FACILITY UPGRADES

1238 COUNTY WELFARE ROAD LEESPORT, PA 19533

GENERAL NOTES

1. EACH PRIME CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK OR PURCHASING ANY MATERIALS. VERIFY LAYOUT IN RELATION TO PROPERTY LINES, BENCH MARKS, OR OTHER FIXED CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
2. NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WORK SITE IN A CLEAN AND ORDERLY MANNER AND ALLOW FOR SAFE USE OF PREMISES BY THE OWNER AND VISITORS.
4. EACH PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL, AND COORDINATING WITH THE WORK OF OTHER TRADES.
5. GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH COUNTIES APPROVED POINT OF CONTACT.
6. ALL REFUSE SHALL BE THE RESPONSIBILITY OF EACH PRIME CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.
7. SKILLED WORKERS: EACH PRIME CONTRACTOR SHALL PROVIDE WORKERS EXPERIENCED IN THE TRADES AND ACTIVITIES TO BE PERFORMED AND BE FAMILIAR WITH THE PRODUCTS, MATERIALS, AND FINISHES INVOLVED IN THE SCOPE OF WORK OF THIS PROJECT.
8. EACH PRIME CONTRACTOR SHALL PATCH ALL DISTURBED AREAS TO MATCH EXISTING, AND REPAIR OR REPLACE ANY DAMAGE TO THE SITE CAUSED BY CONSTRUCTION.
9. GENERAL CONTRACTOR SHALL PLAN THE SCHEDULE OF ACTIVITIES TO MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE CONSTRUCTION PROCESS. GENERAL CONTRACTOR SHALL LOCK AND SECURE PROJECT AREA AT THE END OF EACH WORK DAY.
10. GENERAL CONTRACTOR TO ENSURE THAT ALL WORK AREAS, INCLUDING THOSE ON ROOFS, SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND REQUIREMENTS, INCLUDING ANY FLAGGING, TIE-OFFS, AND TEMPORARY BARRIERS.

SELECTIVE DEMOLITION GENERAL NOTES:

1. PRIOR TO SUBMISSION OF BID EACH PRIME CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE EXTENT OF DEMOLITION WORK REQUIRED AND VERIFY THE EXISTING CONDITIONS AND MATERIALS TO BE DEMOLISHED. PRIME CONTRACTORS TO FIELD-VERIFY ROUTING OF ALL EXISTING CONCEALED UTILITIES PRIOR TO DEMOLITION.
2. ELECTRICAL CONTRACTOR IS TO PROVIDE FOR TEMPORARY LIGHTING AND POWER. USE OF EXISTING MEP INFASTRUCTURE IS PERMISSIBLE TO EXTENT POSSIBLE BASED ON THE DEPICTED SCOPE OF WORK
3. THE DEMOLITION SHOWN AND INDICATED ON THE DEMOLITION DRAWINGS IS NOT A COMPLETE INDICATION OF THE DEMOLITION REQUIRED FOR THIS PROJECT. ALL MISCELLANEOUS DEMOLITION REQUIRED FOR THIS PHASE OF THE PROJECT, AND THE INTENT OF THE CONSTRUCTION DOCUMENTS, SHALL BE COMPLETED.
4. BEFORE PROCEEDING WITH DEMOLITION OF ANY EXISTING CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT IT IS NOT SUPPORTING EXISTING CONSTRUCTION WHICH IS TO REMAIN. IF IN DOUBT, NOTIFY THE ARCHITECT BEFORE REMOVING THE MEMBERS.
5. GENERAL CONTRACTOR TO PROVIDE TEMPORARY BRACING, SHORING, OR OTHER PROTECTION AS REQUIRED UNTIL THE WORK IS COMPLETE.
6. DEMOLITION IS TO BE DONE IN A MANNER WHICH WILL NOT DAMAGE EXISTING CONSTRUCTION TO REMAIN. PROVIDE TEMPORARY PROTECTION OF EXISTING FINISHES & MATERIALS AS REQUIRED.
7. DEBRIS FROM DEMOLITION MUST NOT BE STORED IN A MANNER WHICH WILL OVERLOAD THE EXISTING CONSTRUCTION.
8. THE SCOPE OF WORK INCULDES THE LEGAL DISPOSAL, OFF SITE, OF ALL CONSTRUCTION/DEMOLTION DEBRIS. NO CONSTRUCTION DEBRIS OR TRASH IS TO BE PLACED IN THE PROPERTY OWNERS DUMPSTERS.
9. ALL SOLID WALLS, PARTITIONS, AND FURRED AREAS WHICH ARE SHOWN AS BEING REMOVED SHALL INCLUDE DOORS, WINDOWS, FRAMES, FINISHES, SHELVING, ETC. THAT ARE PART OF THOSE WALLS AND PARTITIONS.
10. THE TENANT AND OR BUILDING OWNER RESERVES THE RIGHT TO HAVE THE CONTRACTOR TURN OVER ANY SALVAGED ITEMS OR MATERIALS
11. PARTIAL REMOVAL OF EXISTING PARTITIONS OR FINISHES IS TO BE PERFORMED AS TO ALLOW FOR REFINISHING FOR NEW CONSTRUCTION. DEMOLITION OF CMU PARTITIONS THAT WILL REMAIN EXPOSED SHALL INCLUDE REMOVAL OF ENTIRE BLOCKS AS TO ALLOW FOR "TOOTHING" OF NEW MASONRY OR INSTALLATION OF BULLNOSE CMU'S.
12. INFILL/PATCH OPENINGS WHERE INDICATED ON THE DRAWINGS WITH SIMILAR, COMPATIBLE MATERIALS AND METHODS SUCH AS TO ENSURE UNIFORM APPEARANCE AND PERFORMANCE.
13. WHERE FINISHES ARE SCHEDULED FOR REMOVAL FROM SUBSTRATE SCHEDULED TO REMAIN: CLEAN AND PREPARE SUBSTRATE FOR NEW FINISHES TO CONDITION COMPLIANT WITH MANUFACTURER'S SPECIFICATIONS.
14. SEE MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS AS APPLICABLE FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPES OF WORK.

PROJECT DRAWING LIST

GENERAL & CODE INFO	
A-001	GENERAL INFORMATION
A-002	CONTRACTOR LAYDOWN AREA AND CODE SUMM...
A-003	FIRST FLOOR LIFE SAFETY PLAN
A-004	MEZZANINE LIFE SAFETY PLAN
A-005	ACCESSIBILITY AND CODE DETAILS
CIVIL DRAWING	
C-1	COVER SHEET
C-2	EXISTING CONDITIONS AND SITE DEMOLITION
C-3	SITE LAYOUT GRADING & UTILITY
C-4	SITE CONSTRUCTION DETAILS
STRUCTURAL DRAWINGS	
S-001	GENERAL NOTES
S-101	FOUNDATION PLAN
S-103	MEZZANINE/HI-WINDOW PLAN
S-202	ROOF FRAMING PLAN
S-301	SECTIONS AND DETAILS
S-302	SECTIONS AND DETAILS
S-303	SECTIONS AND DETAILS
S-304	SECTIONS AND DETAILS
S-305	SECTIONS AND DETAILS
S-306	SECTIONS AND DETAILS
ARCHITECTURAL DEMOLITION & ABATEMENT PLANS	
AD-101	DEMOLITION PLANS
PLANS	
A-101	SLAB REPAIR PLAN
A-102	PARTITION PLAN
A-103	KEYNOTE PLAN
A-104	MEZZANINE PLAN AND DETAILS
A-105	ROOF PLAN
ELEVATIONS	
A-201	ELEVATIONS
SECTIONS	
A-301	WALL SECTIONS
A-302	WALL SECTIONS
A-303	WALL SECTIONS
A-304	WALL SECTIONS
A-305	WALL SECTIONS
A-306	WALL SECTIONS
ENLARGED PLANS	
A-401	ENLARGED PLAN
A-402	ENLARGED PLAN
A-403	ENLARGED PLANS, ELEVATIONS, AND DETAILS
A-404	ENLARGED PLANS AND DETAILS
A-405	MEZZANINE STAIR DETAILS
DETAILS	
A-501	DETAILS
A-502	DETAILS
A-503	DETAILS
A-504	SITE DETAILS
SCHEDULES & DIAGRAMS	
A-601	SCHEDULES
A-602	DOOR/WINDOW DETAILS
A-603	PARTITION TYPES
FINISH PLANS	
A-701	REFLECTED CEILING PLAN
A-702	ENLARGED CEILING PLAN AND DETAILS
A-703	MEZZANINE REFLECTED CEILING PLAN
A-704	FINISH PLAN
A-705	FINISH SCHEDULE AND DETAILS
PLUMBING DRAWINGS	
P-101	FLOOR PLAN PLUMBING
P-102	PARTIAL FLOOR PLANS SANITARY & VENT
MECHANICAL DRAWINGS	
H-001	HVAC GENERAL NOTES, LEGEND & SCHEDULE
H-002	HVAC SEQUENCE OF OPERATIONS
H-100	FIRST FLOOR HVAC PLAN
H-100D	HVAC DEMO PLAN
H-101	MEZZANINE LEVEL HVAC PLAN
H-200	HVAC ROOF NEW WORK PLAN
ELECTRICAL DRAWINGS	
E-001	ELECTRICAL LEGEND & ABBREVIATIONS
ED-101	ELECTRICAL DEMOLITION PLAN
E-101	FIRST FLOOR LIGHTING PLAN
E-102	MEZZANINE LIGHTING PLAN
E-201	FIRST FLOOR POWER PLAN
E202	ROOF POWER PLAN
E-301	FIRST FLOOR SPECIAL SYSTEMS PLAN
E-302	SPECIAL SYSTEMS DIAGRAMS & DETAILS
E-401	LIGHTING DETAILS, DIAGRAMS AND SCHEDULES
E-501	ELECTRICAL SINGLE LINE DIAGRAM
E-502	PANEL SCHEDULE

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VERIFY SCALE
0 1
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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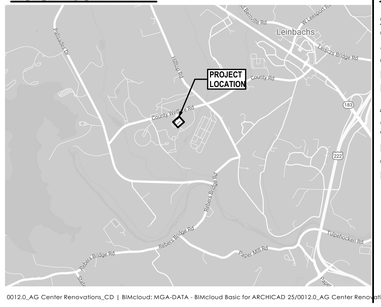
SHEET TITLE:
GENERAL INFORMATION

A-001

LOCATION MAP



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GRAPHIC SYMBOLS

KEYNOTE IDENTIFIERS

1.00 — KEYNOTE: SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT

1.00 — ALTERNATE KEYNOTE: SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT

ROOM DESIGNATION

OFFICE — ROOM NAME
101 — ROOM NUMBER
1/A-401 — ENLARGED PLAN REFERENCE

WALL TYPE MARKER (SEE PARTITION LEGEND) — 4C

WINDOW MARKER — 01

SKYLIGHT MARKER — 01

DOOR IDENTIFIERS

DOOR IDENTIFIER (ELEVATIONS/SECTIONS) — 101.1

6" TYPICAL, UNLESS OTHERWISE NOTED

DOOR IDENTIFIER (PLANS) — 101

DETAIL / ENL. PLAN MARKER

XX / YY — INDICATES DETAIL LOCATION ON SHEET; INDICATES SHEET ON WHICH DETAIL IS SHOWN

ELEVATION / SECTION MARKER

XX / YY — INDICATES ELEVATION LOCATION ON SHEET; INDICATES SHEET ON WHICH DRAWING IS SHOWN

SECTION / DETAIL MARKER

XX / YY — INDICATES SECTION LOCATION ON SHEET; INDICATES SHEET ON WHICH DRAWING IS SHOWN

INTERIOR ELEVATION MARKER

A1 / B2 / C3 / D4 / XX — INDICATES ELEVATION LOCATION ON SHEET; INDICATES SHEET ON WHICH ELEVATION IS SHOWN

DRAWING REVISION MARKER

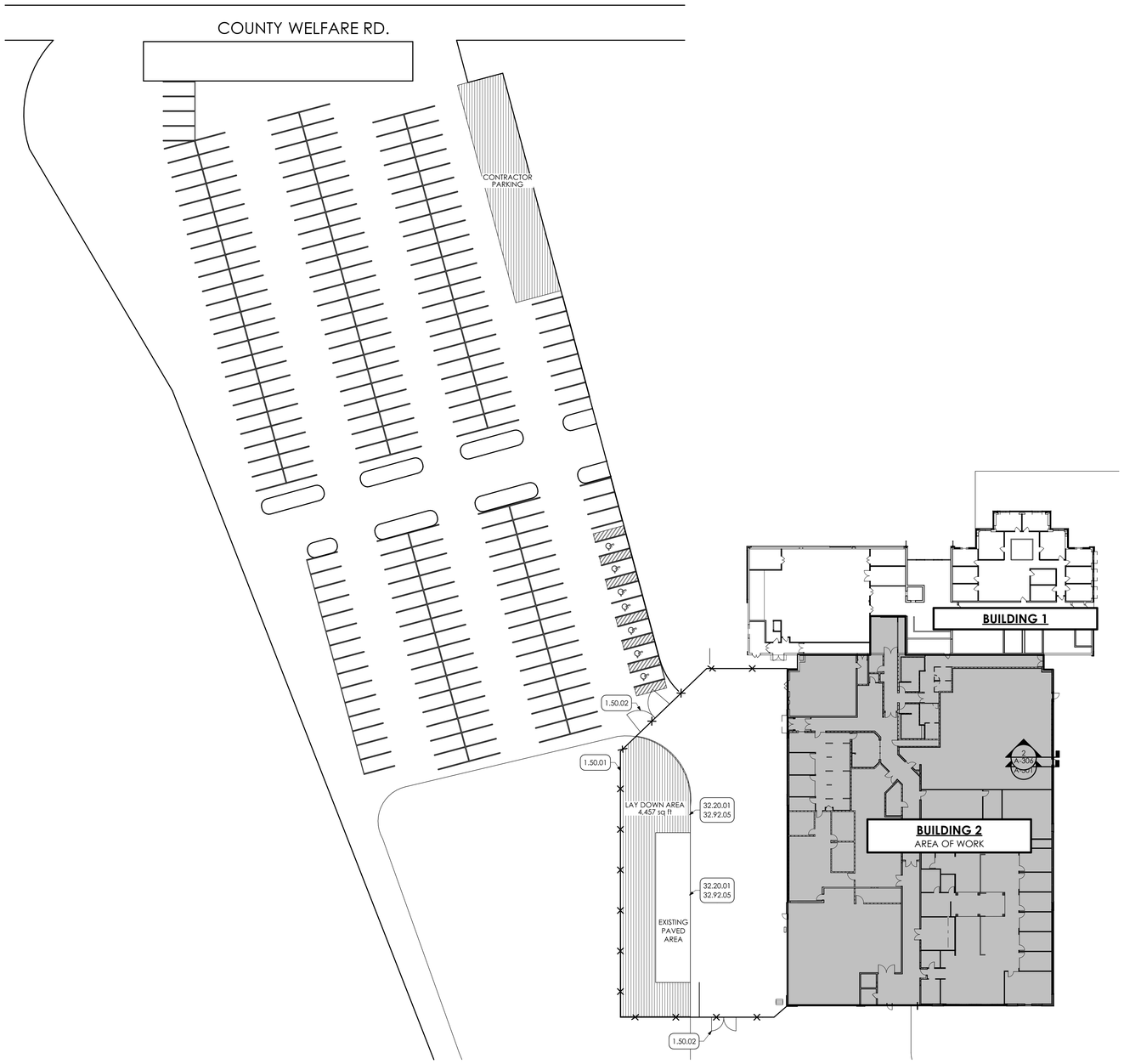
CLOUD DENOTES CURRENT REVISION ISSUE

1 — REVISION No.

1 — PAST REVISION MARKER (REFERENCE ONLY)

ABBREVIATIONS

A.D.	AREA DRAIN	DN	DOWN	HORIZ.	HORIZONTAL	PL. LAM.	PLASTIC LAMINATE	U.L.	UNDERWRITERS
ABV.	ABOVE	DWG.	DRAWING	HT.	HEIGHT	QTY.	QUANTITY		LABORATORIES
ADA	ACCESSIBLE / AMERICANS WITH DISABILITIES ACT	DEPT.	DEPARTMENT	INSUL.	INSULATION / INSULATING	R	RISER	VEST.	VESTIBULE
		DBL.	DOUBLE	I.D.	INSIDE DIAMETER	R.W.C.	RAIN WATER CONDUCTOR	V.C.T.	VINYL COMPOSITION TILE
ADJ.	ADJUSTABLE	DIM.	DIMENSION	INCAND.	INCANDESCENT	REINF.	REINFORCING / REINFORCED		
A.o.R.	AREA OF REFUGE	DR.	DOOR	JAN.	JANITOR	REQ.	REQUIRED	W/	WITH
ALUM.	ALUMINUM	EXIST.	EXISTING	JT.	JOINT	R.O.	ROUGH OPENING	W.C.	WATER CLOSET
ALT.	ALTERNATE	EQ.	EQUAL	LBS.	POUNDS	REV.	REVISED / REVISION	WD	WOOD
A.F.F.	ABOVE FINISHED FLOOR	E.C.	ELECTRICAL CONTRACTOR	LAV.	LAVATORY	REFL.	REFLECTED		
AC.	ACOUSTIC / ACOUSTICAL	EL.	ELEVATION	LAM.	LAMINATE	REC.	RECESSED	&	AND
A.F.	ALUMINUM FACE	ELEV.	ELEVATOR	L.P.	LOW POINT	RAD.	RADIUS	@	AT
APPX.	APPROXIMATE / APPROXIMATELY	ELEC.	ELECTRIC / ELECTRICAL	MAX.	MAXIMUM	S.S.	STAINLESS STEEL	±	PLUS OR MINUS
		EXP.	EXPANSION	MFR.	MANUFACTURER / MANUFACTURED	ST.	STREET	°	DEGREE
BD.	BOARD	EXT.	EXTERIOR			SIM.	SIMILAR	∠	ANGLE
BLK.	BLOCK / BLOCKING	EA.	EACH	MTL.	METAL	STL.	STEEL	⏥	CHANNEL
BLDG.	BUILDING	F.D.	FLOOR DRAIN	MIN.	MINIMUM	SQ.	SQUARE	#	NUMBER
B.O.	BOTTOM OF	F.E.	FIRE EXTINGUISHER	MIRR.	MIRRORED	SAN.	SANITARY	▫	SQUARE
B.O.S.	BOTTOM OF STEEL	F.E.C.	FIRE EXTINGUISHER CABINET	MTD.	MOUNTED	SUSP.	SUSPENDED	Ø	ROUND / DIAMETER
CAB.	CABINET	FIN.	FINISH / FINISHED	M.O.	MASONRY OPENING	STD.	STANDARD	⌭ / C.L.	CENTER LINE
C.C.	CENTER-TO-CENTER	FLR.	FLOOR	MISC.	MISCELLANEOUS	SPEC.	SPECIFICATION	▭ / PL.	PLATE
CLG.	CEILING	F.O.	FACE OF	MECH.	MECHANICAL	TEL.	TELEPHONE	⊓	U-BAR
CLOS.	CLOSET	FT.	FEET / FOOT	N.I.C.	NOT IN CONTRACT	T.O.	TOP OF	L	LEG-BAR
C.M.	CONSTRUCTION MANAGER	FLUOR.	FLUORESCENT	NO.	NUMBER	T.O.S.	TOP OF STEEL		
CMU	CONCRETE MASONRY UNIT	GYP.	GYPSUM	N.T.S.	NOT TO SCALE	T.O.W.	TOP OF WALL		
C.J.	CONTROL JOINT	GALV.	GALVANIZED	O.C.	ON CENTER	TOIL.	TOILET		
CONC.	CONCRETE	GA.	GAUGE	O.D.	OUTSIDE DIAMETER	TYP.	TYPICAL		
CORR.	CORRIDOR	G.C.	GENERAL CONTRACTOR	OPP.	OPPOSITE	THK.	THICK		
COL.	COLUMN	HR.	HOUR	OPG.	OPENING	TMP.	TEMPERED		
CONT.	CONTINUE / CONTINUOUS	H.P.	HIGH POINT	P.C.	PLUMBING CONTRACTOR	T.S.G.	TEMPERED SAFETY GLASS		
CONTR.	CONTRACTOR	HVAC	HEAT, VENTILATION, AIR-CONDITIONING	P.F.	PANEL FACE				
DIA.	DIAMETER			PR.	PAIR	U.O.N.	UNLESS OTHERWISE NOTED		
DTL.	DETAIL			P.T.	PRESSURE TREATED				



1 STAGING PLAN
SCALE: 1" = 30'

KEY NOTES

01 GENERAL CONSTRUCTION

1.50 GENERAL CONSTRUCTION NOTE

1.50.01 G.C. TO PROVIDE TEMPORARY 8'-0" HIGH CHAIN-LINK FENCE AS SHOWN.

1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE GATES WITH PADLOCK.

32 EXTERIOR IMPROVEMENTS

32.20 SITEWORK

32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE MINIMUN 8" OF AASHTO #2A STONE.

32.92 TURF AND GRASSES | SPEC 329200

32.92.05 AT THE COMPLETION OF THE WORK, REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA, BY G.C.

BUILDING CODE SUMMARY

APPLICABLE CODES AND ORDINANCES

2018 IBC: ALL APPLICABLE CHAPTERS
2018 IEBC: ALL APPLICABLE CHAPTERS
ANSI 117.1, 2017 EDITION: ALL APPLICABLE CHAPTERS
ALL APPLICABLE SUB-CODES AND STANDARDS

PROJECT SCOPE:

PARTIAL RENOVATION

RENOVATION OF EXISTING PREFABRIATED METAL WAREHOUSE INTO OFFICE SPACE.

BUILDING AND PROJECT DATA

BUILDING DESCRIPTION AND USE	OFFICE w/ PARTIAL MEZZANINE		
IEBC 2018			
CLASSIFICATION OF WORK	CHAPTER 5, SECTION 507	LEVEL 3 RENOVATION	
	IBC 2018	**REQUIRED**	**PROVIDED**
USE AND OCCUPANCY	CHAPTER 3		B/S2 (NON SEPARATED / MIXED USE)
CONSTRUCTION TYPE	SECTION 602 AND TABLE 601		TYPE II-B
AUTOMATIC SPRINKLER SYSTEM	SECTION 903		NO
BUILDING HEIGHT	TABLE 504.3	75' MAX.	APPX. 31'-6"
BUILDING STORIES	TABLE 504.4	3 MAX.	2
FLOOR AREA / STORY	TABLE 506.2		
OPEN PERIMETER			
TOTAL FLOOR AREA PER STORY		42,991 SQ. FT. MAX. (B)	
THE BUILDING IS SEPARATED INTO TWO DISTINCT BUILDINGS BY AN EXISTING 2-HR FIRE WALL.			
BUILDING 1	LIMITED WORK IN THIS BUILDING.		
BASEMENT			11,071 SQ. FT.
FIRST FLOOR			12,757 SQ. FT.
SECOND FLOOR			12,757 SQ. FT.
BUILDING 2			
FIRST FLOOR			30,199 SQ. FT.
MEZZANINE AREA			3,415 SQ. FT.
TOTAL AREA (ENTIRE BUILDING / EXCLUDING MEZZANINES)			66,784 SQ. FT.
TABLE 1004.1.2 | MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - BUILDING 2			
BUSINESS AREAS (MAIN USE)	21,979 SQ. FT. (GROSS)	150 SQ. FT. / PERSON (GROSS)	146.5 (147)
ACCESSORY USES TO THE MAIN USE			
ASSEMBLY (UNCONCENTRATED)	1,774 SQ. FT. (NET)	15 SQ. FT. / PERSON (NET)	118.3 (119)
STORAGE / MECHANICAL AREAS	6,446 SQ. FT. (GROSS)	300 SQ. FT. / PERSON (GROSS)	21.5 (22)
	TOTAL OCCUPANCY - BUILDING 2		288

MEANS OF EGRESS

MEANS OF EGRESS	IBC 2018	REQUIRED	PROVIDED
MEANS OF EGRESS SIZING	SECTION 1005		
STAIRWAYS	SECTION 1005.3.1	0.3 INCHES PER OCCUPANT	SEE LIFE SAFETY PLANS
OTHER EGRESS COMPONENTS	SECTION 1005.3.2	0.2 INCHES PER OCCUPANT	SEE LIFE SAFETY PLANS
STAIRWAYS	SECTION 1009 & 1011		
STAIRWAY WIDTH	SECTION 1011.2	44" (36" IF OCC. < 50)	88" (MEZZ. OCC. < 50)
ACCESSIBLE STAIRWAY WIDTH	SECTION 1009.3	48"	N/A - NON-ACC. MEZZANINE
AREA OF REFUGE	SECTION 1009.6	NO	N/A
EXTERIOR AREA FOR ASSISTED RESCUE	SECTION 1009.7	NO	N/A
MAXIMUM PATH OF COMMON EGRESS TRAVEL	SECTION 1006.2.1	75'	SEE LIFE SAFETY PLANS
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	SECTION 1017 & TABLE 1017.2	250'	SEE LIFE SAFETY PLANS
MINIMUM CORRIDOR WIDTH	SECTION 1020.2	44"	SEE LIFE SAFETY PLAN
MAXIMUM DEAD END	SECTION 1020.4	50'	N/A
MINIMUM NUMBER OF EXITS	SECT.1006 & TABLE 1006.3.1	2	SEE LIFE SAFETY PLANS

PLUMBING SYSTEMS

TABLE 2902.1MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES | BUILDING 2 - OCCUPANCY CLASSIFICATION: B (BUSINESS)			
	IBC 2018	REQUIRED	PROVIDED
WATER CLOSETS - MALE	1 PER 40	8	16
WATER CLOSETS - FEMALE	1 PER 40	8	16
LAVATORIES - MALE	1 PER 200	2	12
LAVATORIES - FEMALE	1 PER 200	2	12
BATHTUBS / SHOWERS	--	--	--
DRINKING FOUNTAINS	1 PER 500	2	2
OTHER	SERVICE SINK	1	1

ENERGY CONSERVATION

	IECC 2018	REQUIRED	PROVIDED
CLIMATE ZONE	SECT. C301 AND TAB. 301.1	PENNSYLVANIA - BERKS COUNTY - 5A	
TABLES C402.1.3 & C402.1.4 | OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS			
ROOFS	**R-VALUE**	**U-FACTOR**	**PROVIDED**
INSULATION ABOVE ROOF DECK (EXISTING ROOF TO REMAIN | PATCHING ONLY)	R-30ci	U-0.032	R-30 ci (EXISTING)
WALLS, ABOVE GRADE			
METAL FRAMED	R-13 + R-7.5ci	U-0.064	R-19 + R-7.5 ci
SLAB-ON-GRADE FLOORS			
UNHEATED SLABS	R-10 | 24" BELOW	F-0.54	R-10 | 24" BELOW
DOORS			
OPAQUE, NON-SWINGING	R-4.75	U-0.21	U-0.136 *
OPAQUE, SWINGING	-	U-0.37	U-0.16 0*

TABLE C402.4 | BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS

FENESTRATION	U-FACTOR	SGHC	ORIENTATION	SOUTH EAST WEST	NORTH
FIXED FENESTRATION	0.38		PF < 0.2	0.40	0.53
OPERABLE FENESTRATION	0.45		0.2 ≤ PF < 0.5	0.48 -	0.58
ENTRANCE DOORS (GLAZED)	0.77		PF ≤ 0.5	0.64	0.64

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VERIFY SCALE
0 1
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SHEET TITLE:
CONTRACTOR LAYDOWN AREA AND CODE SUMMARY

A-002

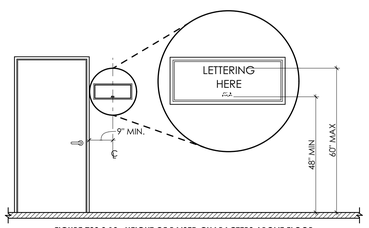


FIGURE 703.3.10 : HEIGHT OF RAISED CHARACTERS ABOVE FLOOR
SEE FIGURE 703.4.5 FOR BRAILLE REQUIREMENTS

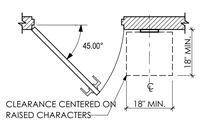
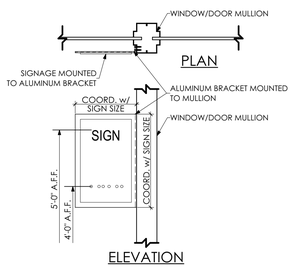


FIGURE 703.3.11 : LOCATION OF SIGNS AT DOORS

3 MOUNTING HEIGHT DETAIL
SCALE: 1/2" = 1'-0"



2 SIGN MOUNTING - STOREFRONT
SCALE: 1" = 1'-0"

CODE REQUIRED SIGNAGE - IBC 2018

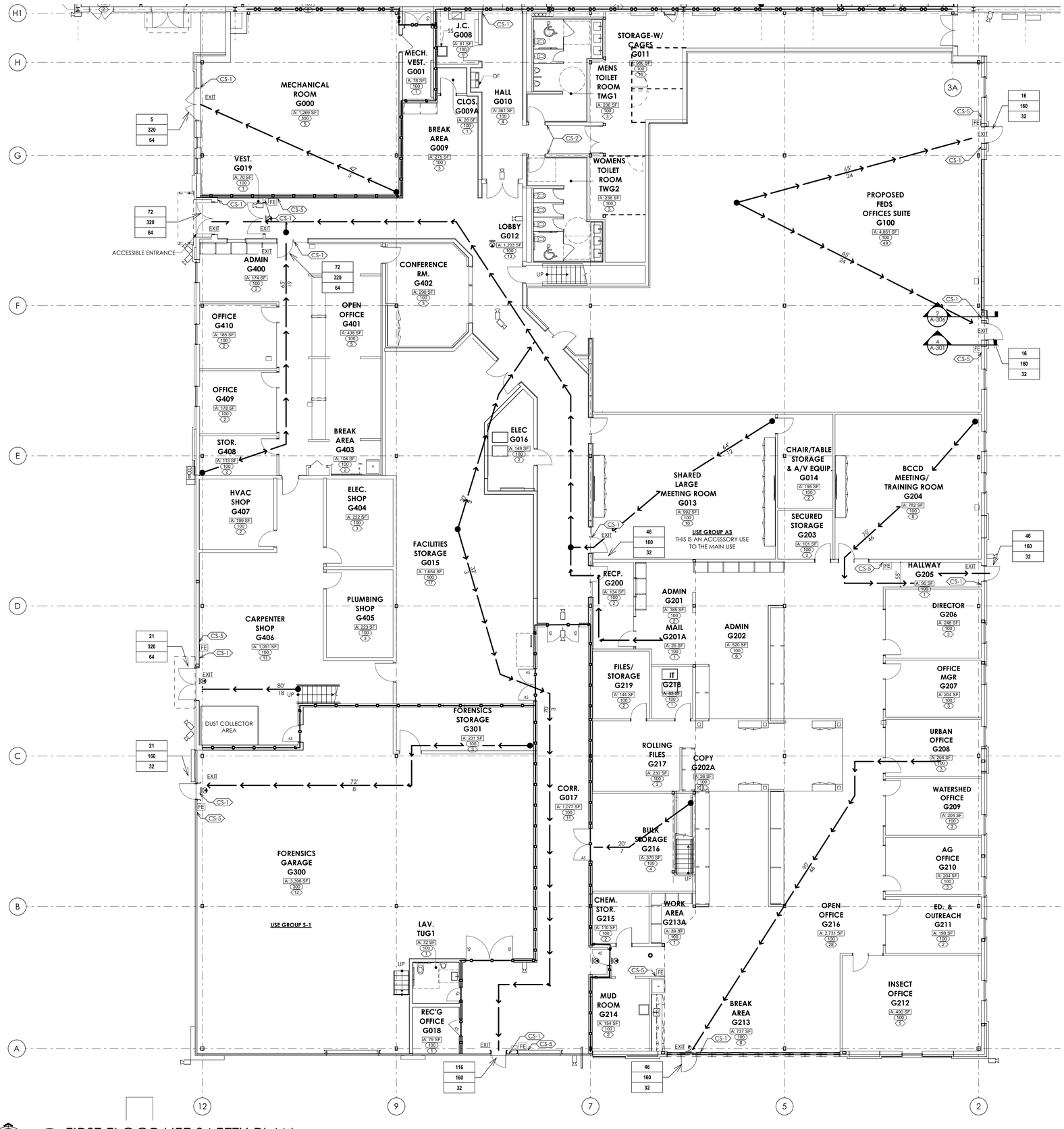
ID OR POSTED OCCUPANT LOAD

ID	SIGNAGE TEXT		SIZE	DUPLICATE BRAILLE TEXT	TACTILE TEXT	ISA
CS-1	EXIT/EXIT ACCESS (IN ADDITION TO ILLUMINATED SIGN)	IBC SECTION 1013	4"x6"	YES	YES	YES
CS-4	TOILET ROOM (MENS/WOMENS/UNISEX)	IBC SECTION 2902.4	6"x9"	YES	YES	NO
CS-5	FIRE EXTINGUISHER	IFC SECTION 906.6	3"x6"	YES	YES	NO

GENERAL SIGNAGE NOTES

1. ALL REQUIRED ACCESSIBILITY SIGNAGE SHALL FOLLOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN SIZE, COLOR, PROPORTIONS, AND TEXT (TACTILE AND BRAILE TEXT REQUIREMENTS).
2. ALL SIGNAGE SHALL FOLLOW IBC 2018, ICC A117.1- 2009, AND 2010 ADA STANDARDS/REQUIREMENTS.
3. GENERAL CONTRACTOR SHALL VERIFY SIGNAGE QUANTITIES.
4. REFER TO LIFE SAFETY PLANS ON SHEETS A-003 AND A-004 FOR SIGNAGE LOCATIONS. GENERAL CONTRACTOR SHALL VERIFY/CONFIRM FINAL LOCATIONS OF ALL SIGNS WITH AUTHORITY HAVING JURISDICTION.
5. REFER TO SHEET A-005 FOR TYPICAL ACCESSIBILITY DETAILS.
6. SIGNAGE FOR RATED BARRIERS SHALL BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL OR PARTITION AND SPACED AT INTERVALS NOT EXCEEDING 30 FEET ALONG THE WALL OR PARTITION. THE LETTERING SHALL NOT BE LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR.

SEE SHEET A-003 & 005 FOR SIGNAGE REQUIREMENTS



1 FIRST FLOOR LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

LIFE SAFETY LEGEND

- 41'-6" / 5' — EGRESS TRAVEL DISTANCE TO EXIT
- EGRESS PATH
- OCCUPANTS ON EGRESS PATH

EXIT CAPACITY

25	SCHEDULED EGRESS LOAD
180	MAX. DOOR/STAIR EGRESS CAPACITY
36	EGRESS WIDTH (INCHES)

- SMOKE PARTITION
- 30 MIN. FIRE-RATED
- 60 MIN. FIRE-RATED
- 120 MIN. FIRE-RATED
- ACCESSIBLE ROUTE
- REQUIRED MINIMUM MANEUVERING SPACE

ROOM TAG

- OFFICE — ROOM NAME
- 101 — ROOM NUMBER
- 100SF — ROOM SQUARE FEET
- 100 — OCCUPANT LOAD FACTOR
- 2 — OCCUPANT LOAD
- FE — FIRE EXTINGUISHER
- ## — DOOR RATING

GENERAL SHEET NOTES

1. REFER TO SHEET A-002 FOR LIFE SAFETY LEGEND.
2. REFER TO SHEET A-005 FOR TYPICAL ACESSIBILITY DETAILS.

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610.376.4927
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PROJECT #: 22-0012

PROFESSIONAL SEAL

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BERKS COUNTY AGRICULTURAL CENTER
FACILITY UPGRADES
1238 COUNTY WELFARE ROAD LEESPORT, PA 19533

ISSUED
DATE: ISSUED 3/30/23

ID	DESCRIPTION	DATE

PROJ. MGR.: JIM SARRO
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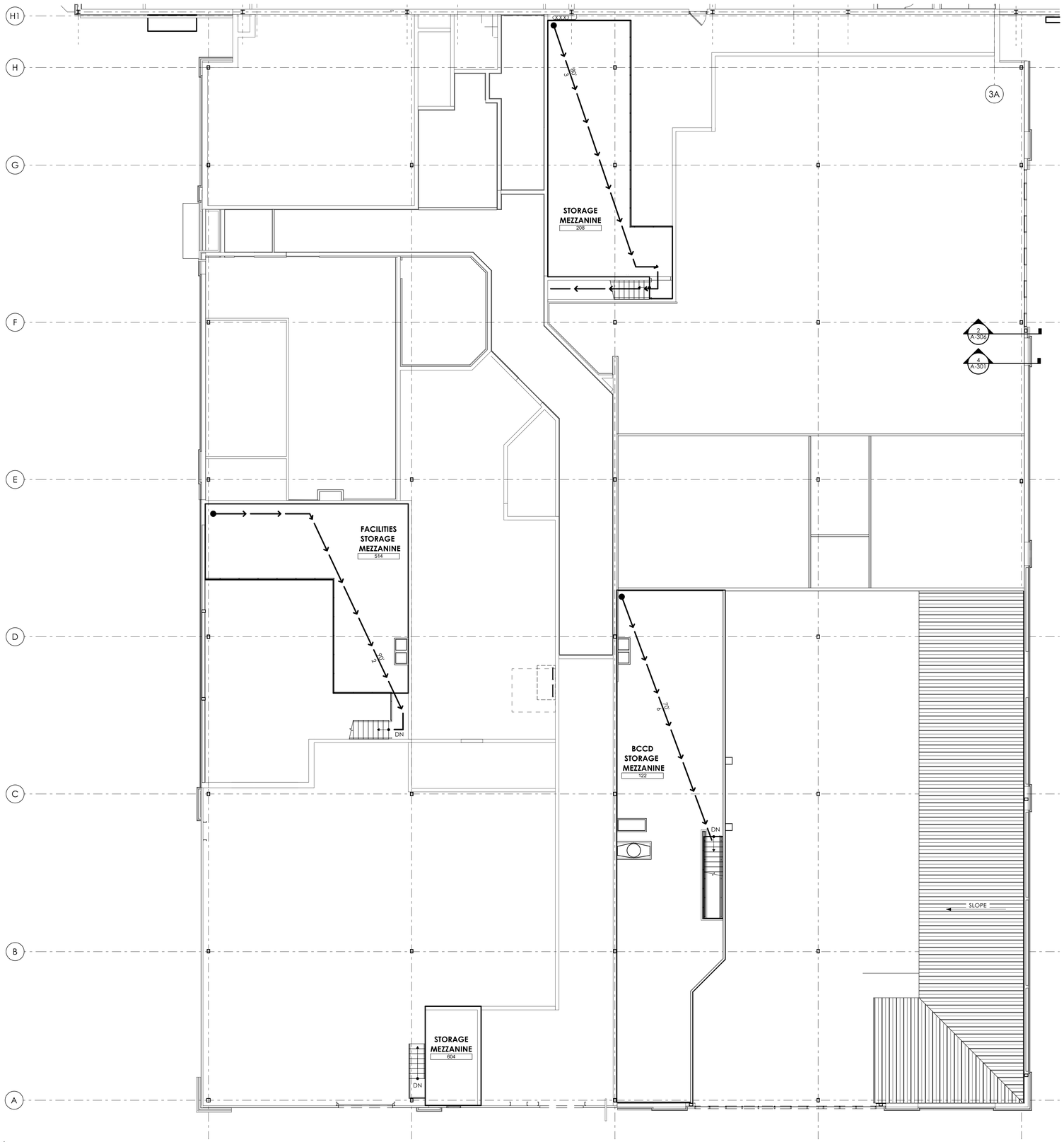
SHEET TITLE:

FIRST FLOOR LIFE SAFETY PLAN

A-003



1 MEZZANINE LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

00012.0_AG Center Renovations_CD | BIMcloud: MGA-DATA - BIMcloud Basic for ARCHICAD 25/0012.0_AG Center Renovations_CD | 4/6/2023 | 2:36 PM

GENERAL SHEET NOTES

1. REFER TO SHEET A-002 FOR LIFE SAFETY LEGEND.
2. REFER TO SHEET A-005 FOR TYPICAL ACESSIBILITY DETAILS.

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SHEET TITLE:
MEZZANINE LIFE SAFETY PLAN

A-004

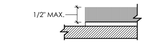


FIGURE 302.2 : CARPET ON FLOOR SURFACES

FIGURE 303.2 : CARPET ON FLOOR SURFACES

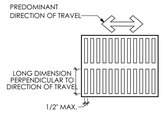


FIGURE 302.3 : OPENINGS IN FLOOR SURFACES

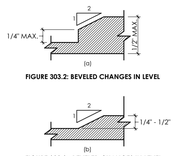


FIGURE 303.2: BEVELED CHANGES IN LEVEL

FIGURE 303.3 : BEVELED CHANGES IN LEVEL

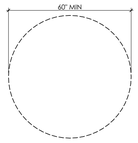


FIGURE 304.3(a) : CIRCULAR SPACE

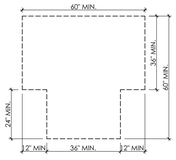


FIGURE 304.3(b) : T-SHAPED SPACE

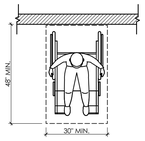


FIGURE 305.5(a) : FORWARD APPROACH

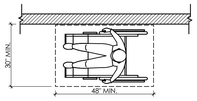


FIGURE 305.5(b) : PARALLEL APPROACH

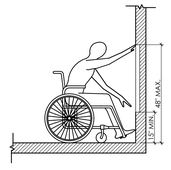


FIGURE 308.2.1 : UNOBSTRUCTED FORWARD REACH

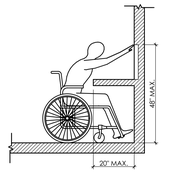


FIGURE 308.2.2(a) : OBSTRUCTED HIGH FORWARD REACH

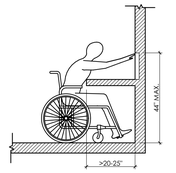
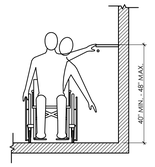


FIGURE 308.2.2(b) : OBSTRUCTED HIGH FORWARD REACH



DERIV. FIG. 308.3.1 : SHELF & HANGER ROD

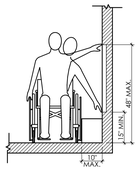


FIGURE 308.3.1 : UNOBSTRUCTED SIDE REACH

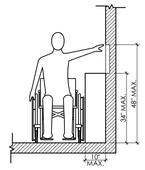


FIGURE 308.3.2(a) : OBSTRUCTED HIGH SIDE REACH

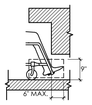


FIGURE 306.2(a) : TOE CLEARANCE ELEVATION

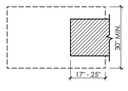


FIGURE 306.2(b) : TOE CLEARANCE PLAN

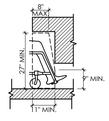


FIGURE 306.3(a) : KNEE CLEARANCE ELEVATION

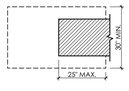


FIGURE 306.2(b) : KNEE CLEARANCE PLAN

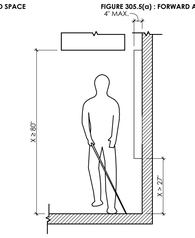
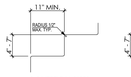
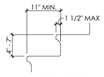


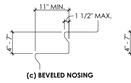
FIGURE 307.2: LIMITS OF PROTRUDING OBJECTS



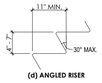
(a) VERTICAL RISER



(b) CURVED NOSING



(c) BEVELED NOSING



(d) ANGLED RISER

FIGURE 504.2: TREADS AND RISERS FOR ACCESSIBLE STAIRWAYS
FIGURE 504.5: STAIR NOSINGS

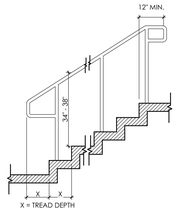


FIGURE 505.4(a): STAIR HANDRAIL HEIGHT
FIGURE 505.10.2: TOP HANDRAIL EXTENSIONS AT STAIRS
FIGURE 510.10.3: BOTTOM HANDRAIL EXTENSIONS AT STAIRS

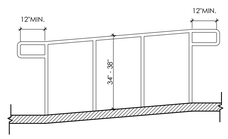


FIGURE 505.4(b): RAMP HANDRAIL HEIGHT
FIGURE 505.10.1: TOP AND BOTTOM HANDRAIL EXTENSIONS AT RAMPS

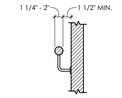


FIGURE 505.5: HANDRAIL CLEARANCE
FIGURE 505.7(a): CIRCULAR HANDRAIL CROSS SECTION

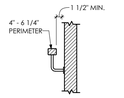


FIGURE 505.5: HANDRAIL CLEARANCE
FIGURE 505.7(b): NONCIRCULAR HANDRAIL CROSS SECTION

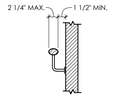
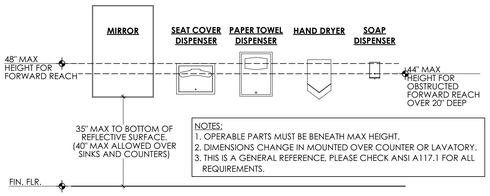
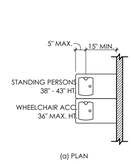


FIGURE 505.5: HANDRAIL CLEARANCE
FIGURE 505.7(c): NONCIRCULAR HANDRAIL CROSS SECTION

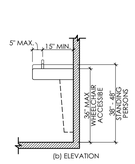


NOTES:
1. OPERABLE PARTS MUST BE BENEATH MAX HEIGHT.
2. DIMENSIONS CHANGE IN MOUNTED OVER COUNTER OR LAVATORY.
3. THIS IS A GENERAL REFERENCE. PLEASE CHECK ANSI A117.1 FOR ALL REQUIREMENTS.

TYPICAL MOUNTING HEIGHTS AND UPPER REACH RANGES FOR RESTROOM ACCESSORIES



(a) PLAN



(b) ELEVATION

FIGURE 602.5 : DRINKING FOUNTAIN SPOUT LOCATION

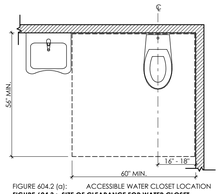


FIGURE 604.2 (a): ACCESSIBLE WATER CLOSET LOCATION
FIGURE 604.3 : SIZE OF CLEARANCE FOR WATER CLOSET

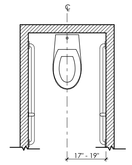


FIGURE 604.2 (b): AMBULATORY ACCESSIBLE WATER CLOSET LOCATION

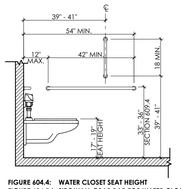


FIGURE 604.4: WATER CLOSET SEAT HEIGHT
FIGURE 604.5.1 : SIDE WALL GRAB BAR FOR WATER CLOSET

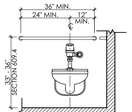


FIGURE 604.5.2 : REAR WALL GRAB BAR FOR WATER CLOSET

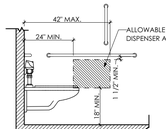


FIGURE 604.7(a) : PROTRUDING DISPENSER BELOW GRAB BAR

ACCESSIBLE DETAILS PER ANSI 117.1, 2009 ED.

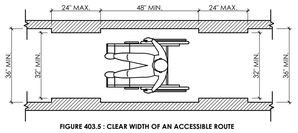


FIGURE 403.5 : CLEAR WIDTH OF AN ACCESSIBLE ROUTE

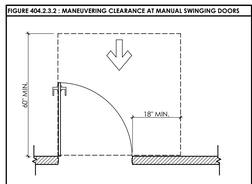
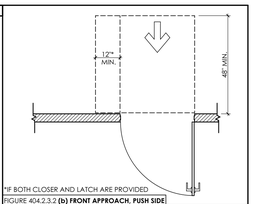


FIGURE 404.2.3.2 (a) FRONT APPROACH, PULL SIDE



*IF BOTH CLOSER AND LATCH ARE PROVIDED
FIGURE 404.2.3.2 (b) FRONT APPROACH, PUSH SIDE

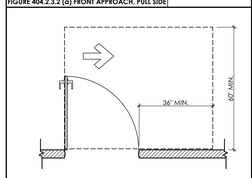


FIGURE 404.2.3.2 (c) HINGE APPROACH, PULL SIDE

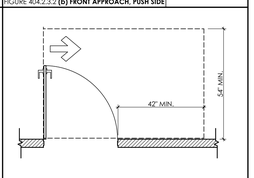
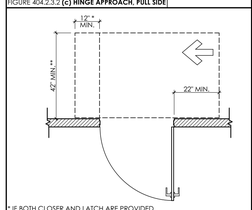
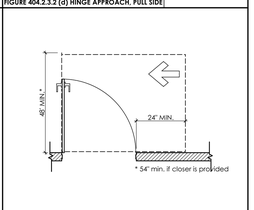


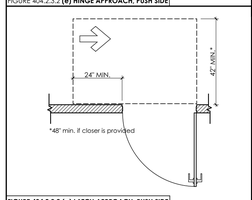
FIGURE 404.2.3.2 (d) HINGE APPROACH, PULL SIDE



*IF BOTH CLOSER AND LATCH ARE PROVIDED
** 48" MIN. IF BOTH CLOSER AND LATCH ARE PROVIDED
FIGURE 404.2.3.2 (e) HINGE APPROACH, PUSH SIDE



* 54" min. if closer is provided
FIGURE 404.2.3.2 (f) LATCH APPROACH, PULL SIDE



*48" min. if closer is provided
FIGURE 404.2.3.2 (g) LATCH APPROACH, PUSH SIDE

FIGURE 404.2.3.5 : MANEUVERING CLEARANCE AT RECESSED DOORS

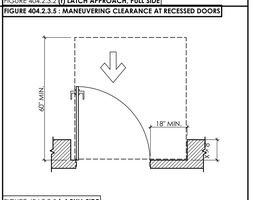


FIGURE 404.2.3.5 (a) PULL SIDE

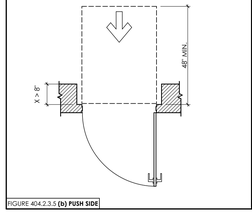


FIGURE 404.2.3.5 (b) PUSH SIDE

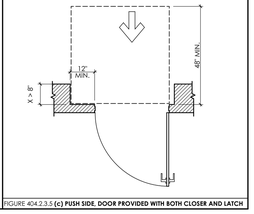


FIGURE 404.2.3.5 (c) PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH

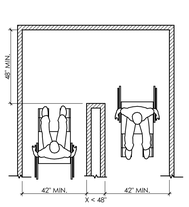


FIGURE 403.5.1(a) : CLEAR WIDTH AT 180° TURN

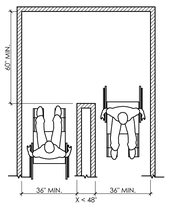


FIGURE 403.5.1(b) : CLEAR WIDTH AT 180° TURN (EXCEPTION)

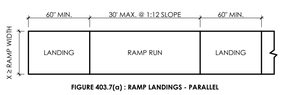


FIGURE 403.7(a) : RAMP LANDINGS - PARALLEL

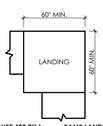


FIGURE 403.7(b) : RAMP LANDINGS 90 DEGREE TURN

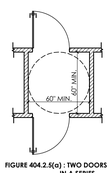


FIGURE 404.2.5(a) : TWO DOORS IN A SERIES

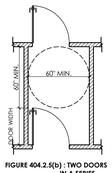


FIGURE 404.2.5(b) : TWO DOORS IN A SERIES

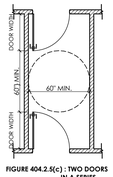


FIGURE 404.2.5(c) : TWO DOORS IN A SERIES

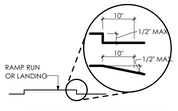


FIGURE 405.9 : EDGE PROTECTION EXCEPTION LIMITED DROP OFF

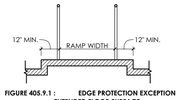


FIGURE 405.9.1 : EDGE PROTECTION EXCEPTION EXTENDED FLOOR SURFACE

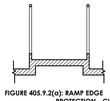


FIGURE 405.9.2(a): RAMP EDGE PROTECTION - CURB

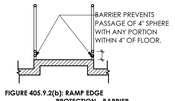


FIGURE 405.9.2(b): RAMP EDGE PROTECTION - BARRIER

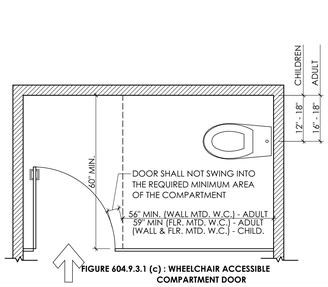


FIGURE 604.9.3.1 (c) : WHEELCHAIR ACCESSIBLE COMPARTMENT DOOR OPENINGS - ALTERNATE

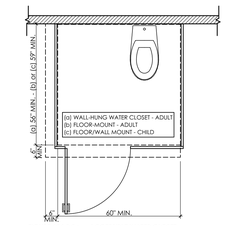


FIGURE 604.7(b) : PROTRUDING DISPENSER ABOVE GRAB BAR

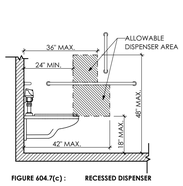


FIGURE 604.7(c) : RECESSED DISPENSER

FIGURE 604.9.2 : ACCESSIBLE WATER CLOSET
FIGURE 604.9.5(c): WHEELCHAIR ACCESSIBLE COMPARTMENT TO CLEARANCE

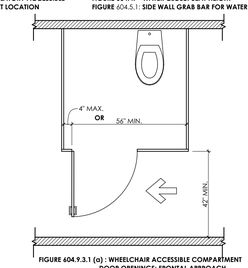
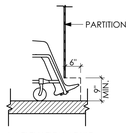
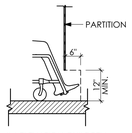


FIGURE 604.9.3.1 (a) : WHEELCHAIR ACCESSIBLE COMPARTMENT DOOR OPENINGS; FRONTAL APPROACH



(a) ELEVATION ADULT



(b) ELEVATION CHILDREN

FIGURE 604.9.5 : WHEELCHAIR ACCESSIBLE COMPARTMENT TOE CLEARANCE

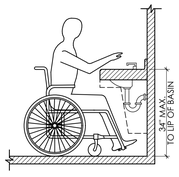
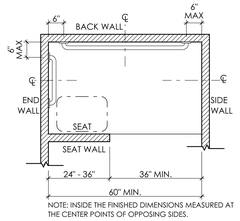
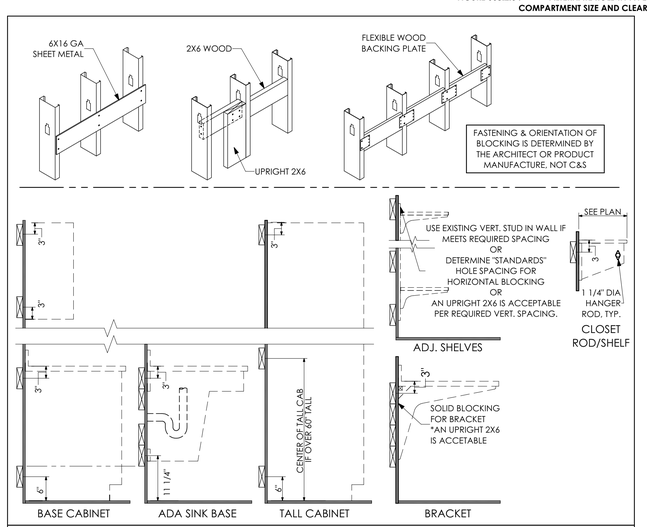


FIGURE 606.3 : HEIGHT OF LAVATORIES AND SINKS



NOTE: INSIDE THE FINISHED DIMENSIONS MEASURED AT THE CENTER POINTS OF OPPOSING SIDES.

FIGURE 608.2.3 : ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE



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PROFESSIONAL SEAL

JIM A. SARRO AIA, LEED AP BD+C
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633 COURT STREET
READING, PA 19601
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BERKS COUNTY AGRICULTURAL CENTER
FACILITY UPGRADES
1238 COUNTY WELFARE ROAD LEESPORT, PA 19533

ISSUED
DATE: ISSUED 3/30/23

ID	DESCRIPTION	DATE

PROJ. MGR.: JIM SARRO
P.M. e-MAIL: JIMS@MG-Architects.com
DRAWN BY: DK, SG, BB, JS
CLIENT PROJ #: -

VERIFY SCALE
0 1
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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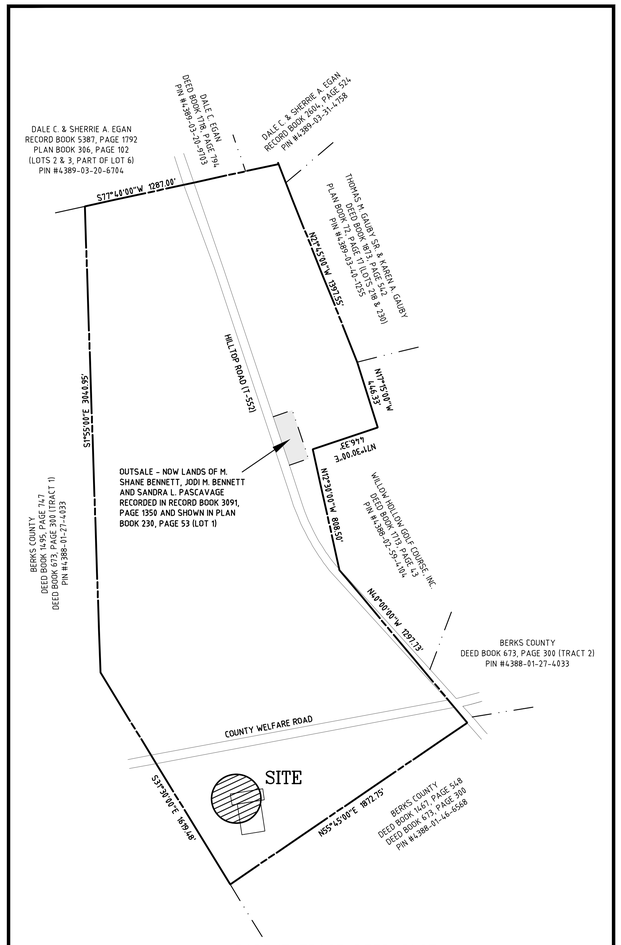
ACCESSIBILITY AND CODE DETAILS

A-005

BERKS AGRICULTURAL CENTER BUILDING EXPANSION

CONSTRUCTION DOCUMENTS

BERN TOWNSHIP, BERKS COUNTY, PENNSYLVANIA



PARENT TRACT DEED PLOT

SCALE:1"=400'

THE DEED OF RECORD DOES NOT CONTAIN BEARINGS AND DISTANCES FOR THE SURVEYED PROPERTY BUT RATHER LISTS THE PROPERTY BY ADJOINERS. THE BEARINGS AND DISTANCES SHOWN ON THIS DEED PLOT ARE AS SHOWN ON THE MINOR SUBDIVISION SKETCH PLAN OF RECORD RECORDED IN PLAN BOOK 239, PAGE 53, BERKS COUNTY RECORDS.

NOTES:

1. THESE PLANS HAVE BEEN PREPARED FOR LAND DEVELOPMENT PURPOSES ONLY. ADDITIONAL DATA MAY BE NECESSARY FOR CONSTRUCTION.
2. REFER TO THE LATEST ARCHITECTURAL DRAWINGS FOR COMPLETE DIMENSIONS AND CONSTRUCTION DETAILS FOR THE PROPOSED BUILDING AND ASSOCIATED EXTERIOR FEATURES.
3. PURSUANT TO PA ACT 121 (2008), NOTIFICATION TO THE "ONE-CALL SYSTEM" IS REQUIRED AT LEAST THREE (3) WORKING DAYS PRIOR TO DISTURBING EARTH WITH ANY TYPE OF POWERED EQUIPMENT. CALL 1-800-242-1776.
4. THE CONTOURS AND TOPOGRAPHICAL INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY STACKHOUSE BENSGINER INC. (SBI) IN JUNE OF 2018.
5. THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES. STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THEIR EXACT LOCATION; THEREFORE, SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
6. THERE ARE NO APPARENT SINKHOLES IN THE PROJECT AREA.
7. WHEREVER POSSIBLE, NATURAL FEATURES OF THE SITE SUCH AS LARGE TREES, WOODED AREAS AND NATURAL WATERCOURSES AND BODIES OF WATER SHALL BE PRESERVED DURING CONSTRUCTION.
8. ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
9. ALL CONSTRUCTION IMPROVEMENTS SHALL BE LOCATED, DESIGNED, INSTALLED AND/OR CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT STANDARDS SPECIFIED BY THE TOWNSHIP OF BERN. IF NOT COVERED, THEN PennDOT PUBLICATION 408-SPECIFICATIONS, PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION RC SERIES SHALL APPLY, UNLESS OTHERWISE NOTED ON THE PLANS.
10. AS IT RELATES TO CONSTRUCTION ACTIVITY, AND AS NEEDED TO CONSTRUCT IMPROVEMENTS AS INDICATED ON THE PLAN(S), THE CONTRACTOR SHALL REMOVE AND/OR DISPOSE OF ANY BY-PRODUCTS, UNUSED STOCK, DEMOLITION DEBRIS, ETC. IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH DISPOSAL.
11. THE CONTRACTOR SHALL PROVIDE E&SC CONTROL MEASURES AS NECESSARY.
12. STACKHOUSE BENSINGER INC. HAS NOT PROVIDED THE DESIGN OF SHORING, TRENCHING, EXCAVATION, SUPPORT, SHIELDING OR BENCHING ASSOCIATED WITH THE INSTALLATION OF UTILITIES, GRADING, ETC. ON THE PLAN(S). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF UTILITIES AND TO COMPLY WITH OSHA TRENCHING REQUIREMENTS.
13. IF UNFORESEEN SUBSURFACE OR GEOLOGIC CONDITIONS ARE ENCOUNTERED, INCLUDING BUT NOT LIMITED TO DUMPS, FOUNDATIONS, ARCHAEOLOGICAL ARTIFACTS OR FEATURES, SPRINGS, ROCK, SINKHOLES, ETC., THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY STACKHOUSE BENSINGER INC. AND THE OWNER.
14. ALL EQUIPMENT OPERATED ON NEWLY PAVED SURFACES SHALL HAVE RUBBER WHEELS OR RUNNERS AND SHALL HAVE RUBBER, WOOD, OR SIMILAR PROTECTIVE PADS BETWEEN OUTRIGGERS AND THE ROADWAY SURFACE. IN THE EVENT THAT OTHER THAN RUBBER EQUIPPED MACHINERY IS AUTHORIZED FOR USE, THE PAVED SURFACE SHALL BE PROTECTED BY THE USE OF MATTING, WOOD, OR OTHER SUITABLE PROTECTIVE MATERIAL HAVING A MINIMUM THICKNESS OF (4) FOUR INCHES.
15. NO OPENINGS WITHIN THE CLEAR ZONE OF AN OPEN ROAD, ACCESS DRIVE OR PARKING AREA SHALL BE ALLOWED AT THE END OF EACH WORKDAY. IF A TRENCH NEEDS TO BE LEFT OPEN AT THE END OF A WORKDAY, REFER TO PennDOT SPECIFICATIONS FOR ACCEPTABLE PROTECTION GUIDELINES FOR ALL OPENINGS.
16. WORK ZONE TRAFFIC CONTROL SHALL COMPLY WITH PUBLICATION 23 (MAINTENANCE MANUAL) AND PUBLICATION 213 (TEMPORARY TRAFFIC CONTROL GUIDELINES).
17. FINAL SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND DATA SERVICE LOCATIONS AT THE BUILDING SHALL BE VERIFIED BY THE ARCHITECT OR MECHANICAL/ELECTRICAL ENGINEER PRIOR TO ANY SUCH CONSTRUCTION.
18. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BERN TOWNSHIP MUNICIPAL AUTHORITY OF THE TOWNSHIP OF BERN, BERKS COUNTY, CURRENT RULES AND REGULATIONS AND DEP REGULATIONS. IT IS RECOMMENDED THAT THE PERMIT(S) BE OBTAINED PRIOR TO ORDERING OF MATERIALS IN THE EVENT THE MUNICIPAL SPECIFICATIONS DIFFER FROM INFORMATION SHOWN ON THE DRAWINGS. THE CONTRACTOR MUST MEET THE MUNICIPALITY'S SPECIFICATIONS.
19. ALL LATERALS/BUILDING SEWERS SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET AND A MINIMUM SLOPE OF 1/4" PER FOOT.
20. ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE READING AREA WATER AUTHORITY CURRENT SPECIFICATIONS OR THE TOWNSHIP OF BERN MUNICIPAL AUTHORITY RULES AND SPECIFICATIONS AND CURRENT DEP REGULATIONS.
21. FIRE HYDRANTS AND THEIR LOCATIONS WILL BE SUBJECT TO APPROVAL BY THE FIRE MARSHAL.
22. ALL FIRE HYDRANT LATERALS SHALL INCLUDE A 6" GATE VALVE.
23. A MINIMUM 10' HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAINS AND SANITARY SEWER MAINS, WHERE PRACTICAL.
24. A MINIMUM 5' HORIZONTAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED, WHERE PRACTICAL.
25. A MINIMUM 18" VERTICAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED.
26. A MINIMUM 18" VERTICAL CLEARANCE BETWEEN WATER MAINS AND SANITARY SEWER MAINS SHALL BE PROVIDED.
27. GAS, WATER AND SANITARY LATERALS TO HAVE A 10' HORIZONTAL DISTANCE FROM EACH OTHER.
28. ROOF DRAINS SHALL BE DIRECTED AWAY FROM STRUCTURES TO PREVENT INFILTRATION NEAR THE STRUCTURE FOUNDATION. THE OUTLETS SHALL HAVE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.
29. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY THE REMOVAL, RELOCATION, ABANDONMENT OR INSTALLATION OF ANY PUBLIC UTILITY LINES, POLES, VAULTS, ETC. (GAS, ELECTRIC, TELEPHONE, CABLE TV AND FIBER OPTIC COMMUNICATIONS).
30. THE CONTRACTOR(S) IS(ARE) RESPONSIBLE TO CONTACT EACH UTILITY COMPANY OR AUTHORITY AT LEAST 3 DAYS BEFORE ANY EXCAVATION OF EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INVESTIGATE EXISTING UNDERGROUND UTILITY LOCATIONS, RESEARCH PUBLIC AND SITE UTILITY RECORDS, AND DIG TEST PITS IN AREAS TO THE EXTENT NECESSARY TO VERIFY EXISTING UTILITY DEPTHS AND LOCATIONS AND TO VERIFY THAT STORM DRAINAGE AND UTILITY SYSTEMS PIPE, EXCAVATION, FILLING AND GRADING MAY BE INSTALLED IN COMPLIANCE WITH ORIGINAL DESIGN AND REFERENCED STANDARDS.

    IF THE CONTRACTOR DETERMINES THAT THE LOCATION OF EXISTING UTILITY LINES ARE NOT AS DEPICTED ON THE DRAWINGS (HORIZONTALLY OR VERTICALLY) OR THE ORIGINAL DESIGN IS IN CONFLICT WITH THE EXISTING UTILITIES, HE SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL OF SUCH CONFLICT. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED. THE CONTRACTOR WILL BE REQUIRED TO REPAIR ALL DAMAGED UTILITY LINES AT HIS EXPENSE.

    THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED MUNICIPAL PERMITS.
31. IF THE CONTRACTOR DETERMINES THAT STRUCTURES OR IMPROVEMENTS CANNOT BE MANUFACTURED OR CONSTRUCTED AS INDICATED ON THE DRAWINGS, OR IF THE DESIGN DRAWINGS INDICATE CONFLICTING INFORMATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED.
32. CONTRACTOR SHALL HAVE ALL PROPERTY LINES LOCATED BEFORE CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL MAKE SURE NO CONSTRUCTION ACTIVITY OCCURS OUTSIDE PROPERTY LIMITS, UNLESS WITHIN DESIGNATED CONSTRUCTION EASEMENTS.
33. CONTRACTOR MUST CONFIRM BUILDING DIMENSIONS PRIOR TO ANY SUCH CONSTRUCTION. BUILDING DIMENSIONS AND DETAILS FOR EXTERIOR STEPS, RAILINGS, ETC. SHOULD BE TAKEN FROM THE ARCHITECTURAL PLANS. DO NOT USE THESE PLANS FOR BUILDING-RELATED CONSTRUCTION.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES TO CONTROL SEDIMENT RUNOFF FROM THE AREA OF CONSTRUCTION TO INCLUDE COMPOST FILTER SOCK OR ROCK FILTERS, AS NECESSARY. ADDITIONAL E & SC MEASURES ARE TO BE PROVIDED IF DIRECTED BY THE OWNER, DESIGN ENGINEER OR THE TOWNSHIP PER THE PA DEP EROSION & SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.
35. ALL PARKING STALLS SHALL BE DELINEATED BY 4" PAINTED WHITE LINES. ALL HANDICAP PARKING SYMBOLS, AISLE HATCHING AND SIGNS SHALL COMPLY WITH CURRENT ADA CONTRASTING COLOR VISIBILITY, DIMENSIONAL AND SIZE REQUIREMENTS AND SPECIFICATIONS.
36. ALL PAVING THICKNESSES SHOWN ARE THE COMPACTED THICKNESS.
37. ALL SIDEWALK DIMENSIONS ARE TAKEN FROM THE BACK OF THE CURB, UNLESS OTHERWISE NOTED.
38. ADJUSTMENT OF EXISTING WATER VALVES, CLEANOUTS, UTILITY BOXES AND COVERS, ETC. WITHIN NEW SIDEWALK IS INCIDENTAL TO THE SIDEWALK CONSTRUCTION.
39. ALL ADA ACCESS ROUTES, RAMPS AND PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DIMENSIONS INDICATED ON THE PLANS AND DETAILS. THEY SHALL COMPLY WITH THE FOLLOWING GUIDELINES AS WELL AS ALL APPLICABLE BUILDING CODES FOR THIS PROJECT:
    A. CROSS-SLOPES FOR RAMPS AND ACCESS ROUTES SHALL NOT EXCEED 2 PERCENT.
    B. ALL CONCRETE SURFACES SHALL HAVE A SLIP-RESISTANT FINISH.
    C. RAMPS SHALL NOT EXCEED 1:12 SLOPE (8.3 PERCENT) AND SHALL NOT EXCEED A VERTICAL RISE OF 30 INCHES.
    D. ACCESS ROUTES SHALL NOT EXCEED 1:20 SLOPE (5 PERCENT) AND SHALL NOT EXCEED A LONGITUDINAL LENGTH OF 200 FEET.
    E. PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE AT LEAST 60 INCHES WIDE AND 20 FEET LONG ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE AND SHALL NOT EXCEED 2 PERCENT IN ALL DIRECTIONS.
    F. HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF RAMPS IF THE RAMP LENGTH EXCEEDS 6 FEET OR THE VERTICAL RISE EXCEEDS 6 INCHES. THE TOP HEIGHT OF HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
    G. WHERE PROVIDED, THE MINIMUM INSIDE CLEARANCE BETWEEN HANDRAILS SHALL BE AS SPECIFIED ON THE DRAWINGS, EXCEPT IN NO CASE SHALL THE CLEARANCE BE LESS THAN 36 INCHES FOR RAMPS. LANDINGS THAT CHANGE DIRECTION SHALL MAINTAIN A CLEARANCE OF AT LEAST 60 INCHES BETWEEN HANDRAILS.
    H. GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES, INDUSTRIAL EQUIPMENT PLATFORMS, STEPS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. GUARDS SHALL FORM A PROTECTIVE BARRIER NOT LESS THAN THAN 42 INCHES IN HEIGHT. REFER TO THE SECTION "GUARDS" IN THE BUILDING CODE FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

    CONTRACTORS ARE RESPONSIBLE TO CONFIRM THESE REQUIREMENTS. IF DRAWING GRADES OR DIMENSIONS DO NOT MEET THESE REQUIREMENTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS.
40. ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
41. LOCATION OF LANDSCAPING WILL BE SUCH AS TO ENSURE NO INTERFERENCE WITH EXISTING OR PROPOSED SEWER LINES, WATER LINES, UTILITY LINES AND STORM DRAINAGE FACILITIES.

WAIVER NOTE:

AT A MEETING ON SEPTEMBER 4, 2018, THE BERN TOWNSHIP BOARD OF SUPERVISORS APPROVED A WAIVER OF THE REGULAR LAND DEVELOPMENT PROCEDURES TO PERMIT THE PLAN TO PROCEED AS A SKETCH PLAN FOR RECORD.

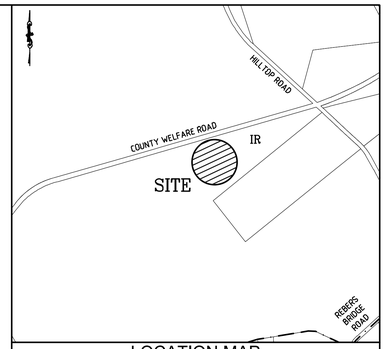
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776 (N.W.P.)
STOP-CALL BEFORE YOU DIG!

PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF OCTOBER 9, 2008 73 P.S. 176 et. seq., REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH

SERIAL NUMBER: 20181550064

NOTES:
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PENNSYLVANIA ACT 121, AND TO CONTACT THE "ONE-CALL SYSTEM" 3 WORKING DAYS PRIOR TO CONSTRUCTION (UNLESS OTHERWISE INDICATED). PA ONE-CALL NUMBER: 1-800-242-1776 OR 811
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS AND MUST BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR OPERATION BEING UNDERTAKEN ON THIS SITE.
3. ANY CONSTRUCTION OR OPERATION UNDERTAKEN ON THIS SITE MUST CONFORM TO ANY AND ALL LOCAL, STATE, DEED OR OTHER RESTRICTIONS IN EFFECT AT THE TIME OF OPERATION.

BERN TOWNSHIP
BERN TOWNSHIP MUNICIPAL AUTHORITY
BUCKEYE PARTNERS
CITY OF READING
COMCAST CABLE COMMUNICATIONS INC.
LEESPORT BOROUGH WATER AUTHORITY
MAW COMMUNICATIONS INC.
METROPOLITAN EDISON COMPANY / FIRST ENERGY
READING AREA WATER AUTHORITY
READING REGIONAL AIRPORT AUTHORITY
UGI UTILITIES INC.
VERIZON/PENNSYLVANIA LLC
WESTERN BERKS WATER AUTHORITY
WINDSTREAM



LOCATION MAP
SCALE: 1"=800'

SITE DATA

RECORD OWNER: COUNTY OF BERKS
633 COURT STREET
READING PA 19601

THE BERKS COUNTY BOARD OF COMMISSIONERS:
KEVIN S. BARNHARDT, COMMISSIONER
CHRISTIAN Y. LEINBACH, COMMISSIONER CHAIR
MARK C. SCOTT, ESQ., COMMISSIONER

SITE ADDRESS: 1261 COUNTY WELFARE ROAD
LEESPORT, PA 19533

DEED BOOK VOLUME: 837, PAGE 546

SOURCE OF TITLE: BEING PART OF THE SAME PREMISES WHICH WILLIAM W. ESSICK, BY DEED DATED NOVEMBER 13, 1940 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS, IN DEED BOOK VOLUME 837 PAGE 546, BERKS COUNTY RECORDS, GRANTED AND CONVEYED UNTO THE COUNTY OF BERKS.

TAX MAP: 4388-01-27-4033

SOURCE OF DATUM: SITE PLAN PREPARED BY BOYD C. WAGNER, ORDER NO. 1681, DRAWING NO. A-1, DATED MARCH 15, 1973, ISSUED JULY 16, 1973

NOTES:
1. THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES. STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
2. THE PROPERTY SHOWN HERE IS LOCATED WITHIN A ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP PANEL NO. 42011C0344G, WITH AN EFFECTIVE DATE OF JULY 3, 2012.

TOTAL TRACT AREA: 160.7+/- ACRES
DEVELOPMENT AREA: 0.078 ACRES (3400 S.F.)

ZONING DATA

IR (INSTITUTIONAL / RECREATIONAL DISTRICT)

	REQUIRED
MINIMUM LOT AREA:	5 ACRES
MINIMUM LOT WIDTH AT STREET LINE:	200 FEET
BUILDING LINE:	200 FEET
MINIMUM FRONT YARD:	100 FEET
MINIMUM SIDE YARD :	50 FEET
MINIMUM REAR YARD:	50 FEET
MINIMUM OPEN SPACE:	60 PERCENT
MAXIMUM BUILDING HEIGHT:	35 FEET

INTENDED USE: BUILDING ADDITION
WATER SUPPLY: EXISTING, PUBLIC - NO NEW CONNECTIONS
SANITARY SEWER DISPOSAL: EXISTING, PUBLIC - NO NEW CONNECTIONS

PARKING
EXISTING ADA SPACES: 6
PROPOSED ADA SPACES: 1
TOTAL ADA PARKING SPACES: 7

PLAN LIST INDEX

PLAN TITLE	PLAN NO.	SHEET NO.
COVER SHEET	C-1.1	SHEET 1 OF 4
EXISTING CONDITIONS AND SITE DEMOLITION	C-2.1	SHEET 2 OF 4
SITE LAYOUT, GRADING AND UTILITY	C-3.1	SHEET 3 OF 4
SITE CONSTRUCTION DETAILS	C-4.1	SHEET 4 OF 4

ALL PLANS LISTED IN THE PLAN LIST INDEX WILL BE RECORDED IN THE BERKS COUNTY RECORDER OF DEEDS OFFICE.

SEAL

NO.	DATE	REVISION

REVISIONS

CONSULTANT

STACKHOUSE BENSINGER INC.
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
LAND PLANNING
MUNICIPAL CONSULTING
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330 REVERE BOULEVARD
SINKING SPRING, PA 19608
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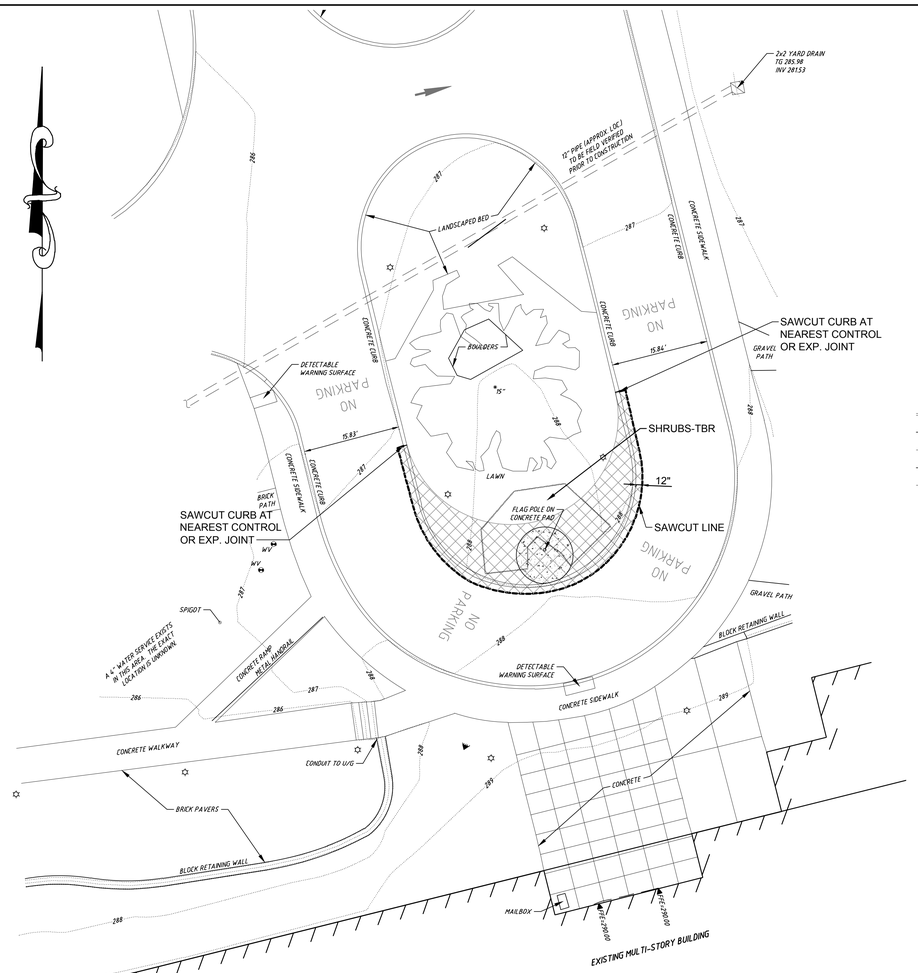
PROJECT INFORMATION

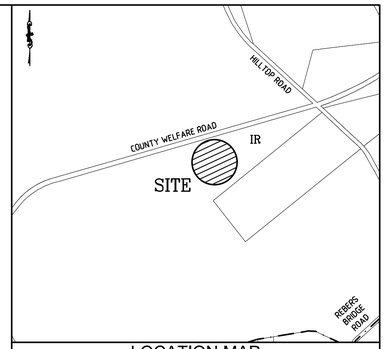
CLIENT: **Muhlenberg Green Architects**
955 Berkshire Boulevard, Suite 101
Wyomissing PA 19610-1278

PROJECT: **Berks Agricultural Center Building Expansion**
Bern Township Berks County Pennsylvania

PLAN TITLE: **COVER SHEET**

PLAN STATUS: **CONSTRUCTION DOCUMENTS**
ISSUE DATE: **2-22-2023**
PROPERTY P.I.N. **4388-01-27-4033**
FILE NAME: **2018-035_CDOCS**
DRAWN BY: **ESD**
CHECKED BY: **AIO**
PLAN SCALE: **1"=10'**
PROJECT NUMBER: **2018-035**
PLAN NO.: **C-1**
SHEET 1 OF 4



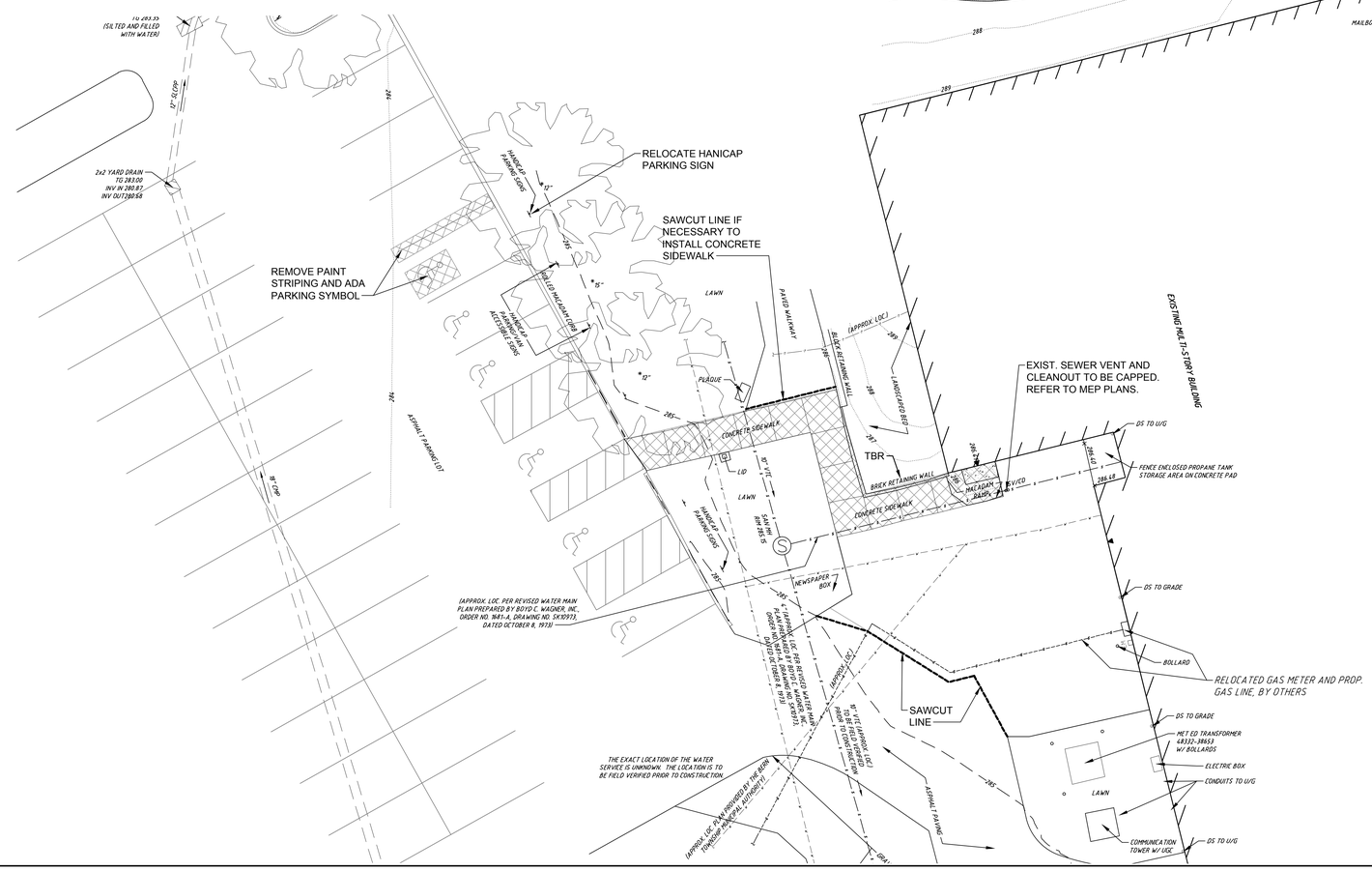


LOCATION MAP

SCALE: 1"=800'

LEGEND

	EXISTING INLET AND STORM SEWER
S	EXISTING SANITARY SEWER AND MANHOLE
W	EXISTING WATER LINE AND GATE VALVE
G	EXISTING GAS LINE AND GAS VALVE
T	EXISTING UNDERGROUND TELECOMMUNICATIONS
EM	EXISTING ELECTRIC METER
GM	EXISTING GAS METER
SVCO	EXISTING SANITARY SEWER VENT & CLEANOUT
DS	EXISTING DOWN SPOUT
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING GROUND LIGHT
350	EXISTING CONTOURS
	EXISTING TREE LINE
	EXISTING CONCRETE
TBR	TO BE REMOVED
	EXISTING FEATURES TO BE REMOVED (CONCRETE, PAVING, GRAVEL ETC.)



PROTECTED AREA (IN AREA OF DEVELOPMENT FOR THIS PROJECT):

NATURAL AND MAN-MADE FEATURE	OPEN SPACE PERCENTAGE		ACRES OF LAND IN RESOURCE		RESOURCE PROTECTED LAND (ACRES IN RESOURCE x OPEN SPACE PERCENTAGE)
FLOODPLAIN	100%	X	0.0	=	0
WETLANDS	100%	X	0.0	=	0
WATERCOURSES	100%	X	0.0	=	0
VERY STEEP SLOPE (25% AND OVER)	100%	X	0.0	=	0
WOODLAND	70%	X	0.0	=	0
WOODLAND (IF OVERLAPPING ANOTHER PROTECTED FEATURE)	90%	X	0.0	=	0
STEEP SLOPE (15% TO 24%)	80%	X	0.0	=	0
WETLAND MARGIN	80%	X	0.0	=	0
			TOTAL PROTECTED AREA:		0

SOILS INFORMATION

(TAKEN FROM BERKS COUNTY SOILS SURVEY)

THE ENTIRE SITE IS WITHIN THE DbB SOILS

DbB - DUFFIELD SILT LOAM, 3 TO 8 PERCENT SLOPES

GRAPHIC SCALE: 1" = 10'

10' 0' 10' 20'

SEAL

NO.	DATE	REVISION

REVISIONS

CONSULTANT

STACKHOUSE BENSINGER INC.

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PROJECT INFORMATION

CLIENT: **Muhlenberg Green Architects**
955 Berkshire Boulevard, Suite 101
Wyomissing PA 19610-1278

PROJECT: **Berks Agricultural Center Building Expansion**
Bern Township Berks County Pennsylvania

PLAN TITLE:

EXISTING CONDITIONS AND SITE DEMOLITION

PLAN STATUS: **CONSTRUCTION DOCUMENTS**

ISSUE DATE: **2-22-2023**

PROPERTY P.I.N. **4388-01-27-4033**

FILE NAME: **2018-035_CDOCS**

DRAWN BY: **ESD**

CHECKED BY: **AIO**

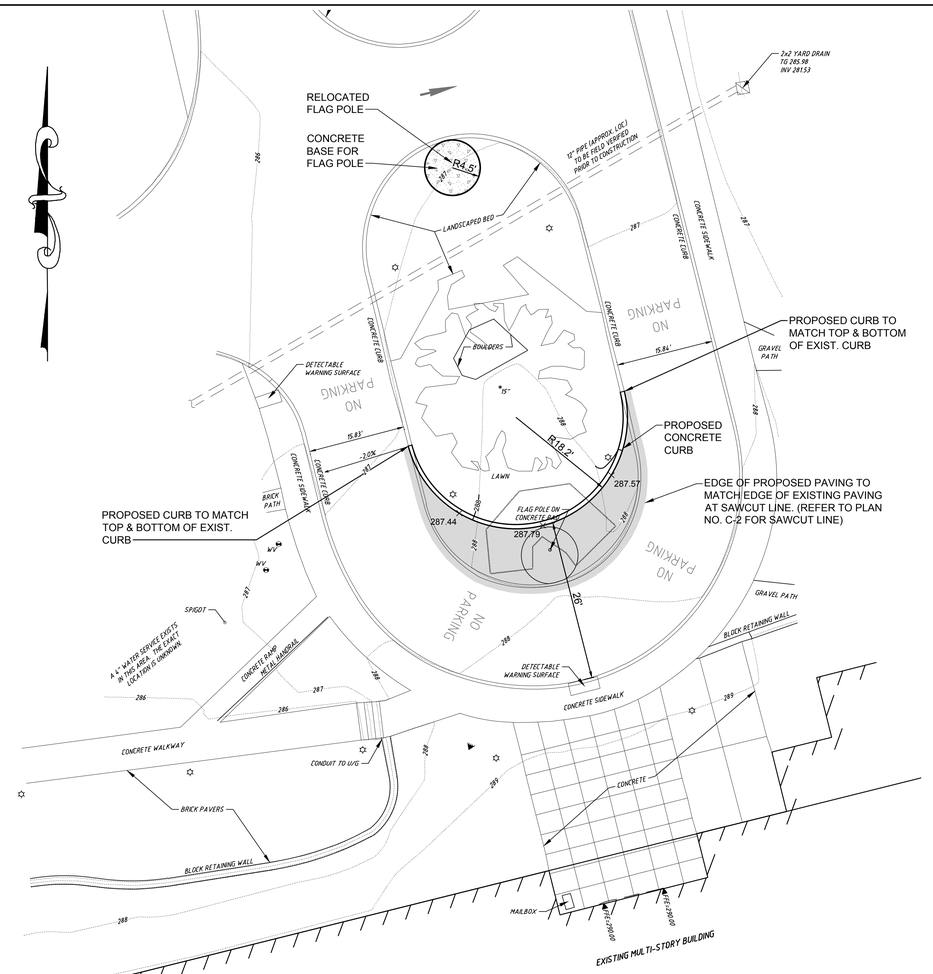
PLAN SCALE: **1"=10'**

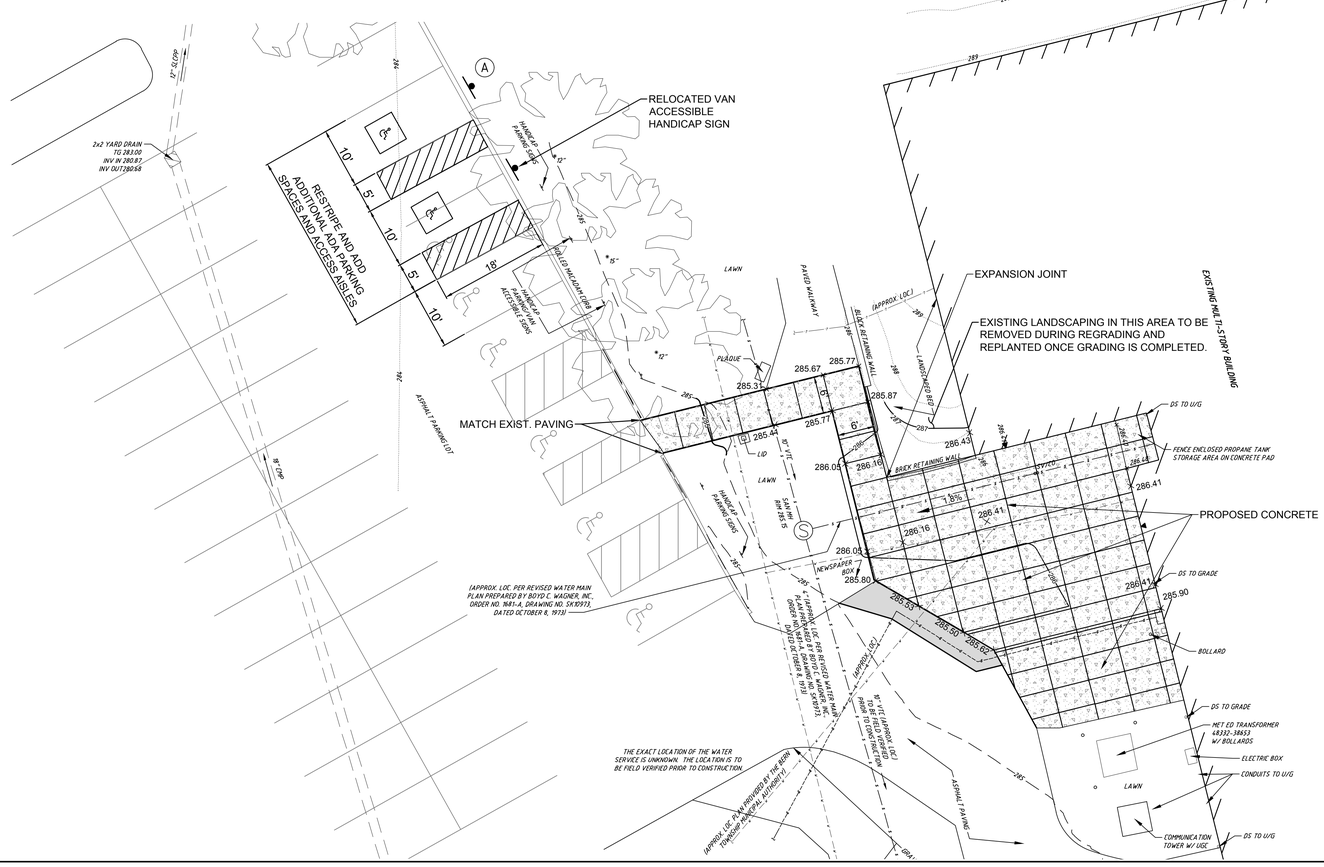
PROJECT NUMBER: **2018-035**

PLAN NO.: **C-2**

SHEET 2 OF 4

EXISTING LAWN TO PAVING	437 SF
EXISTING PAVING TO CONCRETE	1,133 SF
TOTAL:	1,133 SF
NET CHANGE IN IMPERVIOUS COVER:	**-696 SF**





LEGEND

- EXISTING INLET AND STORM SEWER
- EXISTING SANITARY SEWER AND MANHOLE
- EXISTING WATER LINE AND GATE VALVE
- EXISTING GAS LINE AND GAS VALVE
- EXISTING UNDERGROUND TELECOMMUNICATIONS
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING SANITARY SEWER VENT & CLEANOUT
- EXISTING DOWN SPOUT
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING GROUND LIGHT
- EXISTING CONTOURS
- EXISTING TREE LINE
- EXISTING CONCRETE
- PAINTED ADA PARKING SPACE SYMBOL
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE SIDEWALK

SIGN SCHEDULE

SYMBOL	SIGN NAME	QUANTITY	SIZE	PADOT DESIGNATION
Ⓐ	RESERVED PARKING RESERVED PARKING PENALTIES* VAN ACCESSIBLE	1	12" x 18" 12" x 18" 12" x 6"	R7-8 R7-8F R7-8B

*SEE SIGN DETAIL

GRAPHIC SCALE: 1" = 10'

10' 0' 10' 20'

SEAL

NO.	DATE	REVISION

REVISIONS

CONSULTANT

STACKHOUSE BENSINGER INC.

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PROJECT INFORMATION

CLIENT: **Muhlenberg Green Architects**
955 Berkshire Boulevard, Suite 101
Wyomissing PA 19610-1278

PROJECT: **Berks Agricultural Center Building Expansion**
Bern Township Berks County Pennsylvania

PLAN TITLE: **SITE LAYOUT, GRADING & UTILITY**

PLAN STATUS: **CONSTRUCTION DOCUMENTS**

ISSUE DATE: **2-22-2023**

PROPERTY P.I.N. **4388-01-27-4033**

FILE NAME: **2018-035_CDOCS**

DRAWN BY: **ESD**

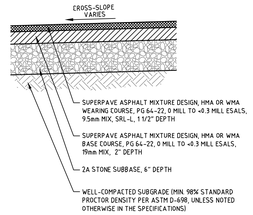
CHECKED BY: **AIO**

PLAN SCALE: 1"=10'

PROJECT NUMBER: **2018-035**

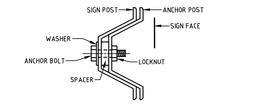
PLAN NO.: **C-3**

SHEET 3 OF 4

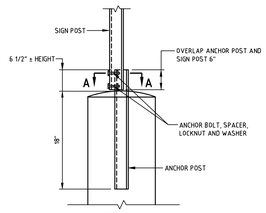


NOTE:
USE THIS DETAIL FOR ALL PROPOSED PAVING AND ANY PAVING THAT MAY REQUIRE REMOVAL AND REPLACEMENT.

PAVING CROSS-SECTION



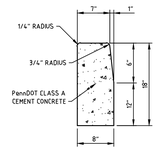
SECTION A-A



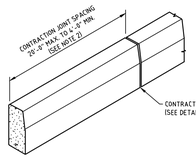
SIDE VIEW

CHANNEL BAR POST ANCHOR

DETAIL A
CONTRACTION JOINT

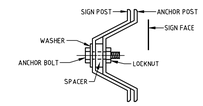


TYPICAL CROSS-SECTION

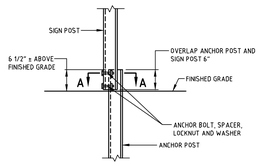


NOTES:
1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4" PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS-SECTIONAL AREA OF CURB.
4. SEE PennDOT RC-50 FOR PLAIN CEMENT CONCRETE CURB SLOPED TOP TREATMENT AT END OF STRUCTURES.

CONCRETE CURB AT PLANTER

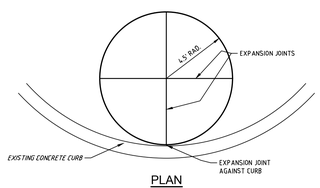


SECTION A-A

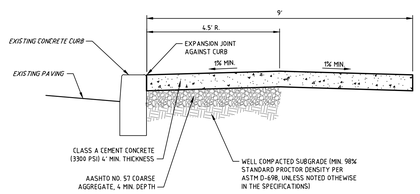


SIDE VIEW

CHANNEL BAR POST INSTALLATION



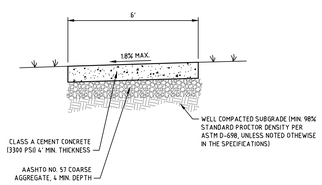
PLAN



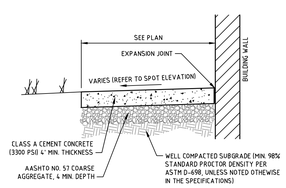
SECTION

NOTES:
1. ¾" PREMOLDED BITUMINOUS EXPANSION JOINT MATERIAL SHALL BE INSTALLED AT 25' INTERVALS, ADJACENT TO HANDICAP RAMPS AND AGAINST BUILDINGS AND EXISTING CONCRETE SIDEWALK.
2. CONTRACTION/CONTROL JOINTS SHALL BE PROVIDED AT 5' INTERVALS BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE, AND SHALL BE FORMED USING DIVISION PLATES, BY SAWCUTTING TO A DEPTH OF 1¼" OR WITH A ¾" RADIUS JOINT TOOL.
3. SIDEWALK EDGES SHALL BE ROUNDED WITH ¼- RADIUS EDGER.
4. SEAL ALL EXPANSION JOINTS WITH SELF-LEVELING, UV RESISTANT, EXTERIOR GRADE, NON-PRIMING POLYURETHANE SEALANT MATCHING THE CONCRETE COLOR. SURFACE OF SEALANT TO BE FLUSH WITH SIDEWALK.
5. ALL SIDEWALK SURFACES SHALL HAVE A BROOM FINISH APPLIED PERPENDICULAR TO THE DIRECTION OF FOOT TRAFFIC PRIOR TO TOOLING THE JOINTS.
6. ALL SIDEWALK SURFACES SHALL RECEIVE AQUAPEL PLUS (OR APPROVED EQUAL) SEALER. APPLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
7. SEE DRIVEWAY ENTRANCE DETAIL FOR SIDEWALK CONSTRUCTION AT DRIVEWAY CROSSINGS.

CONCRETE FLAG POLE BASE



SIDEWALK TO PARKING LOT



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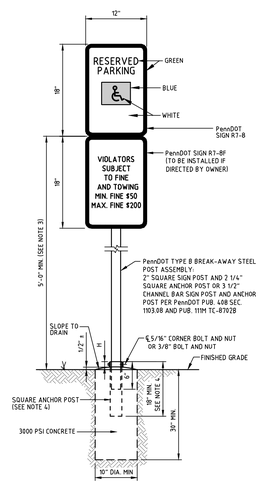
3. SIDEWALK EDGES SHALL BE ROUNDED WITH ¼- RADIUS EDGER.
4. SEAL ALL EXPANSION JOINTS WITH SELF-LEVELING, UV RESISTANT, EXTERIOR GRADE, NON-PRIMING POLYURETHANE SEALANT MATCHING THE CONCRETE COLOR. SURFACE OF SEALANT TO BE FLUSH WITH SIDEWALK.
5. ALL SIDEWALK SURFACES SHALL HAVE A BROOM FINISH APPLIED PERPENDICULAR TO THE DIRECTION OF FOOT TRAFFIC PRIOR TO TOOLING THE JOINTS.
6. ALL SIDEWALK SURFACES SHALL RECEIVE AQUAPEL PLUS (OR APPROVED EQUAL) SEALER. APPLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

CONCRETE SIDEWALK



NOTES:
1. ALL SIGN PAINT TO BE REFLECTORIZED.
2. SIGN MOUNTING HEIGHT IS SUBJECT TO APPROVAL BY STATE AND LOCAL INSPECTORS.
3. TOP OF CONCRETE BASE MAY BE BURIED 3"-4" BELOW FINISHED GRADE (39" BASE STILL REQUIRED AND ANCHOR POST LENGTH MUST BE INCREASED TO EXTEND APPROXIMATELY 1" - 2" ABOVE FINISHED GRADE).
4. FOR SQUARE POST H=1' MAX., FOR CHANNEL BAR POST H=6 1/2" (SEE CHANNEL BAR POST ANCHOR DETAIL)

PLAN SYMBOL (A)

SIGN IDENTIFICATION AND SIGN POST INSTALLATION

SEAL

NO.	DATE	REVISION

REVISIONS

CONSULTANT

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PROJECT INFORMATION

CLIENT: **Muhlenberg Green Architects**
955 Berkshire Boulevard, Suite 101
Wyomissing PA 19610-1278

PROJECT: **Berks Agricultural Center Building Expansion**
Bern Township Berks County Pennsylvania

PLAN TITLE: **SITE CONSTRUCTION DETAILS**

PLAN STATUS: **CONSTRUCTION DOCUMENTS**
ISSUE DATE: **2-22-2023**
PROPERTY P.I.N. **4388-01-27-4033**
FILE NAME: **2018-035_CDDCS**
DRAWN BY: **ESD**
CHECKED BY: **AIO**
PLAN SCALE: NO SCALE
PROJECT NUMBER: **2018-035**
PLAN NO.: **C-4**
SHEET 4 OF 4

GENERAL NOTES:

1. DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. SEE ARCH'L DWG'S FOR ALL OTHER DIMENSIONS, DETAILS, LAYOUT, ETC..
2. VERIFY ALL EXISTING CONDITIONS AND NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCIES.
3. (N) DENOTES NEW
4. *(E) DENOTES EXISTING*
5. G.C. TO VERIFY EXIST. BLDG AND FND CONDITIONS AND PROVIDE FINDINGS TO ENGINEER FOR EVALUATION PRIOR TO ANY NEW WORK.
6. COORD. ALL WORK DIM'S ETC. SHOWN ON THESE DRAWINGS WITH ARCH'L DWG'S. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

FOUNDATION NOTES:

1. FOUNDATION SOIL BEARING PRESSURE 3000 PSF. (ASSUMED, TO BE FIELD VERIFIED)
2. FOUNDATIONS SHALL BE PLACED ON VIRGIN SOIL OR STRUCTURAL FILL AT ELEVATIONS INDICATED ON DRAWINGS.
3. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM MODIFIED PROCTOR DENSITY AS DEFINED BY ASTM D-1557.
4. THE SOILS ENGINEER SHALL APPROVE ALL BEARING STRATA PRIOR TO PLACEMENT OF CONCRETE FOOTINGS.
5. NO GEOTECHNICAL REPORT AVAILABLE AT TIME OF DESIGN. 3000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. CONTRACTOR IS TO VERIFY SOIL BEARING PRESSURE AND INFORM ENGINEER IF ACTUAL CONDITIONS DO NOT MEET OR EXCEED ASSUMED VALUE. CONTRACTOR TO COORDINATE GEOTECHNICAL REQUIREMENTS WITH PROJECT DRAWINGS INCLUDING ANY AND ALL REQUIRED SUBSURFACE SOIL PREPARATION, MODIFICATIONS, IMPROVEMENTS OR REPLACEMENTS.

MASONRY NOTES:

1. MATERIALS:

CONCRETE MASONRY UNITS	ASTM C90 GRADE N (MIN. COMP. STRENGTH = 1900 PSI)
MORTAR	ASTM C270 TYPE M OR S (MIN. COMP. STRENGTH = 2500 PSI)
GROUT	ASTM C476 (MIN. COMP. STRENGTH = 3000 PSI)

2. MASONRY CONSTRUCTION SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY" AS PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.
3. ALL MASONRY BEARING BENEATH STEEL COLUMN, BEAM AND LINTEL SUPPORTS SHALL HAVE THREE COURSES OF CMU FILLED WITH CONCRETE GROUT OR SHALL BE 100% SOLID CMU, UNLESS NOTED OTHERWISE.
4. ALL HORIZONTAL WALL REINFORCING SHALL BE TRUSS TYPE, GALVANIZED REINFORCING SPACED AT 16" O.C. VERTICALLY. AT ALL CORNERS AND INTERSECTIONS HORIZONTAL WALL REINFORCING SHALL BE FULLY LAPPED WITH TRUSS TYPE, GALVANIZED CORNERS AND TEES.
5. PROVIDE MASONRY ANCHORS AT 1'-4" O.C. MAXIMUM,SET ON COURSING AND WELD TO ALL BEAMS AND COLUMNS ABUTTING OR EMBEDDED IN MASONRY.
6. PROVIDE WALL CONTROL JOINTS @ 30'-0" MAX O.C., WITHIN 10'-0" OF ALL CORNERS, AND ON ONE SIDE OF ALL LARGE OPENINGS. COORD. LOCATION WITH ARCH. ELEVATIONS. FILL WITH BACKER ROD AND SEALENT PER ARCH'L SPECS.

CONCRETE NOTES:

1. MATERIALS:

CONCRETE SLAB ON GRADE	4000 PSI @ 28 DAYS
ALL OTHER CONCRETE	3000 PSI @ 28 DAYS
REINFORCING STEEL	ASTM A615, GRADE 60
WELDED WIRE FABRIC	ASTM A185

2. REINFORCED CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318, LATEST EDITION.
3. HORIZONTAL REINFORCING BARS IN WALLS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.
4. REINFORCING BARS SHALL BE LAPPED WITH A MINIMUM OF 36 BAR DIAMETERS AT SPLICES AND WELDED WIRE FABRIC SHALL BE LAPPED A MINIMUM OF 6 INCHES UNLESS NOTED OTHERWISE ON DRAWINGS.
5. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

CONCRETE CAST AGAINST EARTH & PERMANENTLY EXPOSED	3"
CONCRETE EXPOSED TO EARTH OR WEATHER	
#5 & SMALLER	1½"
#6 & LARGER	2"
CONCRETE NOT EXPOSED TO WEATHER OR GROUND	
SLABS AND JOISTS	¾"
BEAMS AND WALLS	1½"
COLUMNS AND PILASTERS	2"
SLABS ON GRADE	2" MAX. (TOP)

6. MINIMUM EMBEDMENT LENGTH SHALL BE 24 BAR DIAMETERS UNLESS OTHERWISE NOTED.
7. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED 4%-6%.
8. ALL REINFORCING SHALL BE SUPPORTED ON REINF. CHAIRS OR CONCRETE MASONRY UNITS.
9. ALL REINFORCING SHALL BE TIED AND SET IN PLACE PRIOR TO PLACING CONC.
10. CONCRETE SHALL NOT BE PLACED ON WET OR FROZEN SUBSTRATE.
11. CONCRETE SHALL BE PLACED ONLY AFTER INSPECTION AND APPROVAL OF SUBSTRATE FORM WORK, REINFORCING, AND EMBEDMENTS BY TOWNSHIP ENGINEER OR FIELD REPRESENTATIVE.
12. CONCRETE SHALL BE TESTED AT A MINIMUM FOR COMPRESSIVE STRENGTH, SLUMP AND AIR ENTRAINMENT FOR EACH DAY'S PLACEMENT AND FOR EACH FIFTY (50) CUBIC YARDS PLACED DURING A DAY
13. ALL REINF. DETAILS SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315) UNLESS DETAILED ON THE STRUCTURAL DRAWINGS

STEEL ROOF DECK NOTES:

1. DECK SHALL BE GALVANIZED BY UNITED STEEL DECK OR EQUAL WITH RESPECT TO LOAD CARRYING CAPACITY, DEFLECTION, AND U.L. LABEL. SUBMIT DATA TO STRUCTURAL ENGINEER.
2. DECK SHALL BE 1½"-20 GA. MINIMUM, TYPE-B.
3. DECK INSTALLATION TO BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. ALL BEAMS TO HAVE ⅝"ø PUDDLE WELDS AT 12" O.C. (MAX). FASTEN SIDE LAPS WITH 1½" SEAM WELDS OR #10 SELF TAPPING SCREWS AT 30" O.C. (MAX). HEADED STUDS SHALL BE INSTALLED BY WELDING THROUGH THE METAL DECK. REMOVE FERRULES FROM THE DECK BEFORE CONCRETE IS PLACED.
5. INSTALLATION TO BE 3 SPAN CONTINUOUS.
6. PROVIDE 6" WIDE, 20 GA. BUTT STRIP PLATE (TACK IN PLACE) AT ALL DECK "BUTT" CONDITIONS OR CHANGE IN DECK DIRECTION, WHERE REQUIRED.

STRUCTURAL STEEL NOTES:

1. MATERIALS:

BEAMS	ASTM A992,	GRADE 50
LINTELS AND ANGLES	ASTM A36	
TUBE/HSS STEEL	ASTM A-500,	GRADE B
PIPE COLUMN	ASTM A53,	GRADE B
ANCHOR BOLTS	ASTM A307	
HIGH-STRENGTH BOLTS	ASTM A325	
WELDING ELECTRODES	ASTM A233,	CLASS E70

2. BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE AISC STANDARD FULL DEPTH DOUBLE ANGLE CONNECTIONS. WHERE REACTIONS EXCEED MINIMUM CONDITIONS, THE APPROPRIATE CONNECTION SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).
3. ALL MAJOR CONNECTIONS SHALL BE HIGH-STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.
4. ALL COLUMNS TO BE PROVIDED WITH ¾" THICK CAP PLATES, AS REQ'D.
5. STEEL WORK SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS.
6. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY USING E70XX ELECTRODES.
7. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION AND ORDERING. SHOP AND ERECTION DRAWINGS MUST SHOW ALL SHOP AND FIELD WELDS.
8. STEEL STAIRS WILL BE A "DELEGATED DESIGN" AND SHALL BE DESIGNED/DETAILED BY CONTRACTOR. SUBMIT SHOP DWG'S & CALCULATIONS (SIGNED/SEALED) FOR REVIEW AND APPROVAL.
9. PROVIDE MASONRY ANCHORS AT 1'-4" O.C. MAXIMUM, SET ON COURSING AND WELD TO ALL BEAMS AND COLUMNS ABUTTING OR EMBEDDED IN MASONRY.
10. ALL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER, FINAL FINISH TO BE COORDINATED WITH OWNER, U.N.O. ALL CANOPY STEEL, CONNECTIONS, ETC TO BE GALVANIZED, G60 COATING MINIMUM.
11. FOR ALL ARCH'L EXPOSED STEEL (HANGERS, PLATES, ETC.) REMOVE ALL BURRS, ETC. AND GROUND ALL WELDS SMOOTH.
12. LOOSE LINTELS TO BE AS FOLLOWS:

SPAN	SIZE
UP TO 5'-0"	∠4x3½x5/16
5'-1" TO 6'-0"	∠5x3½x5/16
6'-1" TO 8'-0"	∠6x3½x5/16

MINIMUM BEARING 8" EACH END.

HOLLOW CORE PLANK (H.C.P.) NOTES:

1. UNLOADING AND ERECTION BY CONTRACTOR.
2. G.C. TO PROVIDE FREE ACCESS AT JOB SITE FOR DELIVERY INCLUDING TEMPORARY ROADWAYS.
3. H.C.P. MUST BE LIFTED WITH SLINGS UNLESS NOTED OTHERWISE. DO NOT LIFT PLANKS IN MIDDLE. SEE MANUF'S INSTRUCTIONS FOR HANDLING AND STORAGE.
4. USE BEARING STRIPS UNDER ENDS OF H.C.P. BEARING ON MASONRY.
5. SEALANT BACKER ROD FURNISHED BY H.C.P. MANUFACTURES AND INSTALLED BY CONTRACTOR.
6. LEVEL PLANK BY JACKING THE UNDERSIDE OF THE PLANK AND GROUTING THE JOINTS. REMOVE JACKS THE FOLLOWING DAY.
7. GROUTING OF LONGITUDINAL PLANK JOINTS BY CONTRACTOR.
8. GROUTING OF H.C.P. BUTT JOINTS (IF REQUIRED) BY CONTRACTOR.
9. GROUTING OF H.C.P. END CELLS (IF REQUIRED) BY CONTRACTOR.
10. CAULKING OF UNDERSIDE JOINTS (IF REQUIRED) BY CONTRACTOR.
11. FEATHERING OF TOP SIDE GROUT JOINTS (IF REQUIRED) BY CONTRACTOR.
12. ALL PLANK ON THIS LAYOUT ARE 4'-0" WIDE UNLESS NOTED OTHERWISE.
13. ANY TOPPING, MESH, AND DRILLING OR CUTTING OF HOLES 10" SQUARE OR LESS IS BY OTHERS.
14. NO PRESTRESSING STRAND AND/OR REINFORCING SHALL BE CUT IN FIELD UNLESS GRANTED PRIOR APPROVAL BY H.C.P. MANUFACTURERS. ALSO SEE GENERAL INSTRUCTIONS FOR DRILLING HOLES IN PLANK.
15. NO WALLS, PIPE, CONDUIT OR OTHER OBJECTS TO EXTEND ABOVE BEARING LEVEL OF PRECAST PLANKS UNTIL PLANKS ARE IN PLACE.
16. ALL TRADES ARE TO REMAIN OFF DECK AREAS UNTIL FIELD CREWS HAVE FINISHED ERECTING, LEVELING, GROUTING AND ANY OTHER FINISHING THAT MAY BE REQUIRED.
17. CONTRACTOR TO PROVIDE H.C.P. MANUFACTURE WITH FIELD DIMENSIONS AND AS-BUILT CONDITION INFO, AS REQUIRED.
18. ALL MASONRY SURFACES FOR H.C.P. BEARING MUST BE SOLID.
19. FOR APPLICATIONS OF CERAMIC OR QUARRY TILE OVER PRECAST FLOOR SYSTEMS, IT IS RECOMMENDED THAT A CLEAVAGE MEMBRANE OF EITHER 16 LB ROOFING FELT OR 4 MIL POLYETHYLENE FILM BE PLACED PRIOR TO APPLICATION OF THE MORTAR BED. REFER TO TILE MANUFACTURER FOR SPECIFIC INSTRUCTIONS.
20. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATOR AND ORDERING.
21. DESIGN LIVE LOAD - 125 PSF.

METAL STUD FRAMING NOTES:

1. COLD FORMED FRAMING SIZES/GAUGES ARE PROVIDED ON DRAWINGS FOR "BASIS OF DESIGN"/BIDDING. COLD FORMED FRAMING SPECIALTY DESIGNER TO PERFORM DESIGN OF SYSTEM INCLUDING ANY SUBSTITUTIONS AS APPLICABLE.
2. COLD FORMED STEEL STUDS SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATION FOR THE DESIGN OF COLD FORMED STRUCTURAL MEMBERS ASSUMING A MINIMUM YIELD STRENGTH OF 40 KSI.
3. COLD FORMED STEEL STUDS SHALL BE INSTALLED AS PER DIETRICH INCORPORATED OR APPROVED EQUAL. TEMPORARY BRACING SHALL BE PROVIDED AND REMAIN IN PLACE UNTIL WORK IS COMPLETELY STABILIZED.
4. USE MINIMUM OF THREE STUDS AT THE CORNER OF ALL EXTERIOR WALLS.
5. USE MINIMUM OF THREE STUDS AT THE INTERSECTION OF ALL LOAD BEARING WALLS (EXTERIOR/OR INTERIOR).
6. CONNECT ALL WALL STUDS ADJACENT TO STEEL COLUMNS WITH SELF TAPPING SCREWS @ 12" O.C. AND AS REQ'D BY METAL STUD MANUFACTURER.
7. CONTRACTOR SHALL SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. DRAWINGS SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL BRACING LOCATIONS AND BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT AND SHALL BE SOLELY RESPONSIBLE FOR SAME.
8. CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS, LAYOUTS, AND ETC. OF ALL METAL STUD CONSTRUCTION SUCH AS PARAPETS AND CANOPIES WITH ARCH'L DRAWINGS.

FOOTING SCHEDULE F'C=3000 PSI / FB=3000 PSF (ASSUMED)

FOOTING #	SIZE	REINFORCING	REMARKS
FT4	4'-0"x4'-0"x1'-0"	5-#5's E.W.	
FT5	5'-0"x5'-0"x1'-0"	6-#5's E.W.	
BP4	4'-0"x4'-0"	5-#5's E.W.	BULK POUR FTG; SEE 3/S-301

MG ARCHITECTS ESTABLISHED 1920

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PROJECT #:
22-0012

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SALVATORE DIGENOVA
ENGINEER
REGISTRATION NO. 042432-E
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BERKS COUNTY AGRICULTURAL CENTER
FACILITY UPGRADES
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LEESPORT, PA 19533

ISSUED
DATE: 03/30/23

REV ID	DESCRIPTION	DATE

PROJ. MGR.: S.DI GENOVA
P.M. e-MAIL: <consultant pm email>
DRAWN BY: JF
CLIENT PROJ #: 2022-010.00
VERIFY SCALE
0 1
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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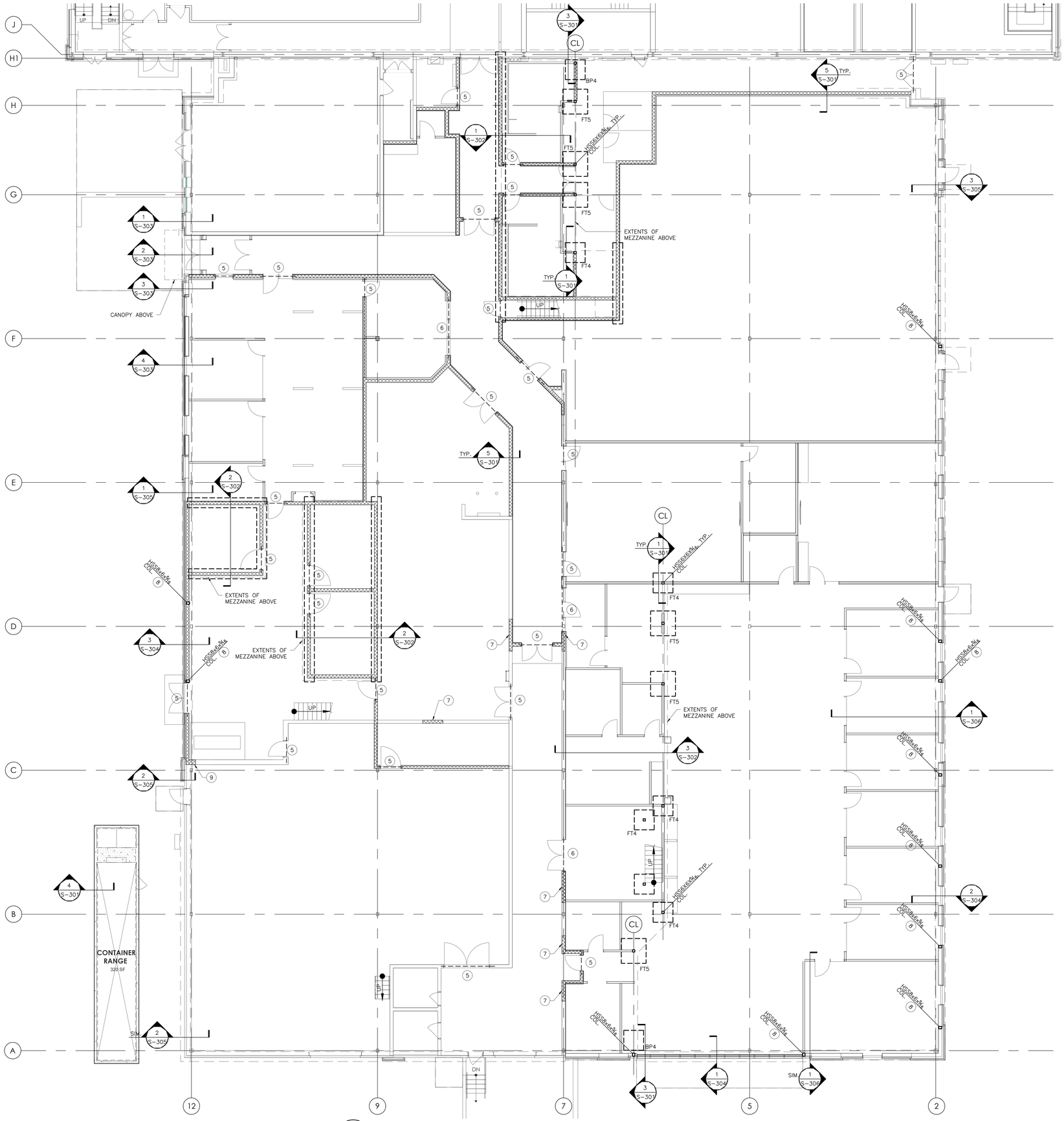
SHEET TITLE:
GENERAL NOTES

S-001



1 S-101 FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:

1. COORDINATE EXTENT AND LOCATION OF SIDE WALKS AND EXIT STEP-OFF PADS WITH ARCH DRAWINGS.
2. TYP. TOP OF LEVELING PLATE ELEVATION TO BE (-7") BELOW FINISH FLOOR FOR ALL COLUMNS. U.N.O.
3. REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL DIMENSIONS AND FOR COORDINATING LOCATIONS OF COLUMNS, BEARING WALLS AND SHEAR WALLS.
4. SEE ARCH. DWG'S FOR EXTENT AND LOCATION OF PERIMETER UNDER-SLAB RIGID INSULATION.
5. PROVIDE (N) PRE-CAST/CONC. HEADER, SEE DETAIL 7/S-301.
6. PROVIDE (N) STL BEAM HEADER, SEE DETAIL 8/S-301.
7. INFILL (E) OPENING W/ CMU TO MATCH EXISTING.
8. (N) HSS COLUMN TO FIT WITHIN WALL CAVITY. ATTACH (N) HSS COLUMN TO CMU FOUNDATION WALL W/ ¾" THK, RECTANGULAR BASE PLATE & (4) ¾" DIA. EXPANSION BOLTS.
9. ATTACH (N) CMU WALL TO (E) CMU WALL W/ #5 HORIZ. BARS @ 24" O.C. (VERT.). DRILL & GROUT INTO (E) CMU WALL, 6" MIN. EMBED.
10. 8"-16ga MTL STUD BOX, TYP @ ALL EXTERIOR DOOR/WINDOW OPENINGS, U.N.O.

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REGISTRATION NO. 042432-E
DATE: _____ SIGNED

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P.M. e-MAIL: <consultant pm email>
DRAWN BY: JF
CLIENT PROJ #: 2022-010.00

VERIFY SCALE
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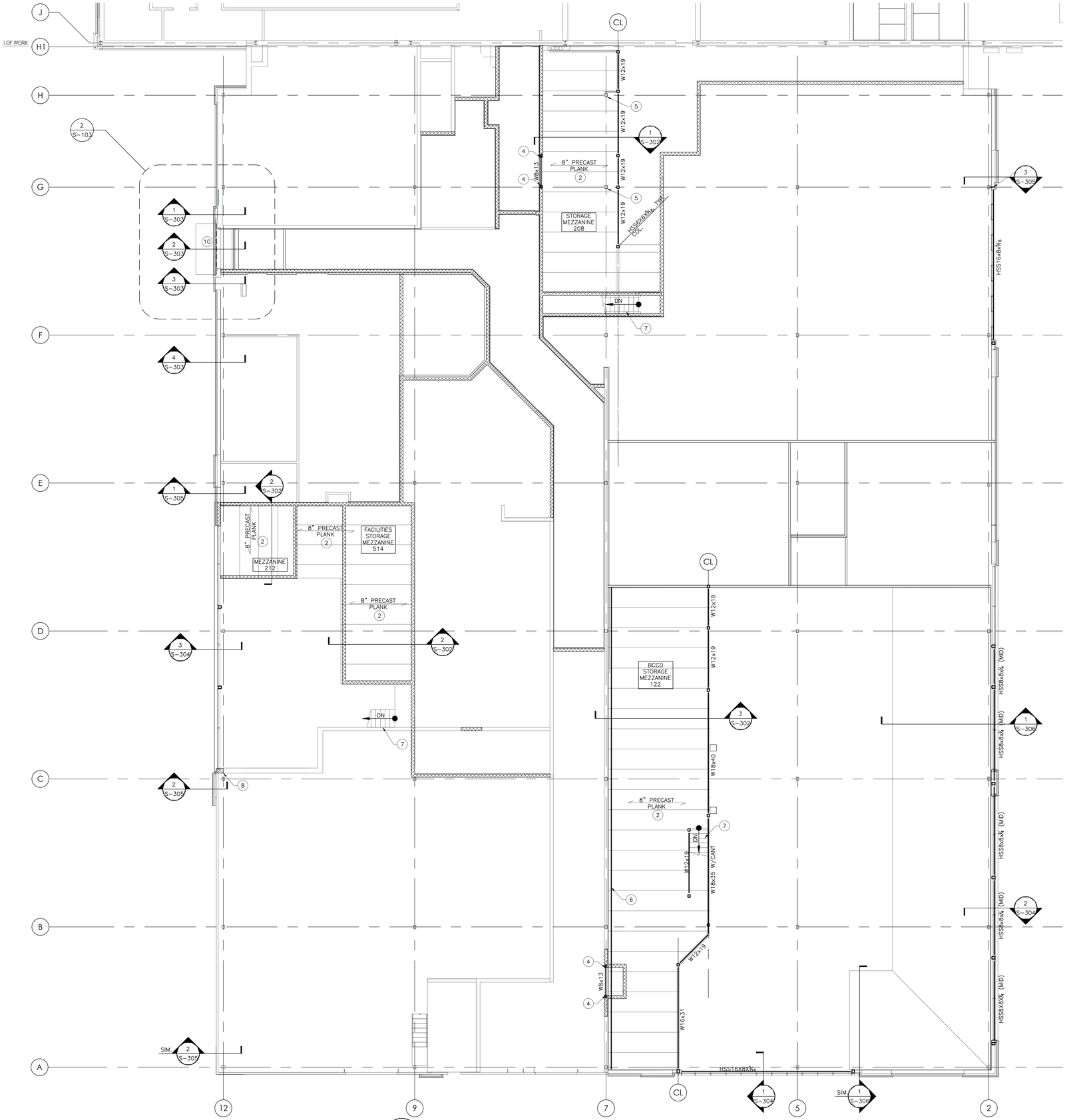
SHEET TITLE:

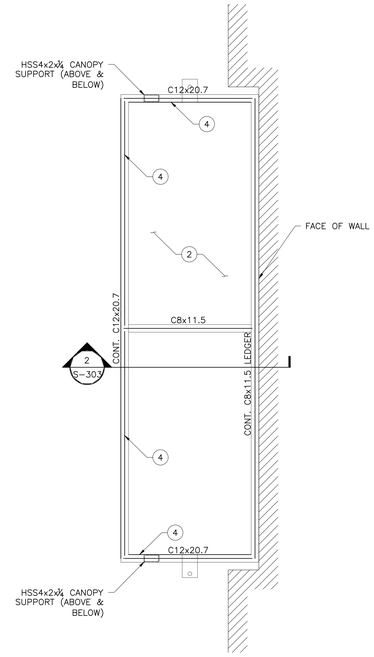
FOUNDATION PLAN

S-101



1 / S-103 MEZZANINE FRAMING PLAN

SCALE: 1/8"=1'-0"



2 / S-103 CANOPY ROOF PLAN

SCALE: 3/4"=1'-0"

NOTES:

1. B.O.S. = 9'-8" (COORD. W/ ARCH'L)
2. 1½-20GA GALV. MTL ROOF DECK.
3. ALL CANOPY STL. TO BE GALVANIZED.
4. CONT. ∠3x3x¼ DECK SUPPORT ANGLE.

NOTES:

1. T.O. MEZZ ELEV. = 9'-8" (COORD. W/ ARCH'L)
2. 8" PRECAST CONC. HOLLOW CORE PLANK, PROVIDED BY OTHERS (LIVE LOAD = 125 PSF MIN.)
3. PROVIDE HSS OUTRIGGER (TO MATCH SIZE OF HSS COLUMN) FULLY WELDED TO HSS COLUMN.
4. PROVIDE BM BRG POCKET, SEE DETAIL 9/S-301
5. PROVIDE OPENING/BLOCK OUT OF (N) PLANK AROUND (E) COLUMN.
6. PROVIDE (N) CONT. ∠8x8x¾ LEDGER.
7. PRE-FABRICATED STEEL STAIRS, COOR. W/ARCH'L.
8. ATTACH (N) CMU WALL TO (E) CMU WALL W/ #5 HORIZ. BARS @ 24" O.C. (VERT.). DRILL & GROUT INTO (E) CMU WALL, 6" MIN. EMBED.
9. 8"-16ga MTL STUD BOX, TYP. @ ALL EXTERIOR DOOR/WINDOW OPENINGS, U.N.O.
10. 12"-14ga MTL STUD BOX HEADER.

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DATE: _____ SIGNED

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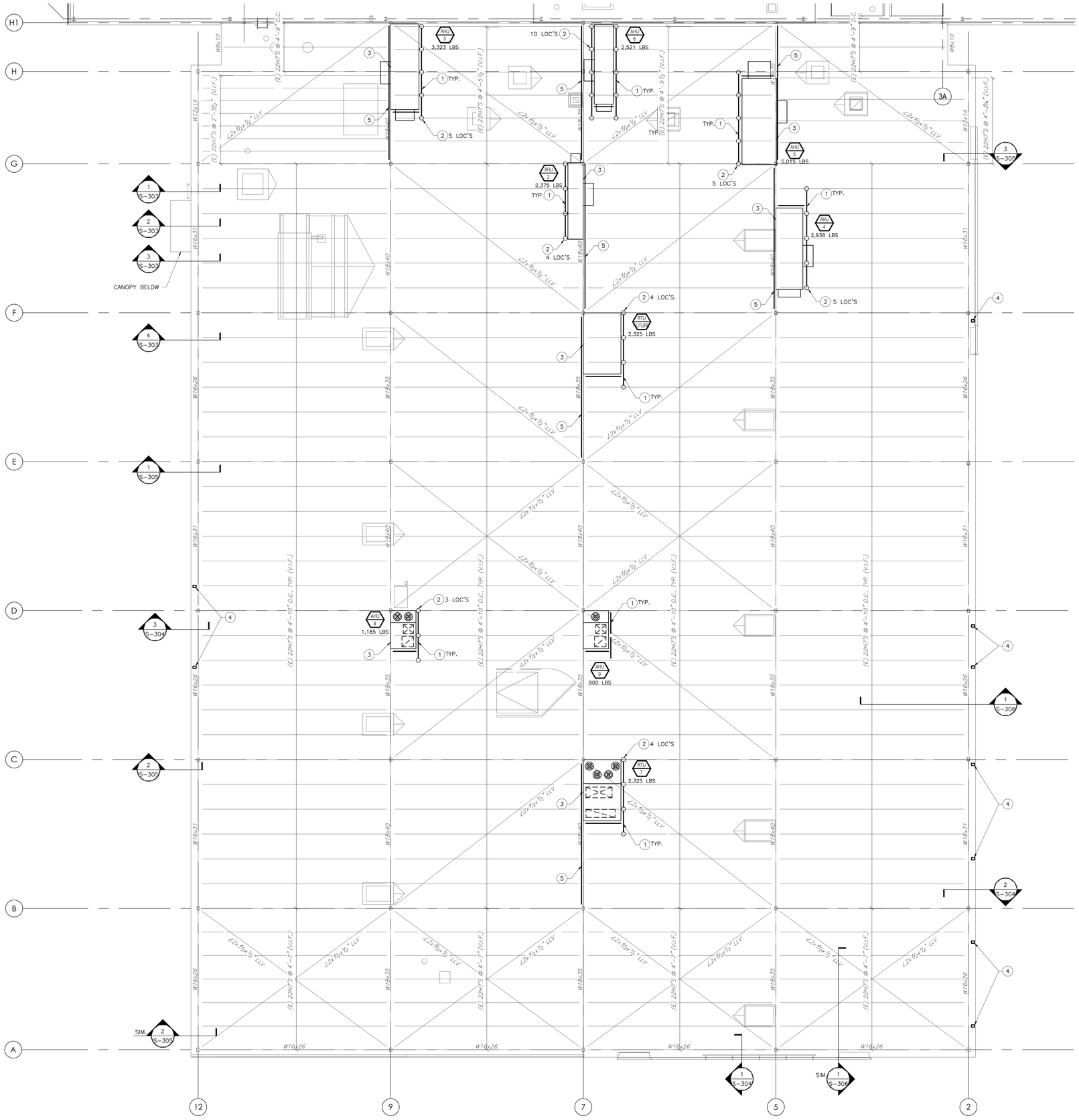
SHEET TITLE:

MEZZANINE/
HI-WINDOW PLAN

S-103



1 / S202 ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

NOTES:

1. PROVIDE FRAMED ROOF OPENING FOR ALL RTU LOC'S AND PENETRATIONS, SEE DETAIL 4/S-302.
2. PROVIDE JOIST REINF. FOR ALL RTU LOCATION, SEE DETAIL 5/S-302.
3. LINE UP ONE SIDE OF UNIT OVER JOIST/BEAM.
4. ATTACH (N) HSS COL., LOCATED WITHIN WALL CAVITY, TO (E) ROOF BEAM W/ ⅜" THK BENT PLATE, FULLY WELDED TO BOTTOM FLANGE OF (E) ROOF BM & FACE OF (N) HSS COL.
5. REINFORCE (E) ROOF BEAM, SEE DETAIL 10/S-301
6. ADJUST OVERALL UNIT, AS REQ'D, TO ENSURE SUPPLY & DUCT RETURN FALL BETWEEN EXISTING JOISTS.

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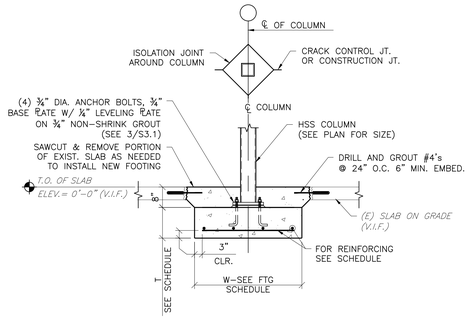
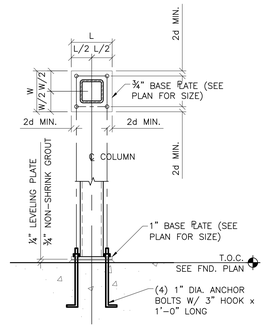
SHEET TITLE:
ROOF FRAMING PLAN

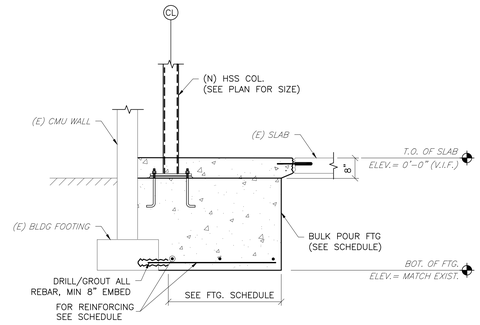
S-202



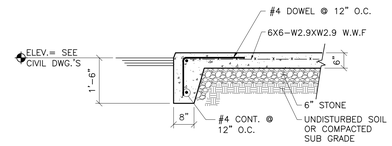
1 S-301 INTERIOR COL. FTG.
SCALE: 1/2"=1'-0"



2 S-301 TYP. BASE PLATE DETAIL
SCALE: 3/4"=1'-0"



3 S-301 BULK POUR FTG. DETAIL
SCALE:1/2"=1'-0



4 S-301 EQUIP. PAD DETAIL
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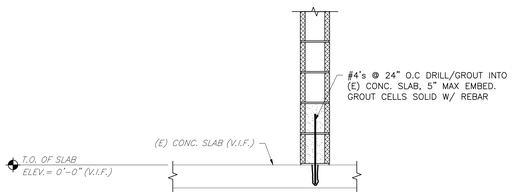
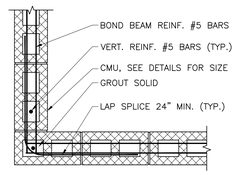
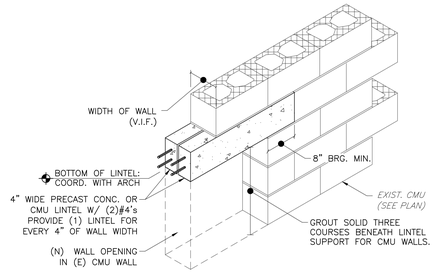


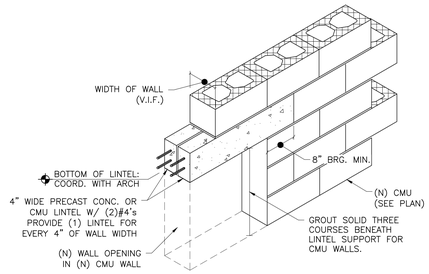
5 S-301 INTERIOR CMU PARTITION WALL
SCALE:3/4" = 1'-0"



6 S-301 CMU CORNER REINF. DETAIL
SCALE:1/2" = 1'-0"



@ (E) CMU WALL

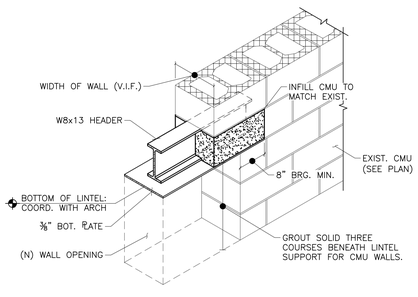


@ (N) CMU WALL

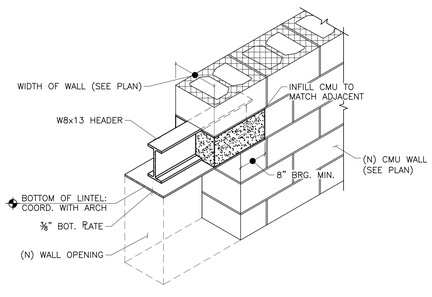
NOTES:

1. CONTRACTOR TO PROVIDE TEMPORARY SUPPORT TO WALL ABOVE AS REQ'D PRIOR TO ANY DEMOLITION/REMOVAL.
2. CONTRACTOR TO PERFORM ALL DEMOLITION WITH CARE AND INSTALL TEMPORARY SHORING AS REQ'D TO MAINTAIN STRUCTURAL INTEGRITY OF WALL ABOVE DURING FULL COURSE OF WORK.

7 S-301 PRE-CAST HEADER DETAIL
SCALE:3/4" = 1'-0"



@ (E) CMU WALL

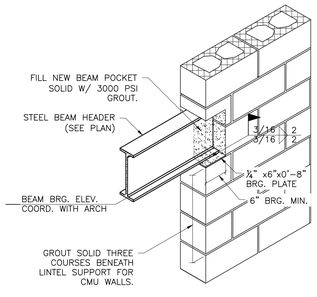


@ (N) CMU WALL

NOTES:

1. CONTRACTOR TO PROVIDE TEMPORARY SUPPORT TO WALL ABOVE AS REQ'D PRIOR TO ANY DEMOLITION/REMOVAL.
2. CONTRACTOR TO PERFORM ALL DEMOLITION WITH CARE AND INSTALL TEMPORARY SHORING AS REQ'D TO MAINTAIN STRUCTURAL INTEGRITY OF WALL ABOVE DURING FULL COURSE OF WORK.

8 S-301 STL BM HEADER DTL
SCALE:3/4" = 1'-0"



9 S-301 BM BRG POCKET DETAIL
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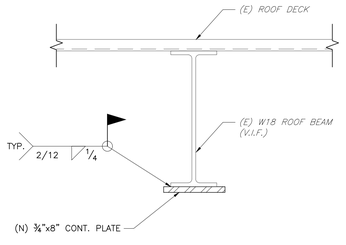

10 S-301 BEAM REINF. DETAIL
SCALE:N.T.S.

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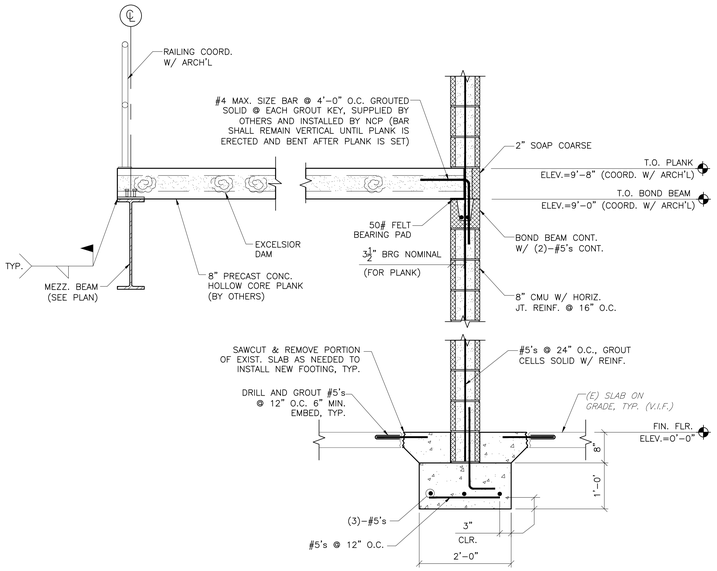
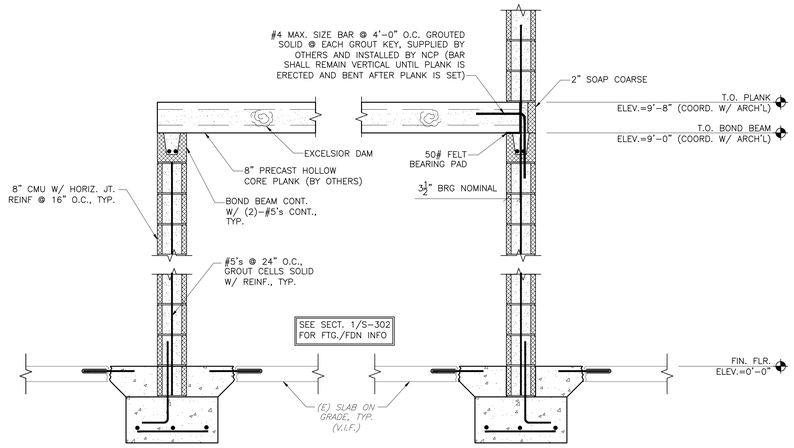
SHEET TITLE:
SECTIONS AND DETAILS

S-301



1 S-302 SECTION
SCALE: 3/4" = 1'-0"



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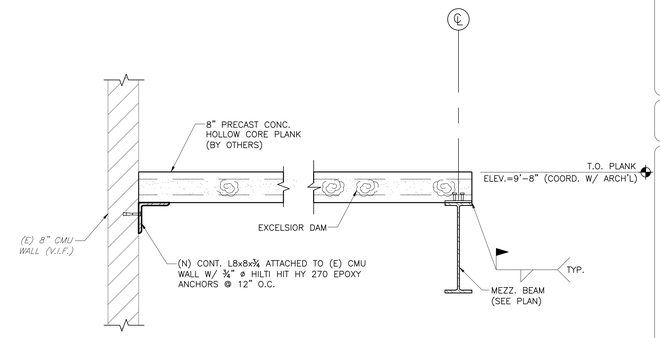

3 S-302 SECTION
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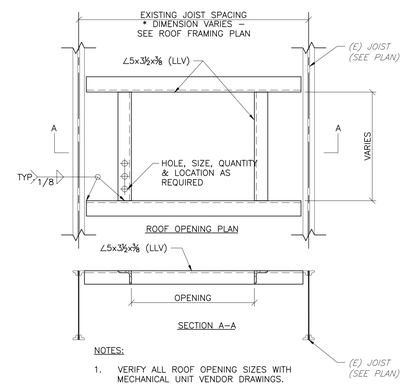
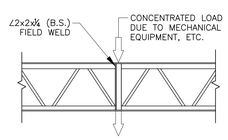


NOTES:

1. VERIFY ALL ROOF OPENING SIZES WITH MECHANICAL UNIT VENDOR DRAWINGS.

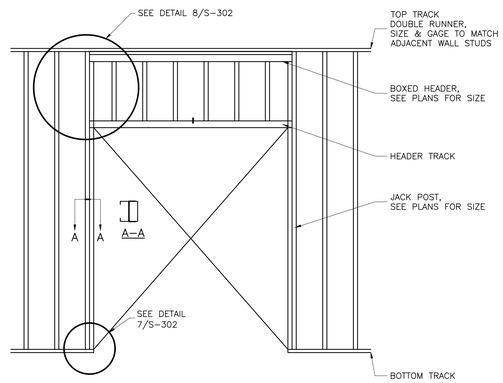
4 S-302 FRAMED ROOF OPENING DETAIL
SCALE: 3/4" = 1'-0"



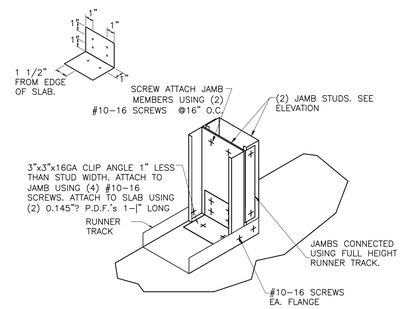
NOTES:

1. REINFORCE JOIST IN SHOP OR FIELD WHEN CONCENTRATED LOADS FROM MECHANICAL EQUIPMENT OR OTHER SOURCE EXCEEDS 250 LBS.
2. ADD ∠2x2x¼ FOR CONCENTRATED LOAD AT LOCATION CLOSEST TO PANEL POINT WHEN LOAD LOCATION IS GREATER THAN 4" FROM PANEL POINT.
3. WELDING BY CERTIFIED WELDER.
4. WELD TO SUPPORTING BEAM OR JOIST 3/16" FILLET 2" LONG

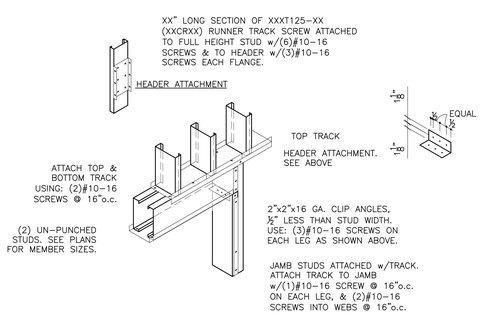
5 S-302 PANEL POINT REINF. DETAIL
SCALE: 3/4" = 1'-0"



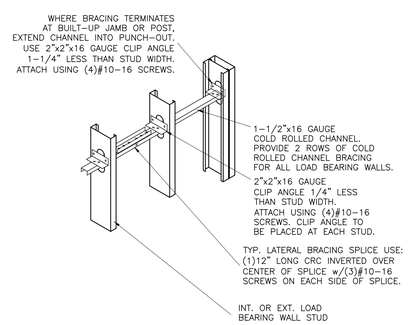
6 S-302 TYP. WALL OPENING
SCALE: 1/2" = 1'-0"



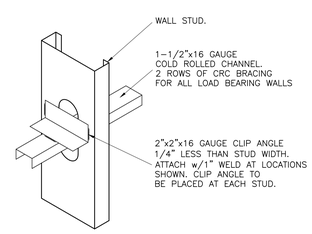
7 S-302 JAMB ANCHORAGE
SCALE: 1/2" = 1'-0"



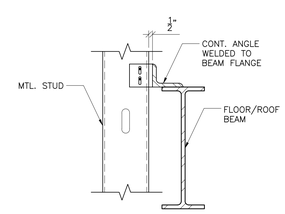
8 S-302 BOXED HEADER CONNECTION
SCALE: 1/2" = 1'-0"



9 S-302 LATERAL BRACING
SCALE: 1/2" = 1'-0"



10 S-302 LATERAL BRACING
SCALE: 1/2" = 1'-0"



11 S-302 TYP. MTL. STUD CONNECTION
SCALE: N.T.S.

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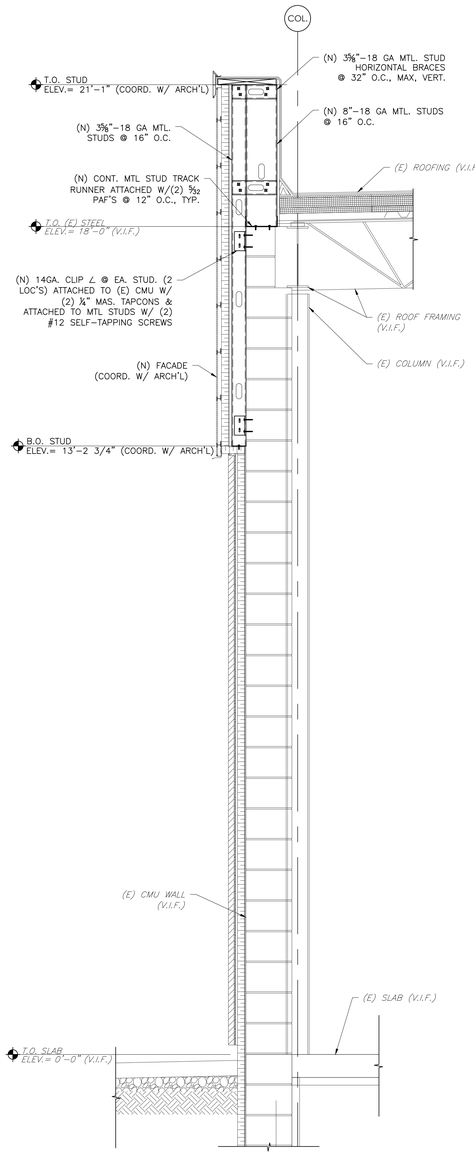
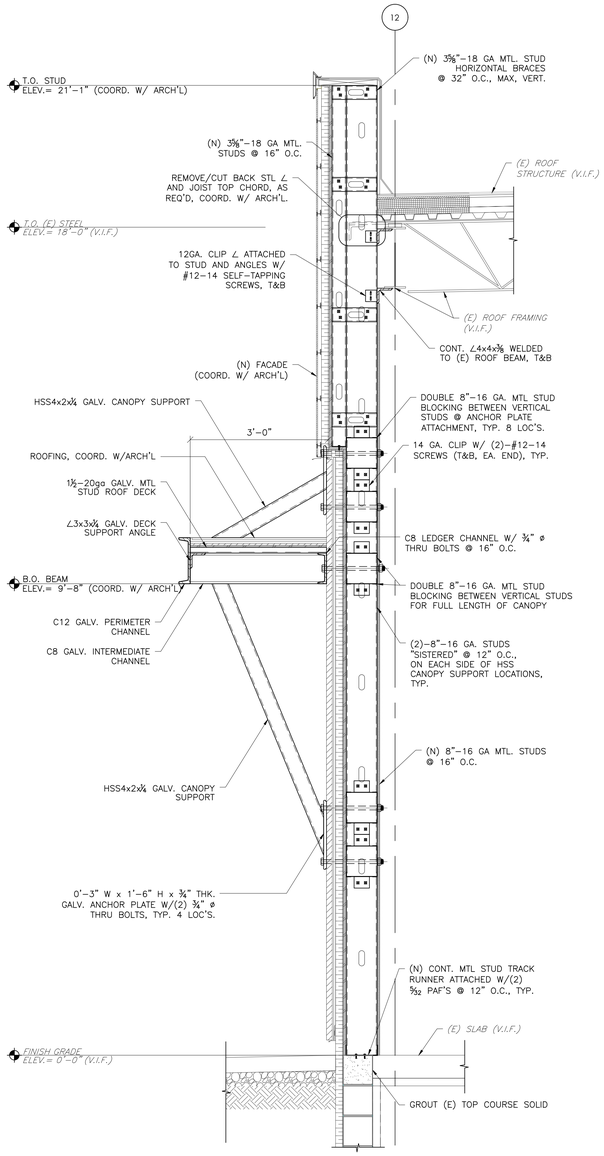
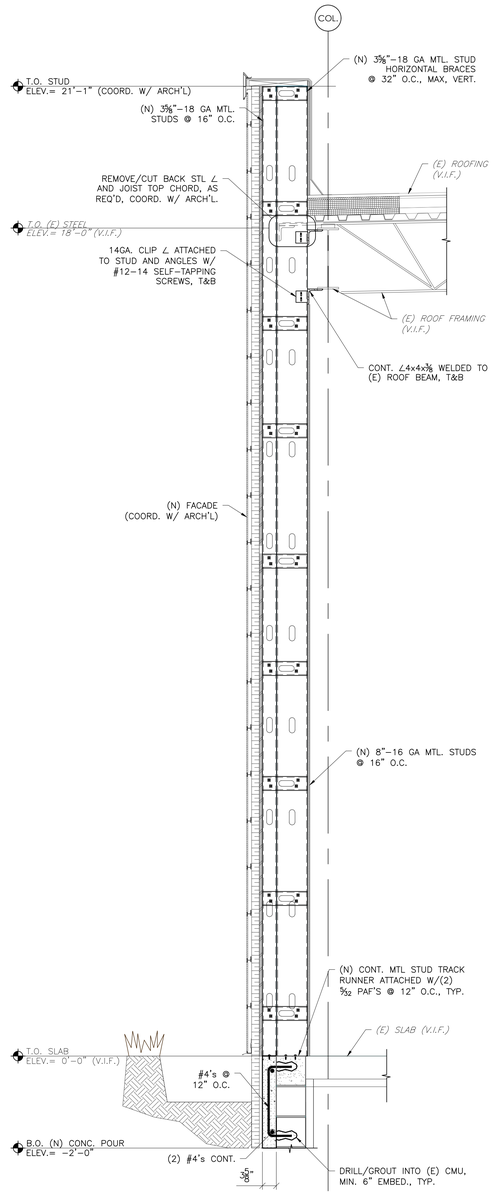


1 S-303 **WALL SECTION**
SCALE: 3/4" = 1'-0"
REF: 2/A-301



2 S-303 **WALL SECTION**
SCALE: 3/4" = 1'-0"
REF: 3/A-301



3 S-303 **WALL SECTION**
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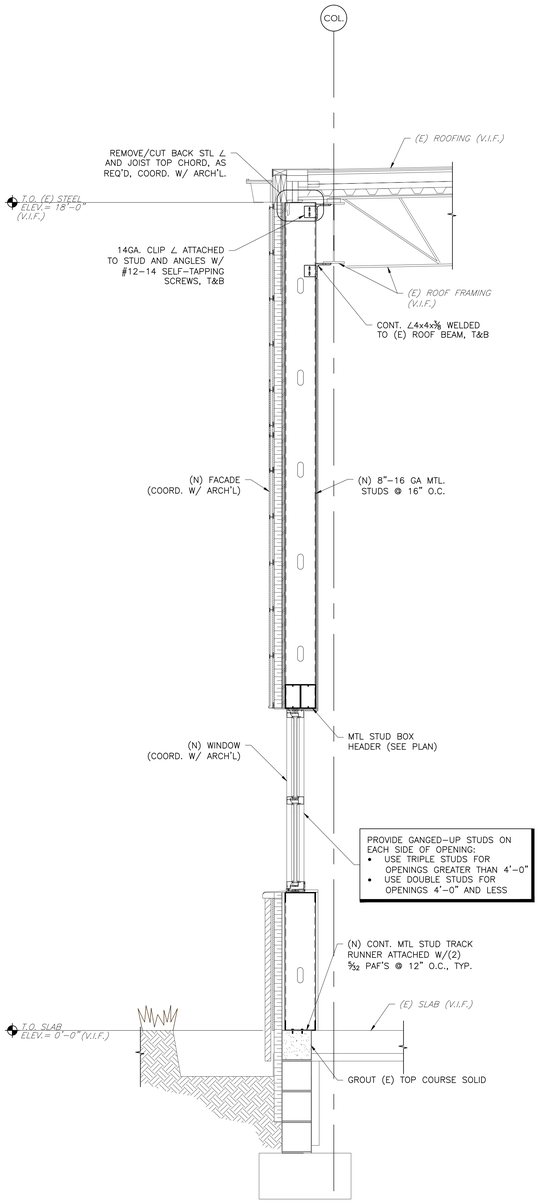
REF: 4/A-301



4 S-303 **WALL SECTION**
SCALE: 3/4" = 1'-0"
REF: 2/A-302

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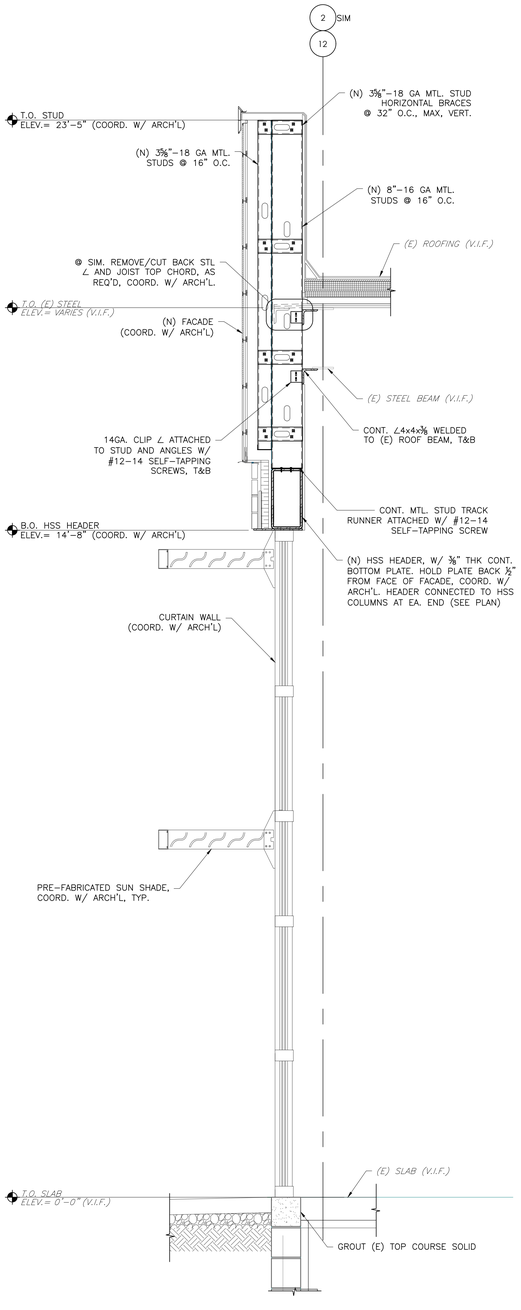

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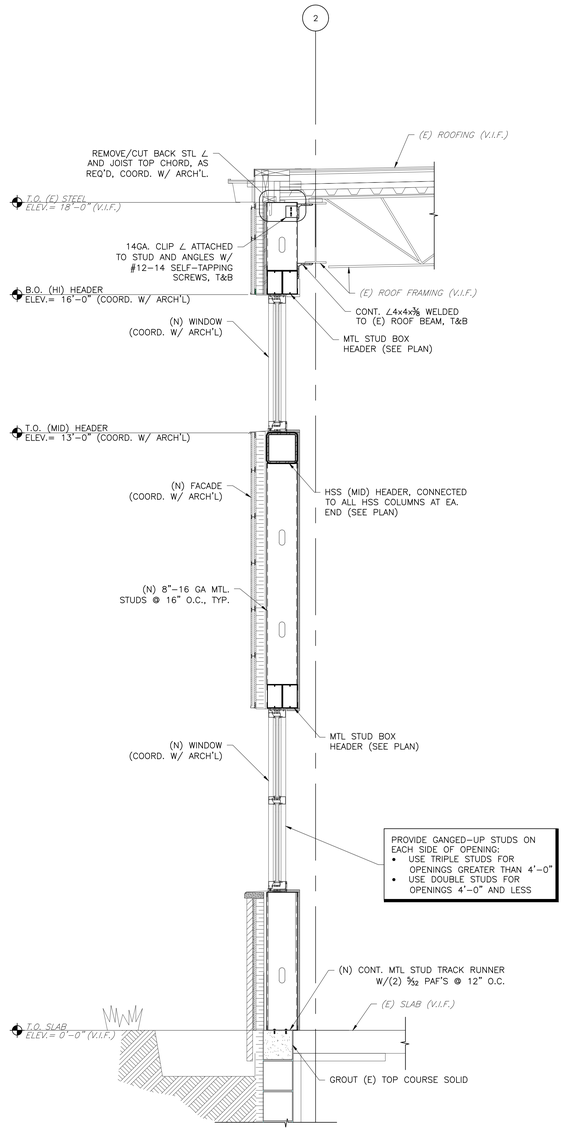
REF: 1/A-304



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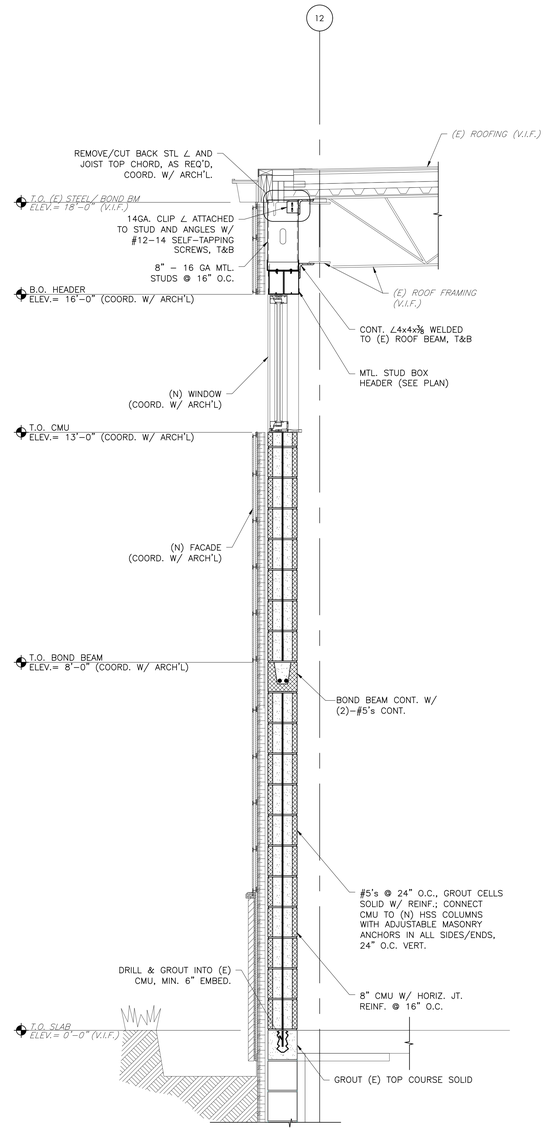
REF: 4/A-305



3 S-304 **WALL SECTION**
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REF: 1/A-303

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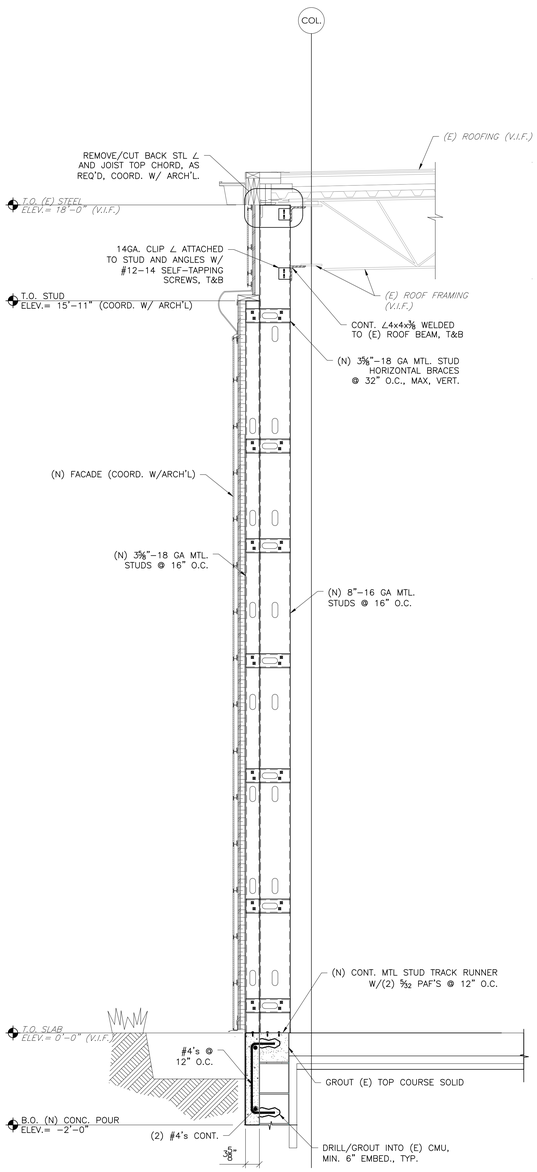

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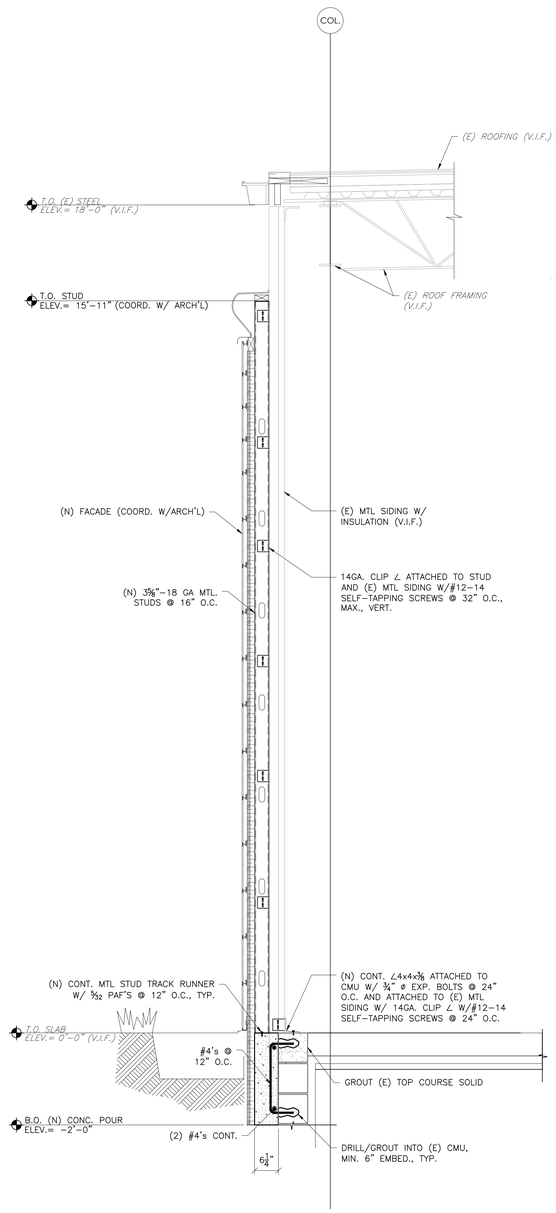

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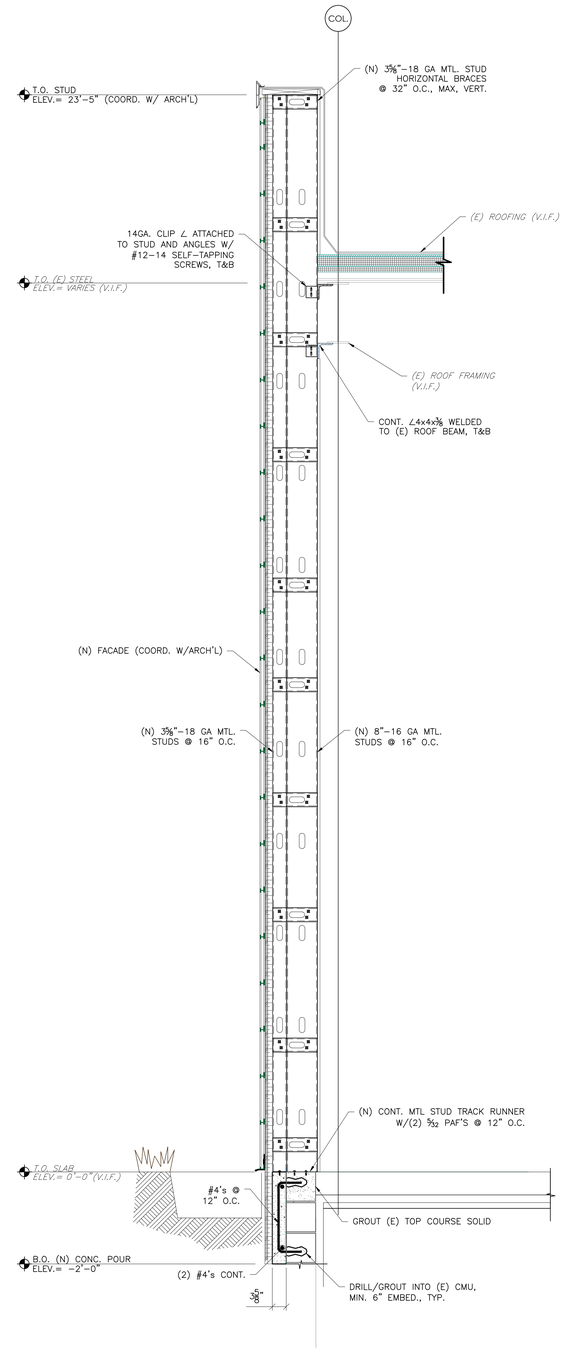

3 / S-305 WALL SECTION
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REF: 4/A-303

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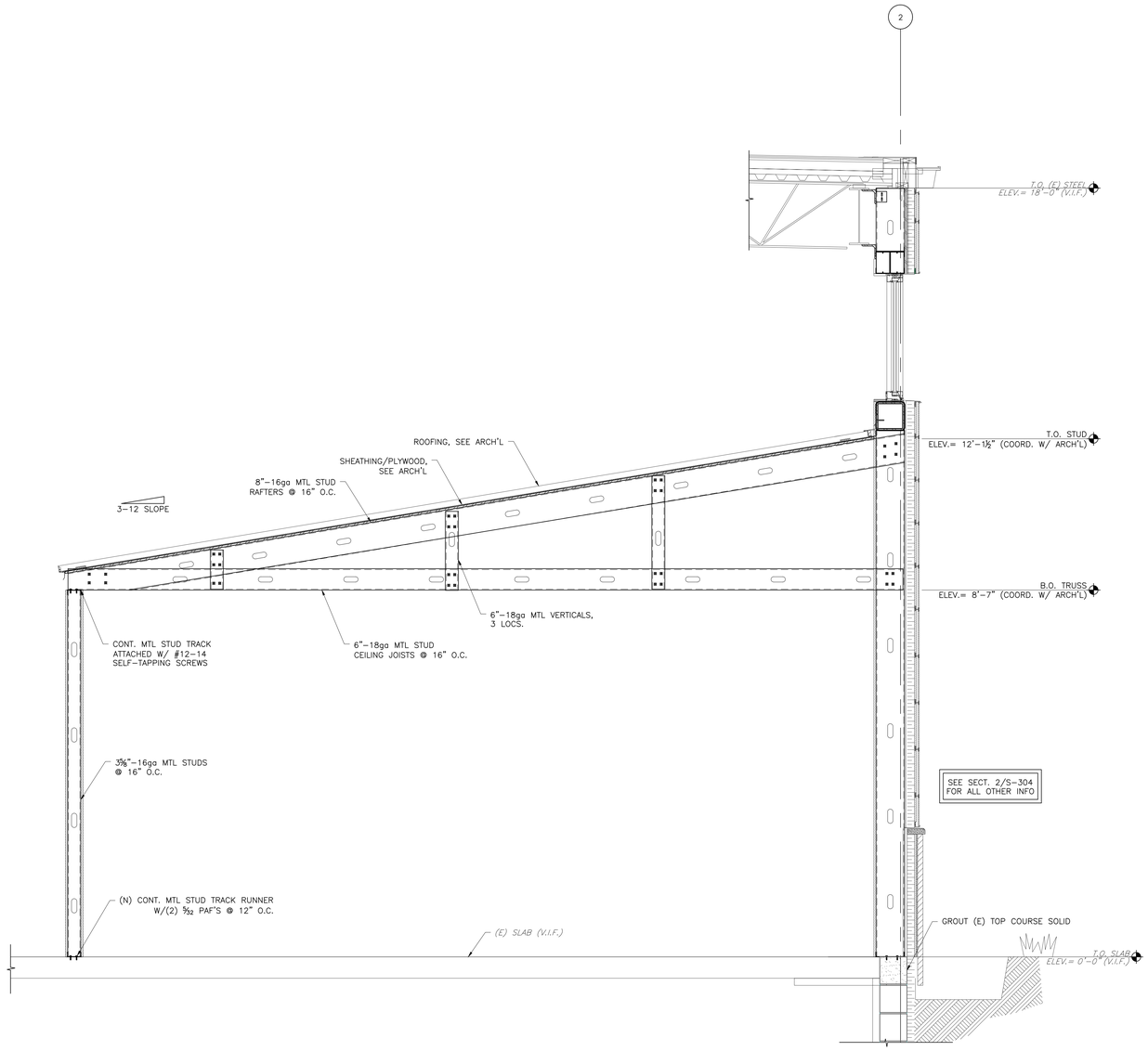

1 / S-306 **WALL SECTION**
SCALE: 3/4" = 1'-0"

REF: 1/A-305

NOTES:

1. PROVIDE 8"-16ga MTL STUD BOX HEADERS AT ALL OPENINGS WITHIN OFFICE PARTITION WALLS. PROVIDE TRIPLE GANGED-UP STUDS ON EACH SIDE OF OPENING. COORD. ALL LOCATIONS, SIZES, ETC. OF ALL OPENINGS W/ARCH'L.

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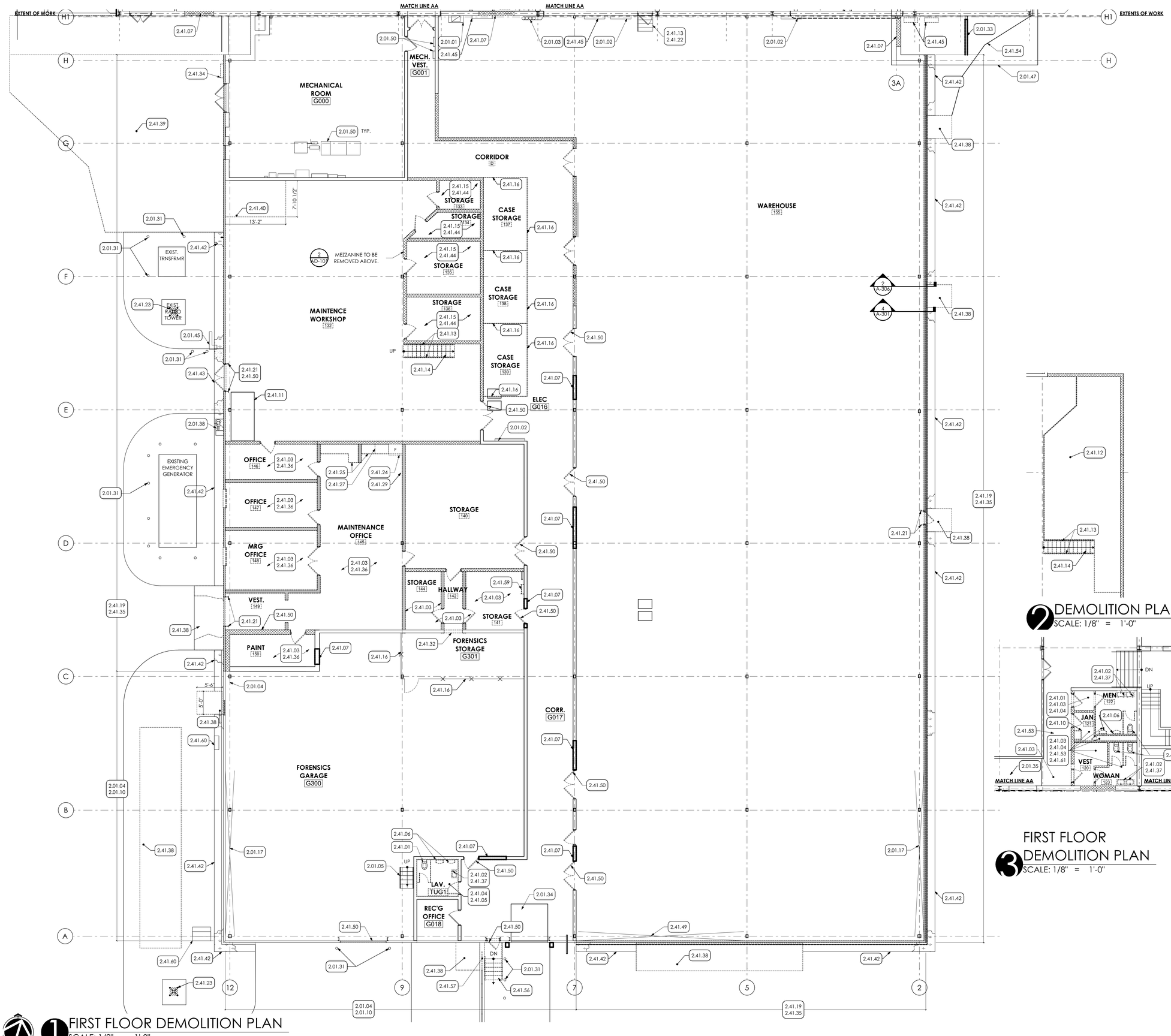
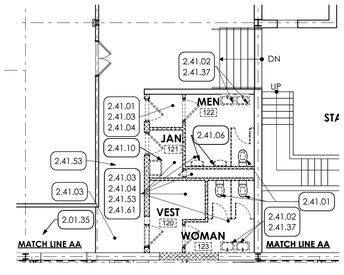


1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

2 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



3 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

02 DEMOLITION

2.01 EXISTING CONDITIONS

2.01.01 EXISTING DUCT RISER TO REMAIN
2.01.02 EXISTING ELECTRICAL PANELS TO REMAIN.
2.01.03 EXISTING GLYCOL LINES TO REMAIN
2.01.04 EXISTING GIRT TO REMAIN.

2.01.05 EXISTING STAIR TO REMAIN.
2.01.10 EXISTING INSULATED METAL PANEL TO REMAIN.
2.01.17 EXISTING X-BRACING TO REMAIN.
2.01.31 EXISTING BOLLARD TO REMAIN.
2.01.33 EXISTING DOWNSPOUT AND EXTENSION TO BE RELOCATED.
2.01.34 EXISTING DOCK LEVELER TO REMAIN.
2.01.35 EXISTING ACOUSTIC PANEL CEILING TO REMAIN.
2.01.38 EXISTING CONDUIT TO REMAIN IN PLACE. E.C. TO PROVIDE TEMPORARY SUPPORT.
2.01.45 EXISTING GAS METER TO REMAIN.
2.01.47 UNDERGROUND EXISTING FIBER OPTIC LINES ARE LOCATED IN THIS AREA. USE CAUTION DURING EXCAVATION.
2.01.50 EXISTING ELECTRICAL EQUIPMENT

2.41 SELECTIVE DEMOLITION | SPEC 024119

2.41.01 REMOVE EXISTING TOILET AND CAP SANITARY LINE BELOW SLAB , BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB, PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP, BY P.C.
2.41.02 REMOVE EXISTING WALL MOUNTED SINK AND CAP SANITARY LINE BELOW SLAB , BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB, PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP, BY P.C.
2.41.03 REMOVE EXISTING SUSPENDED CEILING PANELS, GRID, SUSPENSION WIRES, AND ACCESORIES IN ITS ENTIRETY FROM ENTIRE ROOM.
2.41.04 REMOVE EXISTING FLOOR TILE AND MORTAR IN ITS ENTIRETY DOWN TO EXISTING CONCRETE SLAB THROUGHOUT ROOM.
2.41.05 REMOVE EXISTING CERAMIC TILE, MORTAR AND GYPSUM BOARD FROM THE PERIMETER OF ROOM OR CORRIDER.
2.41.06 REMOVE EXISTING URINAL AND CAP SANITARY LINE BELOW SLAB , BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB, PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP, BY P.C.
2.41.07 REMOVE PORTION OF EXISTING MASONRY WALL TO CREATE NEW OPENING. COORDINATE WITH FLOOR PLAN.
2.41.10 REMOVE EXISTING UTILITY SINK AND CAP SANITARY LINE BELOW SLAB , BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB, PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP, BY P.C.
2.41.11 CAREFULLY REMOVE EXISTING DUST COLLECTOR AND STORE FOR REINSTALLATION. BY H.C.
2.41.12 REMOVE EXISTING MEZZANINE PLATFORM IN ITS ENTIRELY
2.41.13 REMOVE EXISTING RAILING.
2.41.14 REMOVE EXISTING WOOD STAIRCASE.
2.41.15 REMOVE EXISTING MEZZANINE ATTACHMENTS, BEAMS, COLUMNS.
2.41.16 REMOVE EXISTING WOOD STORAGE CAGES IN THEIR ENTIRETY.
2.41.19 REMOVE EXISTING METAL GIRT AND SAG RODS.
2.41.21 REMOVE EXISTING DOOR FRAMING
2.41.22 REMOVE EXISTING STAIRCASE
2.41.23 REMOVE RADIO ANTENNA AND FOUNDATION, INCLUDING UNDERGROUND CONDUIT AND WIRES IN THEIR ENTIRETY, BY E.C.
2.41.24 REMOVE REFRIGERATOR.
2.41.25 REMOVE COUNTER TOP.
2.41.27 REMOVE WALL CABINET
2.41.29 REMOVE BASEBOARD HEAT BY H.C.
2.41.32 REMOVE OPENING HARDWARE.
2.41.34 REMOVE EXISTING CMU ENCLOSURE AND PIPING.
2.41.35 REMOVE EXISTING INSULATED METAL PANEL, INCLUDING WINDOWS AND DOORS LOCATED WITHIN THE PANEL.
2.41.36 REMOVE EXISTING CARPET IN ITS ENTIRETY DOWN TO EXISTING CONCRETE SLAB THROUGHOUT ROOM.
2.41.37 REMOVE EXISTING WALL MOUNTED MIRROR.
2.41.38 EXCAVATE FOR NEW CONCRETE SLAB. COORDINATE WITH FLOOR PLANS.
2.41.39 NEATLY CUT AND REMOVE EXISTING ASPHALT AND EXCAVATE FOR NEW HARDSCAPING. COORINDATE WITH FLOOR PLANS.
2.41.40 REMOVE PORTION OF EXISTING CONCRETE SLAB FOR NEW ENTRANCE VESTIBULE. COORDINATE WITH FLOOR PLANS.
2.41.42 EXCAVATE FOR NEW MOW STRIP. COORINDATE WITH DETAIL.
2.41.43 NEATLY CUT AND REMOVE EXISTING ASPHALT AND EXCAVATE FOR NEW RIGID INSULATION. COORINDATE WITH WALL SECTIONS.
2.41.44 REMOVE EXISTING MEZZANINE LIGHT FIXTURES, BY E.C.
2.41.45 REMOVE AND STORE FOR REINSTALLATION EXISTING ELECTRICAL PANEL, BY E.C. COORIDNATE WITH ELECTRICAL DRAWINGS.
2.41.49 EXISTING X-BRACING TO BE REMOVED.
2.41.50 REMOVE COURSE OF EXISTING CMU BELOW CONCRETE SLAB.
2.41.53 REMOVE EXISTING TERAZZO FLOORING.
2.41.54 EXCAVATE/LOWER EXISTING GRADE FOR NEW DOOR. COORDINATE W/ FLOOR PLANS.
2.41.56 REMOVE EXISTING CONCRETE STAIR.
2.41.57 CUTBACK EXISTING RAILING AS SHOWN. COORDINATE WITH FLOOR PLAN.
2.41.59 REMOVE EXISTING WALL HUNG LADDERS, INCLUDING LADDER ABOVE MEZZANINE.
2.41.60 CAREFULLY REMOVE SIGN. STORE FOR REINSTALL
2.41.61 CAREFULLY REMOVE EXISTING ACCESSORIES AND STORE FOR EVALVATION AND POSSIBLE REINSTALLATION IN NEW TOILET ROOMS.

DEMOLITION LEGEND

EXISTING PARTITION TO REMAIN
DOOR TO REMAIN
EXISTING GYPSUM BOARD PARTITION TO BE DEMOLISHED
DOOR AND FRAME TO BE DEMOLISHED
EXISTING MASONRY PARTITION TO BE DEMOLISHED APX. HIEGHT 19'-0" +/-.
DOOR AND FRAME TO BE DEMOLISHED

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PROJECT #:
22-0012

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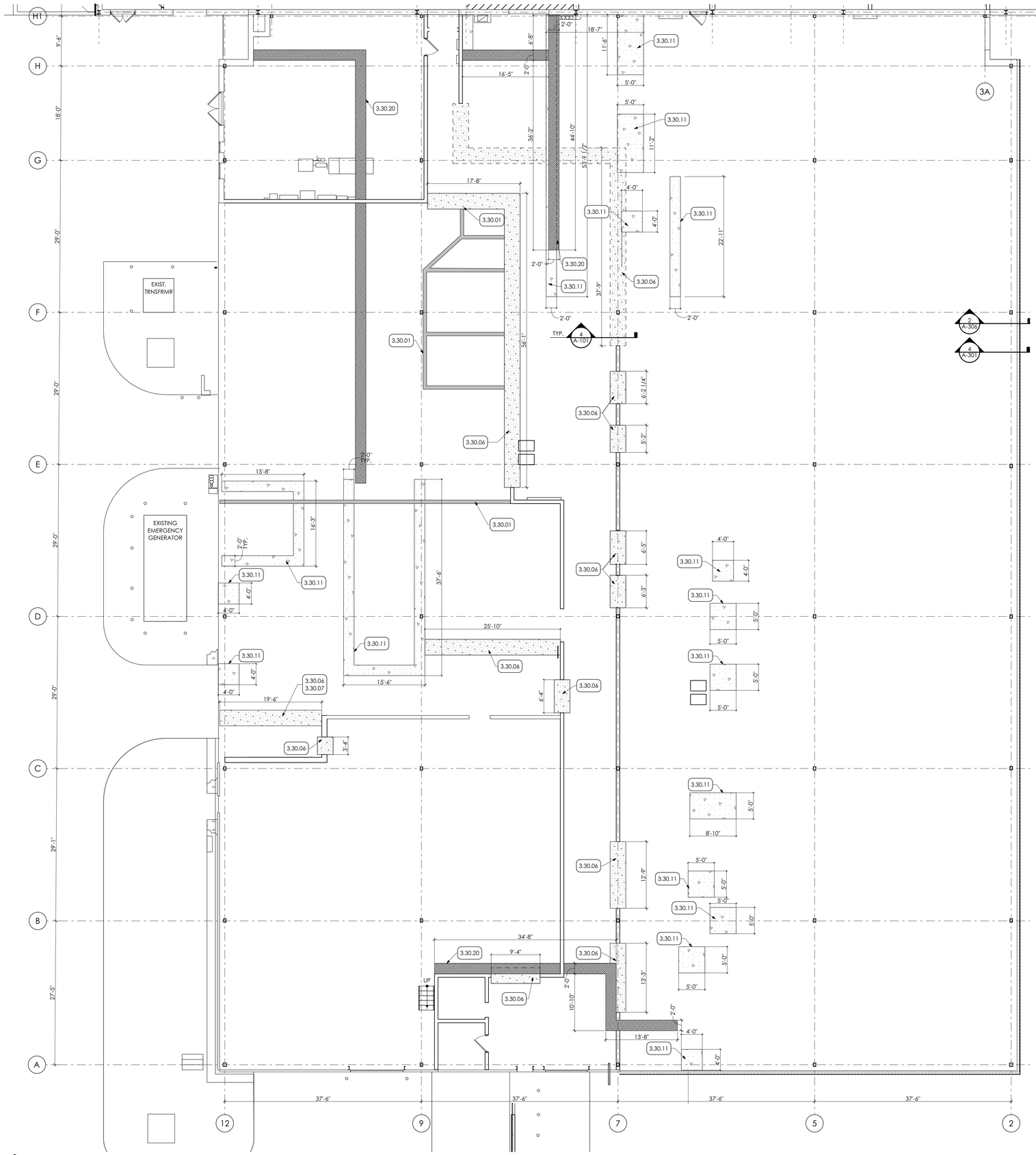
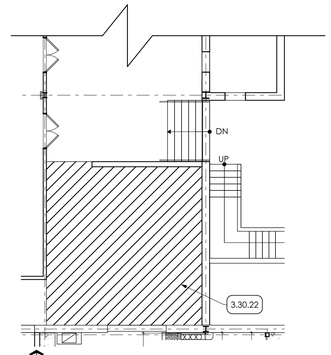
SHEET TITLE:
DEMOLITION PLANS

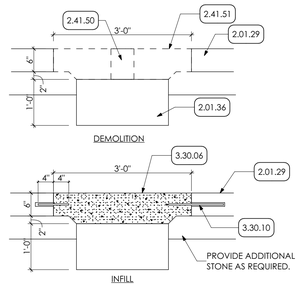
AD-101



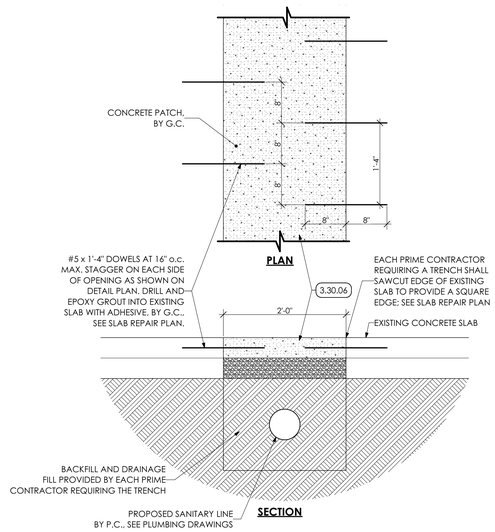
1 SLAB DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 SLAB REPAIR PLAN
SCALE: 1/8" = 1'-0"



4 SLAB REPAIR DETAIL
SCALE: 3/4" = 1'-0"



3 SLAB REPAIR DETAIL-TRENCH
SCALE: 1" = 1'-0"

KEY NOTES

02 DEMOLITION

2.01 EXISTING CONDITIONS

2.01.29 EXISTING CONCRETE SLAB TO REMAIN.
2.01.36 EXISTING CONCRETE FOOTING TO REMAIN.

2.41 SELECTIVE DEMOLITION | SPEC 024119

2.41.50 REMOVE COURSE OF EXISTING CMU BELOW CONCRETE SLAB.
2.41.51 NEATLY CUT AND REMOVE EXISTING SLAB.

03 CONCRETE

3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000

3.30.01 GRIND AND PATCH CONCRETE SLAB AT SECTION OF REMOVED CMU PARTITION.
3.30.06 FILL OPENING WITH CONCRETE TO FINISH FLUSH WITH EXISTING CONCRETE SLAB.
3.30.07 FOUNDATION STEPS IN THIS AREA. REMOVE ONE ROW OF CMU BELOW SLAB TO ALLOW FOR PATCHING.
3.30.10 #5 REBAR SET INTO EXISTING SLAB W/ EPOXY.
3.30.11 NEATLY CUT AND REMOVE CONCRETE SLAB, AND EXCAVATE FOR NEW FOOTING. BACKFILL AND PATCH CONCRETE. COORDINATE WITH STRUCTURAL DRAWINGS.
3.30.20 LOCATION OF SLAB REMOVAL OF PROPOSED SANITARY LINE. P.C. TO PROVIDE EXACT LOCATION. G.C. TO CUT SLAB AND EXCAVATE TO DEPTH REQUIRED BY P.C. P.C. PROVIDE BACKFILL. G.C. TO PROVIDE STONE BASE AND CONCRETE PATCH. COORDINATE WITH PLUMBING DRAWINGS.
3.30.22 PATCH GRIND CONCRETE AT AREAS OF REMOVED TERRAZZO.

GENERAL SHEET NOTES:

1. ALL LOCATIONS WHERE AN ADJACENT CMU PARTITION IS ADJACENT TO A DOOR BEING REMOVED, GRIND AND PATCH AROUND DOOR AND ALONG REMOVED CMU PARTITION.

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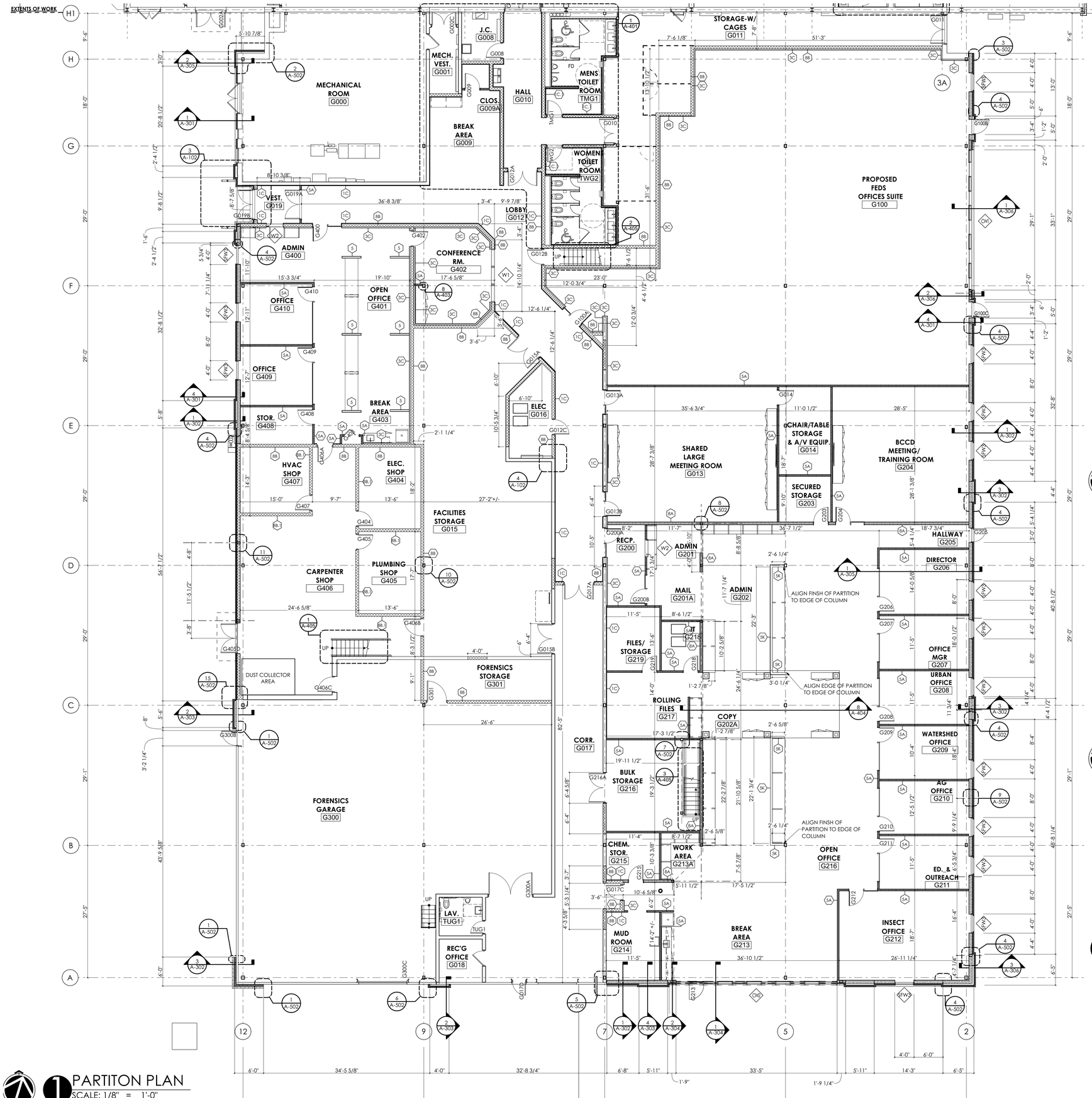
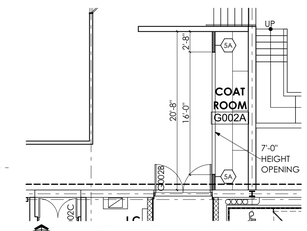
SHEET TITLE:
SLAB REPAIR PLAN

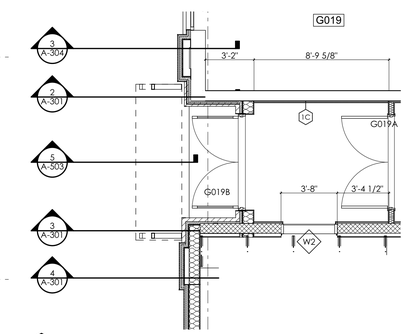
A-101



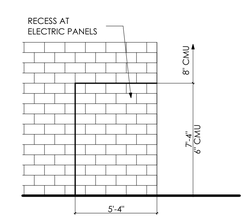
1 PARTITON PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PARTITION PLAN
SCALE: 1/8" = 1'-0"



3 ENLARGED PLAN
SCALE: 1/4" = 1'-0"



4 CMU RECESS
SCALE: 1/4" = 1'-0"

GENERAL SHEET NOTES

1. REFER TO 600 SERIES FOR SCHEDULES.
2. REFER TO SHEET A-702 FOR FINISH SCHEDULE INFORMATION.
3. ABANDONED PENETRATIONS OF EXISTING CMU PARTITIONS GREATER THAN 9 SQUARE INCHES ARE TO RECIEVE A SOAP BLOCK INFILL. SEE DETAIL 2/A-603. CONTRACTOR RESPONSIBLE FOR DEMOLITION THAT CREATED ABANDONED OPENING IS RESPONSIBLE TO PROVIDE THE SOAP BLOCK INFILL.
4. EXTERIOR PLAN DIMENSIONS ARE TO OUTSIDE FACE OF ELEMENTS.
5. PARTITION DIMENSIONS ARE TO ONE FACE OF STUD OR MASONRY FROM A COLUMN CENTER LINE OR ANOTHER PARTITION.
6. SEE SHEET A-201 FOR EXTERIOR BUILDING ELEVATIONS
7. REFER TO STRUCTURAL DRAWINGS FOR STEEL COLUMN SIZES. COORDINATE WITH FINISH COLUMN ENCLOSURE.

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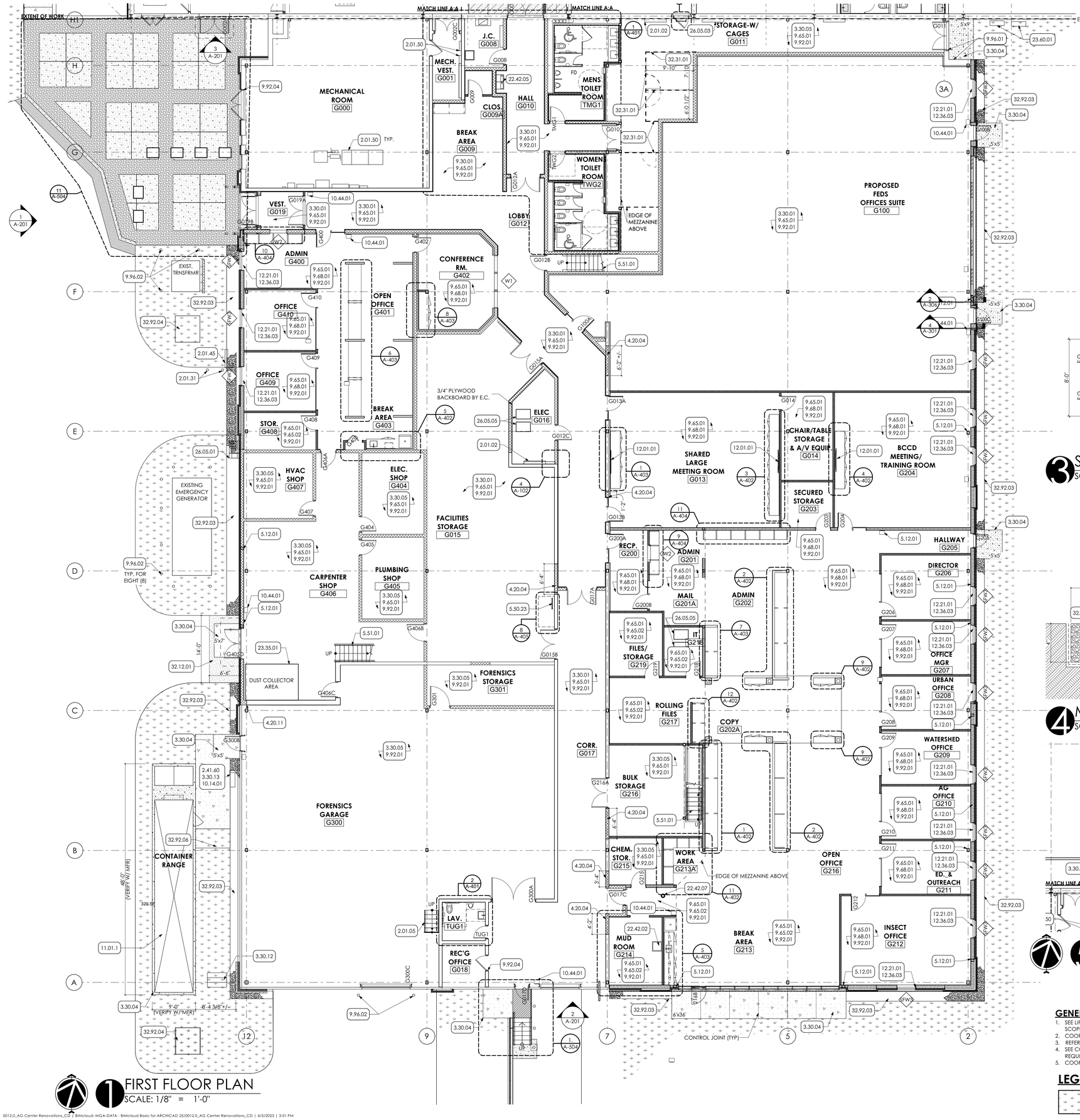
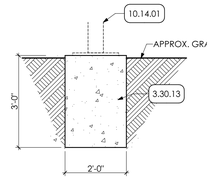
SHEET TITLE:
PARTITION PLAN

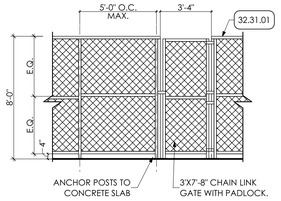
A-102



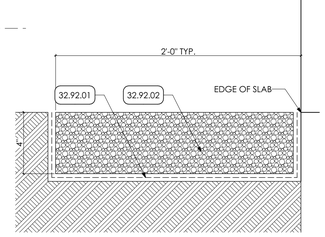
1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



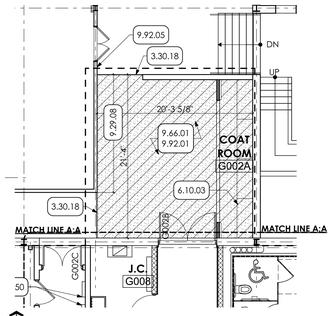
2 SIGN BASE DETAIL
SCALE: 1/2" = 1'-0"



3 STORAGE CAGE DETAIL
SCALE: 1/4" = 1'-0"



4 MOW STRIP
SCALE: 3" = 1'-0"



5 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES

1. SEE LIFE SAFETY PLANS, SHEET A-002. A-003 FOR ADDITIONAL SCOPES OF WORK.
2. COORINATE WITH 600-SERIES SHEETS FOR SCHEDULES.
3. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE PAD DETAILS.
4. SEE CODE DRAWINGS A-003, A-004, A-005 FOR SIGNAGE REQUIREMENT AND FIRE EXTINGUISHER LOCATIONS.
5. COORINATE WITH 700-SERIES SHEETS FOR FINISHES.

LEGEND

32.92.04 — SEEDING BY G.C. (APPROX. 4000 SQ. FT.)

KEY NOTES

02 DEMOLITION
- **2.01 EXISTING CONDITIONS**
- 2.01.02 EXISTING ELECTRICAL PANELS TO REMAIN.
- 2.01.05 EXISTING STAIR TO REMAIN.
- 2.01.31 EXISTING BOLLARD TO REMAIN.
- 2.01.45 EXISTING GAS METER TO REMAIN.
- 2.01.50 EXISTING ELECTRICAL EQUIPMENT
- **2.41 SELECTIVE DEMOLITION | SPEC 024119**
- 2.41.60 CAREFULLY REMOVE SIGN. STORE FOR REINSTALL

03 CONCRETE
- **3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000**
- 3.30.01 GRIND AND PATCH CONCRETE SLAB AT SECTION OF REMOVED CMU PARTITION.
- 3.30.04 CAST-IN-PLACE CONCRETE PAD WITH DRAINAGE FILL. COORDINATE WITH STRUCTURAL DRAWING.
- 3.30.05 PREP AND SEAL ENTIRE SURFACE OF EXISTING CONCRETE SLAB.
- 3.30.12 REINSTALL SIGN ON NEW CONCRETE FOUNDATION.
- 3.30.13 EXCAVATE FOR NEW SIGN BASE. PROVIDE CONCRETE SIGN BASE PER DETAIL AND BACKFILL.
- 3.30.18 TRANSITION STRIPE.

04 MASONRY
- **4.22 CMU MASONRY | SPEC 042000**
- 4.20.04 INFILL EXISTING OPENING WITH CMU TO MATCH EXISTING WALL THICKNESS (ASSUMED TO BE 8") FINISH FLUSH WITH ADJACENT SURFACE. TOOTH NEW CMU INTO EXISTING.
- 4.20.11 EXTEND EXISTING CMU WALL TO NEW. TOOTH NEW CMU INTO EXISTING CMU.

05 METALS
- **5.12 STRUCTURAL STEEL FRAMING | SPEC 051200**
- 5.12.01 STEEL COLUMN: COORDINATE WITH STRUCTURAL DRAWINGS.
- **5.50 METAL FABRICATIONS | SPEC 055000 I SPEC 055213**
- 5.50.23 WALL MOUNTED METAL LADDER WITH INTERMEDIATE LANDING PLATFORM.
- **5.51 METAL STAIRS | SPEC 055100**
- 5.51.01 CONCRETE FILLED METAL PAN STAIRS.

06 WOODS, PLASTICS AND COMPOSITES
- **6.10 ROUGH CARPENTRY | SPEC 061000**
- 6.10.03 WOOD SHELVING FOR WIDTH OF CLOSET. PROVIDE A 36" LENGTH OF SHLVING AT ADA HEIGHT.

09 FINISHES
- **9.29 GYPSUM BOARD | SPEC 092900**
- 9.29.08 EXTEND EXISTING PLASTER WALL FLUSH TO UNDERSIDE OF NEW PLASTER CEILING. FINISH FLUSH WITH ADJACENT EXISTING SURFACES.
- **9.30 CERAMIC TILING | SPEC 093013**
- 9.30.01 CERAMIC COVE BASE PROFILE FOR PERIMETER OF ROOM. COORINDATE WITH FINISH SCHEDULE.
- **9.65 RESILIENT BASE | SPEC 096513**
- 9.65.01 4" HIGH RUBBER COVE BASE CONTINUOUS FOR PERIMETER OF ROOM OR CORRDIER.
- 9.65.02 PROVIDE LVT OVER HYDRAULIC CEMENT UNDERLAYMENT THROUGHT ENTIRE ROOM RO CORRIDOR. PREP SUBSTRATE AS REQUIRED PER MANUFACTURES RECOMENDATIONS.
- **9.66 TERRAZZO FLOORING | SPEC 096600**
- 9.66.01 PATCH TERRAZZO FLOORING TO FINISH FLUSH WITH ADJACENT SURFACE. COLOR TO MATCH EXISTING.
- **9.68 CARPETING | SPEC 096800 I 035416**
- 9.68.01 PROVIDE CARPET TILE OVER HYDRAULIC CEMENT UNDERLAMENT THROUGHT ROOM OR CORRIDOR. PREP SUBSTRATE AS REQUIRED PER MANUFACTURE RECOMENDATIONS.
- **INTERIOR PAINTING I SPEC 099123**
- 9.92.01 PREP, PRIME, PAINT (TWO (2) COATS) ALL WALLS IN ROOM, UNLESS SPECFIC WALLS NOTED OTHERWISE. PAINT ENITRE WALL, INCLUDING EXPSOED CONDUIT, FROM FLOOR TO 4" ABOVE NEW CEILING GRID OR TO ROOF DECK IN AREAS OF OPEN CEILINGS.
- 9.92.04 PREP, PRIME, PAINT (TWO (2) COATS) ENTIRE EXISTING DOOR FRAME
- 9.92.05 DO NOT PAINT MURALS.
- **9.96 HIGH-PERFORMANCE COATING I SPEC 099600**
- 9.96.01 PREP, PRIME, PAINT (2 COATS) ENTIRE SURFACE WITH HIGH PERFORMANCE COATING.
- 9.96.02 PREP AND PAINT (TWO (2) COATS) EXISTING PIPE BOLLARDS.

10 SPECIALTIES
- **10.14 SIGNAGE**
- 10.14.01 REINSTALL EXISTING SIGN ON NEW CONCRETE FONDATION. UTILZING EXISTING MOUNTING HOLES.
- **10.44 FIRE PROTECTION SPECIALTIES | SPEC 104400**
- 10.44.01 FIRE EXTINGUISHER WITH FIRE PRTECTION CABINET

11 EQUIPMENT
- **11.01 EQUIPMENT I BY OWNER**
- 11.01.1 CONTAINER RANGE PROVIDED AND INSTALLED BY OWNER.

12 FURNISHINGS
- **12.01 AV EQUIPMENT**
- 12.01.01 WALL MOUNTED TELEVISION AND BRACKET PROVIDED BY AND INSTALLED BY OWNER.
- **12.21 HORIZONTAL LOUVER BLINDS| SPEC 122413**
- 12.21.01 MANUALLY OPERATED HORIZONTAL BLINDS FOR FULL LENGTH OF WINDOW OPENING.
- **12.36.1 SOLID SURFACE COUNTERTOP I SPEC 123661.16**
- 12.36.03 SOLID SURFACE WINDOW SILL FOR WIDTH OF OPENING.

22 PLUMBING | BY P.C.
- 22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.
- **22.42 COMMERCIAL PLUMBING FIXTURES**
- 22.42.02 NEW UTILITY SINK.
- 22.42.05 ADA COMPLIANT HI-LOW DRINKING FOUNTAINS.
- 22.42.07 FLOOR DRAIN: COORDINATE w/ PLUMBING DRAWINGS.

23 HVAC | BY H.C.
- 23 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.
- **23.35 SPECIAL EXHAUST SYSTEMS**
- 23.35.01 REINSTALL STORED DUST COLLECTOR.
- **23.60 CENTRAL COOLING EQUIPMENT**
- 23.60.01 REINSTALL EXISTING CONDENSOR UNITS AND PADS.

26 ELECTRICAL | BY E.C.
- 26 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE E.C. UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL DRAWING.
- **26.05 COMMON WORK RESULTS FOR ELECTRICAL**
- 26.05.01 EXISTING ELECTRICAL CONDUIT.
- 26.05.03 REINSTALL STORED ELECTRICAL PANELS.
- 26.05.05 RACKS BY E.C.

32 EXTERIOR IMPROVEMENTS
- **32.12 ASPHALT PAVING | SPEC 321216**
- 32.12.01 NEATLY CUT EXISTING ASPHALT AND EXCAVATE FOR NEW CONCRETE SLAB, BACKFILL AND PATCH EXISTING ASPHALT AS REQUIRED TO FINISH FLUSH WITH ADJACENT SURFACE.
- **32.31 CHAIN LINK FENCES AND GATES I SPEC 3231113**
- 32.31.01 NEW METAL MESH STORAGE FENCING WITH SWING DOOR.
- **32.92 TURF AND GRASSES | SPEC 329200**
- 32.92.01 WEED BARRIER
- 32.92.02 #4 WASHED RIVER STONE.
- 32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.
- 32.92.04 BACKFILL TO FINISH FLUSH WITH ADJACENT GRADE AND PROVIDE SEED, BY G.C.
- 32.92.06 EXCAVATION AND BACKFILL FOR ELECTRIC CONDUIT AND PLUMBING LINES BY G.C. E.C. AND P.C. TO RUN THEIR OWN LINES. COORINDATE WITH ELETRICAL AND PLUMBING DRAWINGS.

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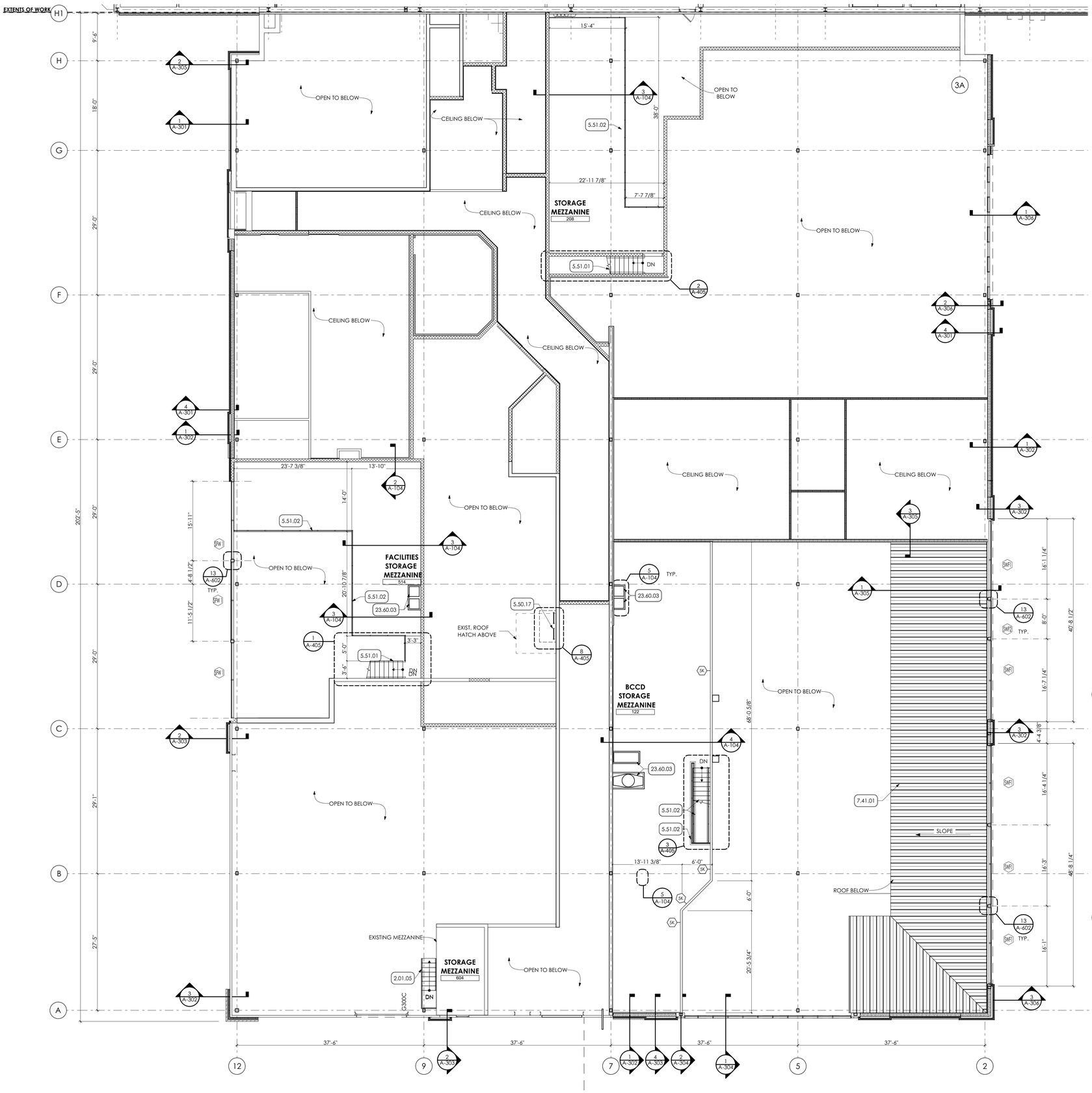
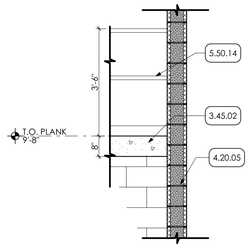
SHEET TITLE:
KEYNOTE PLAN

A-103



1 MEZZANINE / HIGH WINDOW PLAN
SCALE: 1/8" = 1'-0"



2 SECTION DETAIL
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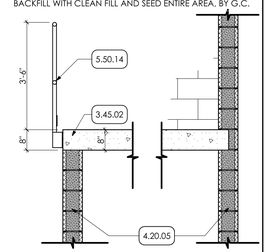

3 SECTION DETAIL
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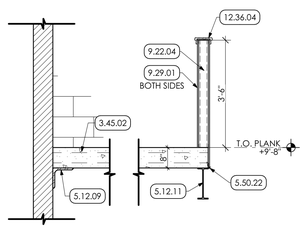

4 SECTION DETAIL
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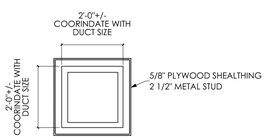
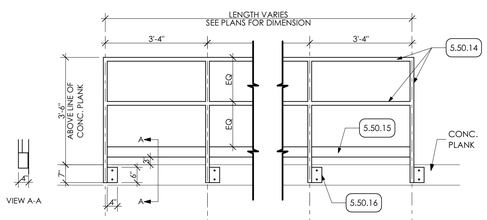


5 DUCT PROTECTION
SCALE: 1/2" = 1'-0"



6 TYPICAL RAILING DETAIL
SCALE: 1/2" = 1'-0"

GENERAL SHEET NOTES

1. REFER TO 600 SERIES SHEETS FOR SCHEDULES.

KEY NOTES

01 GENERAL CONSTRUCTION
1.50 GENERAL CONSTRUCTION NOTE
1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE GATES WITH PADLOCK.

02 DEMOLITION
2.01 EXISTING CONDITIONS
2.01.05 EXISTING STAIR TO REMAIN.

03 CONCRETE
3.45 PRECAST ARCHITECTURAL CONCRETE COORDINATE WITH STRUCTURAL DRAWINGS
3.45.02 8" PRECAST CONCRETE PLANK

04 MASONRY
4.22 CMU MASONRY | SPEC 042000
4.20.05 8" CMU GROUTED SOLID. COORINDATE WITH STRUCTURAL DRAWINGS.

05 METALS
5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
5.12.09 STEEL ANGLE: COORDINATE w/ STRUCTURAL DRAWINGS.
5.12.11 SCHEDULED BEAM: COORDINATE w/ STRUCTURAL DRAWINGS.
5.50 METAL FABRICATIONS | SPEC 055000 I SPEC 055213
5.50.14 1 1/2" DIA. STEEL PIPE GUARDRAIL, 42" HIGH, PREP AND PAINTED.
5.50.15 1/4" x 4" H. STEEL KICK PLATE, PREP AND PAINTED.
5.50.16 1/4"x4"x6" STEEL ANGLE WELDED TO STEEL POST WITH TWO (2) 3/4" MOUNTING HOLES, PREP AND PAINTED.
5.50.17 WALL MOUNTED METAL LADDER WITH CAGE TO ROOF HATCH ABOVE
5.50.22 12ga. CONTINUOUS ALUMINUM J-CHANNEL.
5.51 METAL STAIRS | SPEC 055100
5.51.01 CONCRETE FILLED METAL PAN STAIRS.
5.51.02 1 1/2" DIA. METAL PIPE GUARDRAIL AT 42" HT. AND HANDRAIL AT 36" HT. PREP AND PAINT.

07 THERMAL AND MOISTURE PROTECTION
7.41 METAL ROOF PANELS | SPEC 074113
7.41.01 STANDING SEAM METAL ROOF PANEL.

09 FINISHES
9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
9.22.04 3 5/8" METAL STUD FRAMING AT 16" o.c.
9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD

12 FURNISHINGS
12.36 QUARTZ AGGLOMERATE COUNTERTOPS | SPEC 123661.19
12.36.04 QUARTZ WALL CAP FOR LENGTH OF WALL.

23 HVAC | BY H.C.
23 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.
23.60 CENTRAL COOLING EQUIPMENT
23.60.03 HOT WATER COIL BY H.C.

32 EXTERIOR IMPROVEMENTS
32.20 SITEWORK
32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE MINIMUN 8" OF AASHTO #2A STONE.
32.92 TURF AND GRASSES | SPEC 329200
32.92.05 AT THE COMPLETION OF THE WORK, REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA, BY G.C.

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22-0012

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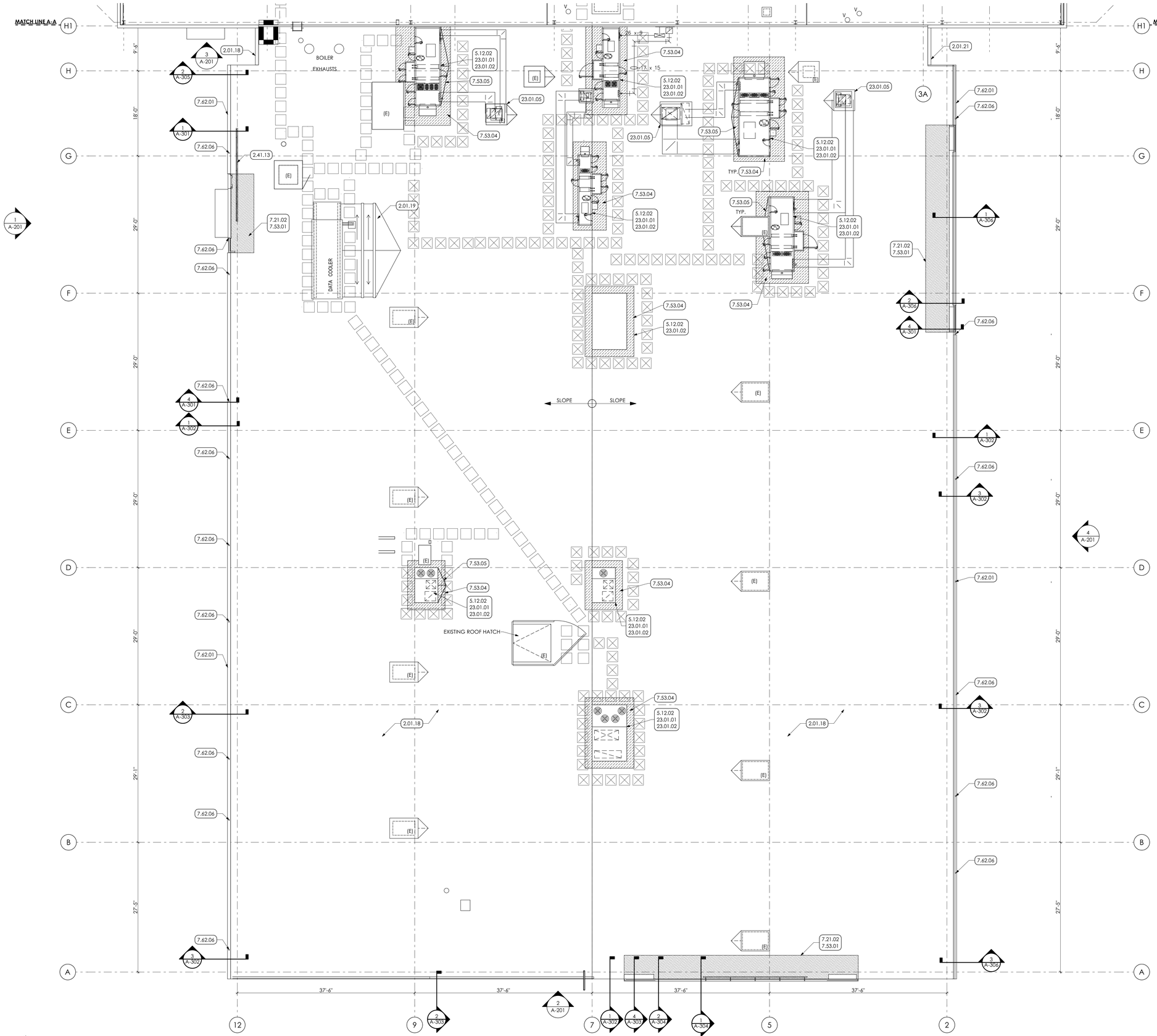
SHEET TITLE:
MEZZANINE PLAN AND DETAILS

A-104



ROOF PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

01 GENERAL CONSTRUCTION
1.50 GENERAL CONSTRUCTION NOTE
1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE GATES WITH PADLOCK.

02 DEMOLITION
2.01 EXISTING CONDITIONS
2.01.18 EXISTING EPDM MEMBRANE ROOF MEMBRANE. G.C. TO PROTECT AS REQUIRED IN AREAS OF WORK.
2.01.19 EXISTING DATA COOLER TO REMAIN.
2.01.21 EXISTING GUTTER TO REMAIN.
2.01.49 EXISTING WALKPADS TO REMAIN.
2.41 SELECTIVE DEMOLITION | SPEC 024119
2.41.13 REMOVE EXISTING RAILING.

05 METALS
5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
5.12.02 ROOF TOP SUPPORT FRAMING BY G.C. COORDINATE LOCATION OF UNIT WITH H.C. AND COORDINATE WITH STRUCTURAL DRAWINGS.

07 THERMAL AND MOISTURE PROTECTION
7.21 THERMAL INSULATION | SPEC 072100
7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION, TO MATCH EXISTING INSULATION THICKNESS. BY G.C.
7.53 ELASTOMERIC ROOFING | SPEC 075323
7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXSTING MEMBRANE THICKNESS.
7.53.04 PATCH AREA SHOWN AROUND NEW ROOF TOP UNITS WITH EPDM MEMBRANE TO MATCH EXSTING MEMBRANE THICKNESS AND TO MAINTAIN EXISTING WARRANTY. EPDM TO EXTEND UP FACE OF ROOF TOP CURB.
7.53.05 TAPERED INSULATION SLOPED AT 1/4 INCH PER FOOT.
7.53.10 NEW EPDM WALKWAY PADS. MATCH EXISTING ROOF PADS.
7.62 SHEET METAL FLASHING/TRIM | SPEC 076200
7.62.01 PREFINISHED 6"X6" METAL BOX GUTTER COMPLETE WITH END PIECES, OUTLET TUBES AND OTHER ACCESSORIES AS REQUIRED. FURNISH FLAT STOCK GUTTER BRACKETS AND FLAT STOCK GUTTER BRACKETS AND SPACERS FABRICATED FROM SAME METAL AS GUTTER WITH THICKNESS NOT LESS THAN TWICE THE GUTTER THICKNESS.
7.62.06 PREFINISHED 3" □ DOWNSPOUT WITH MITERED ELBOWS FURNISH WITH METAL HANGERS FROM SAME MATERIAL AS DOWNSPOUT AND ANCHORS. CONNECT TO UNDERGROUND STORM WATER SYSTEM.

23 HVAC | BY H.C.
23 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.
23.01 ROOF TOP UNITS
23.01.01 ROOF TOP UNITS.
23.01.02 NEW ROOF TOP CURBS PROVIDED BY H.C. AND INSTALLED BY G.C. H.C. TO LOCATE CURBS ON ROOF PRIOR TO INSTALLATION OF STEEL JOIST REINFORCING.
23.01.05 METAL CAP OVER OPENING BY H.C.

32 EXTERIOR IMPROVEMENTS
32.20 SITEWORK
32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE MINIMUN 8" OF AASHTO #2A STONE.
32.92 TURF AND GRASSES | SPEC 329200
32.92.05 AT THE COMPLETION OF THE WORK. REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA. BY G.C.

GENERAL SHEET NOTE

1. COORDINATE RTU LOCATIONS WITH MECHANICAL PLANS
2. PATCHING AREAS NOTED ARE APPOXIMATE. G.C. TO V.I.F.
3. G.C. TO REVIEW ELECTRICAL, PLUMBING, AND MECHANICAL PLANS FOR ROOF PENETRATIONS. ALL PRIMES TO COORDINATE WITH G.C. FOR ANY ROOF PENETRATIONS. G.C. IS RESPONSIBLE TO PREPARE ROOF PENETRATIONS AND PROVIDE PATCHING OF EPDM.
4. SEE STRUCTURAL DRAWINGS FOR NEW RTU SUPPORT. G.C. TO COORDINATE LOCATIONS OF SUPPORTS WITH H.C. H.C. TO PROVIDE G.C. WITH CUT SHEETS OF UNITS.
5. SEE SHEET A-502 FOR TYPICAL ROOF DETAILS

ROOF PLAN LEGEND

(E) EXISTING TO REMAIN
7.53.04
2.01.49
7.53.10

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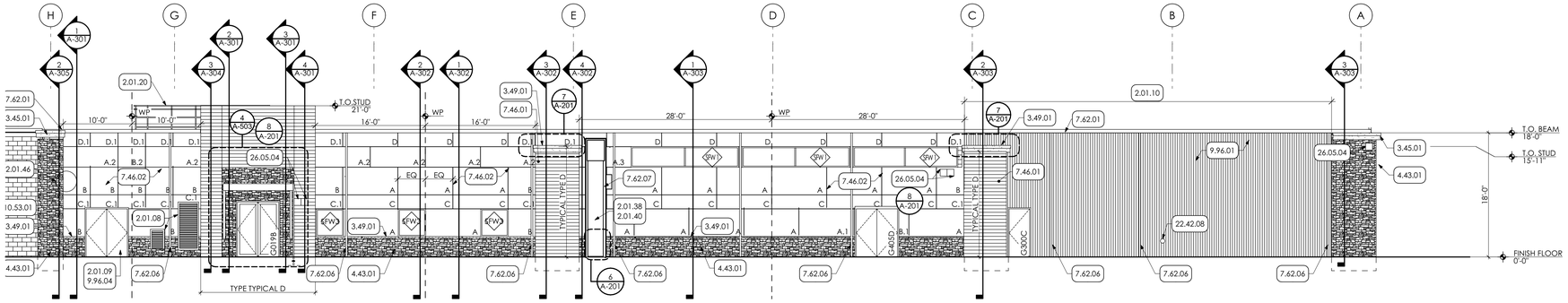
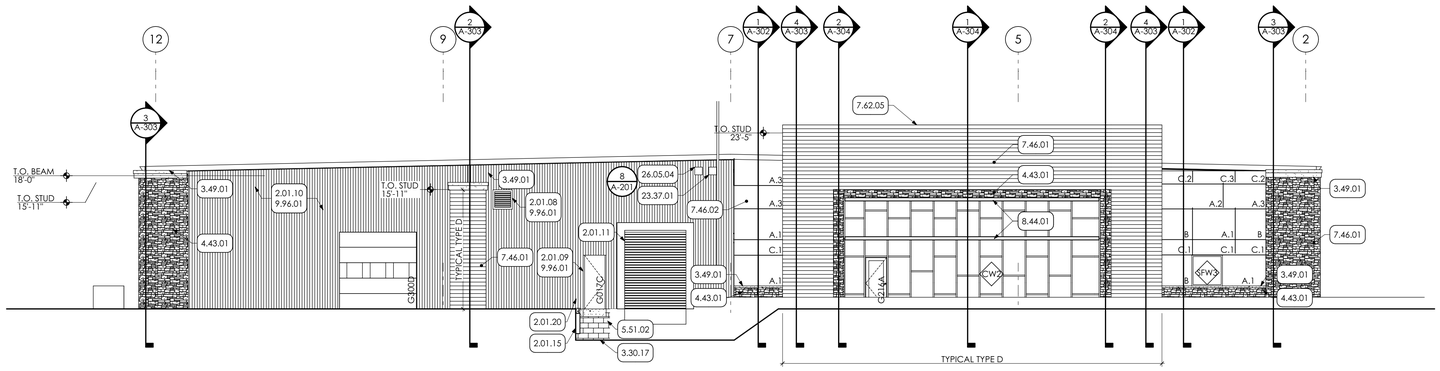
SHEET TITLE:
ROOF PLAN

A-105



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
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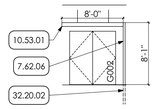

3 PARTIAL SOUTH ELEVATION
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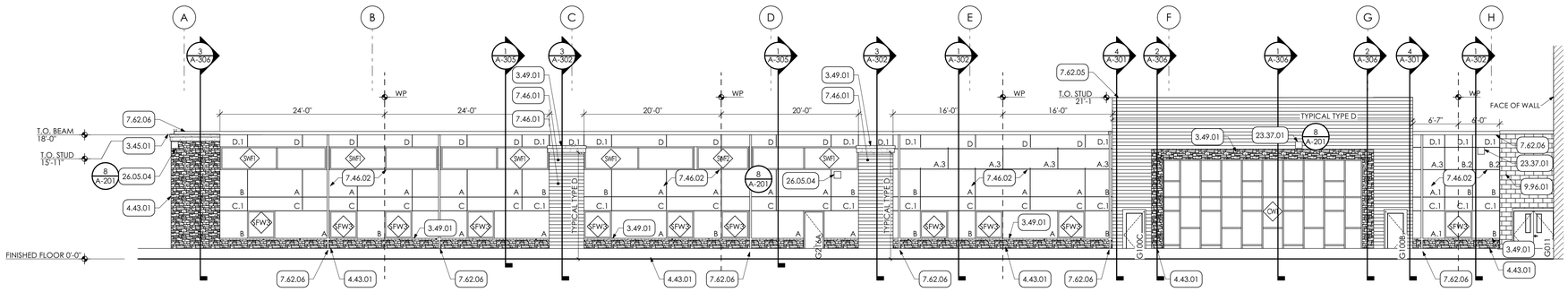

4 EAST ELEVATION
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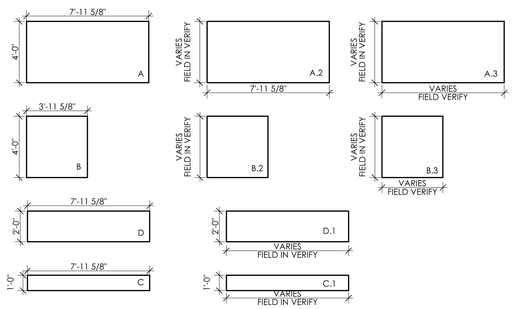
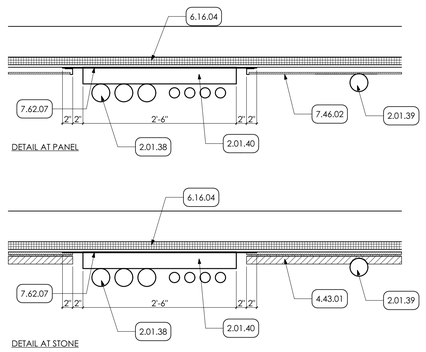
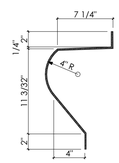


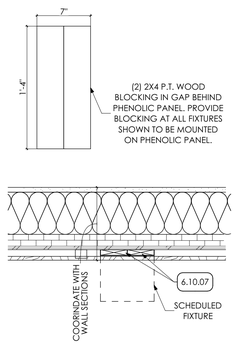
5 PHENOLIC PANEL LEGEND
SCALE: 1/4" = 1'-0"



6 CONDUIT DETAIL
SCALE: 1" = 1'-0"



7 GFRC PROFILE
SCALE: 1 1/2"= 1'-0"



8 PANEL BLOCKING DETAIL
SCALE: 1 1/2"= 1'-0"

KEY NOTES

02 DEMOLITION
- **2.01 EXISTING CONDITIONS**
- 2.01.08 EXISTING LOUVERS TO REMAIN.
- 2.01.09 EXISTING DOOR TO REMAIN.
- 2.01.10 EXISTING INSULATED METAL PANEL TO REMAIN.
- 2.01.11 EXISTING OVERHEAD DOOR TO REMAIN.
- 2.01.15 EXISTING RETAINING WALL TO REMAIN
- 2.01.20 EXISTING RAILING TO REMAIN.
- 2.01.38 EXISTING CONDUIT TO REMAIN IN PLACE. E.C. TO PROVIDE TEMPORARY SUPPORT.
- 2.01.39 EXISTING GAS LINE.
- 2.01.40 EXISTING UNISTRUT TO SUPPRT ELECTRICAL CONDUIT. ATTACH TO NEW WALL SHEATHING.
- 2.01.46 EXISTING VENT TO REMAIN.

03 CONCRETE
- **3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000**
- 3.30.17 NEW CAST IN PLACE CONCRETE STAIR.
- **3.45 PRECAST ARCHITECTURAL CONCRETE COORDINATE WITH STRUCTURAL DRAWINGS**
- 3.45.01 CONCRETE CAP
- **3.49 GFRC | SPEC 034900**
- 3.49.01 GFRC DECORATIVE TRIM

04 MASONRY
- **4.43 MANUFACTURED MASONRY VENEER | SPEC 047300**
- 4.43.01 MANUFACTURED MASONRY VENEER

05 METALS
- **5.51 METAL STAIRS | SPEC 055100**
- 5.51.02 1 1/2" DIA. METAL PIPE GUARDRAIL AT 42" HT. AND HANDRAIL AT 36" HT. PREP AND PAINT.

06 WOODS, PLASTICS AND COMPOSITES
- **6.10 ROUGH CARPENTRY | SPEC 061000**
- 6.10.07 1X4X12" PRESERVATIVE TREATED WOOD BLOCKING
- **6.16 SHEATHING | SPEC 061600**
- 6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

07 THERMAL AND MOISTURE PROTECTION
- **7.46 SIDING | SPEC 074646**
- 7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM. COLOR 1.
- 7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTERNS. COLOR 2.
- **7.62 SHEET METAL FLASHING/TRIM | SPEC 076200**
- 7.62.01 PREFINISHED 6"X6" METAL BOX GUTTER COMPLETE WITH END PIECES, OUTLET TUBES AND OTHER ACCESSORIES AS REQUIRED. FURNISH FLAT STOCK GUTTER BRACKETS AND FLAT STOCK GUTTER BRACKETS AND SPACERS FABRICATED FROM SAME METAL AS GUTTER WITH THICKNESS NOT LESS THAN TWICE THE GUTTER THICKNESS.
- 7.62.05 METAL FASCIA (BASIS OF DESIGN: HICKMAN (AN ETL COMPANY); TERMINEDGE EX FASCIA; 7" FASCIA HEIGHT)
- 7.62.06 PREFINISHED 3" □ DOWNSPOUT WITH MITERED ELBOWS FURNISH WITH METAL HANGERS FROM SAME MATERIAL AS DOWNSPOUT AND ANCHORS. CONNECT TO UNDERGROUND STORM WATER SYSTEM.
- 7.62.07 METAL FLASHING TO EXTEND FOR FULL HEIGHT OF CONDUIT RECESS.

08 OPENINGS
- **8.44 ALUMINUM CURTAINWALLS | SPEC 084413**
- 8.44.01 OUTRIGGER SYSTEM

09 FINISHES
- **9.96 HIGH-PERFORMANCE COATING I SPEC 099600**
- 9.96.01 PREP, PRIME, PAINT (2 COATS) ENTIRE SURFACE WITH HIGH PERFORMANCE COATING.
- 9.96.04 PREP, PRIME, PAINT (TWO (2) COATS) ENTIRE DOOR FRAME AND DOOR.

10 SPECIALTIES
- **10.53 ALUMINUM CANTELEIVER CANOPY I SPEC 084413**
- 10.53.01 PREMANUFACTURED HANGER-ROD CANOPY

22 PLUMBING | BY P.C.
- 22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.
- **22.42 COMMERCIAL PLUMBING FIXTURES**
- 22.42.08 HOSE BIB; COORDINATE w/ PLUMBING DRAWINGS.

23 HVAC | BY H.C.
- 23 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.
- **23.37 DIFFUSER, REGISTERS AND GRILLES | SPEC 233713**
- 23.37.01 EXHAUST VENT BY H.C. G.C TO PROVIDE WOOD BLOCKING BEHIND PANELS AS REQUIRED.

26 ELECTRICAL | BY E.C.
- 26 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE E.C. UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL DRAWING.
- **26.05 COMMON WORK RESULTS FOR ELECTRICAL**
- 26.05.04 INSTALL SECURITY CAMERAS BY E.C.. G.C TO PROVIDE WOOD BLOCKING BEHIND PANELS AS REQUIRED.

32 EXTERIOR IMPROVEMENTS
- **32.20 SITEWORK**
- 32.20.02 NEW 8" PVC STORMWATER PIPING. COORINDATE WITH ROOF DRAIN COLLECTOR DETAIL. PROVIDE POSTIVE SLOPE AND TIE INTO EXISTING STORMWATER SYSTEM AS SHOWN. INCLUDE EXCAVATION. REMOVE OF EXISTING STORM LINE. AND BACKFILL AS REQUIRED.

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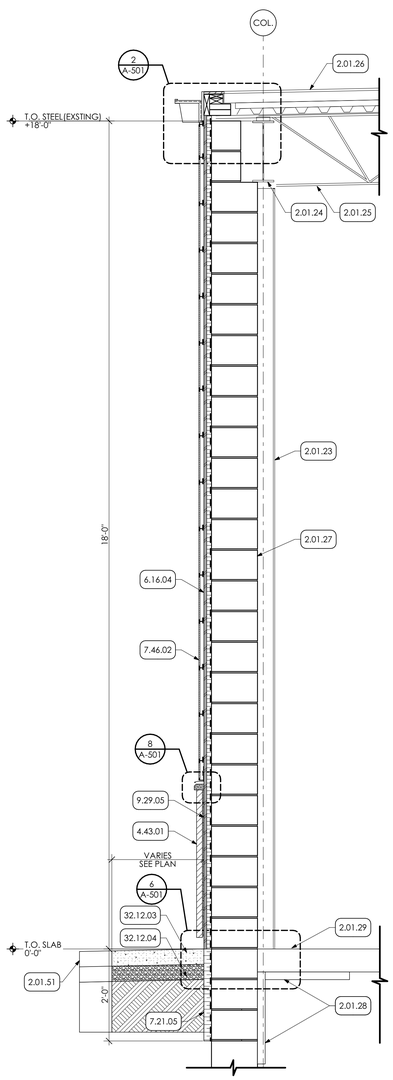
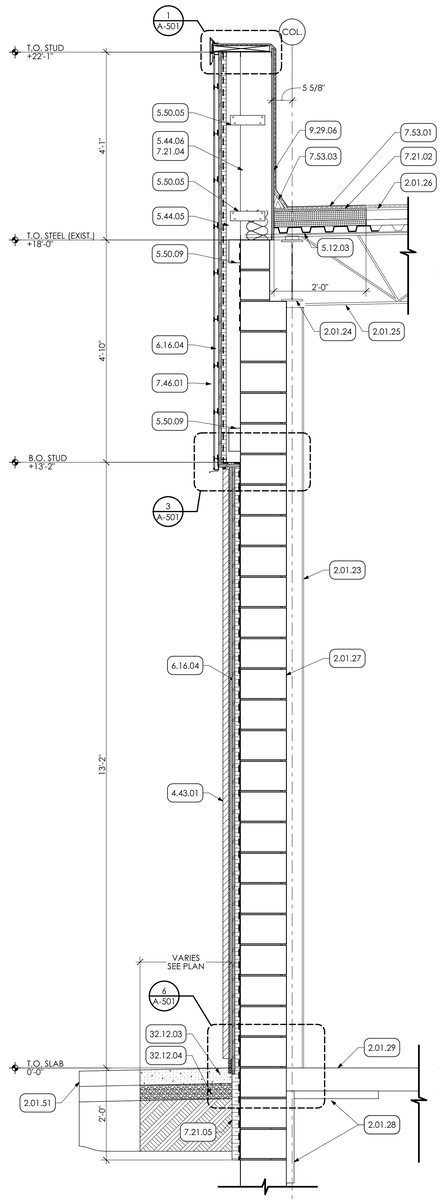
SHEET TITLE:
ELEVATIONS

A-201



1 WALL SECTION
SCALE: 3/4" = 1'-0"



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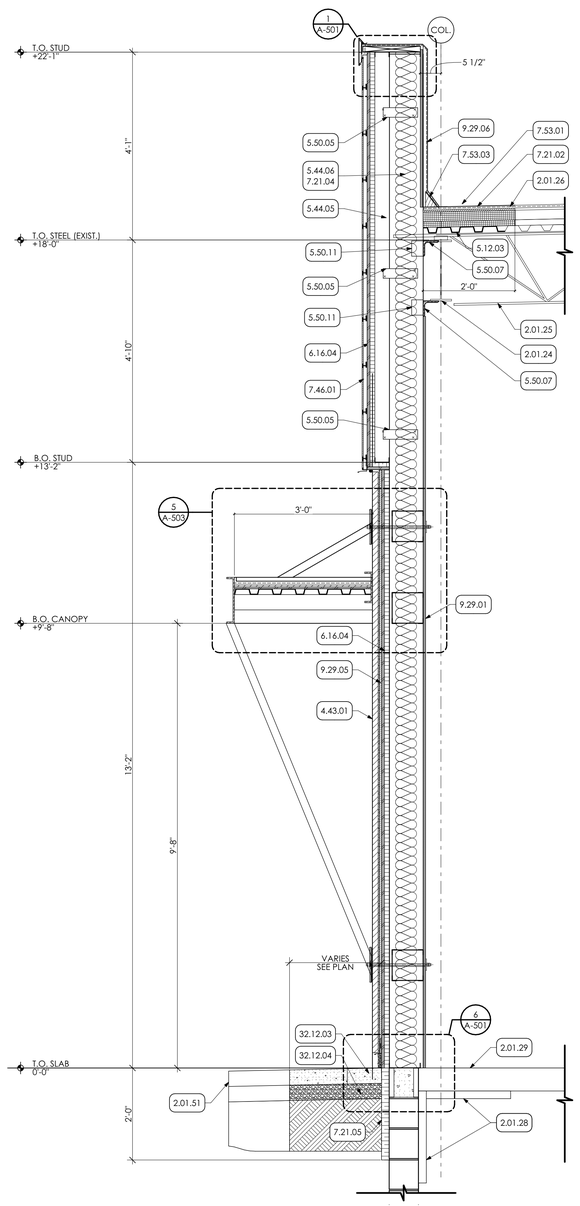

3 WALL SECTION
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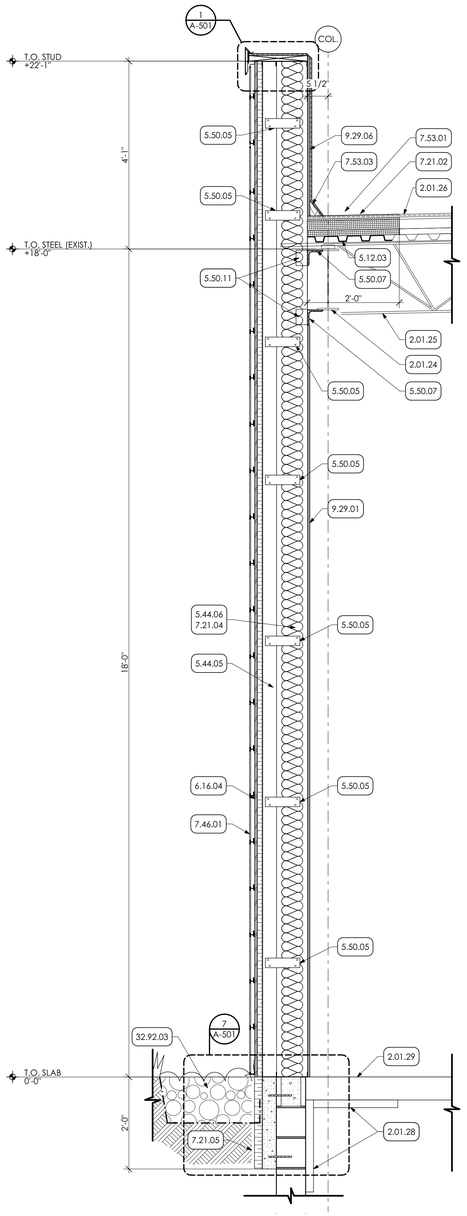

4 WALL SECTION
SCALE: 3/4" = 1'-0"

KEY NOTES

02 DEMOLITION

2.01 EXISTING CONDITIONS
2.01.23 EXISTING COLUMN TO REMAIN.
2.01.24 EXISTING BEAM TO REMAIN.
2.01.25 EXISTING JOIST TO REMAIN.
2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.
2.01.27 EXISTING CMU WALL TO REMAIN.
2.01.28 EXISTING RIGID INSULATION TO REMAIN.
2.01.29 EXISTING CONCRETE SLAB TO REMAIN.
2.01.51 EXISTING ASPHALT TO REMAIN.

04 MASONRY

4.43 MANUFACTURED MASONRY VENEER | SPEC 047300
4.43.01 MANUFACTURED MASONRY VENEER

05 METALS

5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
5.12.03 INFILL AREA SHOWN WITH NEW METAL DECKING. TO MATCH EXISTING METAL DECKING. BY G.C.

5.44 COLD FRAMED METAL FRAMING | SPEC 054000
5.44.05 3 5/8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS.
5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS.

5.50 METAL FABRICATIONS | SPEC 055000 I SPEC 055213
5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.09 14 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.

06 WOODS, PLASTICS AND COMPOSITES

6.16 SHEATHING | SPEC 061600
6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

07 THERMAL AND MOISTURE PROTECTION

7.21 THERMAL INSULATION | SPEC 072100
7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION. TO MATCH EXISTING INSULATION THICKNESS. BY G.C.
7.21.04 R-19 BATT INSULATION
7.21.05 2" RIGID INSULATION

7.46 SIDING | SPEC 074646
7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM. COLOR 1.
7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTERNS. COLOR 2.

7.53 ELASTOMERIC ROOFING | SPEC 075323
7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXSTING MEMBRANE THICKNESS.
7.53.03 CANT STRIP

09 FINISHES

9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD
9.29.05 1/2" CEMENT BOARD.
9.29.06 1/2" COVERBOARD EXTEND FROM TOP OF DECKING TO TOP OF PARAPET.

32 EXTERIOR IMPROVEMENTS

32.12 ASPHALT PAVING | SPEC 321216
32.12.03 ASPHALT PAVING
32.12.04 CRUSHED STONE

32.92 TURF AND GRASSES | SPEC 329200
32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.

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610.376.4927
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PROJECT #:
22-0012

PROFESSIONAL SEAL

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JIMS@MG-Architects.com

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BERKS COUNTY AGRICULTURAL CENTER
FACILITY UPGRADES
1238 COUNTY WELFARE ROAD LEESPORT, PA 19533

ISSUED
DATE: ISSUED 3/30/23

ID	DESCRIPTION	DATE

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P.M. e-MAIL: JIMS@MG-Architects.com
DRAWN BY: DK, SG, BB, JS
CLIENT PROJ #: -

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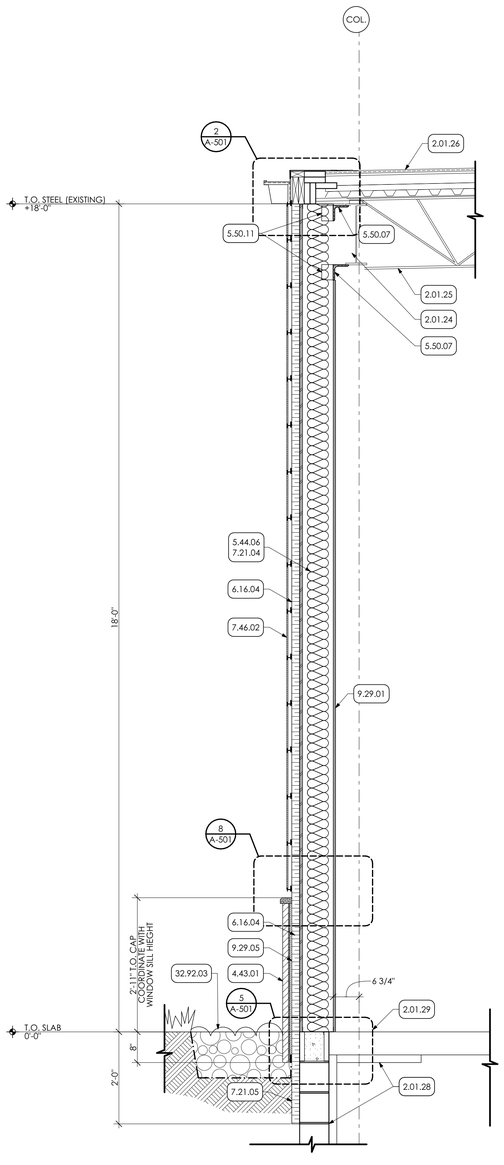
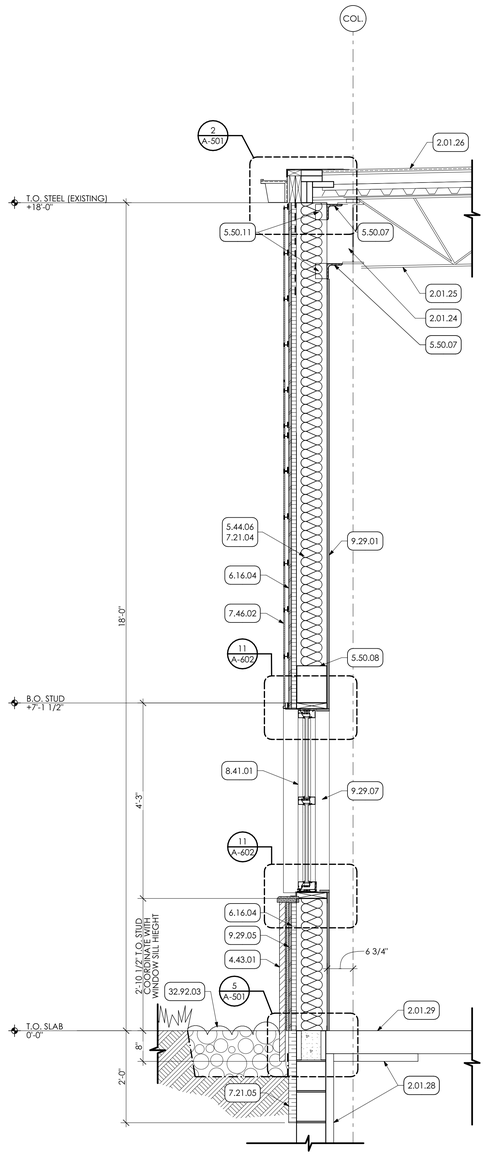
SHEET TITLE:
WALL SECTIONS

A-301



1 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
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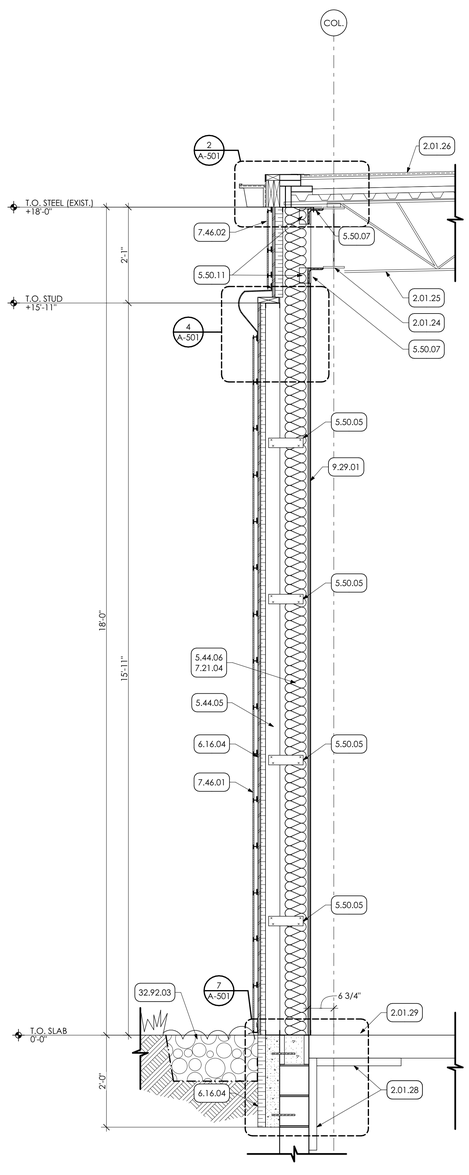

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2.01.29 EXISTING CONCRETE SLAB TO REMAIN.

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4.43.01 MANUFACTURED MASONRY VENEER

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5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.
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7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM. COLOR 1.
7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTERNS. COLOR 2.

08 OPENINGS
8.41 ALUMINUM STOREFRONTS | SPEC 084113
8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM

09 FINISHES
9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD
9.29.05 1/2" CEMENT BOARD.
9.29.07 GYPSUM BOARD RETURN

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32.92 TURF AND GRASSES | SPEC 329200
32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.

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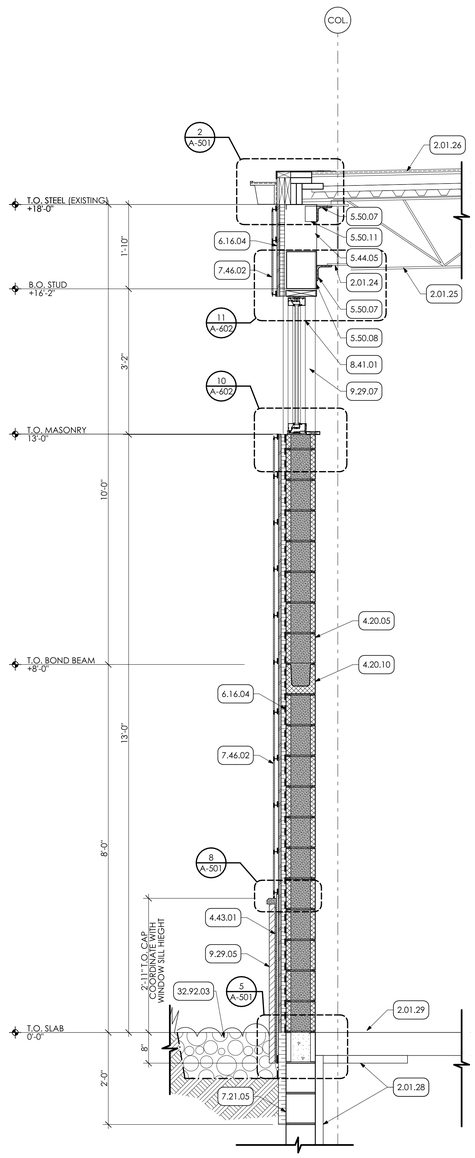
SHEET TITLE:
WALL SECTIONS

A-302



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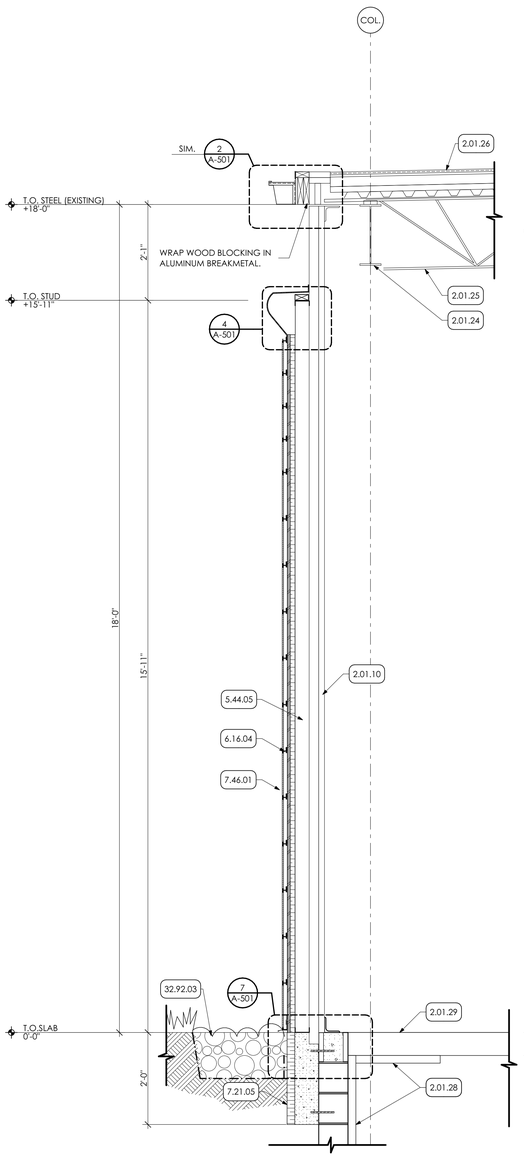
SCALE: 3/4" = 1'-0"



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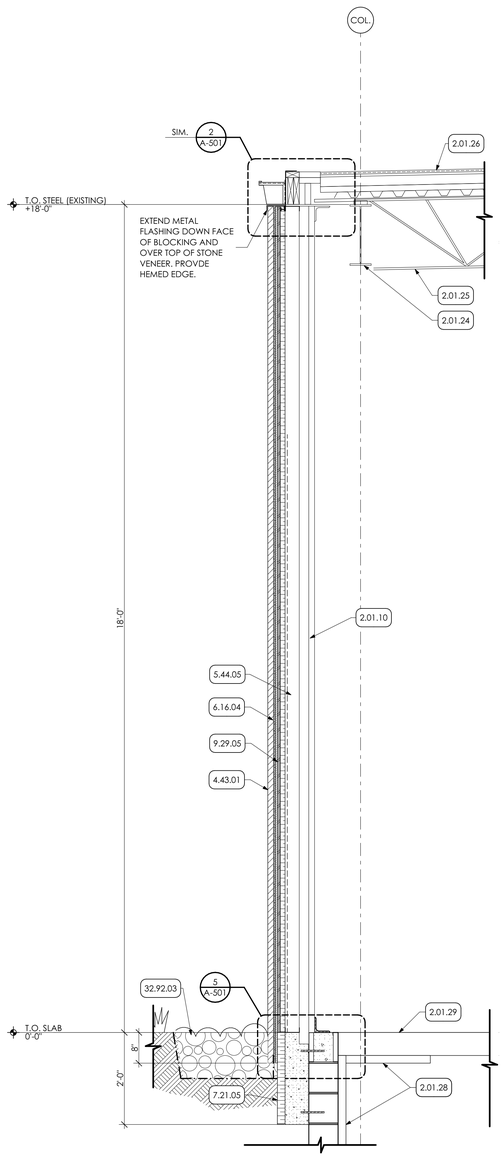

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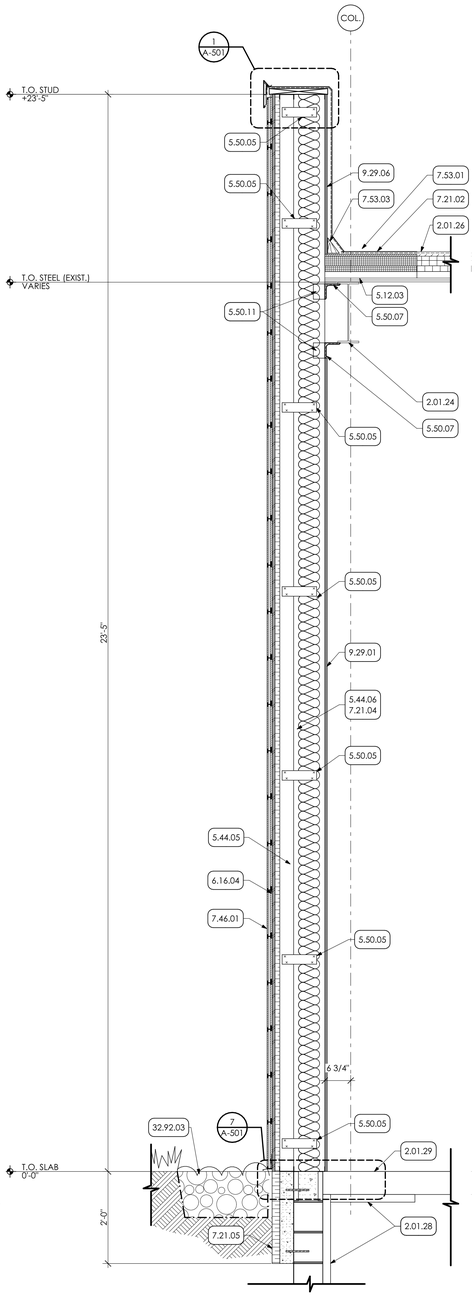
SCALE: 3/4" = 1'-0"



4 WALL SECTION
SCALE: 3/4" = 1'-0"

KEY NOTES

02 DEMOLITION

2.01 EXISTING CONDITIONS
2.01.10 EXISTING INSULATED METAL PANEL TO REMAIN.
2.01.24 EXISTING BEAM TO REMAIN.
2.01.25 EXISTING JOIST TO REMAIN.
2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.
2.01.28 EXISTING RIGID INSULATION TO REMAIN.
2.01.29 EXISTING CONCRETE SLAB TO REMAIN.

04 MASONRY

4.22 CMU MASONRY | SPEC 042000
4.20.05 8" CMU GROUTED SOLID. COORINDATE WITH STRUCTURAL DRAWINGS.
4.20.10 8" BOND BEAM COORDINATE WITH STRUCTURAL DRAWINGS.

4.43 MANUFACTURED MASONRY VENEER | SPEC 047300
4.43.01 MANUFACTURED MASONRY VENEER

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5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
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5.50 METAL FABRICATIONS | SPEC 055000 I SPEC 055213
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7.53.03 CANT STRIP

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8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM

09 FINISHES

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9.29.01 5/8" GYPSUM BOARD
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9.29.07 GYPSUM BOARD RETURN

32 EXTERIOR IMPROVEMENTS

32.92 TURF AND GRASSES | SPEC 329200
32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.

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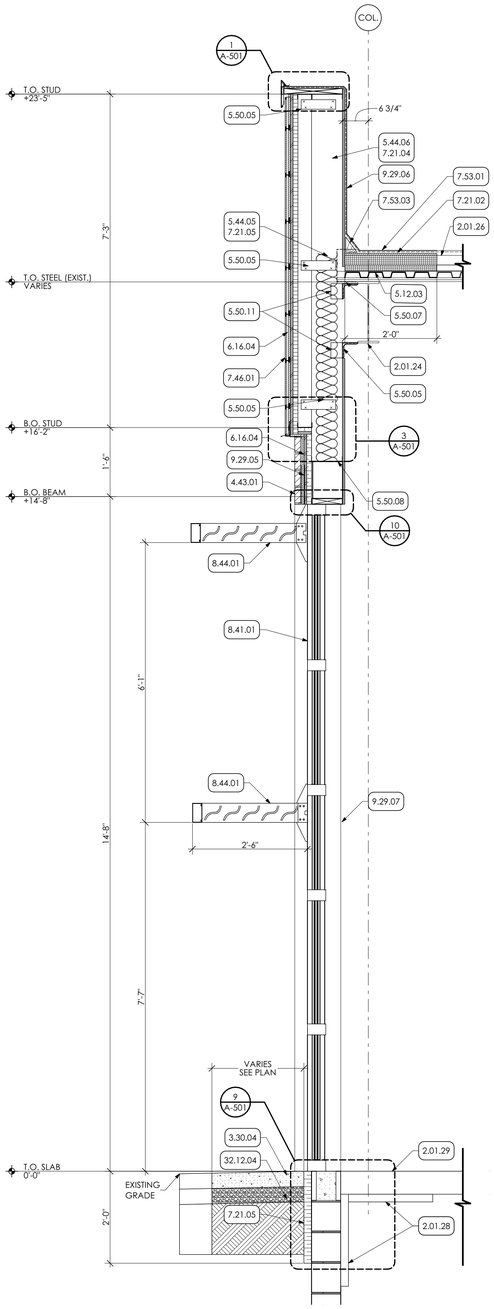
SHEET TITLE:
WALL SECTIONS

A-303



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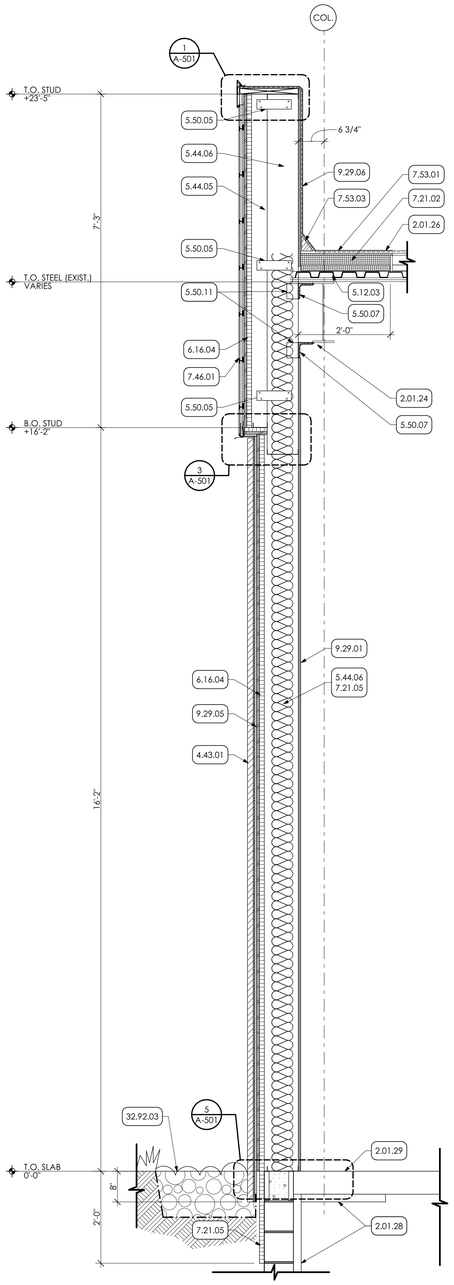
SCALE: 3/4" = 1'-0"



2 WALL SECTION
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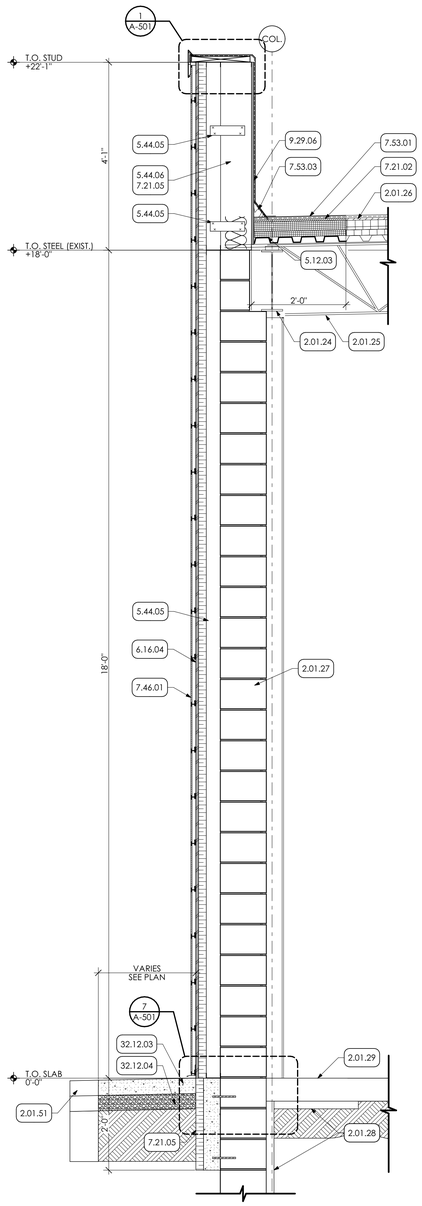

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2.01.51 EXISTING ASPHALT TO REMAIN.

03 CONCRETE

3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000
3.30.04 CAST-IN-PLACE CONCRETE PAD WITH DRAINAGE FILL. COORDNATE WITH STRUCTURAL DRAWING.

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4.43 MANUFACTURED MASONRY VENEER | SPEC 047300
4.43.01 MANUFACTURED MASONRY VENEER

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8.44 ALUMINUM CURTAINWALLS | SPEC 084413
8.44.01 OUTRIGGER SYSTEM

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32.92.03 24" WIDE GRAVEL MOW STRIPE, SEE DETAIL.

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PROJECT #:
22-0012

PROFESSIONAL SEAL

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BERKS COUNTY AGRICULTURAL CENTER FACILITY UPGRADES

1238 COUNTY WELFARE ROAD LEESPORT, PA 19533

ISSUED
DATE: ISSUED 3/30/23

ID	DESCRIPTION	DATE

PROJ. MGR.: JIM SARRO
P.M. e-MAIL: JIMS@MG-Architects.com
DRAWN BY: DK, SG, BB, JS
CLIENT PROJ #: -

VERIFY SCALE
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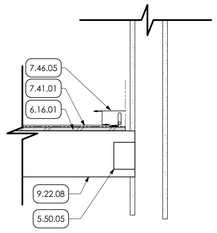
SHEET TITLE:
WALL SECTIONS

A-304



3 SECTION DETAIL
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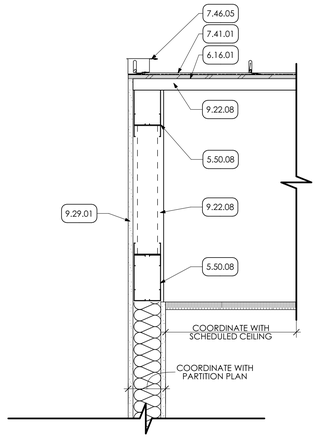

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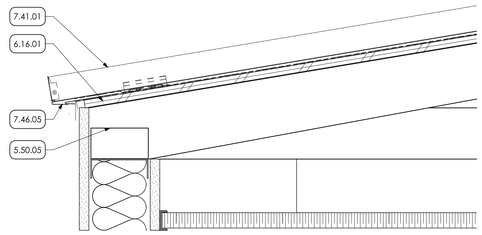

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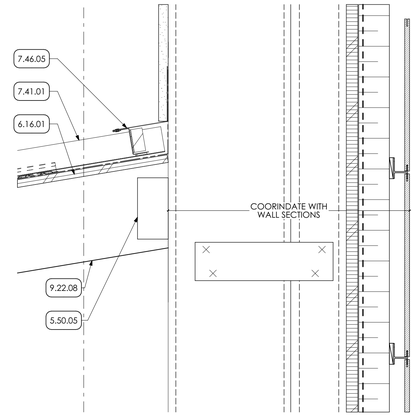

6 DETAIL
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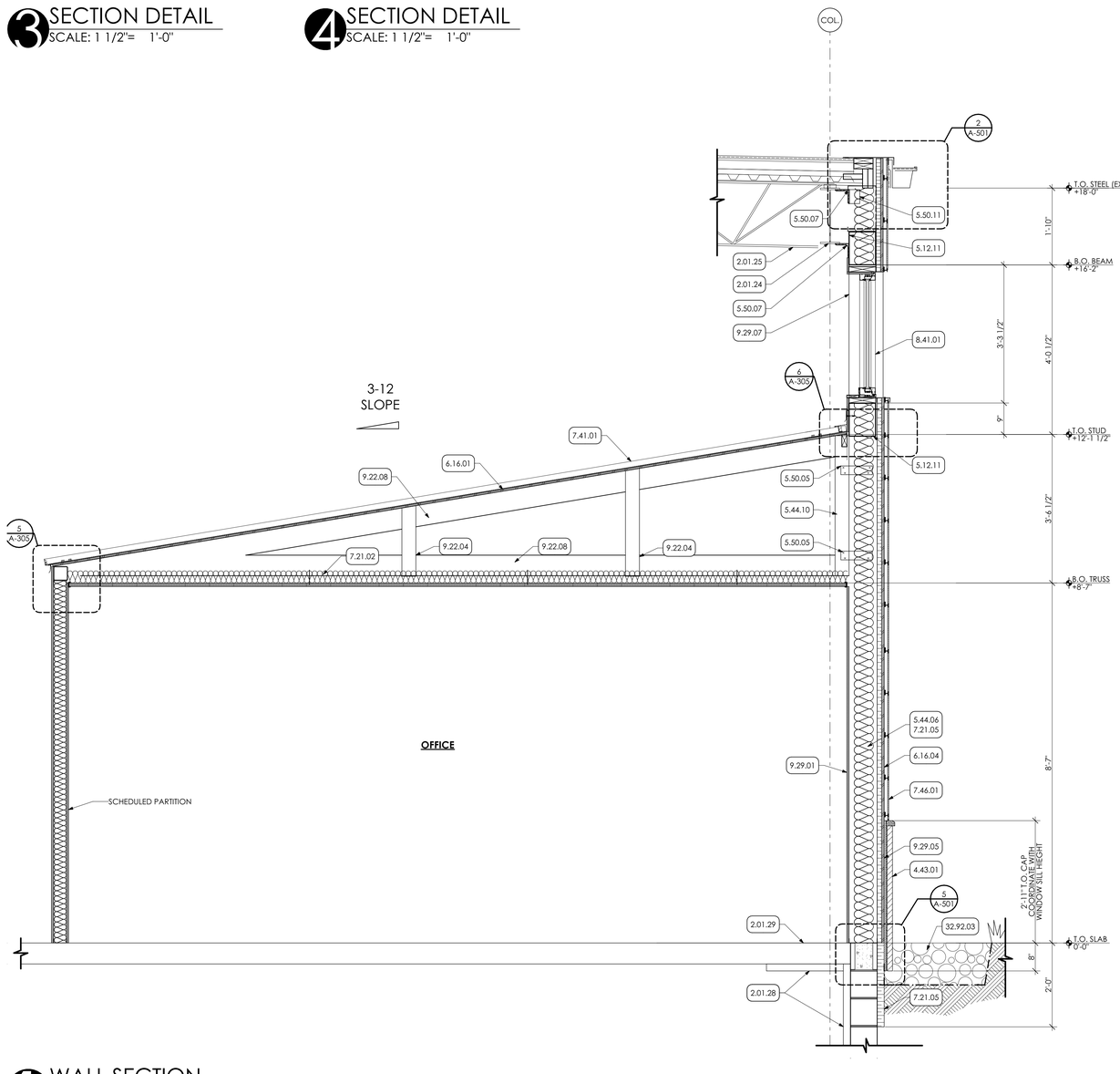

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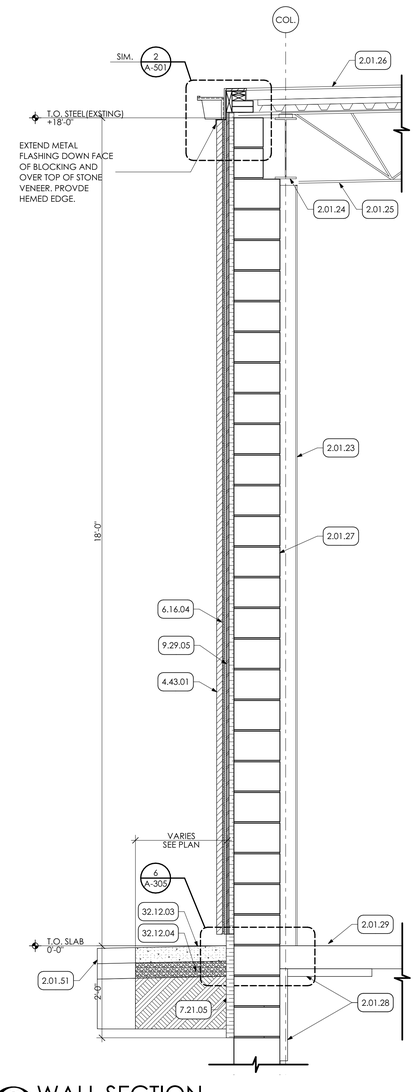

2 WALL SECTION
SCALE: 3/4" = 1'-0"

KEY NOTES

02 DEMOLITION
2.01 EXISTING CONDITIONS
2.01.23 EXISTING COLUMN TO REMAIN.
2.01.24 EXISTING BEAM TO REMAIN.
2.01.25 EXISTING JOIST TO REMAIN.
2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.
2.01.27 EXISTING CMU WALL TO REMAIN.
2.01.28 EXISTING RIGID INSULATION TO REMAIN.
2.01.29 EXISTING CONCRETE SLAB TO REMAIN.
2.01.51 EXISTING ASPHALT TO REMAIN.

04 MASONRY
4.43 MANUFACTURED MASONRY VENEER | SPEC 047300
4.43.01 MANUFACTURED MASONRY VENEER

05 METALS
5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
5.12.11 SCHEDULED BEAM: COORDINATE w/ STRUCTURAL DRAWINGS.
5.44 COLD FRAMED METAL FRAMING | SPEC 054000
5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS.
5.44.10 METAL BRACING
5.50 METAL FABRICATIONS | SPEC 055000 I SPEC 055213
5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.08 METAL BOX HEADER COORINDATE WITH STRUCTURAL DRAWINGS.
5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.

06 WOODS, PLASTICS AND COMPOSITES
6.16 SHEATHING | SPEC 061600
6.16.01 3/4" PLYWOOD SHEATHING
6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

07 THERMAL AND MOISTURE PROTECTION
7.21 THERMAL INSULATION | SPEC 072100
7.21.02 SOUND ATTENUATING BATT INSULATION
7.21.05 2" RIGID INSULATION
7.41 METAL ROOF PANELS | SPEC 074113
7.41.01 STANDING SEAM METAL ROOF PANEL.
7.46 SIDING | SPEC 074646
7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM, COLOR 1.
7.46.05 MANUFACTURE STANDARD ROOF TRIM

08 OPENINGS
8.41 ALUMINUM STOREFRONTS | SPEC 084113
8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM

09 FINISHES
9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
9.22.04 3 5/8" METAL STUD FRAMING AT 16" o.c.
9.22.08 6" METAL STUDS AT 16" O.C.
9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD
9.29.05 1/2" CEMENT BOARD.
9.29.07 GYPSUM BOARD RETURN

32 EXTERIOR IMPROVEMENTS
32.12 ASPHALT PAVING | SPEC 321216
32.12.03 ASPHALT PAVING
32.12.04 CRUSHED STONE
32.92 TURF AND GRASSES | SPEC 329200
32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.

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SHEET TITLE:
WALL SECTIONS

A-305

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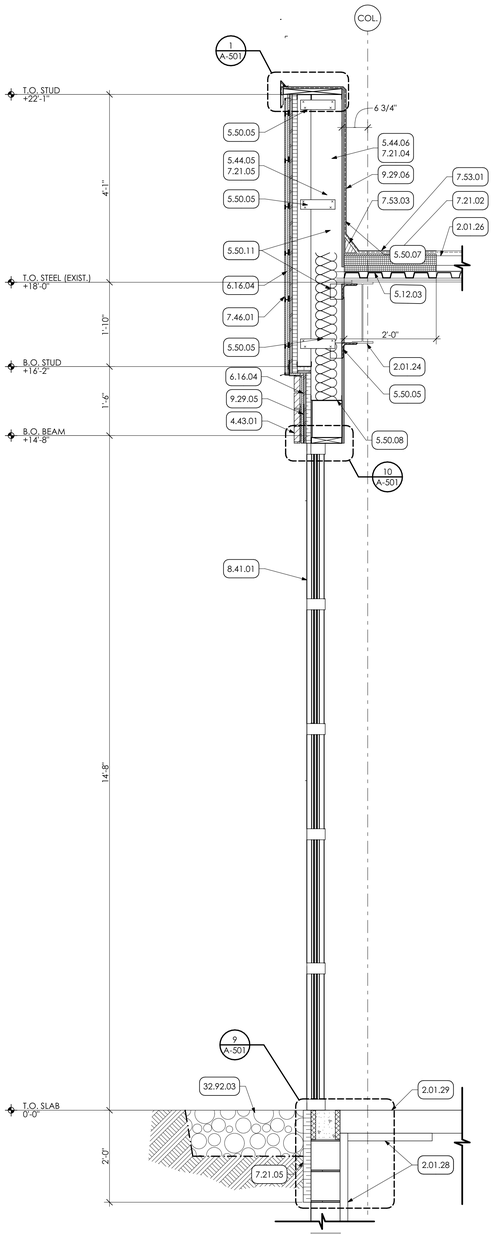
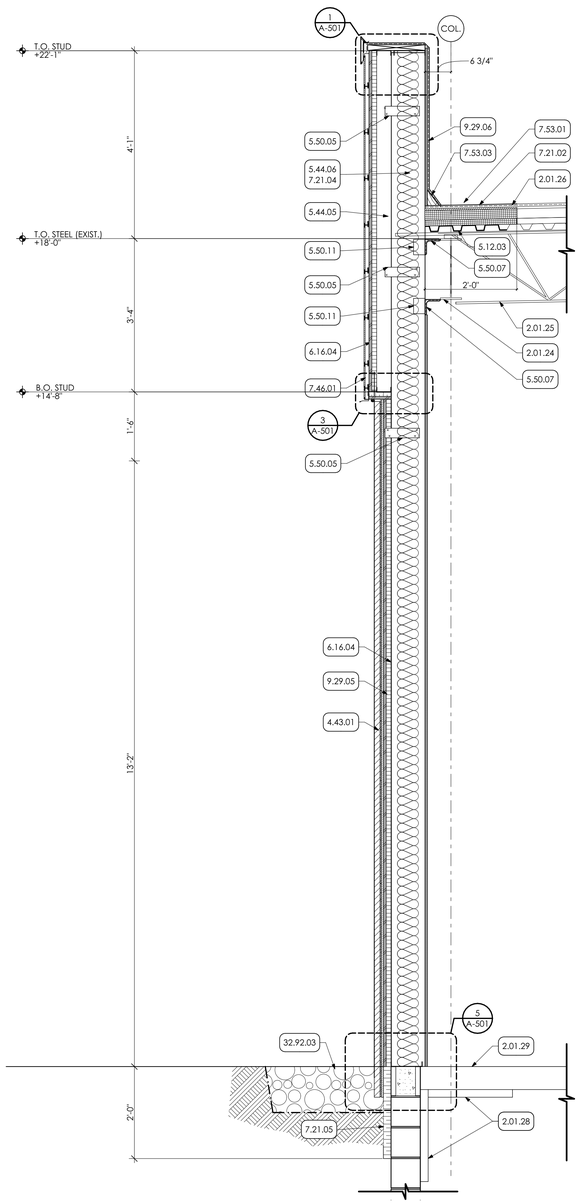


1 WALL SECTION
SCALE: 3/4" = 1'-0"



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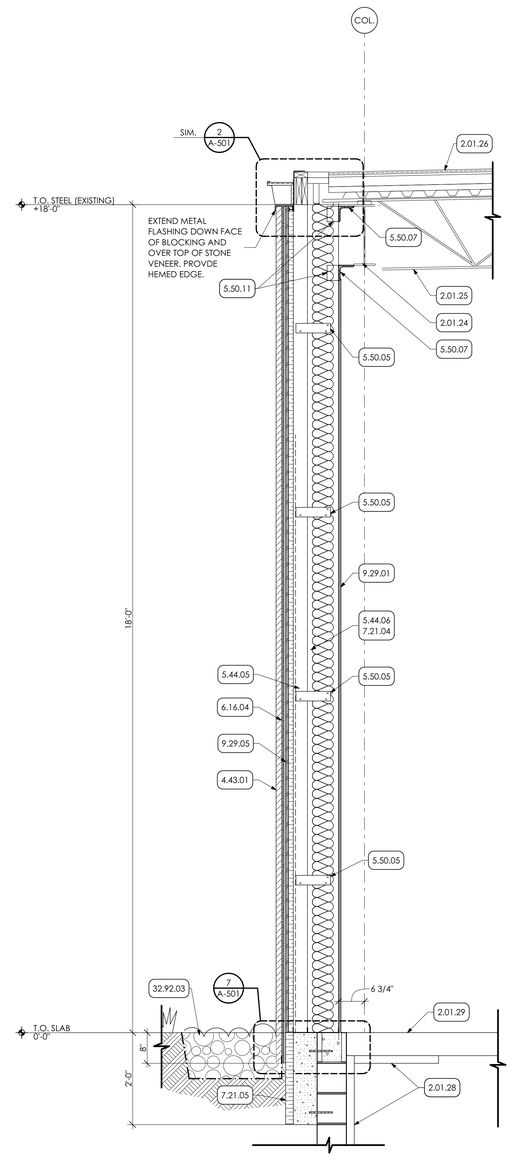

3 WALL SECTION
SCALE: 3/4" = 1'-0"

KEY NOTES

02 DEMOLITION
2.01 EXISTING CONDITIONS
2.01.24 EXISTING BEAM TO REMAIN.
2.01.25 EXISTING JOIST TO REMAIN.
2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.
2.01.28 EXISTING RIGID INSULATION TO REMAIN.
2.01.29 EXISTING CONCRETE SLAB TO REMAIN.

04 MASONRY
4.43 MANUFACTURED MASONRY VENEER | SPEC 047300
4.43.01 MANUFACTURED MASONRY VENEER

05 METALS
5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
5.12.03 INFILL AREA SHOWN WITH NEW METAL DECKING, TO MATCH EXISTING METAL DECKING, BY G.C.
5.44 COLD FRAMED METAL FRAMING | SPEC 054000
5.44.05 3 5/8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS.
5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS.
5.50 METAL FABRICATIONS | SPEC 055000 I SPEC 055213
5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.
5.50.08 METAL BOX HEADER COORINDATE WITH STRUCTURAL DRAWINGS.
5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.

06 WOODS, PLASTICS AND COMPOSITES
6.16 SHEATHING | SPEC 061600
6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

07 THERMAL AND MOISTURE PROTECTION
7.21 THERMAL INSULATION | SPEC 072100
7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION, TO MATCH EXISTING INSULATION THICKNESS, BY G.C.
7.21.04 R-19 BATT INSULATION
7.21.05 2" RIGID INSULATION
7.46 SIDING | SPEC 074646
7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM. COLOR 1.
7.53 ELASTOMERIC ROOFING | SPEC 075323
7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXISTING MEMBRANE THICKNESS.
7.53.03 CANT STRIP

08 OPENINGS
8.41 ALUMINUM STOREFRONTS | SPEC 084113
8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM

09 FINISHES
9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD
9.29.05 1/2" CEMENT BOARD.
9.29.06 1/2" COVERBOARD EXTEND FROM TOP OF DECKING TO TOP OF PARAPET.

32 EXTERIOR IMPROVEMENTS
32.92 TURF AND GRASSES | SPEC 329200
32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.

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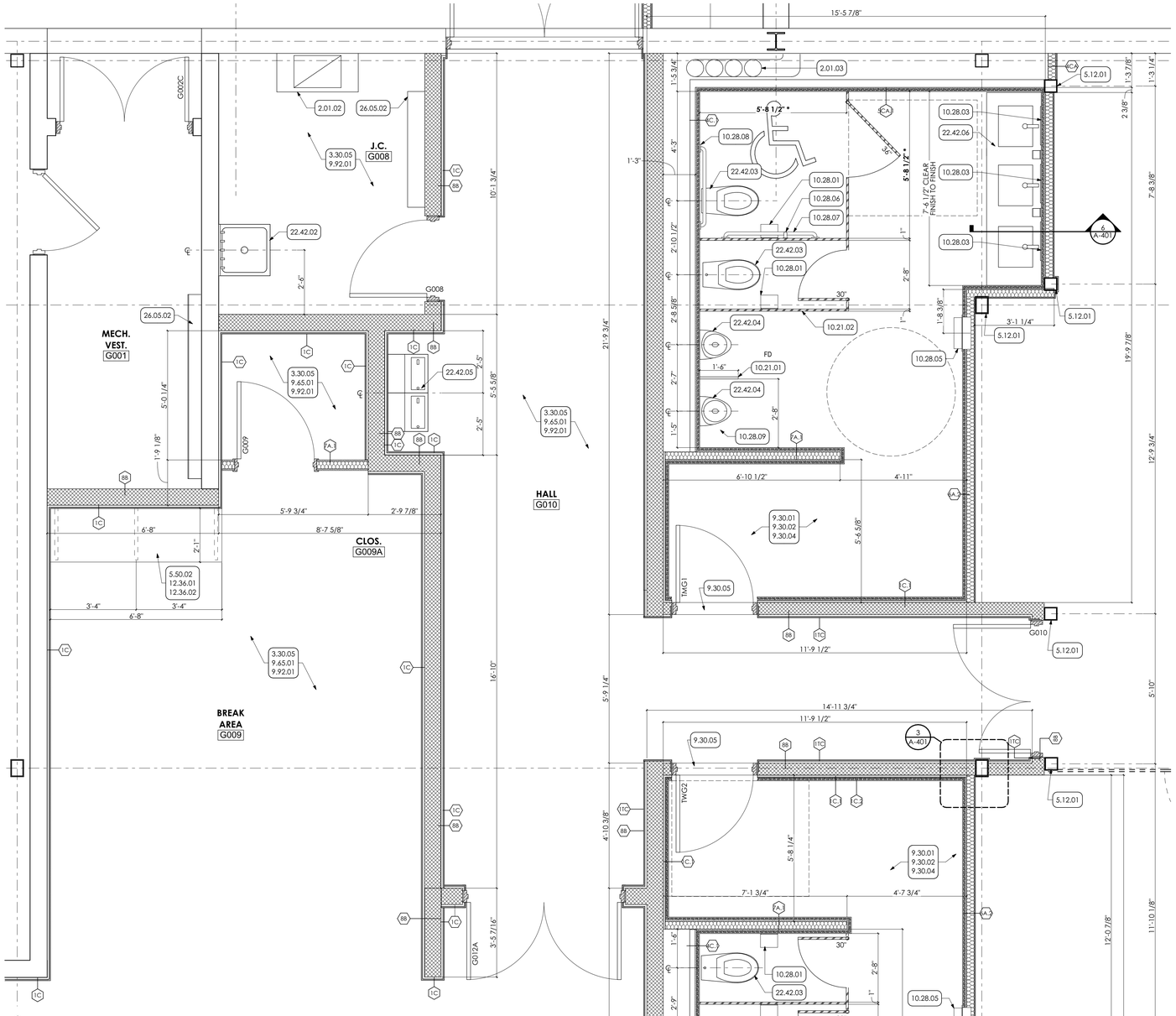
SHEET TITLE:
WALL SECTIONS

A-306



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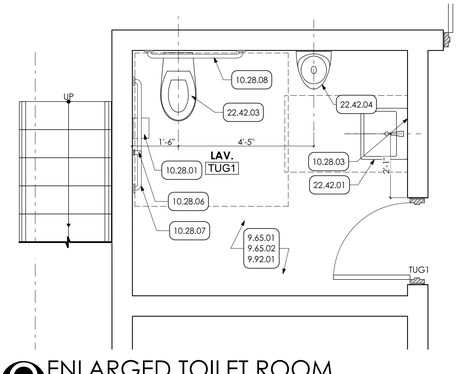

2 ENLARGED TOILET ROOM
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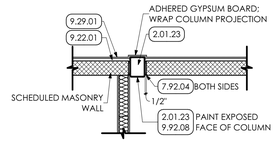

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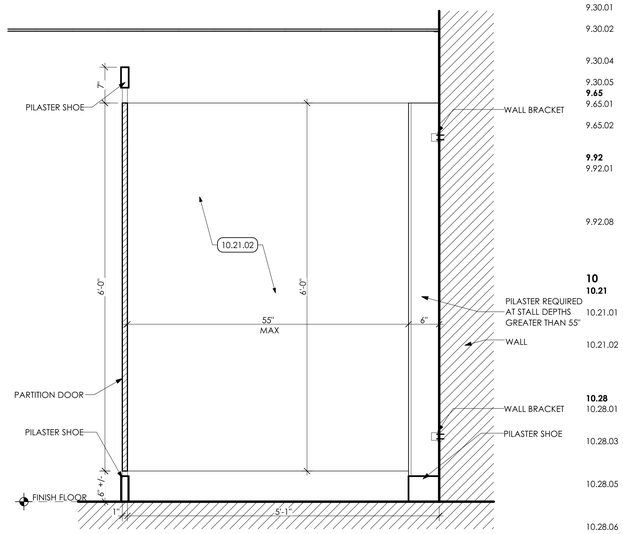

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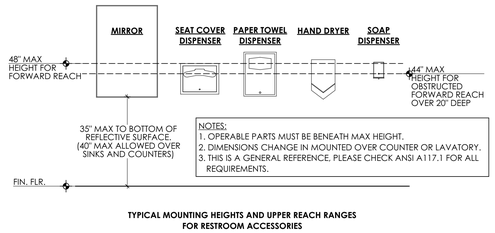

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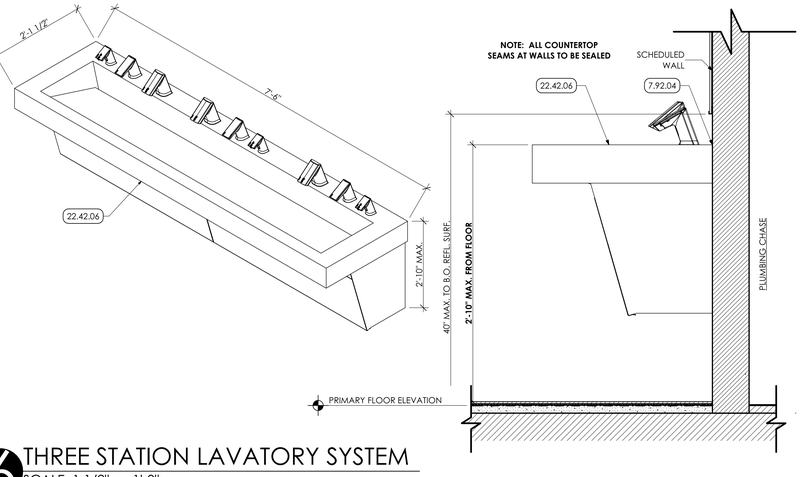

6 THREE STATION LAVATORY SYSTEM
SCALE: 1 1/2"= 1'-0"

KEY NOTES

02 DEMOLITION
2.01 EXISTING CONDITIONS
2.01.02 EXISTING ELECTRICAL PANELS TO REMAIN.
2.01.03 EXISTING GLYCOL LINES TO REMAIN
2.01.23 EXISTING COLUMN TO REMAIN.

03 CONCRETE
3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000
3.30.05 PREP AND SEAL ENTIRE SURFACE OF EXISTING CONCRETE SLAB.

05 METALS
5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
5.12.01 STEEL COLUMN; COORDINATE WITH STRUCTURAL DRAWINGS.
5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213
5.50.02 UNDERCOUNTER METAL SUPPORT BRACKET. PROVIDE WOOD BLOCKING IN WALL AS REQUIRED.

07 THERMAL AND MOISTURE PROTECTION
7.92 JOINT SEALANTS | SPEC 079200
7.92.04 CONTINOUS SEALANT WITH BACKER ROD

09 FINISHES
9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
9.22.01 7/8" METAL FURRING CHANNELS AT 16" O.C.
9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD
9.30 CERAMIC TILING | SPEC 093013
9.30.01 CERAMIC COVE BASE PROFILE FOR PERIMETER OF ROOM. COORINDATE WITH FINISH SCHEDULE.
9.30.02 PORCELAIN WALL TILE ON ENTIRE WALL FROM TOP OF TILE BASE TO UNDERSIDE OF CEILING. COORINDATE WITH FINISH SCHEDULE.
9.30.04 PORCELAIN FLOOR TILE THROUGHOUT ROOM. COORINDATE WITH FINISH SCHEDULE.
9.30.05 STONE THRESHOLD.
9.65 RESILIENT BASE | SPEC 096513
9.65.01 4" HIGH RUBBER COVE BASE CONTINUOUS FOR PERIMETER OF ROOM OR CORRDIER.
9.65.02 PROVIDE LVT OVER HYDRAULIC CEMENT UNDERLAYMENT THROUGHT ENTIRE ROOM RO CORRIDOR. PREP SUBSTRATE AS REQUIRED PER MANUFACTURES RECCOMENDATIONS.
9.92 INTERIOR PAINTING | SPEC 099123
9.92.01 PREP, PRIME, PAINT (TWO (2) COATS) ALL WALLS IN ROOM, UNLESS SPECFIC WALLS NOTED OTHERWISE. PAINT ENITRE WALL, INCLUDING EXPOSED CONDUIT, FROM FLOOR TO 4" ABOVE NEW CEILING GRID OR TO ROOF DECK IN AREAS OF OPEN CEILINGS.
9.92.08 PREP AND PAINT (PRIMER AND TWO (2) COATS) ENITRE STRUCTURE, INCLUDING ALL STEEL JOISTS / BEAMS, EXPOSED ANCHORS, EXPOSED COLUMNS, AND ACCESSORIES WITH DRYFALL PAINT, BY GC.

10 SPECIALTIES
10.21 PHENOLIC-CORE TOILET COMPARTMENTS | SPEC 102113.17
10.21.01 NEW 1" THICK URINAL SCREEN, 48" HEIGHT, WALL MOUNTED WITH CONTINUOUS ALUMINUM BRACKETS. NFPA 286-RATED.
10.21.02 NEW 1" THICK HIGH DENSITY POLYETHYLENE (HDPE) TOILET PARTITIONS, 55" PANEL HEIGHT, WALL MOUNTED, AND OVERHEAD BRACED. CONTINUOUS ALUMINUM BRACKETS. NFPA 286- RATED. PROVIDE HEAVY DUTY SELF- CLOSING CONTINUOUS HINGES FOR PARTITION DOORS.
10.28 TOILET ACCESSORIES
10.28.01 SURFACE MOUNTED TOILET PAPER DISPENSER PROVIDED BY OWNER AND INSTALLED BY GC. PROVIDE WOOD BLOCKING AS REQUIRED IN METAL STUD PARTITIONS.
10.28.03 WALL MOUNTED MIRROR. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING IN METAL STUD PARTITIONS. BOTTOM OF REFLECTIVE SURFACE AT 40" AFF MAX.
10.28.05 RECESSED PAPER TOWEL DISPENSER PROVIDED BY OWNER AND INSTALLED BY GC. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING IN METAL STUD PARTITIONS.
10.28.06 VERTICAL ADA COMPLIANT GRAB BAR-18" LENGTH. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING.
10.28.07 ADA COMPLIANT GRAB BAR-42" LENGTH. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING.
10.28.08 ADA COMPLIANT GRAB BAR-36" LENGTH. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING.
10.28.09 URINNAL FLOOR GRATE

12 FURNISHINGS
12.36 QUARTZ AGGLOMERATE COUNTERTOPS | SPEC 123661.19
12.36.01 2 CM QUARTZ COUNTERTOP ON 3/4" PLYWOOD BACKER.
12.36.02 2CM QUARTZ BACKSPLASH FOR LENGTH OF COUNTERTOP AND ADJACENT SIDEWALLS; 4" TYPICAL HEIGHT UNLESS NOTED OTHERWISE.

22 PLUMBING | BY P.C.
22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.
22.42 COMMERCIAL PLUMBING FIXTURES
22.42.01 NEW ADA COMPLIANT SINK.
22.42.02 NEW UTILITY SINK.
22.42.03 NEW ADA COMPLIANT WATER CLOSET. (1.6 GPF)
22.42.04 NEW ADA COMPLIANT URINAL.
22.42.05 ADA COMPLIANT HI-LOW DRINKING FOUNTAINS.
22.42.06 ADA COMPLIANT THREE STATION LAVATORY SYSTEM.

26 ELECTRICAL | BY E.C.
26 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE E.C. UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL DRAWING.
26.05 COMMON WORK RESULTS FOR ELECTRICAL
26.05.02 NEW ELECTRICAL PANELS.

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ID	DESCRIPTION	DATE

PROJ. MGR.: JIM SARRO
P.M. e-MAIL: JIMS@MG-Architects.com
DRAWN BY: DK, SG, BB, JS
CLIENT PROJ #: -
VERIFY SCALE 0 1
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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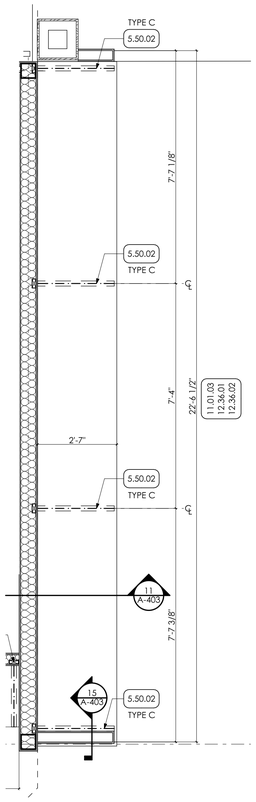
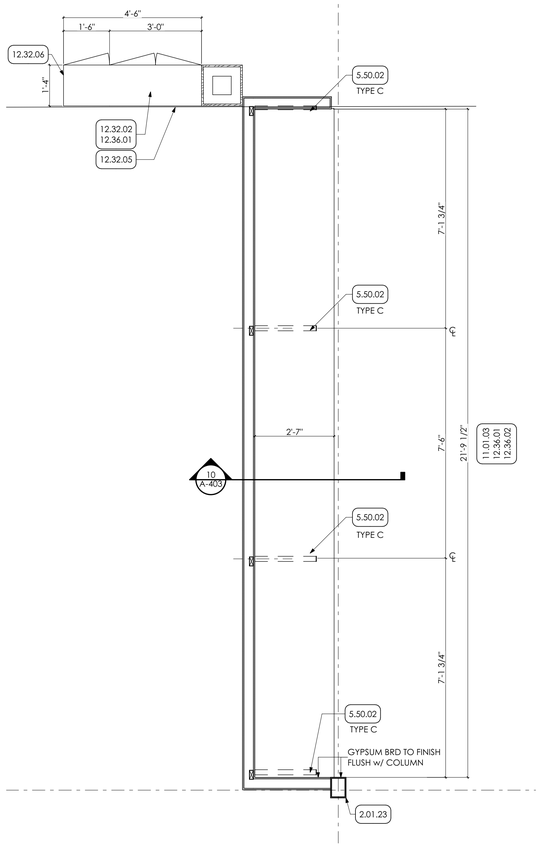
SHEET TITLE:
ENLARGED PLAN

A-401



1 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



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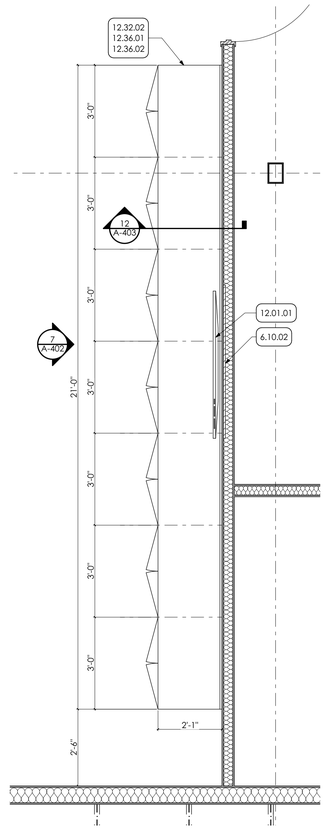
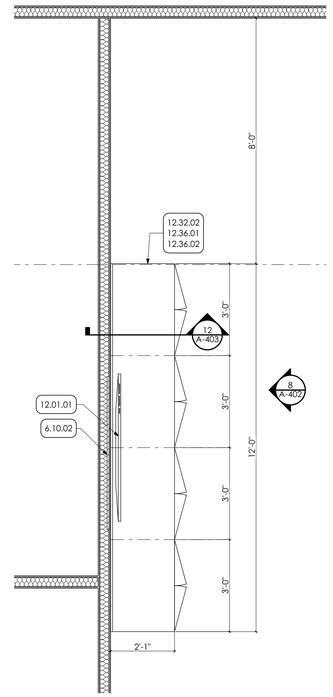
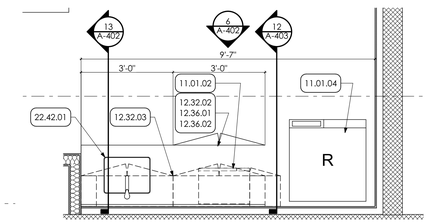


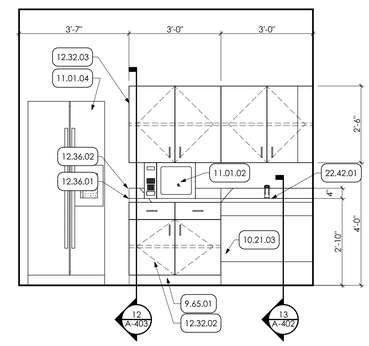
3 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



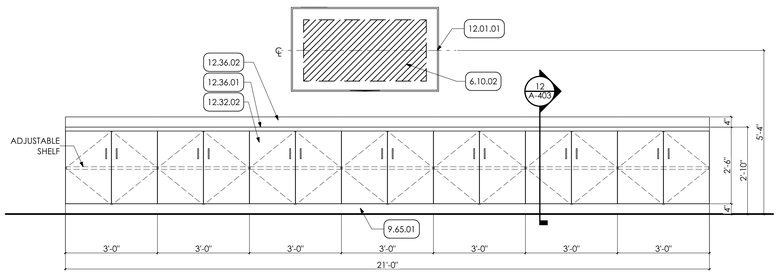
4 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



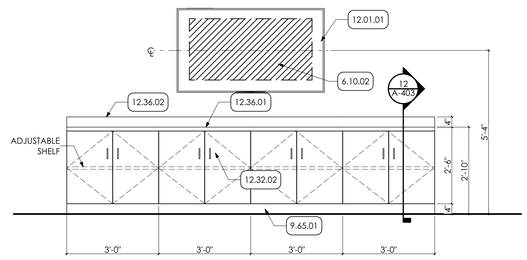
5 ENLARGED KITCHENETTE PLAN
SCALE: 1/2" = 1'-0"



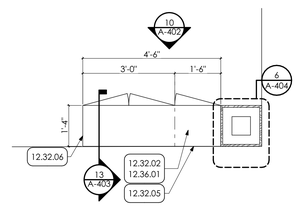
6 FACILITIES KITCHENETTE
SCALE: 1/2" = 1'-0"



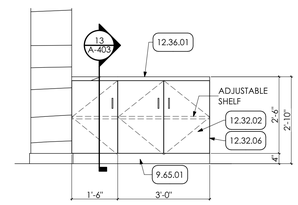
7 LARGE MEETING ROOM ELEVATION
SCALE: 1/2" = 1'-0"



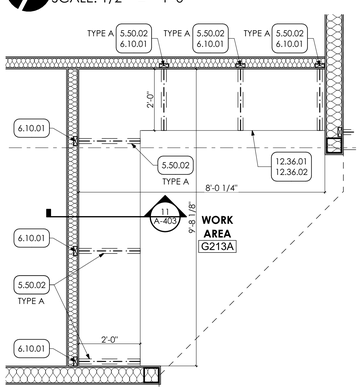
8 LARGE MEETING ROOM ELEVATION
SCALE: 1/2" = 1'-0"



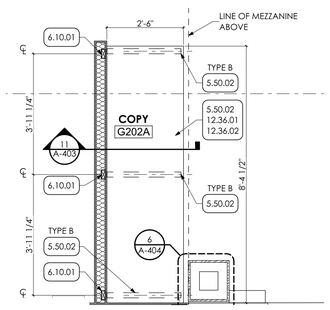
9 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



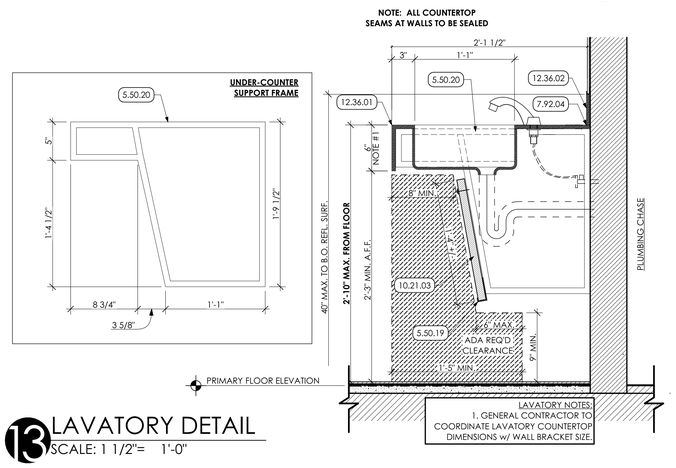
10 CASEWORK ELEVATION
SCALE: 1/2" = 1'-0"



ENLARGED BCCD
11 WORK COUNTER PLAN
SCALE: 1/2" = 1'-0"



12 ENLARGED WORK COUNTER PLAN
SCALE: 1/2" = 1'-0"



13 LAVATORY DETAIL
SCALE: 1 1/2"= 1'-0"

KEY NOTES

02 DEMOLITION
2.01 EXISTING CONDITIONS
2.01.23 EXISTING COLUMN TO REMAIN.

05 METALS
5.50 METAL FABRICATIONS | SPEC 055000 I SPEC 055213
5.50.02 UNDERCOUNTER METAL SUPPORT BRACKET. PROVIDE WOOD BLOCKING IN WALL AS REQUIRED.
5.50.19 12ga. CONTINUOUS ALUMINUM J-CHANNEL ATTACHED TO UNDER COUNTER SUPPORTS. SIZE TO ACCEPT 1" HDPE COVER PANEL.
5.50.20 14ga. GALVANIZED STEEL COUNTERTOP SUPPORT. FABRICATE FROM 2" WIDE 14ga. STEEL CHANNELS AND SECURELY BOLT (THREE LOCATIONS, EACH SUPPORT) TO STUDS OR BLOCKING IN WALL FRAME. PRIOR TO FABRICATION, COORDINATE FINAL DIMENSIONS w/ LAVATORY COUNTERTOP FABRICATOR AND IN-FIELD CONDITIONS. SUPPORT FRAME TO CONFORM TO ANSI 117.1 DIMENSIONAL REQUIREMENTS.

06 WOODS, PLASTICS AND COMPOSITES
6.10 ROUGH CARPENTRY | SPEC 061000
6.10.01 2X WOOD BLOCKING
6.10.02 3/4" PLYWOOD BACKER PANEL FOR TV MOUNTING BRACKET.

07 THERMAL AND MOISTURE PROTECTION
7.92 JOINT SEALANTS | SPEC 079200
7.92.04 CONTINOUS SEALANT WITH BACKER ROD

09 FINISHES
9.65 RESILIENT BASE | SPEC 096513
9.65.01 4" HIGH RUBBER COVE BASE CONTINUOUS FOR PERIMETER OF ROOM OR CORRDIER.

10 SPECIALTIES
10.21 PHENOLIC-CORE TOILET COMPARTMENTS | SPEC 102113.17
10.21.03 1'-4" x 1" THICK HDPE PANEL SCREWED TO FACE OF UNDER COUNTER MOUNTING BRACKETS AND SET IN CONTINUOUS ALUMINUM J-CHANNEL. PROVIDE CONTINUOUS PANEL ALONG UNDERSIDE OF LAV COUNTER. PROVIDE STAINLESS STEEL SECURITY FASTENERS AND WASHERS AT EACH COUNTER SUPPORT.

11 EQUIPMENT
11.01 EQUIPMENT I BY OWNER
11.01.02 MICROWAVE UNIT, BY OWNER.
11.01.03 FLAT FILES, TWO (2) UNITS STACKED, PROVIDED BY OWNER.
11.01.04 REFRIGERATOR, PROVIDED BY OWNER.

12 FURNISHINGS
12.01 AV EQUIPMENT
12.01.01 WALL MOUNTED TELEVISION AND BRACKET PROVIDED BY AND INSTALLED BY OWNER.
12.32 MANUFACTURED PLASTIC-LAMINATE-CLAD CASEWORK I SPEC 123216
12.32.02 MANUFACTURED BASE CABINET.
12.32.03 MANUFACTURED WALL CABINET
12.32.05 FINISHED BACK PANEL.
12.32.06 FINISHED END PANEL.
12.36 QUARTZ AGGLOMERATE COUNTERTOPS | SPEC 123661.19
12.36.01 2 CM QUARTZ COUNTERTOP ON 3/4" PLYWOOD BACKER.
12.36.02 2CM QUARTZ BACKSPLASH FOR LENGTH OF COUNTERTOP AND ADJACENT SIDEWALLS; 4" TYPICAL HEIGHT UNLESS NOTED OTHERWISE.

22 PLUMBING | BY P.C.
22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.
22.42 COMMERCIAL PLUMBING FIXTURES
22.42.01 NEW ADA COMPLIANT SINK.

MG ARCHITECTS
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PROJECT #:
22-0012

PROFESSIONAL SEAL

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ISSUED
DATE: ISSUED 3/30/23

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SHEET TITLE:
ENLARGED PLAN

A-402