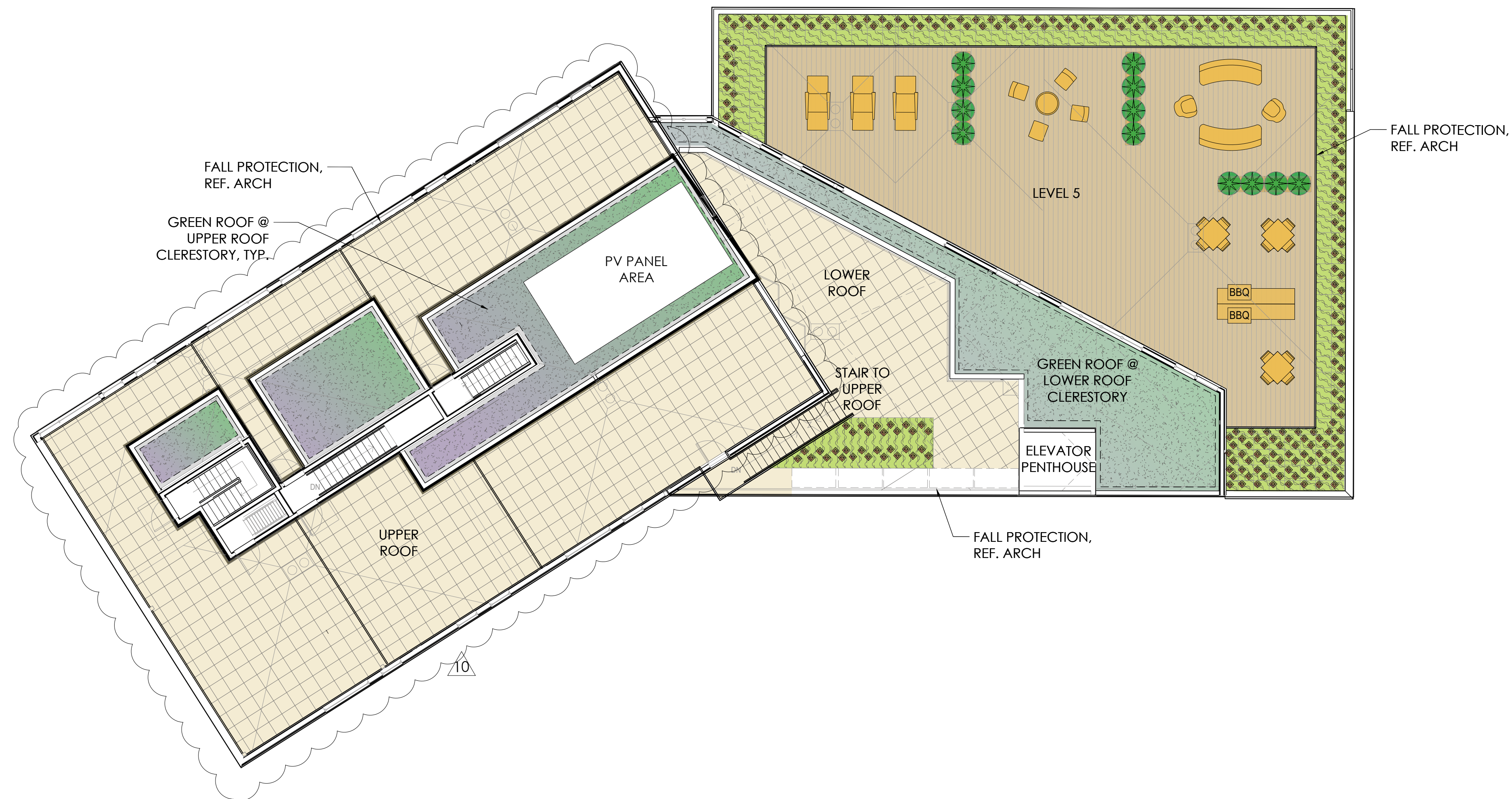
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**MATERIALS LIST (LEVEL 5, ROOF & UPPER ROOF)**

-  IPE DECKING
-  PRECAST PAVERS ON PEDESTAL
-  2'x2' VEGETATED ROOF TRAY SYSTEM @ LEVEL 5  
4" DEPTH OF LIGHTWEIGHT SOIL, MOUND TO 8" W/ INTEGRATED DRIP IRRIGATION
-  VEGETATED ROOF MULTILAYER SYSTEM @ ROOF  
4" DEPTH OF LIGHTWEIGHT SOIL.  
IRRIGATED WITH SPRAY IRRIGATION
-  GRAVEL, 2" DEPTH DRAIN ROCK 5/8" MINUS
-  2X6 FIBERGLASS PLANTERS, WILSHIRE COLLECTIONS BY TOURNESOL SITEWORKS  
20" DEPTH LIGHTWEIGHT SOIL  
(2) 5 GAL. BAMBOO

**PLANTING SCHEDULE (LEVEL 5 & ROOF)**

-  PRE-GROWN SEDUM TILES AVAIL. FROM ETERA. MIX: COLOR MAX
-  PRE-GROWN SEDUM TILES AVAIL. FROM ETERA. MIX: ALL SEASONS
-  SEDUM 'AUTUMN JOY' / AUTUMN JOY STONECROP  
STIPA TENUISSIMA / MEXICAN FEATHER GRASS  
ACHILLEA MILLEFOLIUM 'SUMMER PASTELS' / YARROW  
ACHILLEA LEWISII 'KING EDWARD' / YARROW
-  SHIBATAEA KUMASACA / SHIBATAEA BAMBOO  
WITH GROUND COVER (8 PLANTS PER 6' PLANTER):  
OPHIOPOGON PLANISCAPUS 'NIGRESCENS' / BLACK MONDO GRASS



310 FIRST AVE S #45  
SEATTLE WA 98104  
TEL 206.933.1150  
FAX 206.933.1154  
WWW.NKARCH.COM

**Karen Kiest**  
Landscape Architects  
111 west john street suite 306  
seattle washington 98119  
tel 206 323 6032



RELEASE:  
MUP CORRECTION #1  
MUP CORRECTION #2  
BUILDING PERMIT  
MUP REVISION  
BUILDING PERMIT CORR  
BUILDING PERMIT CORR #3  
POST PERMIT REVISION 10

**WALLS BELLEVUE**  
736 BELLEVUE PLE  
SEATTLE, WA 98102  
BELL VIEW LLC

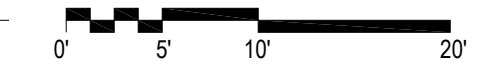
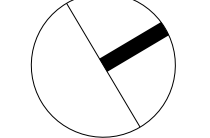
**SHEET TITLE:**  
LANDSCAPE PLAN  
LEVEL 5, LOWER AND  
UPPER ROOF COLOR

DATE: 02-26-2018  
PROJ #: BEPL  
DRAWN BY: CP  
CHECKED BY: KK

**LI.IA**  
© 2017 NICHOLSON KOVALCHICK ARCHITECTS PS

**1** LANDSCAPE PLAN | LEVEL 5 & ROOF  
SCALE: 1" = 10'

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION &  
INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

DRAWN BY: CLARA HANIS  
FILE LOCATION: Z:\KALIA PROJECTS\BELLVIEW\CD\02\01\11\10.DWG



RELEASE:  
MUP CORRECTION #1  
MUP CORRECTION #2  
BUILDING PERMIT  
MUP REVISION  
BUILDING PERMIT CORR  
BUILDING PERMIT CORR #3  
POST PERMIT REVISION

WALLS BELLEVUE  
736 BELLEVUE PL E  
SEATTLE, WA 98102  
BELL VIEW LLC

SHEET TITLE:

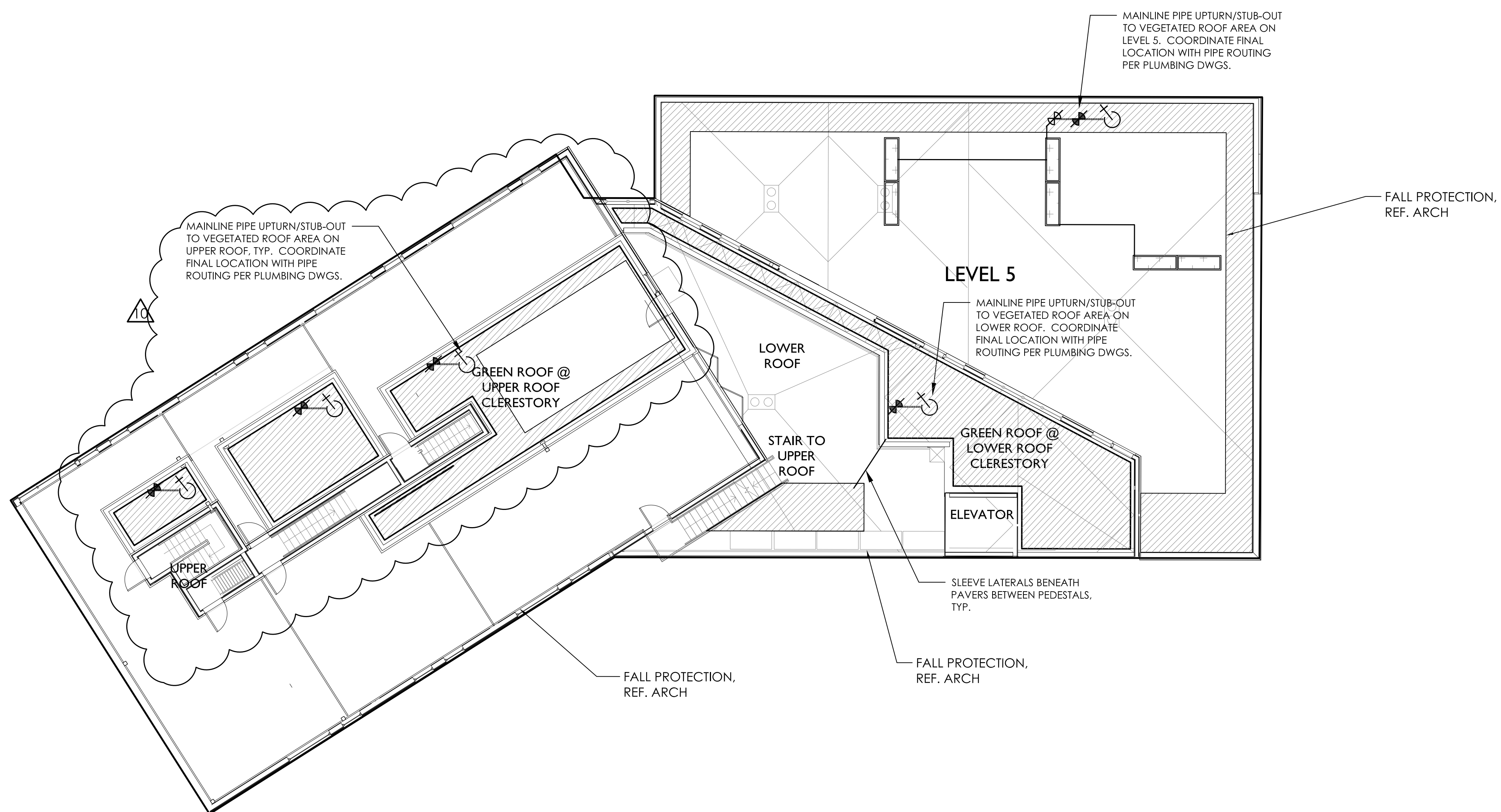
IRRIGATION PLAN  
LEVEL 5, LOWER &  
UPPER ROOF

DATE: 02-26-2018  
PROJ #: BEPL  
DRAWN BY: CP  
CHECKED BY: KK

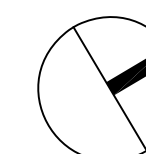
L3.1

NOTES:

1. PLUMBING TO PROVIDE 30 PSI MIN TO EACH ROOF LEVEL
2. SEE L3.0 FOR NOTES AND LEGEND.

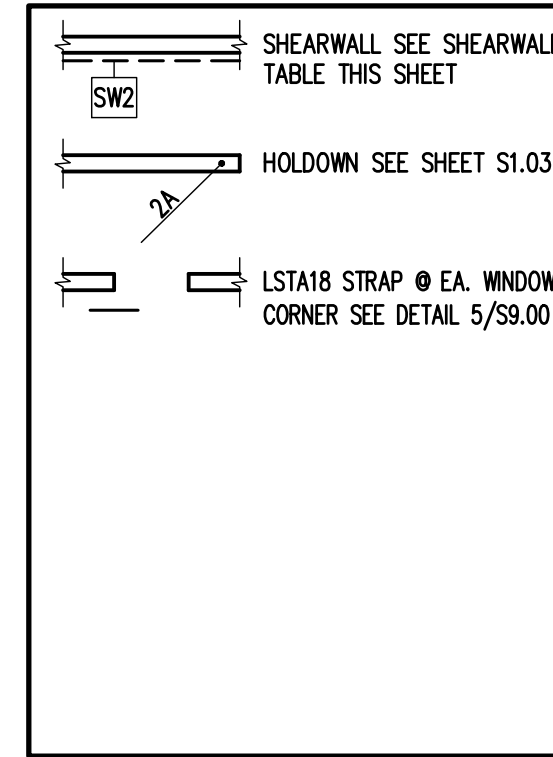


1 IRRIGATION PLAN | LEVEL 5, LOWER AND UPPER ROOF  
SCALE : 1" = 10'



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**Legend**

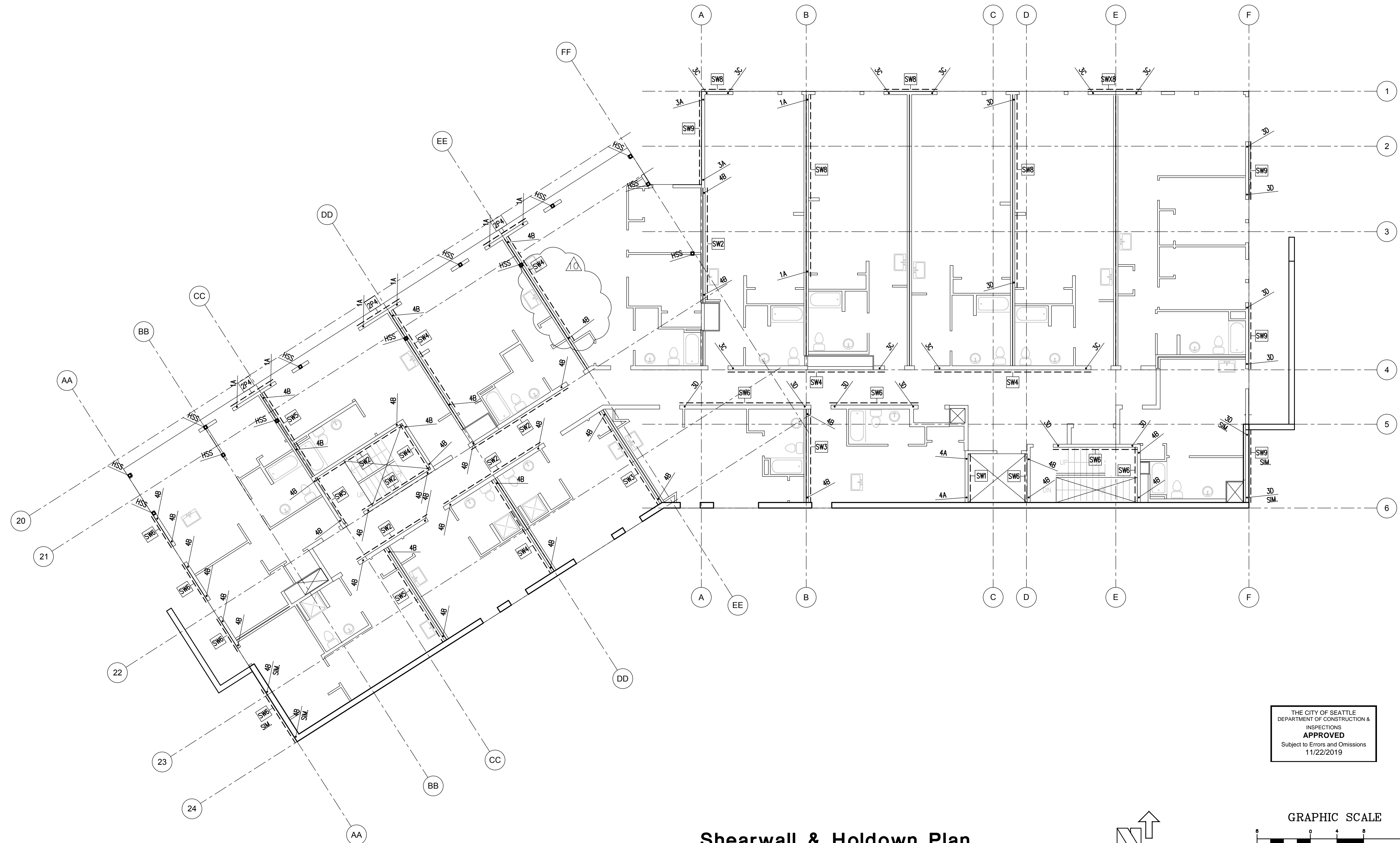


**Shearwall Table**

TYPE	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5
SW1	2P4	2P4	P2	P2
SW2	P2	P3	P4	P6
SW3	P2	P3	P3	P4
SW4	P3	P3	P4	P6
SW5	P3	P4	P4	P6
SW6	P4	P4	P6	P6
SW7	P4	P6	P6	P6
SW8	P2	P2	P4	---
SW9	P4	P4	P6	---

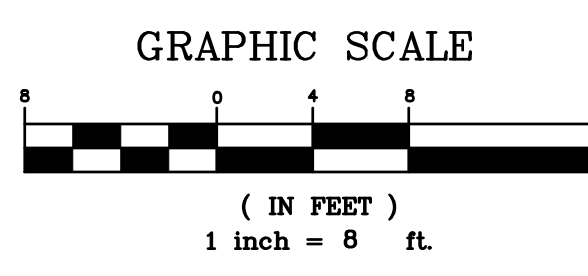
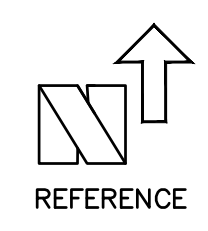
**Shearwall/Holdown Plan Notes**

- ALL PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND BUILT TO ACCOMMODATE 3/8" PER FLOOR WOOD SHRINKAGE.
- FRAMING MEMBERS AND SHEATHING SHALL BE PER STRUCTURAL NOTES AS NOTED ON SHEET S1.00.
- SOME SHEARWALLS REQUIRE 3X FRAMING AT PANEL EDGES. RE: SHEARWALL SCHEDULE ON SHEET S1.02.
- PROVIDE JOIST OR BLOCKING ATOP SHEARWALLS PER SHEARWALL SCHEDULE SHEET S1.02.
- SEE DETAILS ON SHEET S9.00 FOR TYPICAL CORNER FRAMING DETAILS.
- ALL EXTERIOR WALLS SHALL BE SHEATHED W/PLYWOOD. USE TYPE P6 SHEARWALL, TYPICAL U.N.O.
- RE: HOLDOWN SCHEDULE SHEET S1.03 FOR HOLDOWN TYPES.
- SEE DETAIL 6/S1.02 FOR SHEARWALL SCHEDULE AND DETAILS.
- SEE DETAIL 19/S1.03 FOR HOLDOWN SCHEDULE AND DETAILS.
- SEE SHEARWALL SCHEDULE ON SHEET S1.02 FOR WALL SHEATHING, ADDITIONAL PLATE AND STUD REQUIREMENTS, BLOCKING, AND PLATE NAILING.
- SEE HOLDOWN SCHEDULE ON SHEET S1.03 FOR ADDITIONAL STUDS.
- SEE ARCHITECTURAL PLANS FOR DRAFTSTOP AND VENTING LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP PLATE ELEVATIONS.



**Note:**  
PLANS PREPARED USING  
ARCHITECTURAL BACKGROUNDS  
RECEIVED APRIL 14, 2017

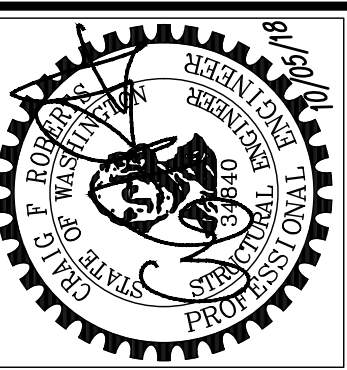
**Shearwall & Holdown Plan**  
SCALE: 1/8" = 1'-0"



THE CITY OF SEATTLE  
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11/22/2019

**Shearwall & Holdown Plan**  
Bell View Apartments  
736 Bellevue Place East  
Seattle, WA

**S3.09**



NO.	REVISION	DATE
1	COORDINATION 85%	09/25/17
2	RESPOND TO PERMIT COMMENTS #2	11/13/17
3	RESPOND TO PERMIT COMMENTS #3	02/26/18
4	POST PERMIT SUBMITTAL	10/10/18
5	ENGR. SWK   CAD. SWK   PLOT: 10/05/18	FILE: 14271S309
		JOB #: 14271

**CT ENGINEERING INC.**  
Structural Engineers  
180 Nickerson Street Suite 302 Seattle, WA 98109  
206.285.4512 (V) 206.285.0618 (F)

### Floor/Roof Framing Notes

- FLOOR FRAMING - PREMANUFACTURED JOISTS PER PLAN. SECURE JOIST TO TOP PLATE WITH (2) 8d NAILS. BLOCKING AT BEARING AND SHEARWALLS SHALL BE PER BEARING WALL AND SHEARWALL SCHEDULE. USE IUS HANGERS TO MATCH JOIST SIZE AT FLUSH FRAMING CONDITIONS.
- FLOOR SHEATHING SHALL BE GLUED AND NAILED.
- WALLS INDICATED ARE BELOW THE FRAMING LEVEL. SEE BEARING WALL SCHEDULE THIS SHEET.
- PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND BUILT TO ACCOMMODATE 3/8" PER FLOOR WOOD SHRINKAGE.
- SEE DETAIL 1/59.00 FOR TYPICAL HEADER/BUNDLED STUD CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR DRAFTSTOP AND VENTING LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP PLATE ELEVATIONS.
- ALL EXTERIOR, PARTY, AND CORRIDOR WALLS ARE CONSIDERED AS BEARING WALLS.
- SOME SHEARWALLS REQUIRE 3X FRAMING AT PANEL EDGES. SEE SHEARWALL SCHEDULE ON SHEET S1.02.
- HANGERS INDICATED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE. SEE SHEET S9.00 FOR BEAM HANGER SCHEDULE.
- PROVIDE JOIST OR BLOCKING ATOP SHEARWALLS.
- BUNDLED STUDS FROM THIS LEVEL SHALL BE CONTINUED DOWN TO PT SLAB OR SUPPORTING BEAM.
- PROVIDE BLOCKING AT ALL BUNDLED STUDS, SEE DETAIL 4/59.00.
- ALL BEAMS AND HEADERS SHALL HAVE A MINIMUM OF (1) FULL HEIGHT STUD AT EACH END FOR BRACING TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM (2) 2X BUNDLED STUDS UNDER EACH BEAM END, TYPICAL UNLESS NOTED OTHERWISE.
- SEE DETAILS ON SHEET S9.00 FOR TYPICAL CORNER FRAMING DETAILS.
- SEE 19/59.00 FOR TYPICAL STAIR FRAMING DETAILS.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH PLYWOOD. USE TYPE P6 SHEARWALL, TYPICAL, U.N.O.
- SEE DETAIL 3/59.00 FOR NOTCHES AND HOLES IN STUDS.

### Bearing Wall Stud Schedule

WALL TYPE	LEVEL	PLATE SIZE	STUD SIZE AND SPACING, U.N.O.	RIM/BLOCKING
EXTERIOR	LEVEL 5	2X8 LSL 1.5E	2X8 @ 16" O.C. LSL 1.5E	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
CORRIDOR	LEVEL 5	2X8 LSL 1.5E	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 4	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 3	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
INTERIOR	LEVEL 5	2X6 DF	(2) 2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X4 DF	(2) 2X4 @ 16" O.C. DF #2	1 3/4" LSL
PARTY	LEVEL 5	DBL 2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	DBL 2X4 DF	2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
STAIR / VENT ELEVATOR WALLS	LEVEL 5	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL

- BEARING WALL NOTES**
- SEE SHEARWALL SCHEDULE SHEET S1.02 FOR WALL SHEATHING, ADDITIONAL PLATE AND STUD REQUIREMENTS, BLOCKING AND PLATE NAILING. SEE SAWN LUMBER STRUCTURAL NOTES SHEET S1.00 FOR SPECIES AND GRADE OF WALL PLATES AND STUDS.
  - SECURE SILL PLATES TO CONCRETE W/ 5/8" DIA. A.B. W/ 7" EMBED INTO CONCRETE SLAB AT 48" TYPICALLY U.N.O. REFER TO SHEAR WALL AND HOLD-DOWN SCHEDULE FOR ADDITIONAL ANCHOR BOLT REQUIREMENTS. WHERE PRESERVATIVE TREATED WOOD IS USED, REFER TO NOTE SECTION 06071 FOR CORROSION PROTECTION REQUIREMENTS FOR CONNECTORS.
  - SEE DETAIL 2/59.00 FOR TOP PLATE SPLICE. PROVIDE ADDITIONAL CONNECTORS AT SHEAR WALLS AS INDICATED ON THE PLANS.
  - BUNDLED STUDS AT PARTY WALL LOCATIONS TO BE 2X6'S.

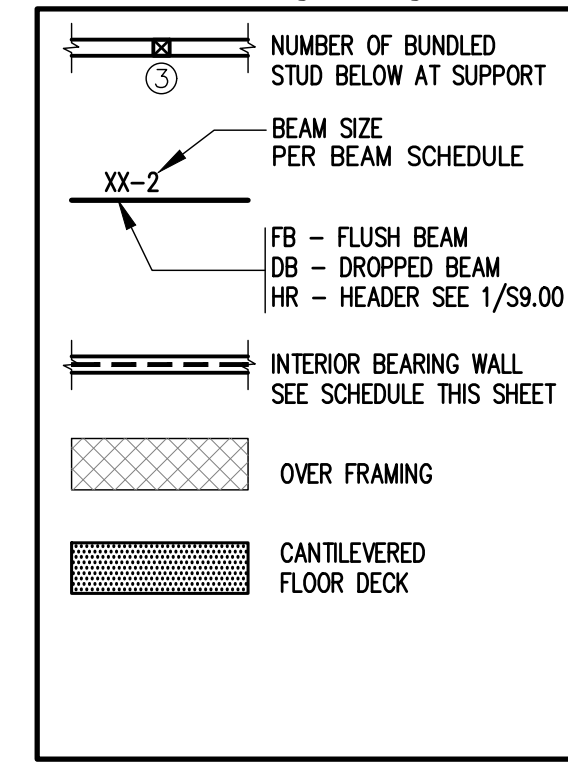
### Wood Beam Schedule

TYPE	SIZE	HANGER
XX-1	4X6	HUS46
XX-2	4X8	HUS48
XX-3	4X10	HUS410
XX-4	6X8	HU68
XX-5	6X10	HU610
XX-6	6X12	HU612
XX-7	LSL 1 3/4 X 11 7/8	HU11
XX-8	PSL 3 1/2 X 11 7/8	HHUS410
XX-9	PSL 5 1/4 X 11 7/8	HHUS5.5/10
XX-10	PSL 7 X 11 7/8	HGU7.25-SDS

### Joist Schedule

MARK	JOIST
J-1	11 7/8" T&J 110 @ 16" O.C.
J-2	11 7/8" T&J 210 @ 16" O.C.
J-3	11 7/8" T&J 210 @ 12" O.C.
J-4	(2) 11 7/8" T&J 210 @ 16" O.C.
J-5	11 7/8" T&J 360 @ 16" O.C.
J-6	11 7/8" T&J 360 @ 12" O.C.
J-7	(2) 11 7/8" T&J 360 @ 16" O.C.

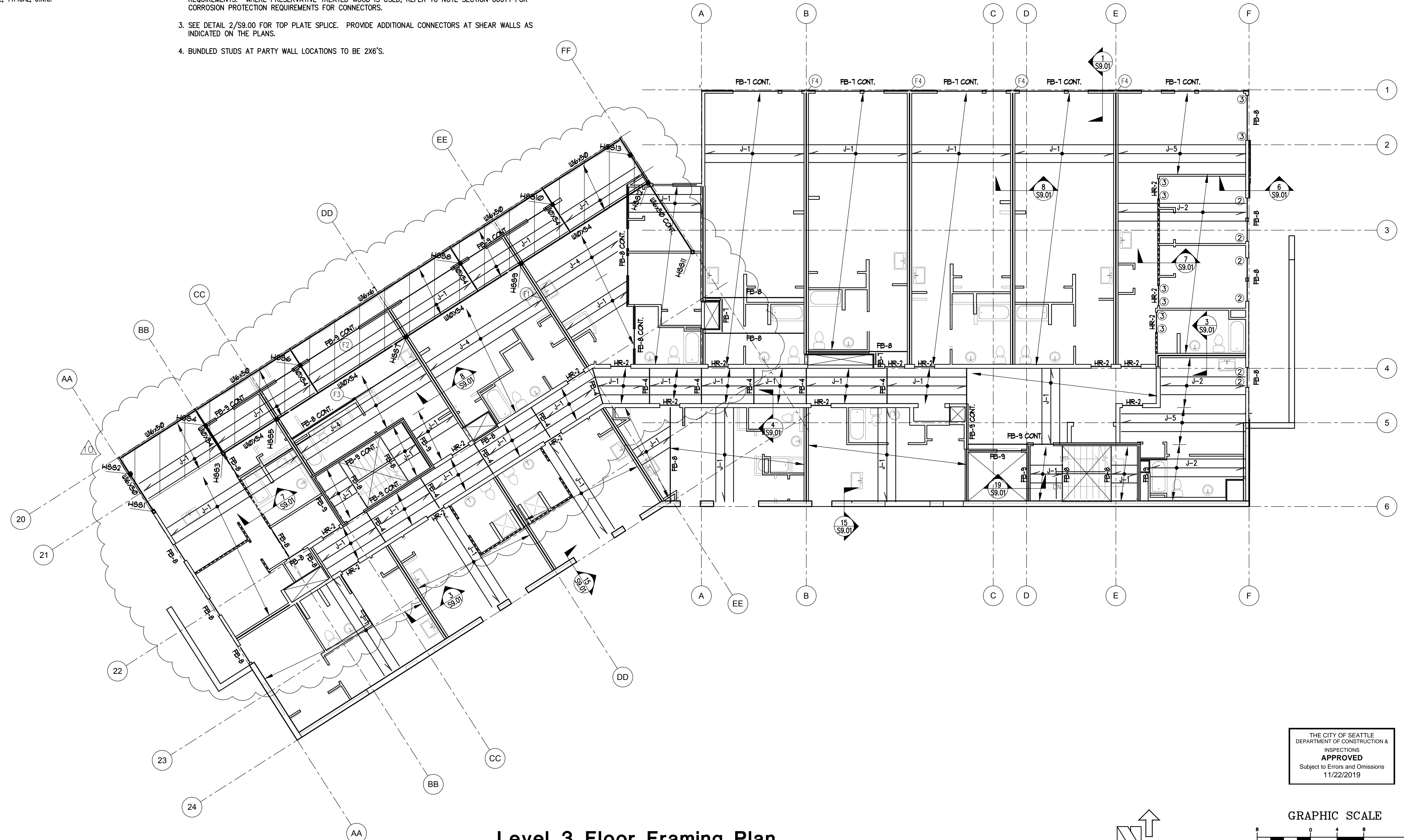
### Framing Legend



### Framing Keynotes

- (F1) CONT. BUNDLED STUDS
- (F2) BLOCK DIAPHRAGM EDGE NAIL 4" O.C.
- (F3) 4X6 POST W/ APA46 AND AC6
- (F4) EXTEND FLUSH BEAMS TO HERE

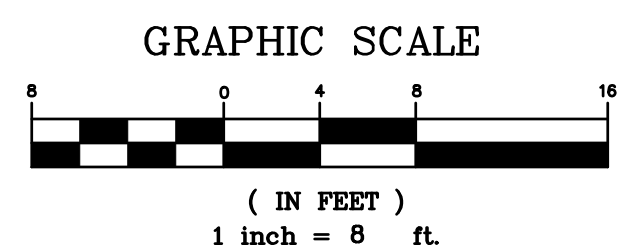
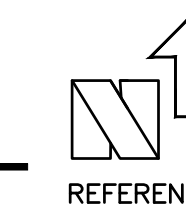
**Note:**  
ALL SECTION CUTS ARE TYPICAL



**Note:**  
PLANS PREPARED USING ARCHITECTURAL BACKGROUNDS RECEIVED APRIL 14, 2017

### Level 3 Floor Framing Plan

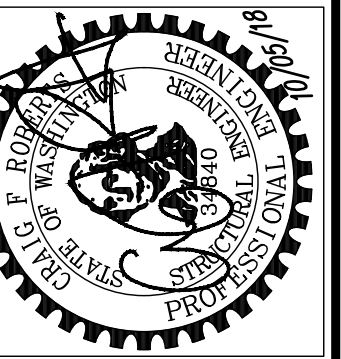
SCALE: 1/8" = 1'-0"



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DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

**Level 3 Floor Framing Plan**  
Bell View Apartments  
736 Bellevue Place East  
Seattle, WA

**S4.01**



NO.	REVISION	DATE
1	COORDINATION 85%	09/25/17
2	RESPOND TO PERMIT COMMENTS #2	11/13/17
3	RESPOND TO PERMIT COMMENTS #3	02/26/18
4	POST PERMIT SUBMITTAL	10/10/18
5	ENGR. SWK   CAD: SWK   PLOT: 10/05/18   FILE: 14271S41	10/10/18
		JOB #:
		14271

**CT ENGINEERING INC.**  
Structural Engineers  
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### Floor/Roof Framing Notes

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- SEE DETAIL 1/59.00 FOR TYPICAL HEADER/BUNDLED STUD CONSTRUCTION.
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- BEARING WALL NOTES**
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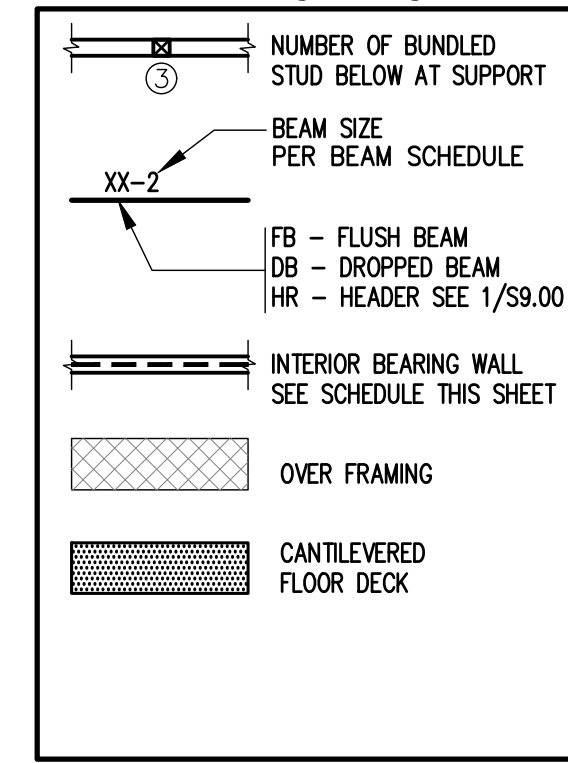
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XX-9	PSL 5 1/4 X 11 7/8	HHUS5.5/10
XX-10	PSL 7 X 11 7/8	HGU7.25-SDS

### Joist Schedule

MARK	JOIST
J-1	11 7/8" T&J 110 @ 16" O.C.
J-2	11 7/8" T&J 210 @ 16" O.C.
J-3	11 7/8" T&J 210 @ 12" O.C.
J-4	(2) 11 7/8" T&J 210 @ 16" O.C.
J-5	11 7/8" T&J 360 @ 16" O.C.
J-6	11 7/8" T&J 360 @ 12" O.C.
J-7	(2) 11 7/8" T&J 360 @ 16" O.C.

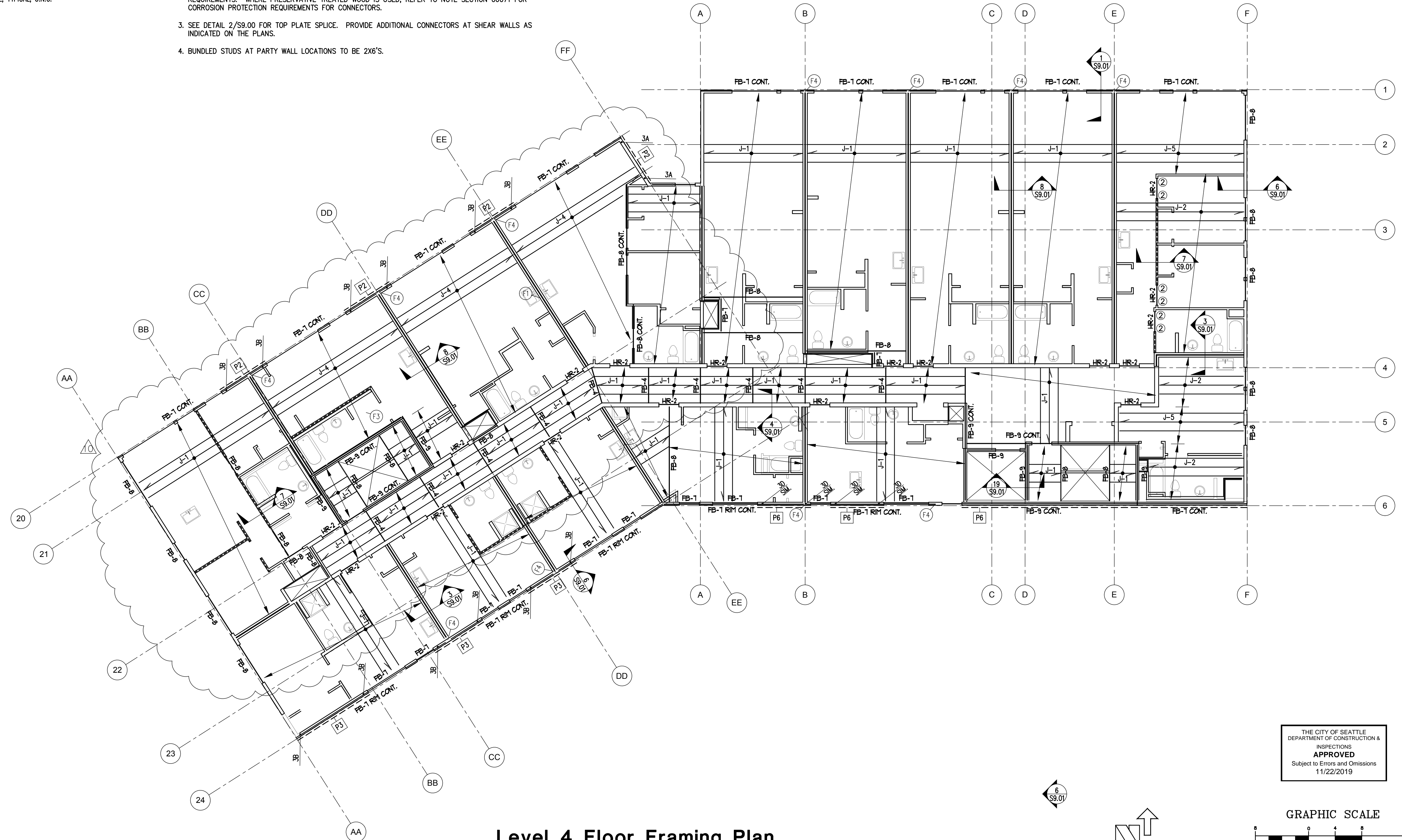
### Framing Legend



### Framing Keynotes

- (F1) CONG. BUNDLED STUDS
- (F2) NOT USED
- (F3) 6X6 POST
- (F4) EXTEND FLUSH BEAMS TO HERE

**Note:**  
ALL SECTION CUTS ARE TYPICAL



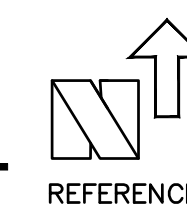
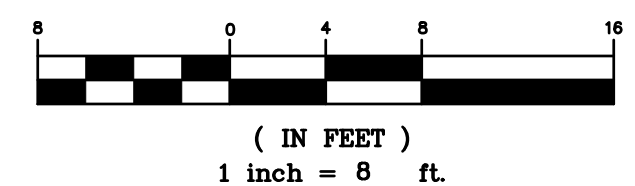
**Note:**  
PLANS PREPARED USING ARCHITECTURAL BACKGROUNDS RECEIVED APRIL 14, 2017

### Level 4 Floor Framing Plan

SCALE: 1/8" = 1'-0"

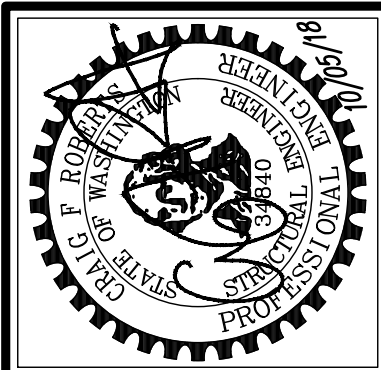
THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

GRAPHIC SCALE



**Level 4 Floor Framing Plan**  
Bell View Apartments  
736 Bellevue Place East  
Seattle, WA

**S4.02**



NO.	REVISION	DATE
1	COORDINATION 85%	09/25/17
2	RESPOND TO PERMIT COMMENTS #2	11/13/17
3	RESPOND TO PERMIT COMMENTS #3	02/26/18
4	POST PERMIT SUBMITTAL	10/10/18
ENGR: SWK   CAD: SWK   PLOT: 10/05/18   FILE: 142715542		JOB #: 14271

**CT ENGINEERING INC.**  
Structural Engineers  
180 Nickerson Street Suite 302 Seattle, WA 98109  
206.285.4512 (V) 206.285.0618 (F)



### Floor/Roof Framing Notes

- FLOOR FRAMING - PREMANUFACTURED JOISTS PER PLAN. SECURE JOIST TO TOP PLATE WITH (2) 8d NAILS. BLOCKING AT BEARING AND SHEARWALLS SHALL BE PER BEARING WALL AND SHEARWALL SCHEDULE. USE IUS HANGERS TO MATCH JOIST SIZE AT FLUSH FRAMING CONDITIONS.
- FLOOR SHEATHING SHALL BE GLUED AND NAILED.
- WALLS INDICATED ARE BELOW THE FRAMING LEVEL. SEE BEARING WALL SCHEDULE THIS SHEET.
- PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND BUILT TO ACCOMMODATE 3/8" PER FLOOR WOOD SHRINKAGE.
- SEE DETAIL 1/59.00 FOR TYPICAL HEADER/BUNDLED STUD CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR DRAFTSTOP AND VENTING LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP PLATE ELEVATIONS.
- ALL EXTERIOR, PARTY, AND CORRIDOR WALLS ARE CONSIDERED AS BEARING WALLS.
- SOME SHEARWALLS REQUIRE 3X FRAMING AT PANEL EDGES. SEE SHEARWALL SCHEDULE ON SHEET S1.02.
- HANGERS INDICATED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE. SEE SHEET S9.00 FOR BEAM HANGER SCHEDULE.
- PROVIDE JOIST OR BLOCKING ATOP SHEARWALLS.
- BUNDLED STUDS FROM THIS LEVEL SHALL BE CONTINUED DOWN TO PT SLAB OR SUPPORTING BEAM.
- PROVIDE BLOCKING AT ALL BUNDLED STUDS, SEE DETAIL 4/59.00.
- ALL BEAMS AND HEADERS SHALL HAVE A MINIMUM OF (1) FULL HEIGHT STUD AT EACH END FOR BRACING TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM (2) 2X BUNDLED STUDS UNDER EACH BEAM END, TYPICAL UNLESS NOTED OTHERWISE.
- SEE DETAILS ON SHEET S9.00 FOR TYPICAL CORNER FRAMING DETAILS.
- SEE 19/59.00 FOR TYPICAL STAIR FRAMING DETAILS.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH PLYWOOD. USE TYPE P6 SHEARWALL, TYPICAL, U.N.O.
- SEE DETAIL 3/59.00 FOR NOTCHES AND HOLES IN STUDS.

### Bearing Wall Stud Schedule

WALL TYPE	LEVEL	PLATE SIZE	STUD SIZE AND SPACING, U.N.O.	RIM/BLOCKING
EXTERIOR	LEVEL 5	2X8 LSL 1.5E	2X8 @ 16" O.C. LSL 1.5E	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
CORRIDOR	LEVEL 5	2X8 LSL 1.5E	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 4	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 3	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
INTERIOR	LEVEL 5	2X6 DF	(2) 2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X4 DF	(2) 2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X4 DF	4X4 @ 16" O.C. DF #2	1 3/4" LSL
PARTY	LEVEL 5	DBL 2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	DBL 2X4 DF	2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
STAIR / VENT ELEVATOR WALLS	LEVEL 5	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL

#### BEARING WALL NOTES

- SEE SHEARWALL SCHEDULE SHEET S1.02 FOR WALL SHEATHING, ADDITIONAL PLATE AND STUD REQUIREMENTS, BLOCKING AND PLATE NAILING. SEE SAWN LUMBER STRUCTURAL NOTES SHEET S1.00 FOR SPECIES AND GRADE OF WALL PLATES AND STUDS.
- SECURE SILL PLATES TO CONCRETE W/ 5/8" DIA. A.B. W/ 7" EMBED INTO CONCRETE SLAB AT 48" TYPICALLY U.N.O. REFER TO SHEAR WALL AND HOLD-DOWN SCHEDULE FOR ADDITIONAL ANCHOR BOLT REQUIREMENTS. WHERE PRESERVATIVE TREATED WOOD IS USED, REFER TO NOTE SECTION 06071 FOR CORROSION PROTECTION REQUIREMENTS FOR CONNECTORS.
- SEE DETAIL 2/59.00 FOR TOP PLATE SPLICE. PROVIDE ADDITIONAL CONNECTORS AT SHEAR WALLS AS INDICATED ON THE PLANS.
- BUNDLED STUDS AT PARTY WALL LOCATIONS TO BE 2X6'S.

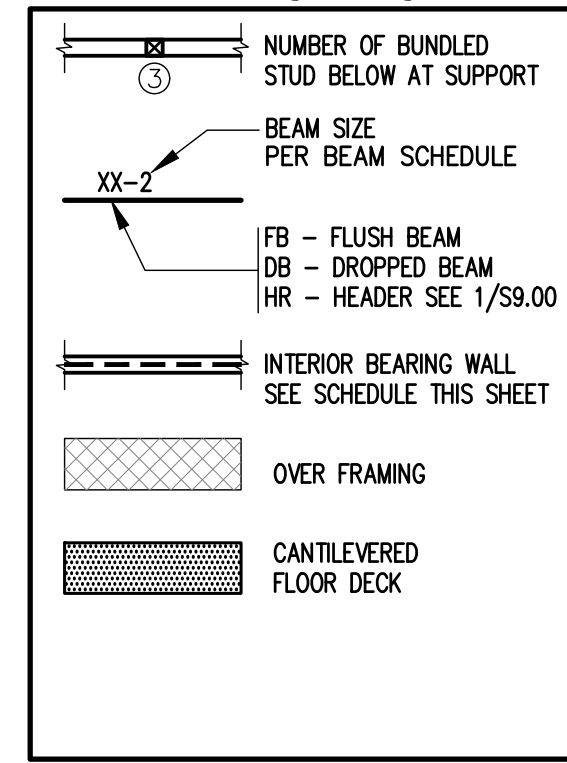
### Wood Beam Schedule

TYPE	SIZE	HANGER
XX-1	4X6	HUS46
XX-2	4X8	HUS48
XX-3	4X10	HUS410
XX-4	6X8	HU68
XX-5	6X10	HU610
XX-6	6X12	HU612
XX-7	LSL 1 3/4 X 11 7/8	HU11
XX-8	PSL 3 1/2 X 11 7/8	HHUS410
XX-9	PSL 5 1/4 X 11 7/8	HHUS5.5/10
XX-10	PSL 7 X 11 7/8	HGU7.25-SDS

### Joist Schedule

MARK	JOIST
J-1	11 7/8" T&J 110 @ 16" O.C.
J-2	11 7/8" T&J 210 @ 16" O.C.
J-3	11 7/8" T&J 210 @ 12" O.C.
J-4	(2) 11 7/8" T&J 210 @ 16" O.C.
J-5	11 7/8" T&J 360 @ 16" O.C.
J-6	11 7/8" T&J 360 @ 12" O.C.
J-7	(2) 11 7/8" T&J 360 @ 16" O.C.

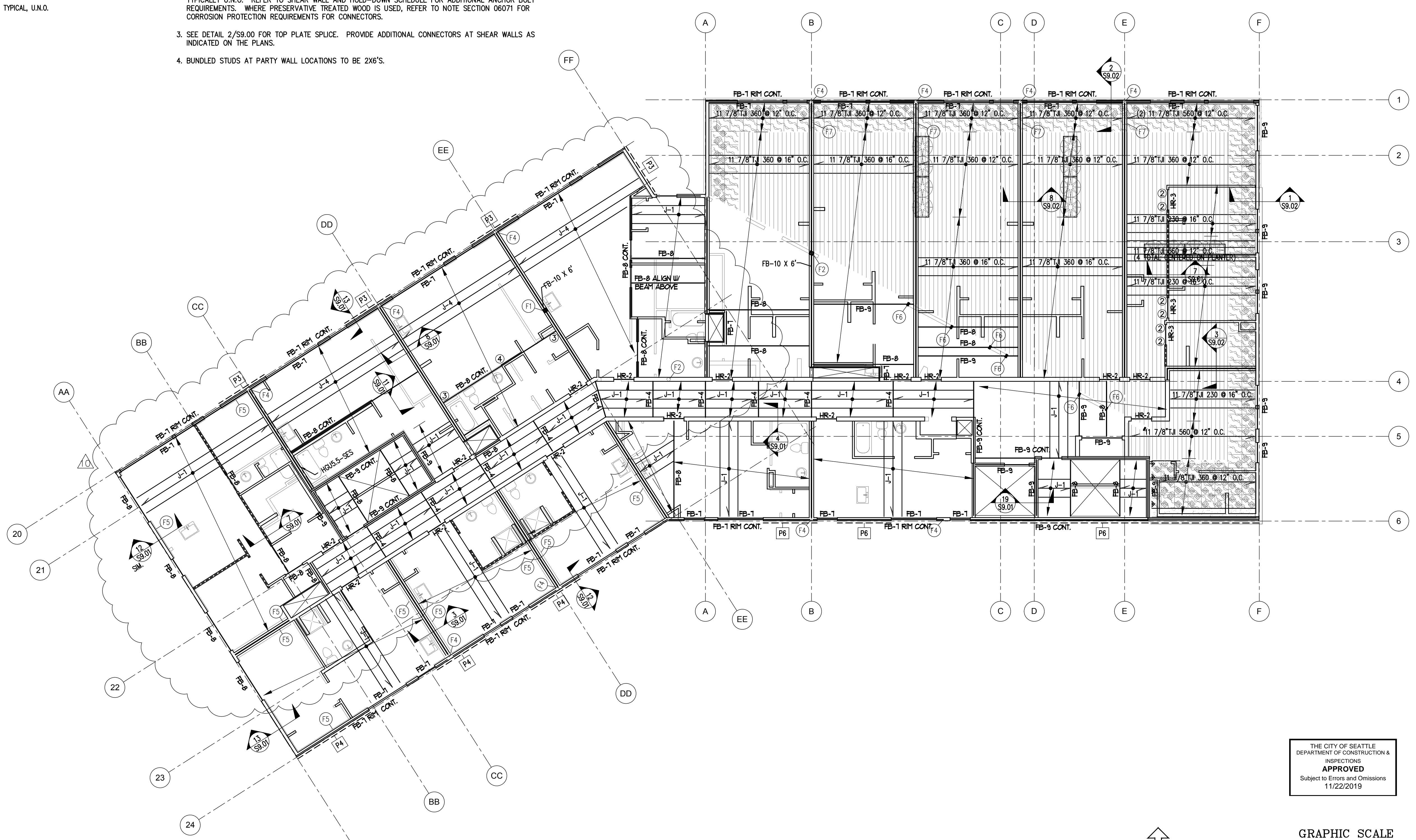
### Framing Legend



### Framing Keynotes

- HSS 6X6X1/4" ABOVE
- 6X6 POST ABOVE
- NOT USED
- EXTEND FLUSH BEAMS TO HERE
- FULL HEIGHT STUDS ABOVE
- LOCATE BEAM UNDER POINT LOAD ABOVE
- STUDS AT PARTY WALL 3X4 @ 16" O.C. BETWEEN GRIDS 1 & 2

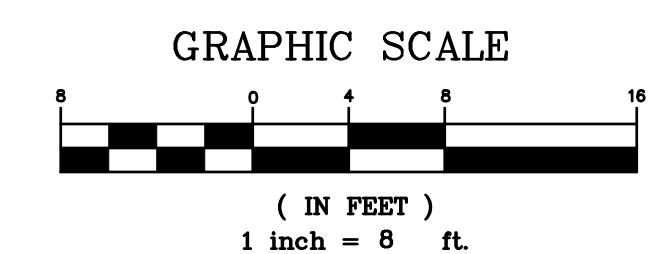
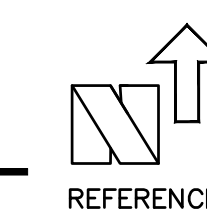
**Note:**  
ALL SECTION CUTS ARE TYPICAL



**Note:**  
PLANS PREPARED USING ARCHITECTURAL BACKGROUNDS RECEIVED APRIL 14, 2017

### Level 5 Floor Framing Plan

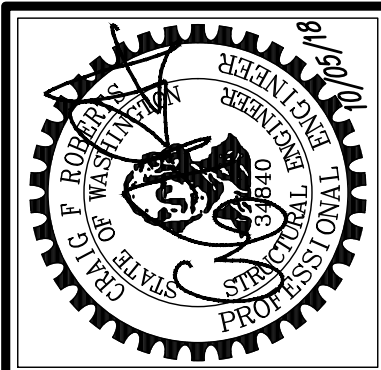
SCALE: 1/8" = 1'-0"



THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
APPROVED  
Subject to Errors and Omissions  
11/22/2019

**Level 5 Floor Framing Plan**  
Bell View Apartments  
736 Bellevue Place East  
Seattle, WA

**S4.03**



NO.	REVISION	DATE
1	COORDINATION 85%	09/25/17
2	RESPOND TO PERMIT COMMENTS #2	11/13/17
3	RESPOND TO PERMIT COMMENTS #3	02/26/18
4	POST PERMIT SUBMITTAL	10/10/18
ENGR: SWK   CAD: SWK   PLOT: 10/05/18   FILE: 14271543		
		JOB #: 14271

**CT ENGINEERING INC.**  
Structural Engineers  
180 Nickerson Street Suite 302 Seattle, WA 98109  
206.285.4512 (V) 206.285.0618 (F)

### Floor/Roof Framing Notes

- FLOOR FRAMING - PREMANUFACTURED JOISTS PER PLAN. SECURE JOIST TO TOP PLATE WITH (2) 8d NAILS. BLOCKING AT BEARING AND SHEARWALLS SHALL BE PER BEARING WALL AND SHEARWALL SCHEDULE. USE IUS HANGERS TO MATCH JOIST SIZE AT FLUSH FRAMING CONDITIONS.
- FLOOR SHEATHING SHALL BE GLUED AND NAILED.
- WALLS INDICATED ARE BELOW THE FRAMING LEVEL. SEE BEARING WALL SCHEDULE THIS SHEET.
- PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND BUILT TO ACCOMMODATE 3/8" PER FLOOR WOOD SHRINKAGE.
- SEE DETAIL 1/59.00 FOR TYPICAL HEADER/BUNDLED STUD CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR DRAFTSTOP AND VENTING LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP PLATE ELEVATIONS.
- ALL EXTERIOR, PARTY, AND CORRIDOR WALLS ARE CONSIDERED AS BEARING WALLS.
- SOME SHEARWALLS REQUIRE 3X FRAMING AT PANEL EDGES. SEE SHEARWALL SCHEDULE ON SHEET S1.02.
- HANGERS INDICATED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE. SEE SHEET S9.00 FOR BEAM HANGER SCHEDULE.
- PROVIDE JOIST OR BLOCKING AT TOP SHEARWALLS.
- BUNDLED STUDS FROM THIS LEVEL SHALL BE CONTINUED DOWN TO PT SLAB OR SUPPORTING BEAM.
- PROVIDE BLOCKING AT ALL BUNDLED STUDS, SEE DETAIL 4/59.00.
- ALL BEAMS AND HEADERS SHALL HAVE A MINIMUM OF (1) FULL HEIGHT STUD AT EACH END FOR BRACING TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM (2) 2X BUNDLED STUDS UNDER EACH BEAM END, TYPICAL UNLESS NOTED OTHERWISE.
- SEE DETAILS ON SHEET S9.00 FOR TYPICAL CORNER FRAMING DETAILS.
- SEE 19/S9.00 FOR TYPICAL STAIR FRAMING DETAILS.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH PLYWOOD. USE TYPE P6 SHEARWALL, TYPICAL, U.N.O.
- SEE DETAIL 3/59.00 FOR NOTCHES AND HOLES IN STUDS.

### Bearing Wall Stud Schedule

WALL TYPE	LEVEL	PLATE SIZE	STUD SIZE AND SPACING, U.N.O.	RIM/BLOCKING
EXTERIOR	LEVEL 5	2X8 LSL 1.5E	2X8 @ 16" O.C. LSL 1.5E	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
CORRIDOR	LEVEL 5	2X8 LSL 1.5E	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 4	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 3	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 2	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
INTERIOR	LEVEL 5	2X6 DF	(2) 2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X4 DF	2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X4 DF	(2) 2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X4 DF	4X4 @ 16" O.C. DF #2	1 3/4" LSL
PARTY	LEVEL 5	DBL 2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	DBL 2X4 DF	2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
STAIR / VENT ELEVATOR WALLS	LOUNGE	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 5	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL

#### BEARING WALL NOTES

- SEE SHEARWALL SCHEDULE SHEET S1.02 FOR WALL SHEATHING, ADDITIONAL PLATE AND STUD REQUIREMENTS, BLOCKING AND PLATE NAILING. SEE SAWN LUMBER STRUCTURAL NOTES SHEET S1.00 FOR SPECIES AND GRADE OF WALL PLATES AND STUDS.
- SECURE SILL PLATES TO CONCRETE W/ 5/8" DIA. A.B. W/ 7" EMBED INTO CONCRETE SLAB AT 48" TYPICALLY U.N.O. REFER TO SHEAR WALL AND HOLD-DOWN SCHEDULE FOR ADDITIONAL ANCHOR BOLT REQUIREMENTS. WHERE PRESERVATIVE TREATED WOOD IS USED, REFER TO NOTE SECTION 06071 FOR CORROSION PROTECTION REQUIREMENTS FOR CONNECTORS.
- SEE DETAIL 2/59.00 FOR TOP PLATE SPLICE. PROVIDE ADDITIONAL CONNECTORS AT SHEAR WALLS AS INDICATED ON THE PLANS.

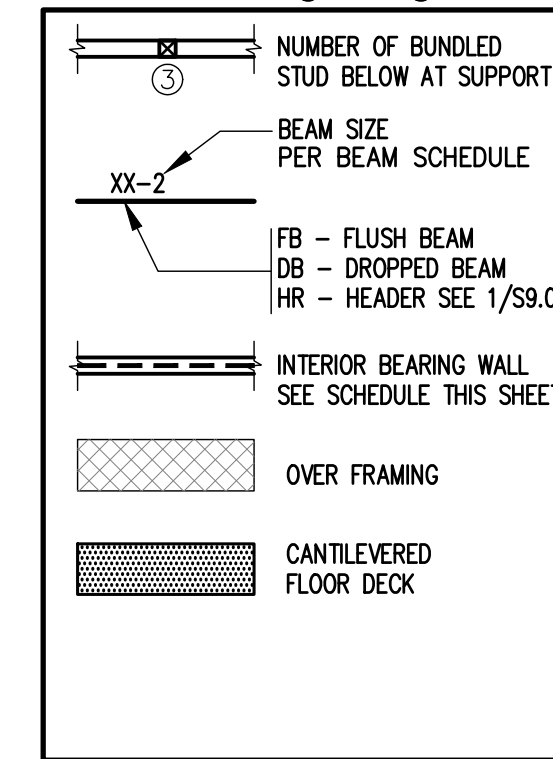
### Wood Beam Schedule

TYPE	SIZE	HANGER
XX-1	4X6	HUS46
XX-2	6X8	HUS48
XX-3	4X10	HUS410
XX-4	6X8	HU68
XX-5	6X10	HU610
XX-6	6X12	HU612
XX-7	LSL 1 3/4 X 11 7/8	HU11
XX-8	PSL 3 1/2 X 11 7/8	HHUS410
XX-9	PSL 5 1/4 X 11 7/8	HHUS5/10
XX-10	PSL 7 X 11 7/8	HGU7.25-SDS

### Joist Schedule

MARK	JOIST
J-1	11 7/8" T&J 110 @ 16" O.C.
J-2	11 7/8" T&J 210 @ 16" O.C.
J-3	11 7/8" T&J 210 @ 12" O.C.
J-4	(2) 11 7/8" T&J 210 @ 16" O.C.
J-5	11 7/8" T&J 360 @ 16" O.C.
J-6	11 7/8" T&J 360 @ 12" O.C.
J-7	(2) 11 7/8" T&J 360 @ 16" O.C.

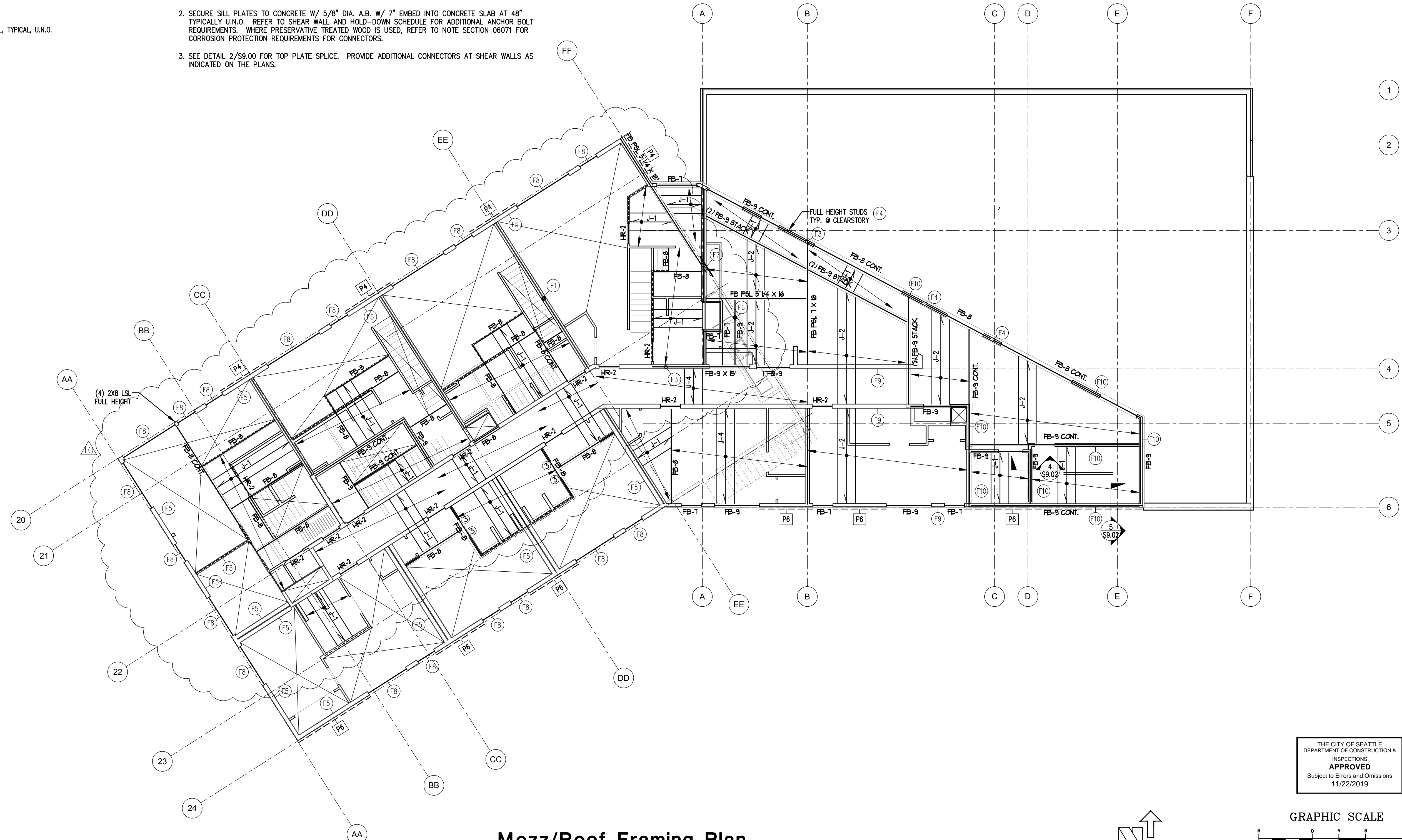
### Framing Legend



### Framing Keynotes

- (F1) HSS
- (F2) 6X6 POST W/ ECCO5-6SDS
- (F3) BEAM POCKET W/ 6X6 POST
- (F4) EXTEND FLUSH BEAMS TO HERE
- (F5) FULL HEIGHT BEARING WALL STUDS
- (F6) LOCATE BEAM UNDER POINT LOAD ABOVE
- (F7) HSS7X5 AT CANOPY
- (F8) LSL 3 1/2 X 7 1/4 FLAT
- (F9) TOP PLATE ELEVATION 247'-1"
- (F10) TOP PLATE ELEVATION 249'-0"

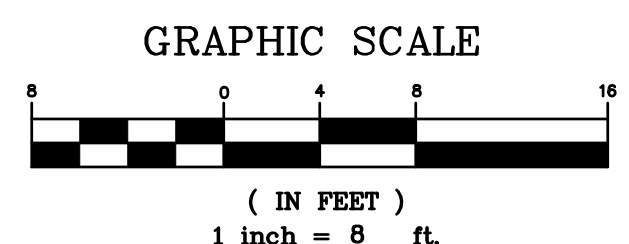
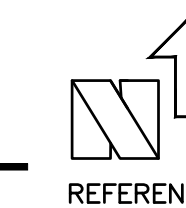
**Note:**  
ALL SECTION CUTS ARE TYPICAL



**Note:**  
PLANS PREPARED USING ARCHITECTURAL BACKGROUNDS RECEIVED APRIL 14, 2017

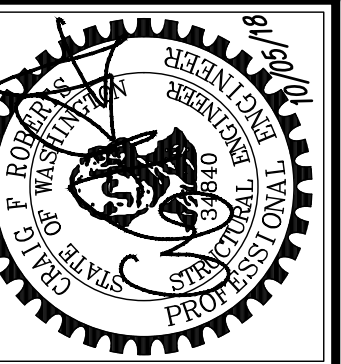
### Mezz/Roof Framing Plan

SCALE: 1/8" = 1'-0"



**Mezz/Roof Deck Framing Plan**  
Bell View Apartments  
736 Bellevue Place East  
Seattle, WA

**S4.04**



NO.	REVISION	DATE
1	COORDINATION 85%	09/25/17
2	RESPOND TO PERMIT COMMENTS #2	11/13/17
3	RESPOND TO PERMIT COMMENTS #3	02/26/18
4	POST PERMIT SUBMITTAL	10/10/18
ENGR: SWK CAD: SWK		FILE: 14271544
		JOB #: 14271

**CT ENGINEERING INC.**  
Structural Engineers  
180 Nickerson Street Suite 302 Seattle, WA 98109  
206.285.4512 (V) 206.285.0618 (F)

### Floor/Roof Framing Notes

- FLOOR FRAMING - PREMANUFACTURED JOISTS PER PLAN. SECURE JOIST TO TOP PLATE WITH (2) 8d NAILS. BLOCKING AT BEARING AND SHEARWALLS SHALL BE PER BEARING WALL AND SHEARWALL SCHEDULE. USE IUS HANGERS TO MATCH JOIST SIZE AT FLUSH FRAMING CONDITIONS.
- FLOOR SHEATHING SHALL BE GLUED AND NAILED.
- WALLS INDICATED ARE BELOW THE FRAMING LEVEL. SEE BEARING WALL SCHEDULE THIS SHEET.
- PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND BUILT TO ACCOMMODATE 3/8" PER FLOOR WOOD SHRINKAGE.
- SEE DETAIL 1/S9.00 FOR TYPICAL HEADER/BUNDLED STUD CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR DRAFTSTOP AND VENTING LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP PLATE ELEVATIONS.
- ALL EXTERIOR, PARTY, AND CORRIDOR WALLS ARE CONSIDERED AS BEARING WALLS.
- SOME SHEARWALLS REQUIRE 3X FRAMING AT PANEL EDGES. SEE SHEARWALL SCHEDULE ON SHEET S1.02.
- HANGERS INDICATED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE. SEE SHEET S9.00 FOR BEAM HANGER SCHEDULE.
- PROVIDE JOIST OR BLOCKING ATOP SHEARWALLS.
- BUNDLED STUDS FROM THIS LEVEL SHALL BE CONTINUED DOWN TO PT SLAB OR SUPPORTING BEAM.
- PROVIDE BLOCKING AT ALL BUNDLED STUDS, SEE DETAIL 4/S9.00.
- ALL BEAMS AND HEADERS SHALL HAVE A MINIMUM OF (1) FULL HEIGHT STUD AT EACH END FOR BRACING TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM (2) 2X BUNDLED STUDS UNDER EACH BEAM END, TYPICAL UNLESS NOTED OTHERWISE.
- SEE DETAILS ON SHEET S9.00 FOR TYPICAL CORNER FRAMING DETAILS.
- SEE 19/S9.00 FOR TYPICAL STAIR FRAMING DETAILS.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH PLYWOOD. USE TYPE P6 SHEARWALL, TYPICAL, U.N.O.
- SEE DETAIL 3/S9.00 FOR NOTCHES AND HOLES IN STUDS.

### Bearing Wall Stud Schedule

WALL TYPE	LEVEL	PLATE SIZE	STUD SIZE AND SPACING, U.N.O.	RIM/BLOCKING
EXTERIOR	LEVEL 5	2X8 LSL 1.5E	2X8 @ 16" O.C. LSL 1.5E	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
CORRIDOR	LEVEL 5	2X8 LSL 1.5E	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 4	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 3	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 2	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
INTERIOR	LEVEL 5	2X6 DF	(2) 2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X4 DF	(2) 2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X4 DF	4X4 @ 16" O.C. DF #2	1 3/4" LSL
PARTY	LEVEL 5	DBL 2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	DBL 2X4 DF	2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
STAIR / VENT ELEVATOR WALLS	LOUNGE	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 5	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL

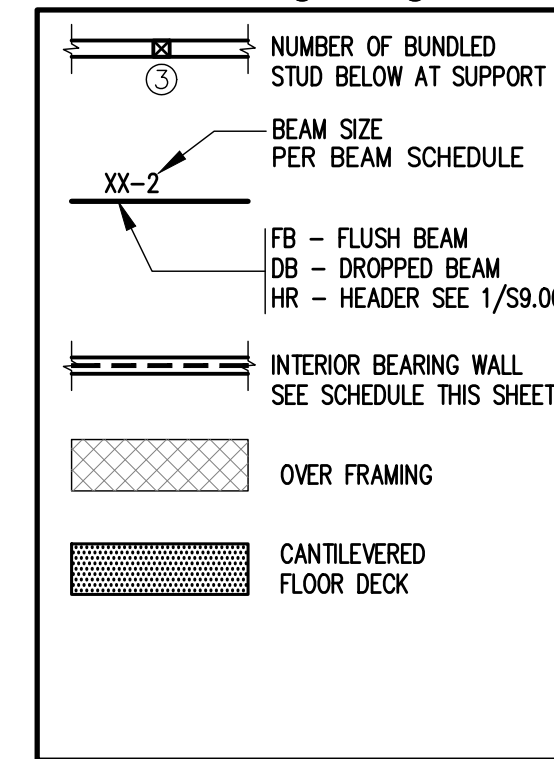
### Wood Beam Schedule

TYPE	SIZE	HANGER
XX-1	4X6	HUS46
XX-2	4X8	HUS48
XX-3	4X10	HUS410
XX-4	6X8	HU68
XX-5	6X10	HU610
XX-6	6X12	HU612
XX-7	LSL 1 3/4 X 11 7/8	HU11
XX-8	PSL 3 1/2 X 11 7/8	HHUS410
XX-9	PSL 5 1/4 X 11 7/8	HHUS5/10
XX-10	PSL 7 X 11 7/8	HGU7.25-SDS

### Joist Schedule

MARK	JOIST
J-1	11 7/8" T&J 110 @ 16" O.C.
J-2	11 7/8" T&J 210 @ 16" O.C.
J-3	11 7/8" T&J 210 @ 12" O.C.
J-4	(2) 11 7/8" T&J 210 @ 16" O.C.
J-5	11 7/8" T&J 360 @ 16" O.C.
J-6	11 7/8" T&J 360 @ 12" O.C.
J-7	(2) 11 7/8" T&J 360 @ 16" O.C.

### Framing Legend

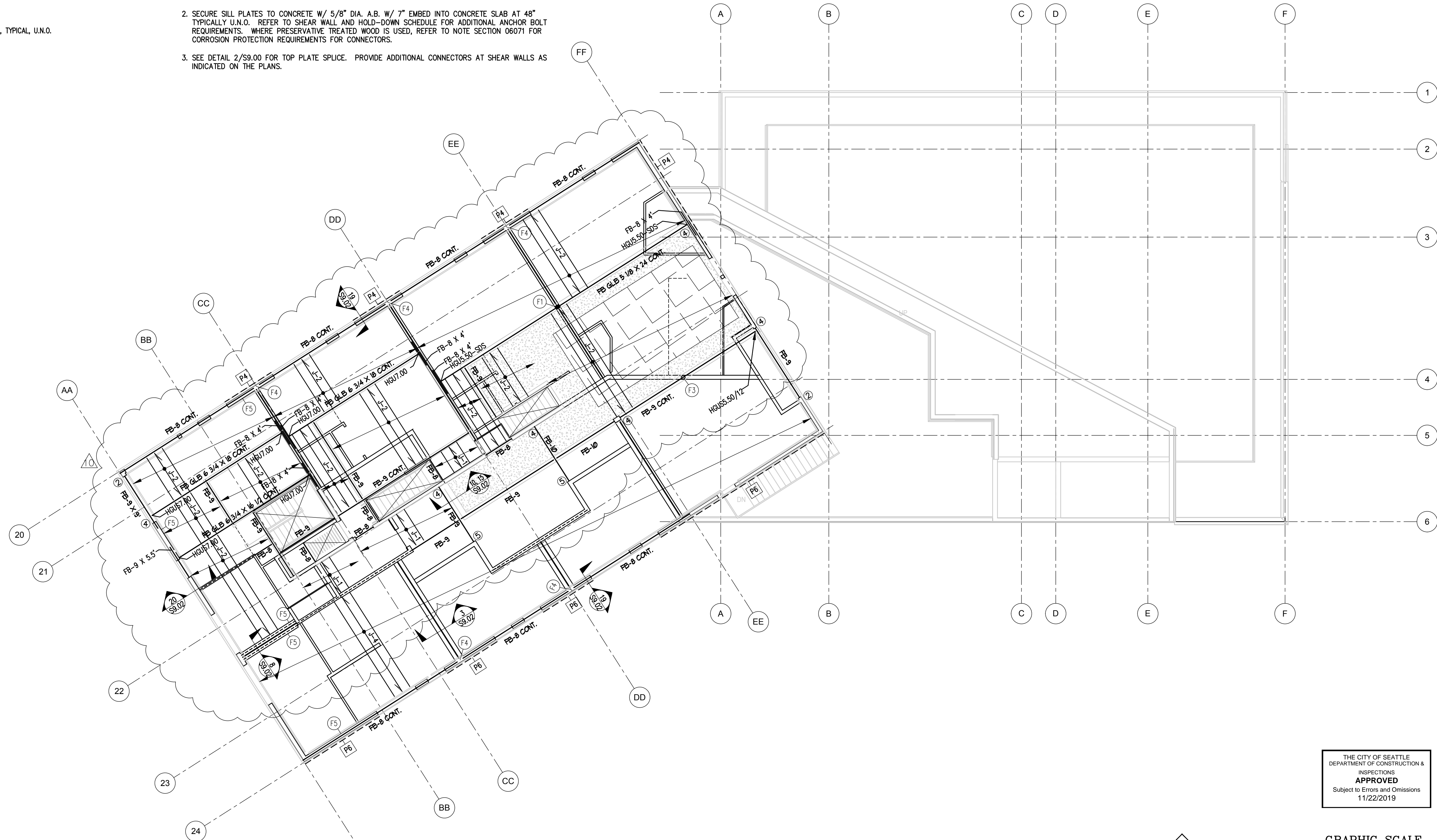


### Framing Keynotes

- (F1) HSS6X6 COL. BELOW W/ CC005
- (F2) NOT USED
- (F3) 6X6 POST W/ CC066SDS2.5
- (F4) EXTEND FLUSH BEAMS TO HERE
- (F5) FULL HEIGHT BEARING WALL STUDS
- (F6) HSS7X5 AT CANOPY

**Note:**  
ALL SECTION CUTS ARE TYPICAL

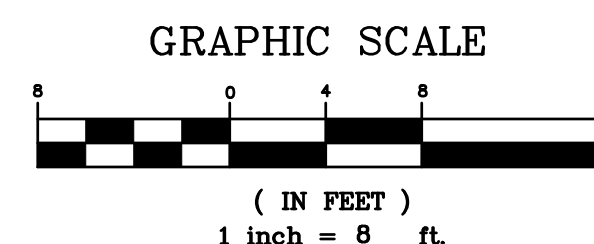
- BEARING WALL NOTES**
- SEE SHEARWALL SCHEDULE SHEET S1.02 FOR WALL SHEATHING, ADDITIONAL PLATE AND STUD REQUIREMENTS, BLOCKING AND PLATE NAILING. SEE SAWN LUMBER STRUCTURAL NOTES SHEET S1.00 FOR SPECIES AND GRADE OF WALL PLATES AND STUDS.
  - SECURE SILL PLATES TO CONCRETE W/ 5/8" DIA. A.B. W/ 7" EMBED INTO CONCRETE SLAB AT 48" TYPICALLY U.N.O. REFER TO SHEAR WALL AND HOLD-DOWN SCHEDULE FOR ADDITIONAL ANCHOR BOLT REQUIREMENTS. WHERE PRESERVATIVE TREATED WOOD IS USED, REFER TO NOTE SECTION 06071 FOR CORROSION PROTECTION REQUIREMENTS FOR CONNECTORS.
  - SEE DETAIL 2/S9.00 FOR TOP PLATE SPLICE. PROVIDE ADDITIONAL CONNECTORS AT SHEAR WALLS AS INDICATED ON THE PLANS.



**Note:**  
PLANS PREPARED USING ARCHITECTURAL BACKGROUNDS RECEIVED APRIL 14, 2017

### Roof Framing Plan

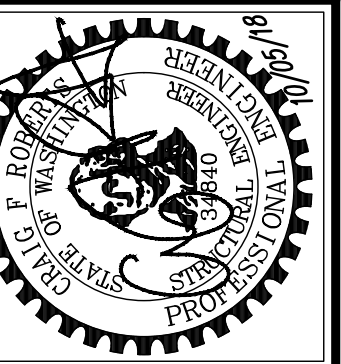
SCALE: 1/8" = 1'-0"



THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

**Roof Framing Plan**  
Bell View Apartments  
736 Bellevue Place East  
Seattle, WA

**S4.05**



NO.	REVISION	DATE
1	COORDINATION 85%	09/25/17
2	RESPOND TO PERMIT COMMENTS #2	11/13/17
3	RESPOND TO PERMIT COMMENTS #3	02/26/18
4	POST PERMIT SUBMITTAL	10/10/18
ENGR: SWK CAD: SWK		PL: OT: 10/05/18
FILE: 14271545		JOB #: 14271

**CT ENGINEERING INC.**  
Structural Engineers  
180 Nickerson Street Suite 302 Seattle, WA 98109  
206.285.4512 (V) 206.285.0618 (F)



NICHOLSON KOVALCHICK ARCHITECTS

Tina Capestany  
Seattle Department of Construction and Inspections  
700 5th Ave, Suite 2000  
PO Box 34019  
Seattle, WA 98124-4019  
June 2, 2017

DPD Project #: 3017032  
Address: 736 Bellevue Place E  
Subject: Zoning Correction #4

I, Preston Walls, am the owner or financially responsible party.

The proposed project, referenced above, will meet the green building standard by earning Built Green 4-star rating and the proposed building(s) is estimated to achieve an annual energy use of at least 15 percent lower than the standard reference design calculated in the 2015 Seattle Energy Code.

I acknowledge the compliance requirements in SMC 23.58D.004, and will submit documentation within the established timeframe could result in penalties of \$500 per day and failure to show compliance is subject to a maximum penalty of 2 percent of construction value pursuant to SMC 23.58D.006.

I acknowledge that this documentation must be received no later than 180 days after issuance of final Certificate of Occupancy or final inspection if no Certificate of Occupancy is required, or by such later date as may be allowed by the Director.

Sincerely,

Preston Walls, Bell View LLC

310 FIRST AVENUE S / SUITE 45 / SEATTLE, WA 98104  
T: 206.933.1150 / F: 206.933.1154 / E: INFO@NKARCH.COM / WWW.NKARCH.COM

### CLERESTORY AREA

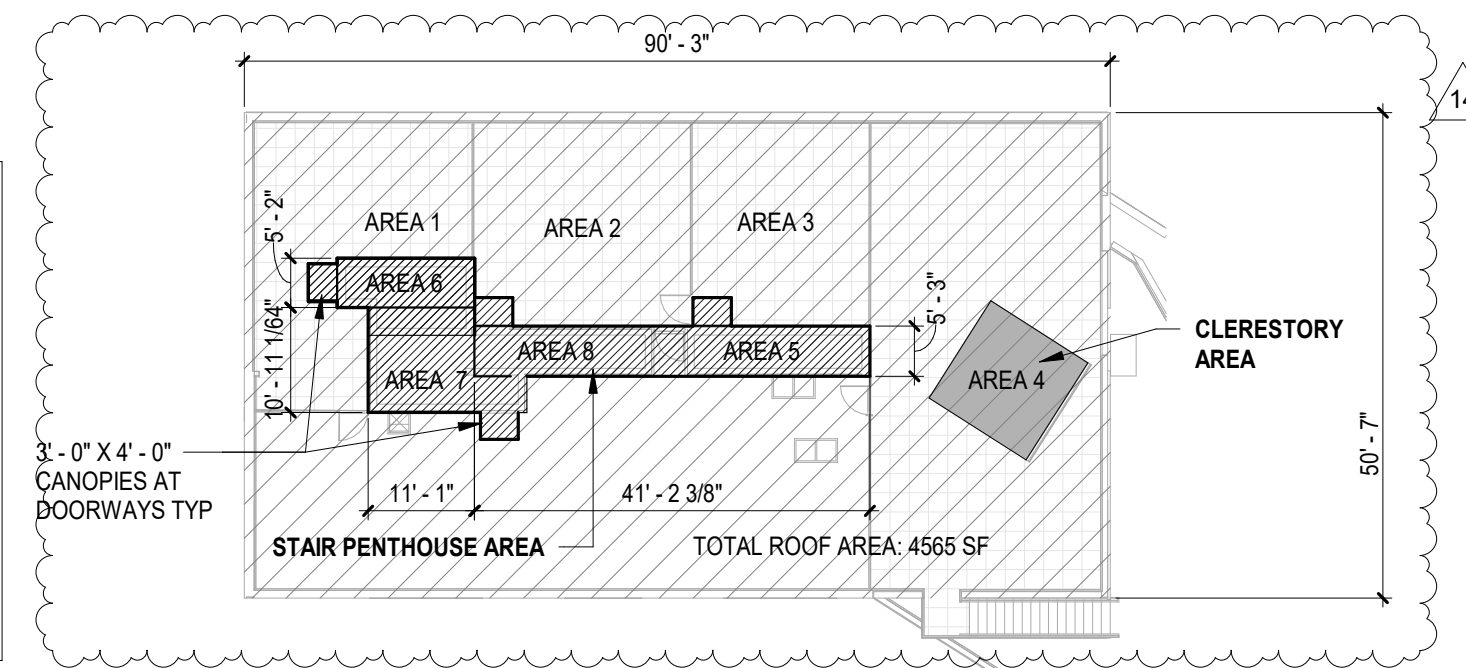
TOTAL CLERESTORY AREA: 144 SF  
TOTAL ROOF AREA: 4565 SF  
1036 SF / 4565 SF = 22.7%  
(30% MAX PER SMC 23.45.514.J3b)

AREA 1	0 SF
AREA 2	0 SF
AREA 3	0 SF
AREA 4	144 SF
AREA 5	0 SF
TOTAL	144 SF

### STAIR PENTHOUSE AREA

TOTAL AREA OF STAIR PENTHOUSES: 392 SF  
TOTAL ROOF AREA: 4565 SF  
392 SF / 4565 SF = 8.6%  
(15% MAX PER SMC 23.45.514.J4a)

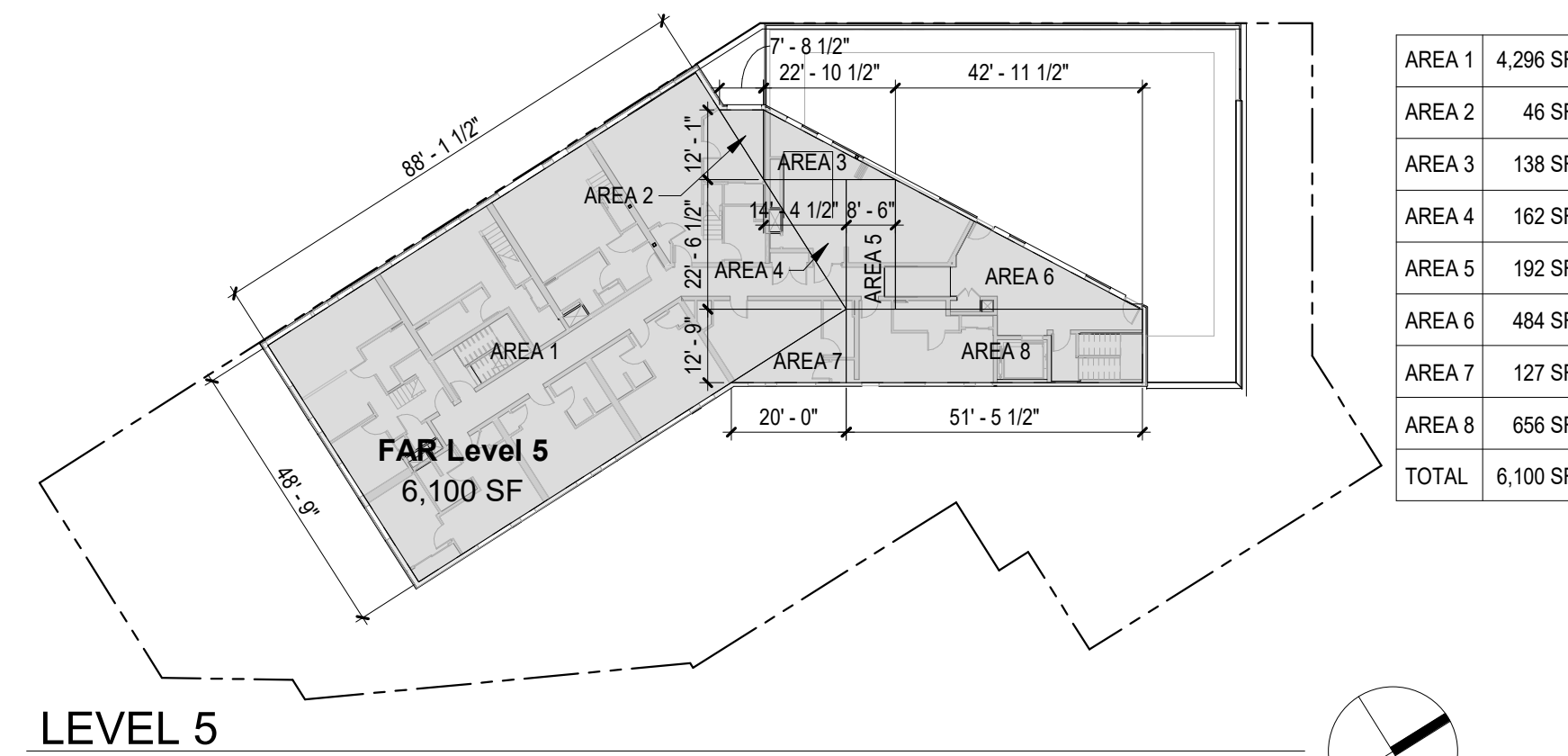
AREA 6	118 SF
AREA 7	80 SF
AREA 8	191 SF
(4) 3'-0" X 4'-0" CANOPIES	48 SF
TOTAL	392 SF



ROOFTOP FEATURES AREA DIAGRAM

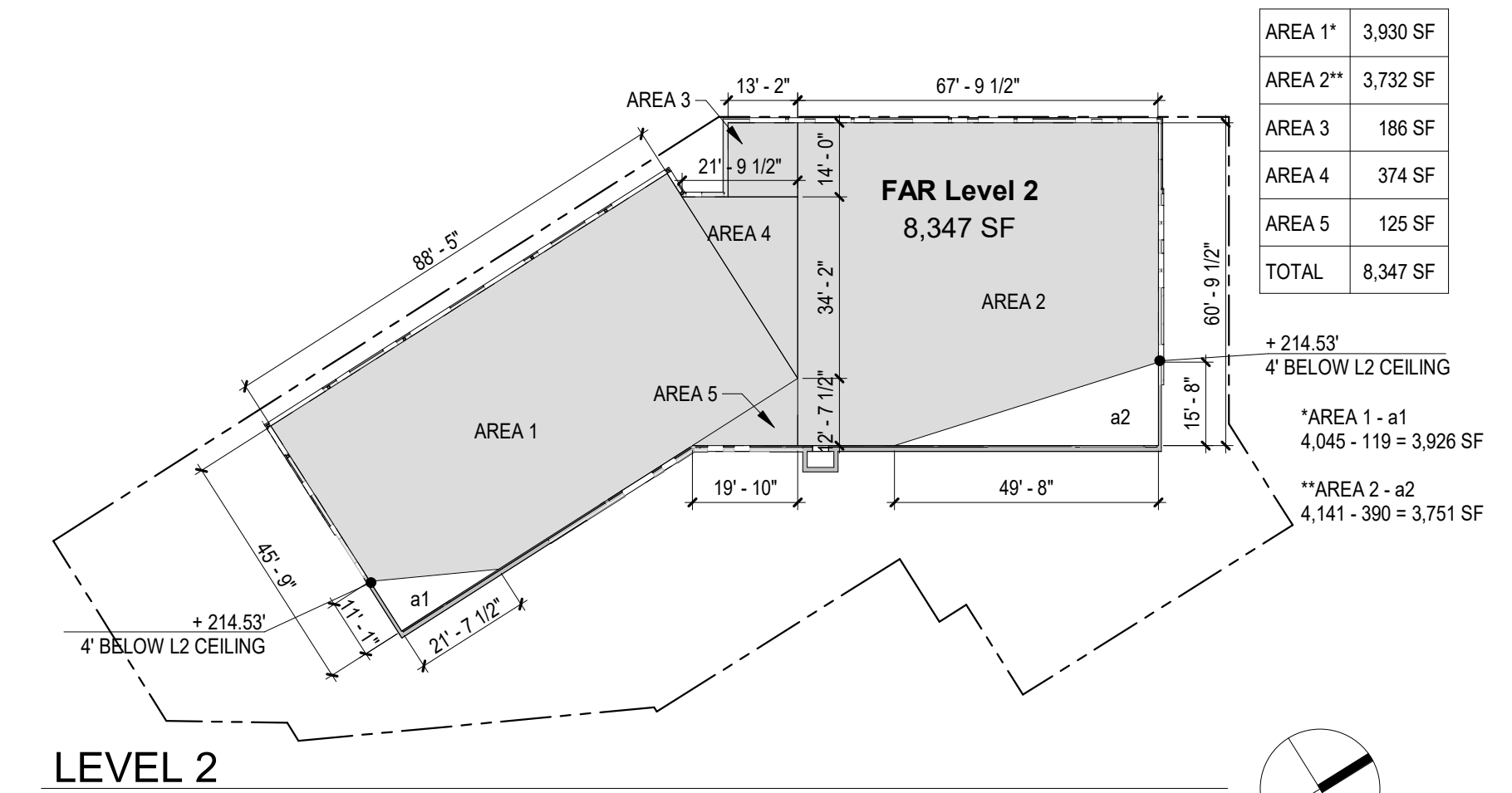
### FLOOR AREA CALCULATIONS

ALLOWABLE FAR: 2.0	SITE: 18,175 SF
PROPOSED FAR: 2.0 (36,272 SF / 18,175 SF = 1.99)	ALLOWABLE FAR (2.0): 36,349 SF
ROOF DECK (UPPER)	75 SF
MEZZANINE	472 SF
LEVEL 5	6,100 SF
LEVEL 4	9,174 SF
LEVEL 3	9,147 SF
LEVEL 2	8,347 SF
LEVEL 1	2,385 SF
LEVEL P1	304 SF
TOTAL	36,003 SF



LEVEL 5

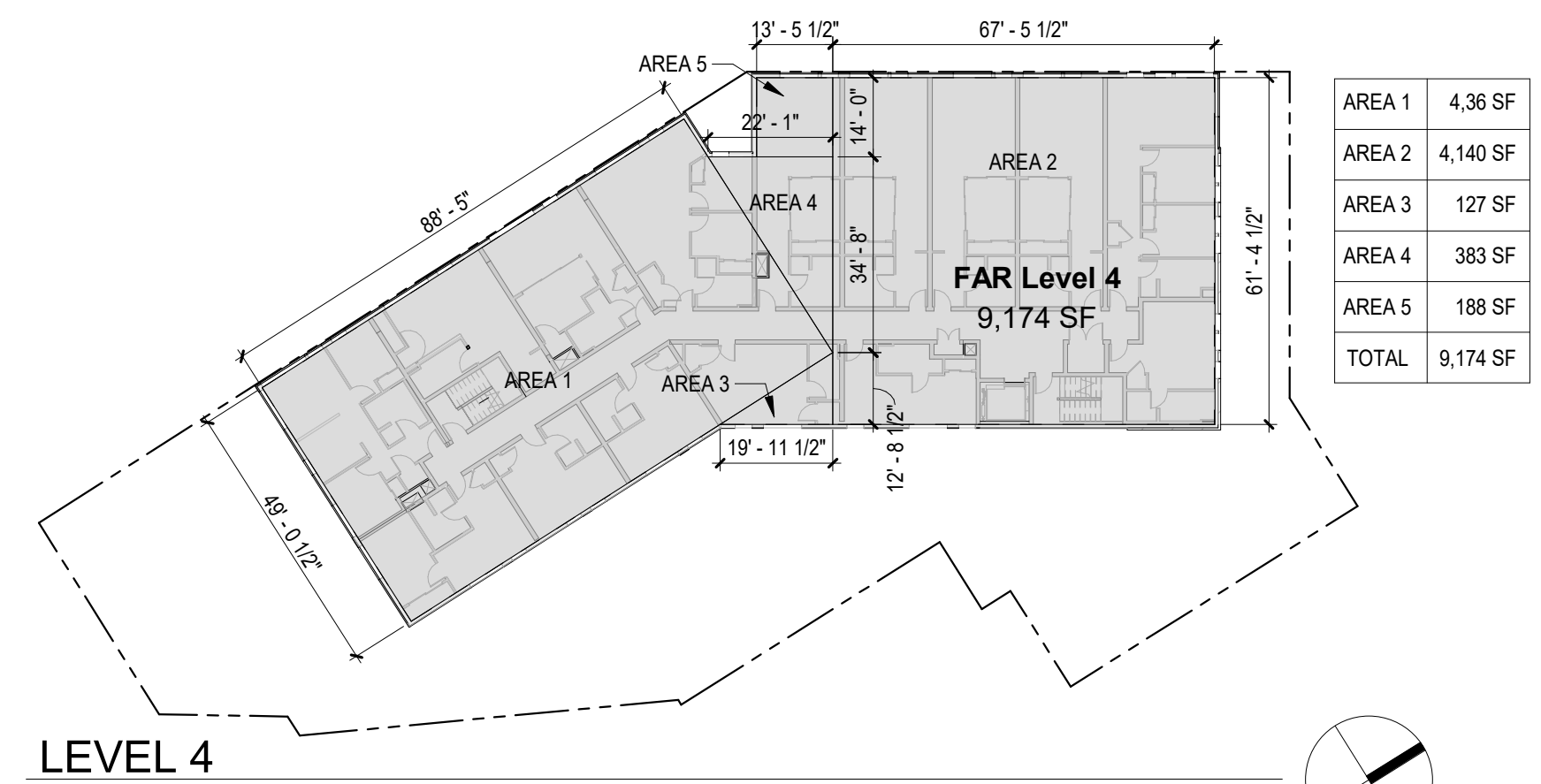
AREA 1	4,296 SF
AREA 2	46 SF
AREA 3	138 SF
AREA 4	162 SF
AREA 5	192 SF
AREA 6	484 SF
AREA 7	127 SF
AREA 8	656 SF
TOTAL	6,100 SF



LEVEL 2

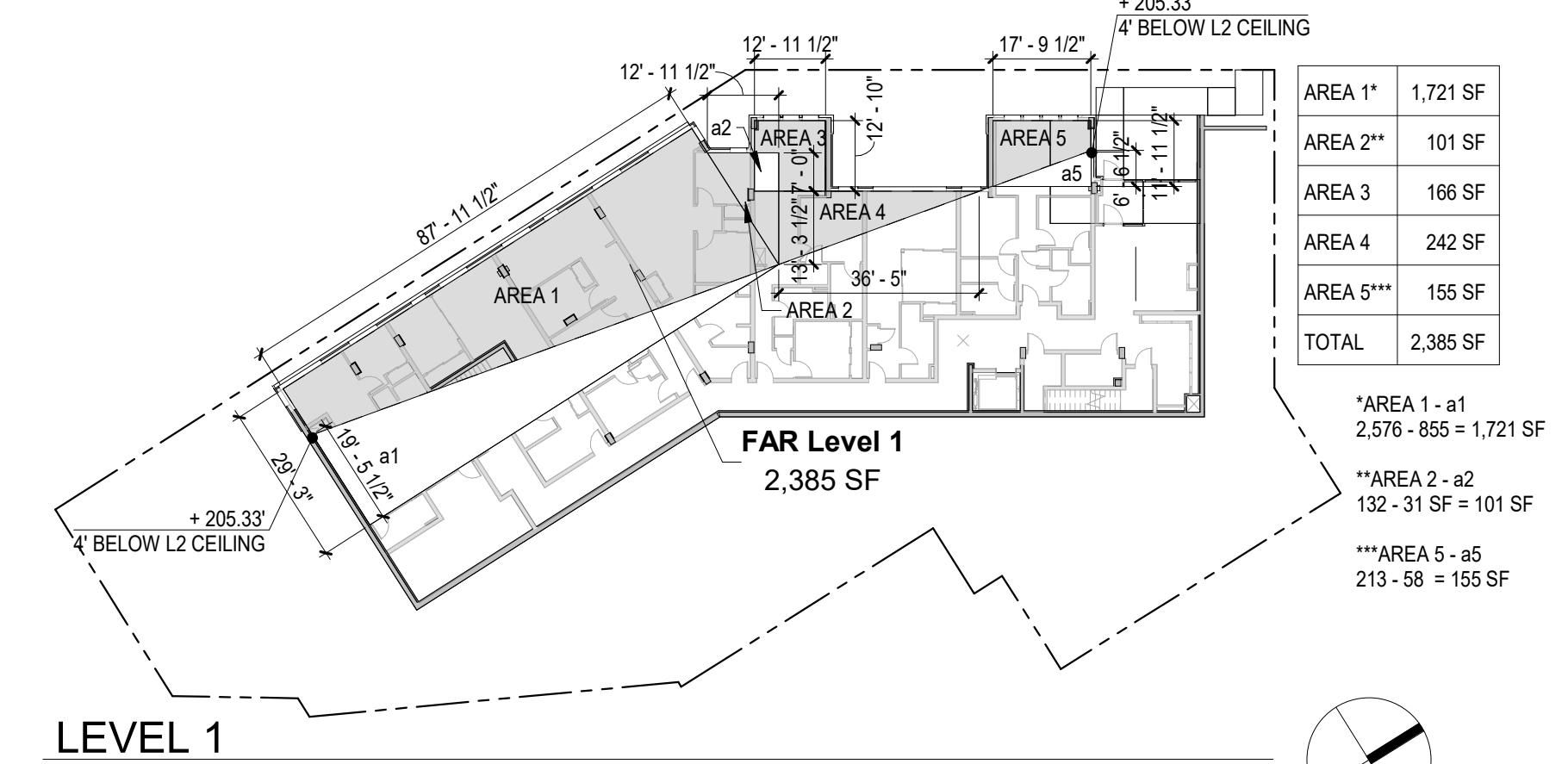
AREA 1*	3,930 SF
AREA 2**	3,732 SF
AREA 3	186 SF
AREA 4	374 SF
AREA 5	125 SF
TOTAL	8,347 SF

+214.53'  
4' BELOW L2 CEILING  
\*AREA 1 - a1  
4,045 - 119 = 3,926 SF  
\*\*AREA 2 - a2  
4,141 - 390 = 3,751 SF



LEVEL 4

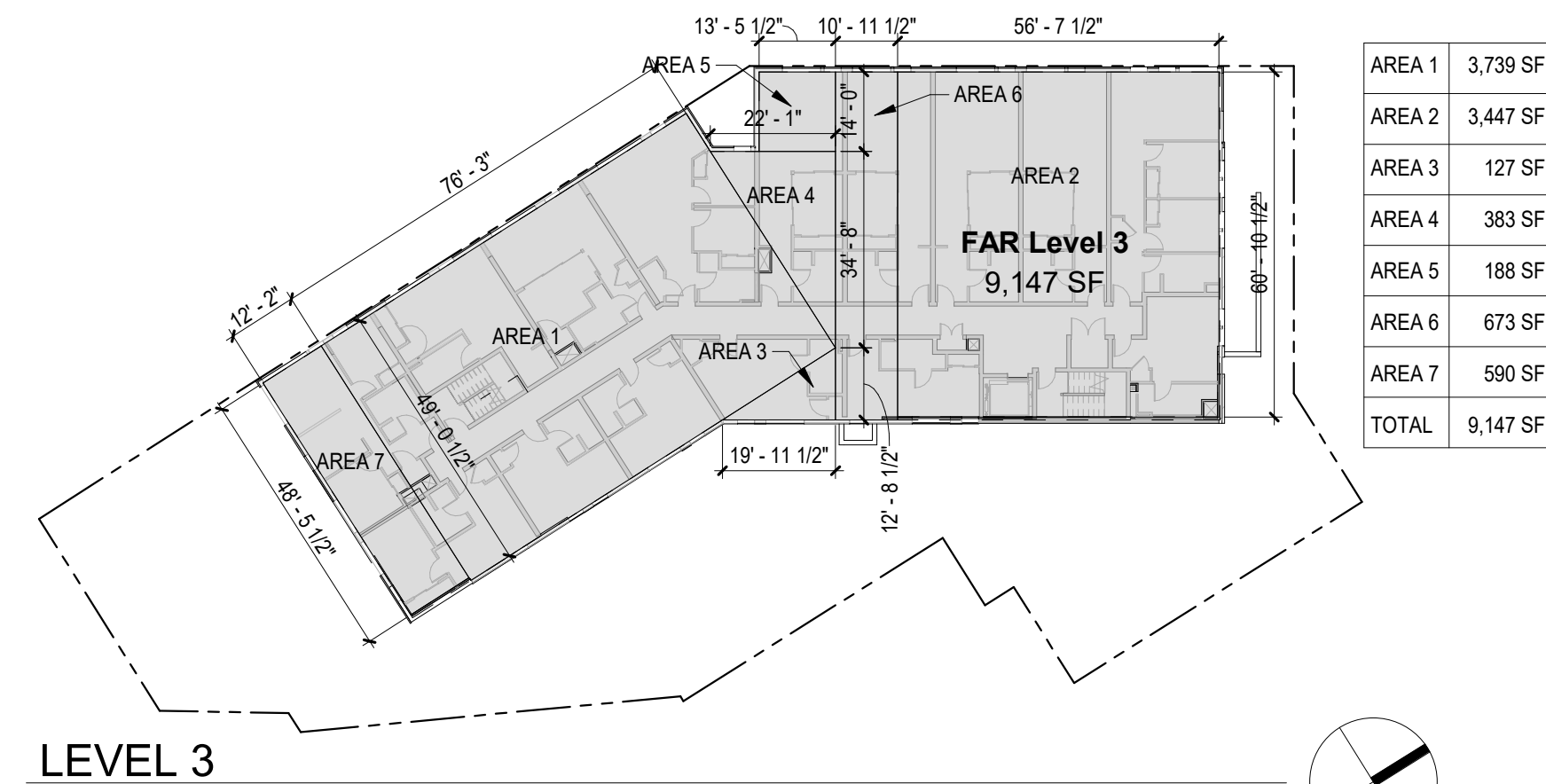
AREA 1	4,36 SF
AREA 2	4,140 SF
AREA 3	127 SF
AREA 4	383 SF
AREA 5	188 SF
TOTAL	9,174 SF



LEVEL 1

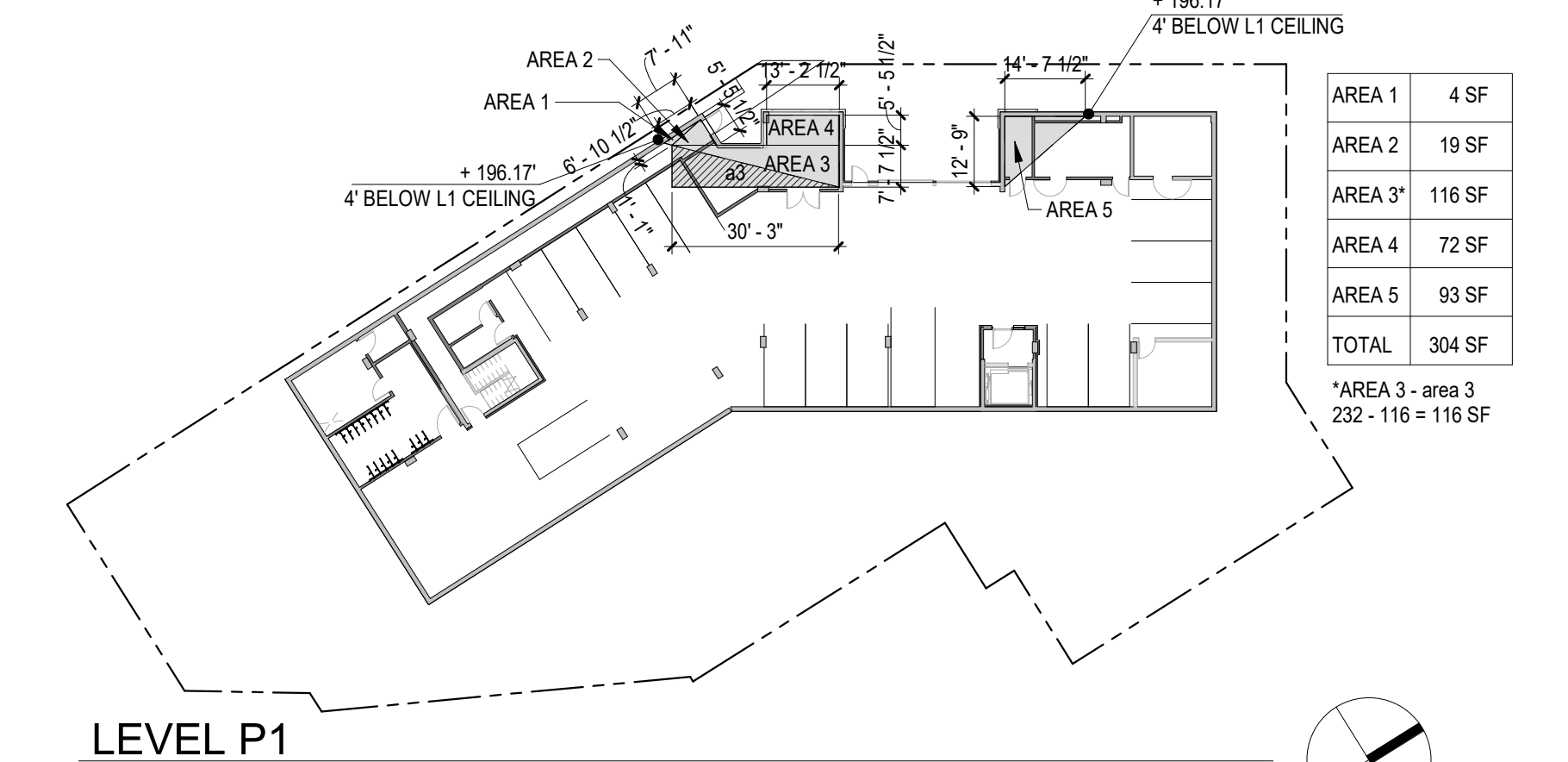
AREA 1*	1,721 SF
AREA 2**	101 SF
AREA 3	166 SF
AREA 4	242 SF
AREA 5***	155 SF
TOTAL	2,385 SF

\*AREA 1 - a1  
2,576 - 855 = 1,721 SF  
\*\*AREA 2 - a2  
132 - 31 SF = 101 SF  
\*\*\*AREA 5 - a5  
213 - 58 = 155 SF



LEVEL 3

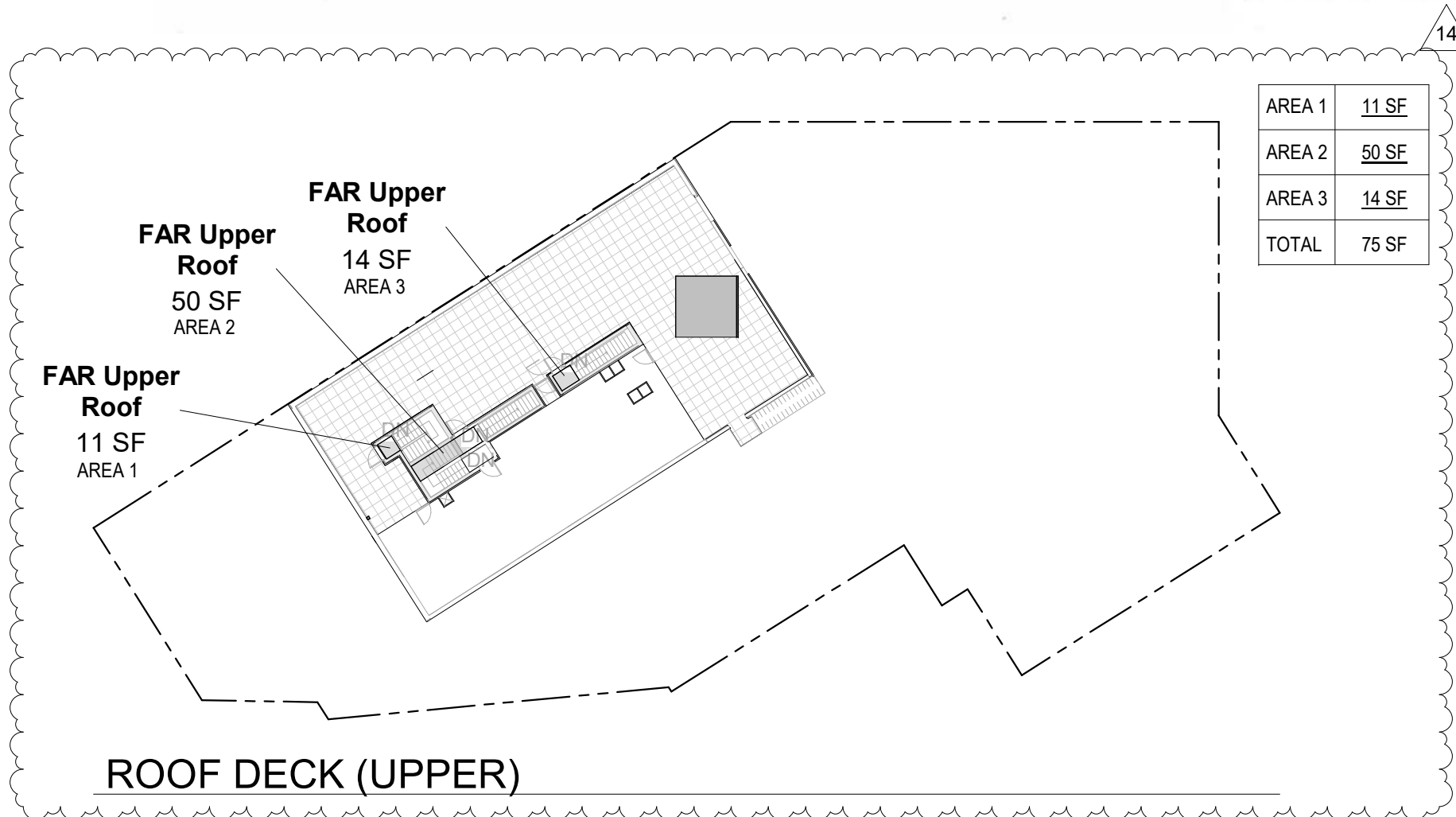
AREA 1	3,739 SF
AREA 2	3,447 SF
AREA 3	127 SF
AREA 4	383 SF
AREA 5	188 SF
AREA 6	673 SF
AREA 7	590 SF
TOTAL	9,147 SF



LEVEL P1

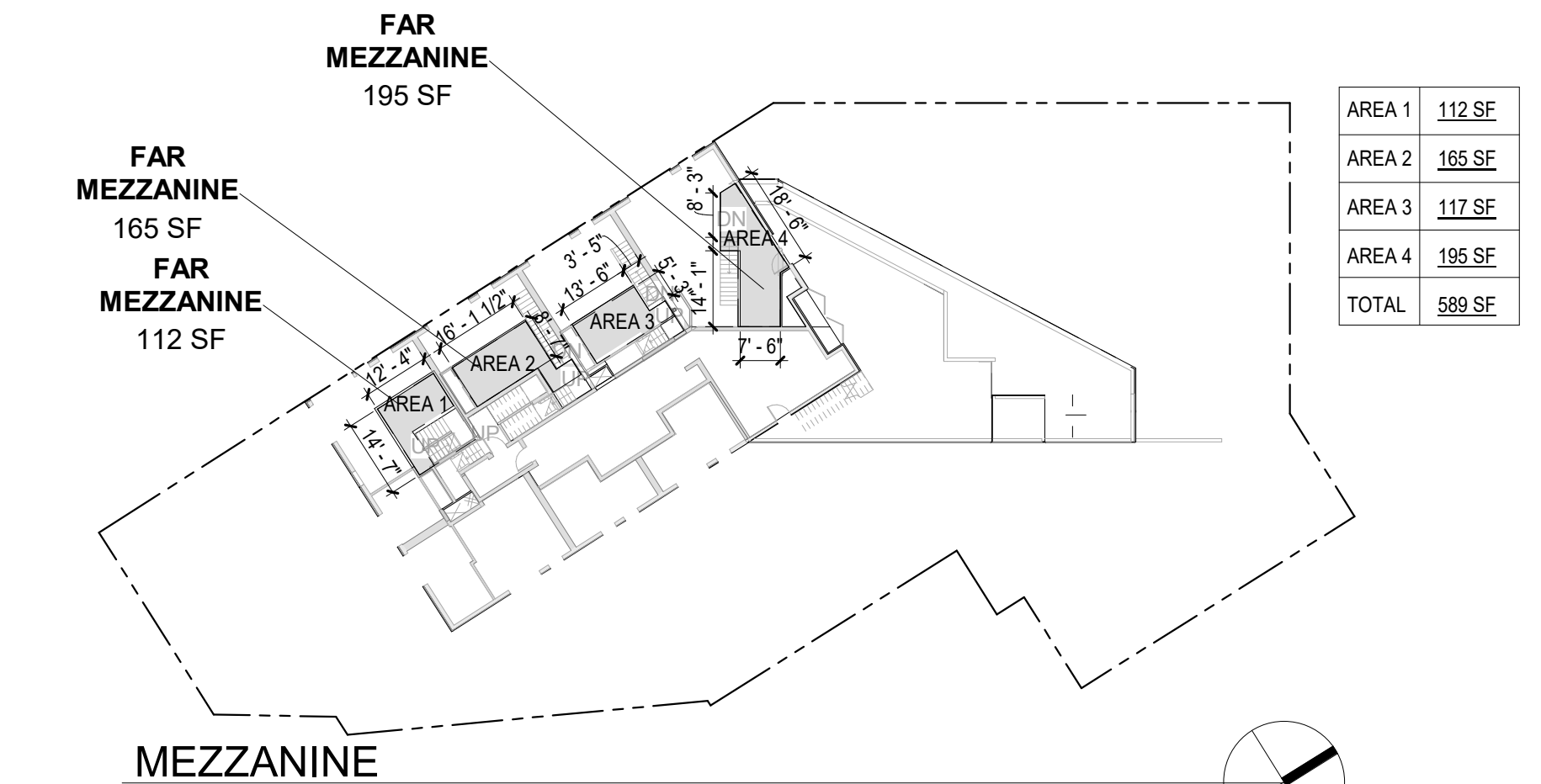
AREA 1	4 SF
AREA 2	19 SF
AREA 3*	116 SF
AREA 4	72 SF
AREA 5	93 SF
TOTAL	304 SF

\*AREA 3 - area 3  
232 - 116 = 116 SF



ROOF DECK (UPPER)

AREA 1	11 SF
AREA 2	50 SF
AREA 3	14 SF
TOTAL	75 SF



MEZZANINE

AREA 1	112 SF
AREA 2	165 SF
AREA 3	117 SF
AREA 4	195 SF
TOTAL	589 SF

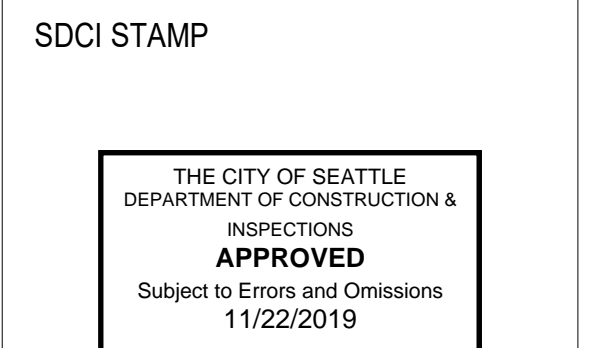


NICHOLSON KOVALCHICK ARCHITECTS  
6101 PENN AVENUE, SUITE M01  
PITTSBURGH, PA 15206  
T: 412-872-2682  
www.nkarch.com



ISSUANCE	
MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
2 MUP CORRECTIONS #2	3/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
3 MUP CORRECTIONS #3	08/25/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018
11 PPR CORRECTION #1	04/15/2019
13 ASI #4	07/03/2019
14 POST PERMIT REVISION #2	9/23/19
15 100% CONSTRUCTION SET	9/24/19

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

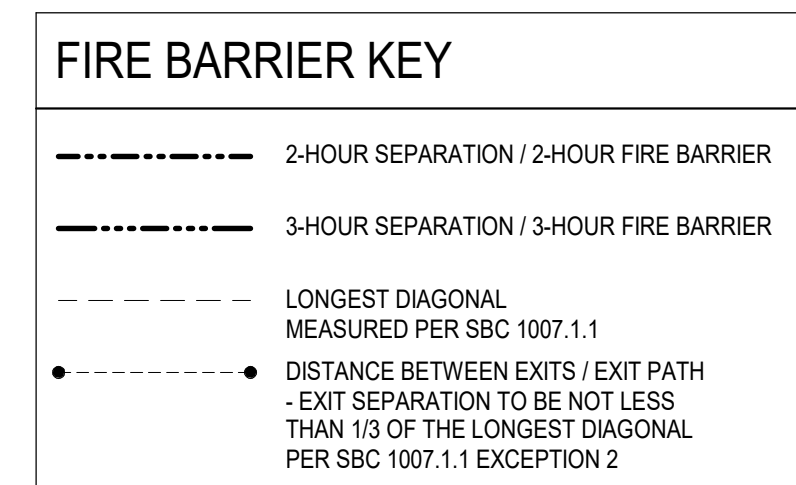
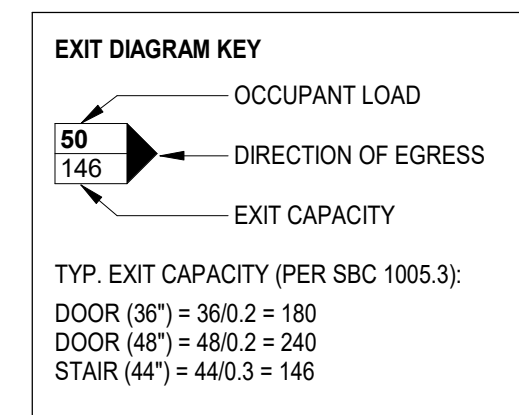
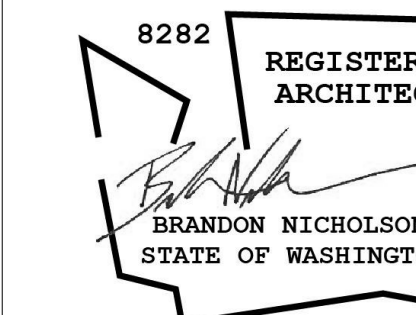


ZONING CODE DIAGRAMS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

**A0.11**  
© 2019 NICHOLSON KOVALCHICK ARCHITECTS PS

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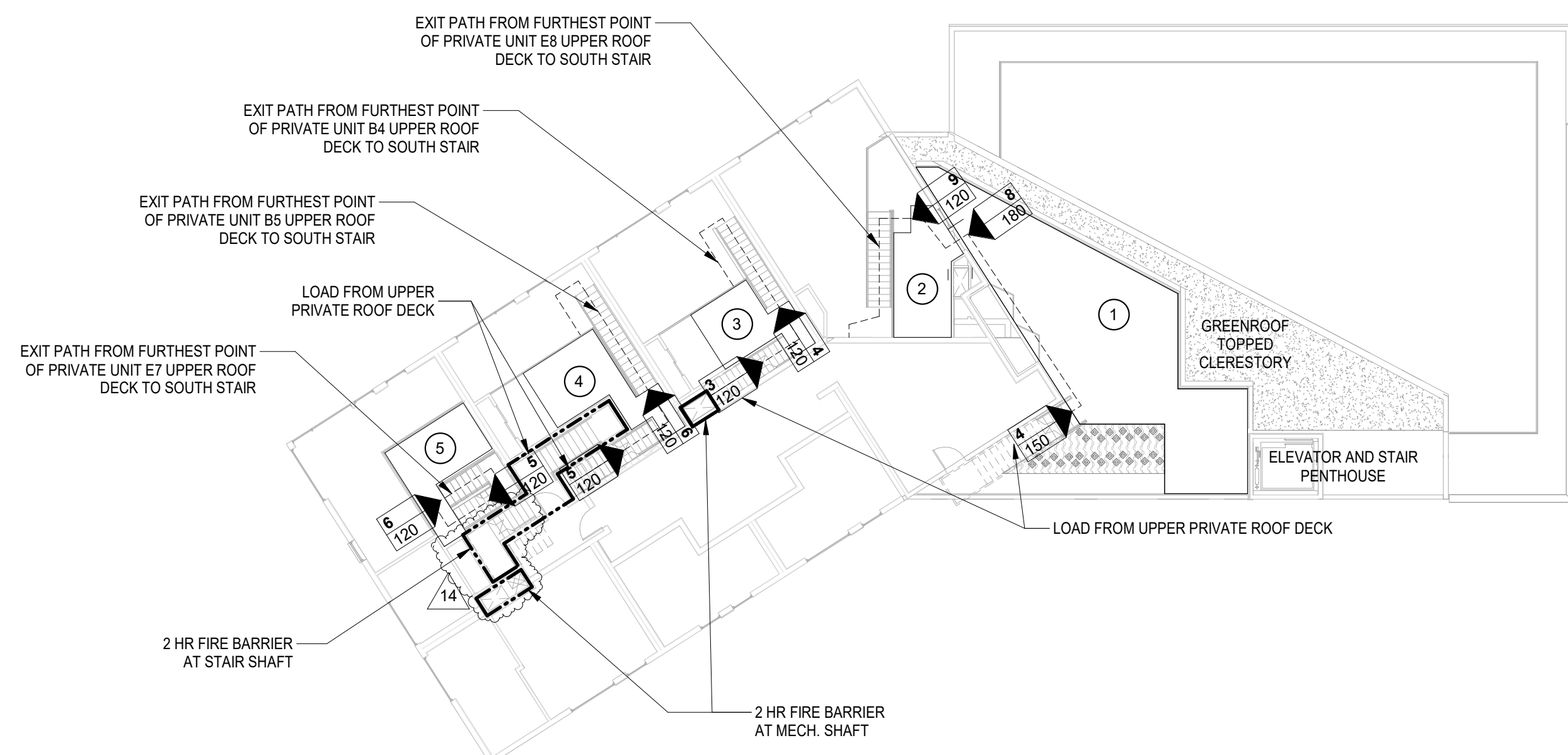


**NOTES**

- SEE DIAGRAMS FOR ASSEMBLY TYPE, SUCH AS EXTERIOR WALL, FIREWALL, ETC.
- ALL WALLS TO BE 1-HOUR RATED UNLESS NOTED OTHERWISE

**OCCUPANT LOAD (SBC TABLE 1004.1.2) MEZZANINE**

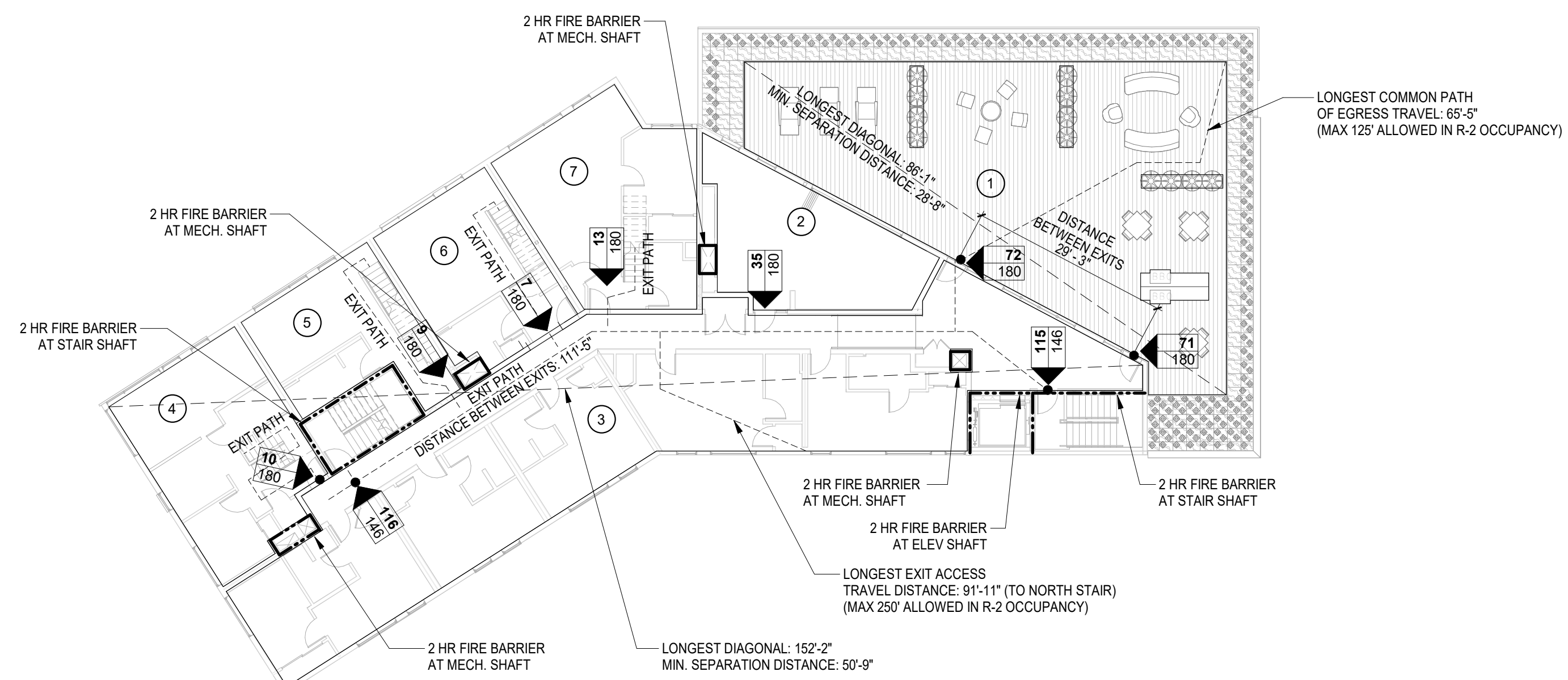
1) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 888 SF OLF: 200 GROSS OL: 4	3) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 95 SF OLF: 200 GROSS OL: 1	5) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 115 SF OLF: 200 GROSS OL: 1
2) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 123 SF OLF: 200 GROSS OL: 1	4) PRIVATE MEZZANINE FUNCTION OF SPACE: RESIDENTIAL AREA: 130 SF OLF: 200 GROSS OL: 1	



**MEZZANINE EXITING**  
SCALE: 1/16" = 1'-0"

**OCCUPANT LOAD (SBC TABLE 1004.1.2) LEVEL 5**

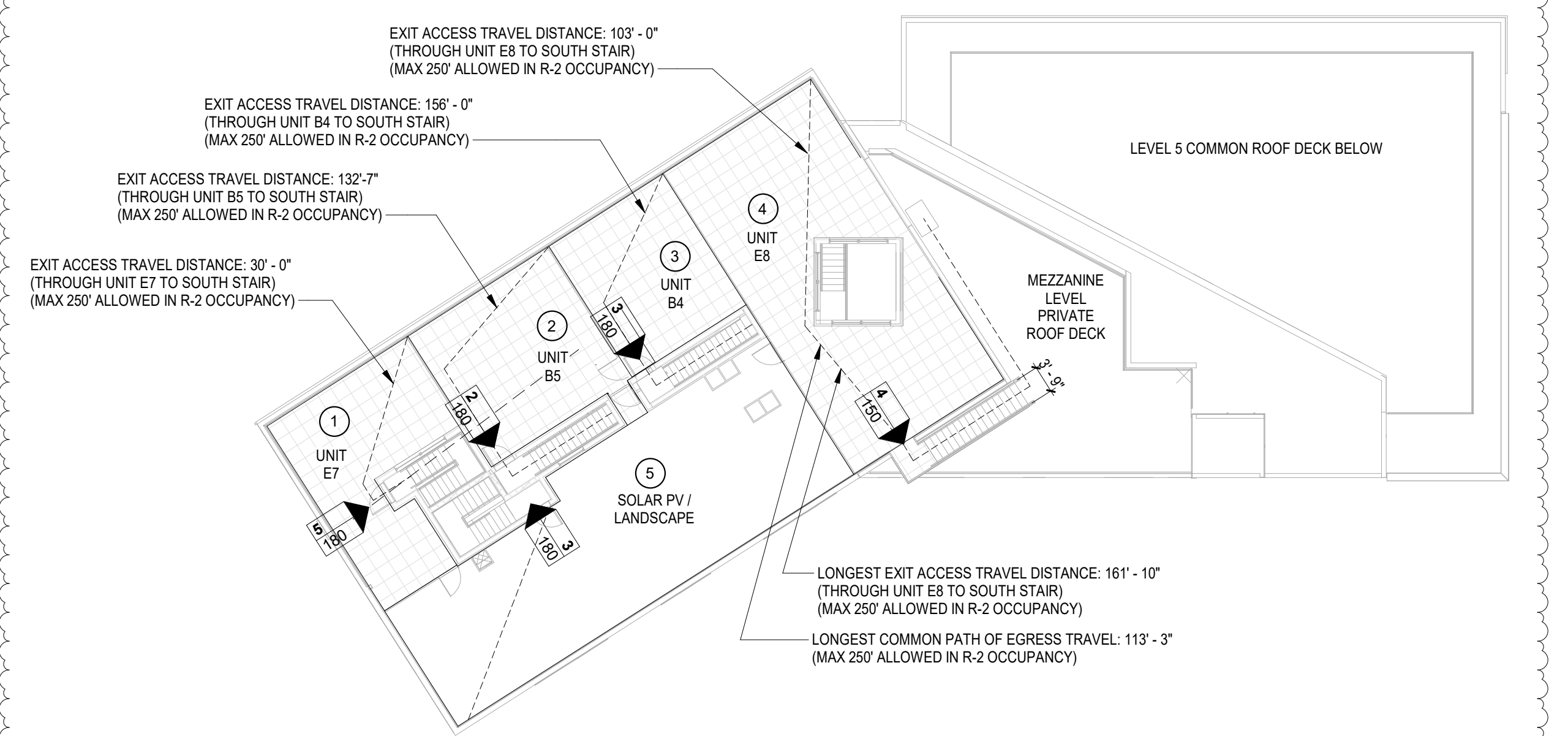
1) ROOF DECK FUNCTION OF SPACE: ASSEMBLY (UNCONCENTRATED) AREA: 2,131 SF OLF: 15 NET OL: 143	3) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 2,700 SF OLF: 200 GROSS OL: 14	5) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 422 SF OLF: 200 GROSS OL: 9 (3 + 1 MEZZANINE + 5 UPPER ROOF DECK)	7) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 683 SF OLF: 200 GROSS OL: 13 (4 + 1 MEZZANINE + 4 LOWER ROOF DECK + 4 UPPER ROOF DECK)
2) CLUB ROOM FUNCTION OF SPACE: ASSEMBLY (UNCONCENTRATED) AREA: 518 SF OLF: 15 NET OL: 35	4) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 638 SF OLF: 200 GROSS OL: 10 (4 + 1 MEZZANINE + 5 UPPER ROOF DECK)	6) RESIDENTIAL FUNCTION OF SPACE: RESIDENTIAL AREA: 482 SF OLF: 200 GROSS OL: 7 (3 + 3 MEZZANINE + 1 UPPER ROOF DECK)	



**LEVEL 5 EXITING**  
SCALE: 1/16" = 1'-0"

**OCCUPANT LOAD (SBC TABLE 1004.1.2) UPPER ROOF DECK**

1) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 699 SF OLF: 200 GROSS OL: 4	3) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 822 SF OLF: 200 GROSS OL: 5	5) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 568 SF OLF: 200 GROSS OL: 3
2) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 475 SF OLF: 200 GROSS OL: 3	4) PRIVATE ACCESS ONLY ROOF DECK FUNCTION OF SPACE: RESIDENTIAL AREA: 218 SF OLF: 200 GROSS OL: 2	



**UPPER ROOF EXITING**  
SCALE: 1/16" = 1'-0"

**ISSUANCE**

BP SUBMITTAL	5/12/2017
4 BP CORRECTION #1	09/11/2017
85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018
14 POST PERMIT REVISION #2	9/23/19
15 100% CONSTRUCTION SET	9/24/19

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

**SDCI STAMP**

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

**EXITING DIAGRAMS**

PROJECT #: 16070  
DRAWN BY: BP  
CHECKED BY: MC  
FILE NAME: WALLS BELLEVUE PLACE

**A0.22**

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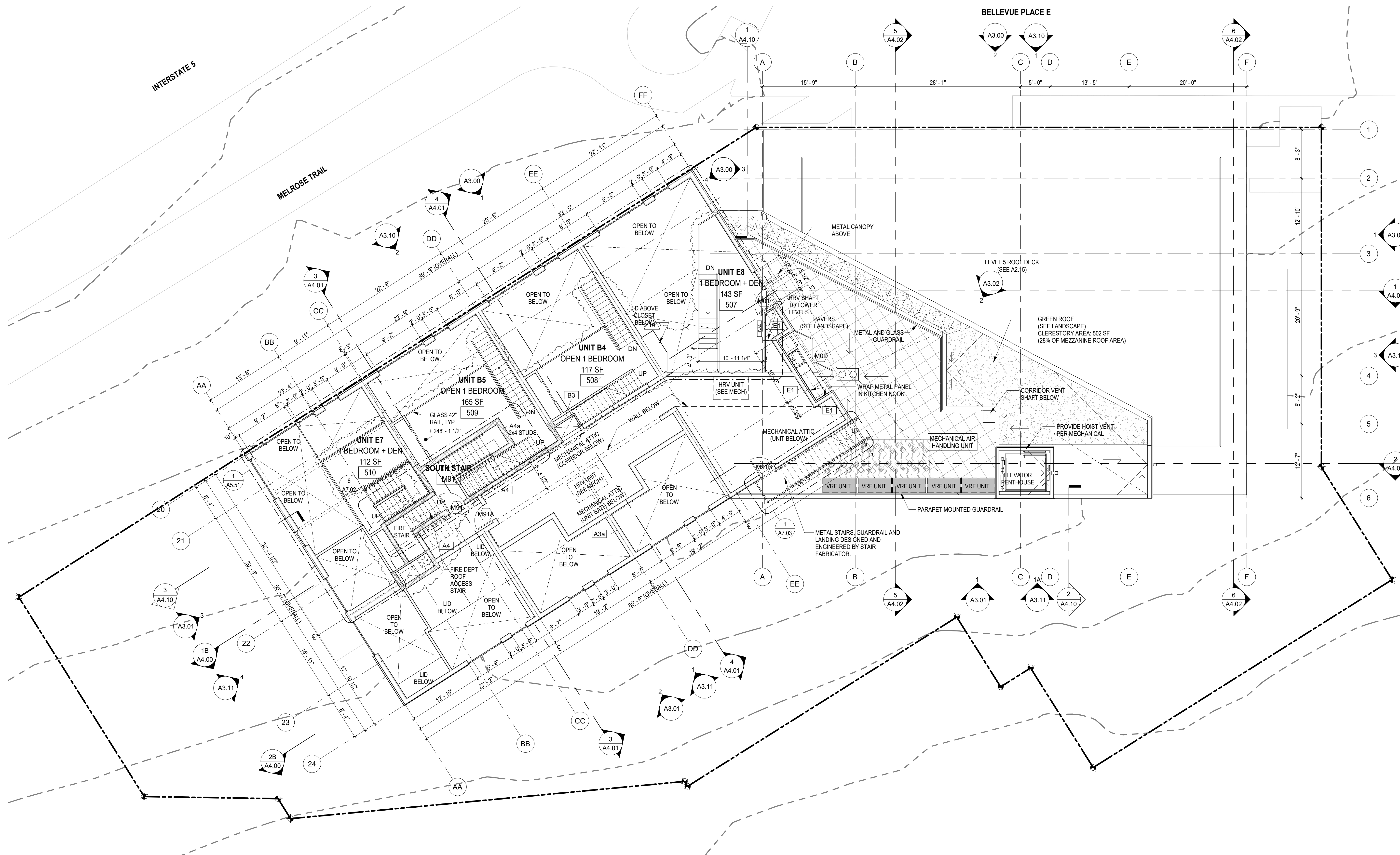
- GENERAL PLAN NOTES**
- DIMENSIONS ARE SHOWN TO FACE OF CONCRETE AT CONCRETE WALLS
  - DIMENSIONS ARE SHOWN TO FACE OF SHEATHING AT WOOD FRAMED EXTERIOR WALLS
  - DIMENSIONS ARE SHOWN TO FACE OF STUD FOR INTERIOR WALLS WITH THE EXCEPTION OF PARTY WALLS. PARTY WALLS ARE DIMENSIONED TO CENTER OF AIR GAP.
  - SEE HVAC SHEETS FOR UNIT VENTILATION
  - SEE AS.XX SERIES FOR ENLARGED UNIT PLANS, INTERIOR PARTITION WALL TYPES AND LOCATIONS

WALL TYPES (LEVELS 1-MEZZANINE)

UNLESS NOTED OTHERWISE:

A2 CORRIDOR WALLS

A3 PARTY WALLS



**ISSUANCE**

NO.	DESCRIPTION	DATE
1	MUP CORRECTIONS #1	1/13/2017
2	DD SUBMITTAL	3/14/2017
3	BP SUBMITTAL	5/12/2017
4	BP CORRECTION #1	09/11/2017
5	85% SET	9/25/2017
6	BP CORRECTION #2	12/06/17
7	POST PERMIT REVISION	10/10/2018
8	POST PERMIT REVISION #2	9/23/19
9	100% CONSTRUCTION SET	9/24/19

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

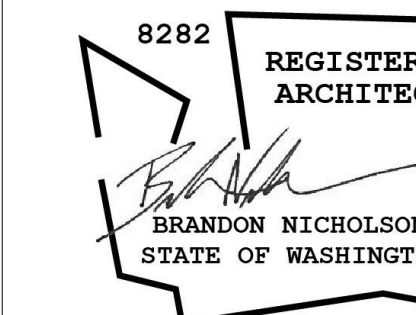
SDCI STAMP

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION &  
INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

FLOOR PLAN -  
MEZZANINE

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A2.16



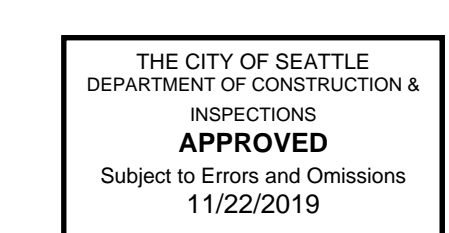
ISSUANCE	
MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
4 BP CORRECTION #1	09/11/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018
11 PPR CORRECTION #1	04/15/2019
14 POST PERMIT REVISION #2	9/23/19
15 100% CONSTRUCTION SET	9/24/19
17 PPR CORRECTIONS #4	10/17/19

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

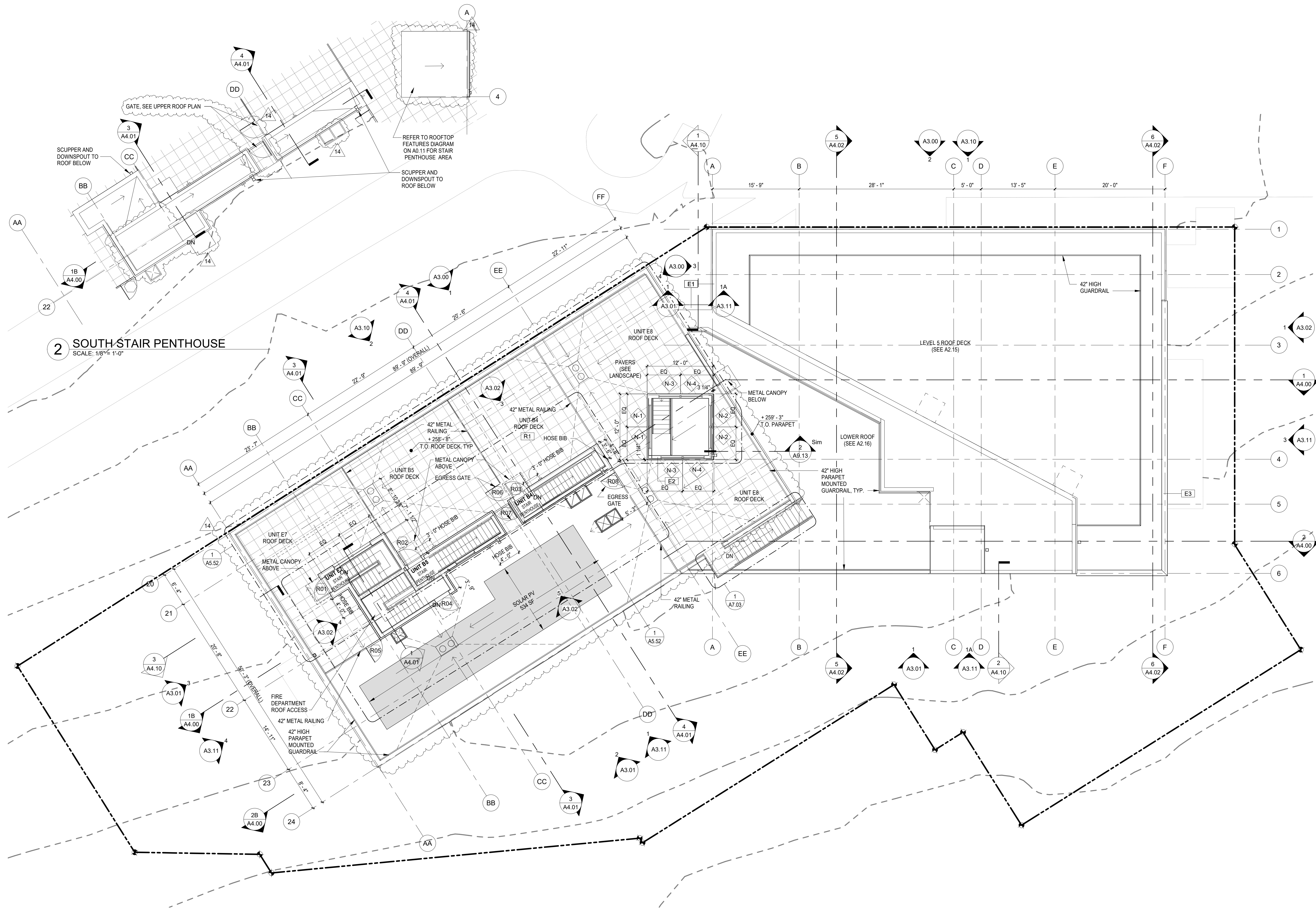
SDCI STAMP



UPPER ROOF

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

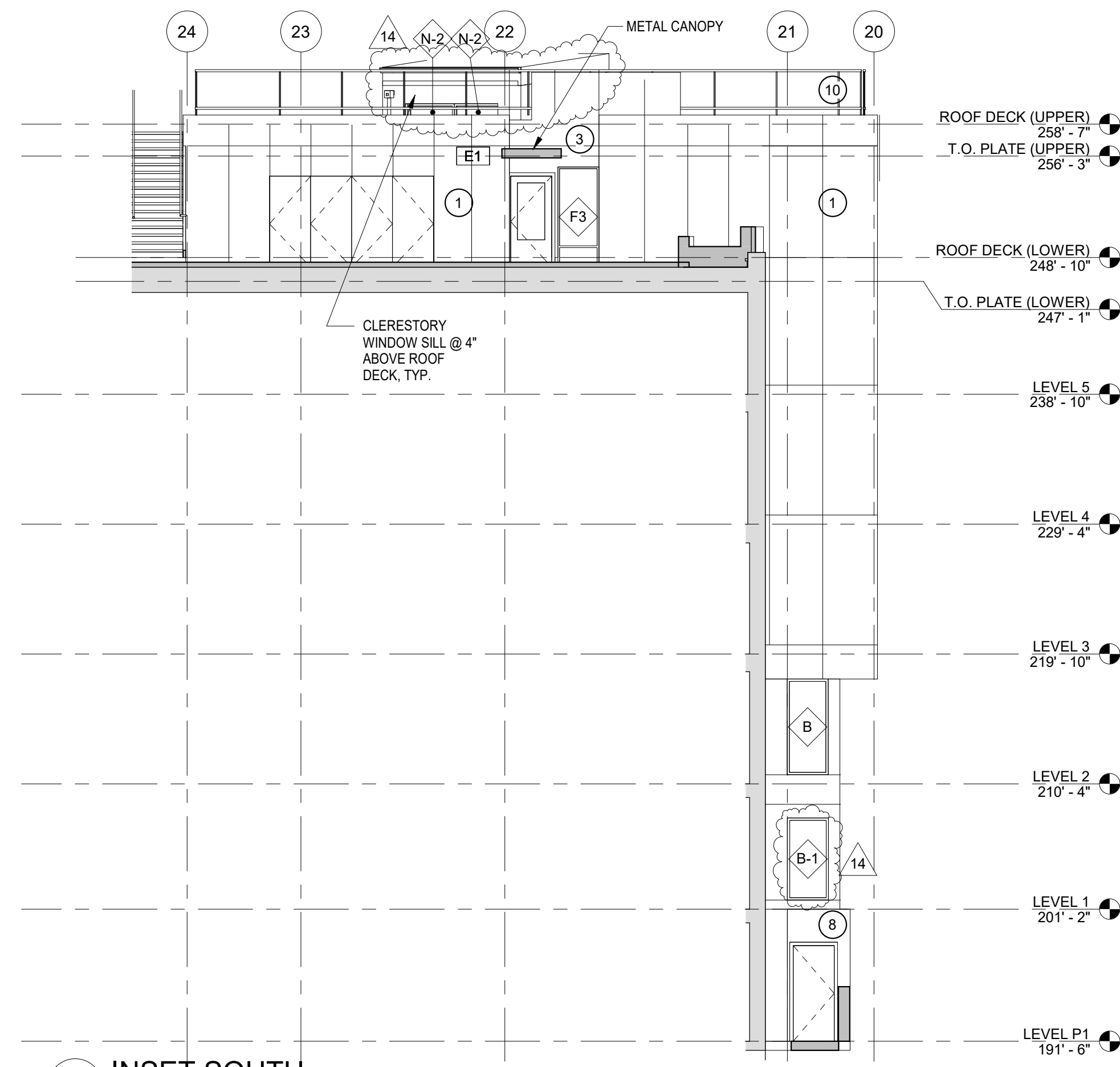
# A2.17



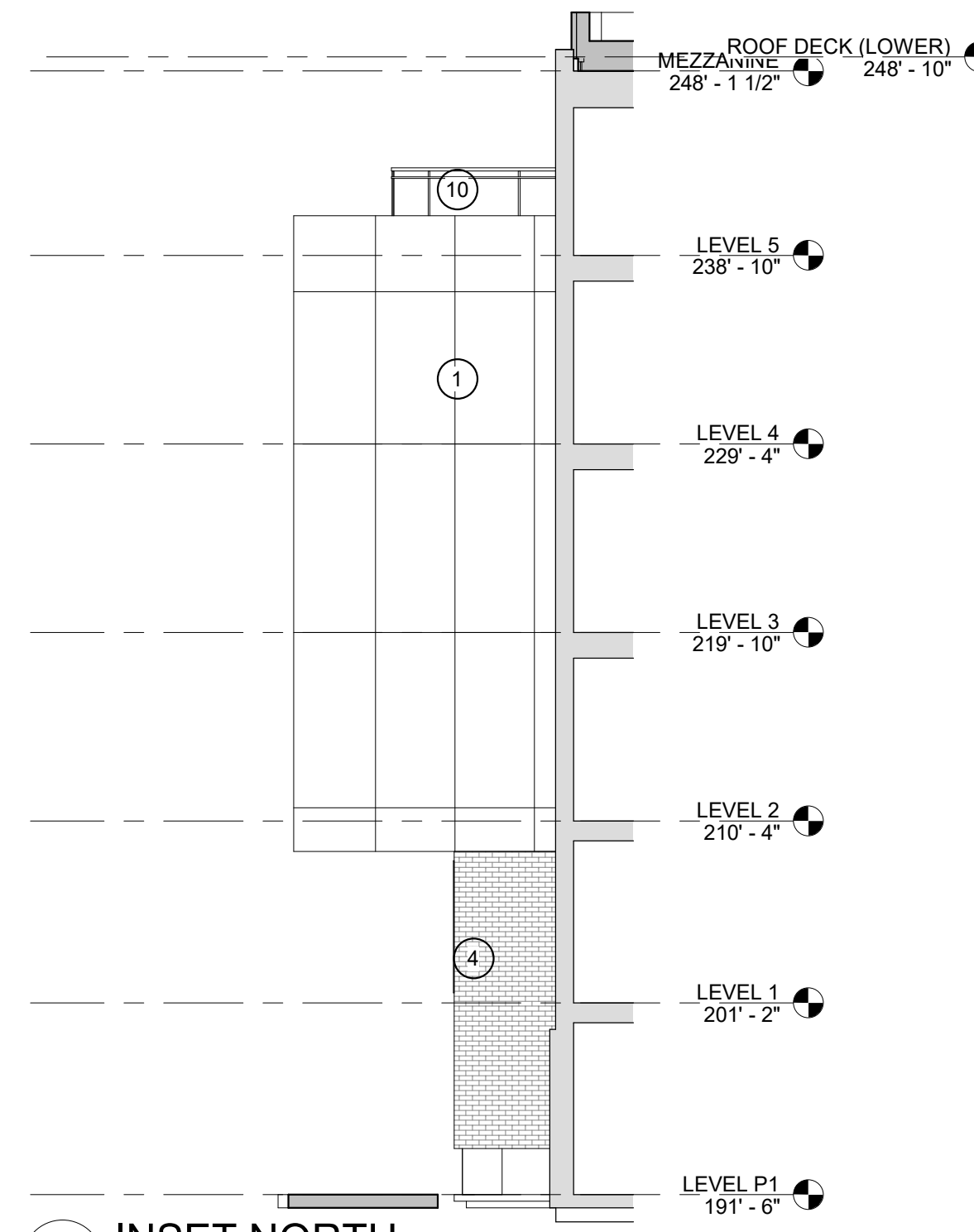
**2 SOUTH STAIR PENTHOUSE**  
SCALE: 1/8" = 1'-0"

**1 UPPER ROOF**  
SCALE: 1/8" = 1'-0"

C:\Users\jennifere\Documents\16070\_Walls\_Bellevue\_Place\_CD\_Set\_Jennifer\BSP1.H1.rvt 11/13/2019 7:27:47 PM



**4 INSET SOUTH**  
SCALE: 1/8" = 1'-0"



**3 INSET NORTH**  
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS KEY**

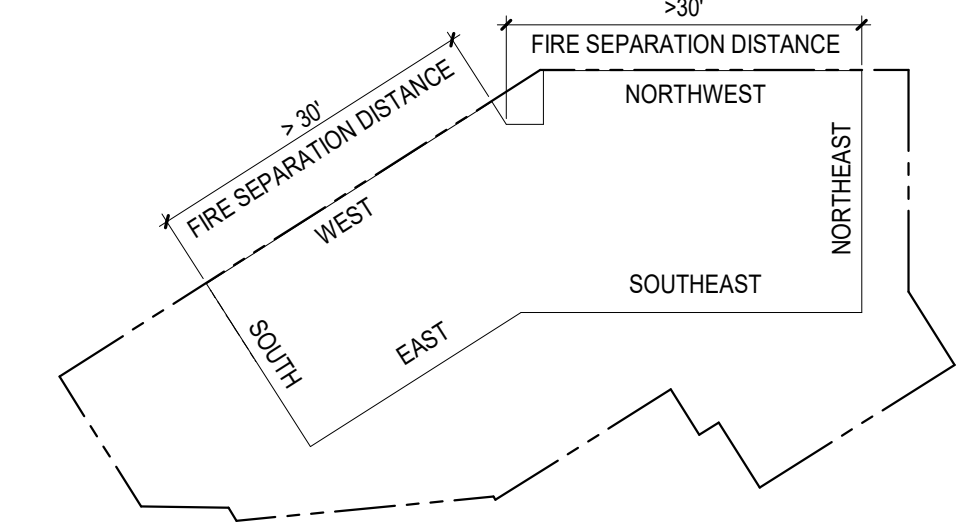
- 1 DARK GRAY METAL PANEL
- 2 KAMELEON RED SUNRISE METAL PANEL
- 3 LIGHT GRAY METAL PANEL
- 4 BRICK (DARK GRAY)
- 5 STOREFRONT GLAZING SYSTEM
- 6 FIBERGLASS WINDOW (LIGHT GRAY)
- 7 METAL SECTIONAL GARAGE DOOR
- 8 CONCRETE
- 9 METAL SIGNAGE (NON-ILLUMINATED)
- 10 METAL / GLASS GUARDRAIL (MIN 80% TRANSPARENT)
- 11 FIBER CEMENT- DARK GREY
- 12 FIBER CEMENT- SIENNA
- 13 FIBER CEMENT- LIGHT GRAY

**WALL OPENING CALCULATIONS (SBC 705.8) NORTHWEST ELEVATION**

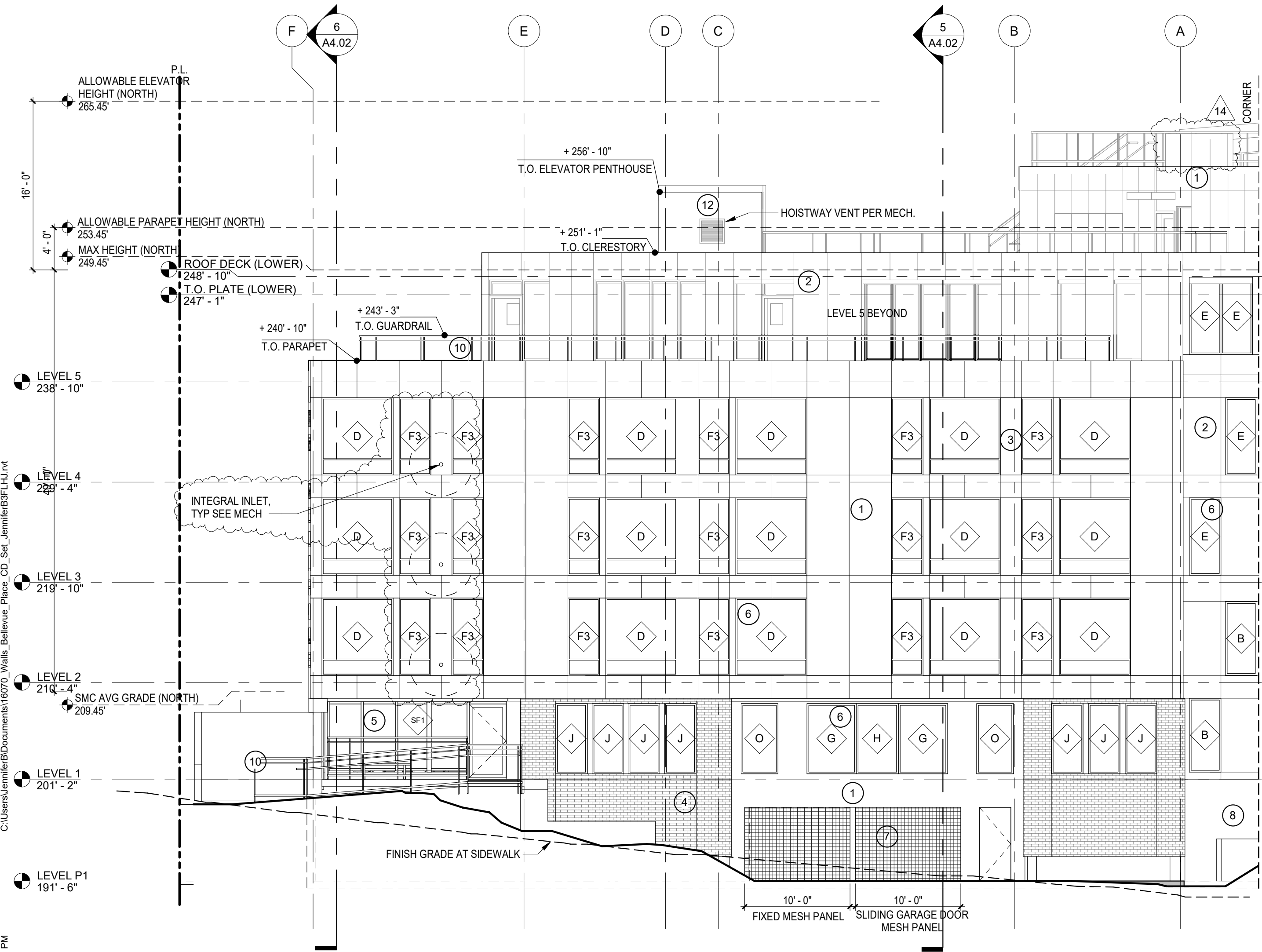
>30'	UNLIMITED PER LEVEL (UNPROTECTED, SPRINKLERED)
------	--

**WALL OPENING CALCULATIONS (SBC 705.8) WEST ELEVATION**

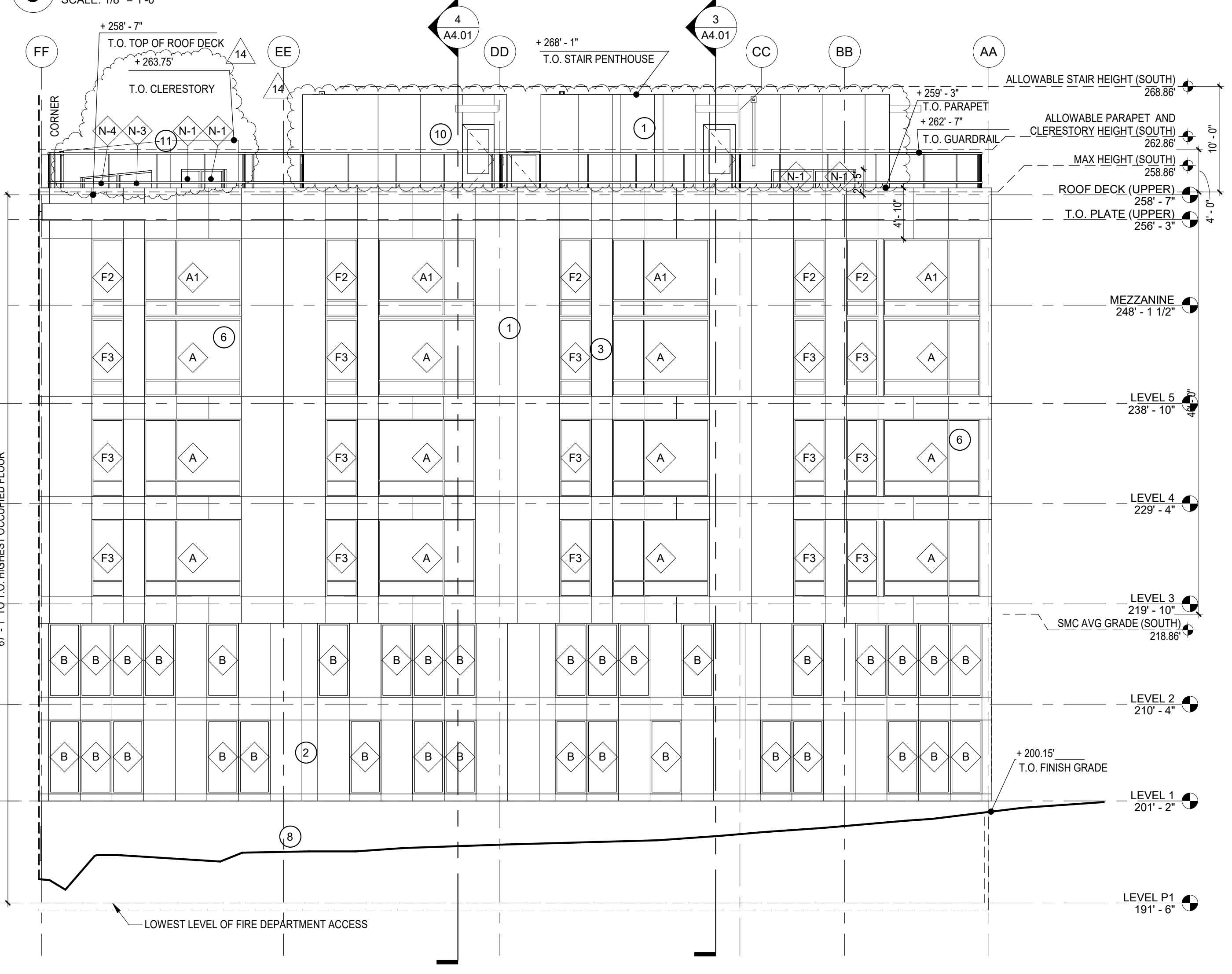
>30'	UNLIMITED PER LEVEL (UNPROTECTED, SPRINKLERED)
------	--



**ELEVATION KEY**



**2 ELEVATION: NORTHWEST AT BELLEVUE AVE**  
SCALE: 1/8" = 1'-0"



**1 ELEVATION: WEST**  
SCALE: 1/8" = 1'-0"



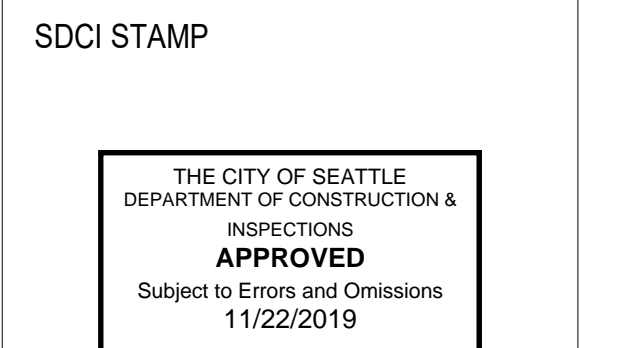
NICHOLSON KOVALCHICK ARCHITECTS  
6101 PENN AVENUE, SUITE M01  
PITTSBURGH, PA 15206  
T: 412-872-2682  
www.nkarch.com



**ISSUANCE**

MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
2 MUP CORRECTIONS #2	3/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018
11 PPR CORRECTION #1	04/15/2019
14 POST PERMIT REVISION #2	9/23/19
15 100% CONSTRUCTION SET	9/24/19
17 PPR CORRECTIONS #4	10/17/19

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC



**ELEVATIONS**

PROJECT #: 16070  
DRAWN BY: SD, MC, BP, CD  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

**A3.00**  
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C:\Users\kamele\Documents\16070\_Walls\_Bellevue\_Place\_CD\_Set\_JenniferBSP141.rvt 11/13/2019 7:27:51 PM

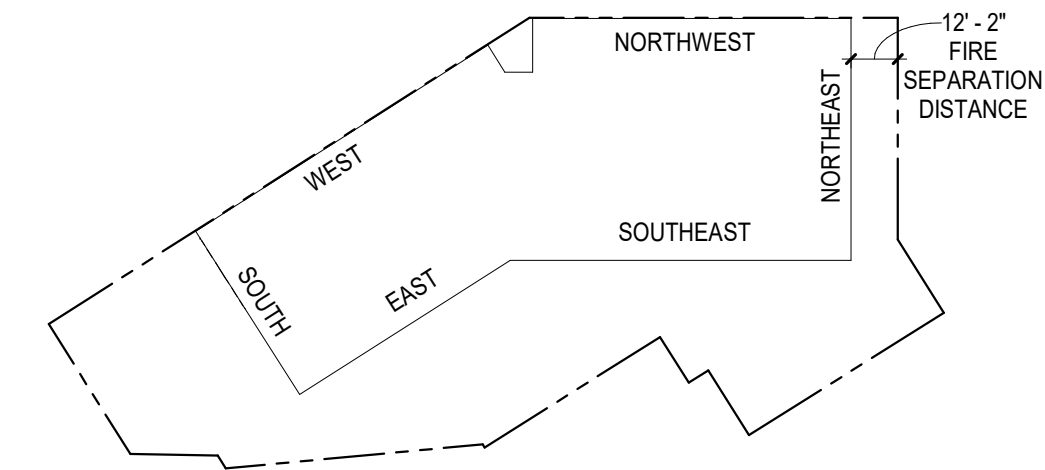


EXTERIOR MATERIALS KEY	
1	DARK GRAY METAL PANEL
2	KAMELEON RED SUNRISE METAL PANEL
3	LIGHT GRAY METAL PANEL
4	BRICK (DARK GRAY)
5	STOREFRONT GLAZING SYSTEM
6	FIBERGLASS WINDOW (LIGHT GRAY)
7	METAL SECTIONAL GARAGE DOOR
8	CONCRETE
9	METAL SIGNAGE (NON-ILLUMINATED)
10	METAL / GLASS GUARDRAIL (MIN 80% TRANSPARENT)
11	FIBER CEMENT- DARK GREY
12	FIBER CEMENT- SIENNA
13	FIBER CEMENT- LIGHT GRAY

WALL OPENING CALCULATIONS (SBC 705.8) SOUTHEAST ELEVATION			
FIRE SEPARATION DISTANCE	GROSS WALL AREA (SF)	WINDOW AREA (SF)	PERCENTAGE OF WALL
10' TO <15'	45% MAX PER LEVEL (UNPROTECTED, SPRINKLERED)		
LEVEL 4	603 SF	204 SF	33.8%
LEVEL 3	580 SF	204 SF	35.2%
LEVEL 2	441 SF	126 SF	28.6%
LEVEL 1	0 SF	0 SF	0%

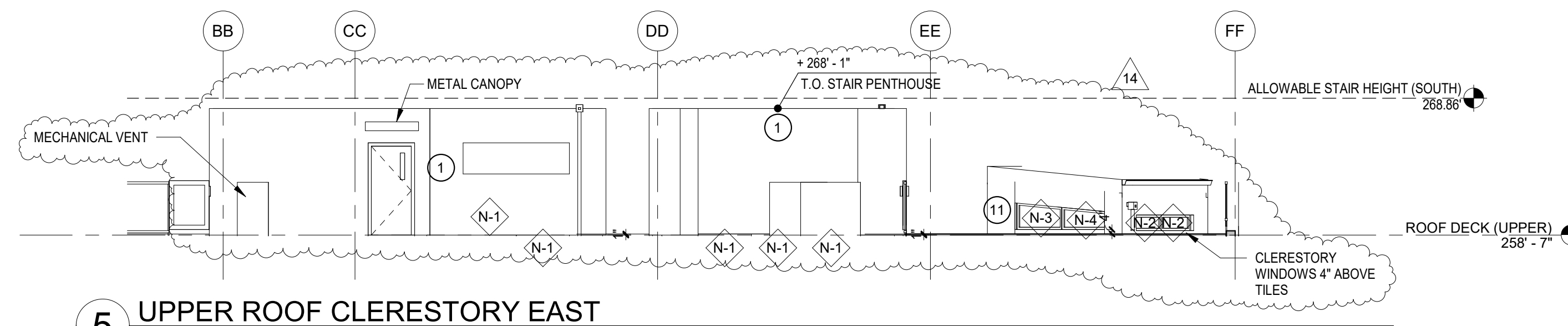
ISSUANCE

MUP SUBMITTAL	10/14/2014
1 MUP CORRECTIONS #1	1/13/2017
2 MUP CORRECTIONS #2	3/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
3 MUP CORRECTIONS #3	08/25/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018
11 PPR CORRECTION #1	04/15/2019
14 POST PERMIT REVISION #2	9/23/19
15 100% CONSTRUCTION SET	9/24/19
17 PPR CORRECTIONS #4	10/17/19

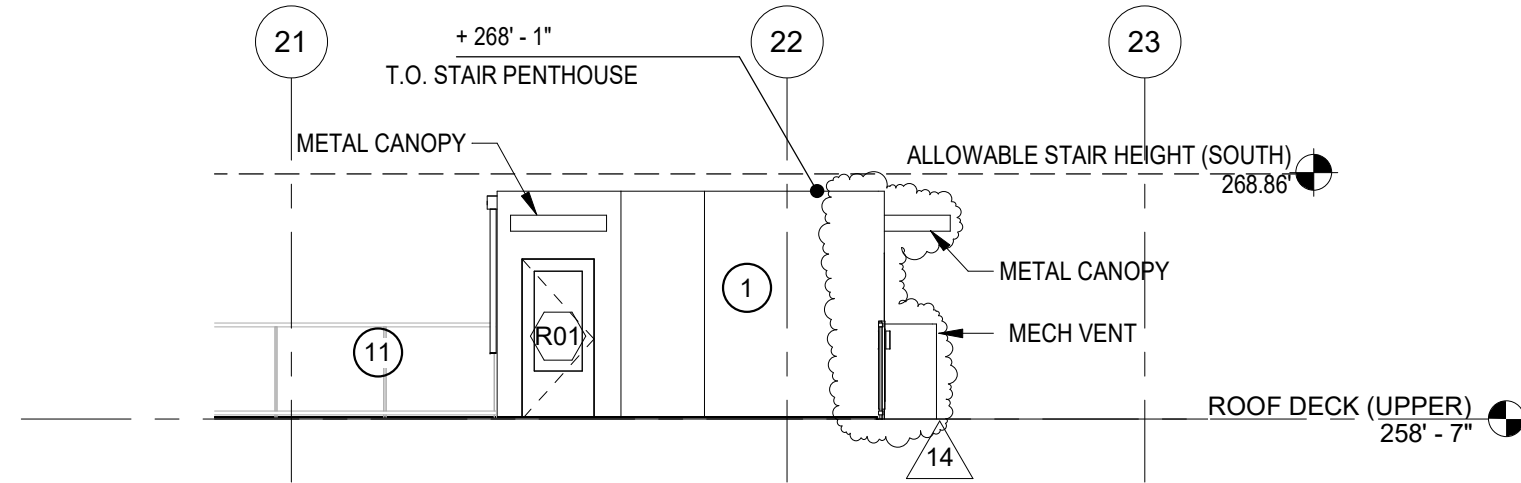


ELEVATION KEY

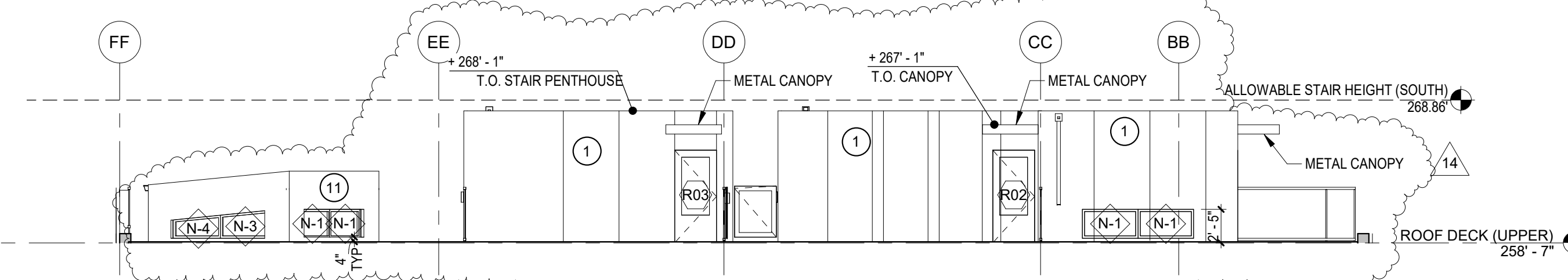
ALLOWABLE ELEVATOR HEIGHT (NORTH)	265.45'
ROOF DECK (UPPER)	258'-7"
ALLOWABLE PARAPET HEIGHT (NORTH)	253.45'
ROOF DECK (LOWER)	248'-10"
MAX HEIGHT (NORTH)	249.45'
T.O. PLATE (LOWER)	247'-1"
T.O. PARAPET	240'-10"
LEVEL 5	238'-10"
LEVEL 4	229'-4"
LEVEL 3	219'-10"
LEVEL 2	SMC AVG GRADE (NORTH) 210'-4"
LEVEL 1	201'-2"
LEVEL P1	191'-6"



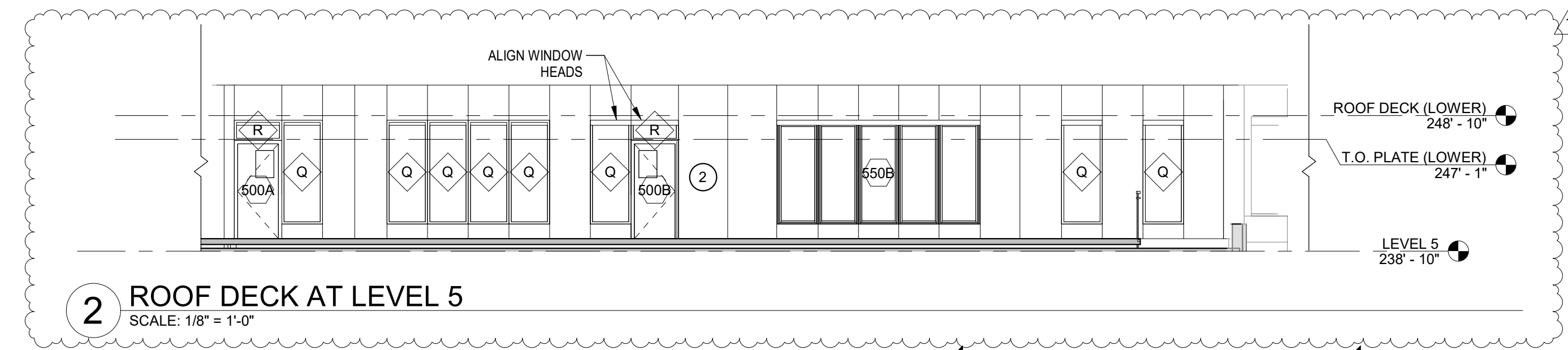
5 UPPER ROOF CLERESTORY EAST  
SCALE: 1/8" = 1'-0"



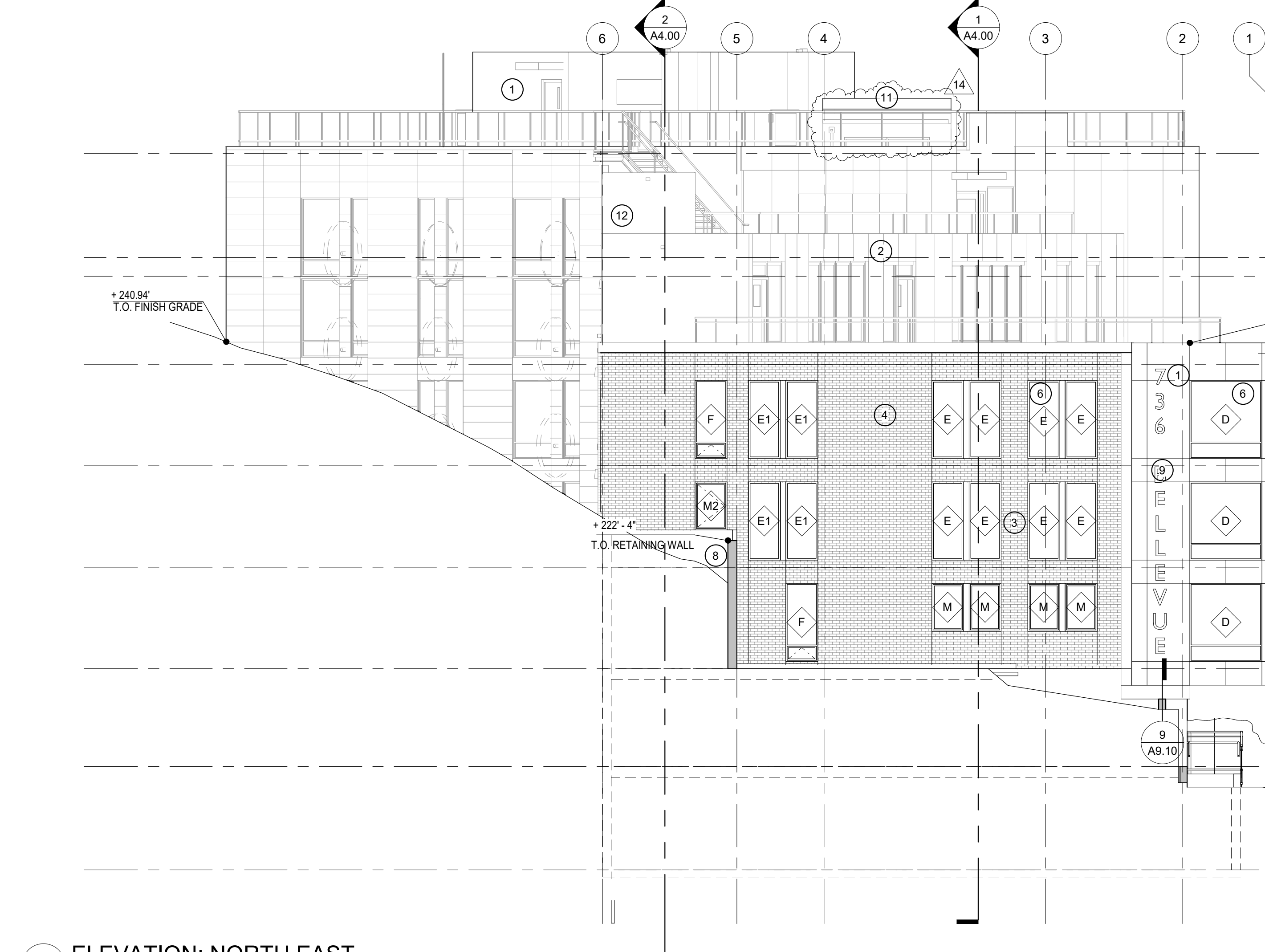
4 UPPER ROOF STAIR PENTHOUSE SOUTH  
SCALE: 1/8" = 1'-0"



3 UPPER ROOF CLERESTORY WEST  
SCALE: 1/8" = 1'-0"



2 ROOF DECK AT LEVEL 5  
SCALE: 1/8" = 1'-0"



1 ELEVATION: NORTH EAST  
SCALE: 1/8" = 1'-0"

BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

SDCI STAMP



ELEVATIONS

PROJECT #: 16070  
DRAWN BY: SD, MC, BP, CD  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

A3.02

ISSUANCE

MUP SUBMITTAL	10/14/2014
MUP CORRECTIONS #1	1/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
10 POST PERMIT REVISION	10/10/2018
14 POST PERMIT REVISION #2	9/23/19
100% CONSTRUCTION SET	9/24/19
PPR CORRECTIONS #4	10/17/19

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

SDCI STAMP

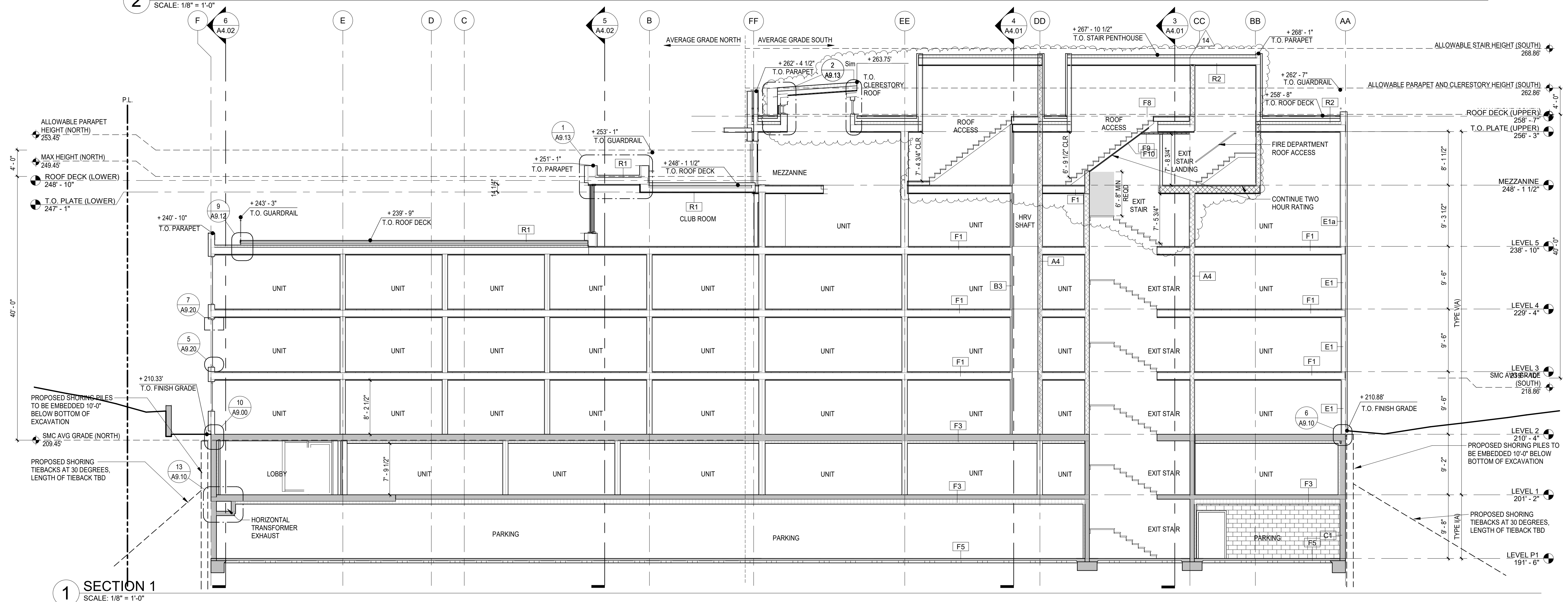
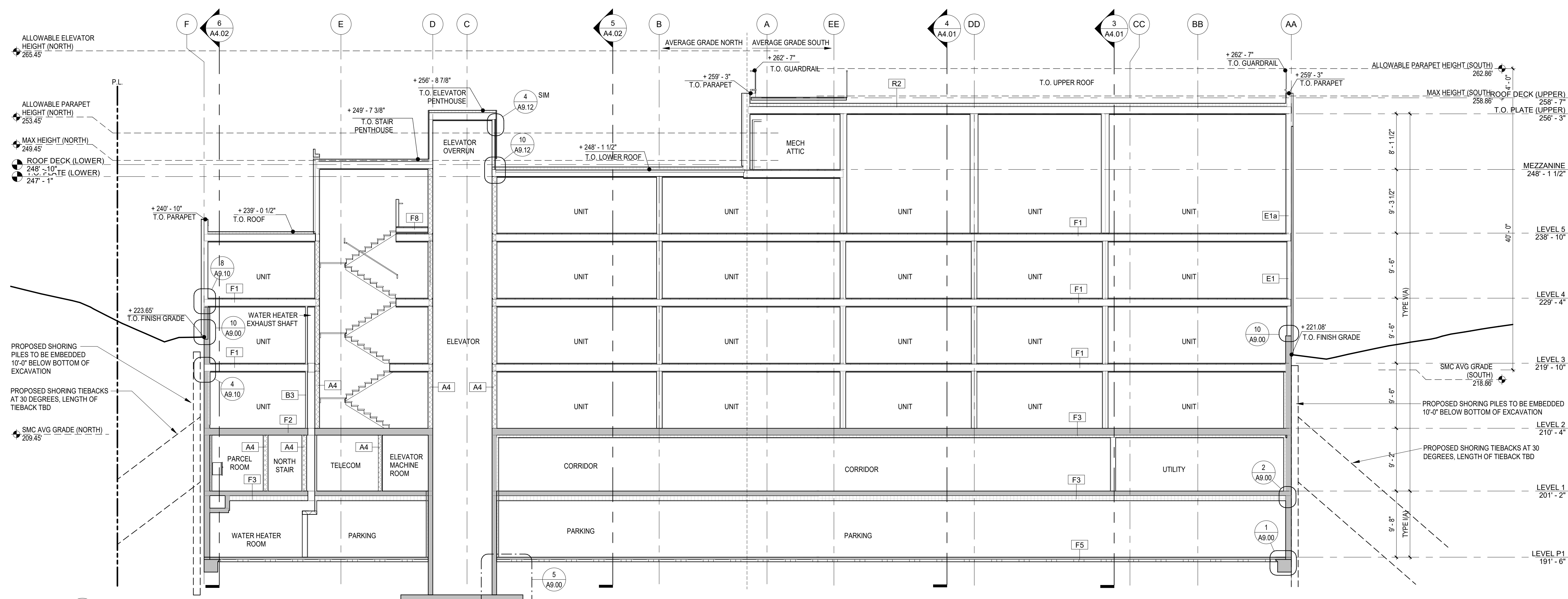
THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

### BUILDING SECTIONS

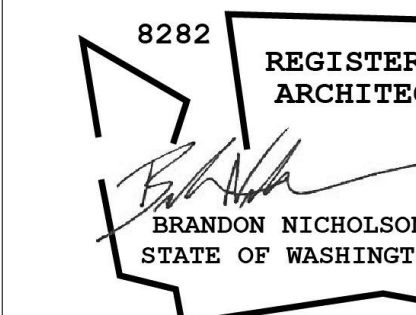
PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A4.00

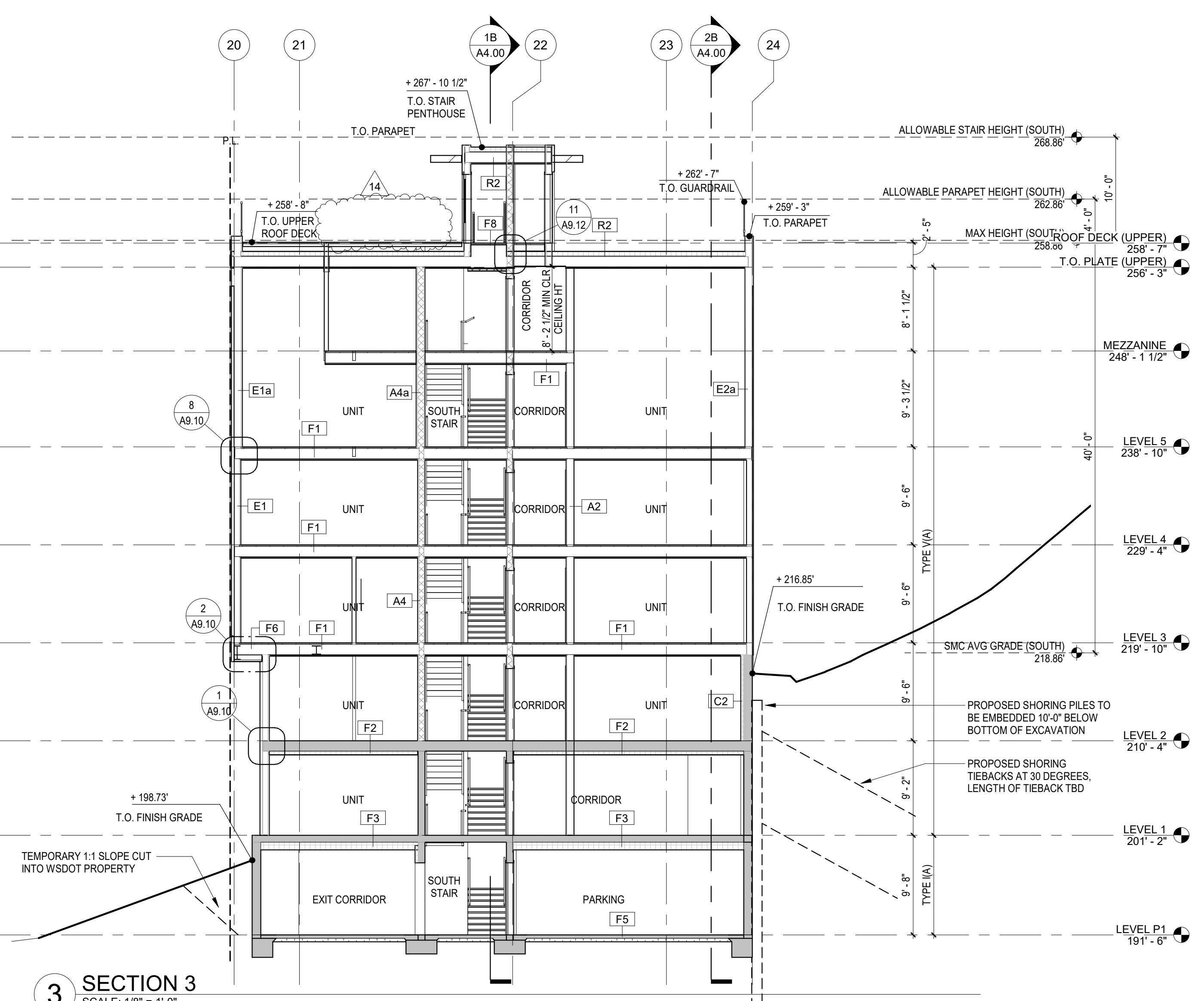
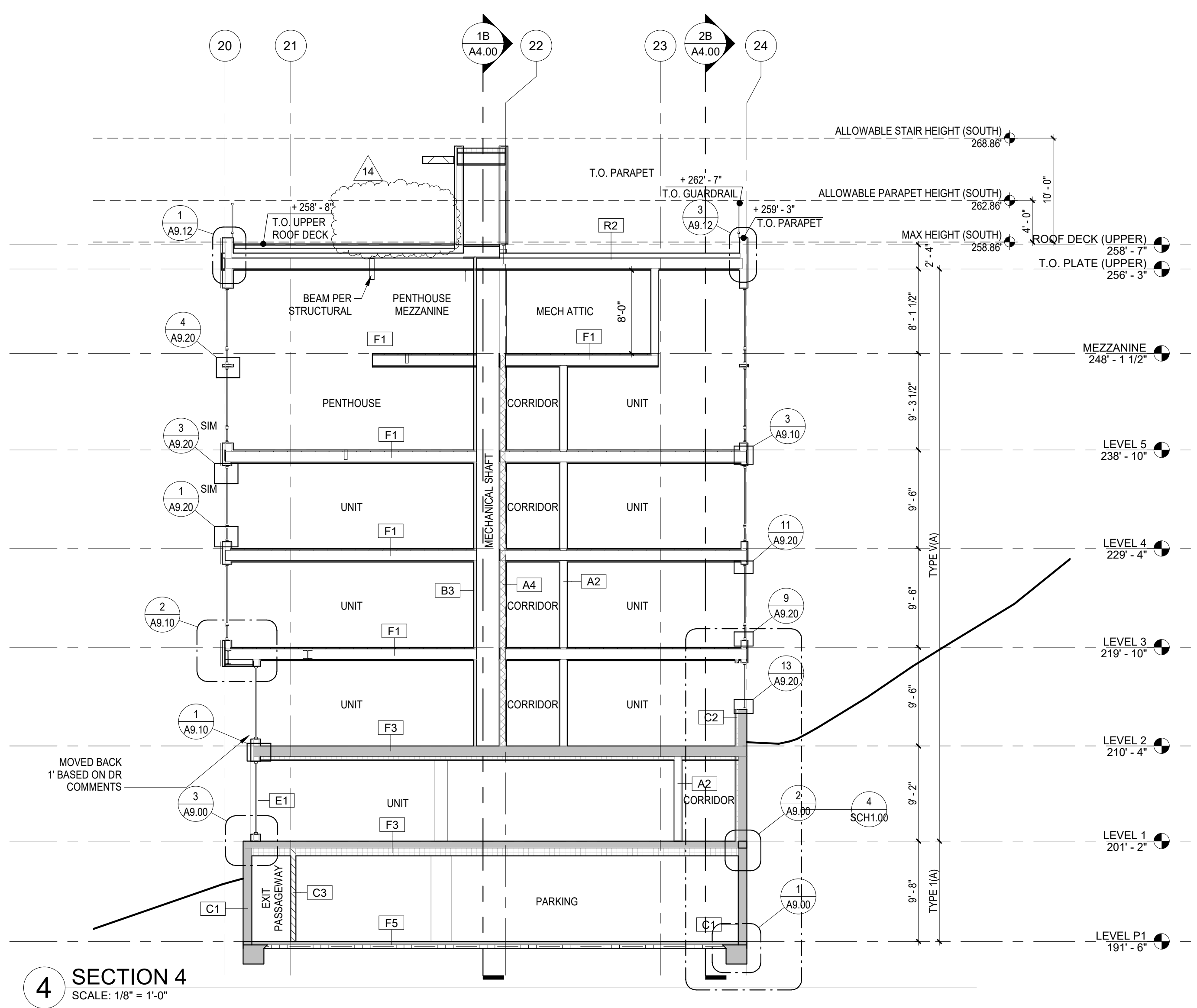
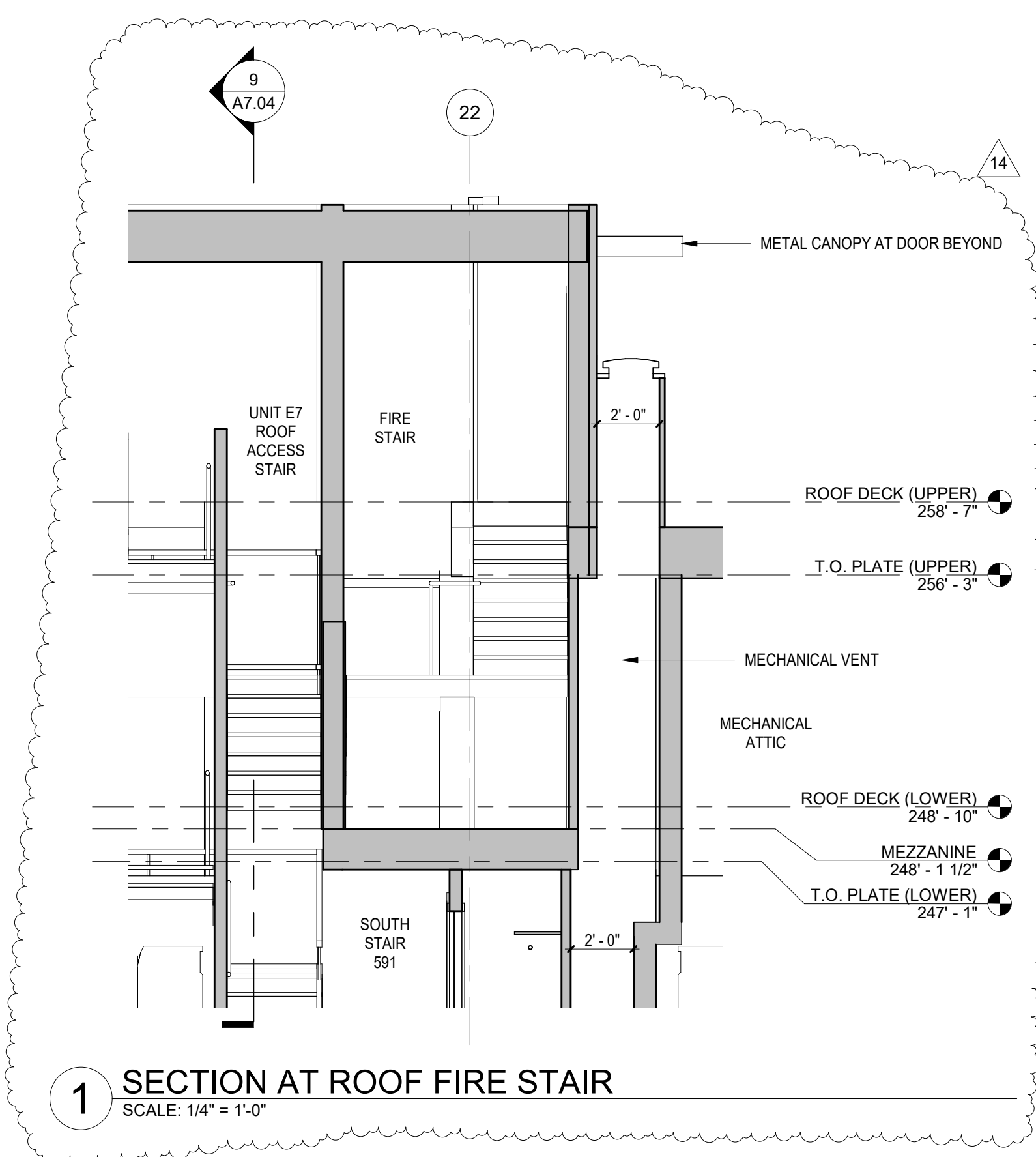
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11/10/2019 7:27:56 PM



ISSUANCE	
MUP SUBMITTAL	10/14/2014
MUP CORRECTIONS #1	1/13/2017
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
MUP CORRECTIONS #3	08/25/2017
85% SET	9/25/2017
POST PERMIT REVISION	10/10/2018
PPR CORRECTION #1	04/15/2019
POST PERMIT REVISION #2	9/23/19
100% CONSTRUCTION SET	9/24/19



## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

SDCI STAMP

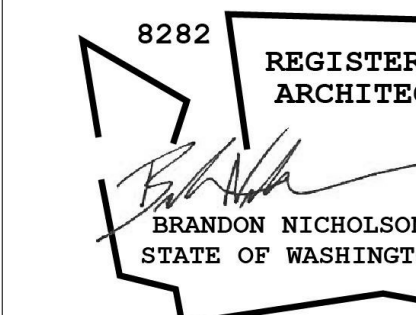
THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

### BUILDING SECTIONS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A4.01

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**ISSUANCE**

DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018
14 POST PERMIT REVISION #2	9/23/19
15 100% CONSTRUCTION SET	9/24/19

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

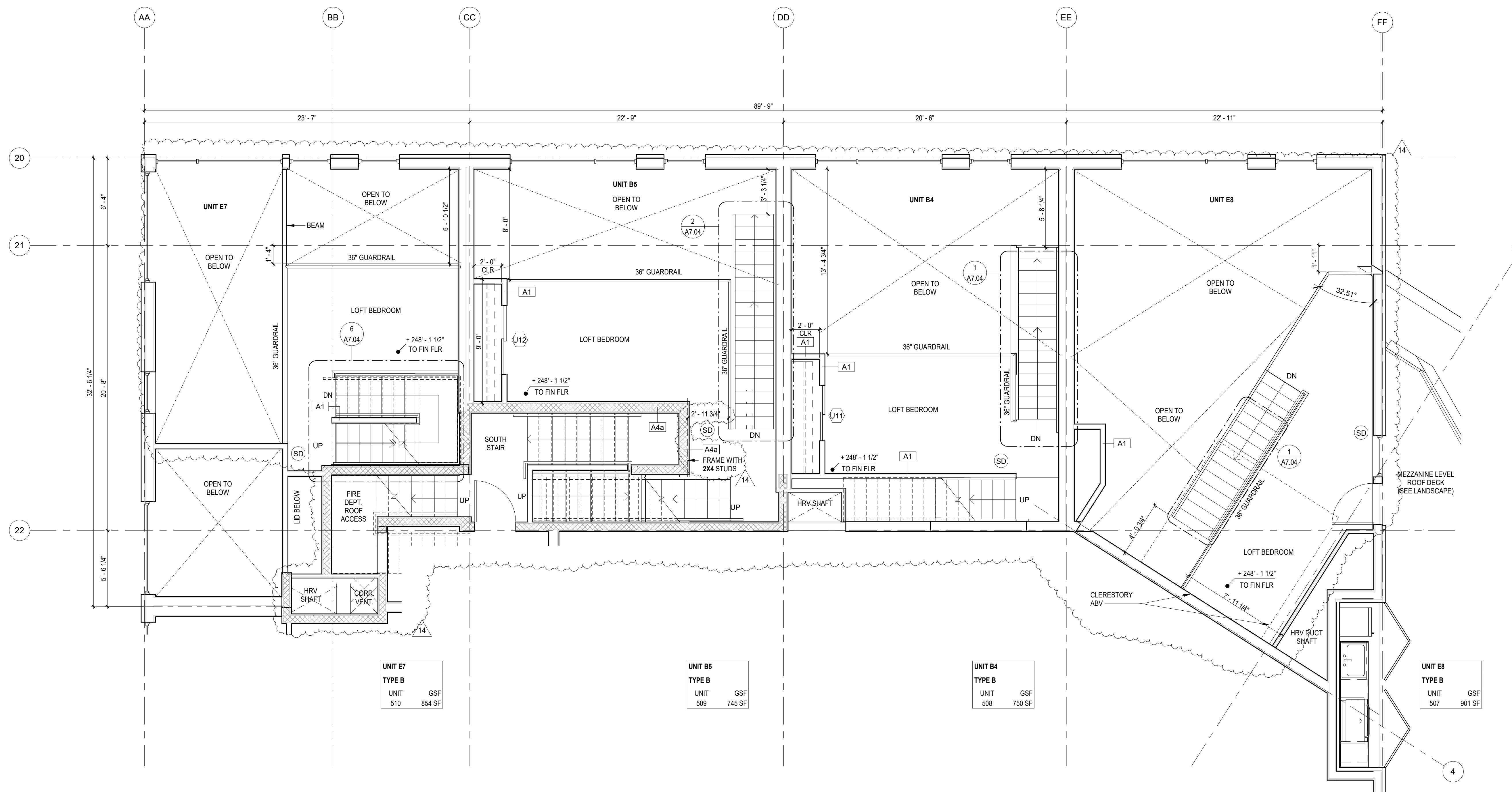
**SDCI STAMP**



**UNIT PLANS -  
PENTHOUSE  
MEZZANINE**

PROJECT #: 16070  
DRAWN BY: SD, BP, MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

# A5.51



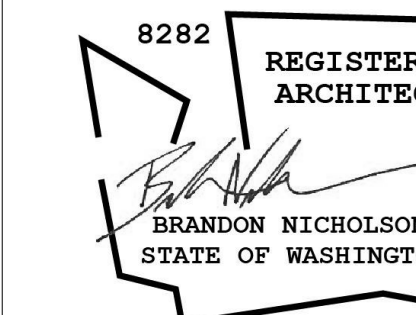
<b>UNIT E7</b>	
<b>TYPE B</b>	
UNIT	GSF
510	854 SF

<b>UNIT B5</b>	
<b>TYPE B</b>	
UNIT	GSF
509	745 SF

<b>UNIT B4</b>	
<b>TYPE B</b>	
UNIT	GSF
508	750 SF

<b>UNIT E8</b>	
<b>TYPE B</b>	
UNIT	GSF
507	901 SF

**PENTHOUSE UNITS - MEZZANINE**  
SCALE: 1/4" = 1'-0"



ISSUANCE	
10 POST PERMIT REVISION	10/10/2018
11 PPR CORRECTION #1	04/15/2019
14 POST PERMIT REVISION #2	9/23/19
15 100% CONSTRUCTION SET	9/24/19

## BELL VIEW APARTMENTS

736 BELLEVUE PLACE EAST

BELL VIEW LLC

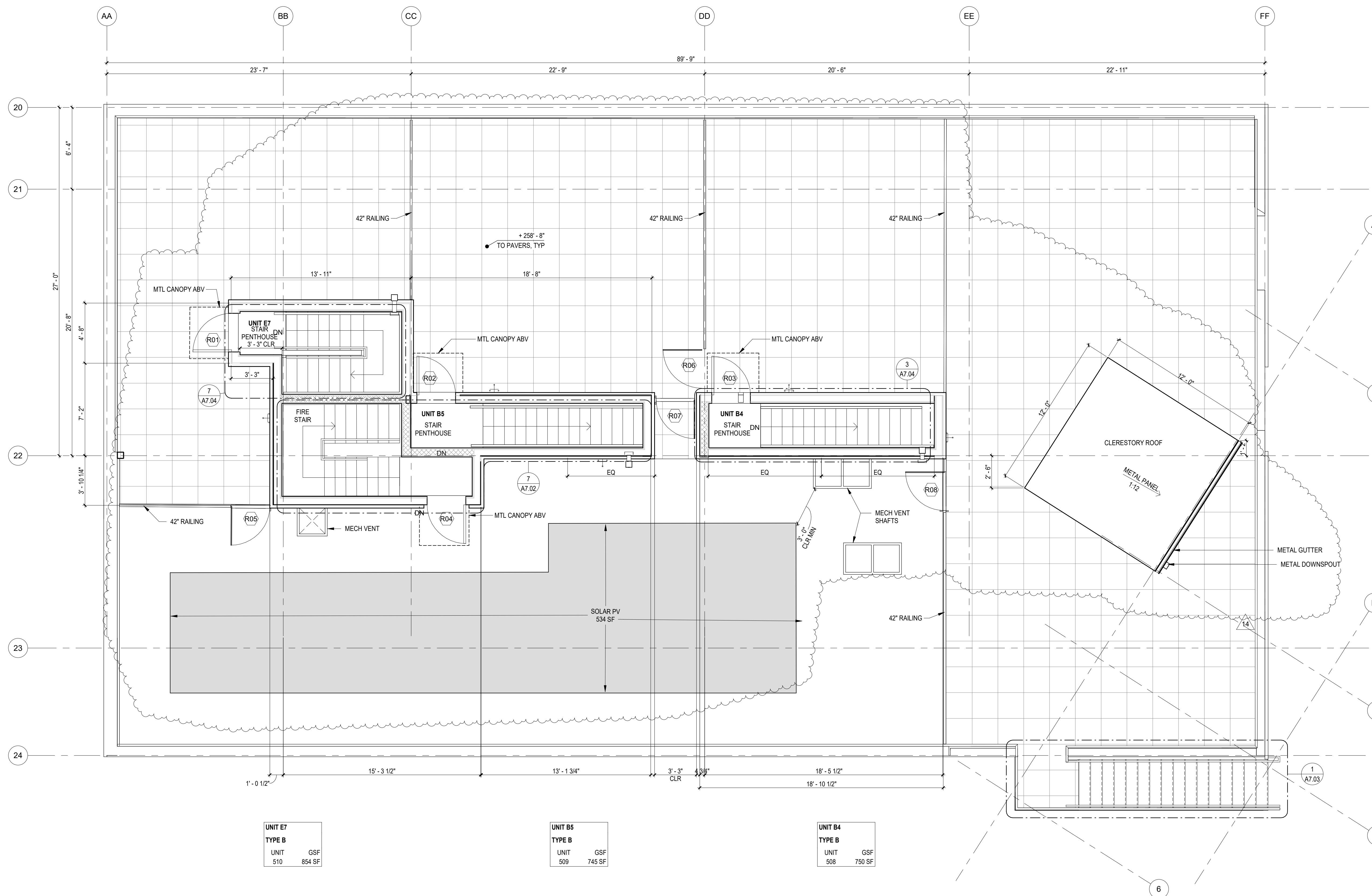
SDCI STAMP



UNIT PLANS - UPPER  
ROOF PRIVATE UNIT  
DECKS

PROJECT #: 16070  
DRAWN BY: AD  
CHECKED BY: SF  
FILE NAME: WALLS BELLEVUE PLACE

# A5.52



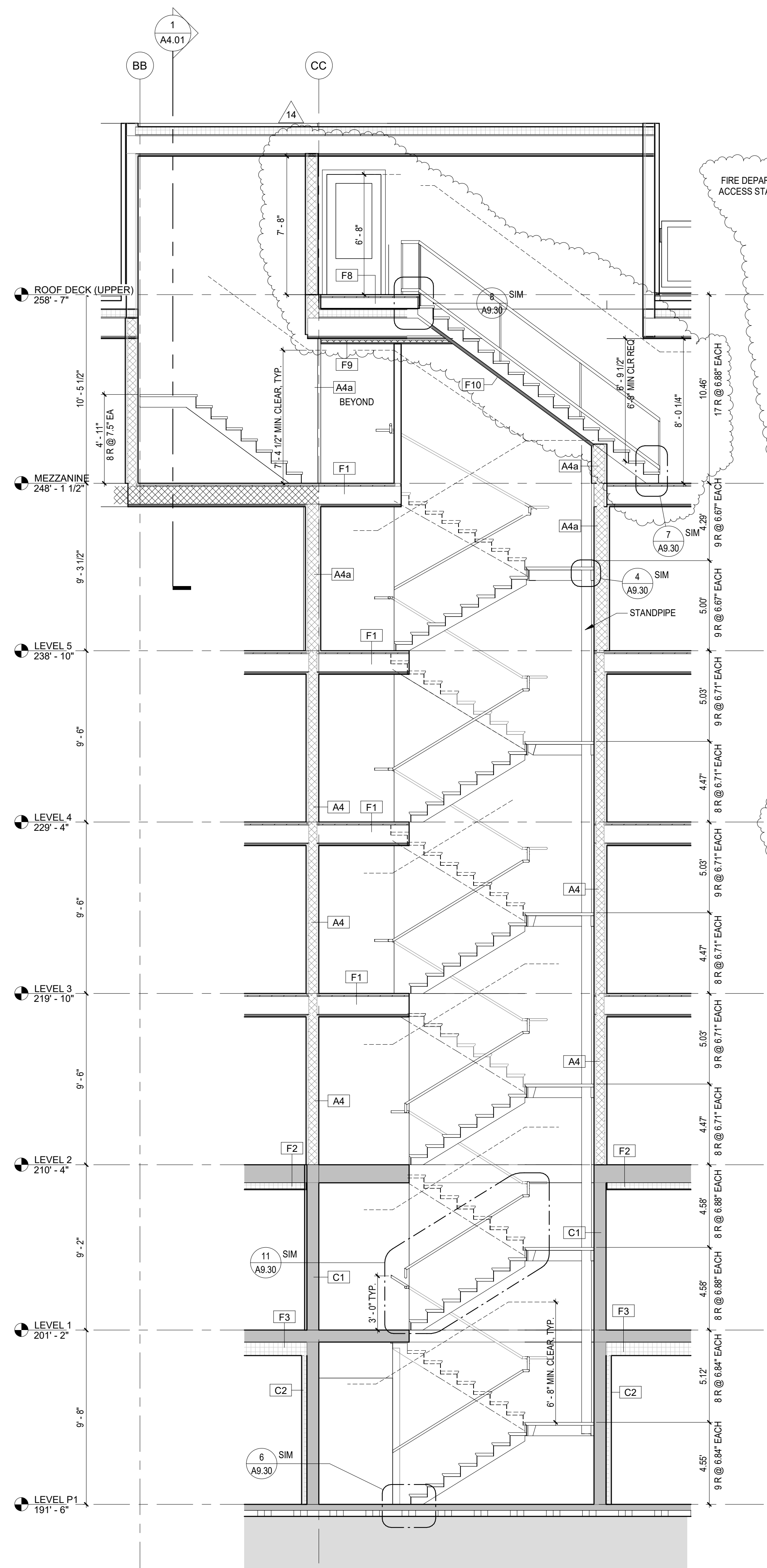
**1** UPPER ROOF PRIVATE UNIT DECKS  
SCALE: 1/4" = 1'-0"

UNIT E7	
TYPE B	
UNIT	GSF
510	854 SF

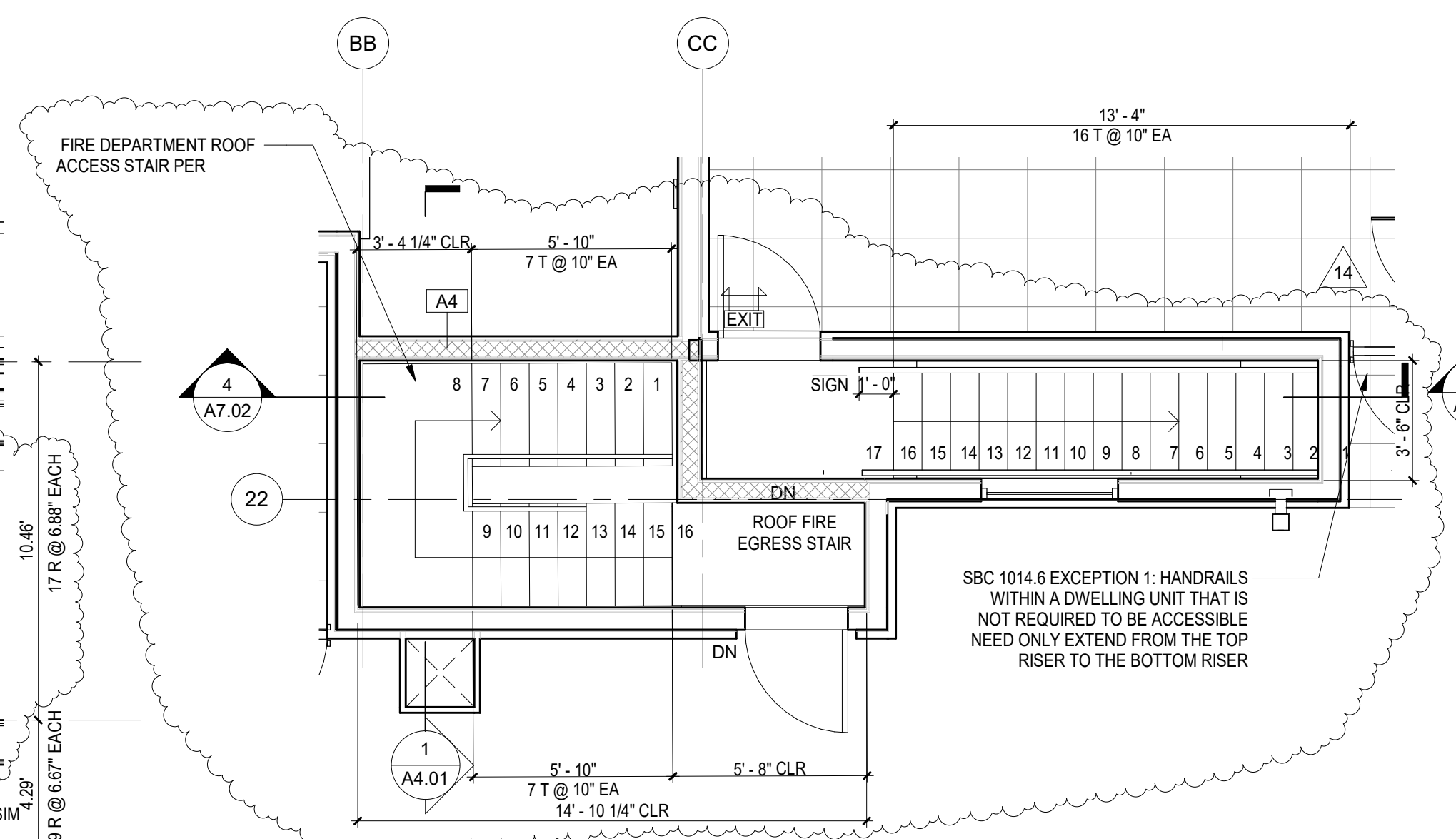
UNIT B5	
TYPE B	
UNIT	GSF
509	745 SF

UNIT B4	
TYPE B	
UNIT	GSF
508	750 SF

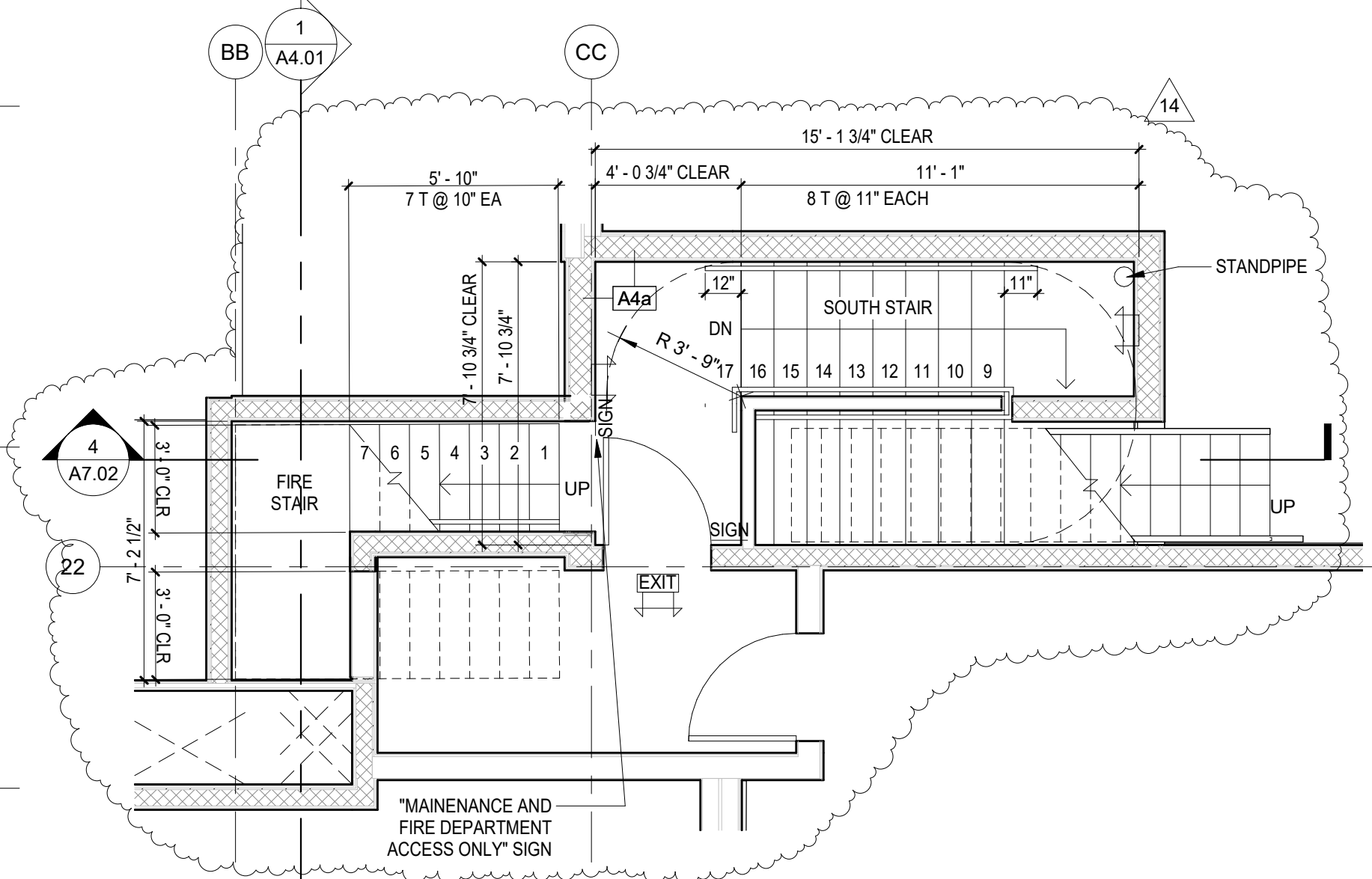
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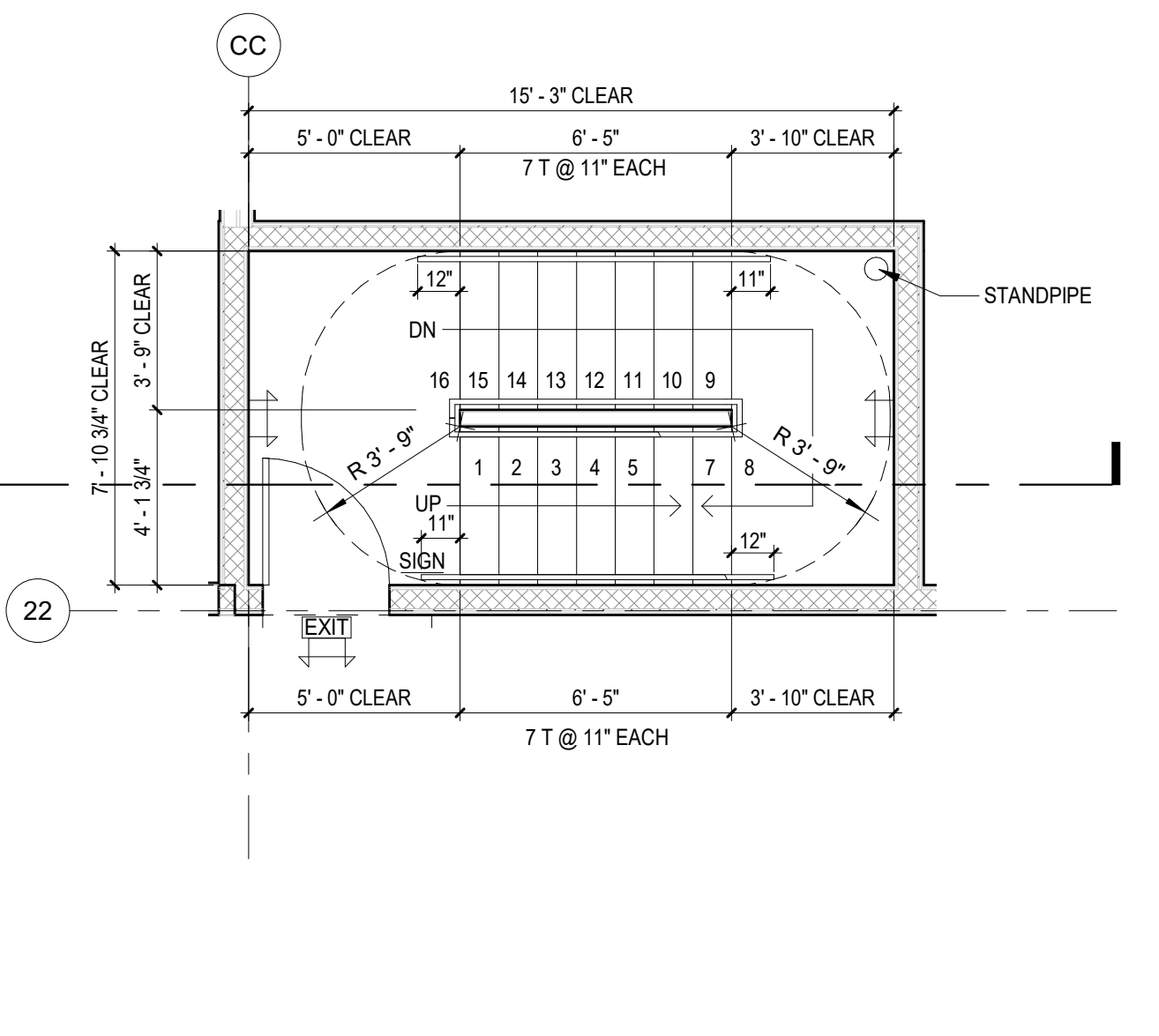
**SOUTH STAIR SECTION**  
SCALE: 1/4" = 1'-0"



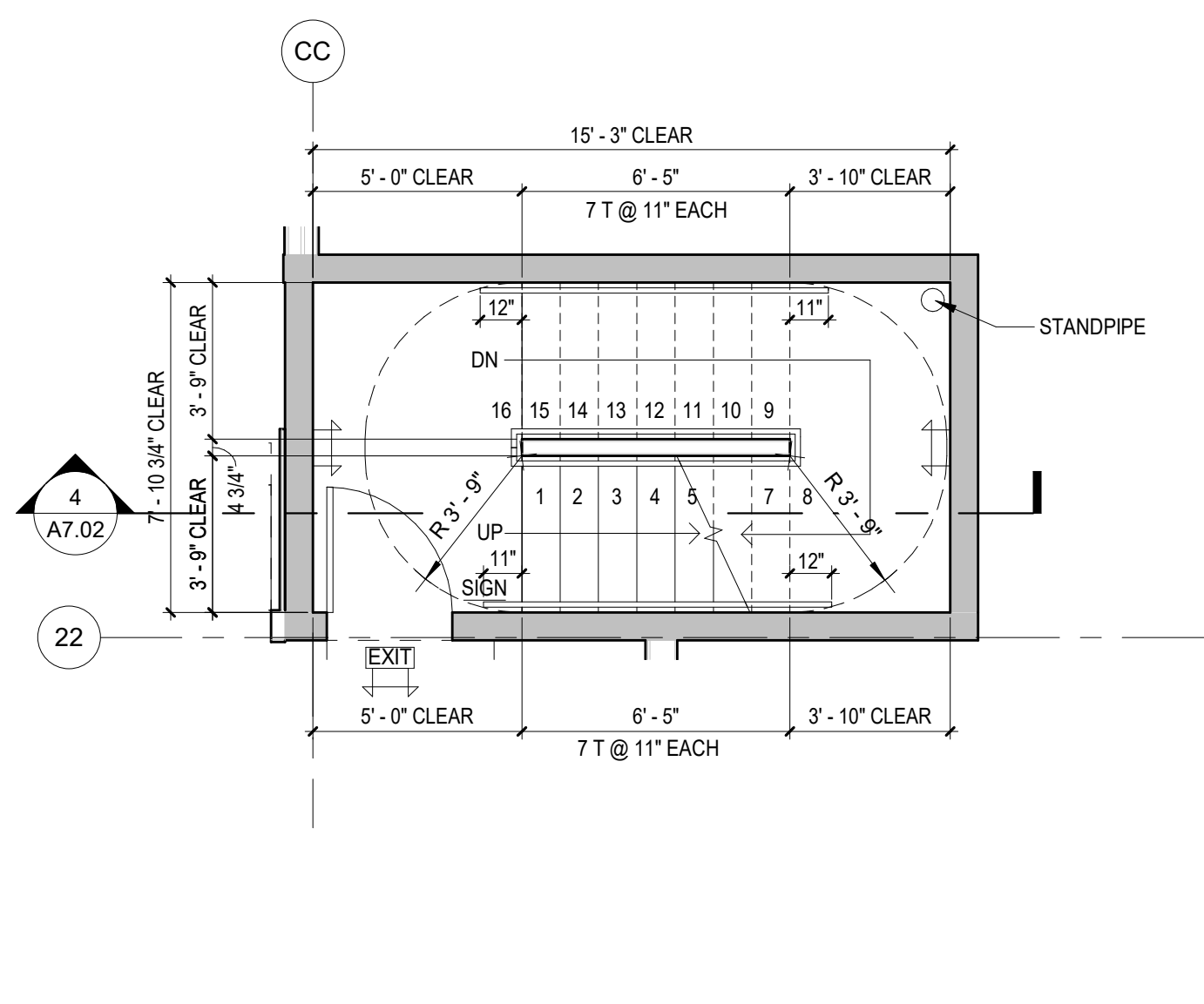
**ROOF DECK - SOUTH STAIR PLAN**  
SCALE: 1/4" = 1'-0"



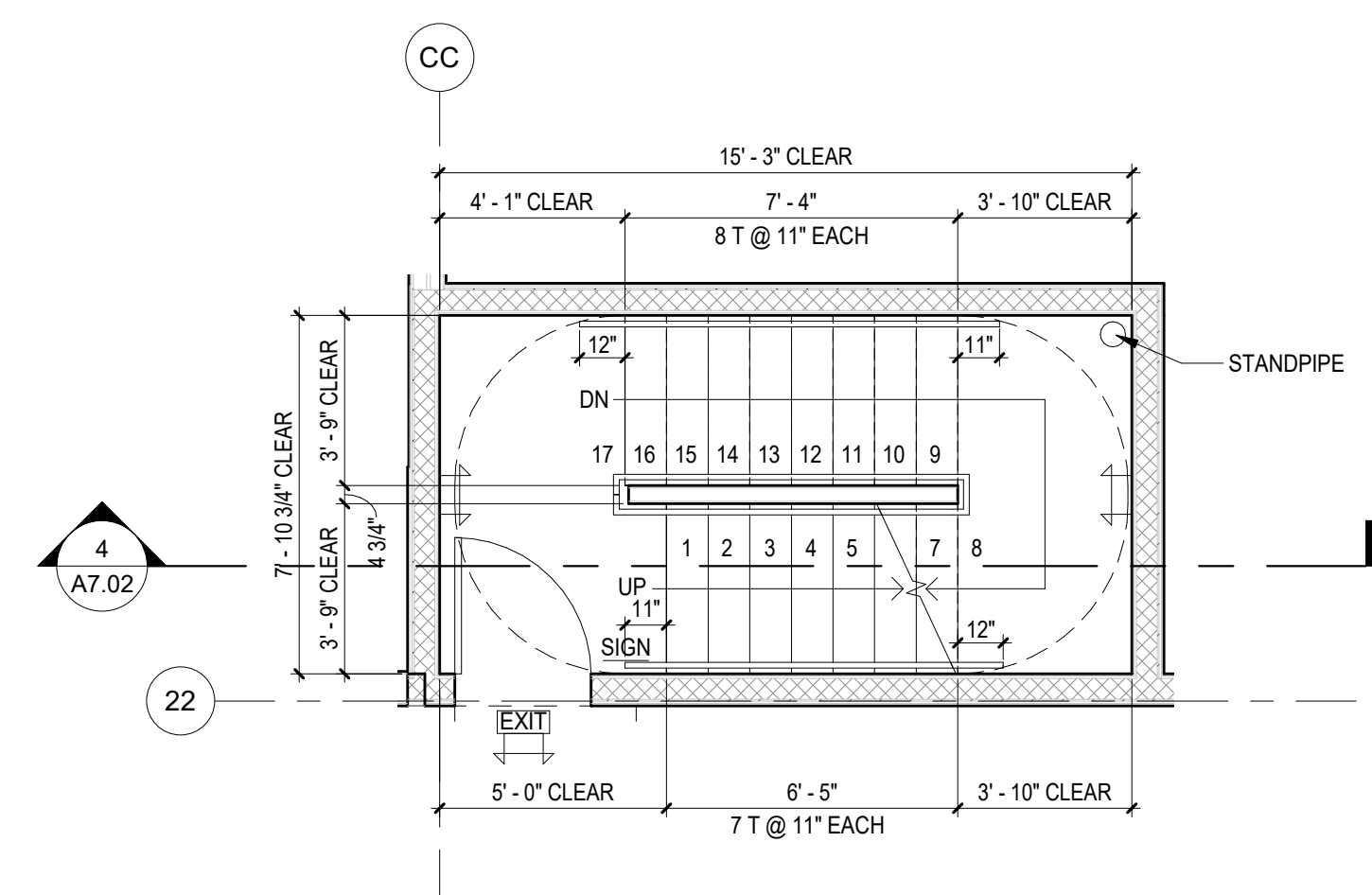
**MEZZANINE - SOUTH STAIR PLAN**  
SCALE: 1/4" = 1'-0"



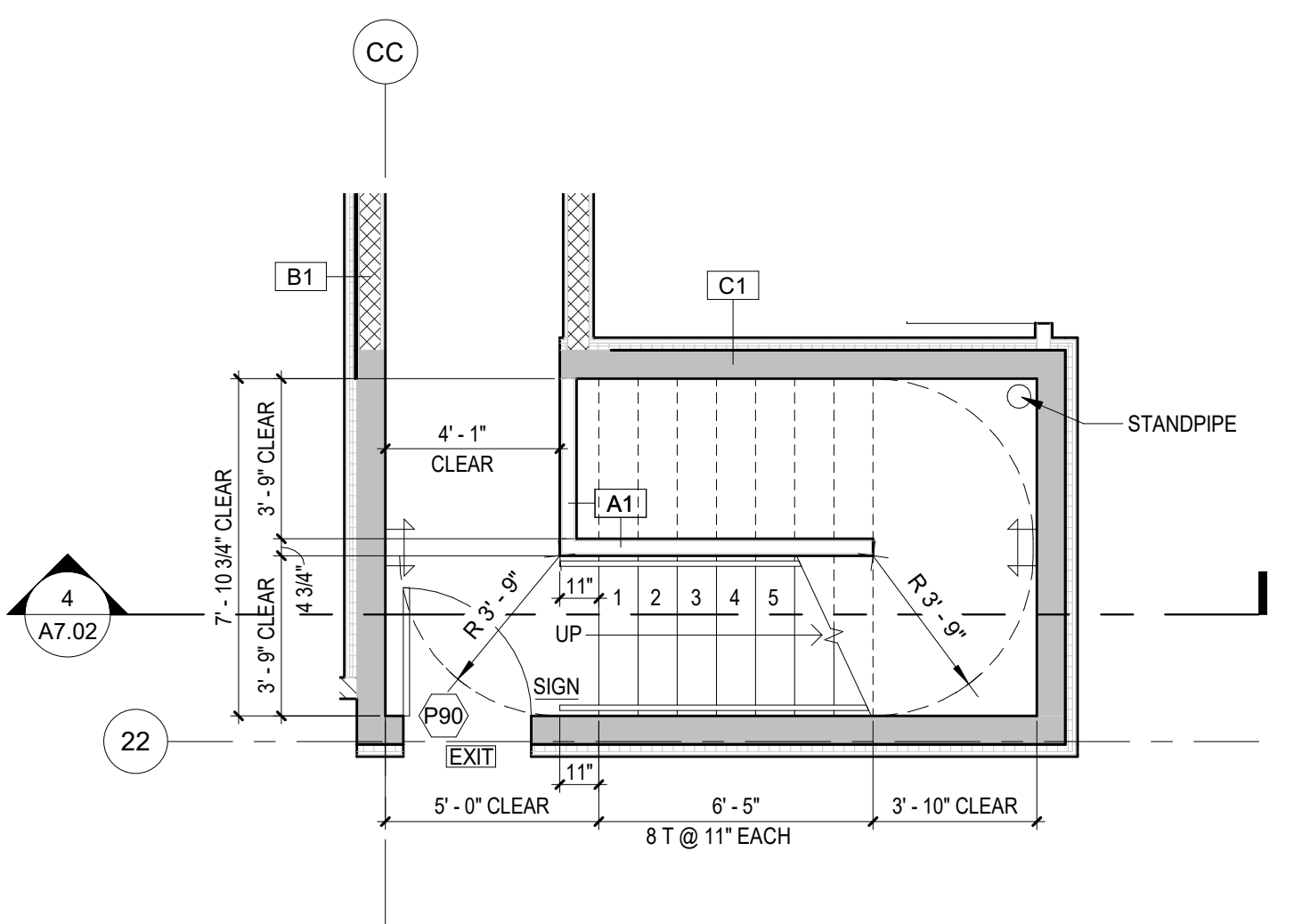
**LEVEL 2 - SOUTH STAIR PLAN**  
SCALE: 1/4" = 1'-0"



**LEVEL 1 - SOUTH STAIR PLAN**  
SCALE: 1/4" = 1'-0"



**LEVEL 3-5 - SOUTH STAIR PLAN**  
SCALE: 1/4" = 1'-0"



**LEVEL P1 - SOUTH STAIR**  
SCALE: 1/4" = 1'-0"



NICHOLSON KOVALCHICK ARCHITECTS  
6101 PENN AVENUE, SUITE M01  
PITTSBURGH, PA 15206  
T: 412-872-2682  
www.nkarch.com



ISSUANCE	
BP SUBMITTAL	5/12/2017
85% SET	9/25/2017
7 BP CORRECTION #3	2/26/2018
10 POST PERMIT REVISION	10/10/2018
14 POST PERMIT REVISION #2	9/23/19

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP



**SOUTH STAIR - ENLARGED PLANS AND SECTION**

PROJECT #: 16070  
DRAWN BY: BP, MC  
CHECKED BY: RH  
FILE NAME: WALLS BELLEVUE PLACE

**A7.02**

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ISSUANCE

85% SET	9/25/2017
5 BP CORRECTION #2	12/06/17
10 POST PERMIT REVISION	10/10/2018
14 POST PERMIT REVISION #2	9/23/19

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

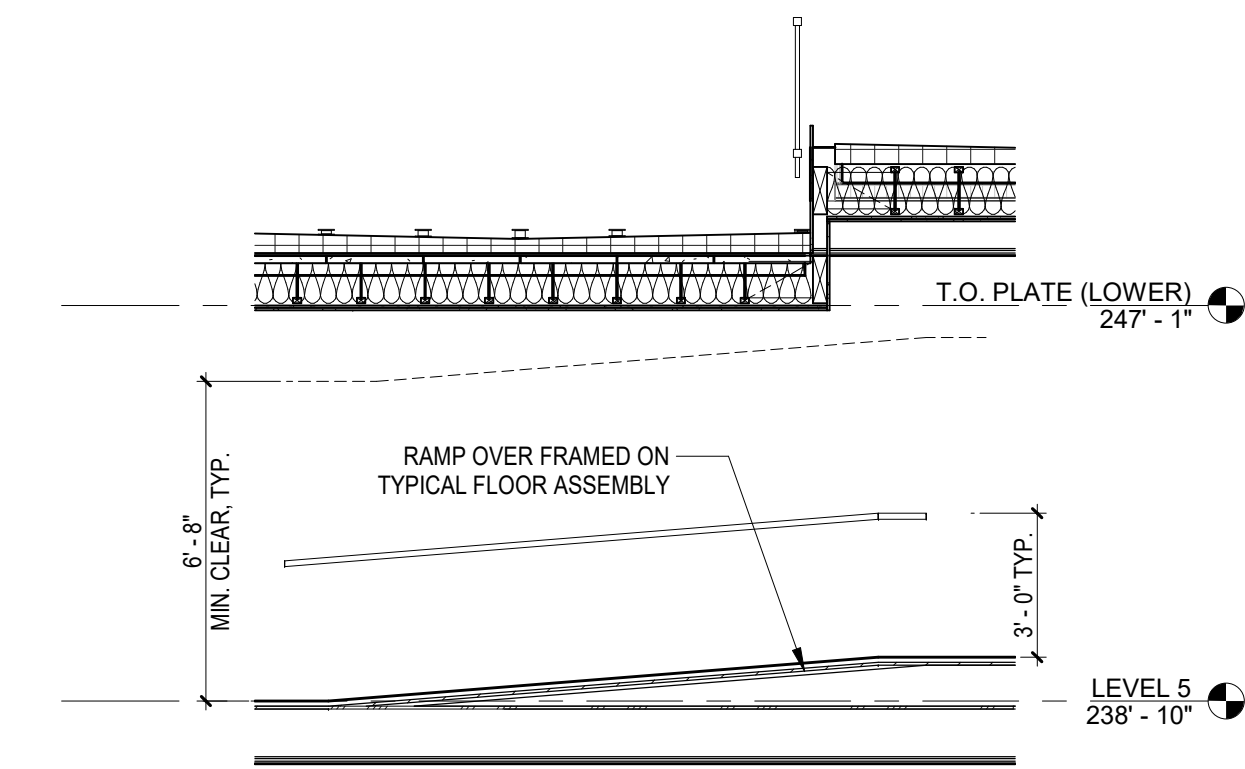
SDCI STAMP

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019

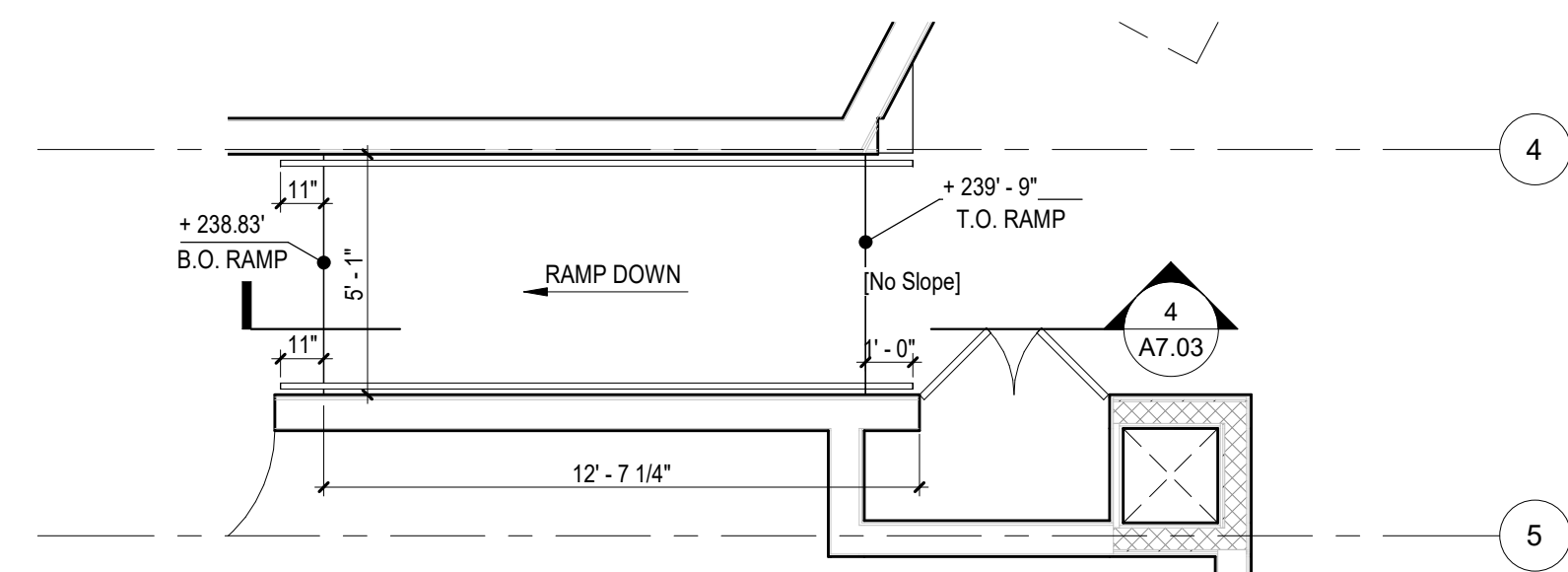
ADDITIONAL STAIR PLANS AND SECTIONS

PROJECT #: 16070  
DRAWN BY: MC  
CHECKED BY:  
FILE NAME: WALLS BELLEVUE PLACE

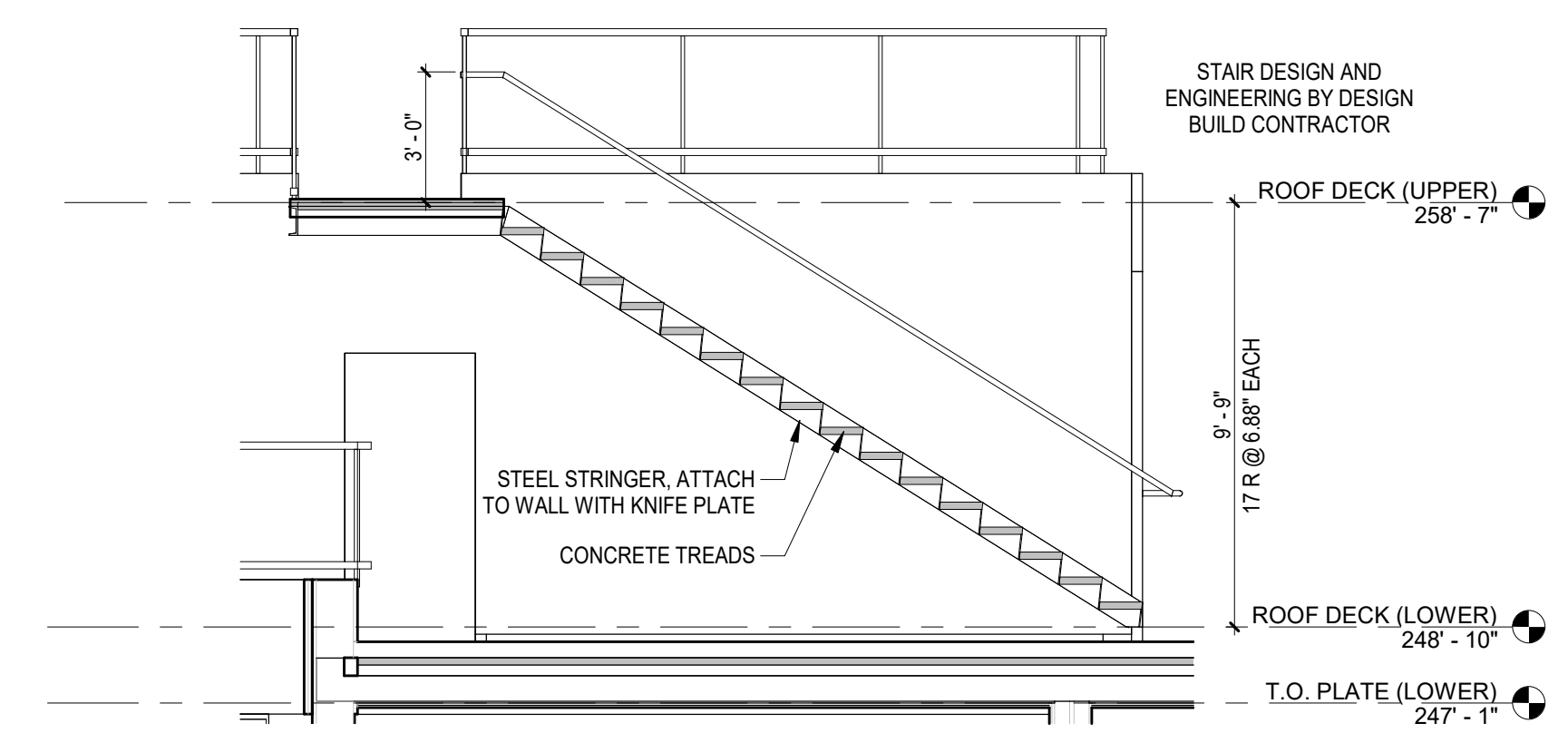
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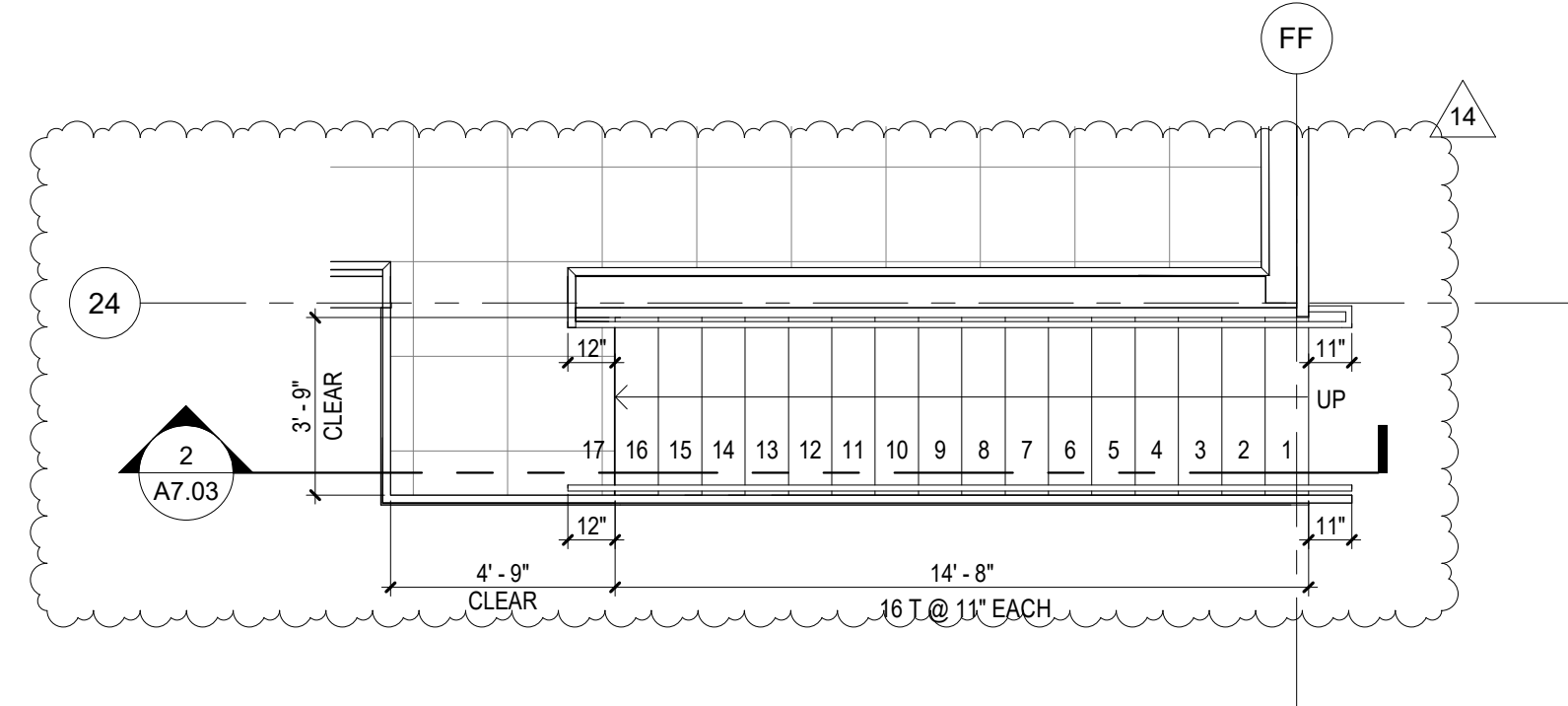
4 LEVEL 5 LOBBY RAMP - SECTION  
SCALE: 1/4" = 1'-0"



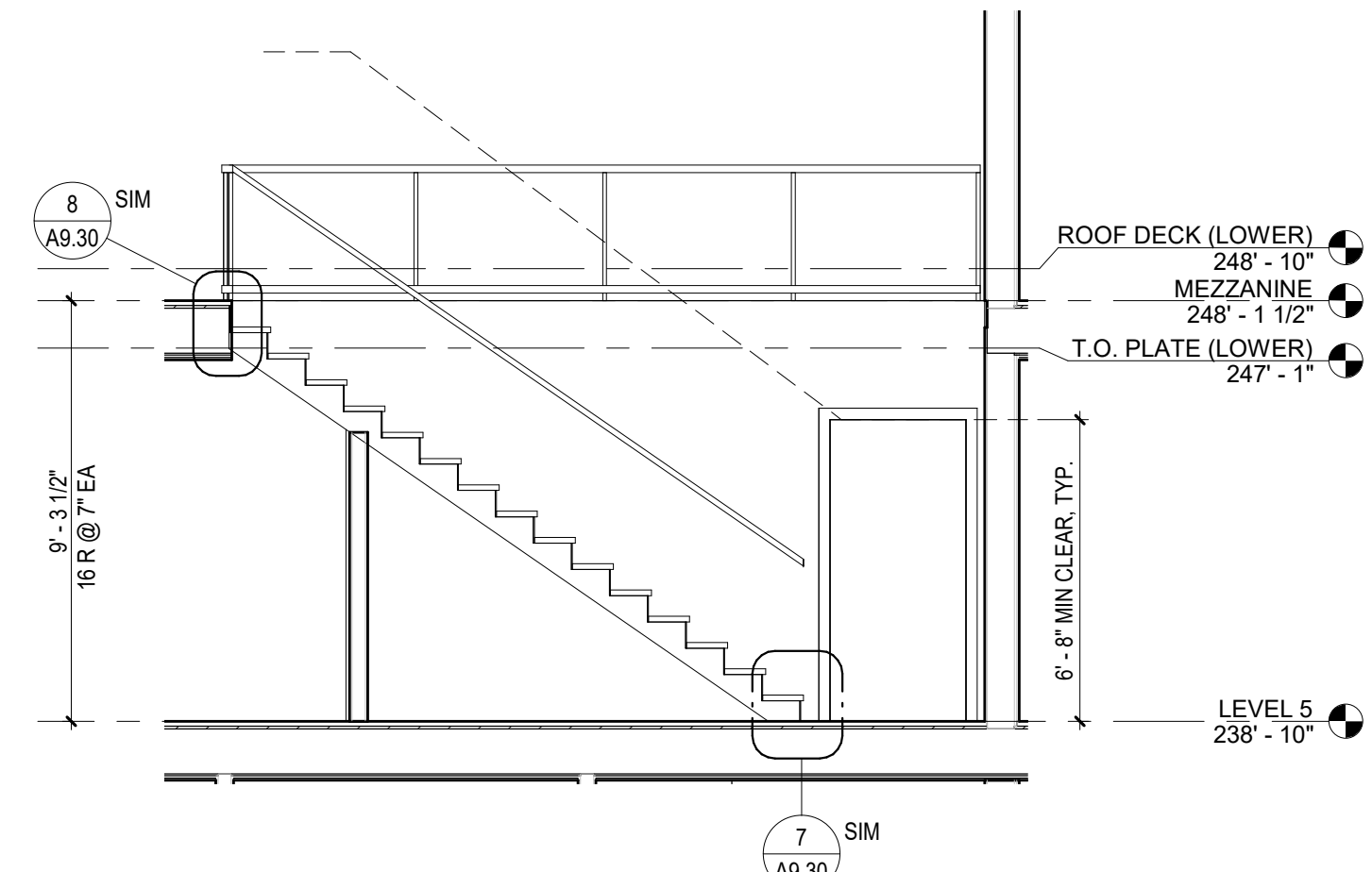
3 LEVEL 5 LOBBY RAMP  
SCALE: 1/4" = 1'-0"



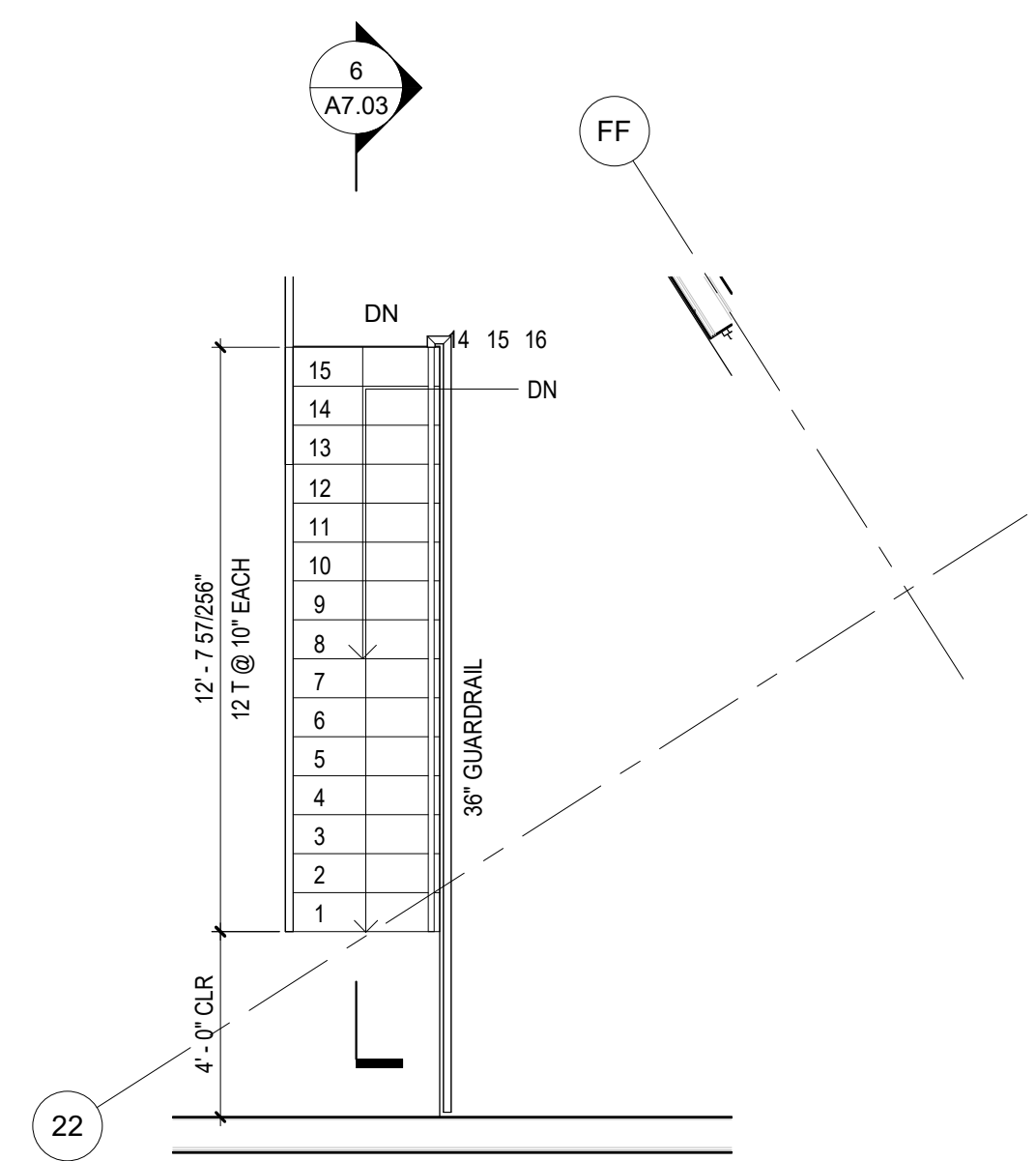
2 PENTHOUSE ROOF DECK STAIR  
SCALE: 1/4" = 1'-0"



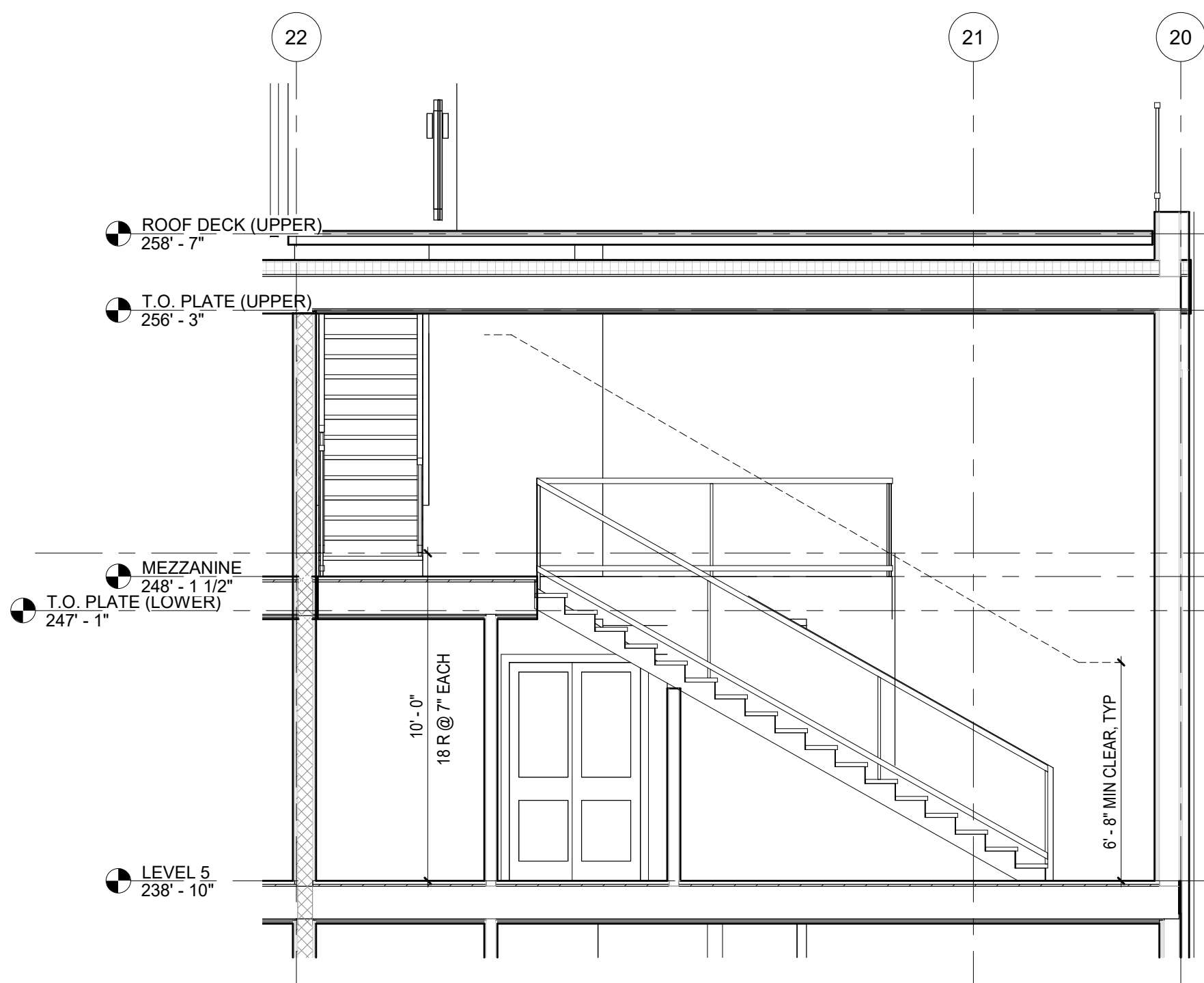
1 PENTHOUSE ROOF DECK STAIR  
SCALE: 1/4" = 1'-0"



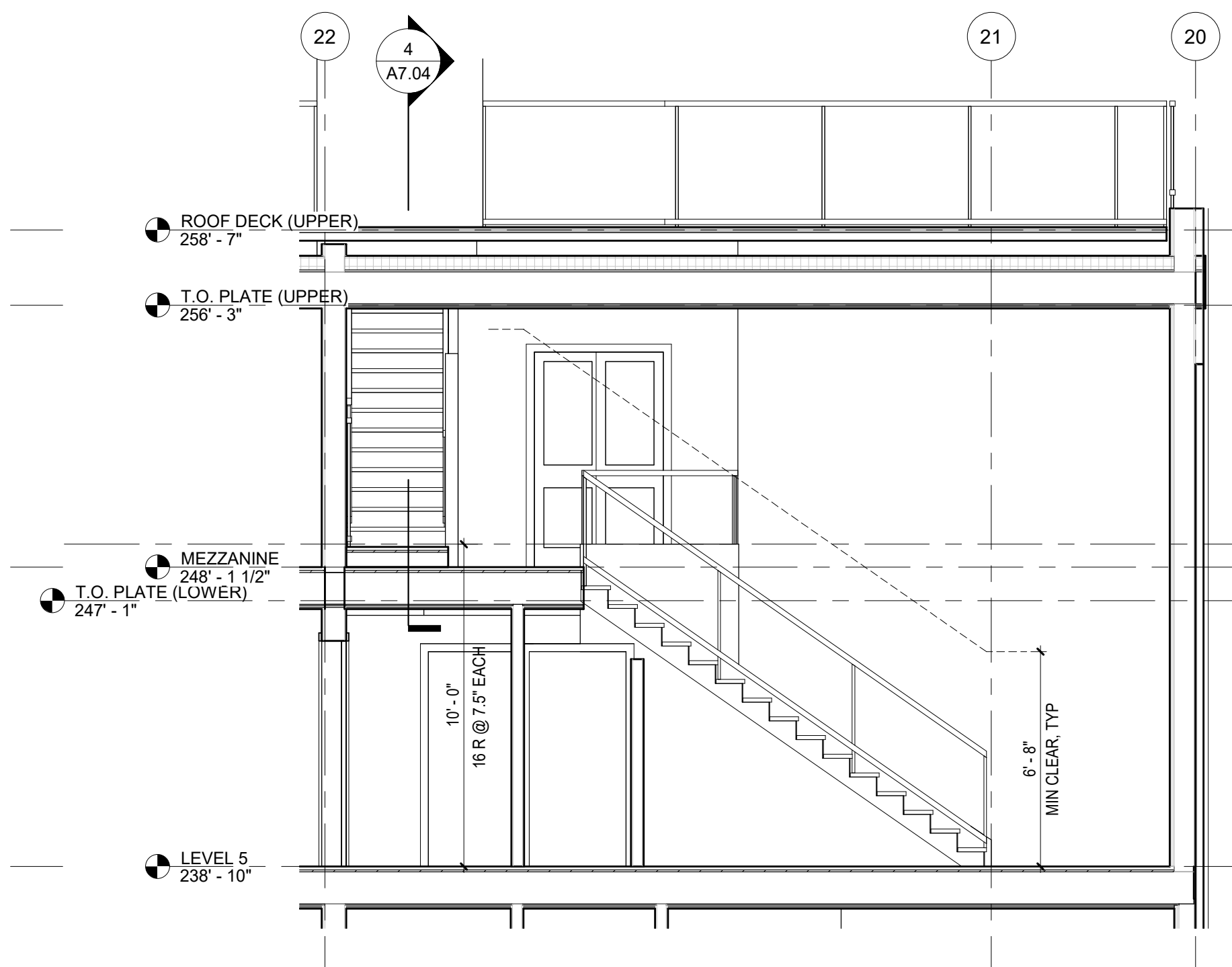
6 UNIT E8 STAIR SECTION  
SCALE: 1/4" = 1'-0"



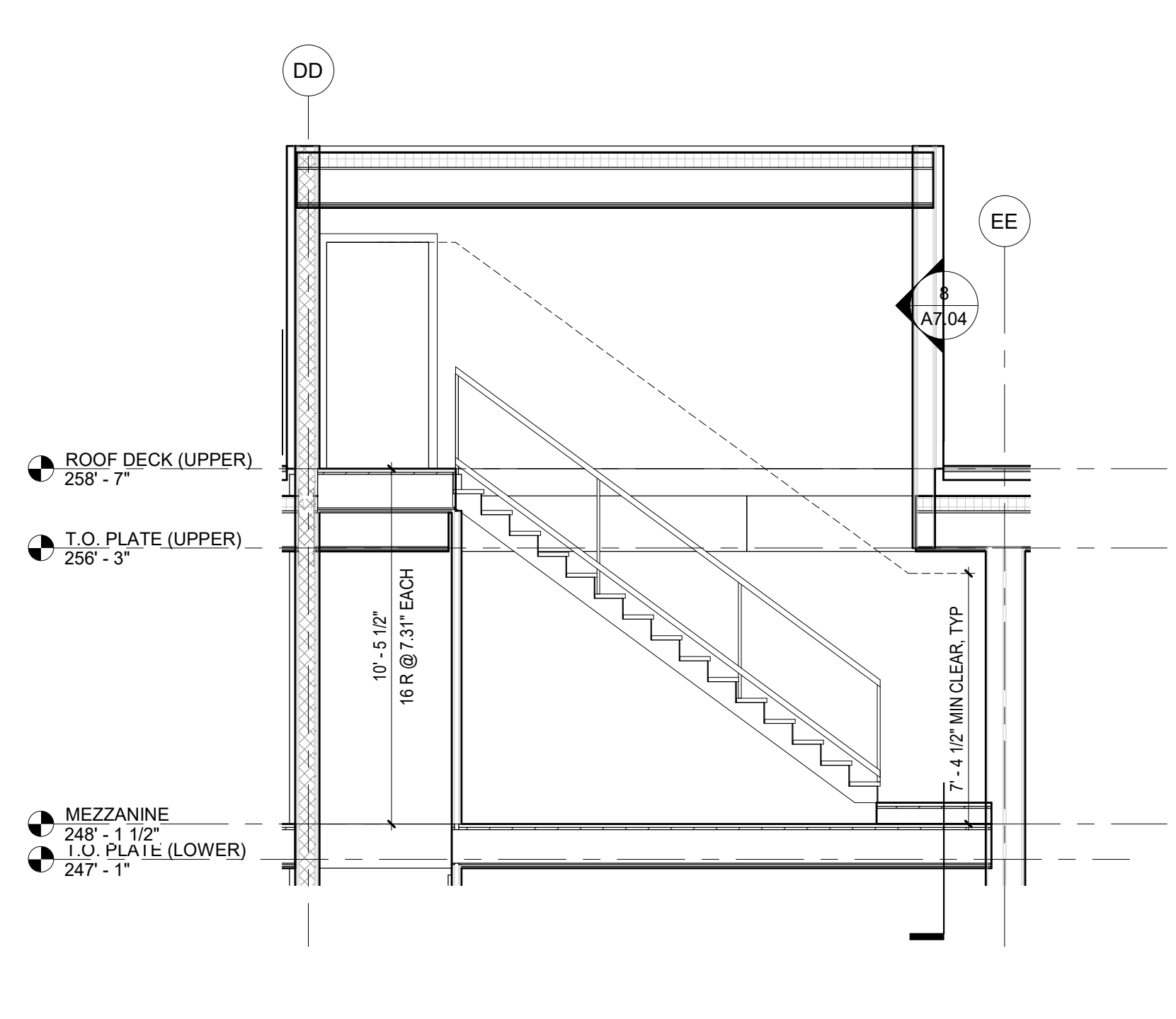
5 UNIT E8 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



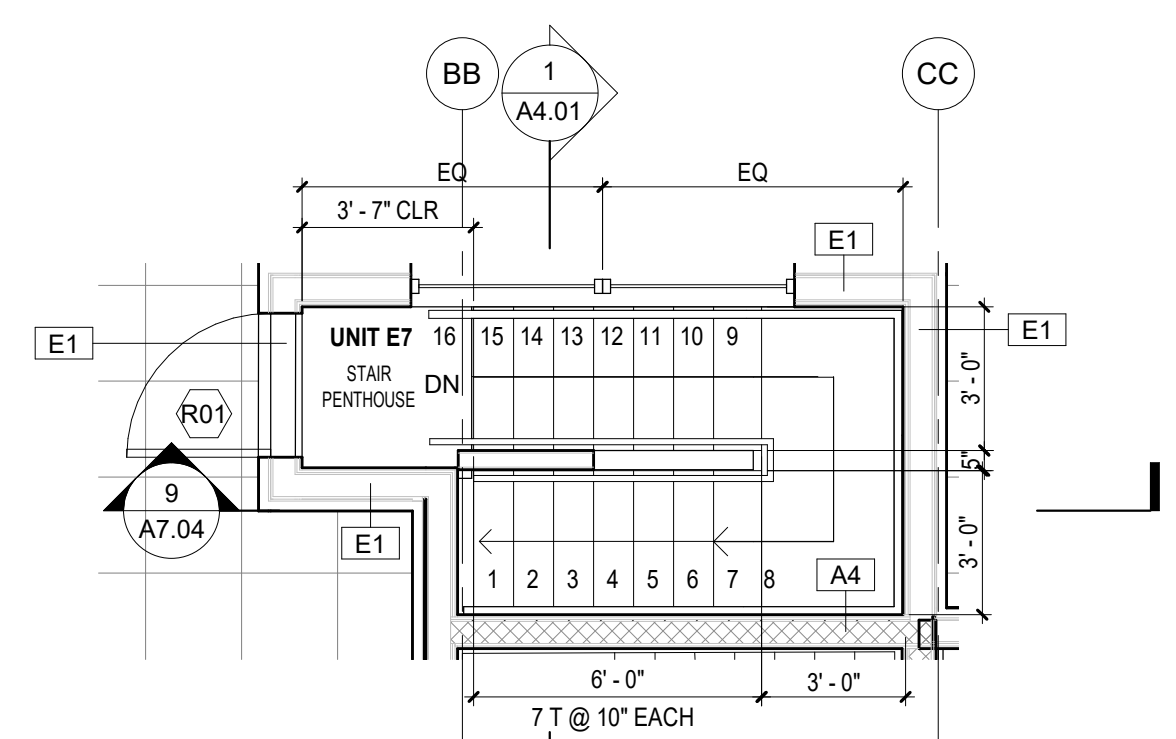
**10** UNIT B5 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



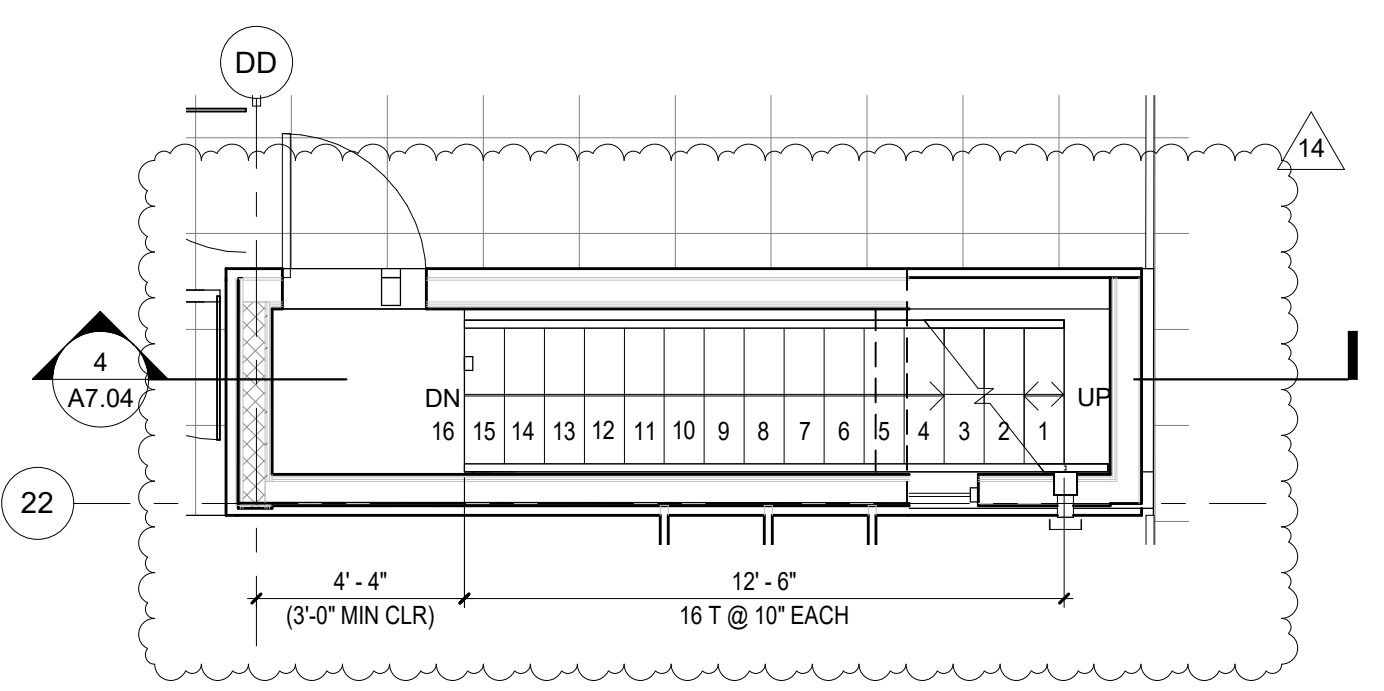
**8** UNIT B4 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



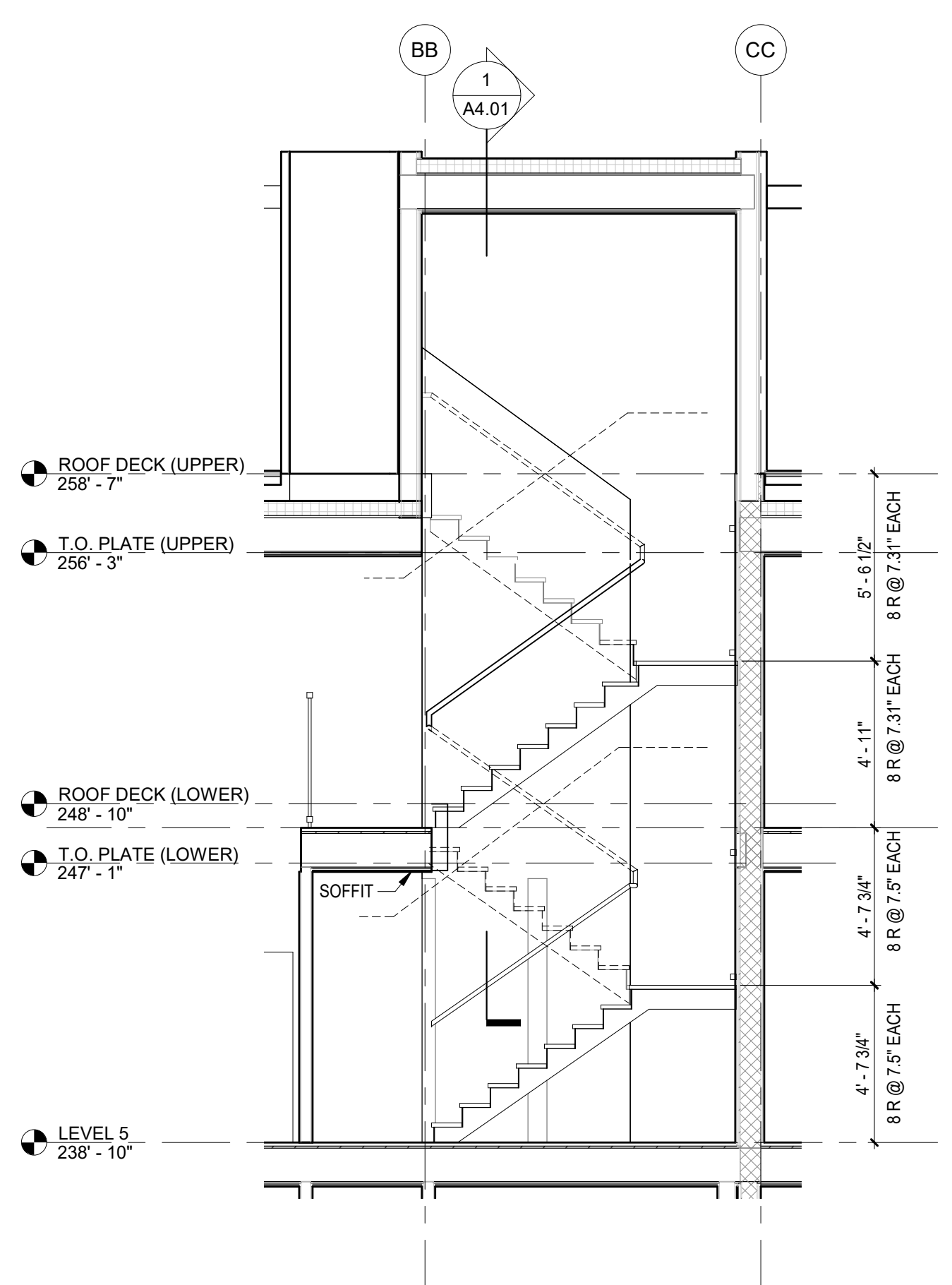
**4** UNIT B4 STAIR TO ROOF DECK  
SCALE: 1/4" = 1'-0"



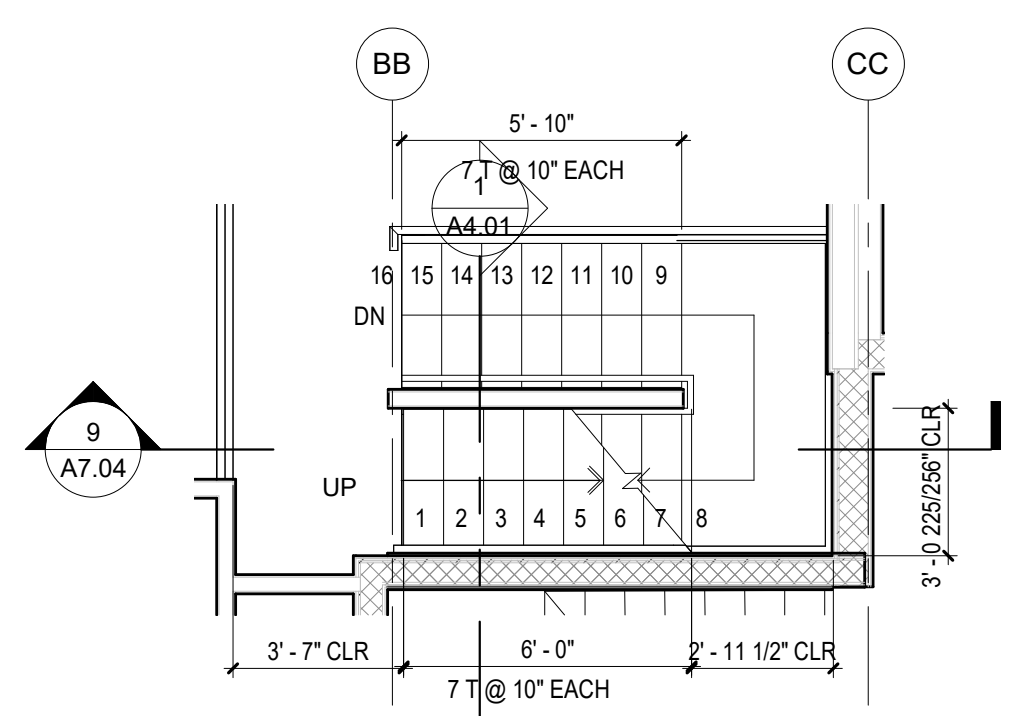
**7** UNIT E7 STAIR TO ROOF DECK  
SCALE: 1/4" = 1'-0"



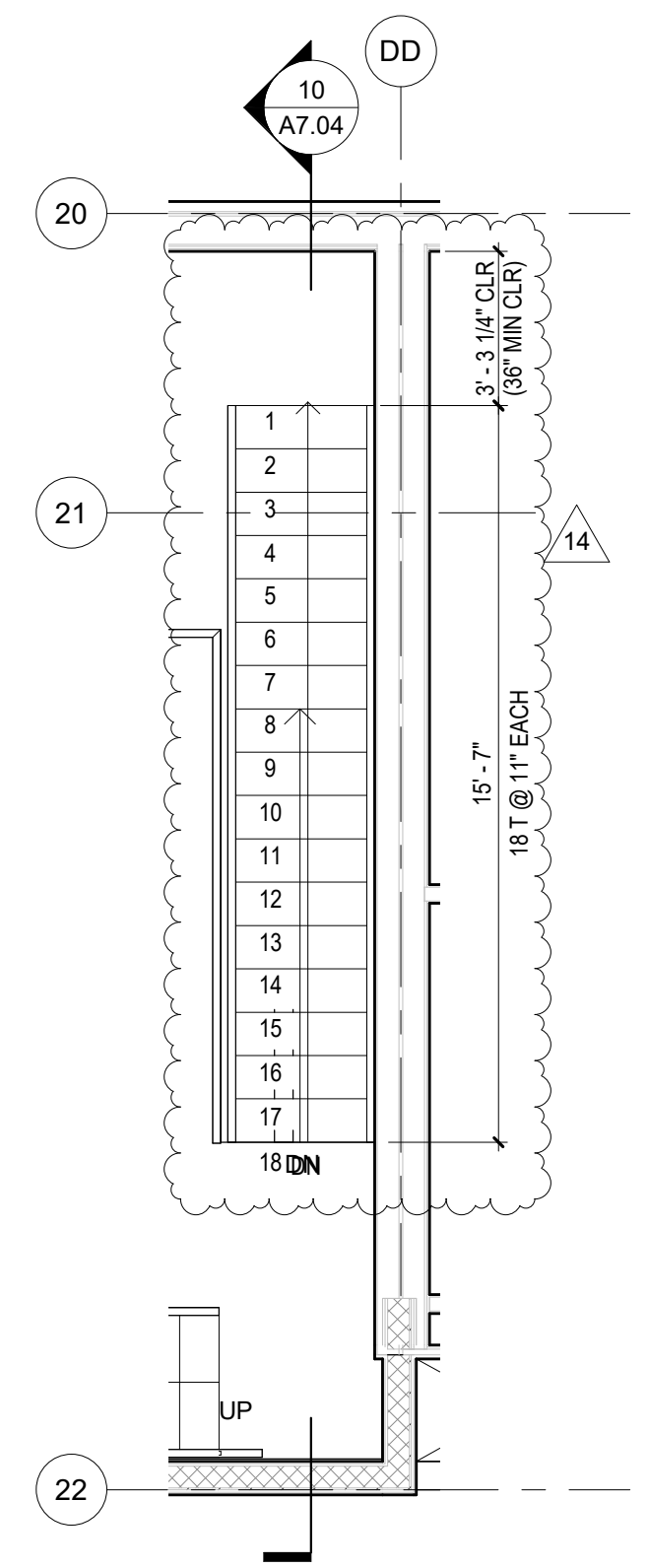
**3** UNIT B4 STAIR TO ROOF DECK  
SCALE: 1/4" = 1'-0"



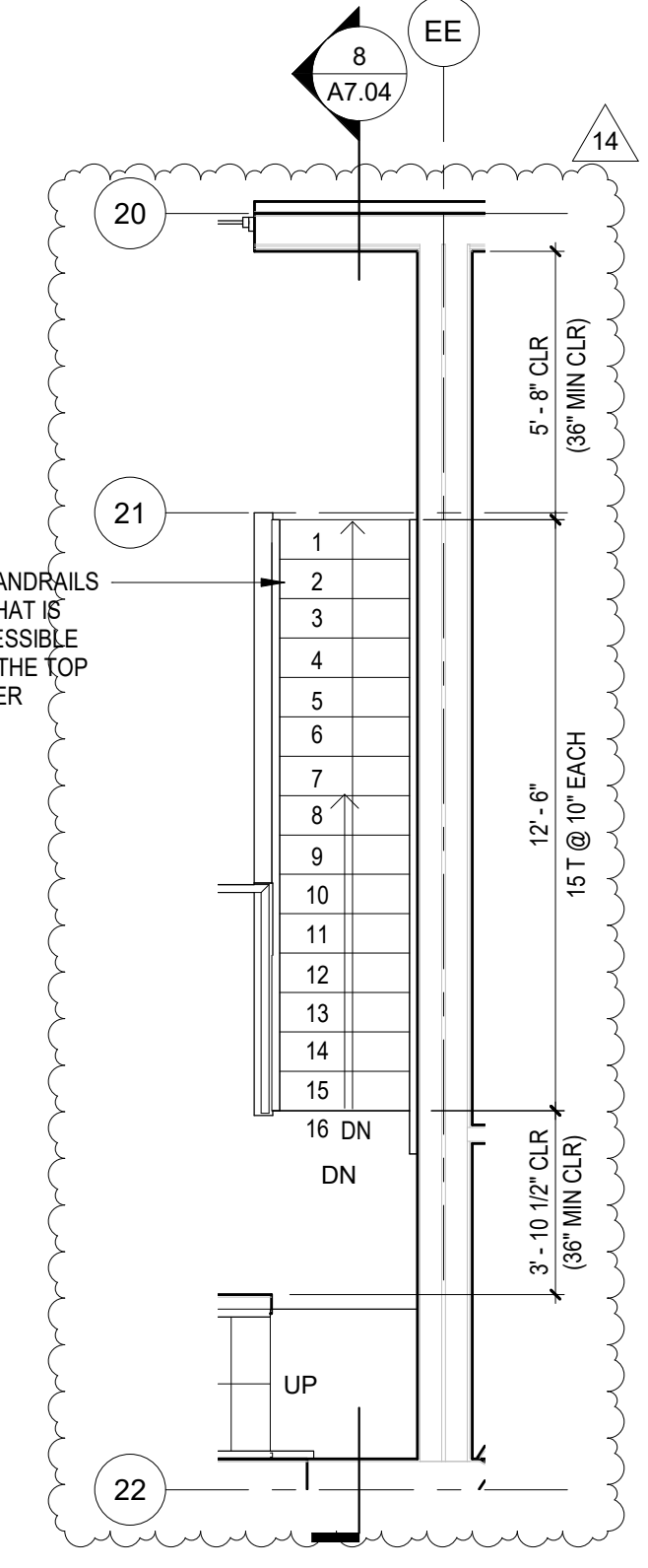
**9** UNIT E7 STAIR SECTION  
SCALE: 1/4" = 1'-0"



**6** UNIT E7 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



**2** UNIT B5 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"



**1** UNIT B4 STAIR TO MEZZANINE  
SCALE: 1/4" = 1'-0"

SBC 1014.6 EXCEPTION 1: HANDRAILS WITHIN A DWELLING UNIT THAT IS NOT REQUIRED TO BE ACCESSIBLE NEED ONLY EXTEND FROM THE TOP RISER TO THE BOTTOM RISER



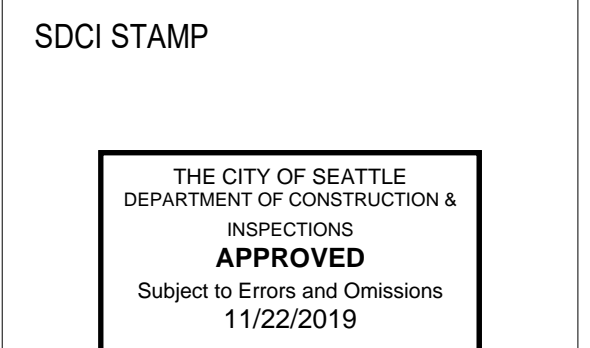
NICHOLSON KOVALCHICK ARCHITECTS  
6101 PENN AVENUE, SUITE M01  
PITTSBURGH, PA 15206  
T: 412-872-2682  
www.nkarch.com



ISSUANCE

10	POST PERMIT REVISION	10/10/2018
14	POST PERMIT REVISION #2	9/23/2019

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC



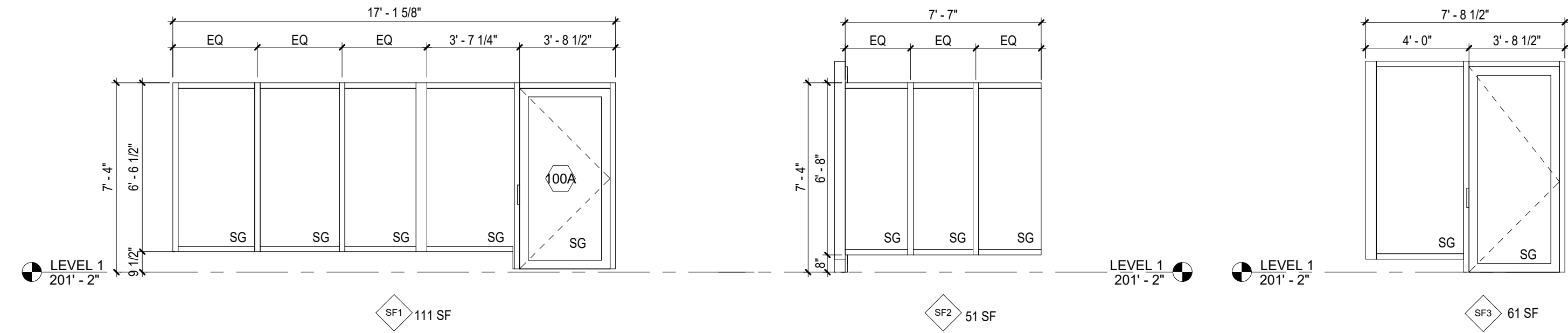
ADDITIONAL STAIR PLANS AND SECTIONS

PROJECT #: 16070  
DRAWN BY: AD  
CHECKED BY: BN  
FILE NAME: WALLS BELLEVUE PLACE

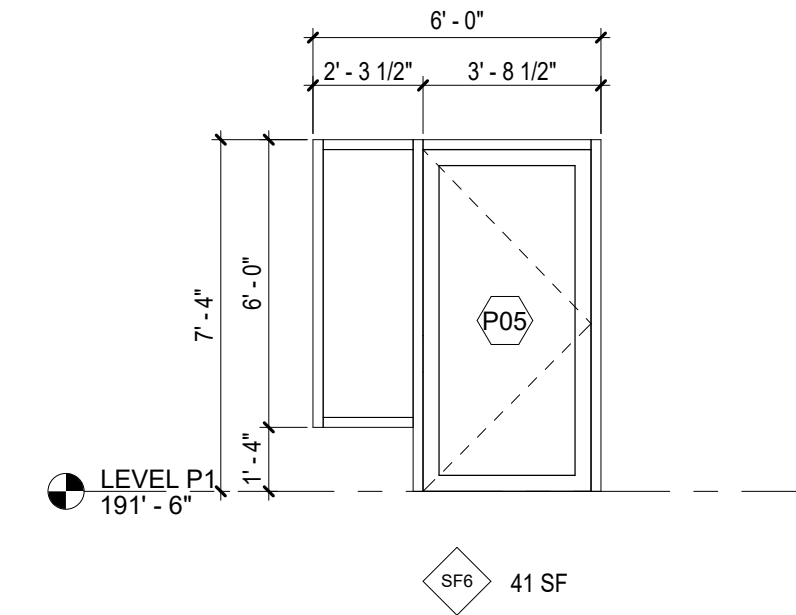
**A7.04**  
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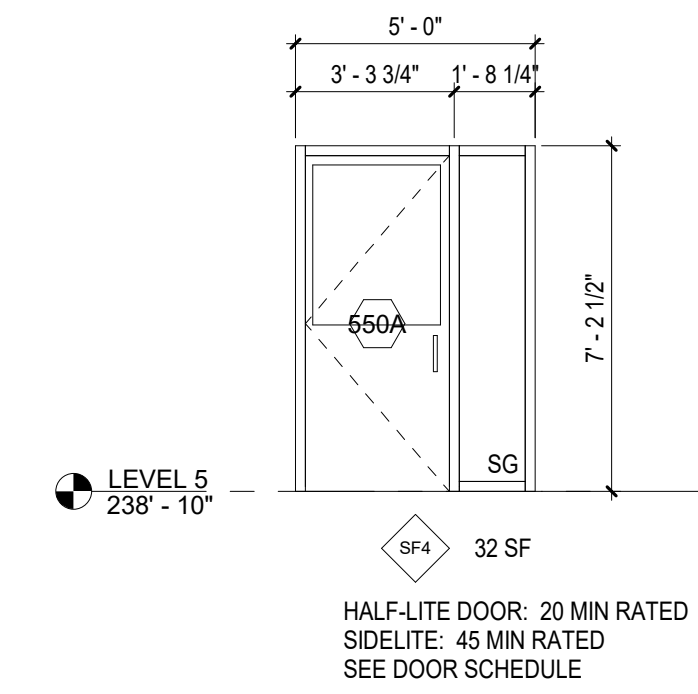
BLDG ENTRY AND VESTIBULE STOREFRONT



GARAGE STOREFRONT



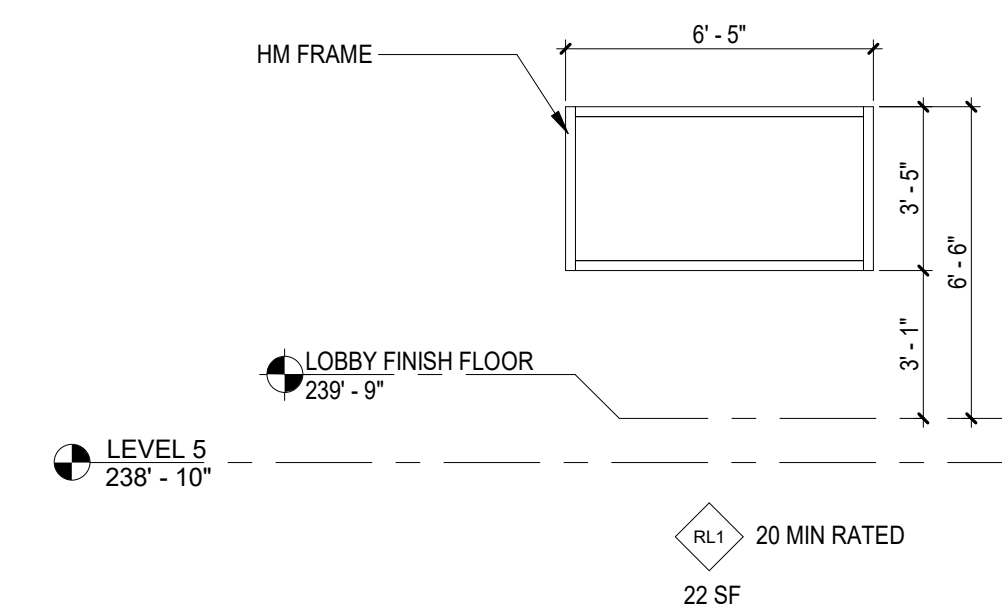
CLUB ROOM STOREFRONT



STOREFRONT SCHEDULE (REF. A10.20 FOR STOREFRONT DOORS)				
TYPE	FRAME	COLOR	U-FACTOR (FIXED)	SHGC (FIXED)
SF1	ALUM	ANOD	.34	.33
SF2	ALUM	ANOD	N/A	N/A
SF3	ALUM	ANOD	N/A	N/A
SF4	HM	PT	N/A	N/A

STOREFRONT CPD NUMBER: ARA-K-54-00009-00001

CLUB ROOM RELITE



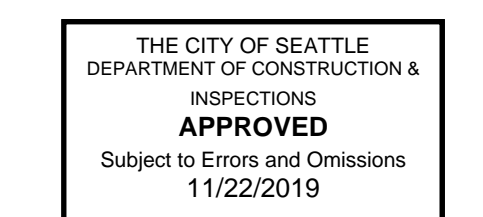
NICHOLSON KOVALCHICK ARCHITECTS  
6101 PENN AVENUE, SUITE M01  
PITTSBURGH, PA 15206  
T: 412-872-2682  
www.nkarch.com



ISSUANCE	
DD SUBMITTAL	3/14/2017
BP SUBMITTAL	5/12/2017
4 BP CORRECTION #1	09/11/2017
85% SET	9/25/2017

**BELL VIEW APARTMENTS**  
736 BELLEVUE PLACE EAST  
BELL VIEW LLC

SDCI STAMP


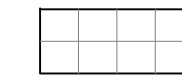
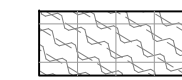
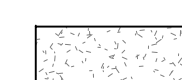




STOREFRONT SCHEDULE

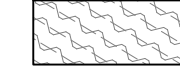



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DRAWN BY: CD, MC  
CHECKED BY: MC  
FILE NAME: WALLS BELLEVUE PLACE

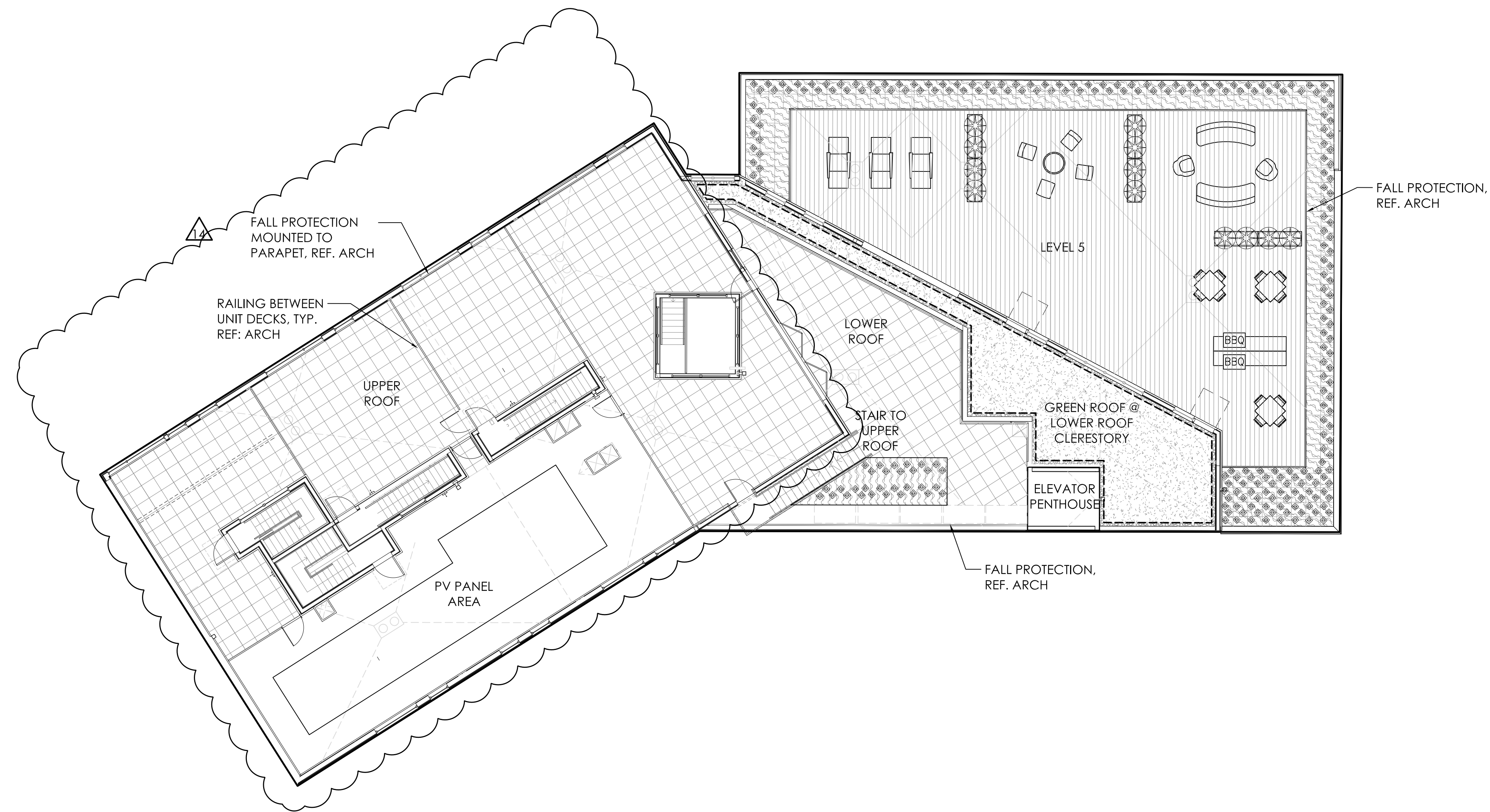
**A10.10**  
© 2019 NICHOLSON KOVALCHICK ARCHITECTS PS

**MATERIALS LIST (LEVEL 5, ROOF & UPPER ROOF)**

-  IPE DECKING
-  PRECAST PAVERS ON PEDESTAL
-  2'x2' VEGETATED ROOF TRAY SYSTEM @ LEVEL 5  
4" DEPTH OF LIGHTWEIGHT SOIL, MOUND TO 8" W/ INTEGRATED DRIP IRRIGATION
-  VEGETATED ROOF MULTILAYER SYSTEM @ ROOF  
4" DEPTH OF LIGHTWEIGHT SOIL.  
IRRIGATED WITH SPRAY IRRIGATION
-  GRAVEL, 2" DEPTH DRAIN ROCK 3/8" MINUS
-  2X6 FIBERGLASS PLANTERS, WILSHIRE COLLECTIONS BY TOURNESOL SITEWORKS  
20" DEPTH LIGHTWEIGHT SOIL  
(2) 5 GAL. BAMBOO

**PLANTING SCHEDULE (LEVEL 5 & ROOF)**

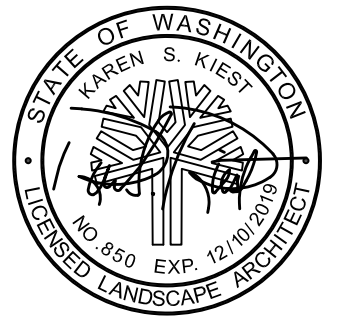
-  PRE-GROWN SEDUM TILES AVAIL. FROM ETERA. MIX: COLOR MAX
-  PRE-GROWN SEDUM TILES AVAIL. FROM ETERA. MIX: ALL SEASONS
-  SEDUM 'AUTUMN JOY' / AUTUMN JOY STONECROP  
STIPA TENUISSIMA / MEXICAN FEATHER GRASS  
ACHILLEA MILLEFOLIUM 'SUMMER PASTELS' / YARROW  
ACHILLEA LEWISII 'KING EDWARD' / YARROW
-  SHIBATAEA KUMASACA / SHIBATAEA BAMBOO  
WITH GROUND COVER (8 PLANTS PER 6' PLANTER):  
OPHIPOGON PLANISCAPUS 'NIGRESCENS' / BLACK MONDO GRASS



310 FIRST AVE S #45  
SEATTLE WA, 98104  
TEL 206.933.1150  
FAX 206.933.1154  
WWW.NKARCH.COM

Karen Kiest  
Landscape Architects

111 west john street suite 306  
seattle washington 98119  
tel 206 323 6032



RELEASE:  
MUP CORRECTION #1  
MUP CORRECTION #2  
BUILDING PERMIT  
MUP REVISION  
BUILDING PERMIT CORR  
BUILDING PERMIT CORR #3  
POST PERMIT REVISION  
POST PERMIT REVISION #2

**WALLS BELLEVUE**  
736 BELLEVUE PL E  
SEATTLE, WA 98102  
BELL VIEW LLC

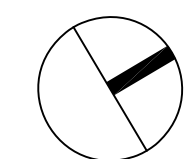
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**LANDSCAPE PLAN  
LEVEL 5, LOWER &  
UPPER ROOF**


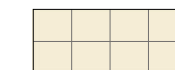



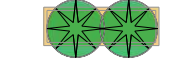
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PROJ #: BEPL  
DRAWN BY: CP  
CHECKED BY: KK



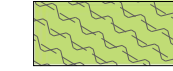



1 LANDSCAPE PLAN | LEVEL 5 & ROOF  
SCALE : 1" = 10'

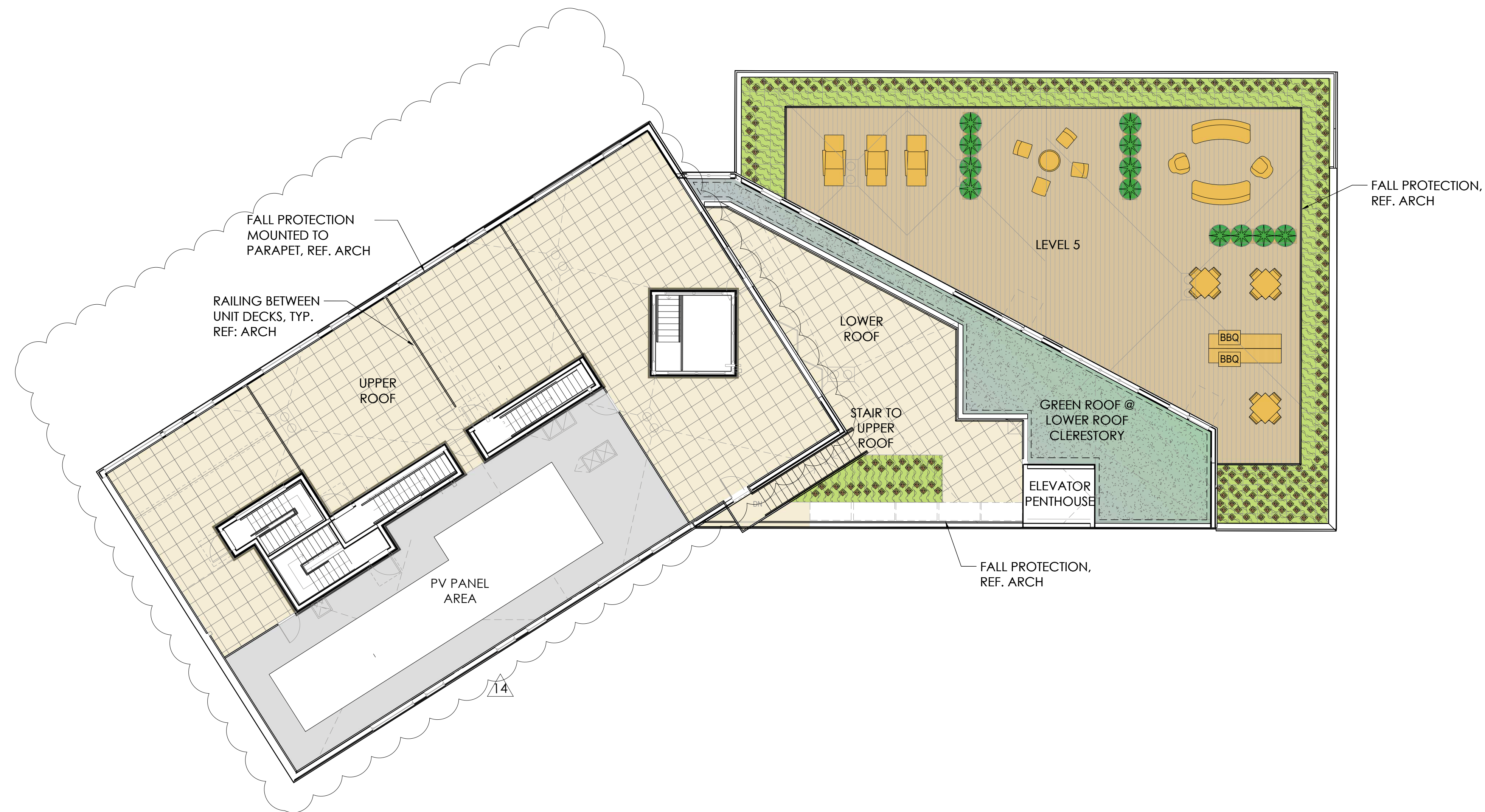


**MATERIALS LIST (LEVEL 5, ROOF & UPPER ROOF)**

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-  2X6 FIBERGLASS PLANTERS, WILSHIRE COLLECTIONS BY TOURNESOL SITEWORKS  
20" DEPTH LIGHTWEIGHT SOIL  
(2) 5 GAL. BAMBOO

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STIPA TENUISSIMA / MEXICAN FEATHER GRASS  
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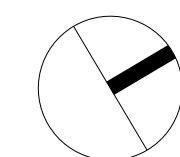
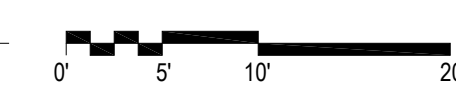
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MUP CORRECTION #2  
BUILDING PERMIT  
MUP REVISION  
BUILDING PERMIT CORR  
BUILDING PERMIT CORR #3  
POST PERMIT REVISION  
POST PERMIT REVISION #2

**WALLS BELLEVUE**  
736 BELLEVUE PL E  
SEATTLE, WA 98102  
BELL VIEW LLC

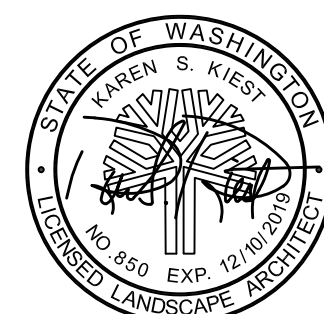
**SHEET TITLE:**  
LANDSCAPE PLAN  
LEVEL 5, LOWER AND  
UPPER ROOF COLOR

DATE: 02-26-2018  
PROJ #: BEPL  
DRAWN BY: CP  
CHECKED BY: KK

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION &  
INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
11/22/2019



**1** LANDSCAPE PLAN | LEVEL 5 & ROOF  
SCALE: 1" = 10'



RELEASE:  
MUP CORRECTION #1  
MUP CORRECTION #2  
BUILDING PERMIT  
MUP REVISION  
BUILDING PERMIT CORR  
BUILDING PERMIT CORR #3  
POST PERMIT REVISION #1  
POST PERMIT REVISION #2

WALLS BELLEVUE  
736 BELLEVUE PL E  
SEATTLE, WA 98102  
BELL VIEW LLC

SHEET TITLE:

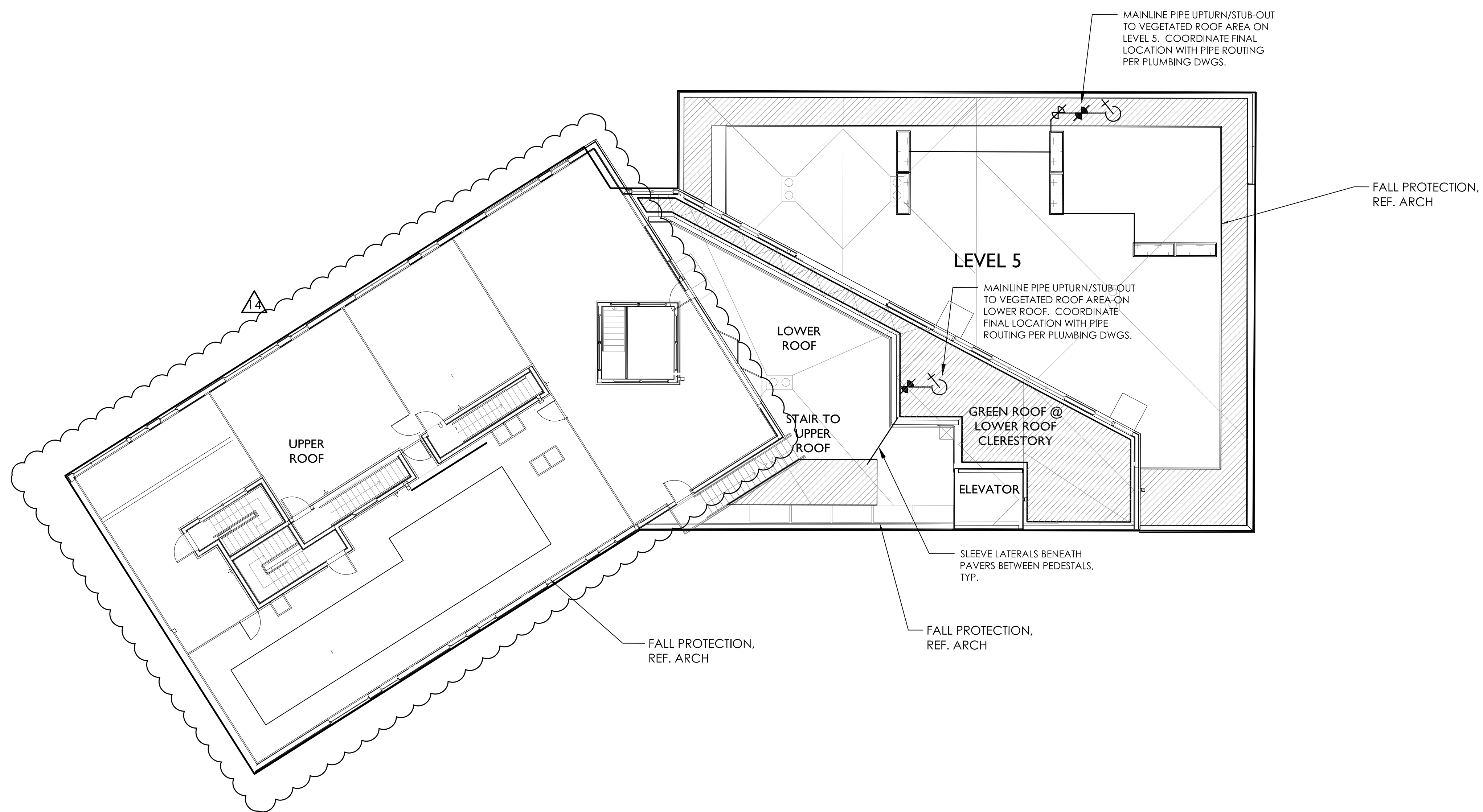
IRRIGATION PLAN  
LEVEL 5, LOWER &  
UPPER ROOF

DATE: 02-26-2018  
PROJ #: BEPL  
DRAWN BY: CP  
CHECKED BY: KK

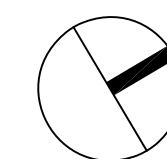
L3.1

NOTES:

1. PLUMBING TO PROVIDE 30 PSI MIN TO EACH ROOF LEVEL
2. SEE L3.0 FOR NOTES AND LEGEND.



1 IRRIGATION PLAN | LEVEL 5, LOWER AND UPPER ROOF  
SCALE : 1" = 10'



THE CITY OF SEATTLE  
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# High Roof Framing Notes

- ROOF FRAMING - 2X12 JOISTS PER PLAN.
- ROOF SHEATHING SHALL BE GLUED AND NAILED.
- WALLS INDICATED ARE BELOW THE FRAMING LEVEL. SEE BEARING WALL SCHEDULE THIS SHEET.
- PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND BUILT TO ACCOMMODATE 3/8" PER FLOOR WOOD SHRINKAGE.
- SEE DETAIL 1/S9.00 FOR TYPICAL HEADER/BUNDLED STUD CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR DRAFTSTOP AND VENTING LOCATIONS.
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND TOP PLATE ELEVATIONS.
- ALL EXTERIOR, PARTY, AND CORRIDOR WALLS ARE CONSIDERED AS BEARING WALLS.
- HANGERS INDICATED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE.
- ALL BEAMS AND HEADERS SHALL HAVE A MINIMUM OF (1) FULL HEIGHT STUD AT EACH END FOR BRACING TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE MINIMUM (2) 2X BUNDLED STUDS UNDER EACH BEAM END, TYPICAL UNLESS NOTED OTHERWISE.
- SEE DETAILS ON SHEET S9.00 FOR TYPICAL CORNER FRAMING DETAILS.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH PLYWOOD. USE TYPE P6 SHEARWALL, TYPICAL, U.N.O.

# Bearing Wall Stud Schedule

WALL TYPE	LEVEL	PLATE SIZE	STUD SIZE AND SPACING, U.N.O.	RIM/BLOCKING
EXTERIOR	LEVEL 5	2X8 LSL 1.5E	2X8 @ 16" O.C. LSL 1.5E	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
CORRIDOR	LEVEL 5	2X8 LSL 1.5E	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 4	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 3	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
	LEVEL 2	2X8 DF	2X6 @ 16" O.C. DF #2	3 1/2" LSL
INTERIOR	LEVEL 5	2X6 DF	(2) 2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X4 DF	(2) 2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	2X4 DF	4X4 @ 16" O.C. DF #2	1 3/4" LSL
PARTY	LEVEL 5	DBL 2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	DBL 2X4 DF	2X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 2	DBL 2X4 DF	3X4 @ 16" O.C. DF #2	1 3/4" LSL
STAIR / VENT ELEVATOR WALLS	LOUNGE	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 5	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 4	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL
	LEVEL 3	2X6 DF	2X6 @ 16" O.C. DF #2	1 3/4" LSL

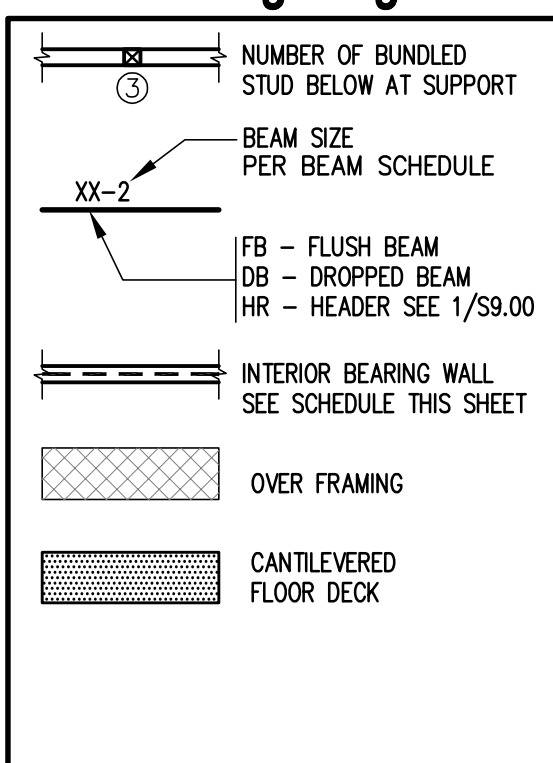
# Wood Beam Schedule

TYPE	SIZE	HANGER
XX-1	4X6	HUS46
XX-2	4X8	HUS48
XX-3	4X10	HUS410
XX-4	6X8	HU68
XX-5	6X10	HU610
XX-6	6X12	HU612
XX-7	LSL 1 3/4 X 11 7/8	HU11
XX-8	PSL 3 1/2 X 11 7/8	HHUS410
XX-9	PSL 5 1/4 X 11 7/8	HHUS5.5/10
XX-10	PSL 7 X 11 7/8	HGU7.25-SDS

# Joist Schedule

MARK	JOIST
J-1	11 7/8" TJI 110 @ 16" O.C.
J-2	11 7/8" TJI 210 @ 16" O.C.
J-3	11 7/8" TJI 210 @ 12" O.C.
J-4	(2) 11 7/8" TJI 210 @ 16" O.C.
J-5	11 7/8" TJI 360 @ 16" O.C.
J-6	11 7/8" TJI 360 @ 12" O.C.
J-7	(2) 11 7/8" TJI 360 @ 16" O.C.

# Framing Legend



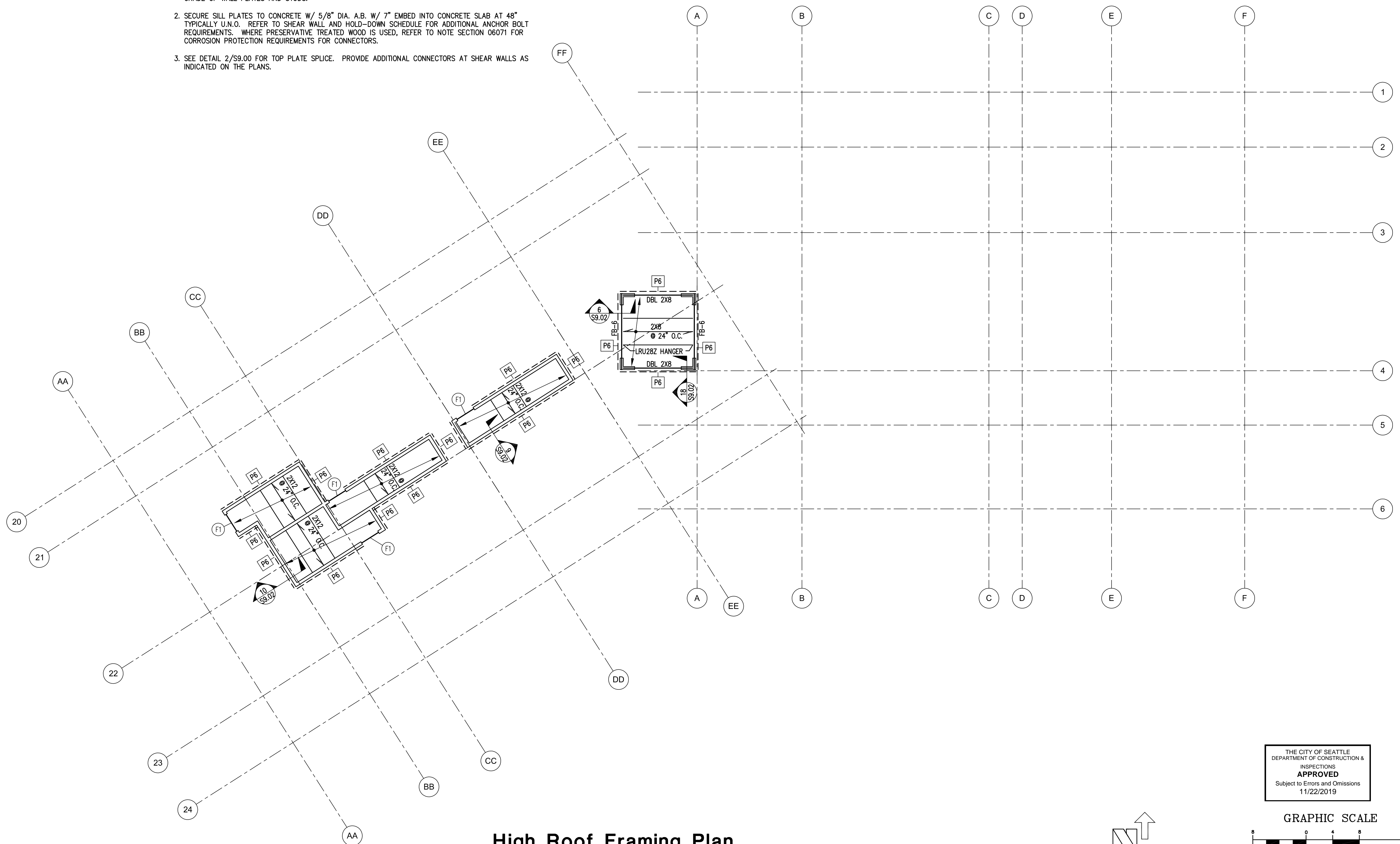
# Framing Keynotes

(F1) HSS7X5 AT METAL CANOPY

**Note:**  
ALL SECTION CUTS ARE TYPICAL

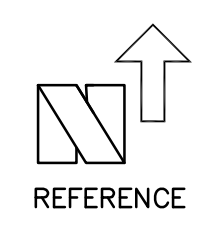
**BEARING WALL NOTES**

- SEE SHEARWALL SCHEDULE SHEET S1.02 FOR WALL SHEATHING, ADDITIONAL PLATE AND STUD REQUIREMENTS, BLOCKING AND PLATE NAILING. SEE SAWN LUMBER STRUCTURAL NOTES SHEET S1.00 FOR SPECIES AND GRADE OF WALL PLATES AND STUDS.
- SECURE SILL PLATES TO CONCRETE W/ 5/8" DIA. A.B. W/ 7" EMBED INTO CONCRETE SLAB AT 48" TYPICALLY U.N.O. REFER TO SHEAR WALL AND HOLD-DOWN SCHEDULE FOR ADDITIONAL ANCHOR BOLT REQUIREMENTS. WHERE PRESERVATIVE TREATED WOOD IS USED, REFER TO NOTE SECTION 06071 FOR CORROSION PROTECTION REQUIREMENTS FOR CONNECTORS.
- SEE DETAIL 2/S9.00 FOR TOP PLATE SPLICE. PROVIDE ADDITIONAL CONNECTORS AT SHEAR WALLS AS INDICATED ON THE PLANS.

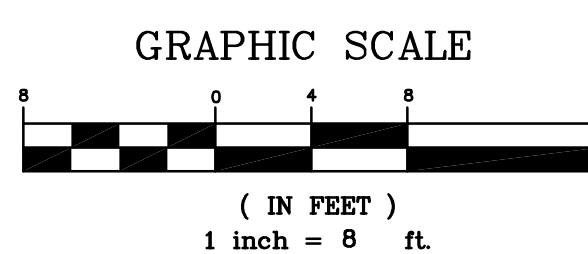


**Note:**  
PLANS PREPARED USING ARCHITECTURAL BACKGROUNDS RECEIVED APRIL 14, 2017

**High Roof Framing Plan**  
SCALE: 1/8" = 1'-0"

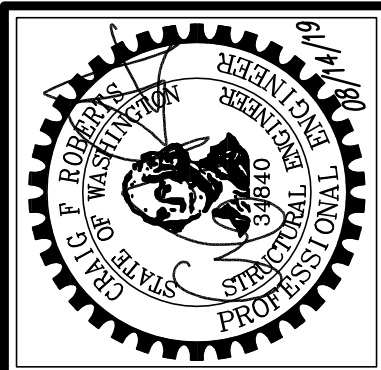


THE CITY OF SEATTLE  
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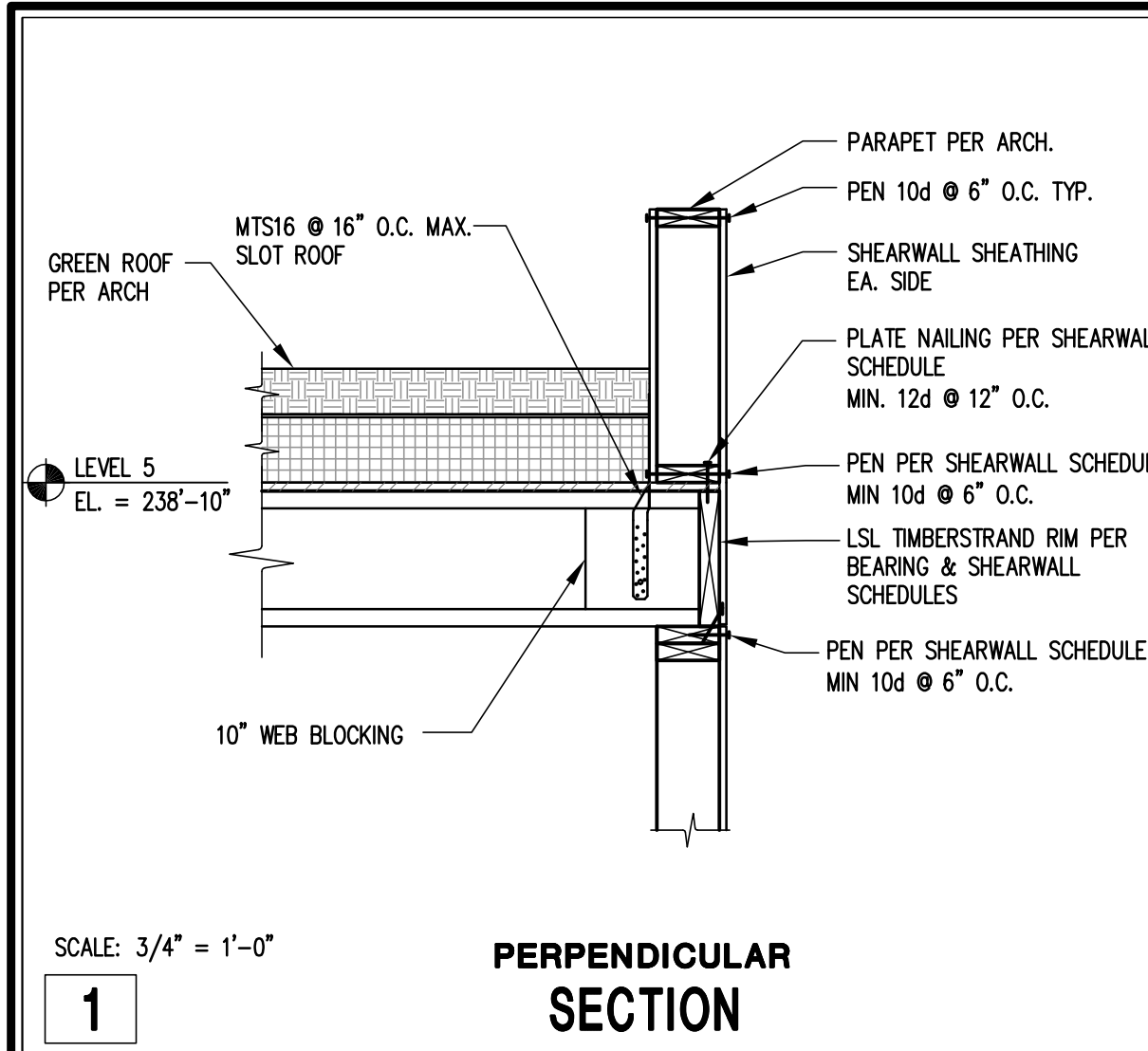
**High Roof Framing Plan**  
Bell View Apartments  
736 Bellevue Place East  
Seattle, WA

**S4.06**

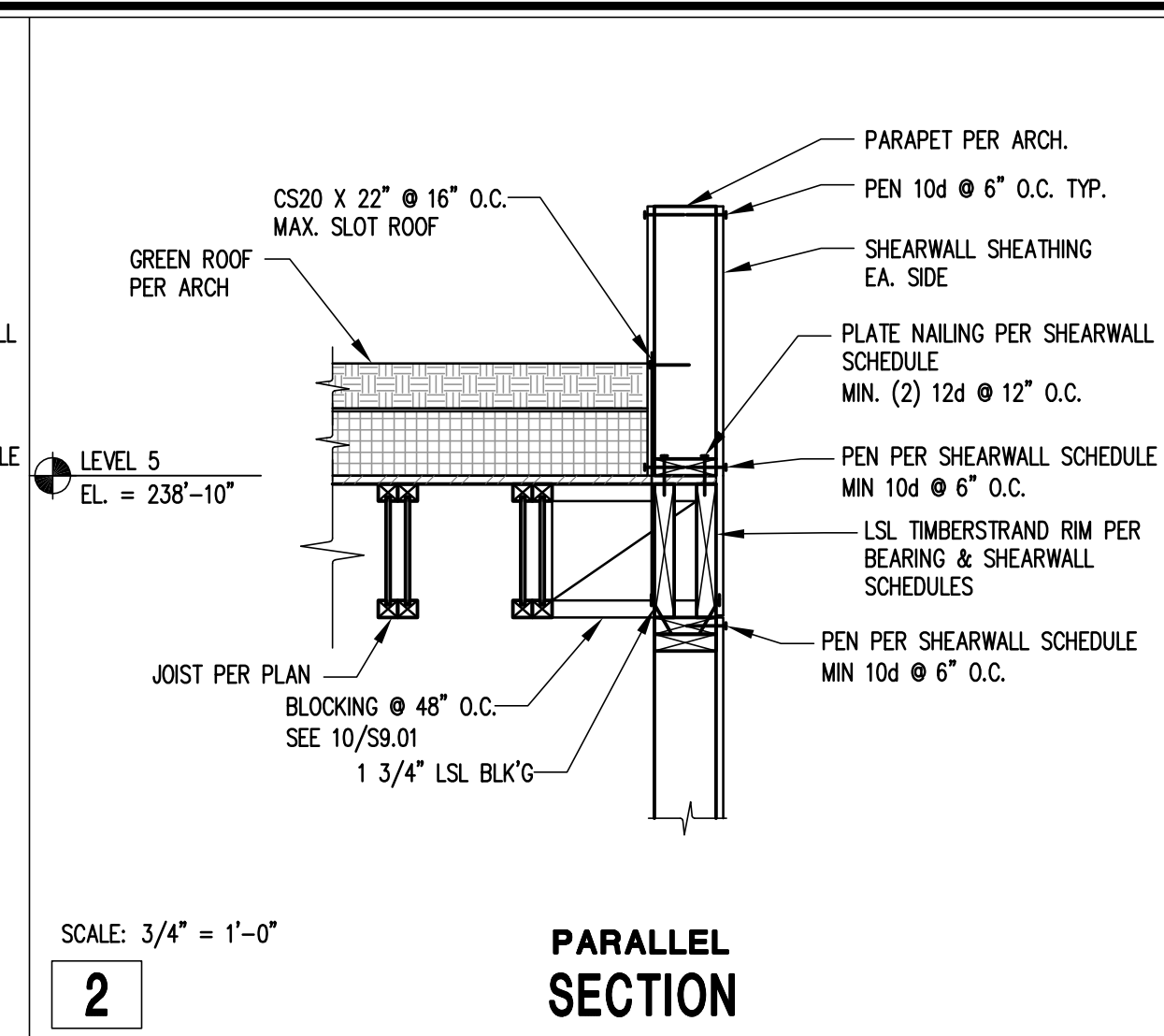


NO.	REVISION	DATE
1	RESPOND TO PERMIT COMMENTS #3	02/26/18
2	POST PERMIT SUBMITTAL	10/10/18
3	POST PERMIT CORRECTION #1	04/02/19
4	POST PERMIT REVISION	08/14/19
ENGR: SWK   CAD: SWK   DATE: 08/14/19   FILE: 14271S406		JOB #: 14271

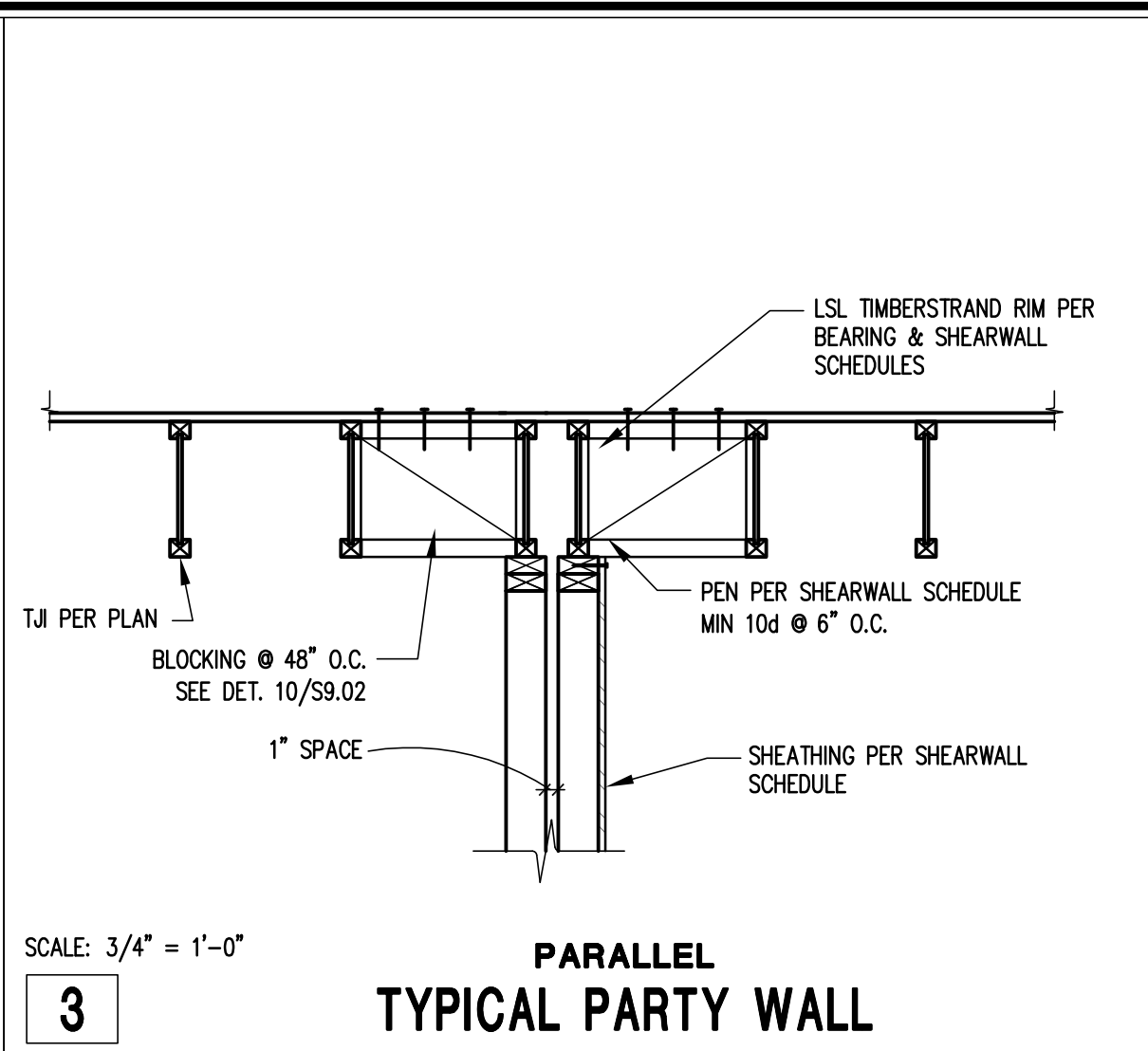
**CT ENGINEERING INC.**  
Structural Engineers  
160 Nickerson Street Suite 302 Seattle, WA 98109  
206.285.4512 (V) 206.285.0618 (F)



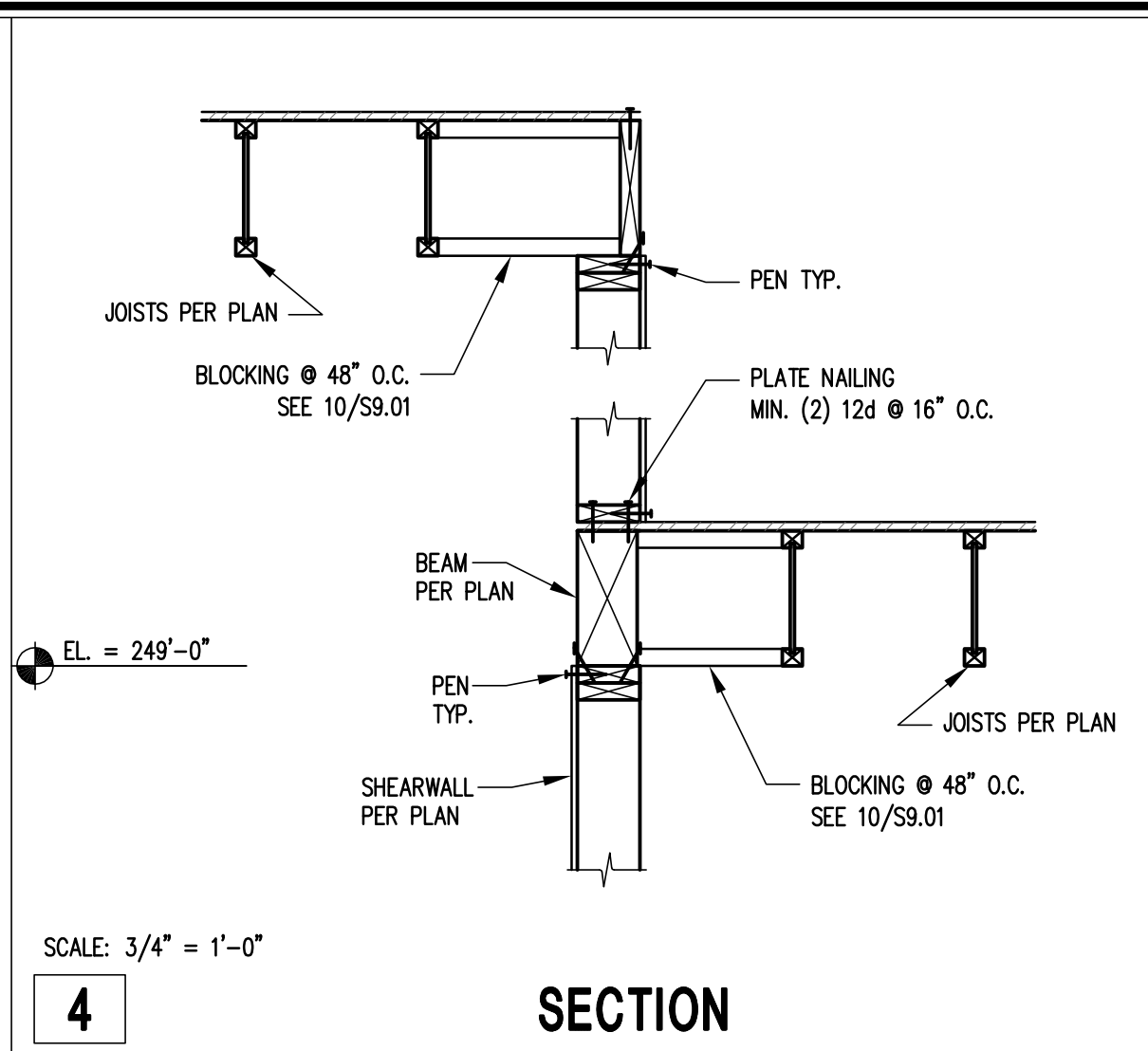
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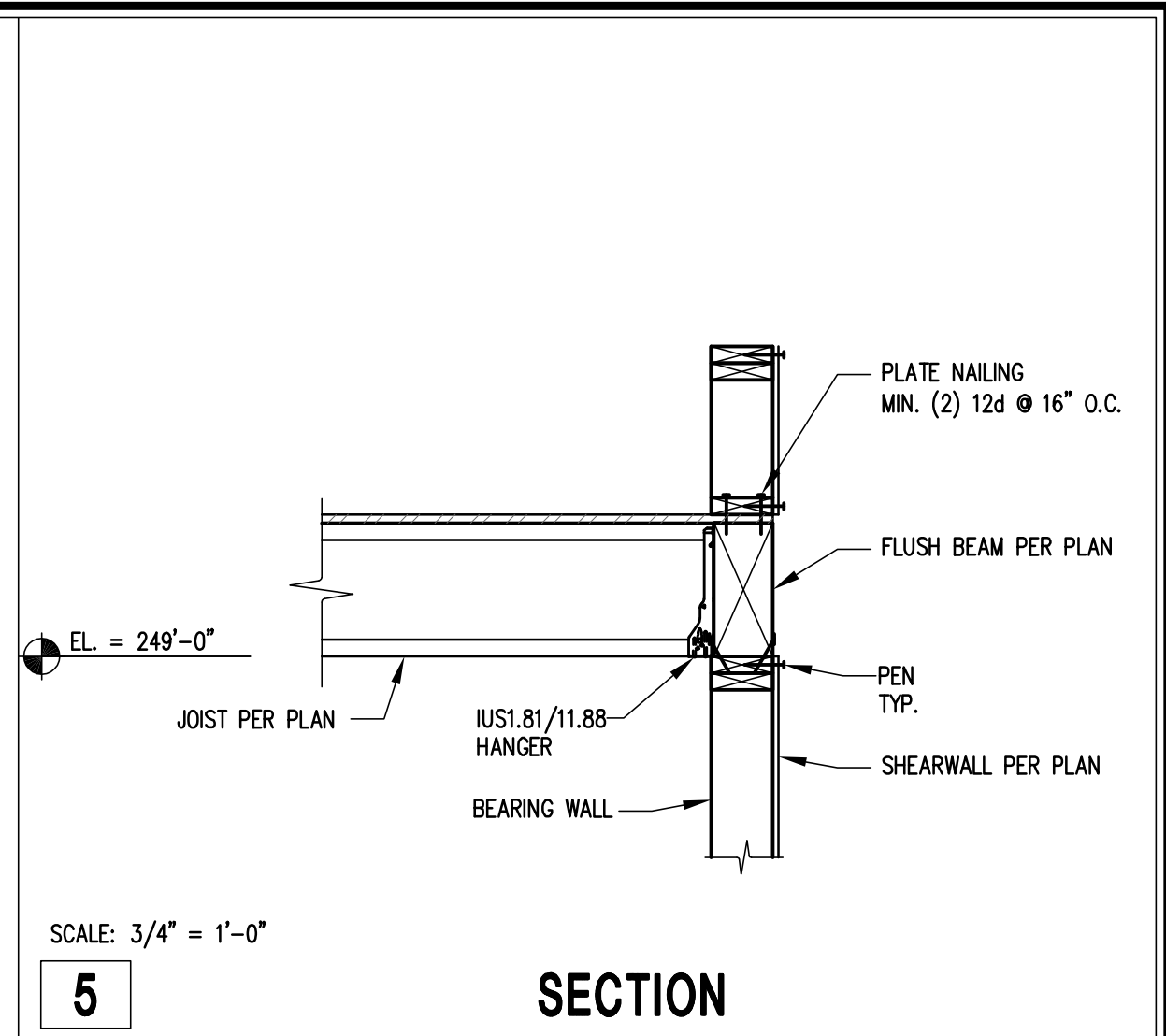
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2 PARALLEL SECTION



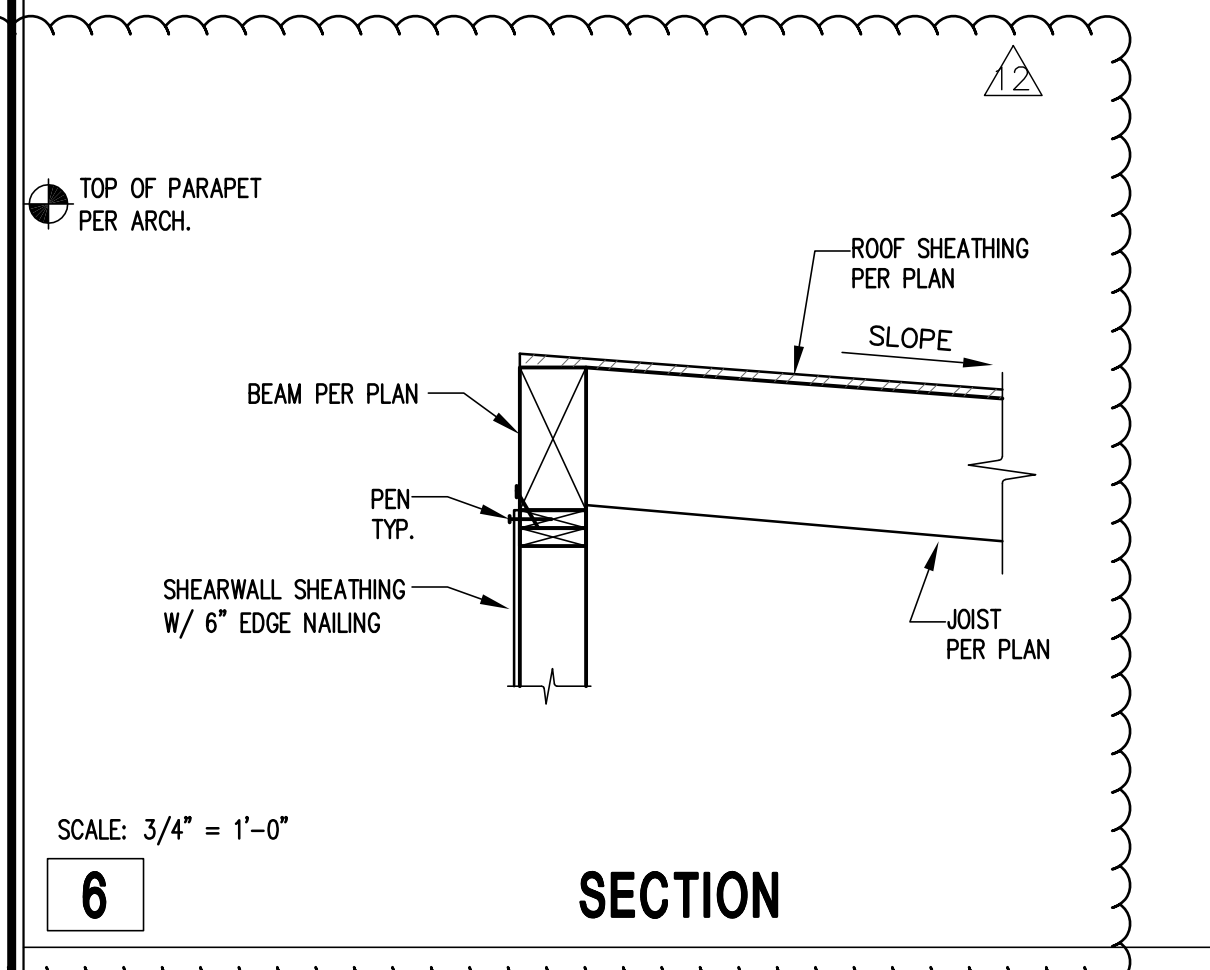
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3 TYPICAL PARTY WALL



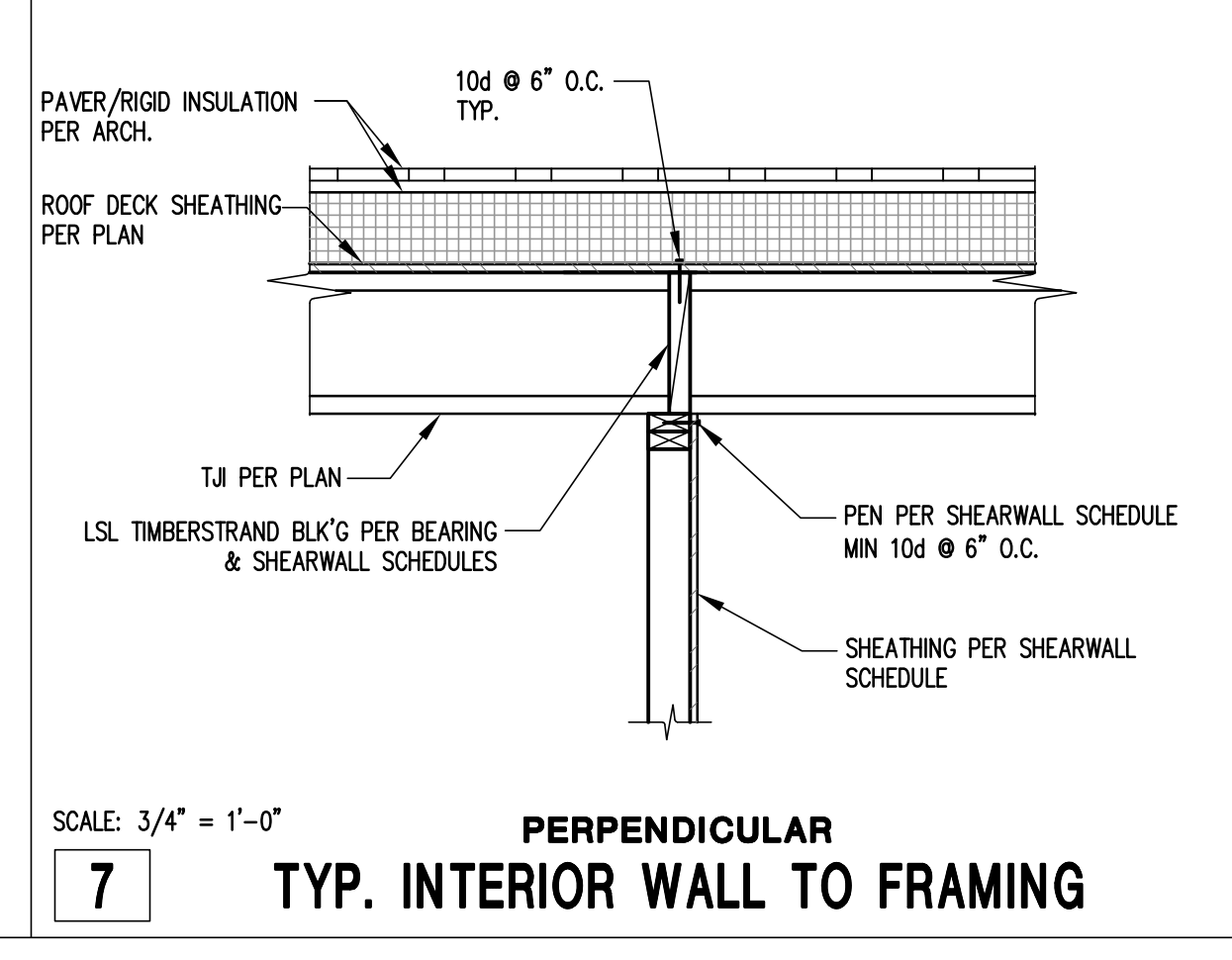
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4 SECTION



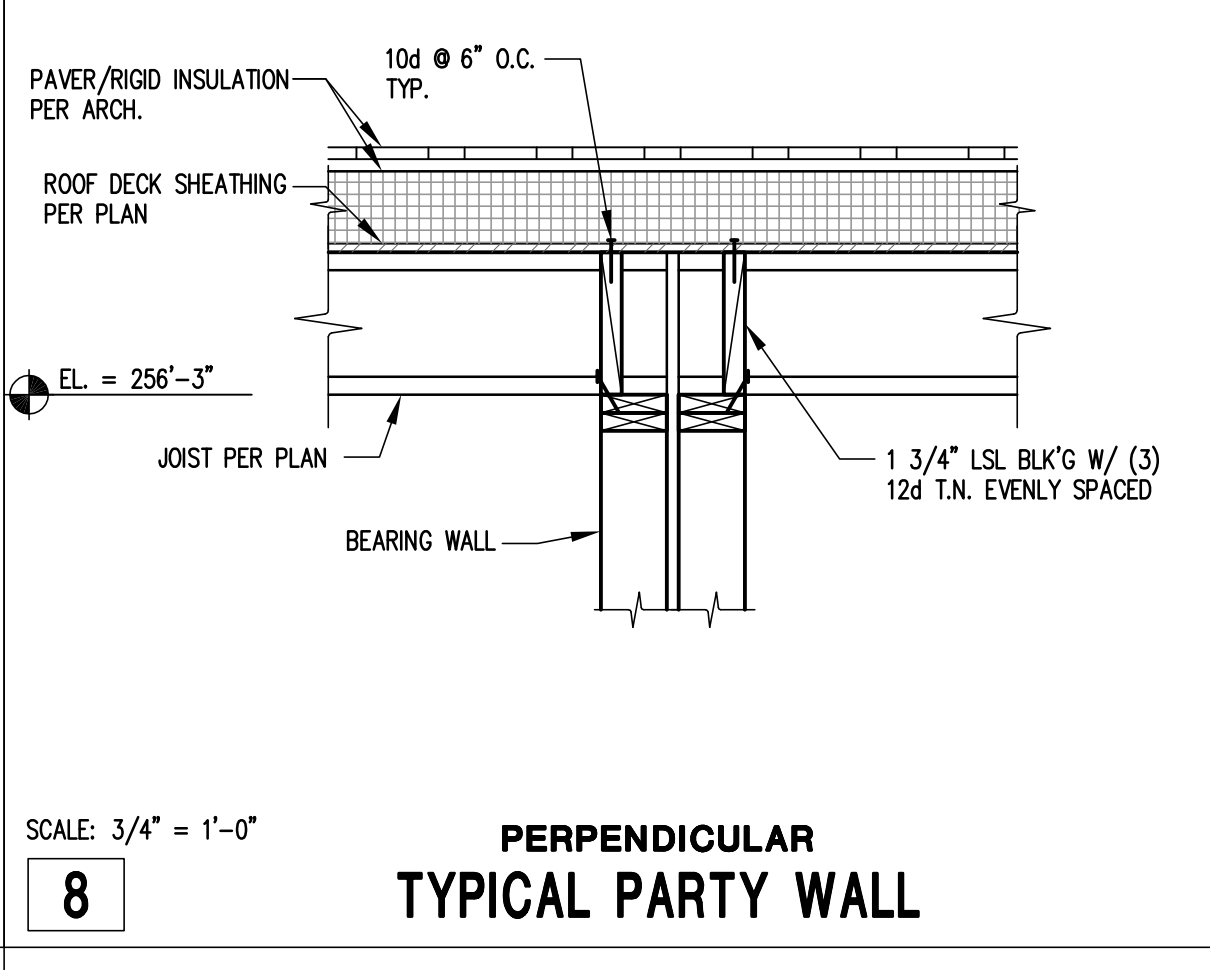
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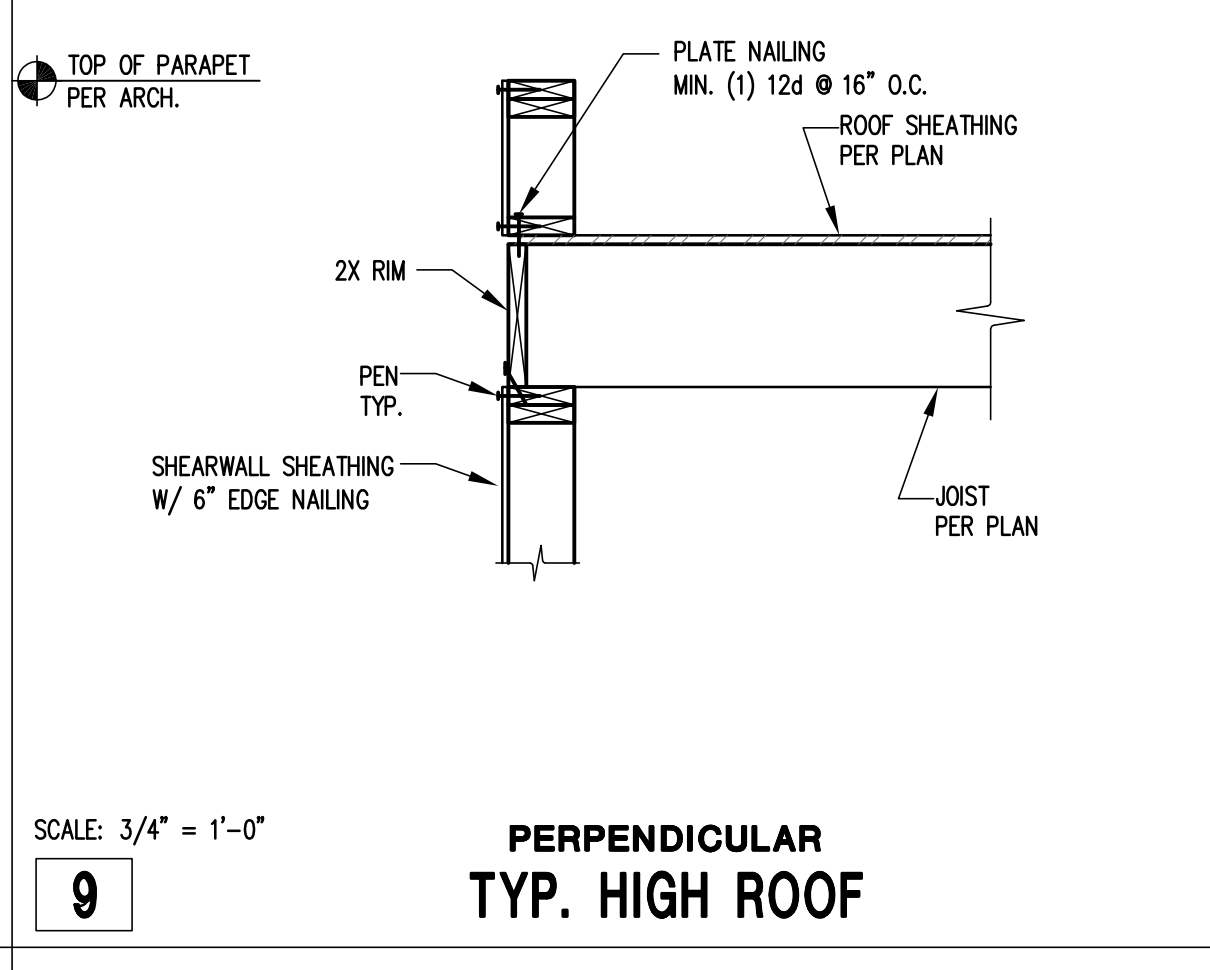
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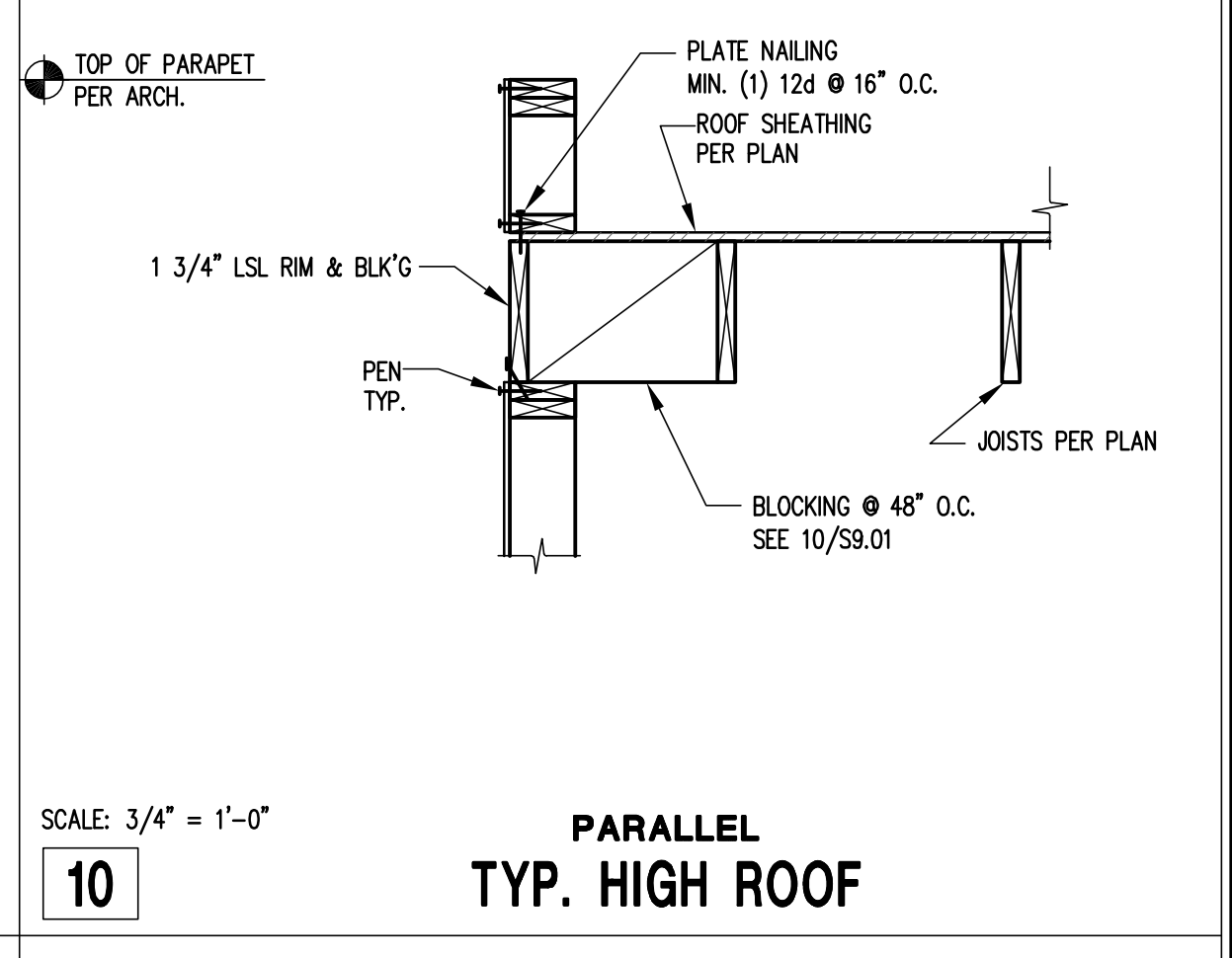
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7 PERPENDICULAR TYP. INTERIOR WALL TO FRAMING



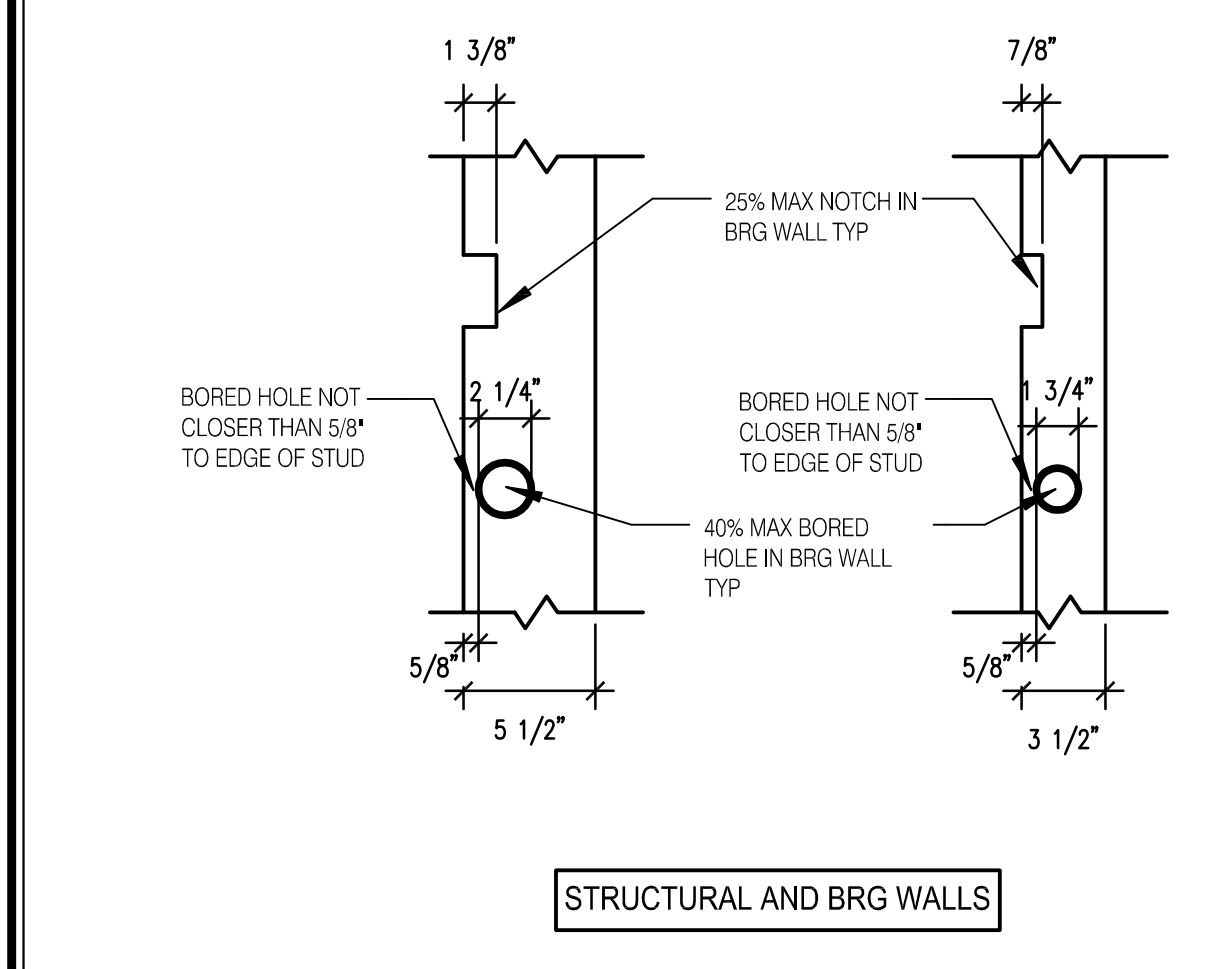
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8 PERPENDICULAR TYPICAL PARTY WALL



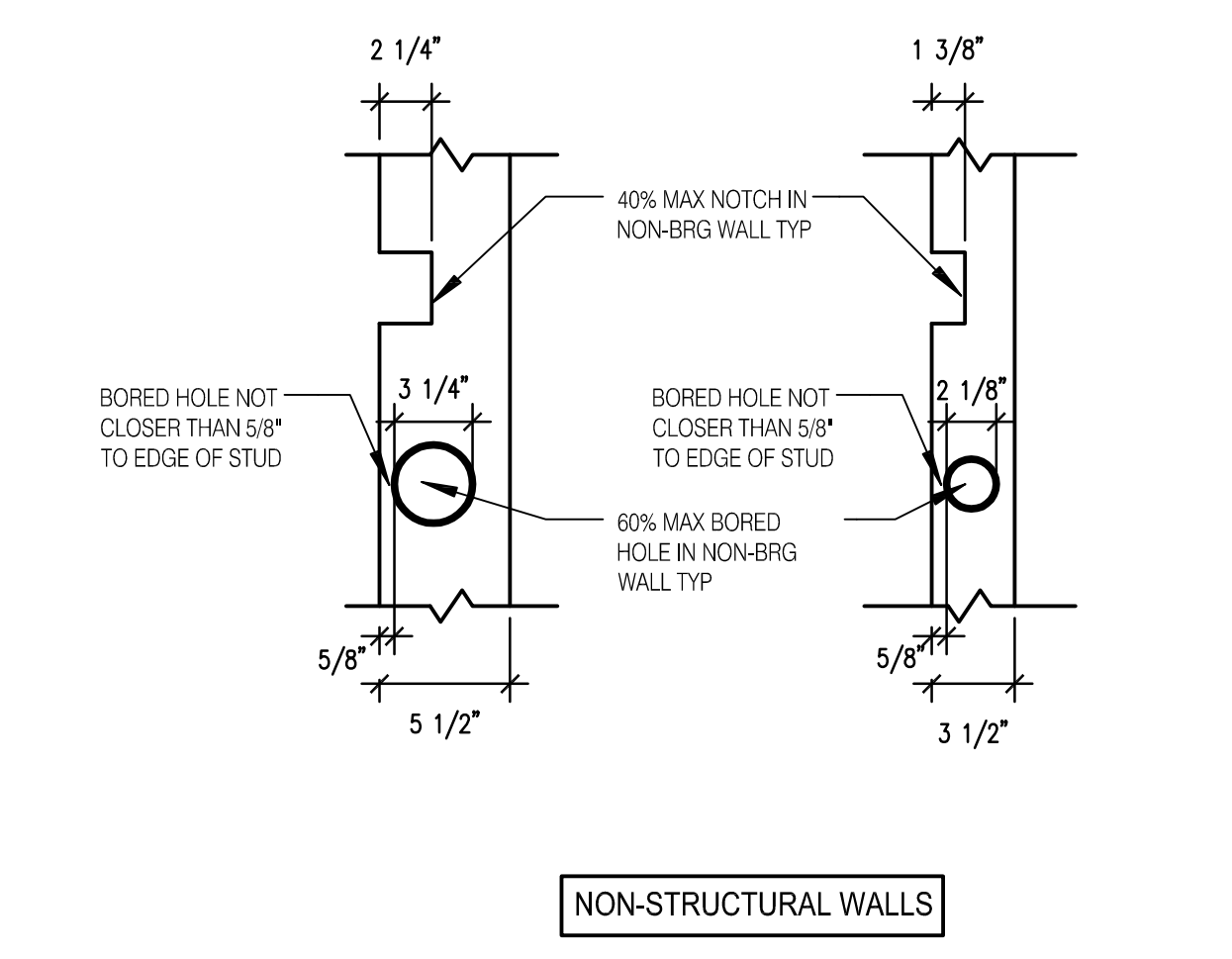
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9 PERPENDICULAR TYP. HIGH ROOF



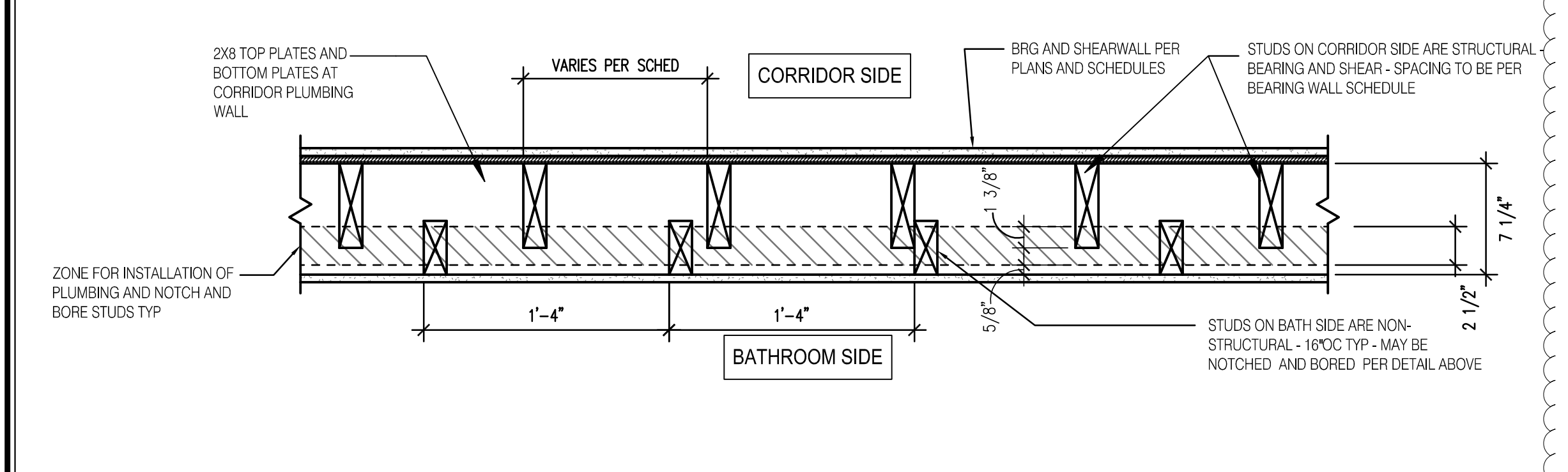
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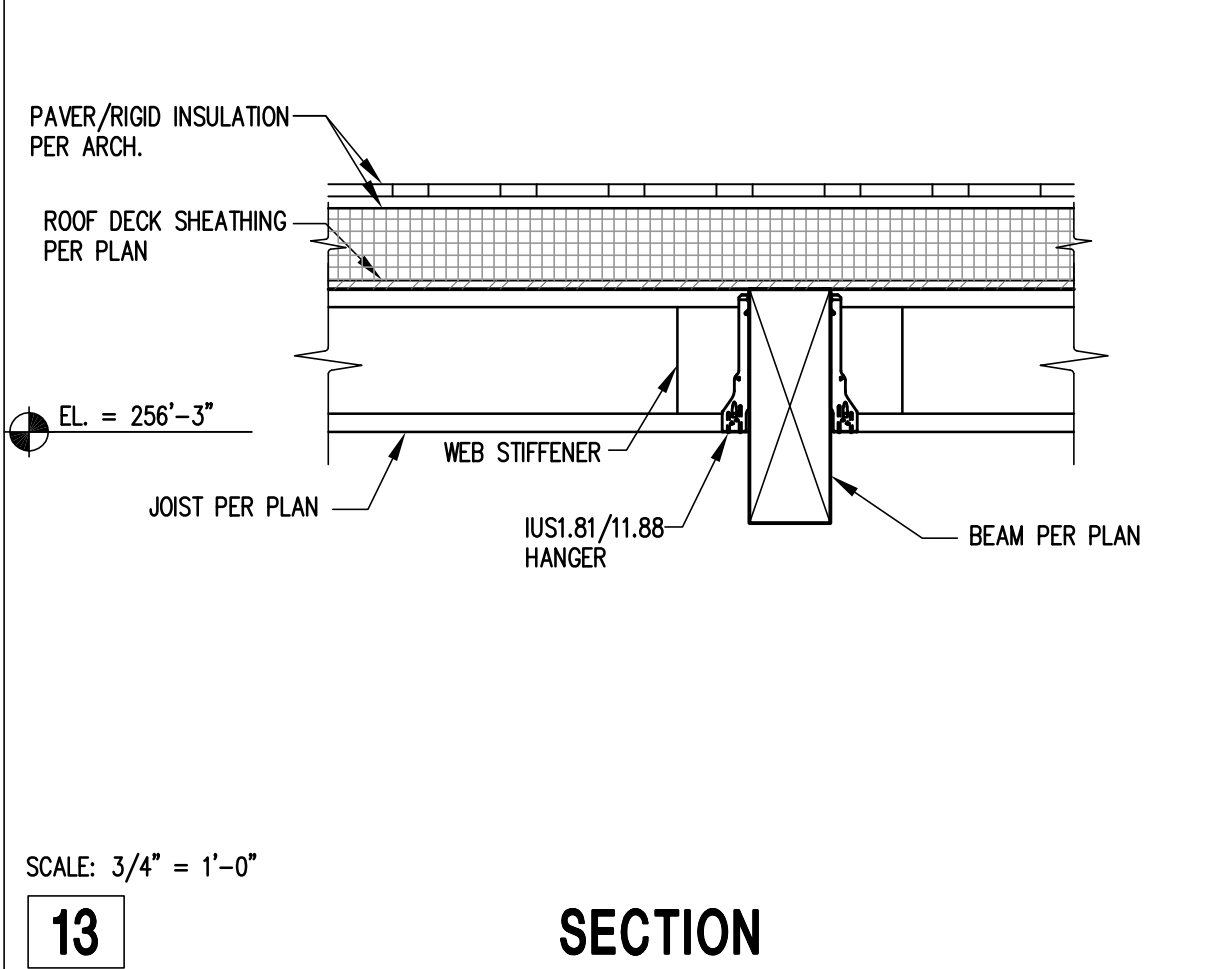
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16 PLUMBING WALL FRAMING DETAILS



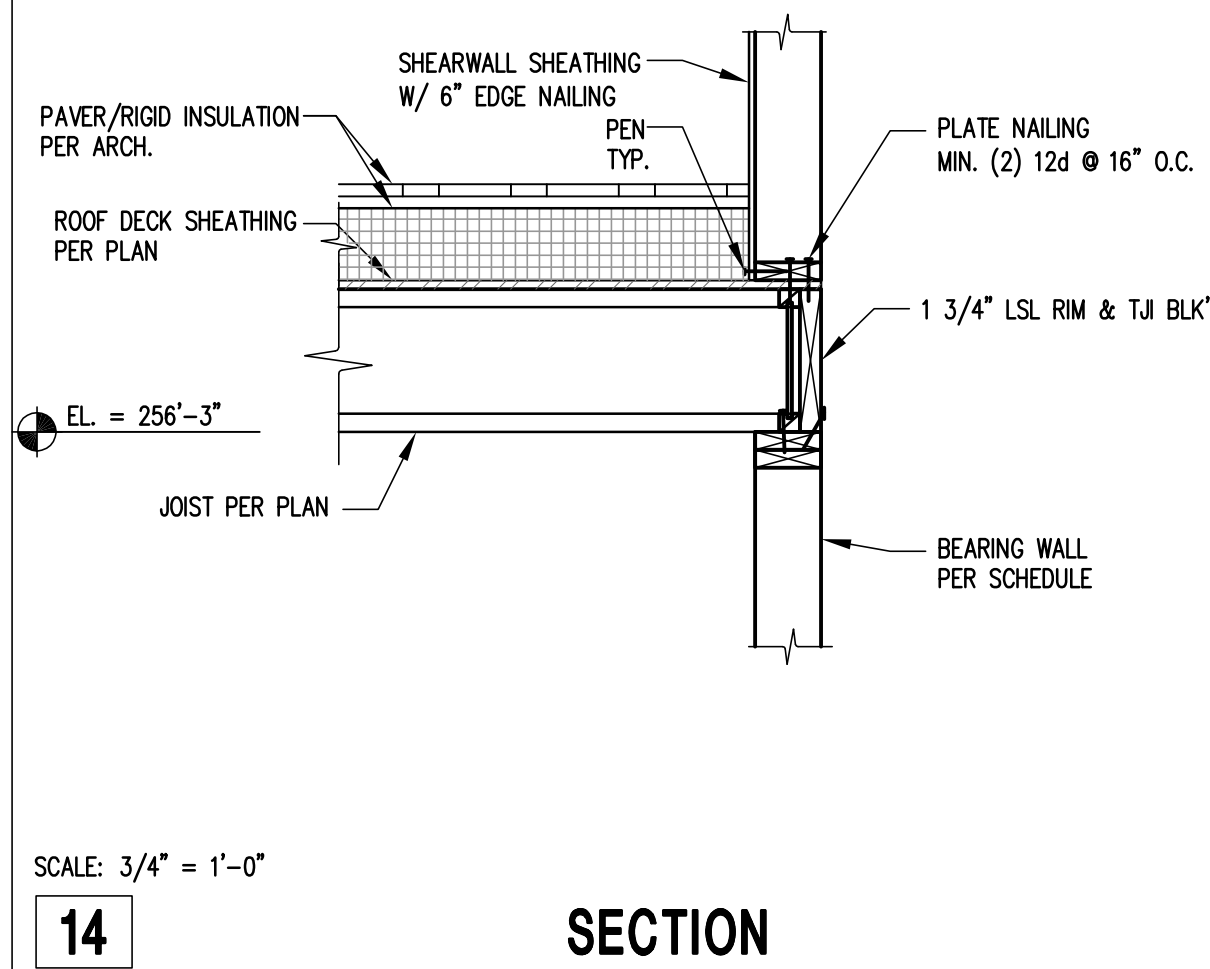
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16 PLUMBING WALL FRAMING DETAILS



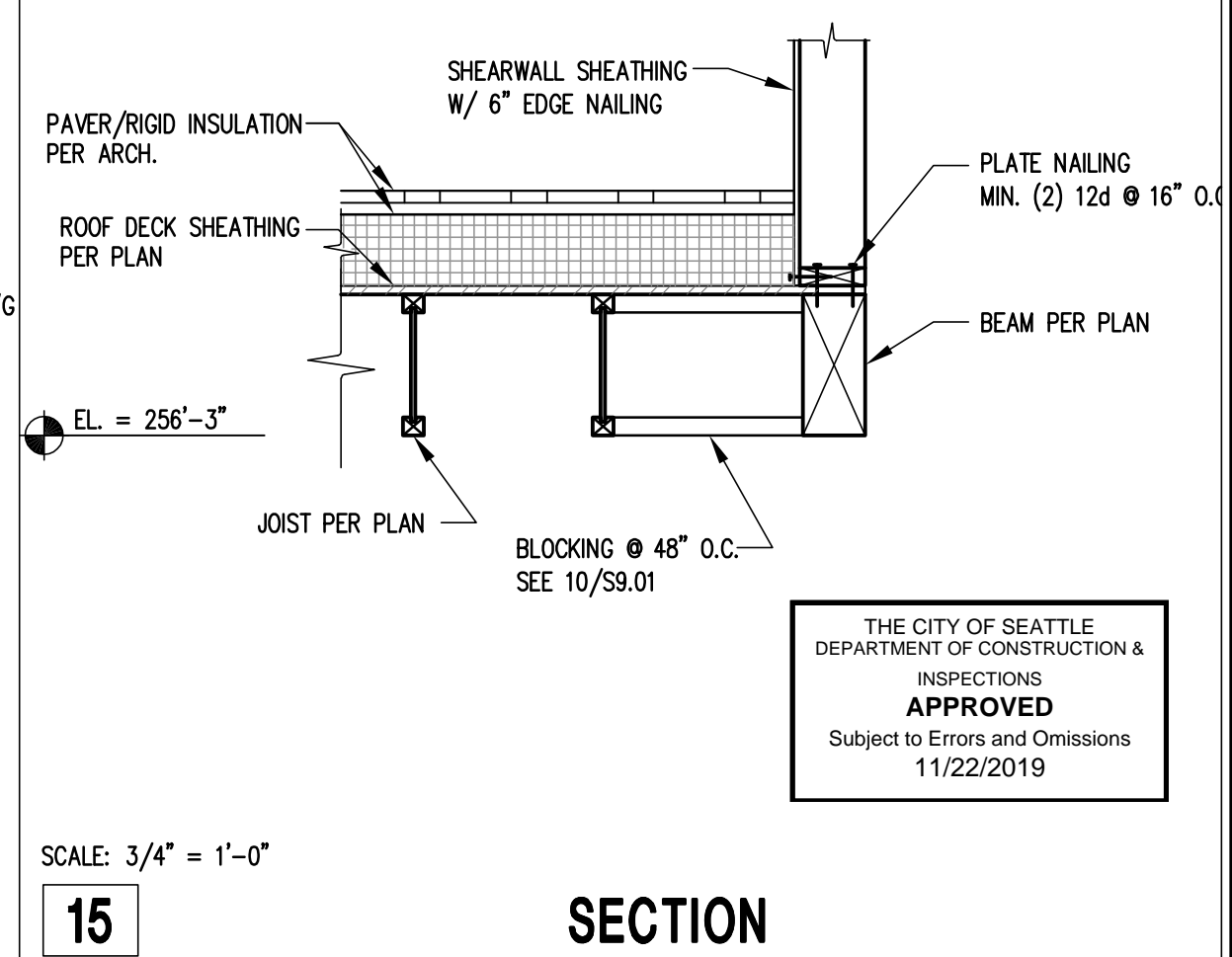
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16 PLUMBING WALL FRAMING DETAILS



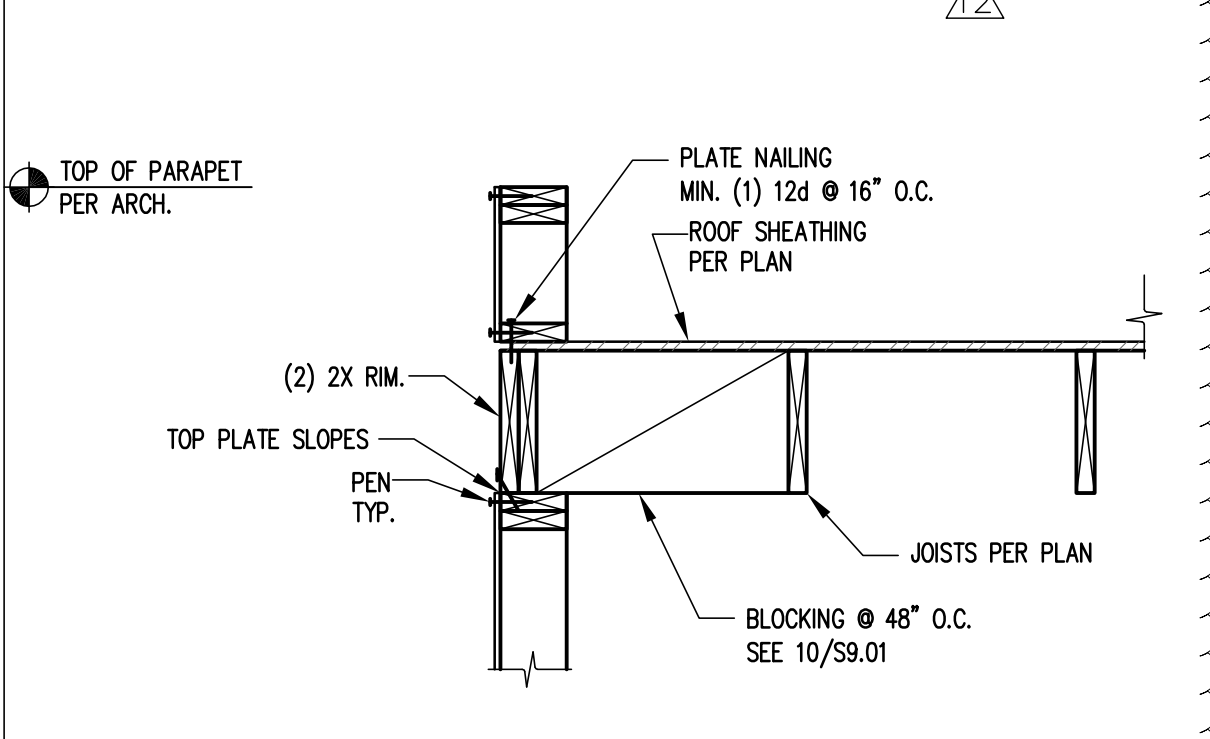
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13 SECTION



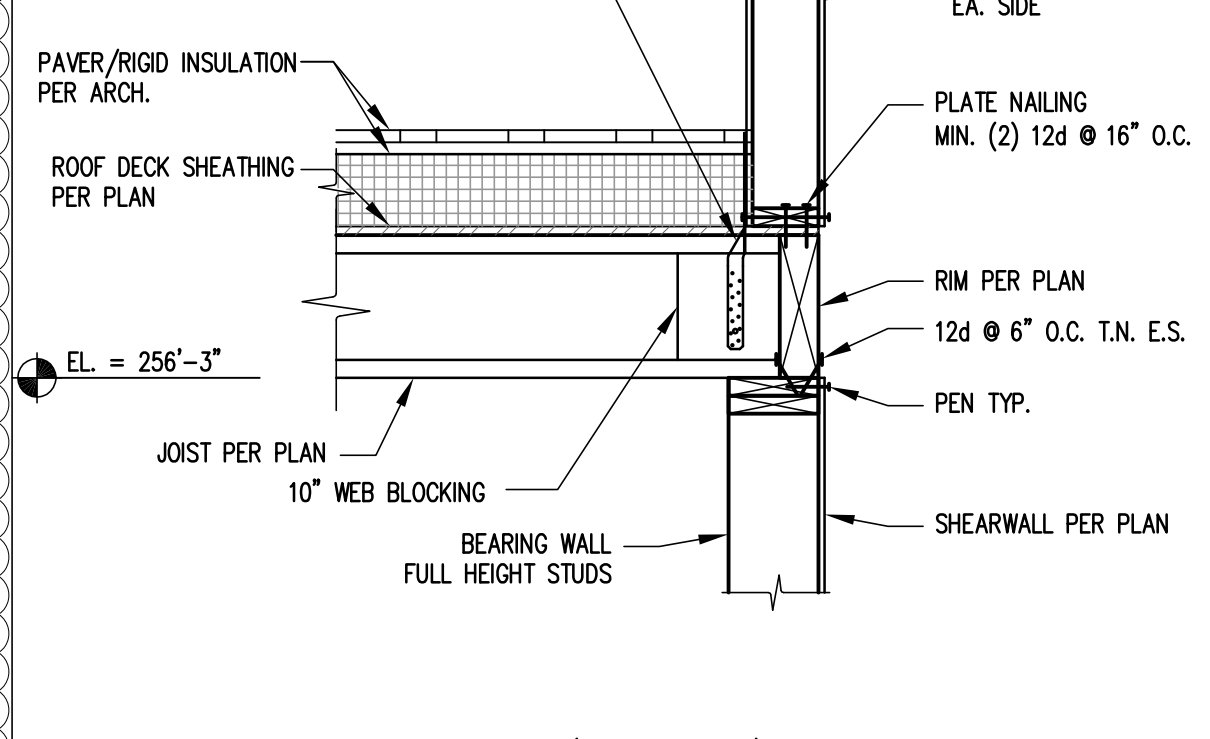
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14 SECTION



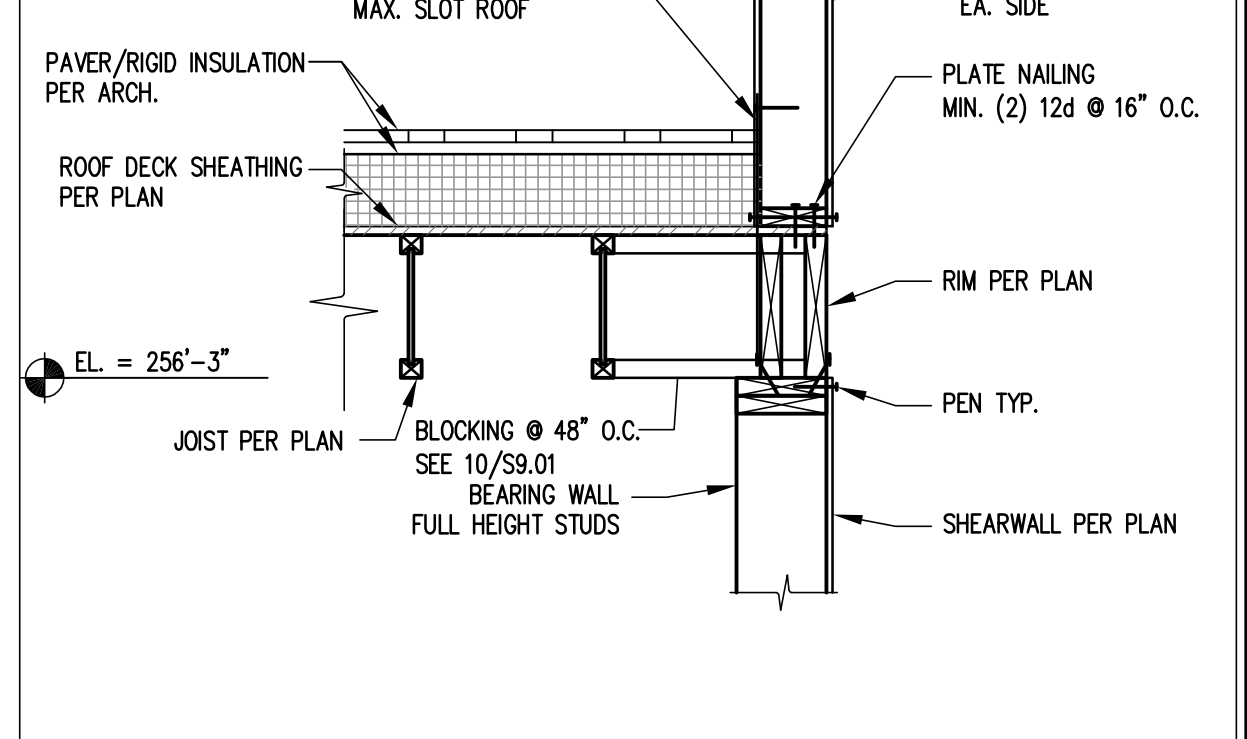
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15 SECTION



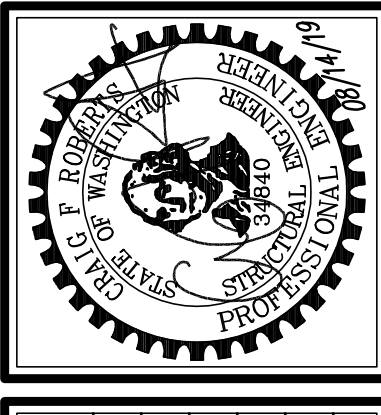
SCALE: 3/4" = 1'-0"  
18 SECTION



SCALE: 3/4" = 1'-0"  
19 PERPENDICULAR TYP. EXTERIOR WALL / HIGH ROOF



SCALE: 3/4" = 1'-0"  
20 PARALLEL TYP. EXTERIOR WALL / HIGH ROOF DECK



NO.	REVISION	DATE
1	RESPOND TO PERMIT COMMENTS #3	02/26/18
2	POST PERMIT SUBMITTAL	10/10/18
3	POST PERMIT CORRECTION #1	04/02/19
4	POST PERMIT REVISION	08/14/19
ENGR: SWK CAD: SWK PLOT: 08/14/19 FILE: 14271600 JOB #: 14271		

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
APPROVED  
Subject to Errors and Omissions  
11/22/2019