

CAMDEN VILLAGE

SUGAR CAMP ROAD

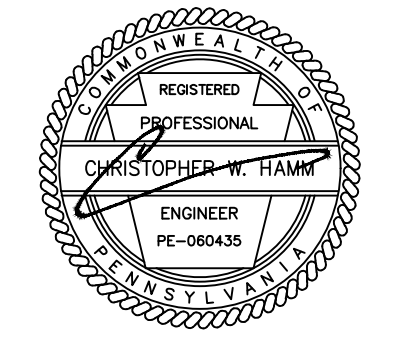
PETERS TOWNSHIP, WASHINGTON COUNTY

PENNSYLVANIA

PREPARED FOR:

BENJAMIN MARCUS HOMES, LLC

KDH
CONSULTING ENGINEERS, INC.
593 RUGH STREET
GREENSBURG, PA 15601
P: 878-295-8914 F: 724-514-7047
www.kdhengineers.com



REVISIONS:	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PTSA REVIEW COMMENTS
9	01/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCCD COMMENTS
7	10/04/2022	ADDRESS WCCD COMMENTS
6	8/19/2022	ADDRESS TOWNSHIP COMMENTS
5	8/12/2022	ADDRESS TOWNSHIP COMMENTS
4	8/12/2022	ADDRESS WCCD COMMENTS
3	7/28/2022	ADDRESS TOWNSHIP COMMENTS
2	5/17/2022	ADDRESS TOWNSHIP COMMENTS
11	3/17/2023	CONDO PLAN
REV		

PROJECT ENGINEER:
KDH CONSULTING ENGINEERS, INC.
593 RUGH STREET, LOWER LEVEL
GREENSBURG, PA 15601
(724) 493-5041
CONTACT: CHRISTOPHER W. HAMM, P.E.

DEVELOPER:
BENJAMIN MARCUS HOMES, LLC
333 TECHNOLOGY DRIVE, SUITE 108
CANONSBURG, PA 15317
(412) 880-1025
CONTACT: MARK HOSKINS

SURVEYOR:
KEYSTONE SURVEYING & MAPPING, INC.
534 VALLEY BROOK ROAD
VENETIA, PA 15367
CONTACT: KEITH HIGGINS
(724) 514-7047

GAS SERVICE:
PEOPLES NATURAL GAS COMPANY, LLC
375 NORTH SHORE DRIVE
PITTSBURGH, PA 15212
(800) 764-0111

ELECTRIC SERVICE:
WEST PENN POWER
105 COMMERCE BOULEVARD
LAWRENCE, PA 15055
(724) 743-2028

WATER SERVICE:
PENNSYLVANIA AMERICAN WATER COMPANY
300 GALLEY ROAD
McMURRAY, PA 15317
(724) 746-6400

SANITARY SEWER SERVICE:
PETERS TOWNSHIP SANITARY AUTHORITY
111 BELL DRIVE
McMURRAY, PA 15317
(724) 941-6709



CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

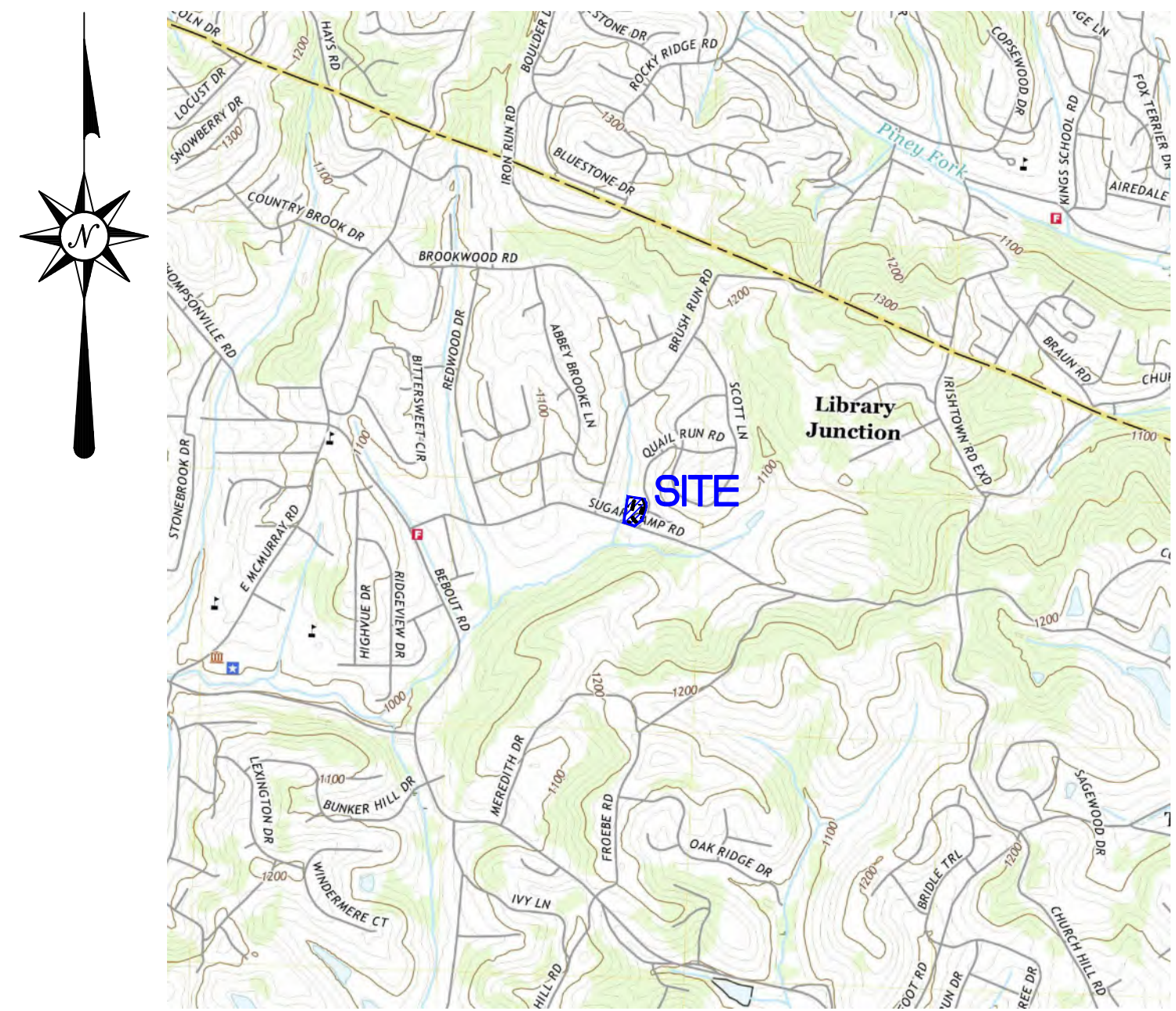
PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
COVER SHEET

SHEET NO.
D0.0



VICINITY MAP
SCALE: 1"=500'

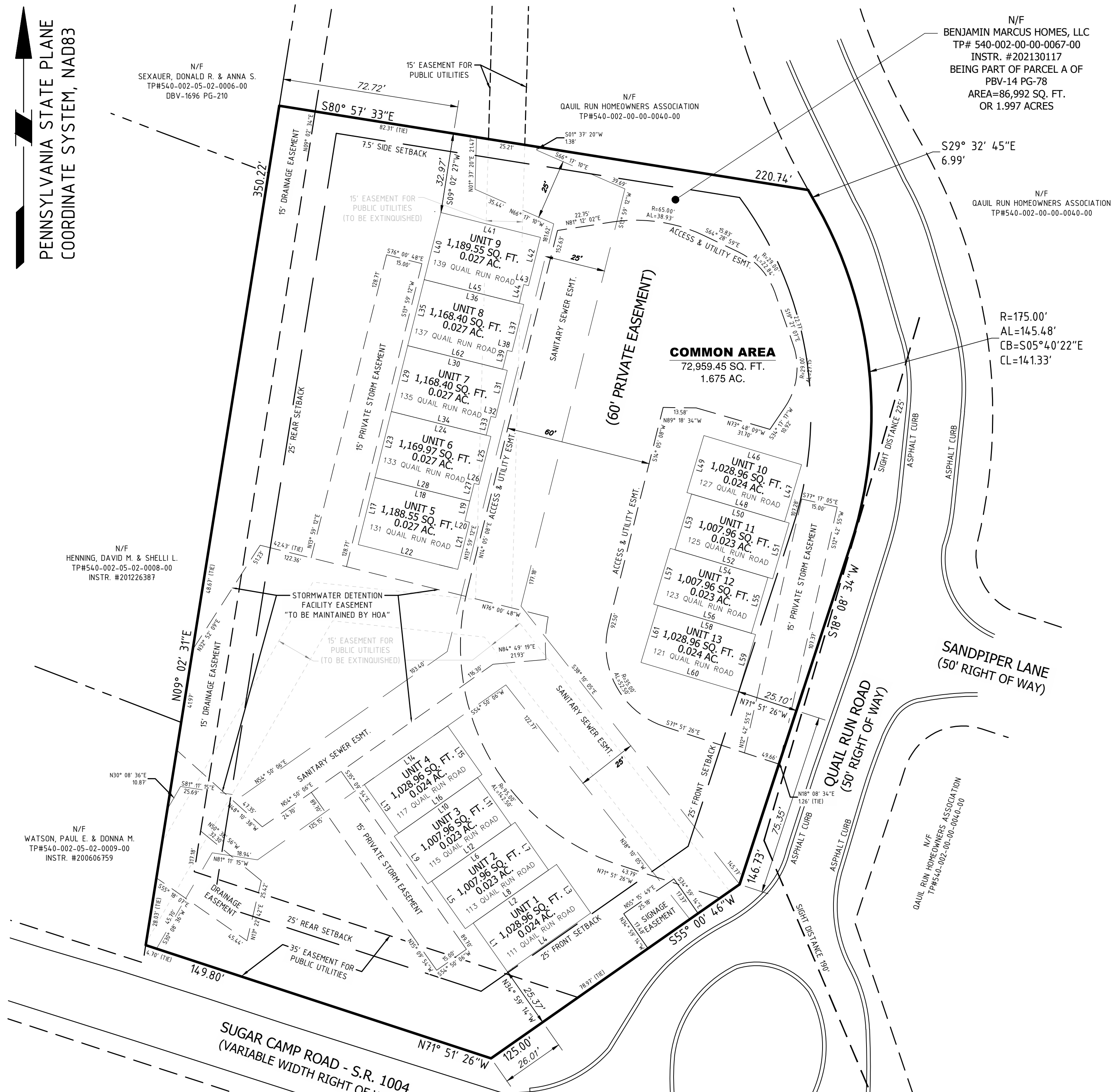


USGS MAP
SCALE: 1"=2000'

SHEET NO.	TITLE
D0.0	COVER SHEET
1	CONDO PLAN
1	BOUNDARY & TOPOGRAPHY SURVEY
D0.1	GENERAL NOTES AND LEGENDS
D1.0	EXISTING CONDITIONS PLAN
D1.1	SLOPE MAP
D1.2	DEMOLITION PLAN
D2.0	SITE LAYOUT PLAN
D2.1	SITE PLAN
D2.2	LANDSCAPE PLAN
D3.0	OVERALL SITE GRADING
D3.1	ROAD PROFILES
D3.2	SECTIONS
D4.0	STANDARD CONSTRUCTION DETAILS
D5.0	STORM SEWER PLAN & PROFILES
D6.0	UTILITY PLAN
D6.1	SANITARY SEWER PROFILES
D6.2	SANITARY SEWER DETAILS
D6.3	STANDARD TOWNSHIP DETAILS
D6.4	STANDARD TOWNSHIP DETAILS
D7.0	PCSM PLAN
D7.1	PCSM PLAN - INFILTRATION BASIN
D8.0	E&S PLAN - PHASE I
D8.1	E&S PLAN - PHASE II
D8.2	E&S PLAN - PHASE III
D8.3	E&S NOTES
D8.4	E&S DETAILS
D8.5	E&S DETAILS & NOTES
D8.6	E&S DETAILS & NOTES

- NOTE:
1. THE OPEN SPACE SHALL BE DEDICATED TO THE CAMDEN VILLAGE HOA.
 2. POND 1-INFILTRATION BASIN SHALL BE OWNED AND MAINTAINED BY THE CAMDEN VILLAGE HOA.
 3. THE STORM SEWERS ARE TO REMAIN PRIVATE.
 4. A \$1,525 TRAFFIC IMPACT FEE SHALL BE DUE FOR EACH UNIT AT THE TIME OF BUILDING PERMIT ISSUANCE.
 5. DRIVEWAY ACCESS TO THE STATE HIGHWAY SHALL BE ONLY AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS REQUIRED PURSUANT TO §420 OF THE ACT OF JUNE 1, 1948 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW."

PENNSYLVANIA STATE PLANE
COORDINATE SYSTEM, NAD83



LINE TABLE with columns for Line #, Direction, Length, and four columns of unit area and lot numbers.

LOT AND AREA REQUIREMENTS table listing unit numbers, dimensions, and area requirements.

LEGEND defining symbols for property lines, easements, and setbacks. Includes a scale bar and north arrow.

CORPORATION ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT THE BENJAMIN MARCUS HOMES, LLC, A CORPORATION OF THE COMMONWEALTH OF PENNSYLVANIA...

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF THE MEMBER AND SAME TO BE ATTESTED BY ITS MEMBER, THIS 13th DAY OF A.D., 2023

CORPORATION ACKNOWLEDGEMENT

ON THIS DAY OF A.D., 2023, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED OF THE BENJAMIN MARCUS HOMES, LLC...

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN. WITNESS MY HAND AND NOTARIAL SEAL THIS 13th DAY OF OCTOBER, 2023

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY BENJAMIN MARCUS HOMES, LLC, WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE WASHINGTON COUNTY PLANNING COMMISSION...

NO MORTGAGE CLAUSE

WE, BENJAMIN MARCUS HOMES, LLC, OWNERS THE CAMDEN VILLAGE CONDOMINIUM PLAN NO. 1 SHOWN HEREON, DO HEREBY CERTIFY THERE IS NO MORTGAGE, LIEN, OR ENCUMBRANCE AGAIN THIS PROPERTY.

WE, BENJAMIN MARCUS HOMES, LLC, OWNERS THE CAMDEN VILLAGE CONDOMINIUM PLAN NO. 1 DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF BENJAMIN MARCUS HOMES, LLC AS RECORDED IN INSTRUMENT NUMBER 202130117, RECORDER OF DEEDS' OFFICE.

PETERS TOWNSHIP SANITARY AUTHORITY

APPROVED BY THE PETERS TOWNSHIP SANITARY AUTHORITY THIS 13th DAY OF OCTOBER 2023. THE UNDERSIGNED OWNERS, INTENDING TO LEGALLY BIND THEMSELVES, ITSELF, AND IT'S OR THEIR SUCCESSORS AND ASSIGNS...

ATTEST AUTHORITY REPRESENTATIVE SIGNATURE OF DEVELOPER/PROPERTY OWNER/HOMEOWNER'S ASSOCIATION

Table with columns for Project No., Drawing No., Date, Scale, Drawn By, and Checked By.

PROJECT: CAMDEN VILLAGE CONDOMINIUM PLAN NO. 1

TOWNSHIP PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF PETERS TOWNSHIP THIS 13th DAY OF OCTOBER 2023

TOWNSHIP COUNCIL APPROVAL

APPROVED BY THE COUNCIL OF PETERS TOWNSHIP THIS 13th DAY OF OCTOBER 2023

THE TOWNSHIP OF PETERS HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAT FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE...

WASHINGTON COUNTY PLANNING COMMISSION APPROVAL

REVIEWED BY THE WASHINGTON COUNTY PLANNING COMMISSION THIS 13th DAY OF OCTOBER 2023

RECORDING

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY BENJAMIN MARCUS HOMES, LLC, WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE WASHINGTON COUNTY PLANNING COMMISSION...

WE, BENJAMIN MARCUS HOMES, LLC, DO HEREBY CERTIFY THAT THE TITLE OF THESE PROPERTIES IS IN THE NAME OF BENJAMIN MARCUS HOMES, LLC AS RECORDED IN INSTRUMENT NUMBER 202130117.

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF WASHINGTON RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN INSTRUMENT NUMBER 202310117. GIVEN UNDER MY HAND AND SEAL THIS 13th DAY OF OCTOBER, 2023

CONDITIONS

WE, BENJAMIN MARCUS HOMES, LLC, OWNERS, ACKNOWLEDGE THAT APPROVAL OF THIS PLAT IS SUBJECT TO THOSE CONDITIONS WHICH ARE HEREAFTER NOTED ON THIS PLAT TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF WASHINGTON COUNTY, PENNSYLVANIA...

DRIVEWAYS

DRIVEWAY ACCESS TO THE STATE HIGHWAY SHALL BE ONLY AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW."



GENERAL NOTES

- 1. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, NAD 1983.
2. VERTICAL DATA SHOWN (IF ANY) IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, NAVD 1988.
3. STREET NAMES AND ROW WIDTHS, BLOCK AND LOT NUMBERS AS PER THE CURRENT TAX MAPS.
4. BOUNDARY INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY KEYSTONE SURVEYING AND MAPPING INC ON DECEMBER 9, 2021.
5. OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION OF ANY TYPE.
6. WETLANDS, ENVIRONMENTAL, AND/OR HAZARDOUS MATERIALS LOCATIONS, IF ANY, NOT COVERED UNDER THIS CONTRACT.
7. THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
8. KEYSTONE SURVEYING AND MAPPING, INC. MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, AS TO OUR STAKING, FINDINGS, RECOMMENDATIONS, PLANS, SPECIFICATIONS, OR PROFESSIONAL ADVICE EXCEPT THAT THE WORK WAS PERFORMED PURSUANT TO GENERALLY ACCEPTED STANDARDS OF PRACTICE AND DEGREE OF CARE EXERCISED BY MEMBERS OF THE SAME PROFESSION ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY.
9. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH OR BOUNDARY SURVEY. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, ETC. AS MAY BE DISCLOSED IN A CURRENT, COMPREHENSIVE TITLE SEARCH.
10. IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, SECTION 715, WHERE THE FLOOD LEVEL OF RIMS OF PLUMBING DRAINAGE FIXTURES (DENOTED BY LOWEST FINISHED FLOOR ELEVATION) ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE, BACKWATER VALVES ARE REQUIRED.
11. TAX PARCEL NUMBER 540-002-00-00-0067-00 WILL BE OWNED BY BENJAMIN MARCUS HOMES, LLC AND EACH UNIT WILL BE SOLD INDIVIDUALLY.

REFERENCES

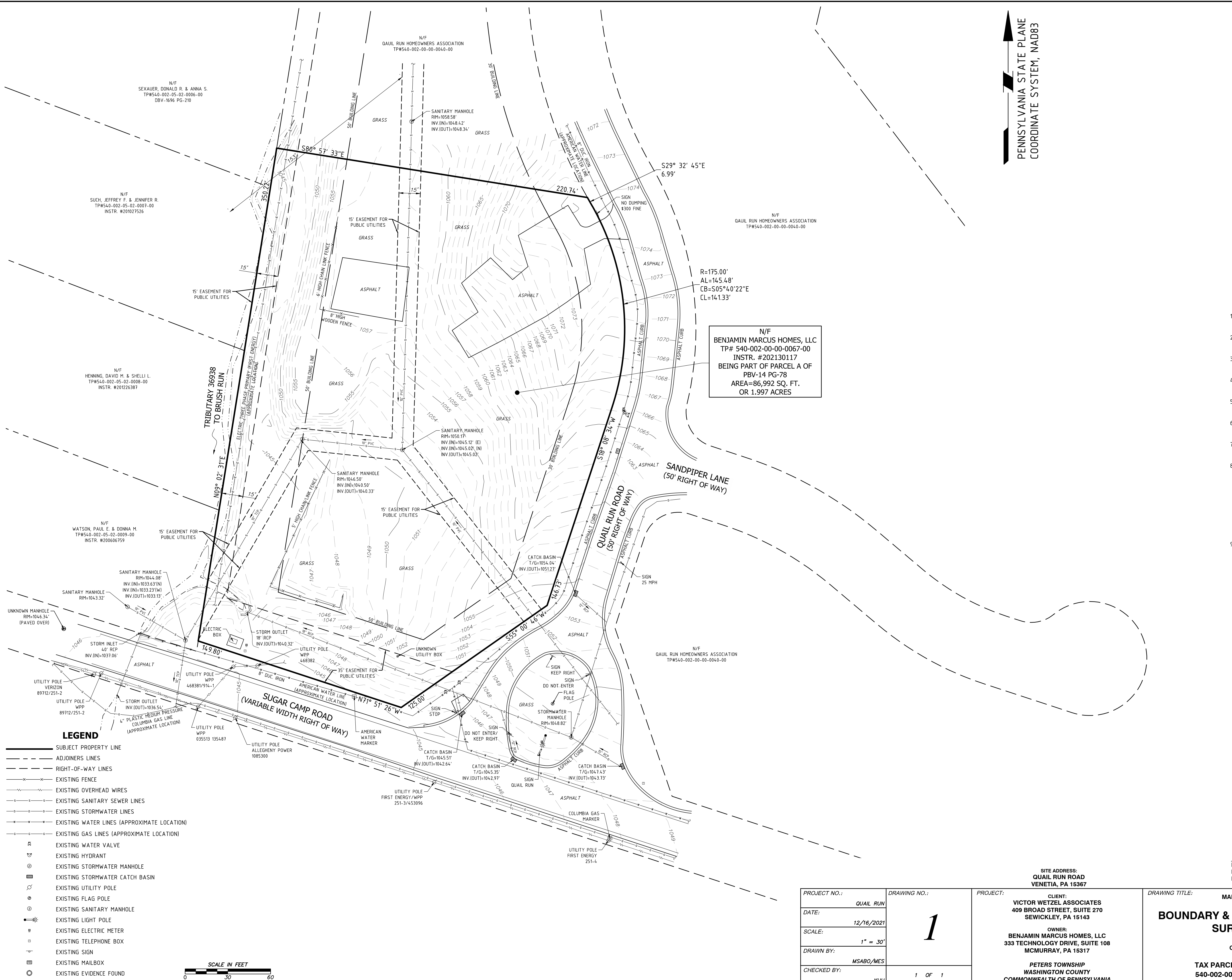
- THE SURVEY IS BASED UPON EXISTING CONDITIONS FOUND AT THE SUBJECT AND THE FOLLOWING REFERENCES:
1. PLAN ENTITLED "QUAIL RUN PLAN NO. 1" RECORDED IN PBV-14 PG-78, DATED OCTOBER 1976.
2. PLAN ENTITLED "DECLARATION PLAN OF QUAIL RUN PLAN PHASE 1", RECORDED IN PBV-17 PG-15, MARCH 1979.



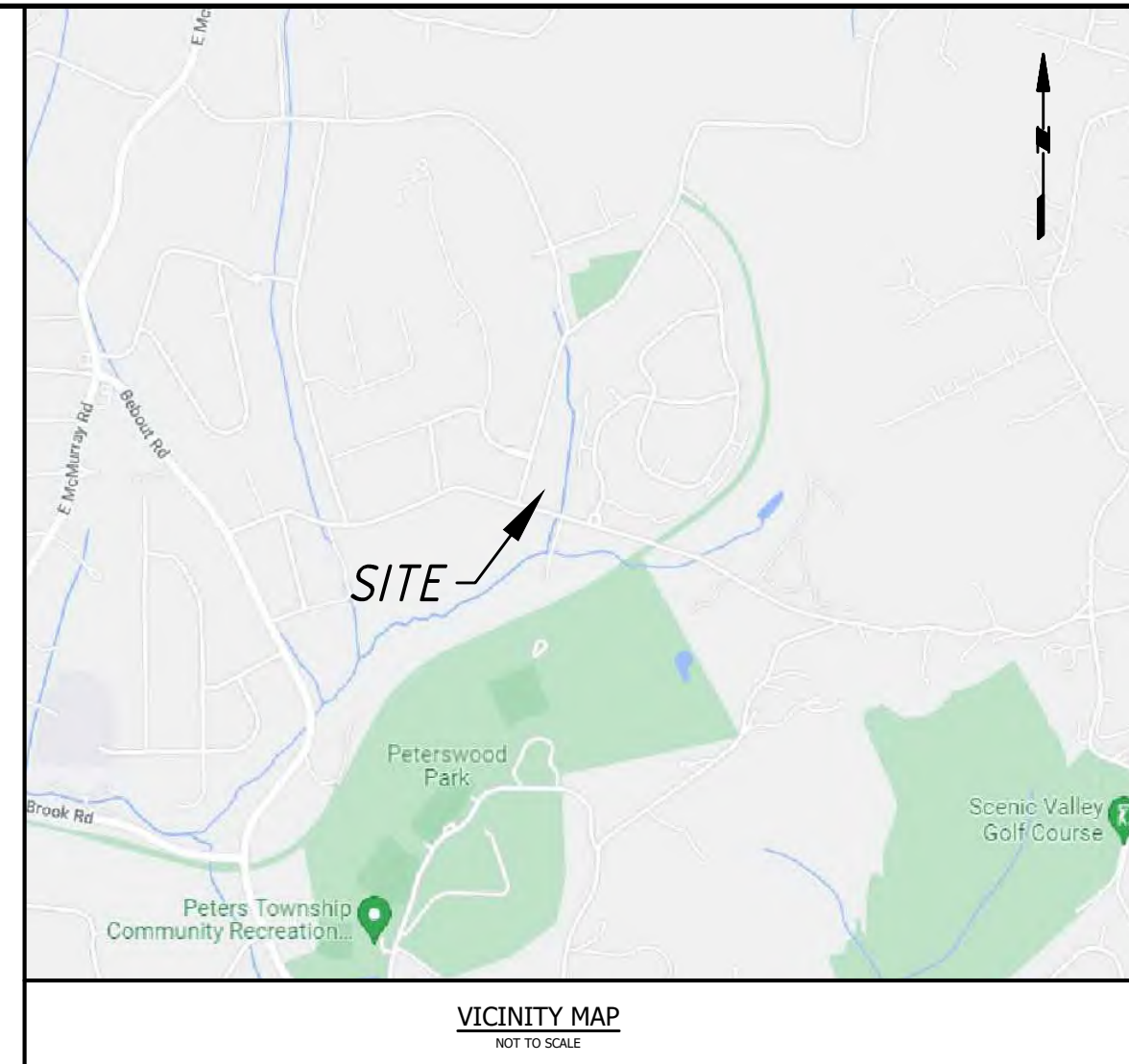
Keith H. Higgins PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU075168 DATE 03/16/2023



KEYSTONE SURVEYING & MAPPING INC. 534 VALLEY BROOK ROAD VENETIA, PA 15367 OFFICE (724) 514-7949



PENNSYLVANIA STATE PLANE
COORDINATE SYSTEM, NAD83



GENERAL NOTES

1. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, NAD 1983.
2. VERTICAL DATA SHOWN (IF ANY) IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, NAVD 1988.
3. STREET NAMES AND ROW WIDTHS, BLOCK AND LOT NUMBERS AS PER THE CURRENT TAX MAPS.
4. BOUNDARY INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY KEYSTONE SURVEYING AND MAPPING INC ON DECEMBER 9, 2021.
5. OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION OF ANY TYPE.
6. WETLANDS, ENVIRONMENTAL, AND/OR HAZARDOUS MATERIALS LOCATIONS, IF ANY, NOT COVERED UNDER THIS CONTRACT.
7. THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
8. KEYSTONE SURVEYING AND MAPPING, INC. MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, AS TO OUR STAKING, FINDINGS, RECOMMENDATIONS, PLANS, SPECIFICATIONS, OR PROFESSIONAL ADVICE EXCEPT THAT THE WORK WAS PERFORMED PURSUANT TO GENERALLY ACCEPTED STANDARDS OF PRACTICE AND DEGREE OF CARE EXERCISED BY MEMBERS OF THE SAME PROFESSION ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. AS USED IN THIS SURVEY, THE WORD CERTIFY (CERTIFIED, CERTIFICATION, AND/OR CERTIFICATE) SHALL BE INTERPRETED AS MEANING A PROFESSIONAL OPINION REGARDING THE CONDITIONS OF THOSE FACTS AND/OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.
9. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH OR BOUNDARY SURVEY. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, ETC. AS MAY BE DISCLOSED IN A CURRENT, COMPREHENSIVE TITLE SEARCH.

REFERENCES

- THE SURVEY IS BASED UPON EXISTING CONDITIONS FOUND AT THE SUBJECT AND THE FOLLOWING REFERENCES:
1. PLAN ENTITLED "QUAIL RUN PLAN NO. 1" RECORDED IN PBV-14 PG-78, DATED OCTOBER 1976.
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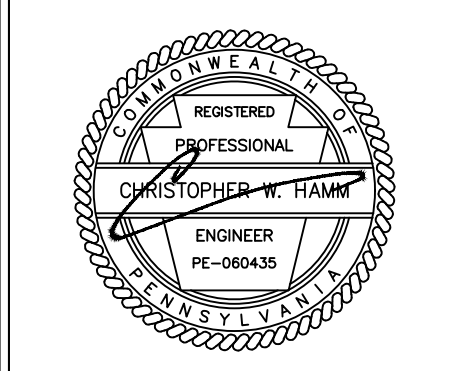
- LEGEND**
- SUBJECT PROPERTY LINE
 - ADJOINERS LINES
 - RIGHT-OF-WAY LINES
 - EXISTING FENCE
 - EXISTING OVERHEAD WIRES
 - EXISTING SANITARY SEWER LINES
 - EXISTING STORMWATER LINES
 - EXISTING WATER LINES (APPROXIMATE LOCATION)
 - EXISTING GAS LINES (APPROXIMATE LOCATION)
 - EXISTING WATER VALVE
 - EXISTING HYDRANT
 - EXISTING STORMWATER MANHOLE
 - EXISTING STORMWATER CATCH BASIN
 - EXISTING UTILITY POLE
 - EXISTING FLAG POLE
 - EXISTING SANITARY MANHOLE
 - EXISTING LIGHT POLE
 - EXISTING ELECTRIC METER
 - EXISTING TELEPHONE BOX
 - EXISTING SIGN
 - EXISTING MAILBOX
 - EXISTING EVIDENCE FOUND



Keith Higgins
KEITH H. HIGGINS
PROFESSIONAL LAND SURVEYOR
PA LIC NO. SU075168

12/16/2021
DATE

PROJECT NO.: QUAIL RUN	DRAWING NO.: 1	PROJECT: CLIENT: VICTOR WETZEL ASSOCIATES 409 BROAD STREET, SUITE 270 SEWICKLEY, PA 15143 OWNER: BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 MCMURRAY, PA 15317 PETERS TOWNSHIP WASHINGTON COUNTY COMMONWEALTH OF PENNSYLVANIA	DRAWING TITLE: MAP OF BOUNDARY & TOPOGRAPHY SURVEY OF TAX PARCEL NUMBER 540-002-00-00-0067-00
DATE: 12/16/2021	SCALE: 1" = 30'	DRAWN BY: MSABO/MES	
CHECKED BY: KHH	1 OF 1		



REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PTSA REVIEW COMMENTS
9	07/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCDC COMMENTS
7	10/04/2022	ADDRESS WCDC COMMENTS
6	8/19/2022	ADDRESS TOWNSHIP COMMENTS
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CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
EXISTING CONDITIONS PLAN
SHEET NO:
D1.0

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABTAC DETAILS AND NOTES.

FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.
NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.

NOTES:

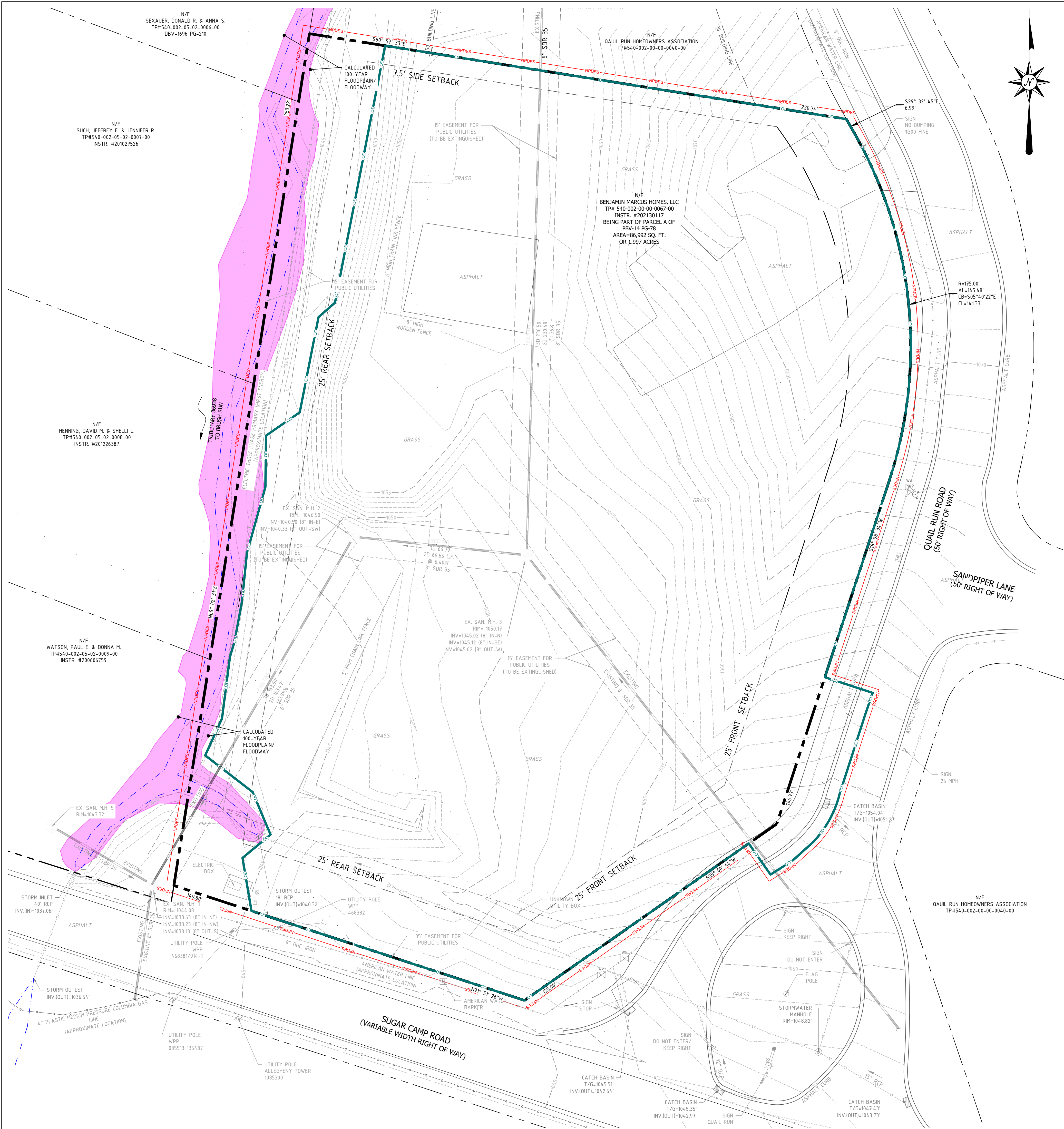
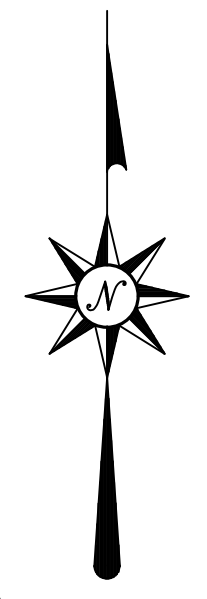
- GROSS AREA OF THE SITE IS 1.897 ACRES.
- THE TAX ID FOR THE DEVELOPED PARCEL IS 540-002-00-00-0067-00.
- THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL DISTRICT.
- THE EXISTING LAND USE: UNDEVELOPED CURRENTLY VACANT.
- BASE TOPOGRAPHIC SURVEY INFORMATION IS BASE ON FIELD DATA.
- NO WETLANDS EXIST ON THE PROPERTY.
- GROSS OPEN SPACE: 0.375 ACRES.
- OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983.
- ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

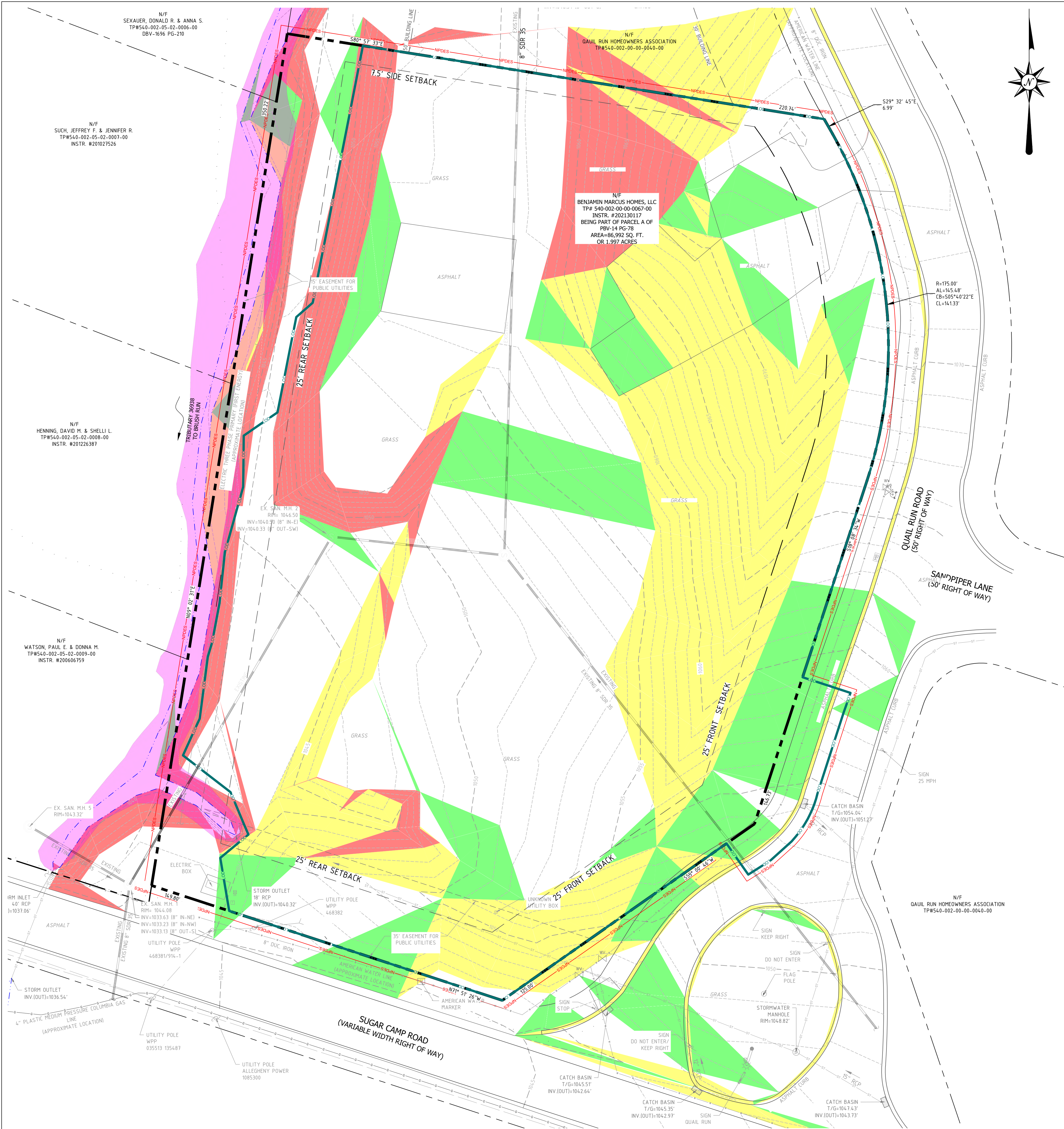
UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

LEGEND

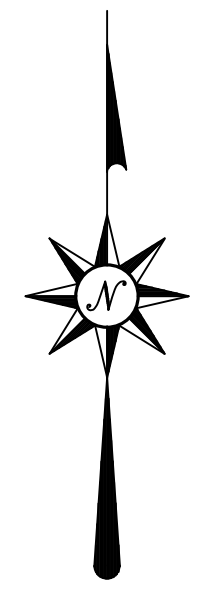
- PROPERTY LINE
- LOT LINE
- YARD SETBACK
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- EXISTING SANITARY SEWER LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING WATERLINE
- EXISTING GASLINE
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- LIMITS OF DISTURBANCE
- NPDES BOUNDARY
- STREAM
- CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY





Slopes Table

Number	Minimum Slope	Maximum Slope	Area	Color
1	10.00%	15.00%	17503.76	Green
2	15.00%	25.00%	26880.87	Yellow
3	25.00%	100.00%	12732.09	Red



RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

FLOODPLAIN

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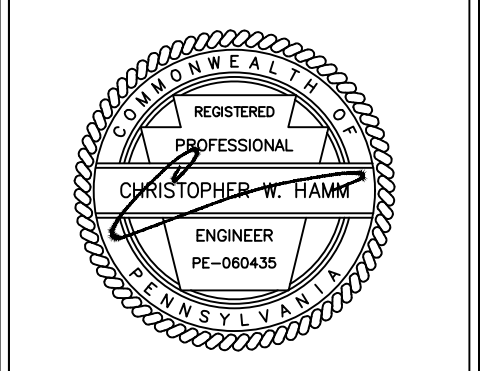
NOTES:

- GROSS AREA OF THE SITE IS 1.997 ACRES.
- THE TAX ID FOR THE DEVELOPED PARCEL IS 540-002-00-0087-00.
- THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL DISTRICT.
- THE EXISTING LAND USE: UNDEVELOPED CURRENTLY VACANT.
- BASE TOPOGRAPHIC SURVEY INFORMATION IS BASE ON FIELD DATA.
- NO WETLANDS EXIST ON THE PROPERTY.
- GROSS OPEN SPACE: 0.375 ACRES.
- OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

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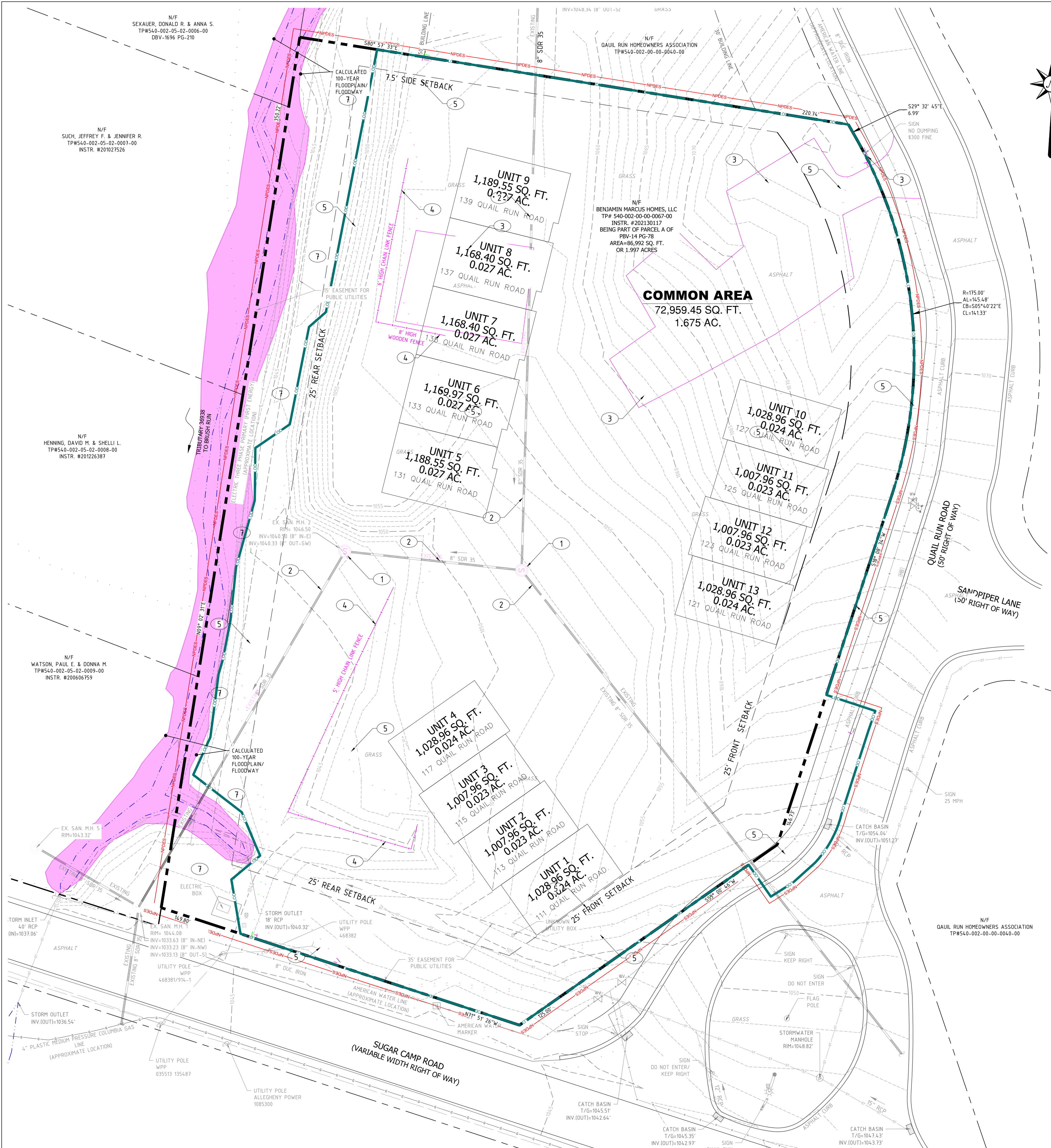
BENJAMIN MARCUS HOMES

CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
SLOPE MAP
SHEET NO:
D1.1





SITE DEMOLITION NOTES:

- ① CONTRACTOR SHALL REMOVE EXISTING SANITARY MANHOLE AND BACKFILL
- ② CONTRACTOR SHALL REMOVE EXISTING SANITARY SEWER LINE AND BACKFILL
- ③ CONTRACTOR SHALL REMOVE EXISTING ASPHALT PAVING
- ④ CONTRACTOR SHALL REMOVE EXISTING FENCING
- ⑤ CONTRACTOR SHALL REMOVE EXISTING TREES AND VEGETATION AS SHOWN
- ⑥ CONTRACTOR SHALL REMOVE EXISTING "NO DUMPING" SIGN
- ⑦ EXISTING TREES TO REMAIN IN THIS AREA

GENERAL DEMOLITION NOTES:

1. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
2. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS AND FOOTINGS. IN ADDITION, ALL EXISTING UTILITY SERVICES TO BE TERMINATED PER UTILITY PROVIDER REQUIREMENTS.
3. CONTRACTOR SHALL CONTACT ONE CALL SYSTEM AND THE APPROPRIATE UTILITY COMPANIES AT LEAST THREE (3) DAYS PRIOR TO THE INITIATION OF EARTH MOVING AND DEMOLITION ACTIVITIES.
4. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS NOT USED AS FILL MATERIAL, SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. ASBESTOS OR HAZARDOUS MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
9. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL ACTIVITIES.
10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING ALL ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT

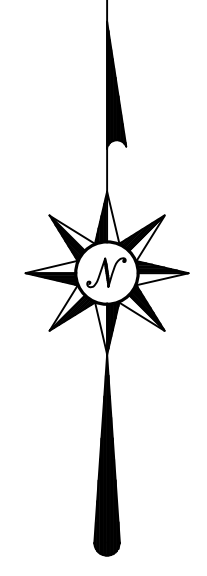
LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.
NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.

NOTES:

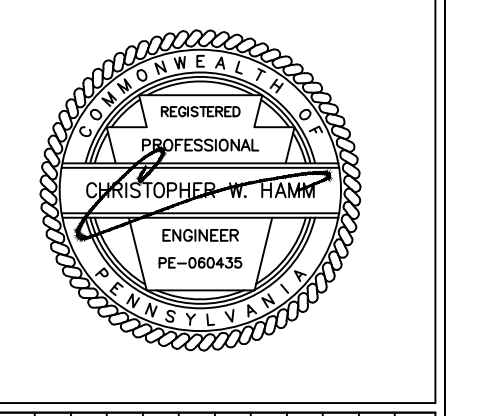
1. GROSS AREA OF THE SITE IS 1.997 ACRES.
2. THE TAX ID FOR THE DEVELOPED PARCEL IS 540-002-00-00-0067-00.
3. THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL DISTRICT.
4. THE EXISTING LAND USE, UNDEVELOPED CURRENTLY VACANT.
5. BASE TOPOGRAPHIC SURVEY INFORMATION IS BASE ON FIELD DATA.
6. NO WETLANDS EXIST ON THE PROPERTY.
7. GROSS OPEN SPACE: 0.375 ACRES.
8. OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
9. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
10. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



KDH
CONSULTING ENGINEERS, INC.
593 RUGH STREET
GREENSBURG, PA 15601
P: 878-295-8914 F: 724-514-7047
www.kdhengineers.com



REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PTSA REVIEW COMMENTS
9	01/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCCD COMMENTS
7	10/04/2022	ADDRESS WCCD COMMENTS
6	08/19/2022	ADDRESS TOWNSHIP COMMENTS
5	08/12/2022	ADDRESS WCCD COMMENTS
4	8/12/2022	ADDRESS TOWNSHIP COMMENTS
3	7/29/2022	ADDRESS WCCD COMMENTS
2	5/17/2022	ADDRESS TOWNSHIP COMMENTS
11	3/17/2023	CONDO PLAN



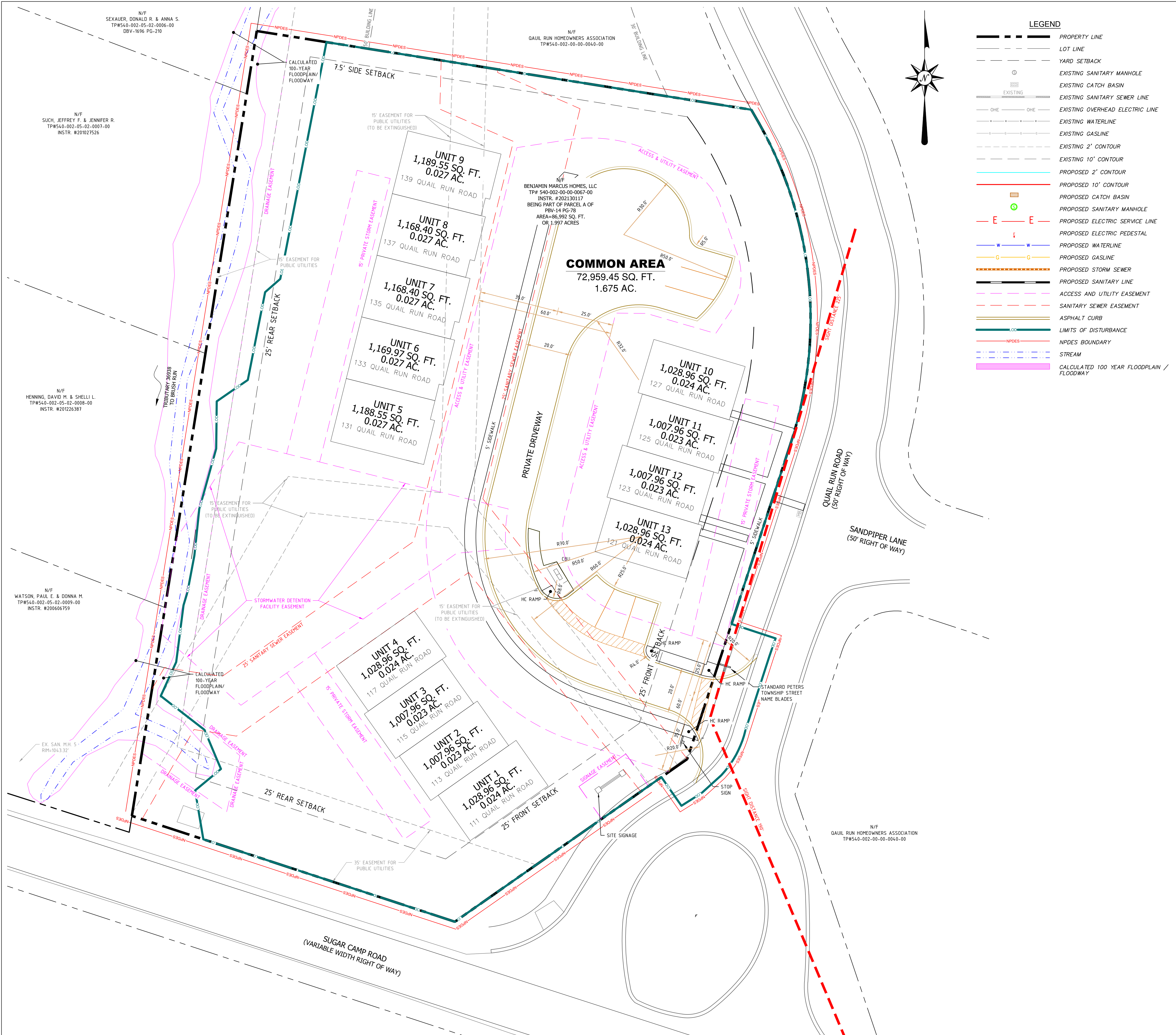
CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
DEMOLITION PLAN

SHEET NO.
D1.2





HOUSING UNIT TABLE

LOT NUMBER	LOT TYPE	LOT SIZE
LOT 1 - UNIT A	CONDOMINIUM	6,967.07 SQ. FT. - 0.395 AC.
LOT 1 - UNIT B	CONDOMINIUM	2,987.27 SQ. FT. - 0.069 AC.
LOT 1 - UNIT C	CONDOMINIUM	2,893.84 SQ. FT. - 0.066 AC.
LOT 1 - UNIT D	CONDOMINIUM	4,356.90 SQ. FT. - 0.100 AC.
LOT 2 - UNIT A	CONDOMINIUM	4,581.68 SQ. FT. - 0.105 AC.
LOT 2 - UNIT B	CONDOMINIUM	2,948.61 SQ. FT. - 0.068 AC.
LOT 2 - UNIT C	CONDOMINIUM	2,885.32 SQ. FT. - 0.066 AC.
LOT 2 - UNIT D	CONDOMINIUM	6,909.70 SQ. FT. - 0.159 AC.
LOT 3 - UNIT A	CONDOMINIUM	5,573.48 SQ. FT. - 0.128 AC.
LOT 3 - UNIT B	CONDOMINIUM	4,135.56 SQ. FT. - 0.095 AC.
LOT 3 - UNIT C	CONDOMINIUM	4,204.75 SQ. FT. - 0.096 AC.
LOT 3 - UNIT D	CONDOMINIUM	8,145.90 SQ. FT. - 0.187 AC.
LOT 3 - UNIT E	CONDOMINIUM	14,042.23 SQ. FT. - 0.322 AC.
COMMON AREA	OPEN SPACE	16,351.06 SQ. FT. - 0.375 AC.

13 TOTAL LOTS: 13 CONDOMINIUM LOTS (100%)

ZONING COMPARISON CHART

	MD	CAMDEN VILLAGE
MIN. LOT AREA	N/A	N/A
MAX D/U PER ACRE	7	6
MAX. BLDG. COVERAGE	35%	35%
MIN. FRONTAGE	N/A	N/A
MAX. BLDG. HEIGHT	45'	45'
MIN. FRONT YARD	25'	25'
MIN. SIDE YARD	7.5'	7.5'
MIN. REAR YARD	25'	25'
SITE AREA	2.0 ACRES	2.0 ACRES
OPEN SPACE	NOT REQUIRED	0.37 ACRES (19%)

ZONING INFORMATION

ZONING: MD (MEDIUM DENSITY RESIDENTIAL DISTRICT)
 MINIMUM GROSS LOT: 5 ACRES FOR DEVELOPMENT*

MAXIMUM GROSS DWELLING UNITS PER ACRE OR LOT: 7 GROSS

MINIMUM PRINCIPAL BUILDING SETBACKS: FRONT - 25 FEET, SIDE - 7.5 FEET, REAR - 25 FEET

MINIMUM ACCESSORY BUILDING SETBACKS: FRONT - 25 FEET, SIDE - 7.5 FEET, REAR - 15 FEET

MAXIMUM BUILDING HEIGHT: 45 FEET MAXIMUM

MAXIMUM LOT COVERAGE: 35%

* UNITS CAN BE ON INDIVIDUAL LOTS OR CONDOMINIUM; NO MINIMUM LOT SIZE FOR INDIVIDUAL LOTS.

REVISIONS

NO.	DATE	DESCRIPTION
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11	3/17/2023	CONDO PLAN
REV		

FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES
 81,965.35 SQ. FT.

NPDES PERMIT BOUNDARY: 2.0 ACRES
 87,120.00 SQ. FT.

- ### NOTES:
- GROSS AREA OF THE SITE IS 1.997 ACRES.
 - THE TAX ID FOR THE DEVELOPED PARCEL IS 540-002-00-0067-00.
 - THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL DISTRICT.
 - THE EXISTING LAND USE: UNDEVELOPED CURRENTLY VACANT.
 - BASE TOPOGRAPHIC SURVEY INFORMATION IS BASE ON FIELD DATA.
 - NO WETLANDS EXIST ON THE PROPERTY.
 - GROSS OPEN SPACE: 0.375 ACRES.
 - OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

PARKING CHART:

REQUIRED	PROVIDED
1.5 / DU + 1/2 GUEST PARKING (5 STALL MAX IN ANY ONE AREA)	26 SPACES
	+4 GUEST

811
Know what's below.
Call before you dig.

KDH
CONSULTING ENGINEERS, INC.
593 RUGH STREET
GREENSBURG, PA 15601
P: 878-295-8914 F: 724-514-7047
www.kdhengineers.com

REGISTERED PROFESSIONAL ENGINEER
CHRISTOPHER W. HAM
PE-00435

REVISIONS

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REV		

BENJAMIN MARCUS
HOMES

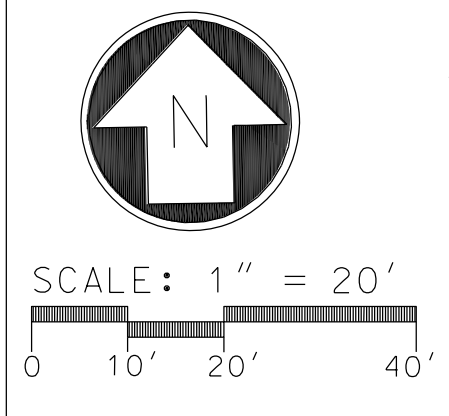
CAMDEN VILLAGE

PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
 DATE: 9/27/2022
 DRAWN BY: RAM
 CHECKED BY: CWH

SHEET TITLE:
SITE LAYOUT PLAN

SHEET NO.
D2.0



N/F
SEXAUER, DONALD R. & ANNA S.
TP#540-002-05-02-0006-00
DBV-1696 PG-210

N/F
QUAIL RUN HOMEOWNERS ASSOCIATION
TP#540-002-00-00-0040-00

N/F
SUCH, JEFFREY F. & JENNIFER R.
TP#540-002-05-02-0007-00
INSTR. #201027526

N/F
HENNING, DAVID M. & SHELLI L.
TP#540-002-05-02-0008-00
INSTR. #201226387

N/F
WATSON, PAUL E. & DONNA M.
TP#540-002-05-02-0009-00
INSTR. #200606759

Victor-Wetzel Associates Landscape Architects
409 Broad Street
Suite 270
Sewickley, PA 15143
Office | 412-741-2290
Fax | 412-741-0506
E-mail | vwa@vwa.net



N/F
QUAIL RUN HOMEOWNERS ASSOCIATION
TP#540-002-00-00-0040-00

PARKING CHART
1.5 /DU + 15 GUEST PARKING
(5 STALL MAX IN ANY ONE AREA)

REQUIRED:	PROPOSED:
20 SPACES +4 GUEST	26 SPACES +6 GUEST

ZONING COMPARISON CHART:

	MD	CAMDEN VILLAGE
	TOWNHOUSE	TOWNHOUSE
MIN. LOT AREA	N/A	N/A
MAX. D/U PER ACRE	7	6
MAX. BLDG. COVERAGE	35%	35%
MIN. FRONTAGE	N/A	N/A
MAX. BLDG. HEIGHT	45'	45'
MIN. FRONT YARD	25'	25'
MIN. SIDE YARD	7.5'	7.5'
MIN. REAR YARD	25'	25'
SITE AREA	2.0 ACRES	2.0 ACRES

NOTES:

- GROSS SITE AREA: 2.0 ACRES
- THE TAX ID FOR THIS DEVELOPMENT: PARCEL: 540-002-00-00-0067-00
- THE EXISTING SITE IS ZONED MD-LOW DENSITY RESIDENTIAL. TOWNHOUSES ARE A PERMITTED USE.
- EXISTING LAND USE: UNDEVELOPED
- THE SURVEY & TOPOGRAPHY WAS COMPLETED BY KEYSTONE SURVEYING & MAPPING INC. USING FIELD GATHERED DATA.
- TRIBUTARY 36938 TO BRUSH CREEK FLOWS ALONG THE WESTERN PROPERTY LINE.
- THERE ARE NO WETLANDS PRESENT ON THE SITE.
- ALL COMMON AREA SHALL BE PRIVATE AND OWNED & MAINTAINED BY A HOMEOWNERS ASSOCIATION.
- ALL EARTHWORK SHALL BE MONITORED BY A GEOTECHNICAL ENGINEER.
- SURVEY MONUMENTS SHALL BE PROVIDED SHOWN ON THE FINAL SUBDIVISION PLAN.
- ALL STREETS AND PARKING AREAS ARE PRIVATE AND WILL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION.



REVISIONS:

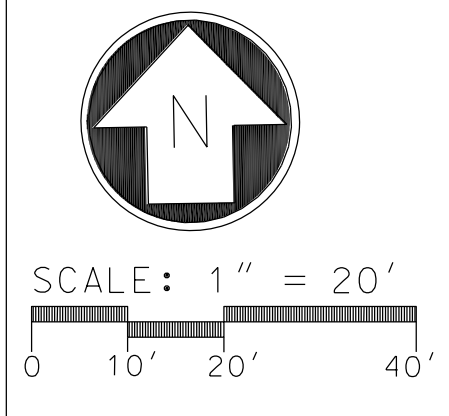
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2.	7-28-22	AS PER TOWNSHIP COMMENTS
3.	8-11-22	AS PER TOWNSHIP COMMENTS
4.	12-22-22	AS PER TOWNSHIP COMMENTS
5.	1-20-23	AS PER TOWNSHIP COMMENTS
6.	3-17-23	AS PER TOWNSHIP COMMENTS

CLIENT:

CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

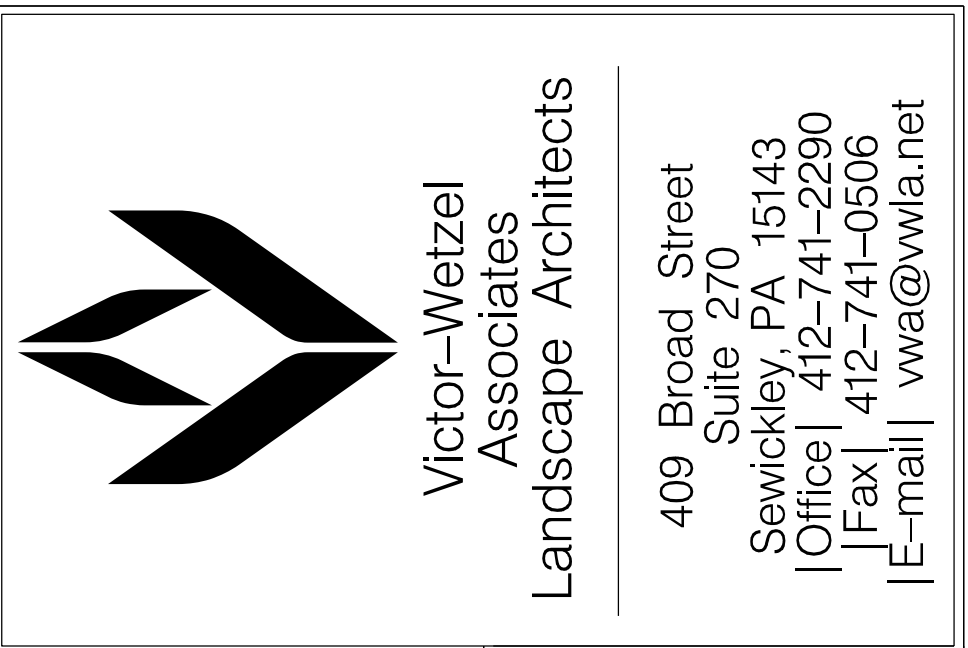
PROJ NO: 291-003-21
DATE: 04/14/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
SITE PLAN
SHEET NO.
D2.1

PERMIT SET
NOT FOR CONSTRUCTION

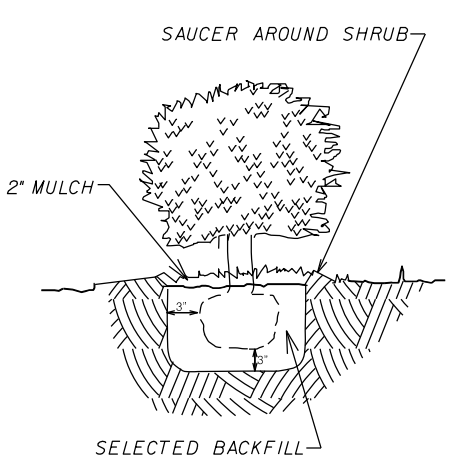


PLANT LIST

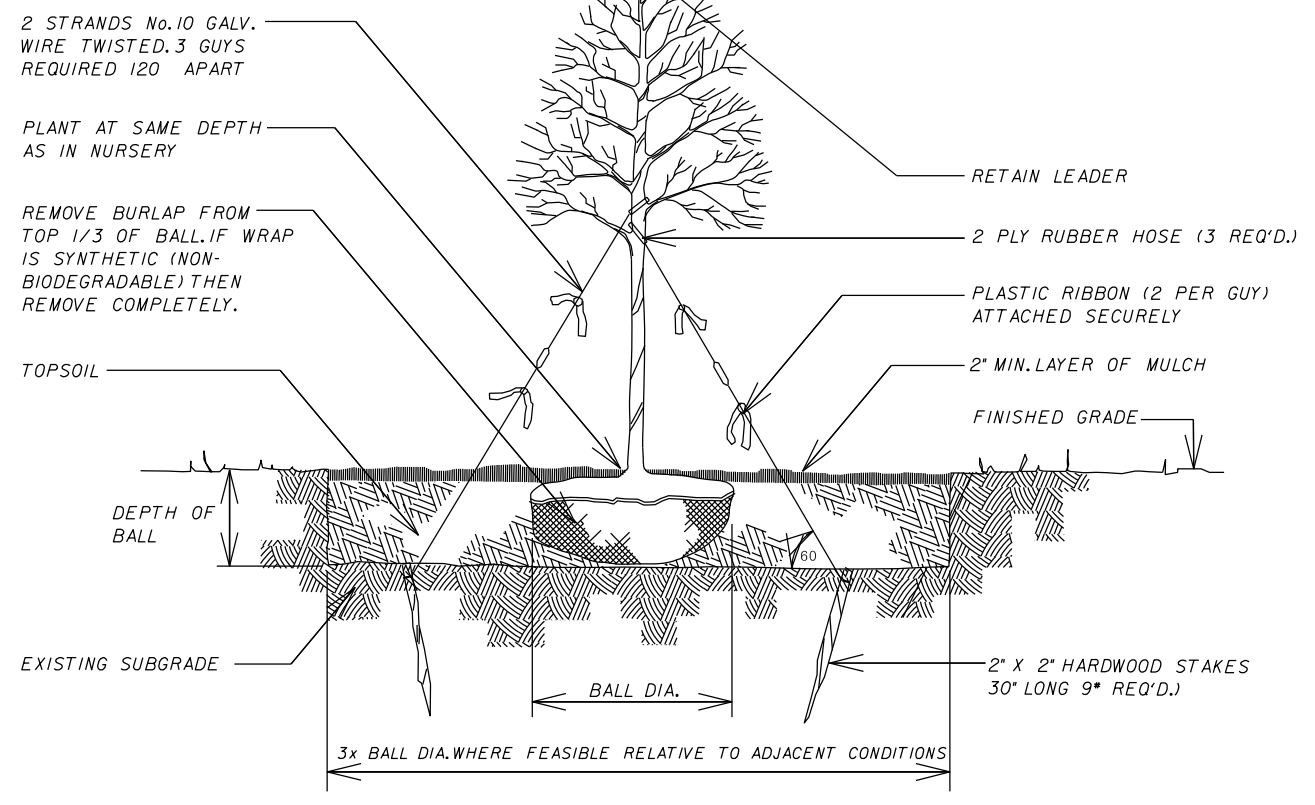
SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CANOPY TREES					
CM	10	Celebration Maple	ACER x fremanii 'Celebration'	2-1/2" cal	B & B
SS	4	Spring Snow Crab	MALUS 'Spring Snow'	2-1/2" cal	B & B
BG	18	Black Gum	NYSSA sylvatica	2" cal	B & B
AS	11	Allegheny Serviceberry	AMELANCHIER laevis	2" cal	B & B
EVERGREEN TREES					
AP	25	Austrian Pine	PINUS nigra	5-6' ht.	B & B
SHRUBS					
BG	67	Burkwood Viburnum	VIBURNUM x burkwoodii	24" ht.	#3 CONT.



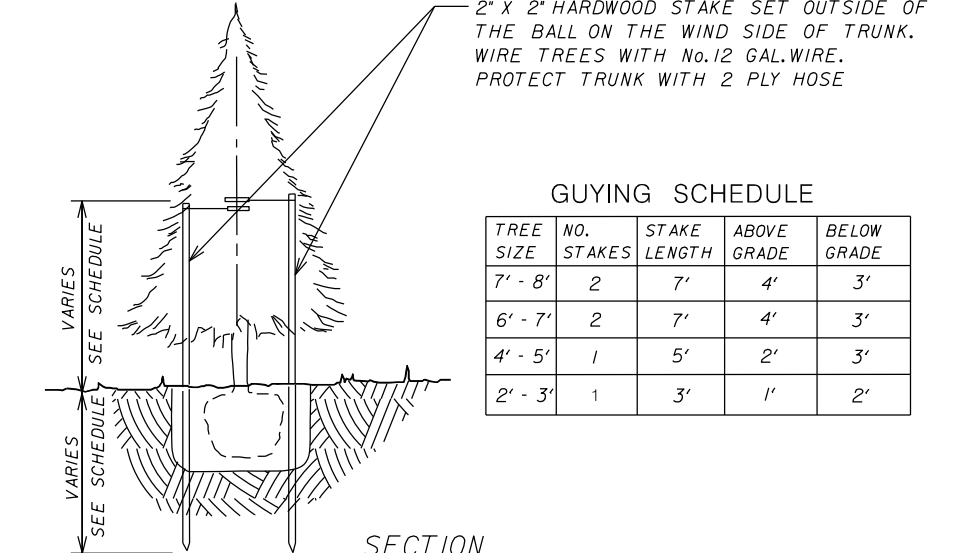
IF OWNER DEEMS EXISTING TREES OBSTRUCT LINE OF SIGHT, IT IS THE OWNERS RESPONSIBILITY TO REMOVE THEM. SEE NOTE #8.



SHRUB PLANTING
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



GUYING SCHEDULE

TREE SIZE	NO. STAKES	STAKE LENGTH	ABOVE GRADE	BELOW GRADE
7'-8"	2	7'	4"	3'
6'-7'	2	7'	4"	3'
4'-5'	1	5'	2"	3'
2'-3'	1	3'	1"	2'

EVERGREEN TREE GUYING
NOT TO SCALE

BUFFERYARD DETAIL

- NOTES:**
- PRIOR TO ANY PLANTING, ROTOTILL IN 2" LAYER OF COMPOST INTO TOP 12" OF EXISTING TOPSOIL.
 - EACH PLANT MUST BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES IN ALL RESPECTS, BE READY FOR FIELD PLANTING.
 - ALL PLANTINGS WILL BE GUARANTEED FOR THREE GROWING SEASONS FROM THE DATE OF INSTALLATION.
 - ALL PLANTS MUST CONFORM TO THE AMERICAN STANDARDS FOR NURSERYMEN STOCK IN REGARDS TO SIZING, GROWING, AND B&B SPECIFICATIONS.
 - IF DECIDUOUS TREES ARE PLANTED IN THE FALL THEN THEY SHALL BE STAKED FOR ONE SEASON, IF PLANTING OCCURS IN THE SPRING, THEN NO STAKING IS REQUIRED.
 - ALL TREES TO HAVE 3" DIAMETER MULCH CIRCLE AROUND TRUNK FOR MOISTURE RETENTION.
 - SEE E&S PLAN FOR SEEDING SPECIFICATIONS.
 - UPON COMPLETION OF CONSTRUCTION, THE OWNER MUST CONFIRM THAT ADEQUATE SITE DISTANCE IS ACHIEVED.

SPECIFICATIONS:
 FIXTURE: COLONIAL LANTERN
 COLOR: BLY
 POLE: 1/4" FIBERGLASS FROM FINISHED GRADE
 BULB: 100W HIGH PRESSURE SODIUM
PROPOSED STREET LIGHT
 NOT TO SCALE

CBU SHELTER
 SHELTER IS A TYPICAL REPRESENTATION AND MAY CHANGE BASED UPON BUILDER & BUYER DESIGN PREFERENCES. SHELTER TO HAVE UNDER-CANOPY MOTION DETECTION LIGHTING.

REVISIONS:

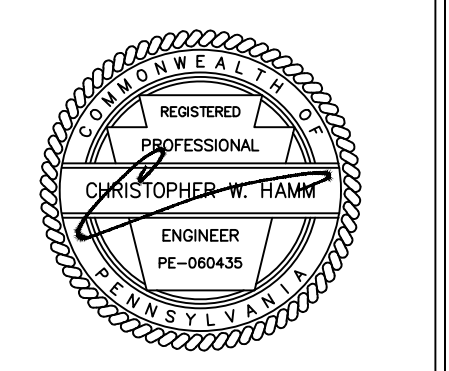
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2	7-19-22	AS PER TOWNSHIP COMMENTS
3	8-11-22	AS PER TOWNSHIP COMMENTS
4	8-23-22	AS PER TOWNSHIP COMMENTS
5	8-23-22	AS PER TOWNSHIP COMMENTS
6	12-22-22	AS PER TOWNSHIP COMMENTS
7	1-20-23	AS PER TOWNSHIP COMMENTS
8	3-17-23	AS PER TOWNSHIP COMMENTS

CAMDEN VILLAGE
 PETERS TOWNSHIP, WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
 DATE: 04/14/2022
 DRAWN BY: RAM
 CHECKED BY: CWH

SHEET NO.
D2.2



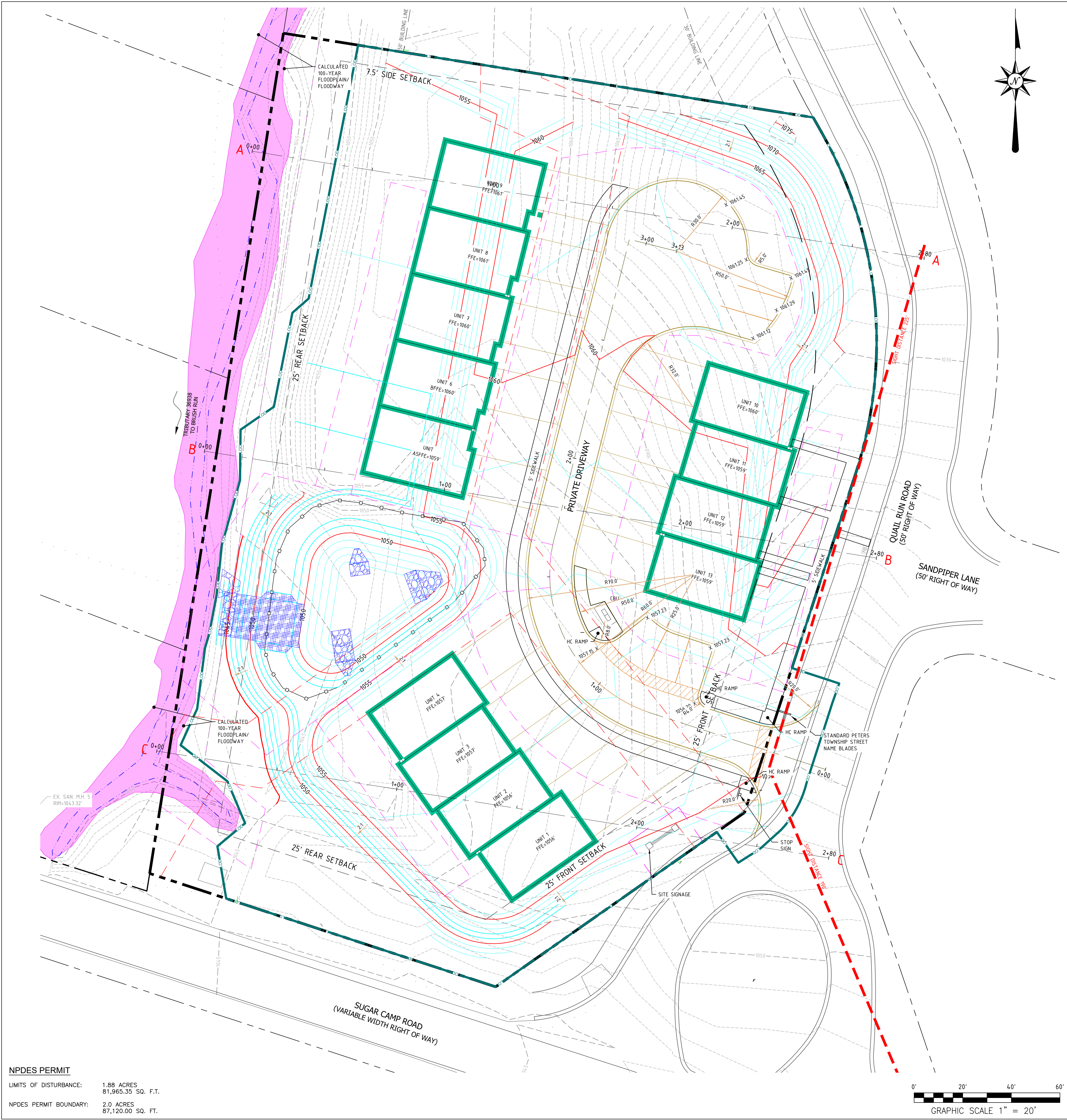


REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PISA REVIEW COMMENTS
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5	08/12/2022	ADDRESS TOWNSHIP COMMENTS
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3	07/29/2022	ADDRESS TOWNSHIP COMMENTS
2	07/12/2022	ADDRESS TOWNSHIP COMMENTS
11	03/17/2023	CONDO PLAN



CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
OVERALL GRADING PLAN
SHEET NO.
D3.0



LEGEND

- PROPERTY LINE
- LOT LINE
- YARD SETBACK
- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- EXISTING SANITARY SEWER LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING WATERLINE
- EXISTING GASLINE
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED ELECTRIC SERVICE LINE
- PROPOSED ELECTRIC PEDESTAL
- PROPOSED WATERLINE
- PROPOSED GASLINE
- PROPOSED STORM SEWER
- PROPOSED SANITARY LINE
- ACCESS AND UTILITY EASEMENT
- SANITARY SEWER EASEMENT
- ASPHALT CURB
- LIMITS OF DISTURBANCE
- NPDES BOUNDARY
- STREAM
- CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

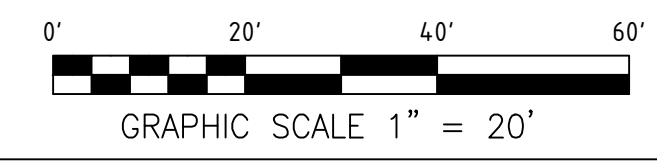
- GRADING NOTES:**
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
 - SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - ALL ELEVATIONS ARE TO FINISHED GRADE.
 - A SITE FOR EXCESS MATERIAL WILL BE DETERMINED AND THE APPROPRIATE PAPERWORK SHALL BE FILED WITH THE MUNICIPALITY PRIOR TO THE COMMENCEMENT OF EARTHWORK ACTIVITIES. NO WORK SHALL BE COMPLETED PRIOR TO APPROVAL OF AN EROSION AND SEDIMENTATION CONTROL PLAN THROUGH THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
 - IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR & PERIMETER FOOTINGS.
 - THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING ENTRANCE LOCATIONS.
 - ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED, LOCAL MUNICIPAL REQUIREMENTS, APPLICABLE SECTIONS OF PADOT PUBLICATION 408 STANDARD SPECIFICATIONS AND STANDARDS FOR ROADWAY CONSTRUCTION, LATEST ADDITION AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
 - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL AT 800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHOWN ARE APPROXIMATE AND THOSE SHOWN ARE NOT NECESSARILY ALL OF THE EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE, LOCATION AND SIZE OF ALL UTILITIES & UNDERGROUND STRUCTURES AND REPORT DISCREPANCIES TO NATIONAL SURVEY AND ENGINEERING PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS OTHERWISE NOTED.
 - ALL SLOPES SHALL BE 2:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
 - PAVEMENT SLOPES ACROSS HANDICAP PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2% OR IN ACCORDANCE WITH THE LATEST ADA STANDARDS.
 - CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE REMOVAL AND/OR RELOCATION OF UTILITIES. SEE UTILITY PLAN FOR ADDITIONAL NOTES AND CONDITIONS.
 - PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLAND IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL PLAN PREPARED FOR THIS PROJECT.
 - THE CONTRACTOR SHALL PROOF ROLL THE SITE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND REMOVE ANY SOFT SOIL PRIOR TO THE IMPORTING OF ANY FILL MATERIAL.
 - THE CONTRACTOR SHALL COMPACT ALL FILL MATERIALS IN LIFTS NOT GREATER THAN 12" AND TO NO LESS THAN 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM S1557 TO PROVIDE STABILITY AND PREVENT SETTLEMENT.
 - ALL AREAS NOT PAVED SHALL BE LANDSCAPED IN ACCORDANCE WITH THE PLANS, UNLESS NOTED OTHERWISE IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE DEVELOPER.
 - CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD.
 - ALL DISTURBED AREAS, WHETHER NOTED ON THE PLANS OR NOT, SHALL BE PROVIDED WITH TOPSOIL AND MULCH AFTER FINAL GRADE IS REACHED.

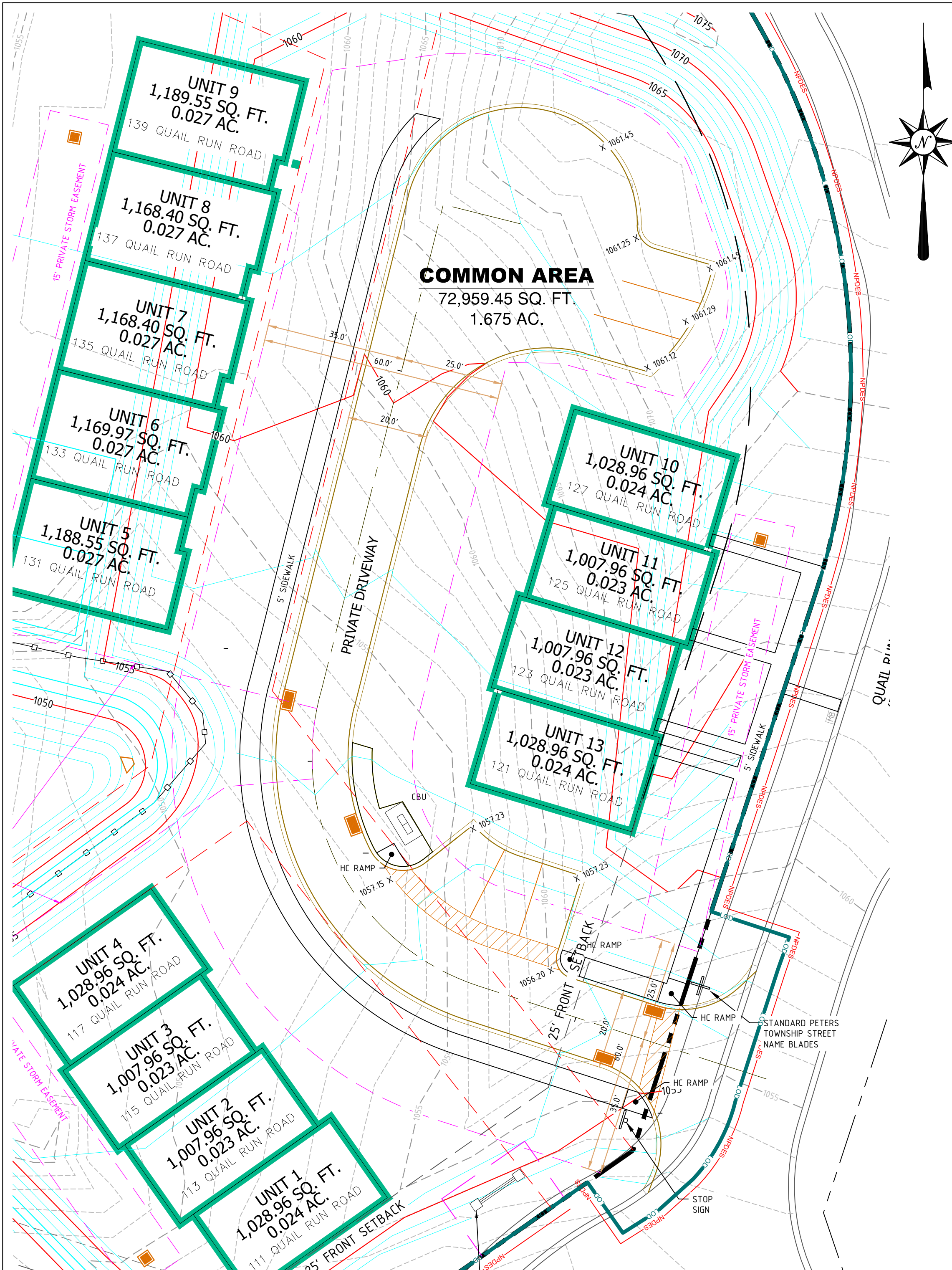
RECEIVING WATERS
THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED. ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

FLOODPLAIN
THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

UTILITY NOTES:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

NPDES PERMIT
LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.
NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.





RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABOUT DETAILS AND NOTES.

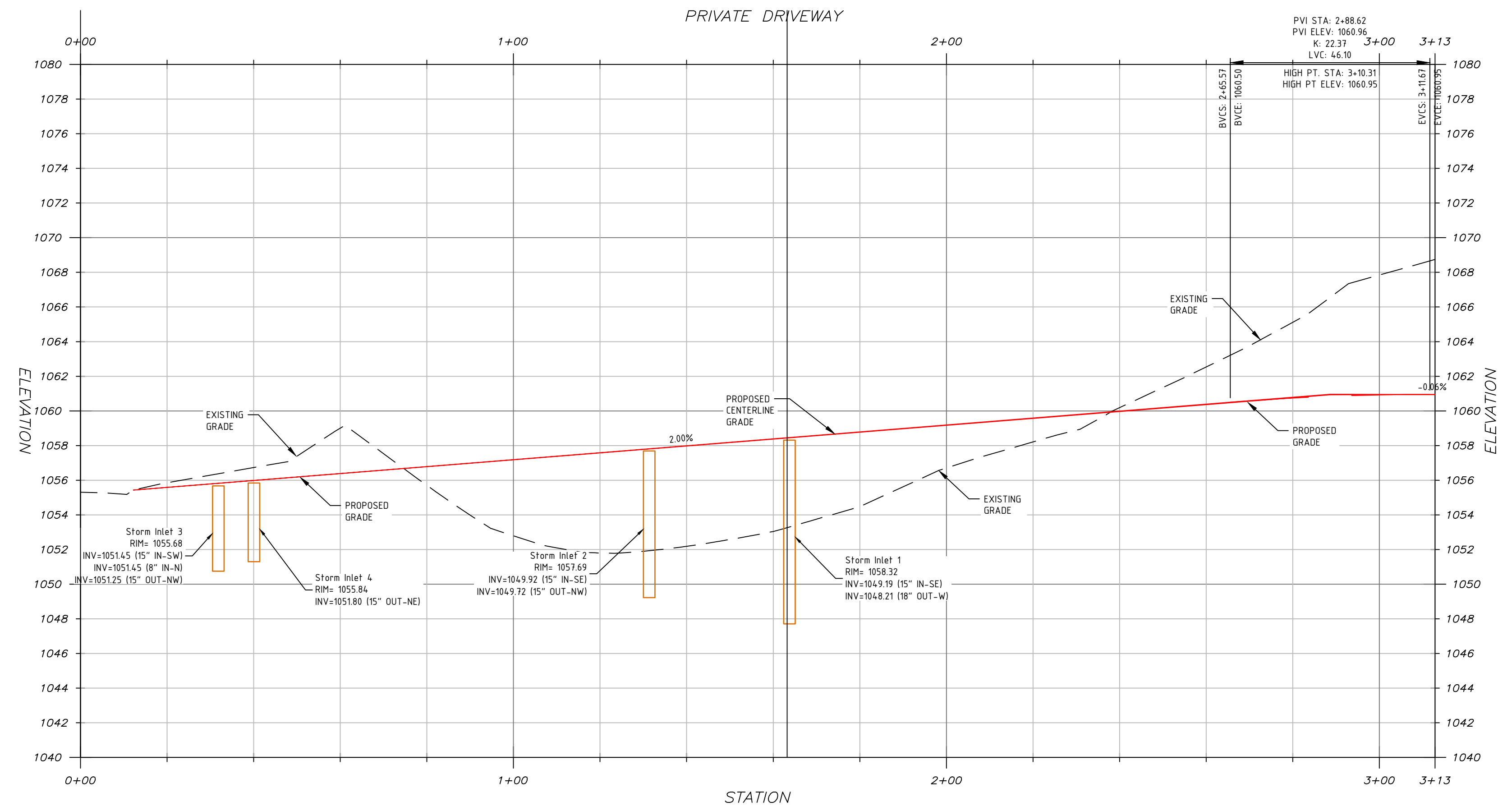
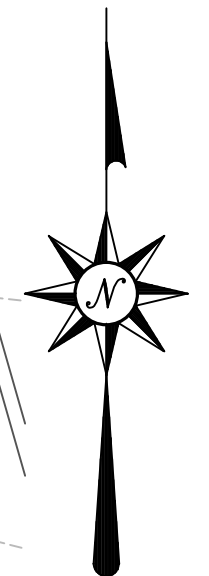
FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

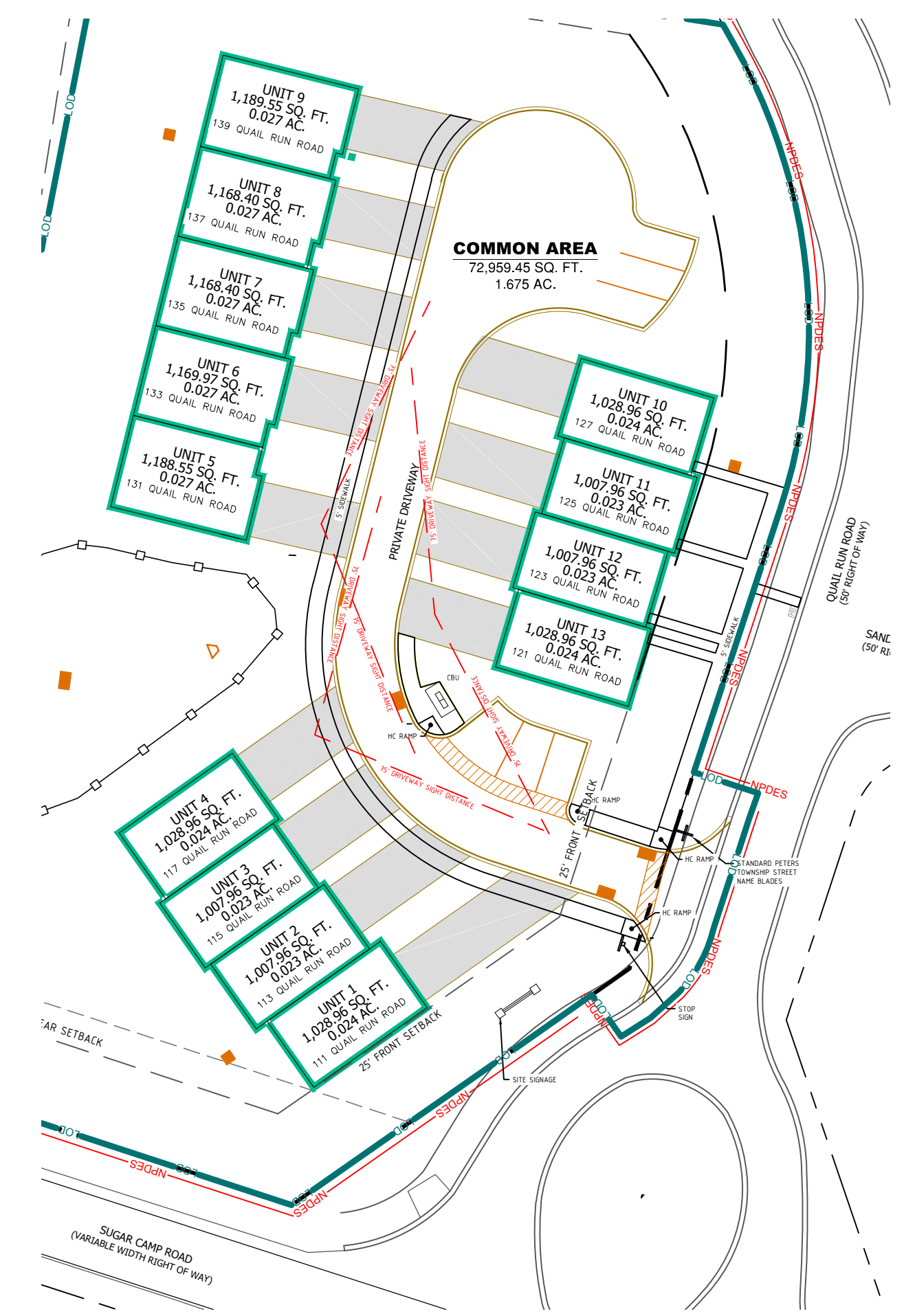
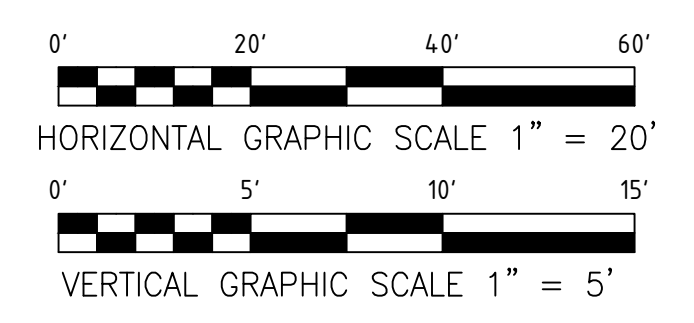
NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.

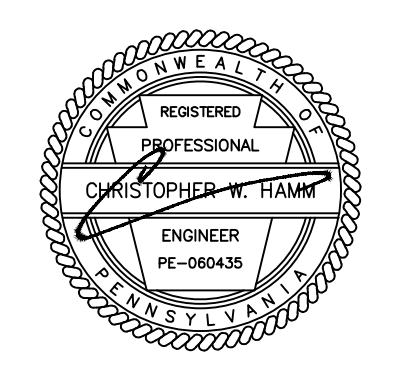
NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.



- NOTES:**
- ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
 - THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).



TYPICAL DRIVEWAY SIGHT DISTANCE
HORIZONTAL GRAPHIC SCALE 1" = 40'



REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PISA REVIEW COMMENTS
9	07/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCCD COMMENTS
7	10/04/2022	ADDRESS WCCD COMMENTS
6	08/19/2022	ADDRESS WCCD COMMENTS
5	08/12/2022	ADDRESS TOWNSHIP COMMENTS
4	08/12/2022	ADDRESS TOWNSHIP COMMENTS
3	7/29/2022	ADDRESS TOWNSHIP COMMENTS
2	5/17/2022	ADDRESS TOWNSHIP COMMENTS
11	3/17/2023	CONDO PLAN



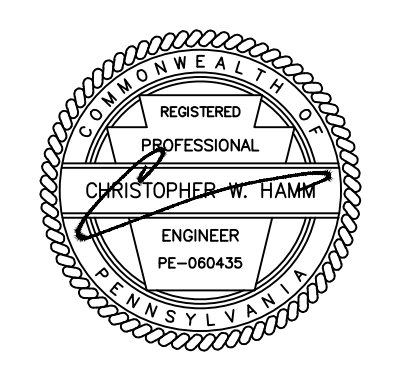
CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
ROAD PROFILES

SHEET NO.
D3.1





REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PTSA REVIEW COMMENTS
9	01/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCDD COMMENTS
7	10/04/2022	ADDRESS WCDD COMMENTS
6	09/19/2022	ADDRESS TOWNSHIP COMMENTS
5	08/12/2022	ADDRESS TOWNSHIP COMMENTS
4	08/11/2022	ADDRESS TOWNSHIP COMMENTS
3	07/29/2022	ADDRESS TOWNSHIP COMMENTS
2	07/17/2022	ADDRESS TOWNSHIP COMMENTS
11	03/17/2023	CONDO PLAN

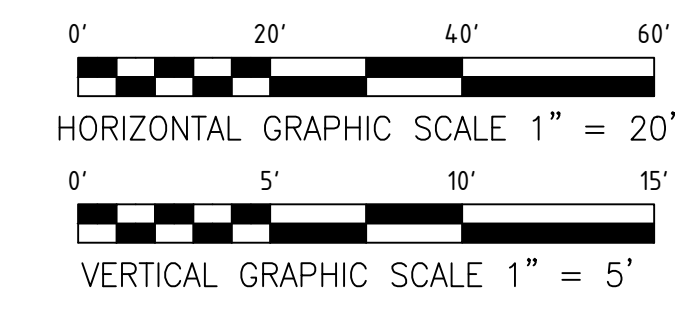
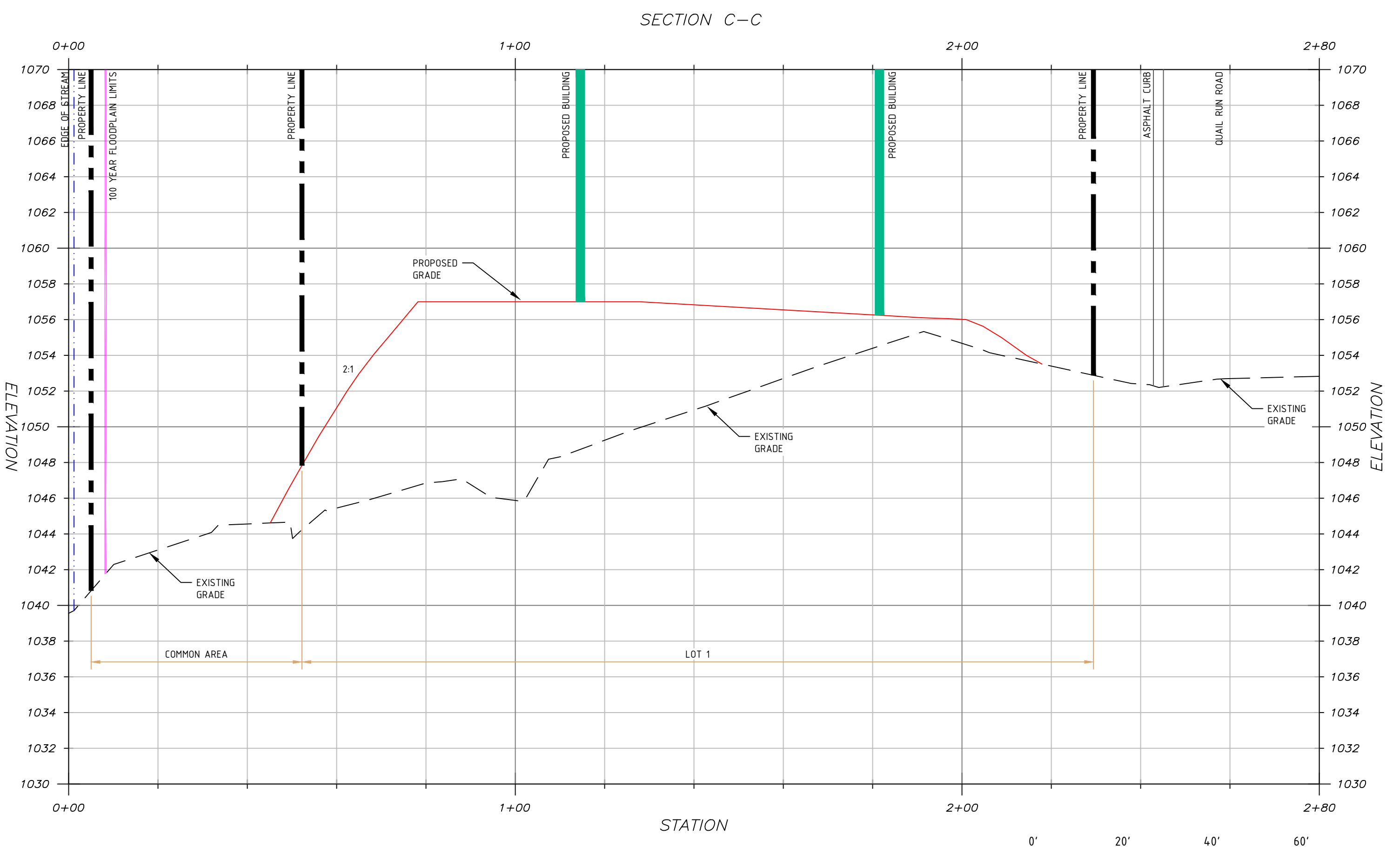
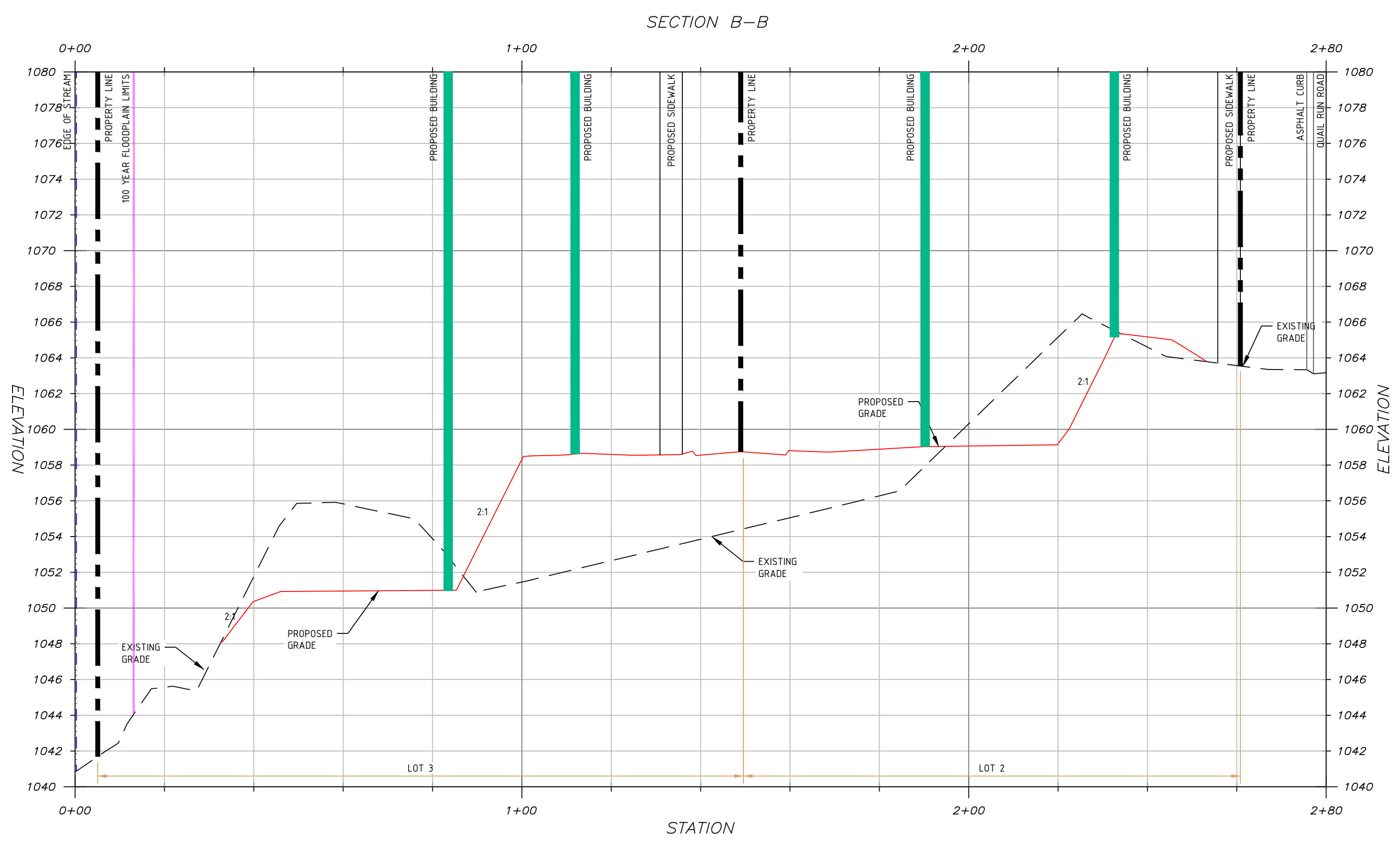
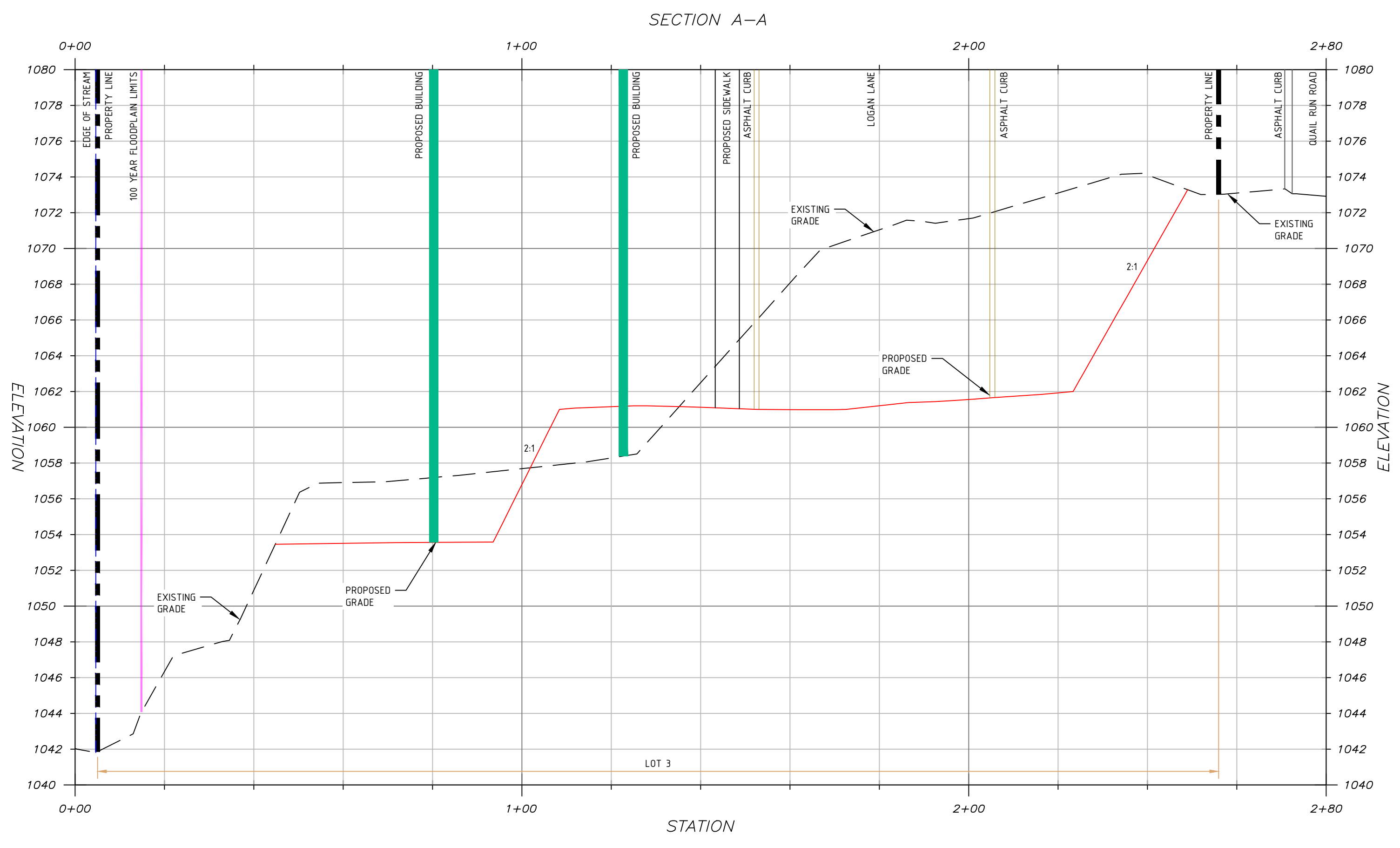


CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
SECTIONS

SHEET NO.
D3.2



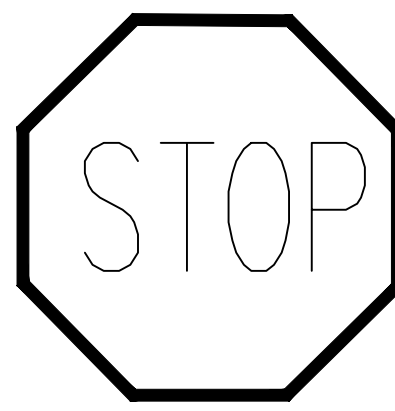
- NOTES:**
- ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
 - THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).

RECEIVING WATERS
THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

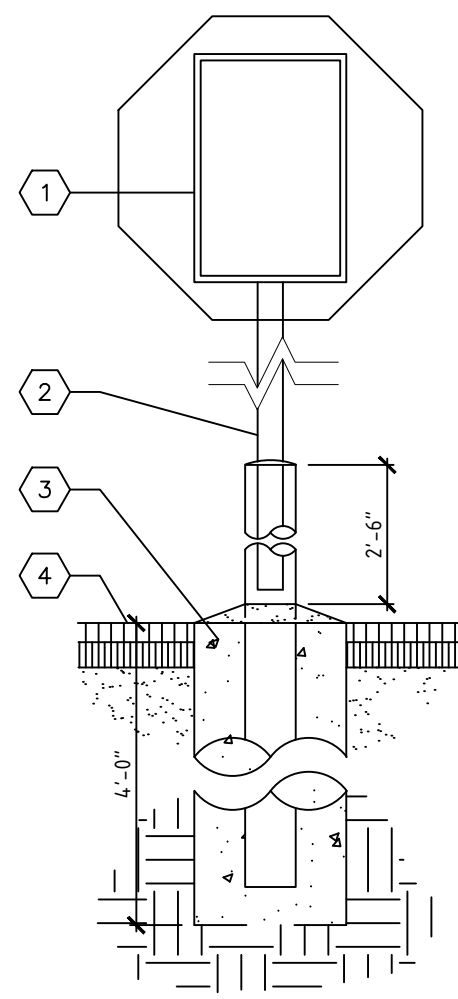
FLOODPLAIN
THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT
LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.
NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.



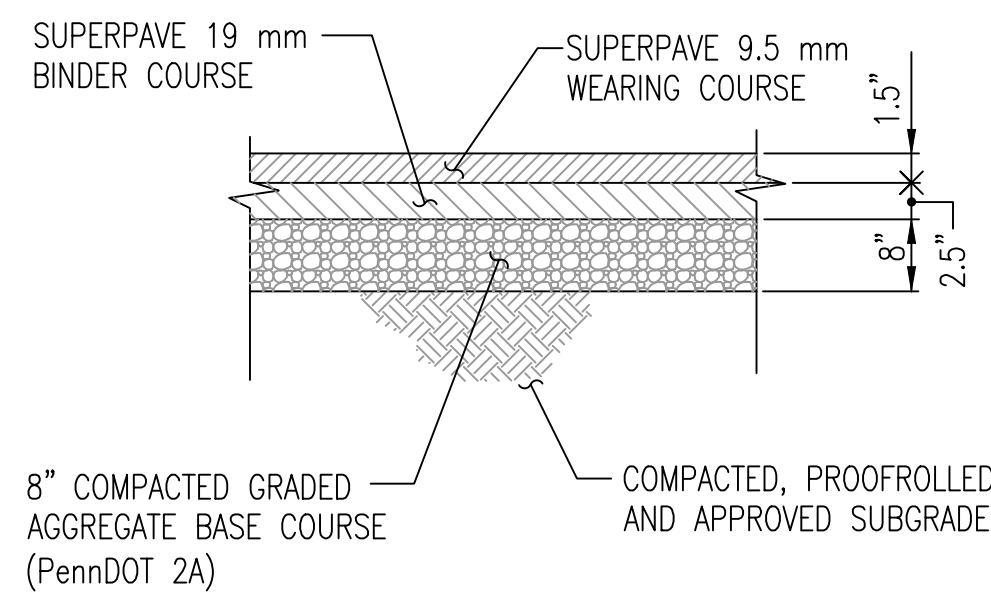


30" X 30"
PADOT R1-1 "STOP"

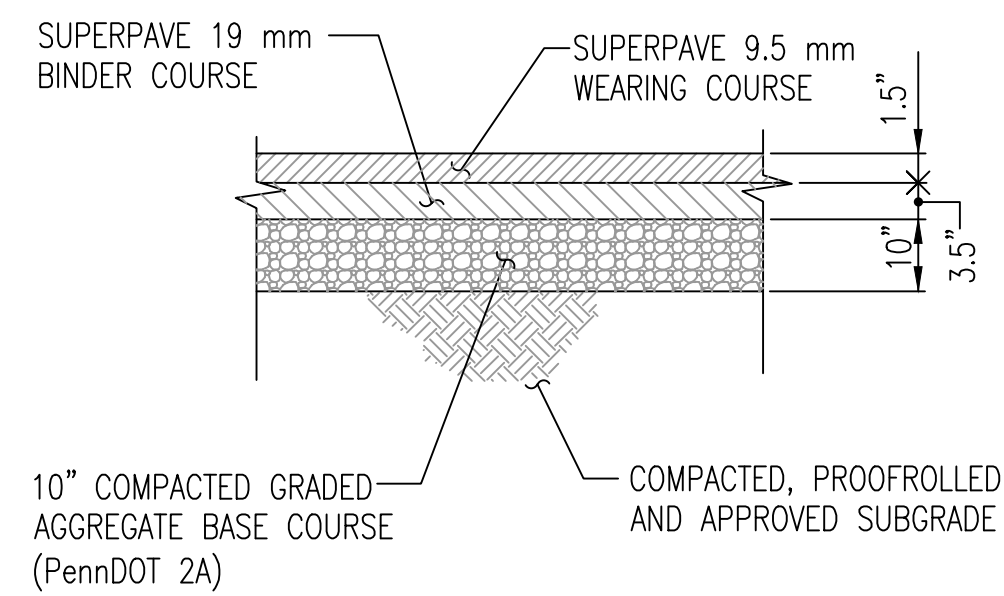


- KEYED NOTES**
- 1 TRAFFIC DIRECTIONAL SIGN.
 - 2 2" X 2" STEEL TUBE EXTENDED INTO CONCRETE FILLED 4" PIPE.
 - 3 12" Ø CONCRETE FOUNDATION 6" BELOW FROST LINE (4 FT. MINIMUM BELOW FIN. GRADE).
 - 4 FINISHED GRADE.

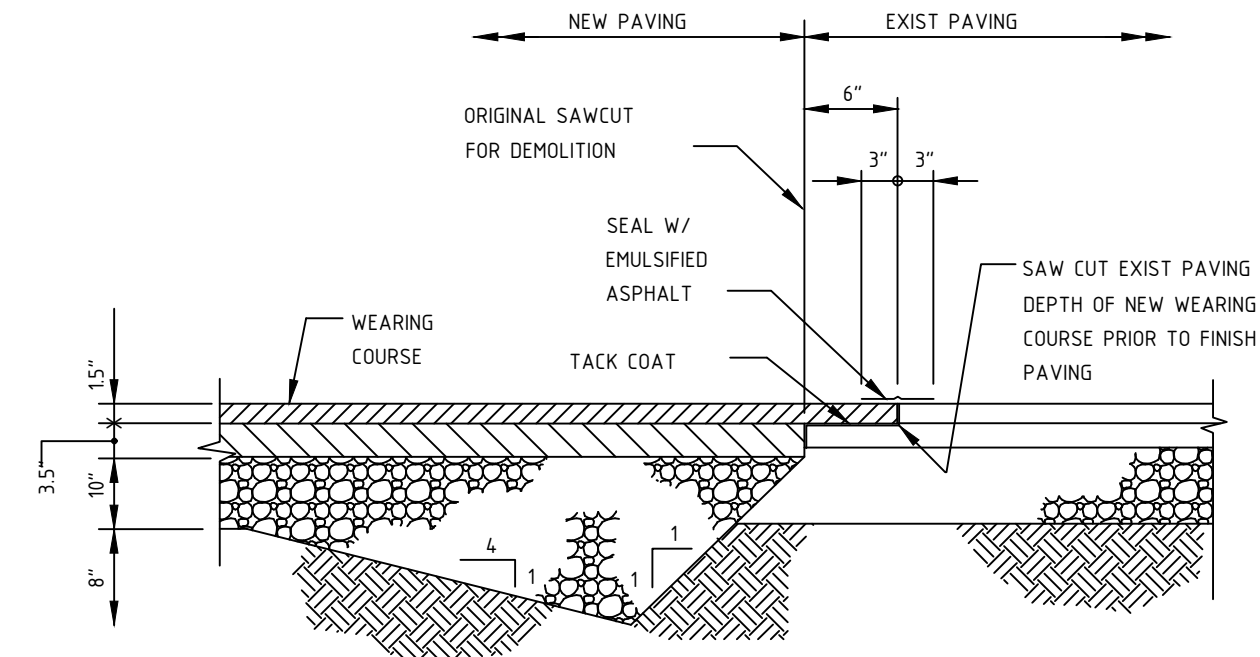
STOP SIGN
NOT TO SCALE



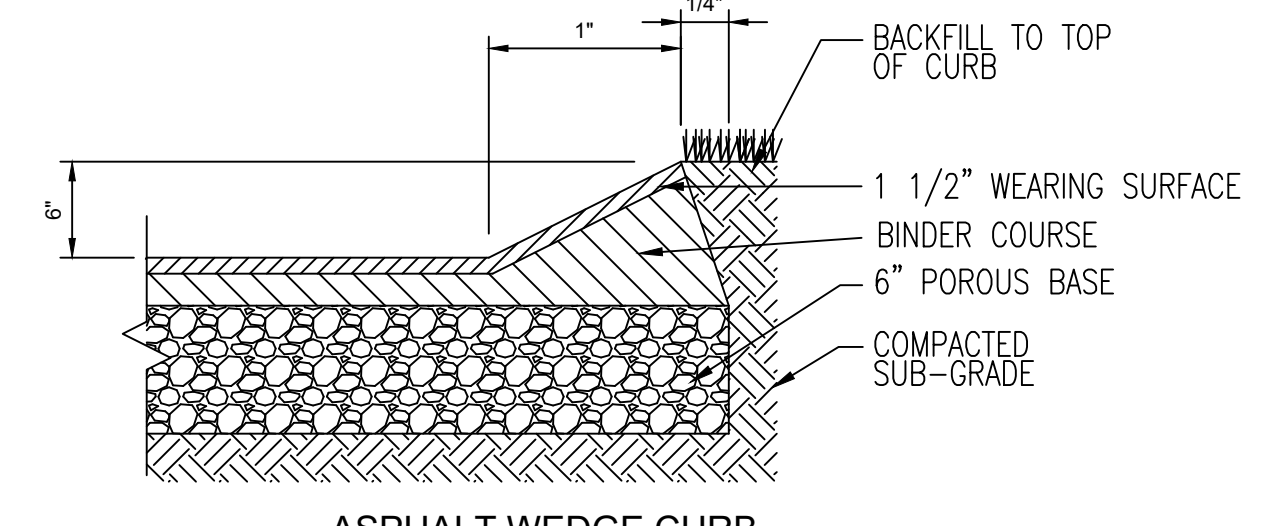
REGULAR DUTY ASPHALT PAVEMENT
NOT TO SCALE



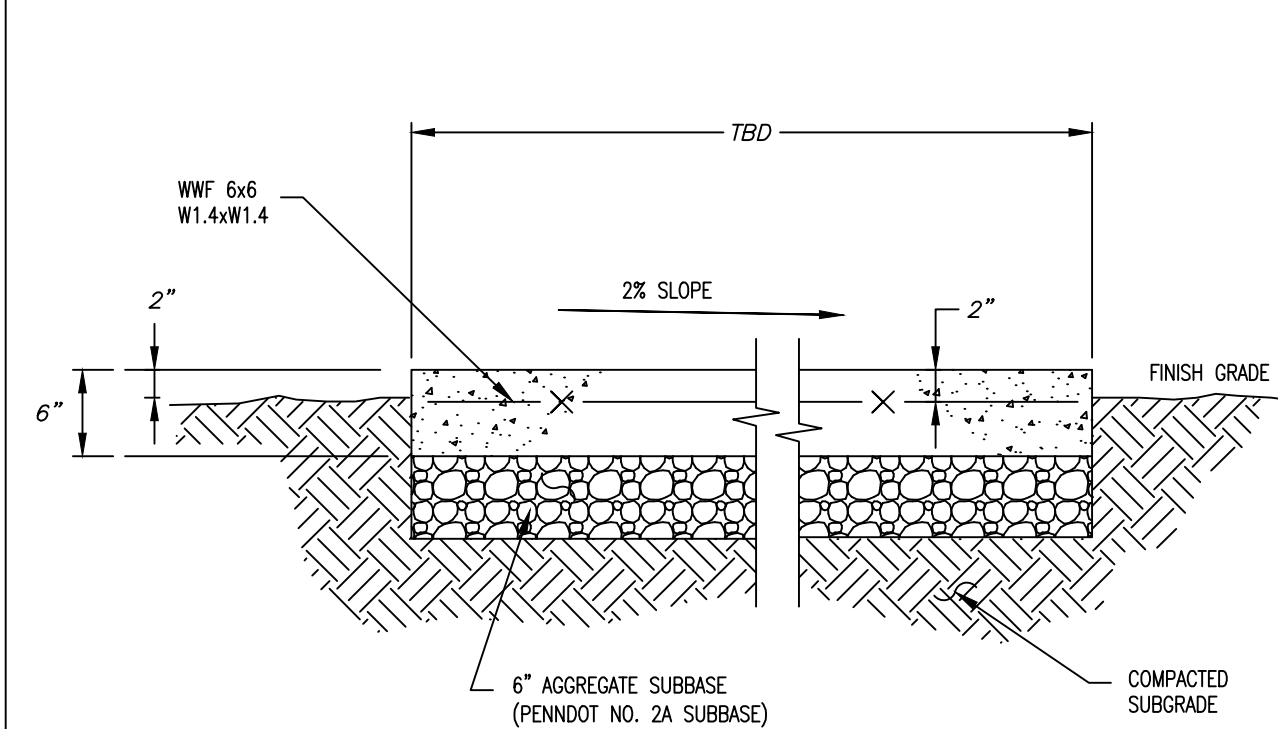
HEAVY DUTY ASPHALT PAVEMENT
NOT TO SCALE



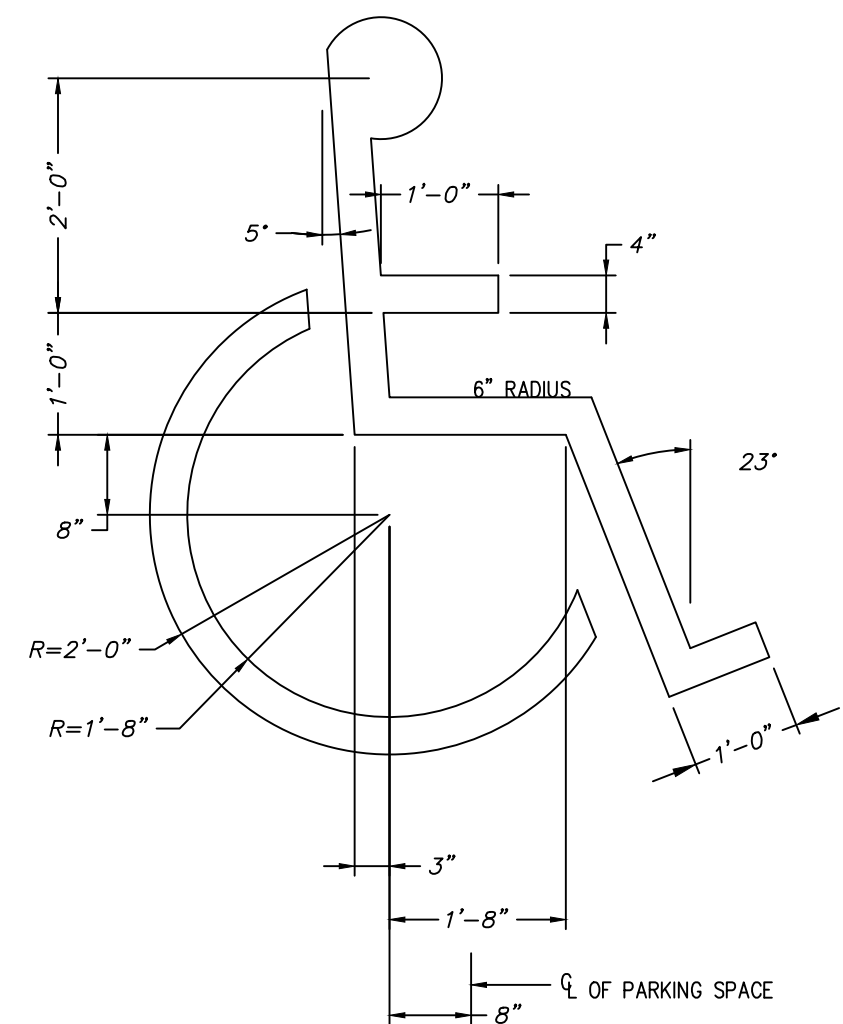
NEW/EXISTING PAVEMENT JOINT
NOT TO SCALE



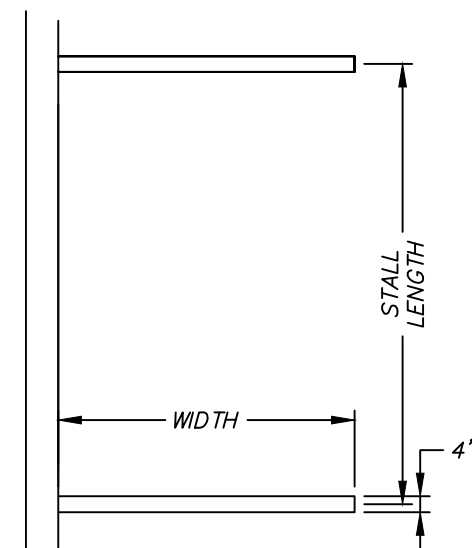
ASPHALT WEDGE CURB
NOT TO SCALE



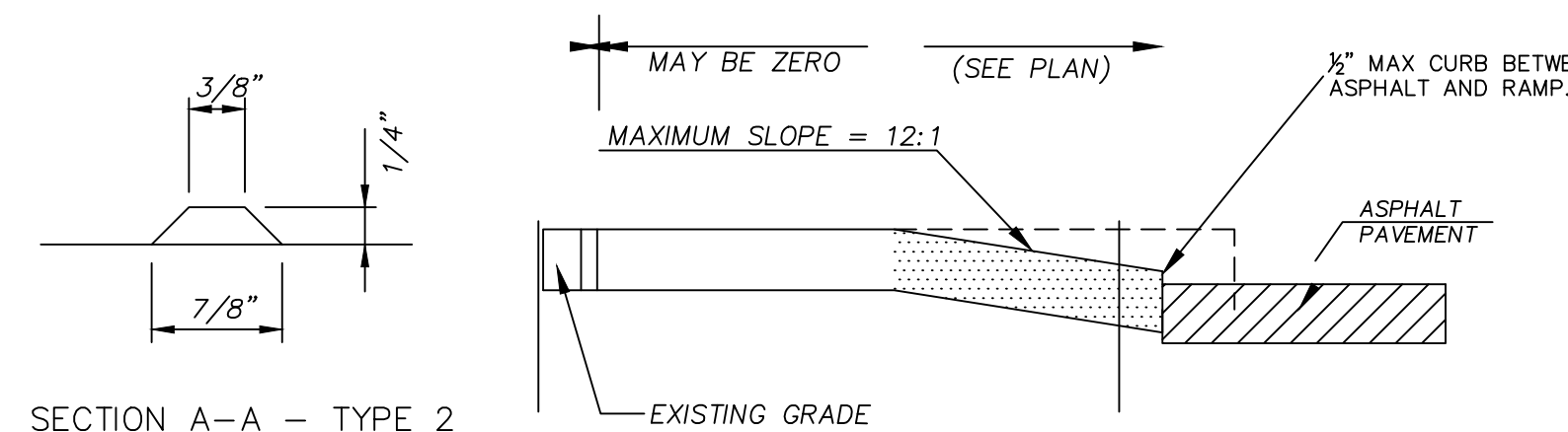
TYPICAL CONCRETE AREA
NOT TO SCALE



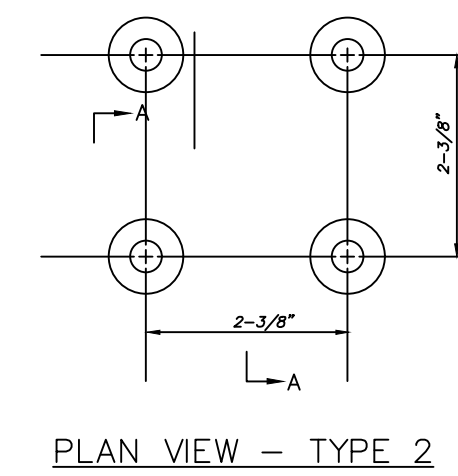
HANDICAP ACCESSIBLE PAVEMENT SYMBOL
NOT TO SCALE



LINE STRIPPING
NOT TO SCALE



SECTION A-A - TYPE 2



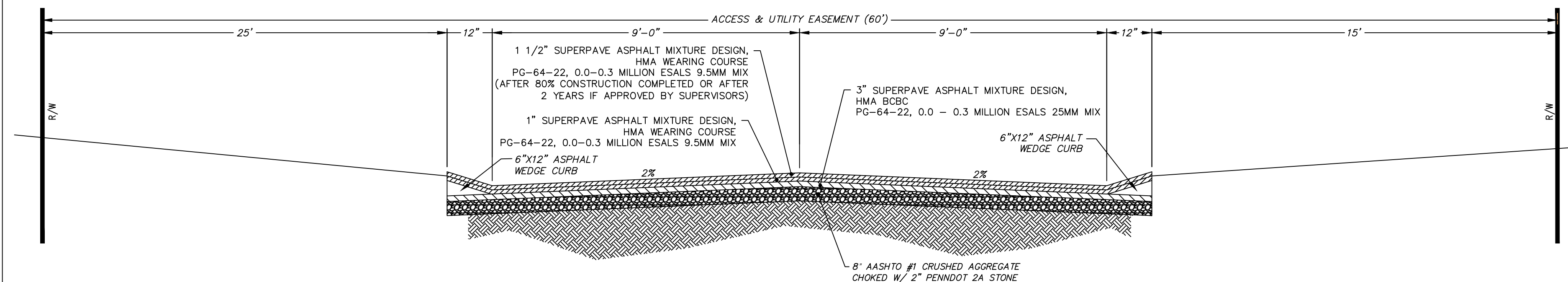
PLAN VIEW - TYPE 2

DETECTABLE WARNING TRUNCATED DOME DETAIL

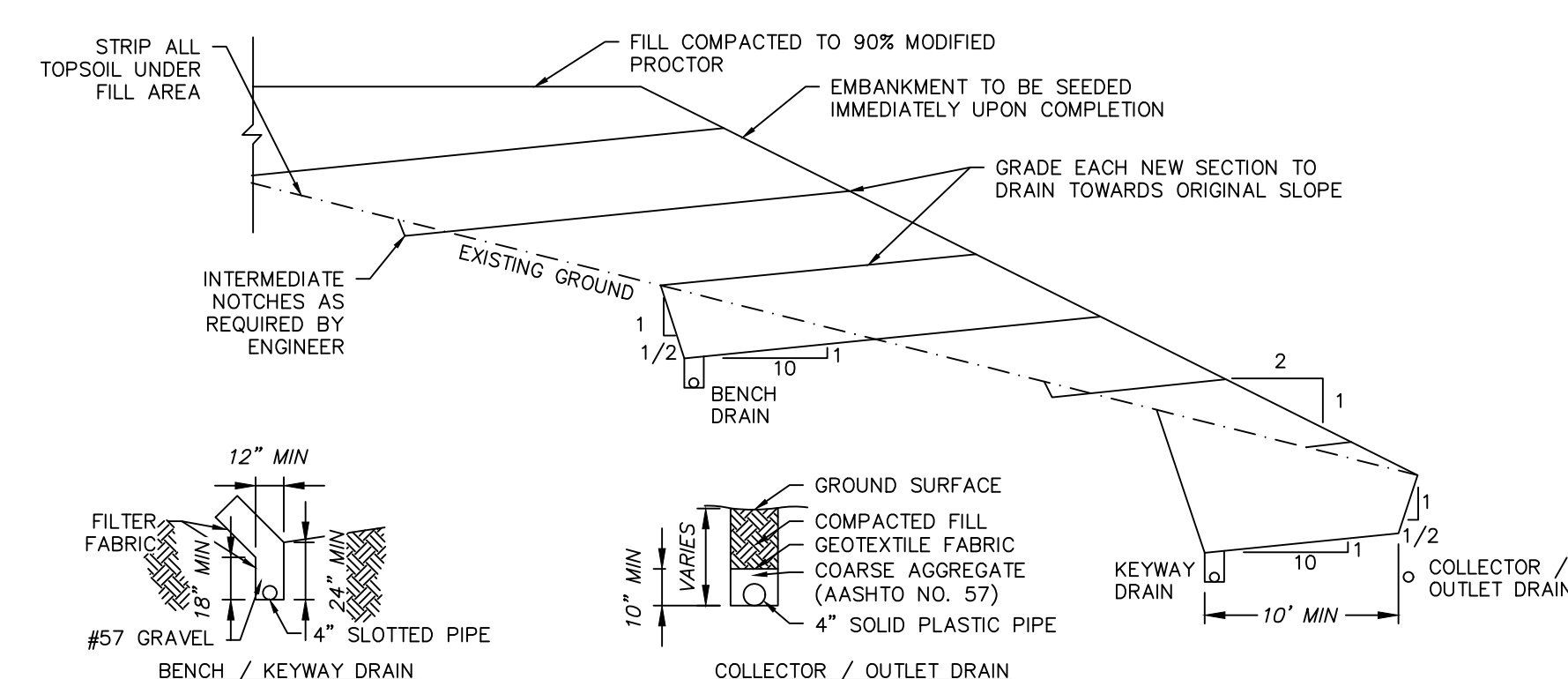
NOTES

1. RAMPS WILL BE CONSTRUCTED IN COMPLIANCE WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SPECIFICATIONS
2. RAMPS WILL BE CONSTRUCTED TO THE SAME CONCRETE SPECIFICATION AS CONCRETE SIDEWALKS.
3. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
5. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
6. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB ALTERATIONS WHERE THE CURB IS LESS THAN THE STANDARD 6" HEIGHT.
7. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK PITCH.
8. ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN THE DOMES.
9. PROVIDE DETECTABLE WARNING SURFACES THAT CONTRAST (70%) IN LIGHT REFLECTANCE WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT OR SAFETY YELLOW.
10. THE LOCATION OF CROSS WALK LINES AND STOP BARS, WHEN REQUIRED, WILL BE COORDINATED WITH THE LOCATION OF THE RAMPS.

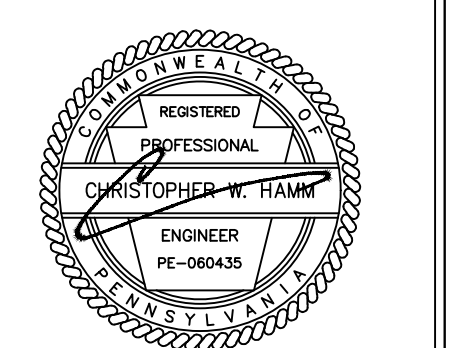
HANDICAP RAMP
NOT TO SCALE



TYPICAL ROADWAY CROSS SECTION
NOT TO SCALE



KEYWAY / BENCH DETAIL
NOT TO SCALE



NO.	DATE	REVISIONS	DESCRIPTION
10	02/06/2023	ADDRESS PISA REVIEW COMMENTS	
9	01/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS	
8	12/09/2022	ADDRESS WCCD COMMENTS	
7	10/04/2022	ADDRESS WCCD COMMENTS	
6	09/19/2022	ADDRESS TOWNSHIP COMMENTS	
5	08/12/2022	ADDRESS TOWNSHIP COMMENTS	
4	08/11/2022	ADDRESS TOWNSHIP COMMENTS	
3	7/29/2022	ADDRESS TOWNSHIP COMMENTS	
2	5/17/2022	ADDRESS TOWNSHIP COMMENTS	
1	3/17/2023	CONDO PLAN	
	REV	DATE	DESCRIPTION

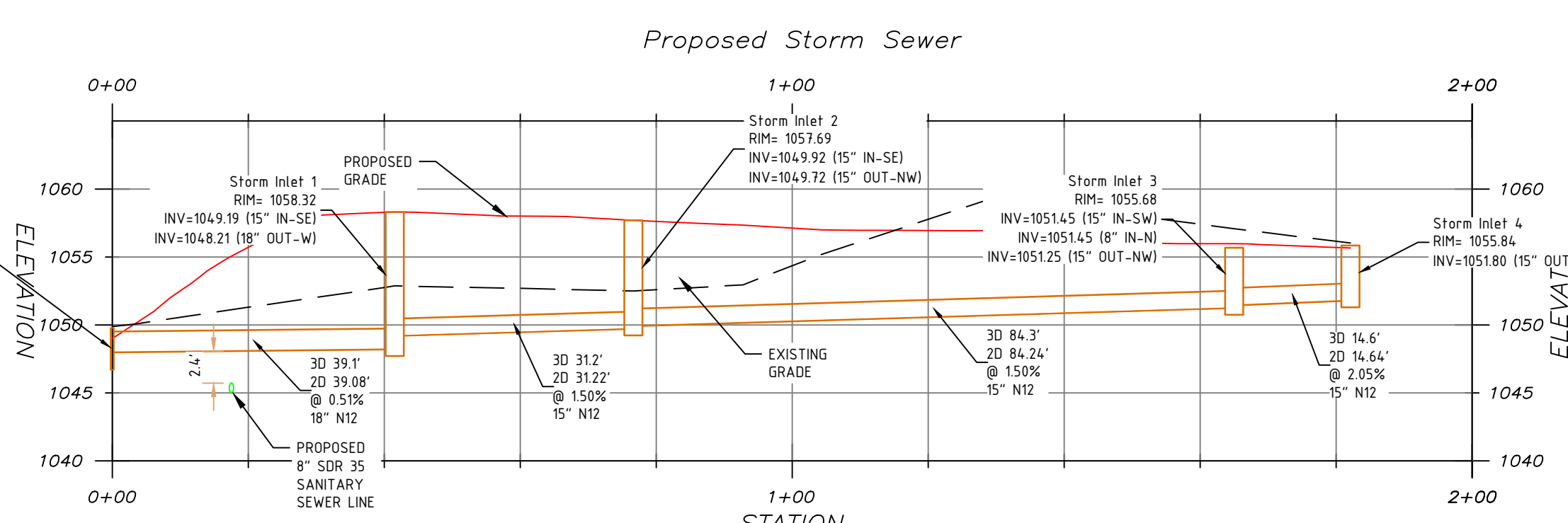
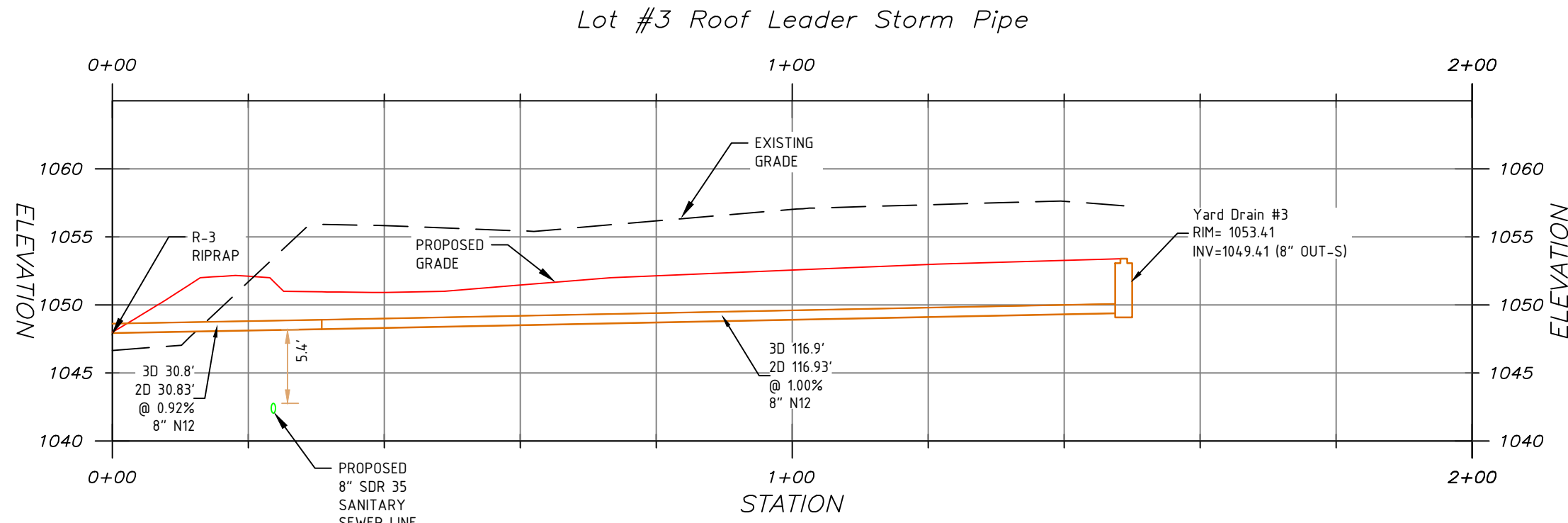
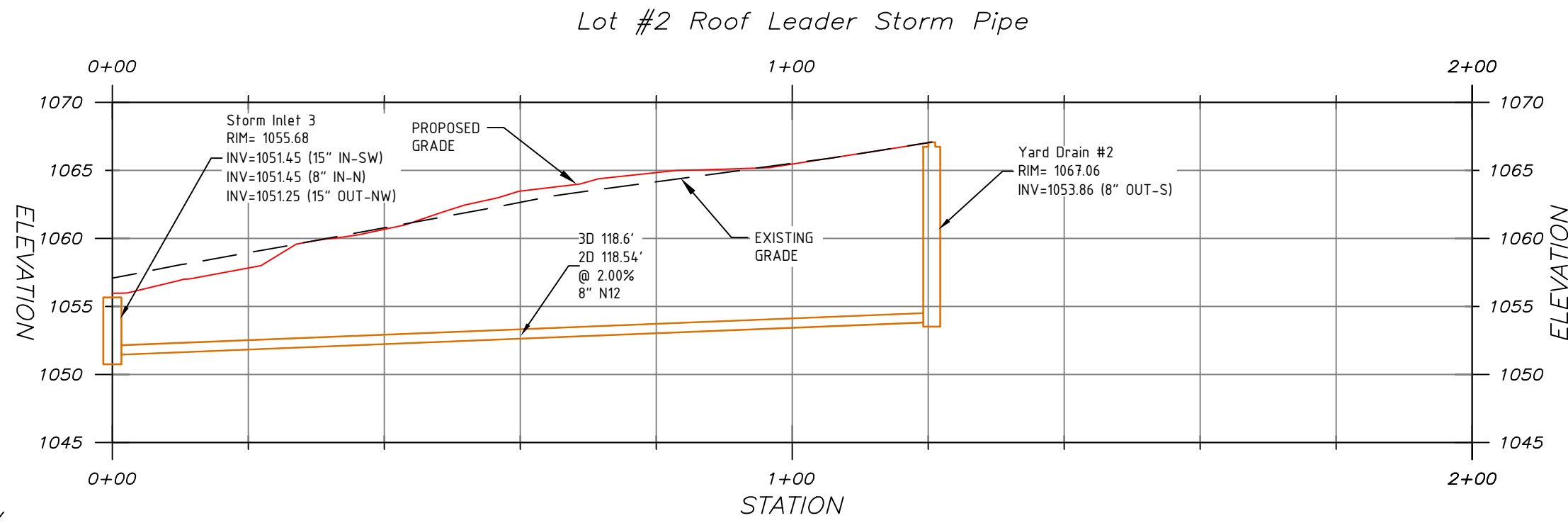
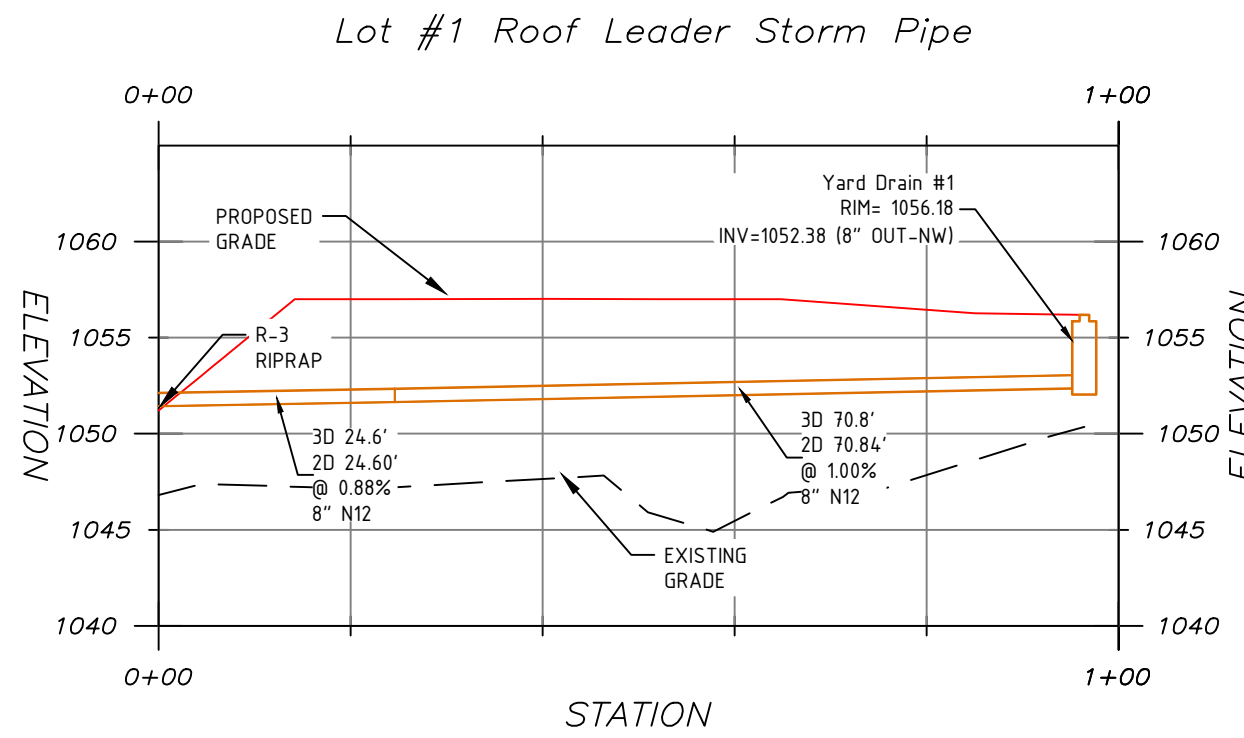
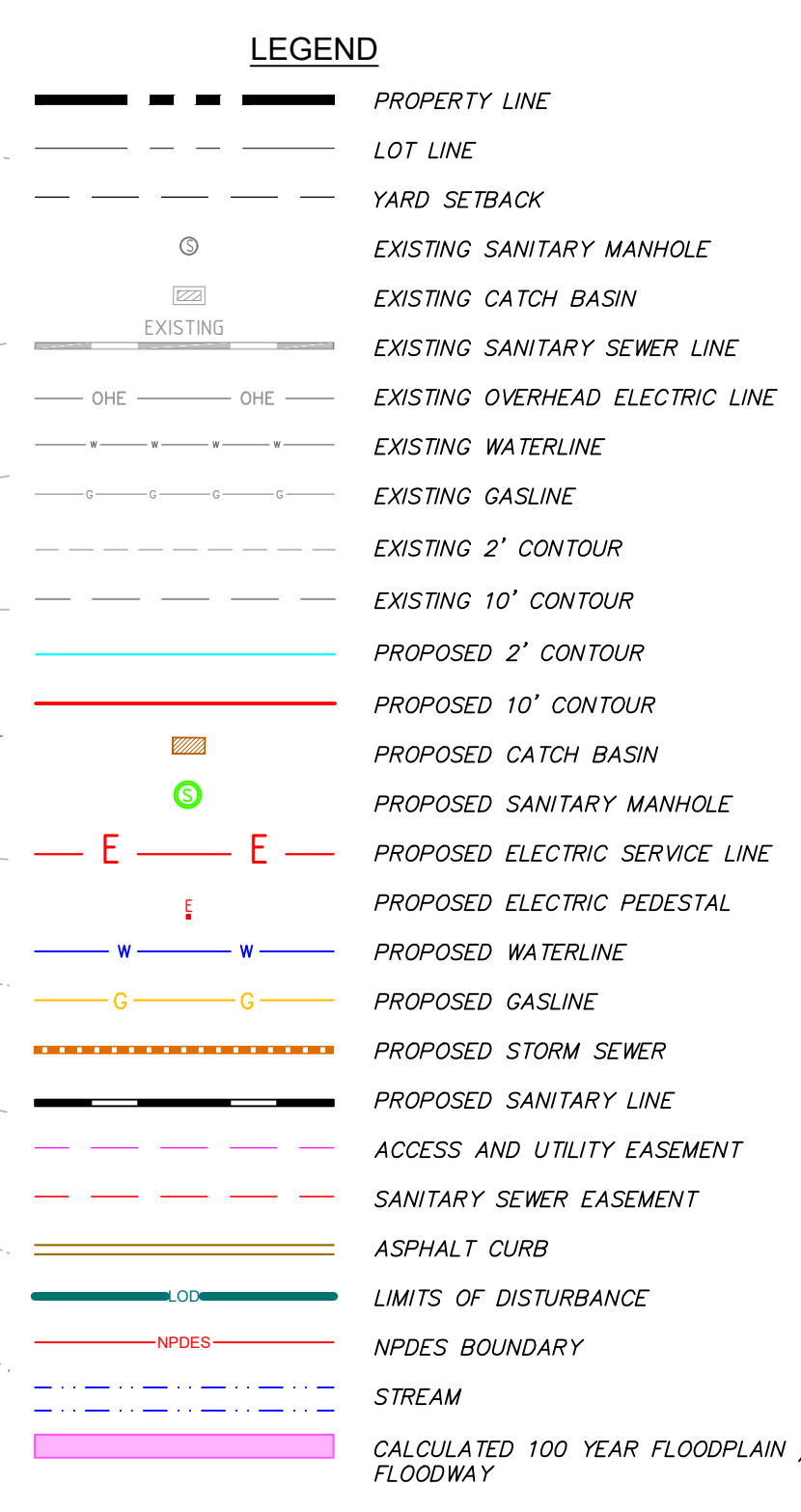
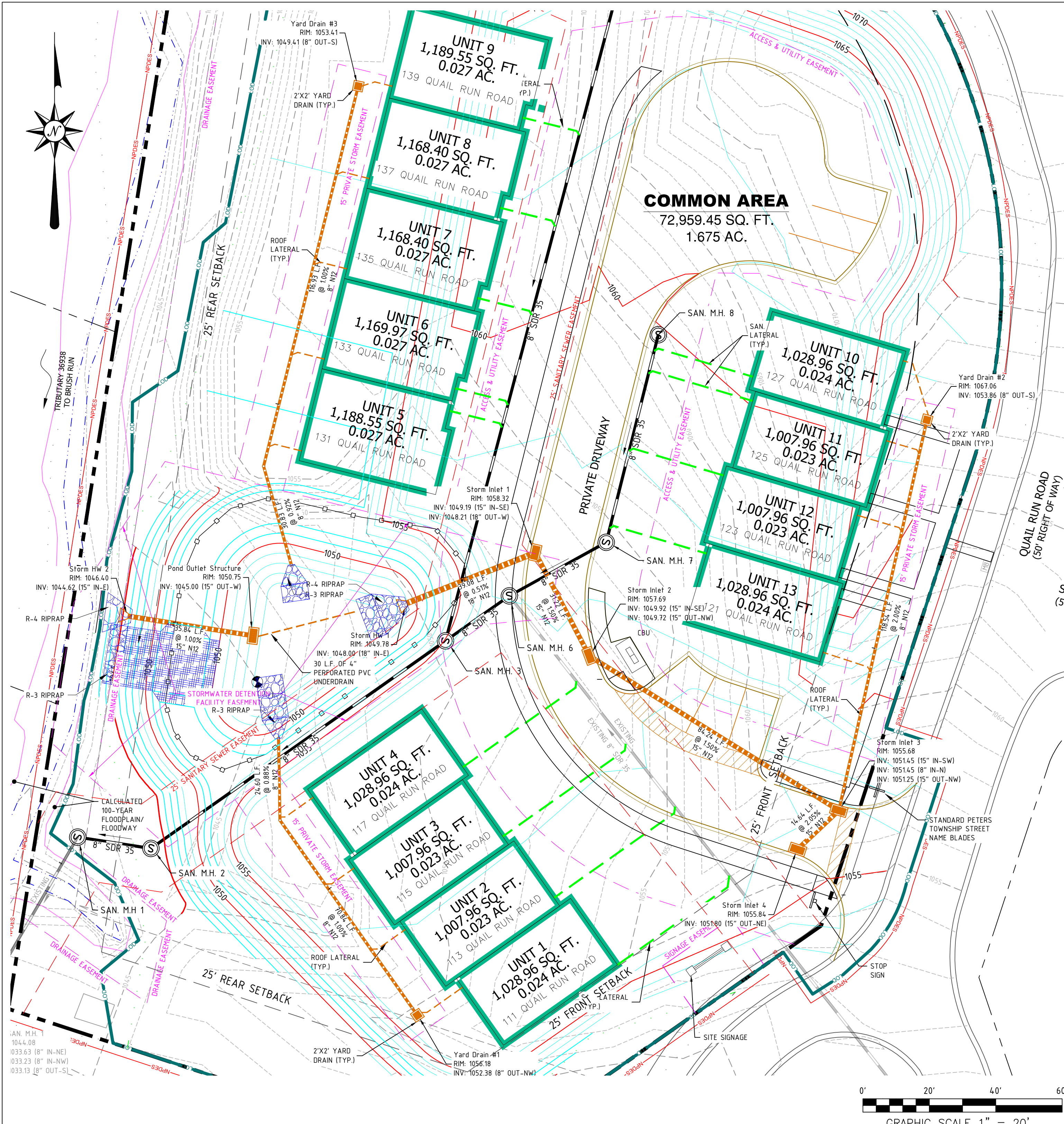


CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
STANDARD CONSTRUCTION DETAILS

SHEET NO.
D4.0



STORMWATER SYSTEM NOTES:

1. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK SHOWN.
2. THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR SITE SAFETY.
3. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS. CONTRACTOR TO FIELD VERIFY LOCATION, HORIZONTAL AND VERTICAL, AND SIZE OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL CALL PENNSYLVANIA ONE CALL AT 1-800-242-1776 TO NOTIFY THE UTILITIES OF HIS INTENTIONS AND TO REQUEST REQUIRED FIELD STAKING OF EXISTING UTILITIES.
4. THE CONTRACTOR SHALL CONSTRUCT ALL STORM DRAINAGE FACILITIES IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND ANY OTHER LOCAL STATE OR FEDERAL CODES.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING PROPOSED CONNECTIONS TO EXISTING FACILITIES WITH THE APPROPRIATE AGENCY, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.
6. TRENCH RESPONSIBILITY INCLUDES EXCAVATIONS, BACKFILL, COMPACTION AND MAINTENANCE OF THE TRENCH.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE CONSTRUCTION SAFETY SIGNAGE WHILE WORKING IN PUBLIC RIGHT-OF-WAY AND EASEMENTS.
8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE COST OF THE IMPROVEMENTS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
10. ALL PIPE LENGTHS ARE MEASURED FROM INSIDE WALL OF STRUCTURE.

STORMWATER SYSTEM NOTES CONT.:

11. THE ORIENTATION OF THE INLETS SHALL REMAIN CONSISTENT, AS SHOWN ON THE PLANS, TO PROVIDE OPTIMUM DRAINAGE CONTROL. ANY ACCOMMODATIONS REQUIRED FOR LARGER PIPE SIZES AND/OR PIPE CONFIGURATION SHALL BE ADDRESSED BY USING MODIFIED STRUCTURES IN ACCORDANCE WITH THE RC STANDARDS.
12. SEE "PADOT STANDARDS FOR ROADWAY CONSTRUCTION" CURRENT EDITION FOR DETAILS PERTAINING TO TYPE C AND TYPE M INLETS AND STORM SEWER MANHOLES. MATERIALS AND SIZING OF STRUCTURES SHALL BE IN ACCORDANCE WITH THESE STANDARDS.
13. CONTRACTOR TO EXCAVATE AT ALL UTILITY CROSSINGS PRIOR TO INSTALLATION TO CONFIRM CROSSING CAN BE INSTALLED AS SHOWN.
14. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
15. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

NOTE:

1. POND 1--INFILTRATION BASIN SHALL BE OWNED AND MAINTAINED BY THE CAMDEN VILLAGE HOA.
2. THE STORM SEWERS ARE TO REMAIN PRIVATE.
3. THE OPEN SPACE SHALL BE DEDICATED TO THE CAMDEN VILLAGE HOA.

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

FLOODPLAIN

THE SITE IS LOCATED IN ZONE X -- AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

UTILITY NOTES:

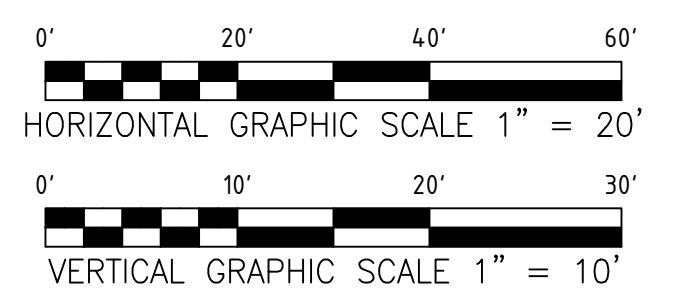
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

NPDES PERMIT

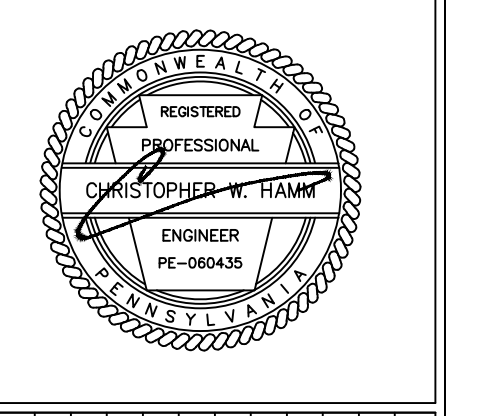
LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.
NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.

UTILITY TRENCHING NOTES:

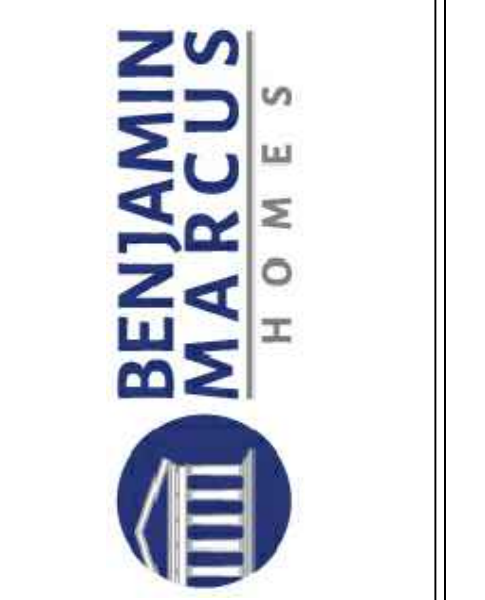
1. THE EXCAVATED MATERIAL FROM TRENCHING SHALL BE PLACED ON THE UPSLOPE SIDE OF THE TRENCH.
2. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
3. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.
4. ANY BMP'S AFFECTED BY TRENCHING AND BACKFILLING OPERATIONS SHALL BE REPAIRED AND STABILIZED IMMEDIATELY.



KDH
CONSULTING ENGINEERS, INC.
593 RUGH STREET
GREENSBURG, PA 15601
P: 878-295-8914 F: 724-514-7047
www.kdhengineers.com



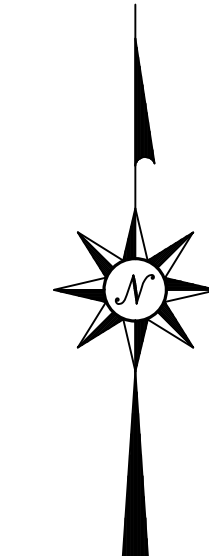
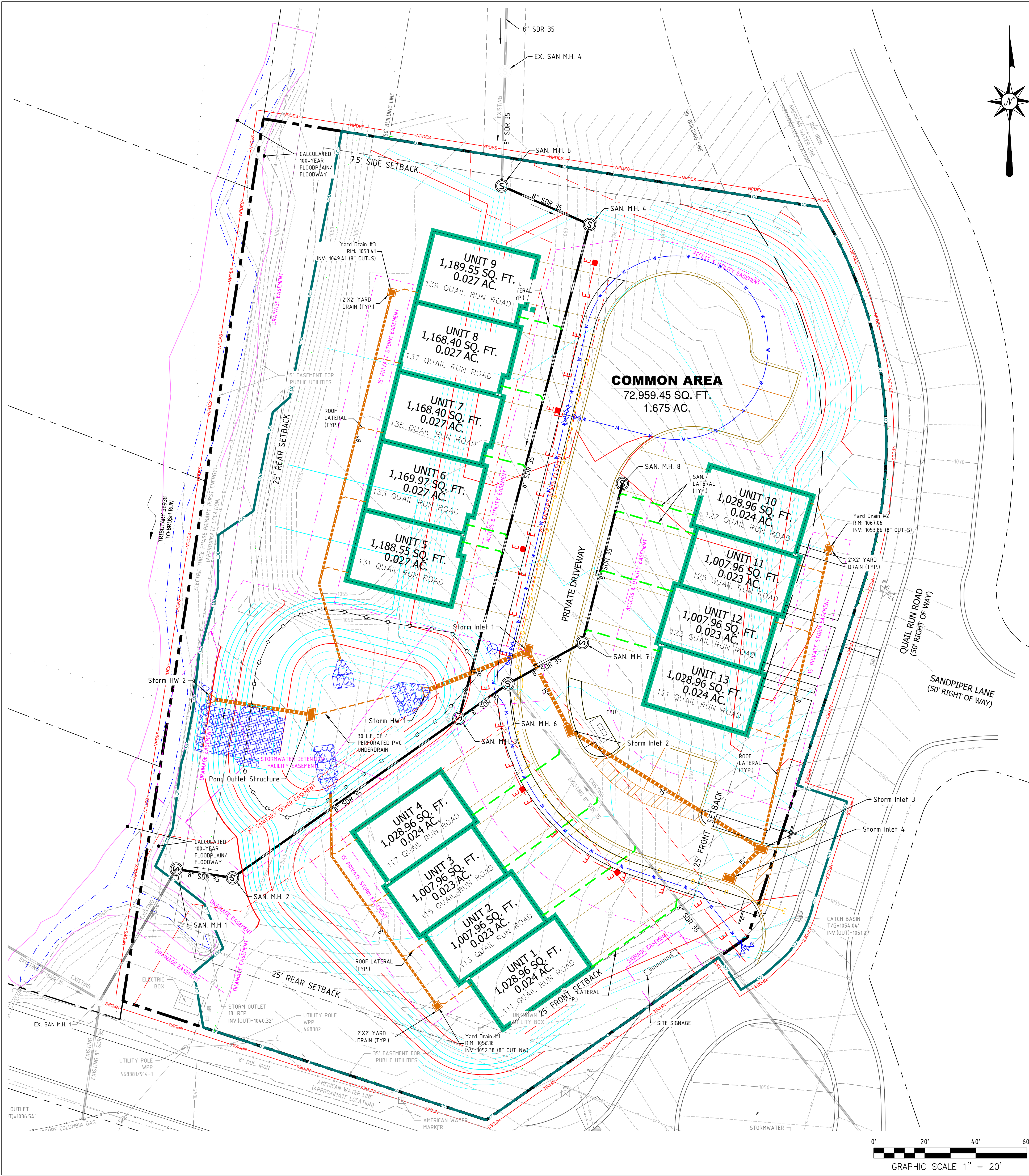
REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PISA REVIEW COMMENTS
9	01/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCCD COMMENTS
7	10/04/2022	ADDRESS WCCD COMMENTS
6	8/19/2022	ADDRESS TOWNSHIP COMMENTS
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2	5/17/2022	ADDRESS TOWNSHIP COMMENTS
1	3/17/2023	CONDO PLAN



CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
STORM SEWER PLAN & PROFILES
SHEET NO.
D5.0





LEGEND

---	PROPERTY LINE
---	LOT LINE
---	YARD SETBACK
○	EXISTING SANITARY MANHOLE
□	EXISTING CATCH BASIN
---	EXISTING SANITARY SEWER LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATERLINE
---	EXISTING GASLINE
---	EXISTING 2' CONTOUR
---	EXISTING 10' CONTOUR
---	PROPOSED 2' CONTOUR
---	PROPOSED 10' CONTOUR
□	PROPOSED CATCH BASIN
○	PROPOSED SANITARY MANHOLE
---	PROPOSED ELECTRIC SERVICE LINE
---	PROPOSED ELECTRIC PEDESTAL
---	PROPOSED WATERLINE
---	PROPOSED GASLINE
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY LINE
---	ACCESS AND UTILITY EASEMENT
---	SANITARY SEWER EASEMENT
---	ASPHALT CURB
---	LIMITS OF DISTURBANCE
---	NPDES BOUNDARY
---	STREAM
---	CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

UTILITY NOTES:

1. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK SHOWN.
2. THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR SITE SAFETY.
3. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS. CONTRACTOR TO FIELD VERIFY LOCATION, HORIZONTAL AND VERTICAL, AND SIZE OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL CALL PENNSYLVANIA ONE CALL AT 1-800-242-1776 TO NOTIFY THE UTILITIES OF HIS INTENTIONS AND TO REQUEST REQUIRED FIELD STAKING OF EXISTING UTILITIES.
4. THE CONTRACTOR SHALL INSTALL ALL SANITARY SEWER FACILITIES TO MEET THE REQUIREMENTS OF THE PETERS TOWNSHIP SANITARY AUTHORITY'S RULES AND REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY/OWNER, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.
6. TRENCH RESPONSIBILITY INCLUDES EXCAVATIONS, BACKFILL, COMPACTION AND MAINTENANCE OF THE TRENCH.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE CONSTRUCTION SAFETY SIGNAGE WHILE WORKING IN PUBLIC RIGHT-OF-WAY AND EASEMENTS.
8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE COST OF THE IMPROVEMENTS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
10. ALL PIPE LENGTHS ARE MEASURED FROM INSIDE WALL OF STRUCTURE.
11. CONTRACTOR TO EXCAVATE AT ALL UTILITY CROSSINGS PRIOR TO INSTALLATION TO CONFIRM CROSSING CAN BE INSTALLED AS SHOWN.
12. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
13. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
14. DUE TO PROXIMITY TO THE STREAM, SAN MH 1, AND SAN MH 2 SHALL HAVE WATERTIGHT LIDS.
15. ALL TERMINAL MANHOLES SHALL HAVE VENTED MANHOLE LIDS.
16. IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, SECTION 715, WHERE THE FLOOD LEVEL OF RIMS OF PLUMBING DRAINAGE FIXTURES (DENOTED BY LOWEST FINISHED FLOOR ELEVATION) ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE, BACKWATER VALVES ARE REQUIRED. THE FOLLOWING LOTS PER DESIGN REQUIRE A BACKWATER VALVE: LOT 1, UNIT A, LOT 1 UNIT B, LOT 1 UNIT D, AND LOT 1 UNIT E. IF MANHOLE OR GRADING CHANGES, REQUIREMENT FOR BACKWATER VALVES MUST BE VERIFIED.
17. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

UTILITY TRENCHING NOTES:

1. THE EXCAVATED MATERIAL FROM TRENCHING SHALL BE PLACED ON THE UPSLOPE SIDE OF THE TRENCH.
2. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
3. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.
4. ANY BMP'S AFFECTED BY TRENCHING AND BACKFILLING OPERATIONS SHALL BE REPAIRED AND STABILIZED IMMEDIATELY.

ELECTRICAL PEDESTAL NOTES:

1. ALL ELECTRICAL PEDESTALS MUST BE INSTALLED WITH A MINIMUM 3' SEPARATION FOR SANITARY SEWER LINES AND MANHOLES.

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.
NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.

UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



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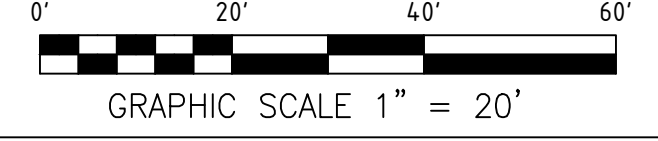


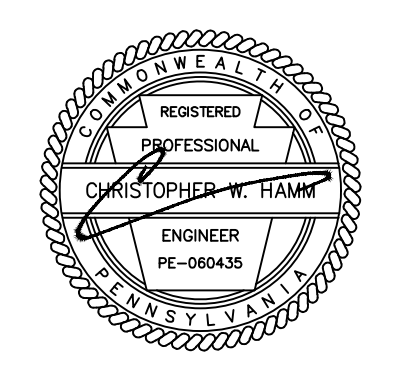
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11	3/17/2023	CONDO PLAN

BENJAMIN MARCUS HOMES

CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
UTILITY PLAN
SHEET NO.
D6.0



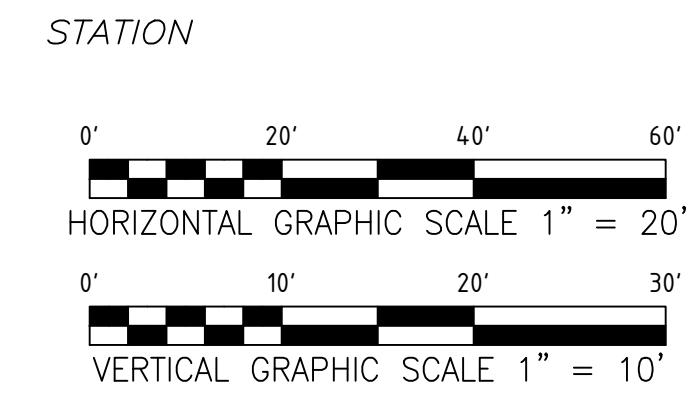
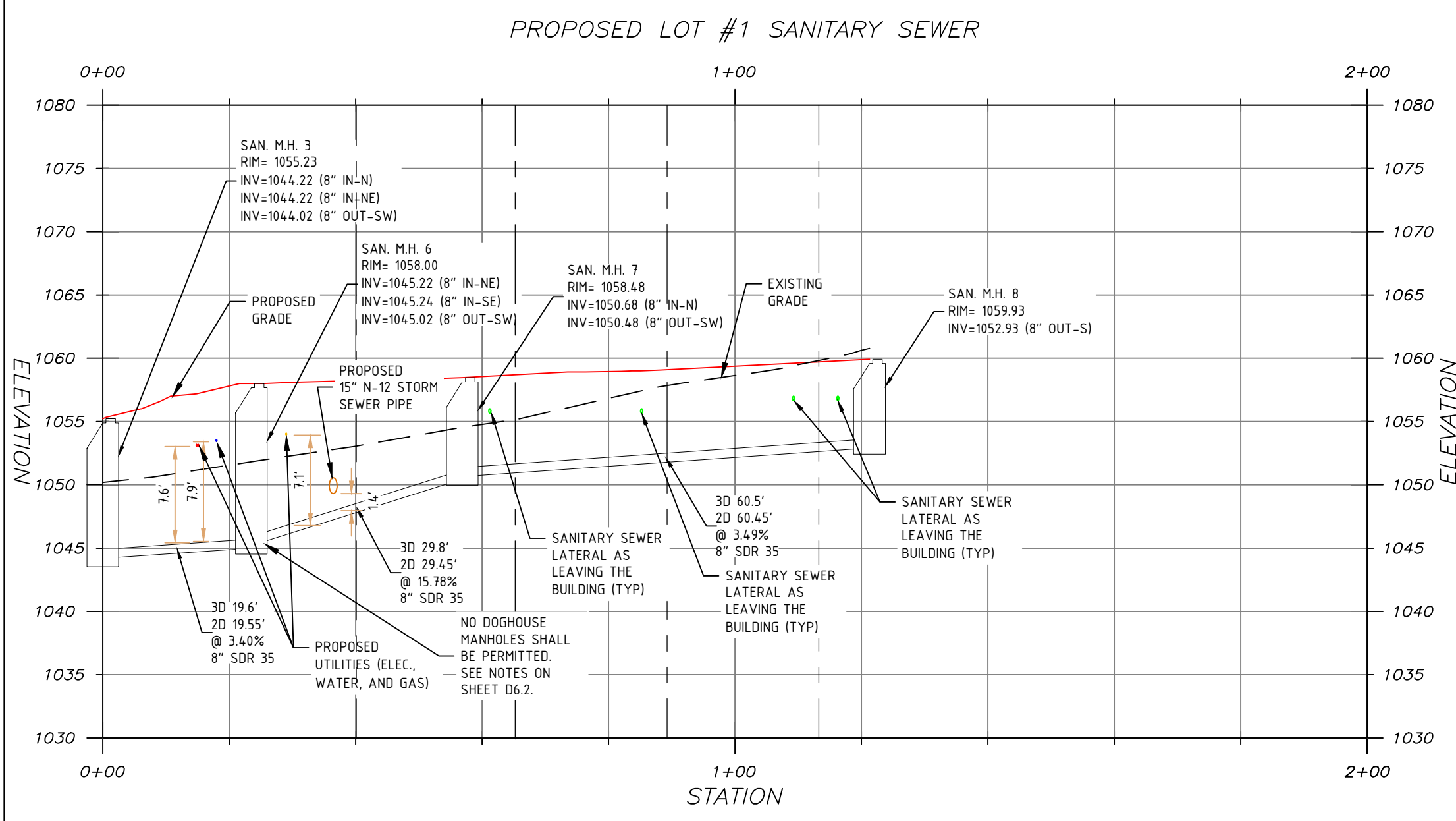
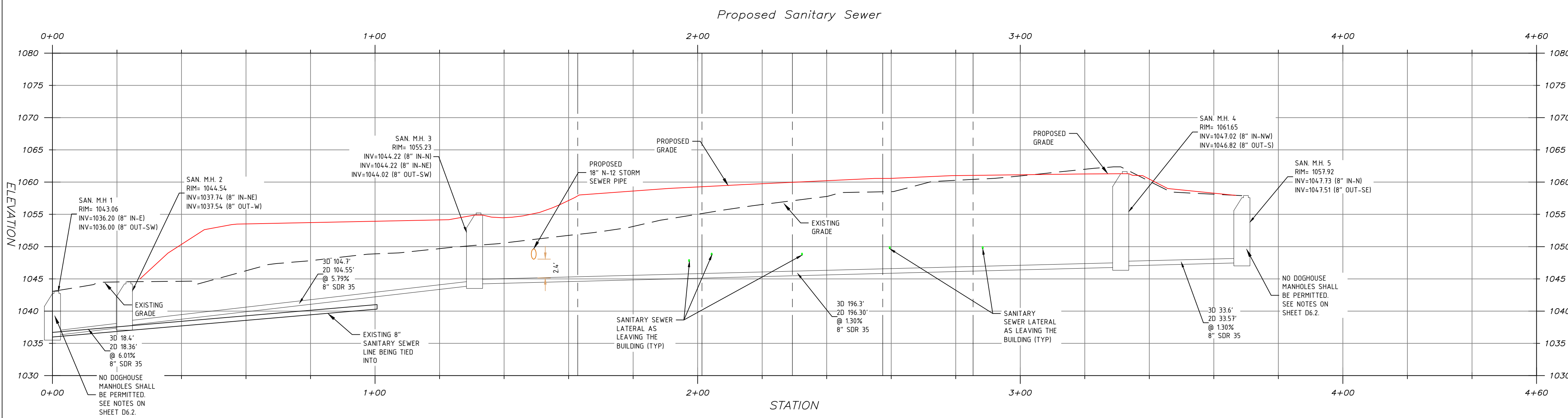


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CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

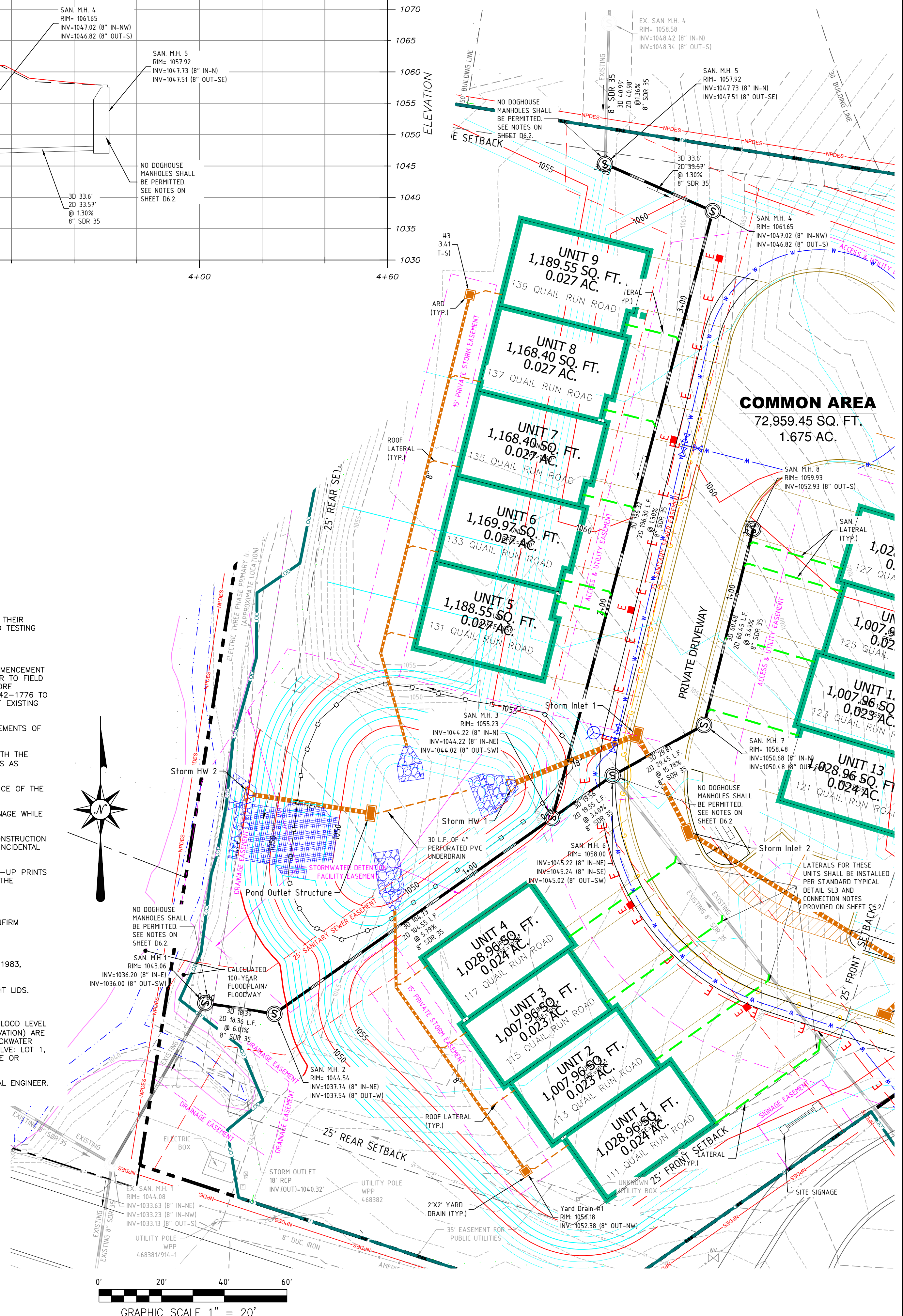
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DATE: 9/27/2022
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SHEET TITLE:
SANITARY SEWER PROFILES
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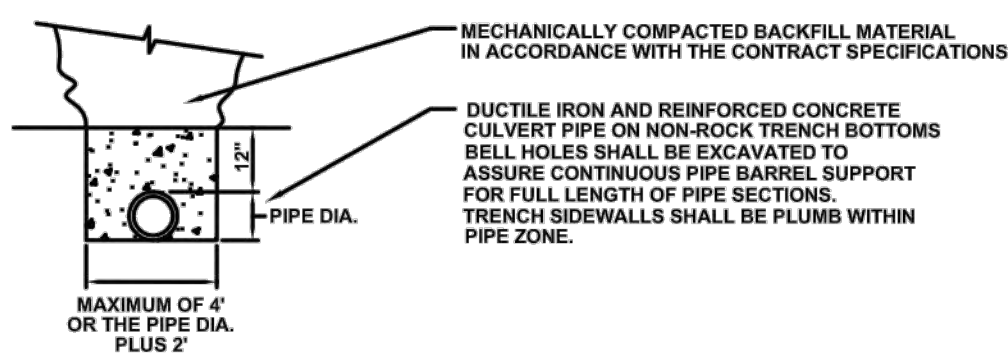
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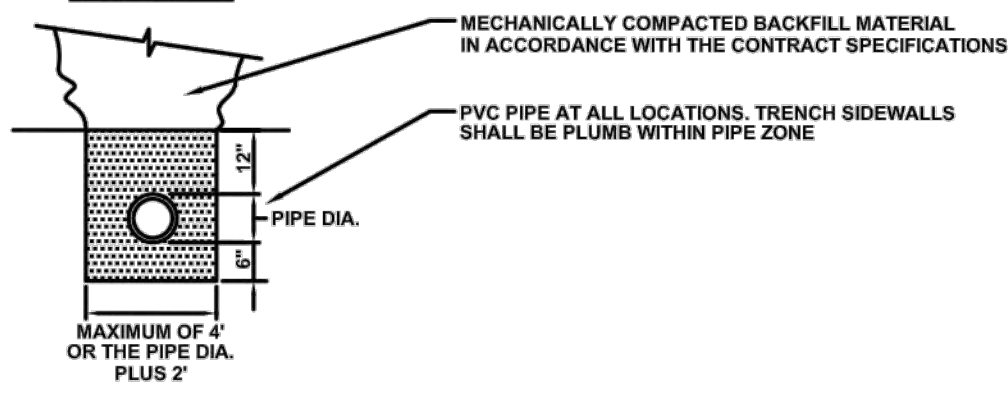
FLOODPLAIN
THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT
LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.
NPDES PERMIT BOUNDARY: 2.0 ACRES
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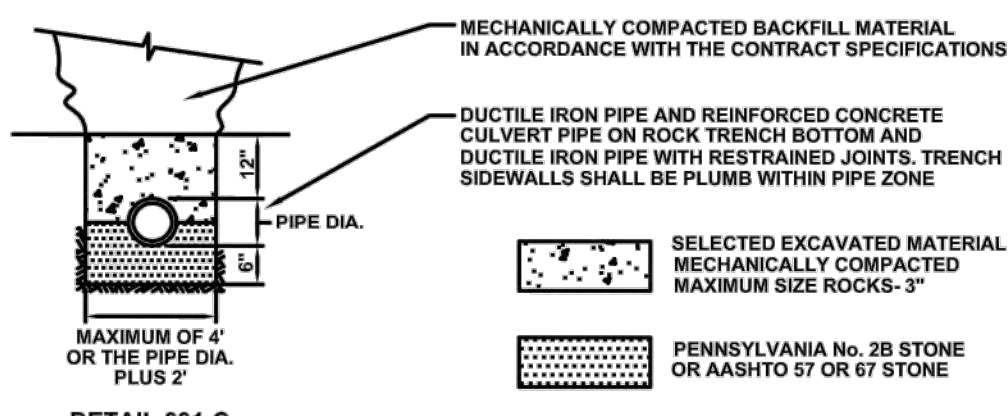




DETAIL 001-A

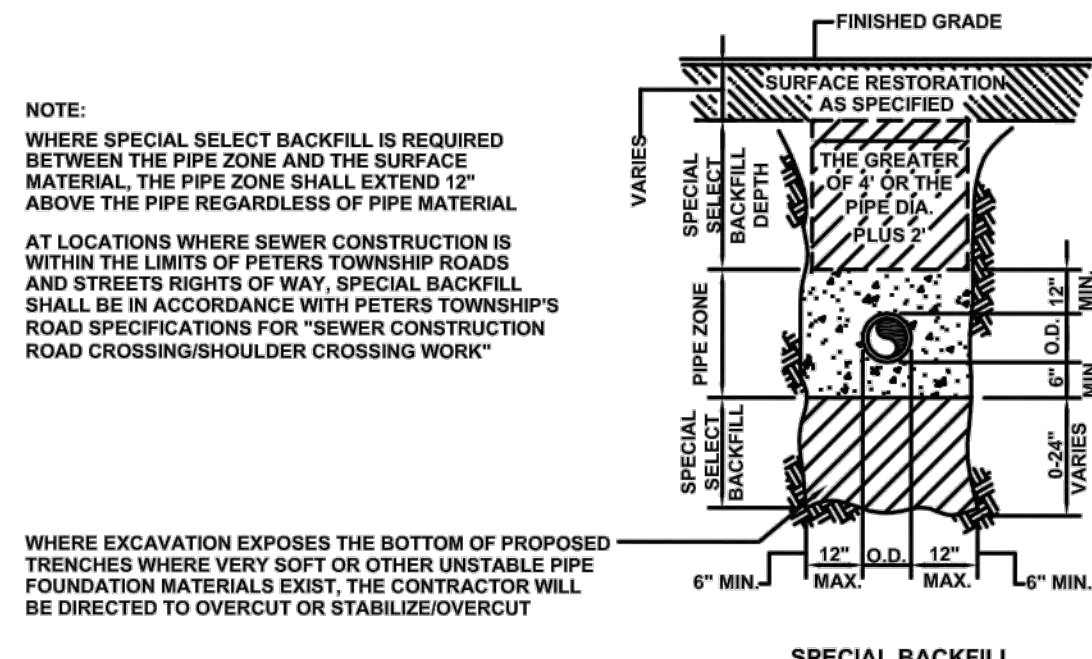


DETAIL 001-B

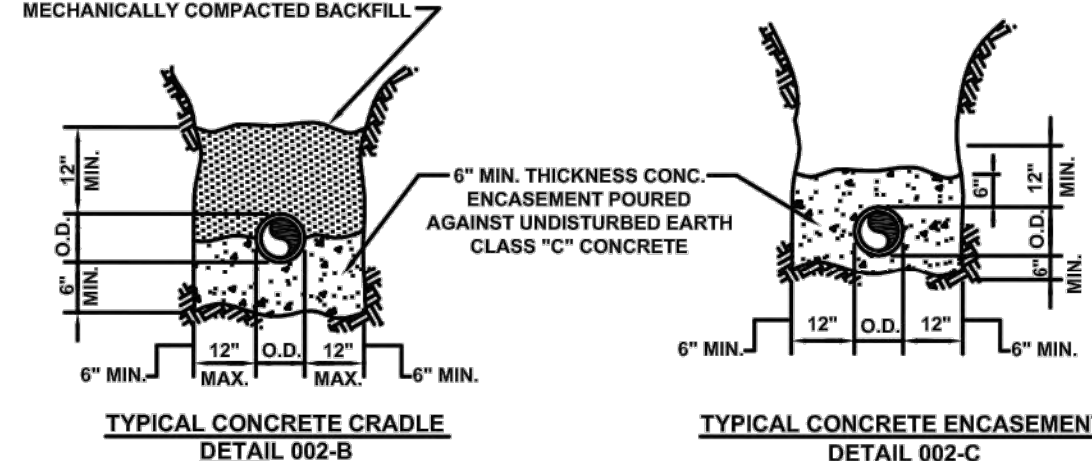


DETAIL 001-C

SEWER TRENCH PIPE ZONE DETAILS	Standard Detail SD-001
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SPECIAL BACKFILL DETAIL 002-A



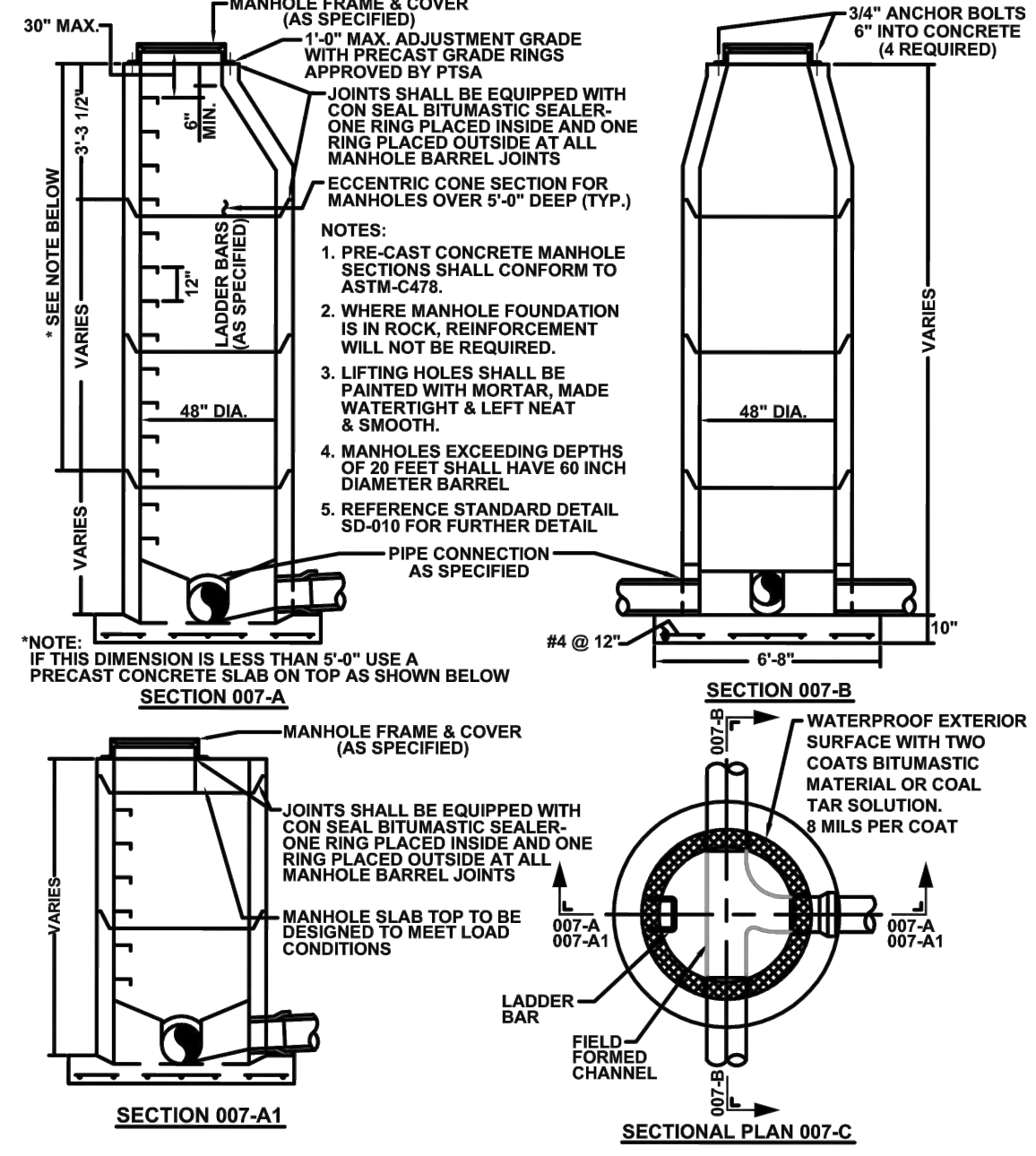
TRENCH DETAILS	Standard Detail SD-002
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SANITARY SEWER CONNECTION CONSTRUCTION SEQUENCE:

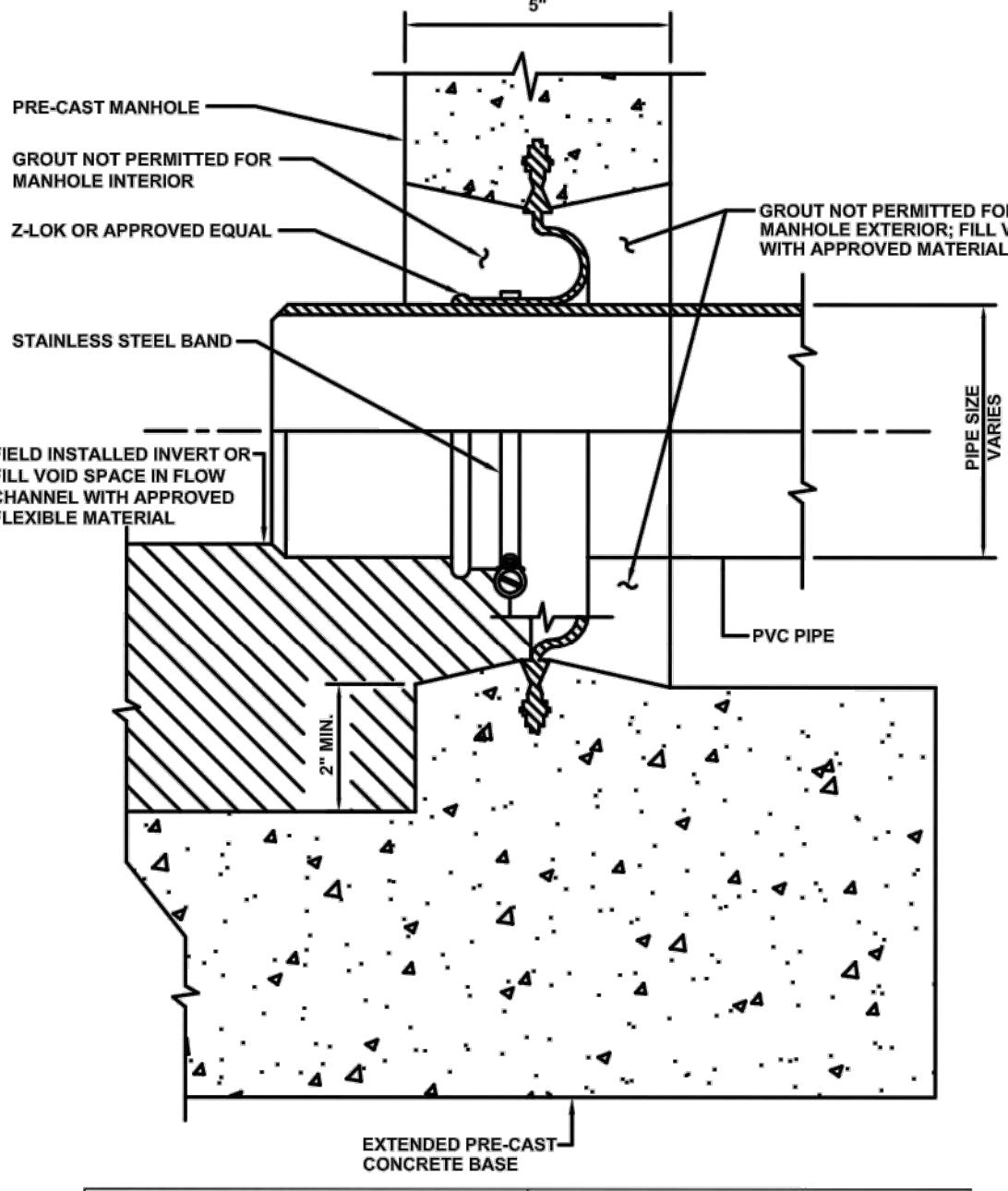
1. WHEN BYPASS PUMPING IS REQUIRED, THE PUMPING SHALL BE FROM THE MANHOLE UPSTREAM OF THE CONSTRUCTION AREA TO THE MANHOLE BELOW THE CONSTRUCTION AREA.
2. THE CONTRACTOR SHALL CONTACT THE PTSA TO COORDINATE THE CONSTRUCTION ACTIVITY, SIZE OF PUMP(S) REQUIRED, PIPE SIZES AND THE START OF WORK.
3. ONCE, PTSA HAS BEEN NOTIFIED AND GIVEN NOTE TO PROCEED, THE CONTRACTOR WILL MOBILIZE ON SITE.
4. AFTER MOBILIZATION, THE CONTRACTOR WILL DETERMINE THE PROPER SIZE, LOCATION, AND TYPE OF PLUG TO BE USED ON THE UPSTREAM MANHOLE OUTFLOW PIPE.
5. ONCE THE PROPER PLUG IS DETERMINED AND THE PUMP(S) AND BYPASS LINE IS IN PLACE, THE CONTRACTOR MAY START THE BYPASS PUMPING.
6. AFTER THE PUMPING HAS STARTED, THE PLUG SHALL BE INSTALLED IN THE UPSTREAM MANHOLE OUTLET, THEN THE CONSTRUCTION AREA SHALL BE FLUSHED AND ALLOWED TO DRAIN TO REMOVE ANY EXISTING FLOW IN THE PIPE.
7. AFTER THE PIPE IS FLUSHED, THE DOWNSTREAM MANHOLE INLET SHALL BE PLUGGED TO INSURE NO BYPASS FLOW ENTERS THE CONSTRUCTION AREA PIPE.
8. THE CONTRACTOR MAY START THE INSTALLATION OF THE NEW SANITARY SEWER CONNECTIONS. THE CONTRACTOR MAY BYPASS THE EXISTING SYSTEM TO ALLOW THE INSTALLATION OF ALL SERVICE MAIN CONNECTIONS. THIS INCLUDES THE INSTALLATION OF SAN MH 1, SAN MH 5 AND SAN MH 6.

INSTALLATION OF SAN MH 1, MH 5, AND MH 6

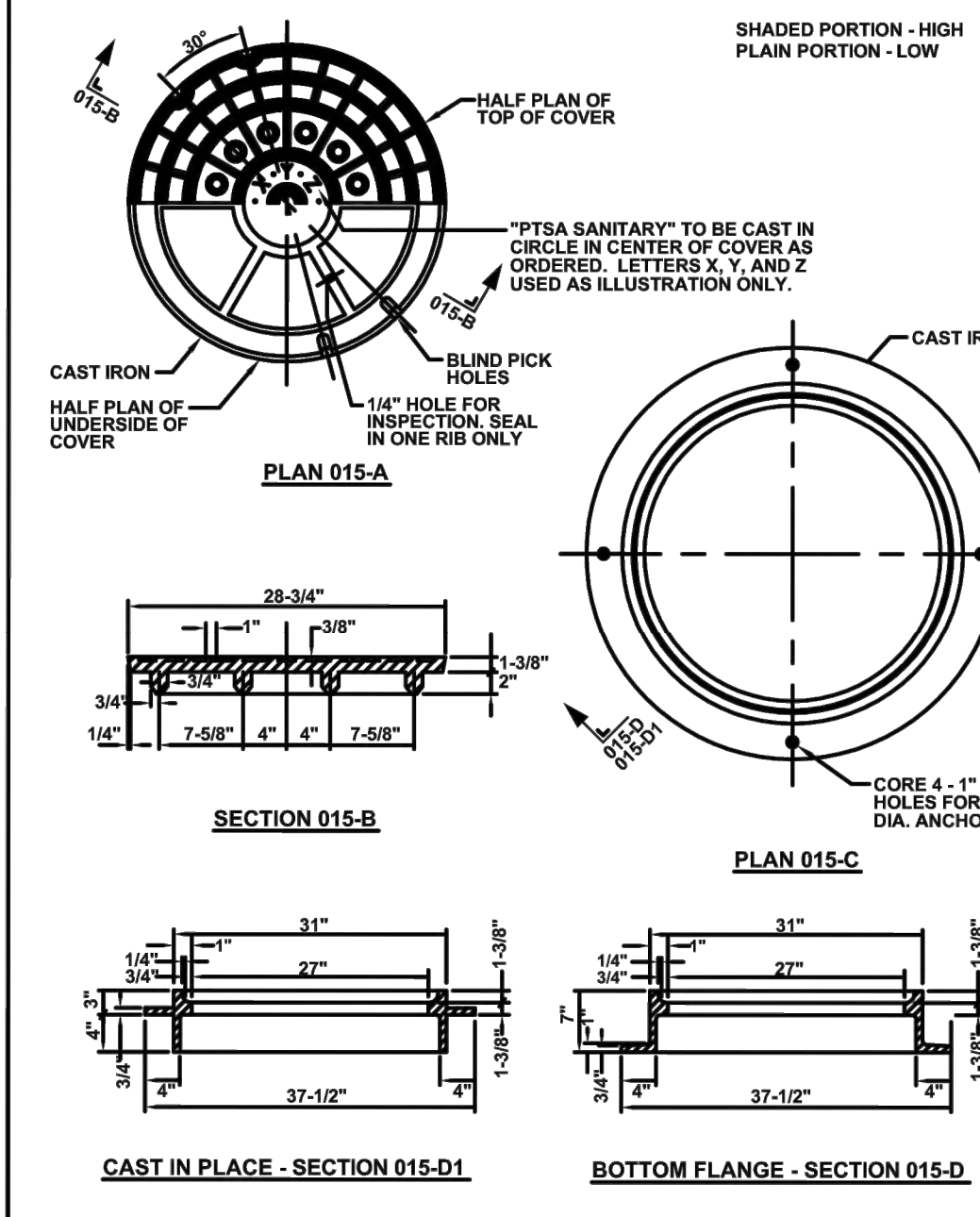
1. WITH THE BYPASS IN PLACE AND WORKING PROPERLY, THE CONTRACTOR MAY START THE EXCAVATION TO EXPOSE THE EXISTING SANITARY SEWER LINE AT THE LOCATION OF SAN MH 1, SAN MH 5, AND SAN MH 6.
2. ONCE THE EXCAVATION HAS EXPOSED THE EXISTING LINE, THE CONTRACTOR SHALL CUT THE EXISTING LINE TO ALLOW FOR THE INSTALLATION OF A NEW PRECAST CONCRETE MANHOLE TO PTSA SPECIFICATIONS. NOTE: NO DOGHOUSE MANHOLES ARE PERMITTED.
3. ONCE THE MANHOLE IS INSTALLED AT THE PROPER ELEVATION, THE EXISTING SANITARY SEWER LINES SHALL BE CUT BACK FAR ENOUGH TO ALLOW FOR THE CONNECTIONS OF STUBS FROM THE NEW MANHOLE.
4. THE STUBS SHALL BE CONNECTED TO THE EXISTING SANITARY LINE USING COUPLINGS APPROVED BY PTSA.
5. THE STUBS SHALL BE LONG ENOUGH TO ENSURE THAT THE SANITARY SEWER LINE HAS POSITIVE FLOW IN THE EXISTING LINE AND THROUGH THE NEW MANHOLE.



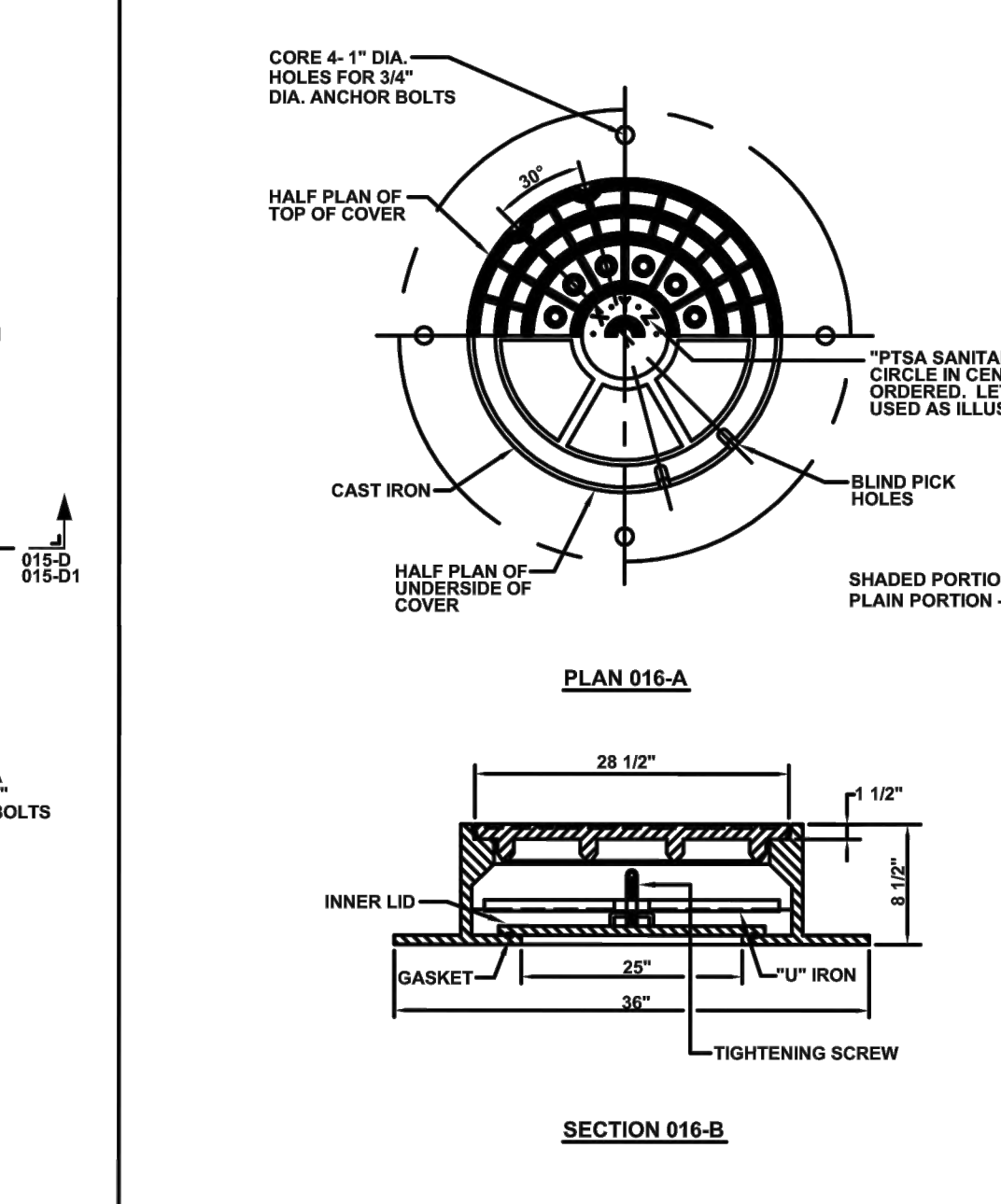
PRE-CAST CONCRETE MANHOLE FOR SEWERS 8" TO 18" Standard Detail SD-007



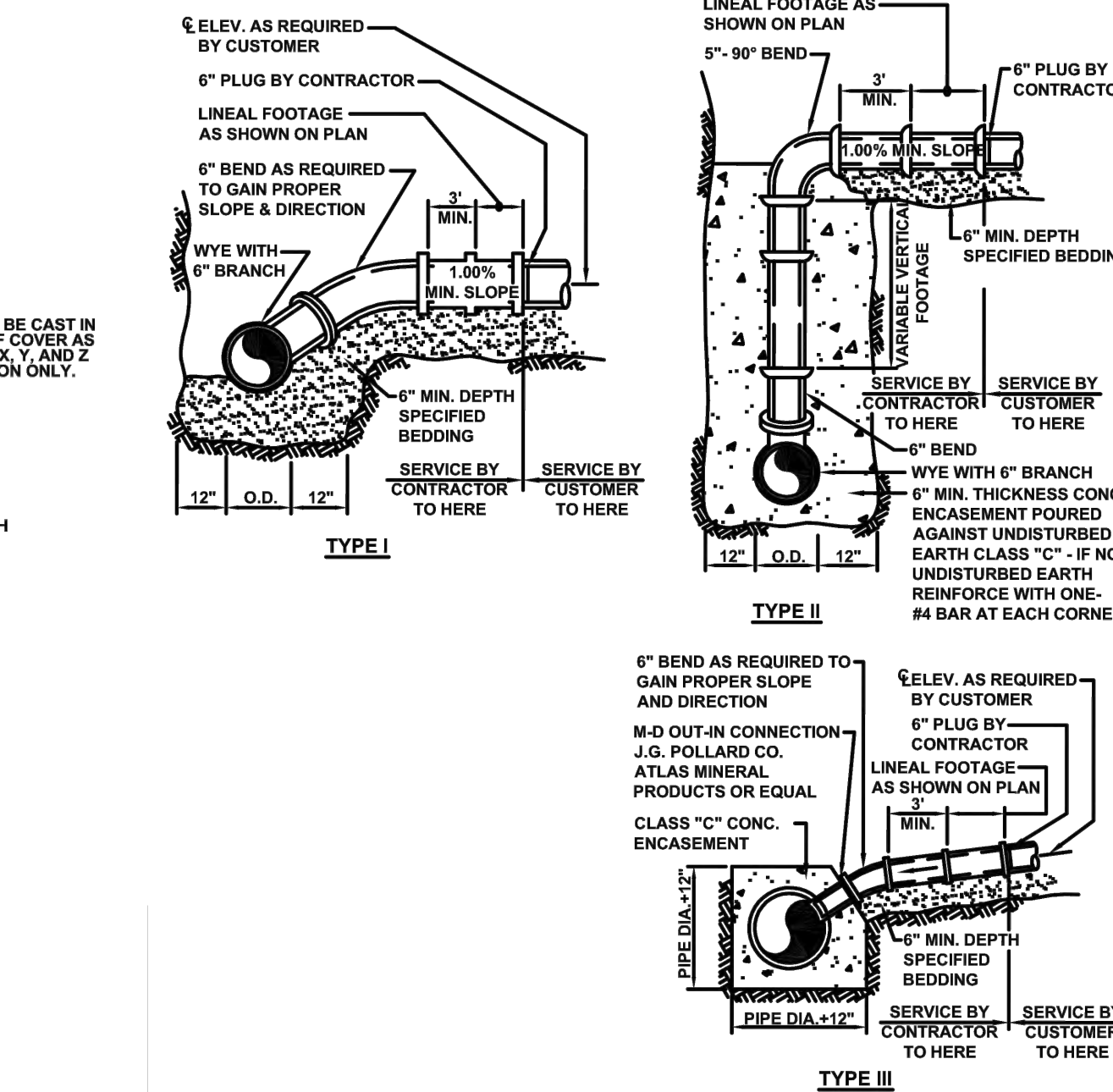
MANHOLE CONNECTION FOR PVC PIPE (PRE-CAST BASE) Standard Detail SD-012



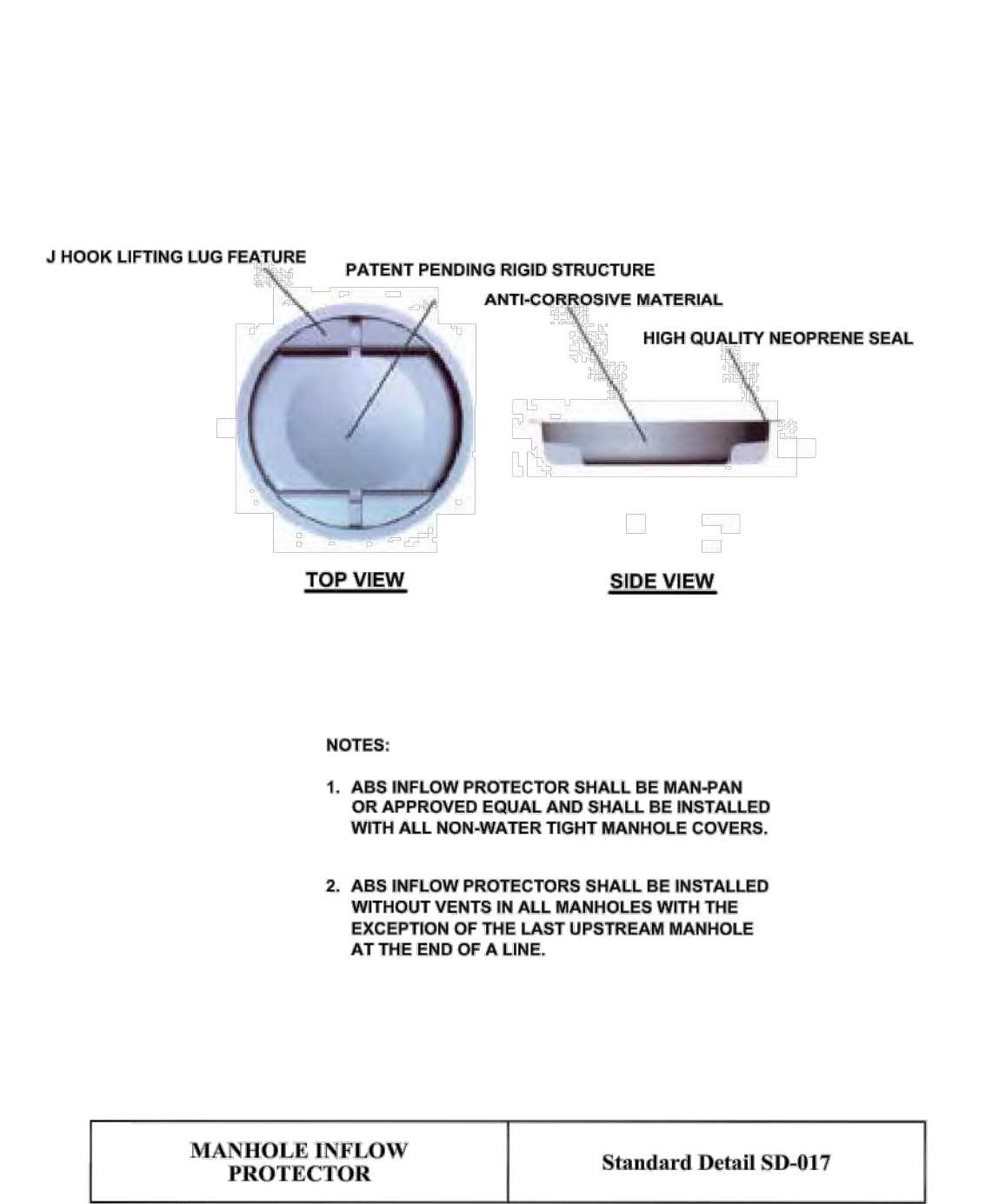
STANDARD CAST IRON MANHOLE FRAME AND COVER Standard Detail SD-015



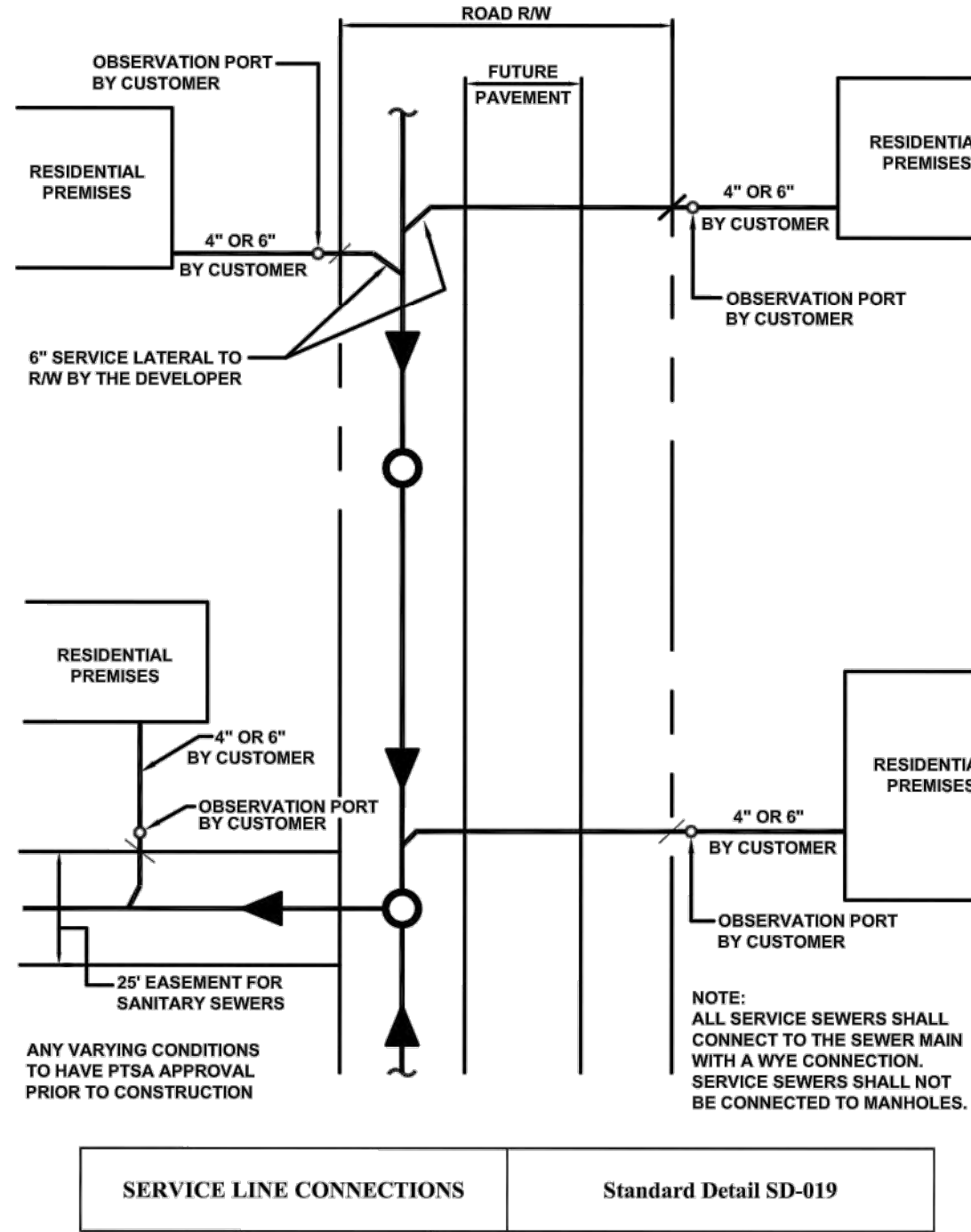
WATERTIGHT MANHOLE (WT) FRAME AND COVER Standard Detail SD-016



SERVICE CONNECTIONS Standard Detail SD-021



MANHOLE INFLOW PROTECTOR Standard Detail SD-017



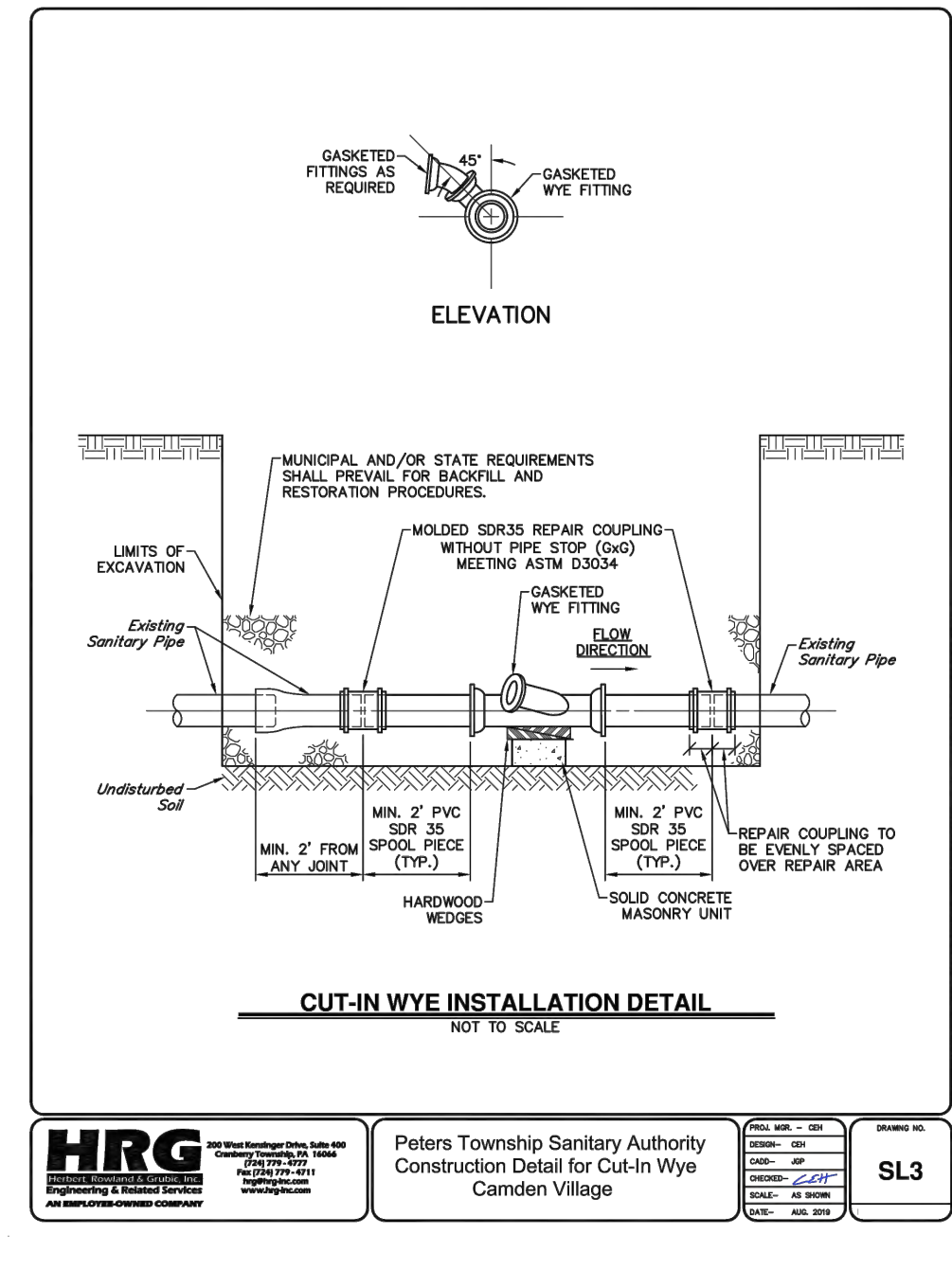
SERVICE LINE CONNECTIONS Standard Detail SD-019

GENERAL NOTES:

1. PROVIDE 0.2' DROP ACROSS MANHOLE UNLESS OTHERWISE SPECIFIED.
2. INSTALL PIPE STUBS AT MANHOLES FOR FUTURE EXTENSIONS A MINIMUM OF 4 FEET LONG. DO NOT GROUT AROUND EXTENSION STUB PIPE INSIDE OR OUTSIDE THE MANHOLE.
3. PROVIDE VENT HOLE IN CENTER OF LID OF END-OF-LINE MANHOLES.
4. ALL PVC PIPE SHALL BE ASTM D-3034 SDR 35 UNLESS OTHERWISE SPECIFIED.
5. FLAT TOP MANHOLES ARE NOT PERMITTED UNLESS OTHERWISE SPECIFIED.
6. EXISTING MANHOLES THAT DO NOT ADEQUATELY ACCOMMODATE THE PROPOSED SEWER EXTENSIONS SHALL BE REQUIRED TO BE CLEANLY CORE DRILLED AND A FLEXIBLE BOOT INSTALLED AS WELL AS ANY REQUIRED MODIFICATIONS OF THE INVERT OR FLOW CHANNEL TO ENSURE A SMOOTH TRANSITION AND TO THE AUTHORITY'S SATISFACTION.
7. MAXIMUM DISTANCE BETWEEN MANHOLES SHALL BE 400 FEET.
8. CONCRETE ANCHORS SHALL BE PROVIDED WHEN PIPE SLOPES EXCEED 20%. THE REQUIRED NUMBER AND SPACING OF THE ANCHORS SHALL BE COMMENSURATE WITH THE PREVAILING PADEP PUBLISHED REQUIREMENTS.
9. THIS DETAIL SHEET IDENTIFIES THE MOST COMMONLY USED DETAILS, HOWEVER, THE FULL SPECIFICATIONS AND OTHER STANDARD DETAILS CONTAINED IN APPENDIX A OF THE AUTHORITY'S MOST CURRENT RULES AND REGULATIONS APPLY.

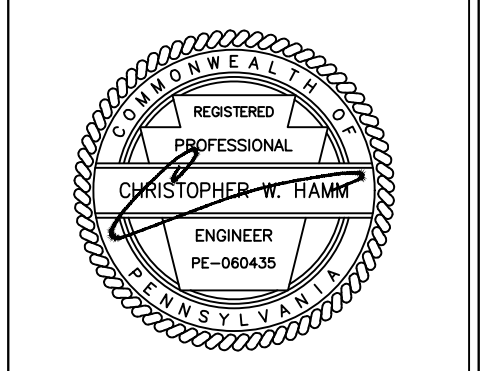
CONNECTIONS OF SANITARY LATERALS INTO EXISTING MAIN WITH CUT-IN WYES:

1. WITH THE BYPASS IN PLACE AND WORKING PROPERLY, THE CONTRACTOR MAY START THE EXCAVATION TO EXPOSE THE EXISTING SANITARY SEWER AT THE PROPER LATERAL INVERT ELEVATION OF THE NEW CONNECTION.
2. ONCE THE EXCAVATION HAS EXPOSED THE EXISTING SANITARY LINE, THE CONTRACTOR WILL HAVE TO CUT THE EXISTING SANITARY LINE TO ALLOW FOR THE INSTALLATION OF THE WYE.
3. THE EXISTING SANITARY LINE SHALL BE CUT A MINIMUM OF 2 FEET FROM EACH END OF THE PROPOSED WYE TO ALLOW FOR THE CONNECTION.
4. ONCE THE NEW SANITARY LATERAL WYE IS CONNECTED TO THE EXISTING SANITARY LINE, THE PIPE WILL BE CONNECTED TO THE WYE WITH A MINIMUM OF 2 FOOT PIECE OF PVC SDR 35 SPOOL PIPE AND A REPAIR COUPLING OVER THE REPAIR AREA.
5. AFTER THE LATERAL IS INSTALLED, THE CONTRACTOR SHALL PLACE A SOLID CONCRETE MASONRY UNIT UNDER THE WYE AND USE HARDWOOD WEDGES TO ENSURE THE WYE IS SUPPORTED.
6. THE CONTRACTOR SHALL THEN BACK FILL THE EXCAVATION ACCORDING TO THE PTSA STANDARDS AND RESTORE THE SITE ACCORDINGLY.
7. THIS SHALL BE DONE FOR ALL THE LATERALS FOR UNITS A, B, C, D, ON LOT #1.



CUT-IN WYE INSTALLATION DETAIL NOT TO SCALE

KDH CONSULTING ENGINEERS, INC.
 593 RUGH STREET
 GREENSBURG, PA 15601
 P: 878-295-8914 F: 724-514-7047
 www.kdhengineers.com

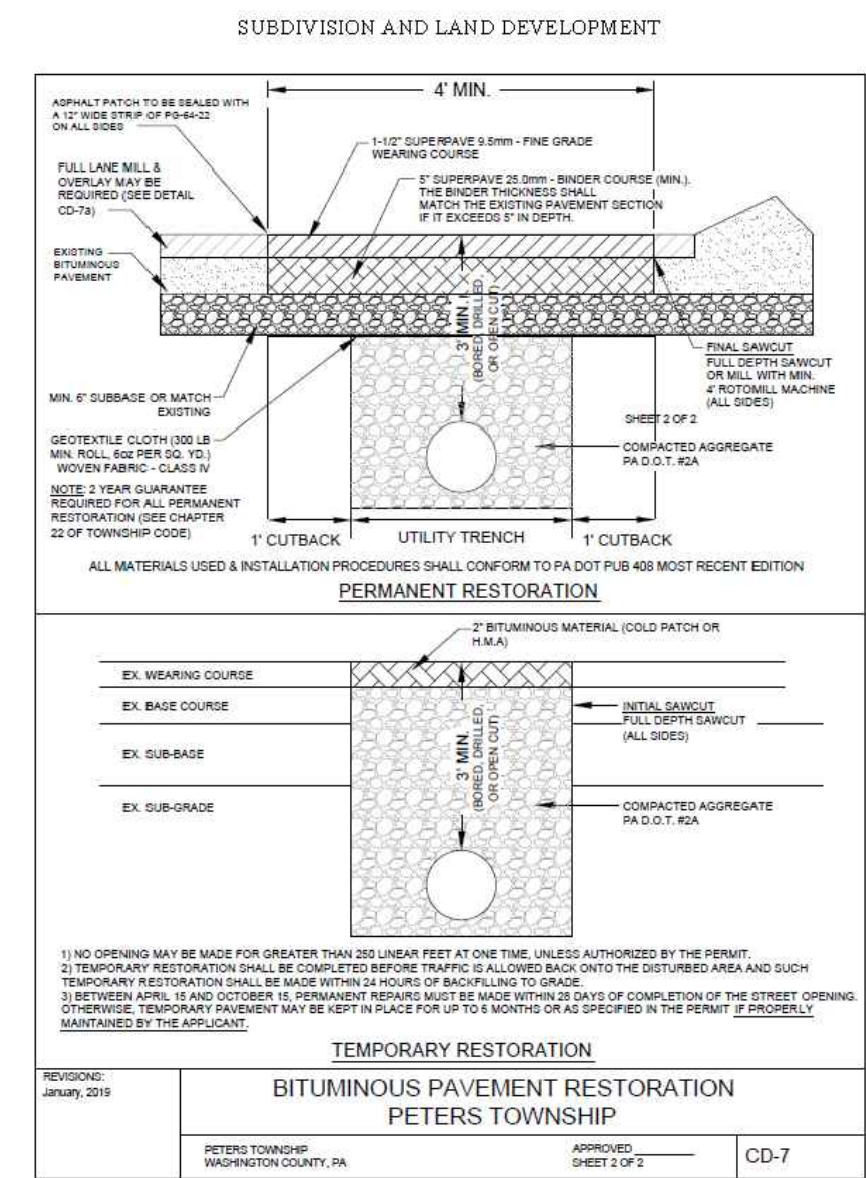
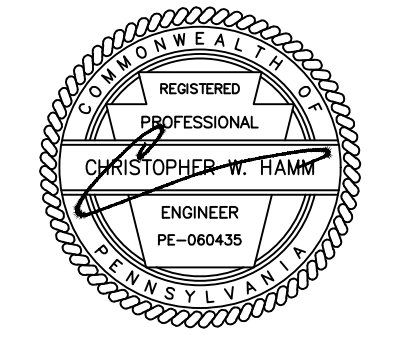
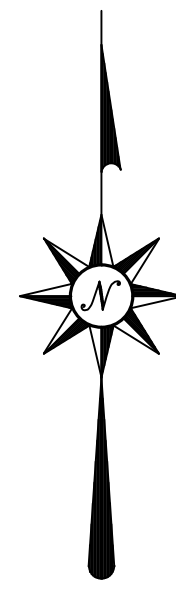


REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PTSA REVIEW COMMENTS
9	01/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCCD COMMENTS
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2	5/17/2022	ADDRESS TOWNSHIP COMMENTS
11	3/17/2023	CONDO PLAN

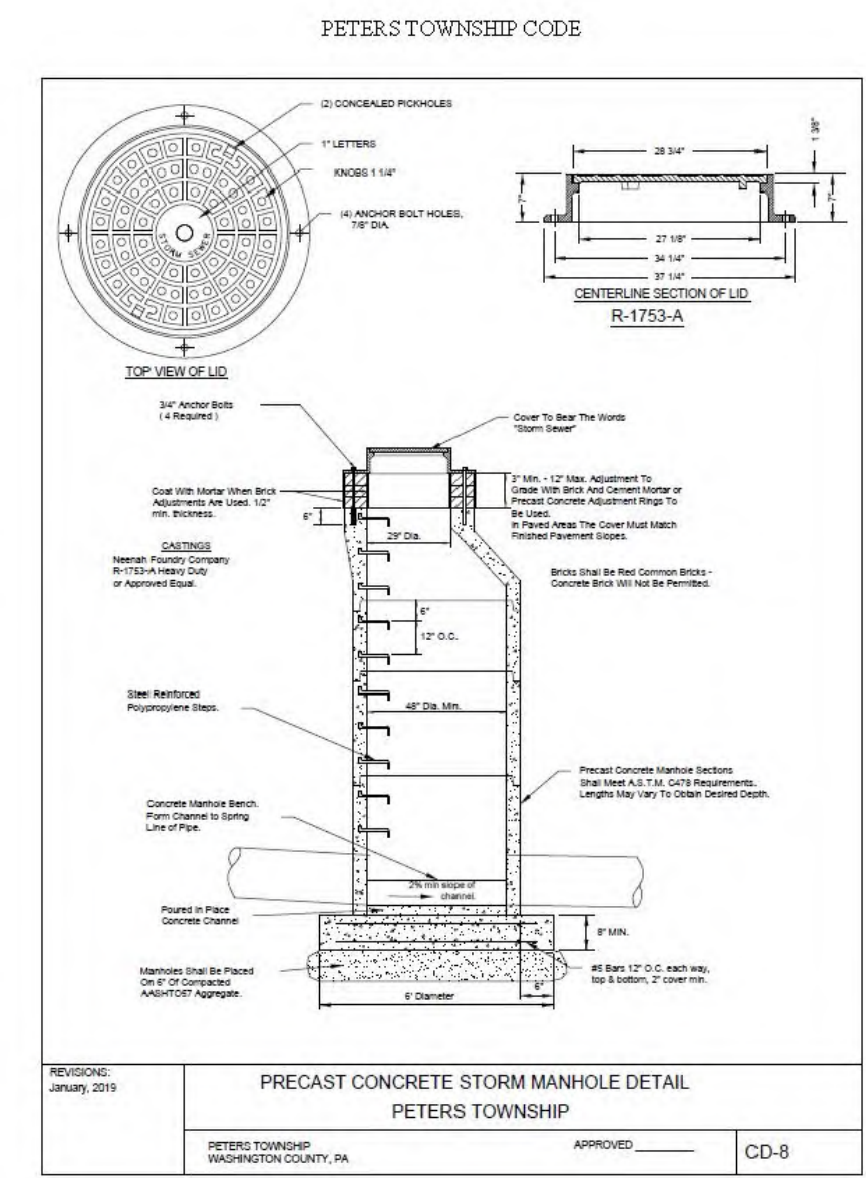
BENJAMIN MARCUS HOMES

CAMDEN VILLAGE
 PETERS TOWNSHIP, PA
 WASHINGTON COUNTY, PA

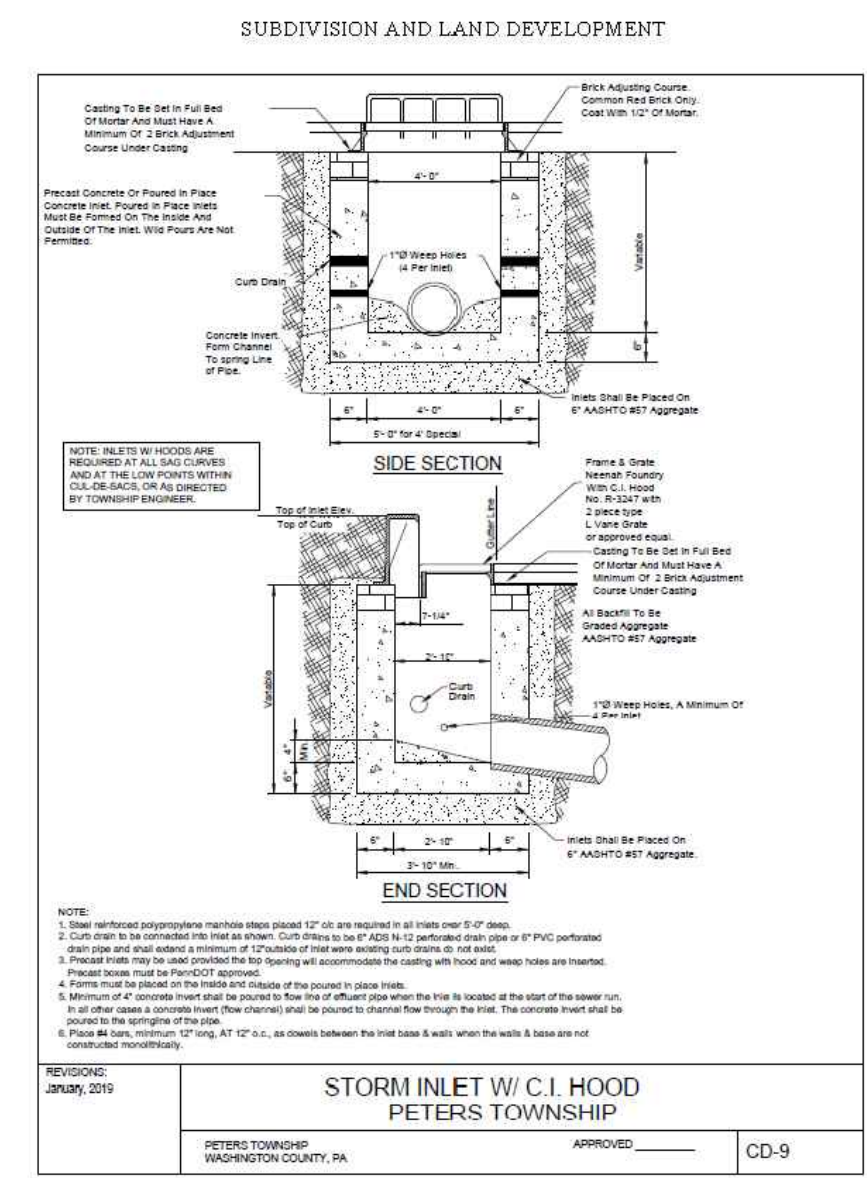
PROJ NO: 291-003-21
 DATE: 9/27/2022
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 CHECKED BY: CWH
 SHEET TITLE:
SANITARY SEWER DETAILS
 SHEET NO.
D6.2



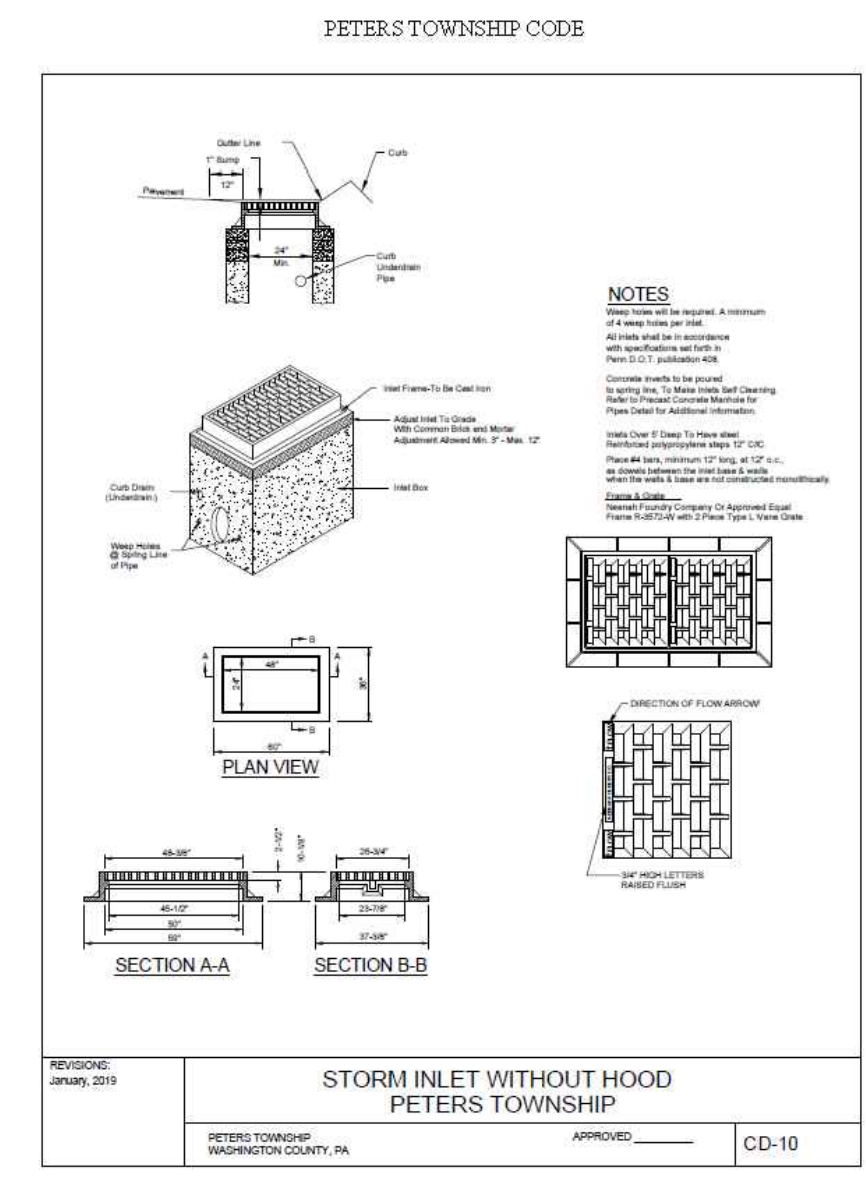
385 Attachment 3.29 Supp 23, Dec 2019



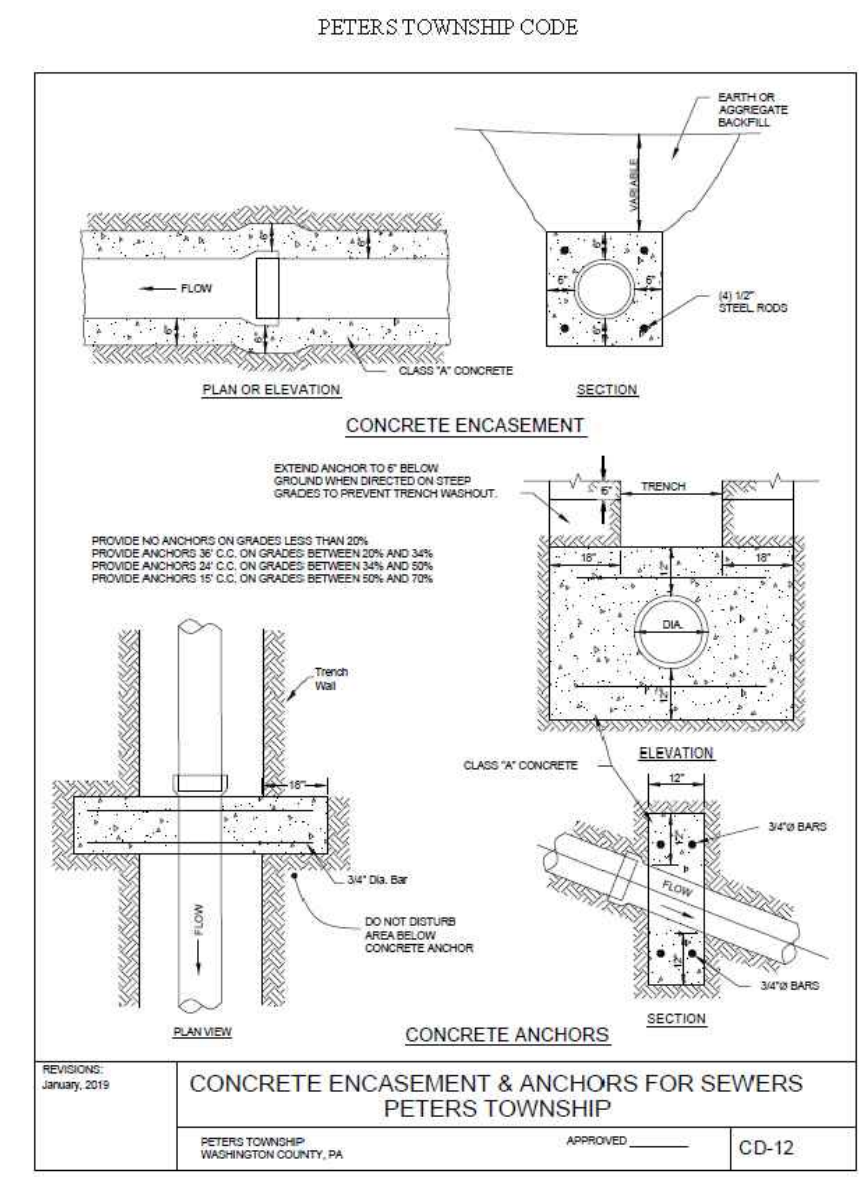
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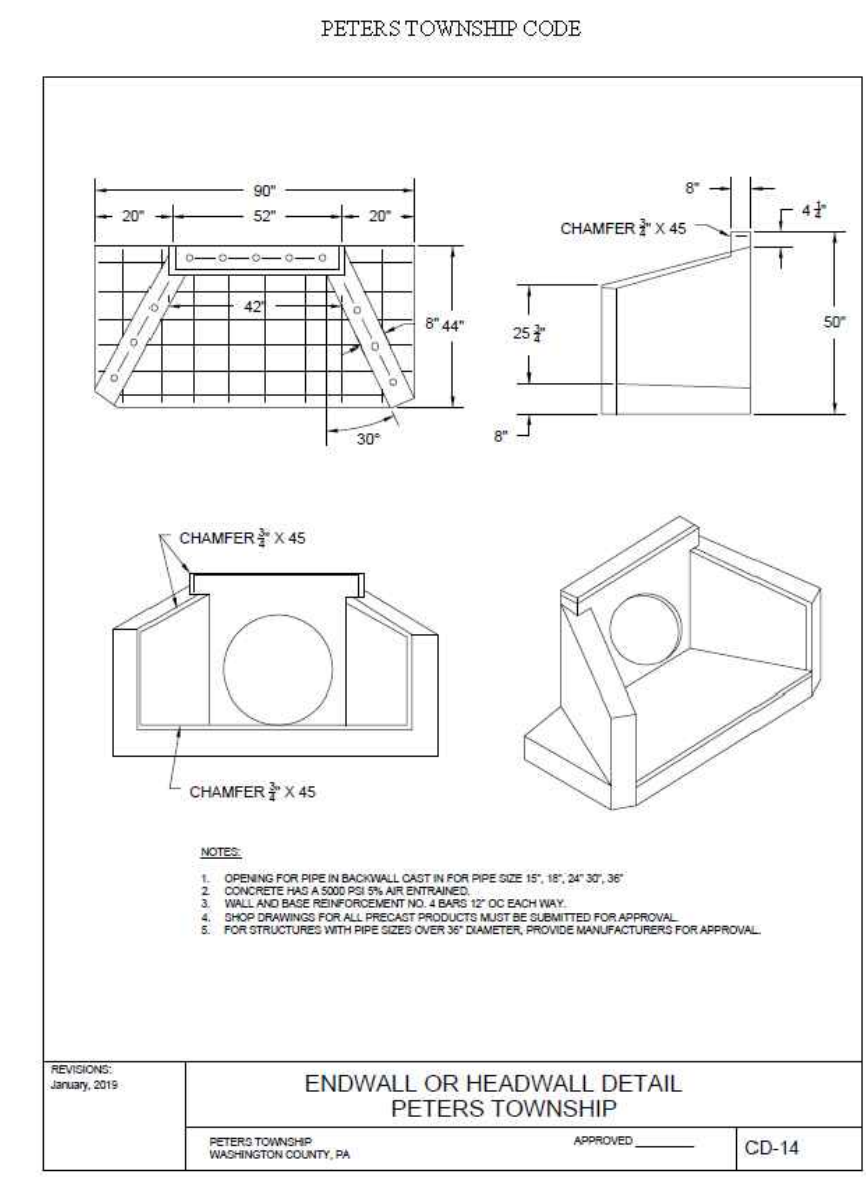
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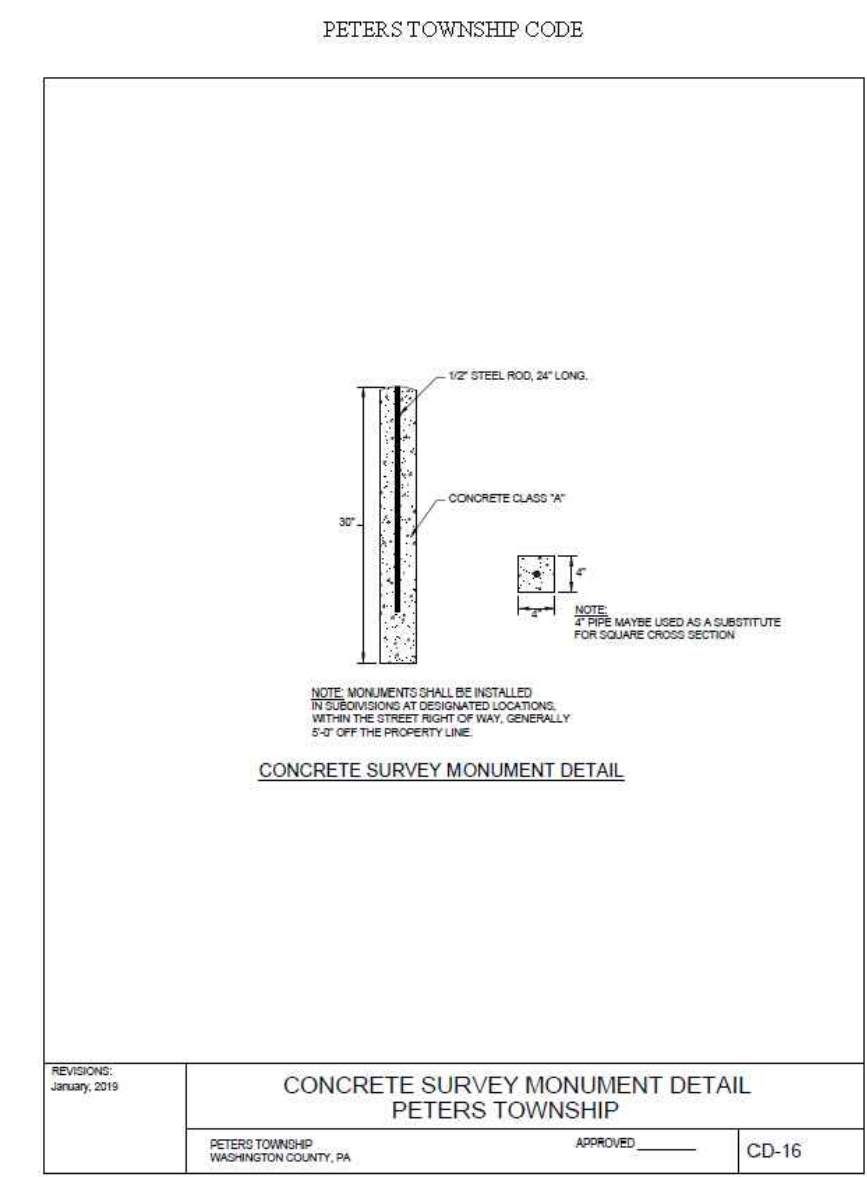
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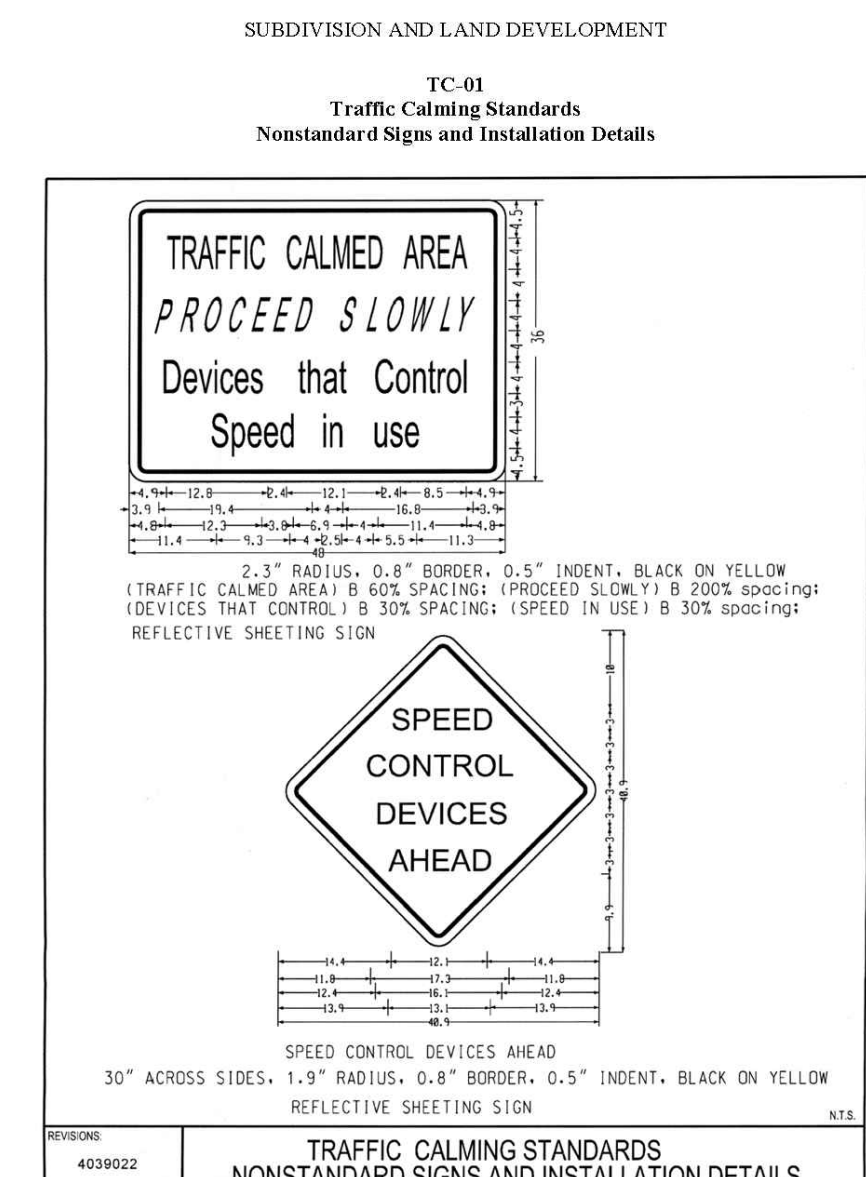
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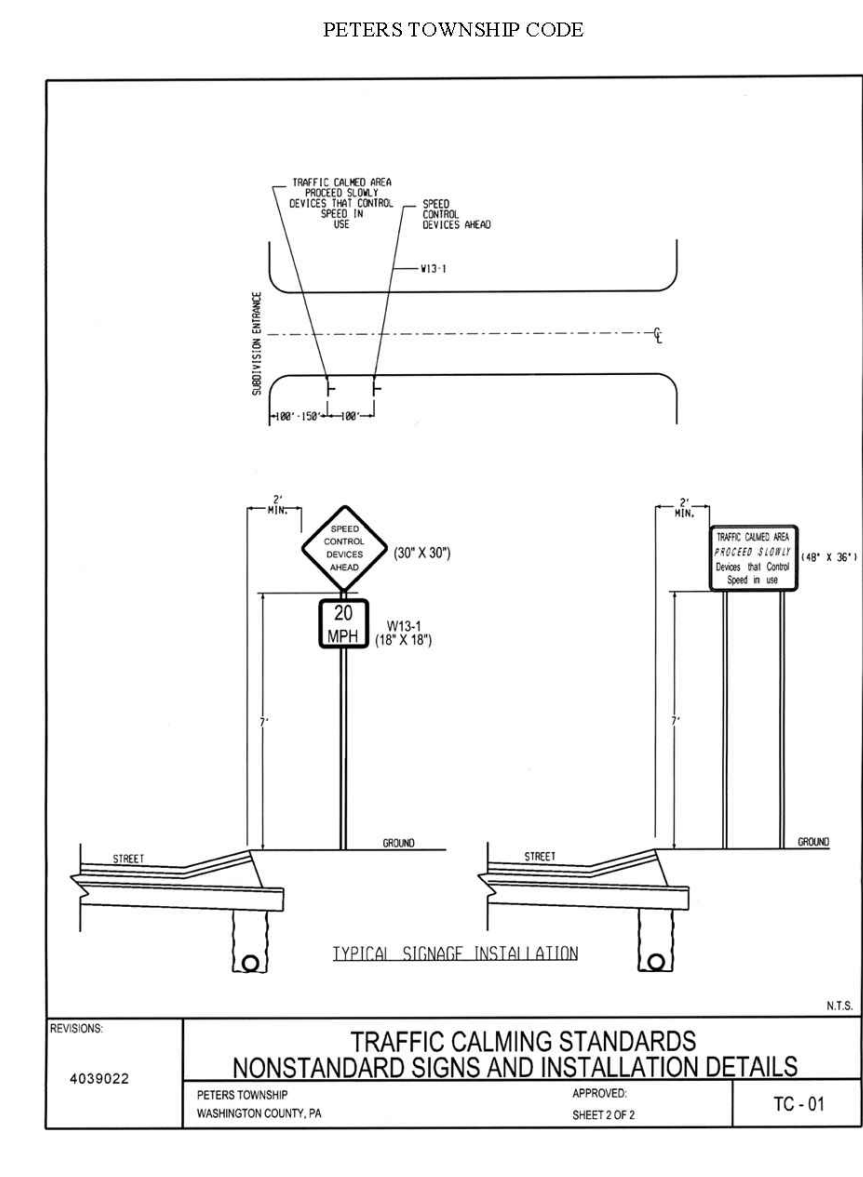
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385 Attachment 3.38 Supp 23, Dec 2019



385 Attachment 3.3 Supp 23, Dec 2019

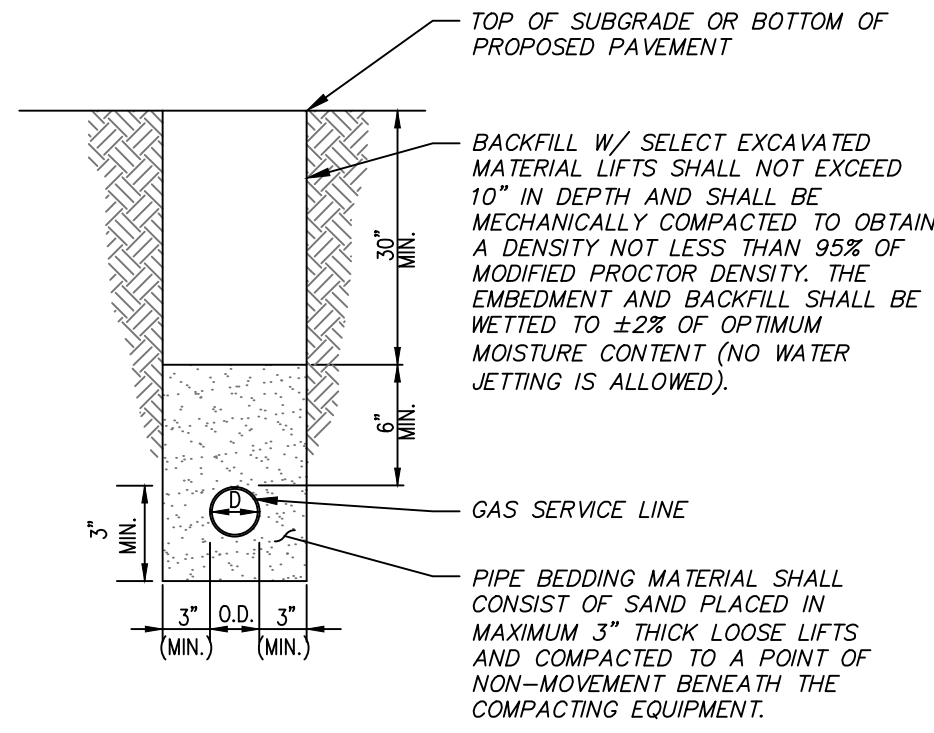


385 Attachment 3.4 Supp 23, Dec 2019

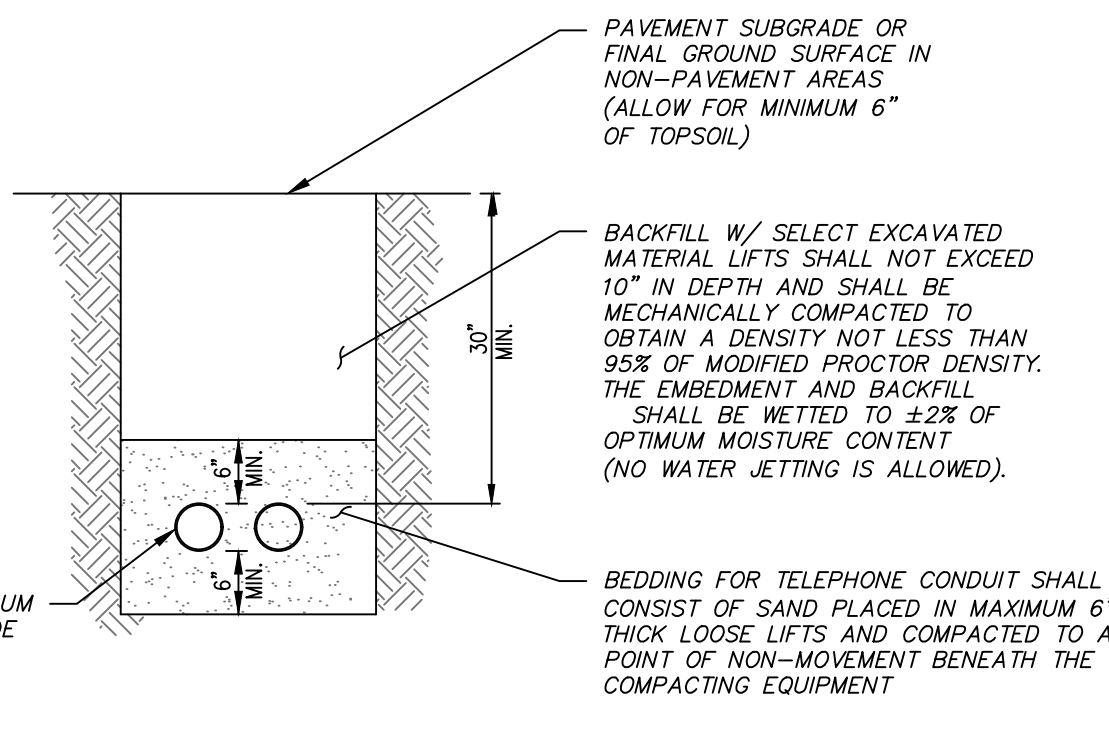


CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

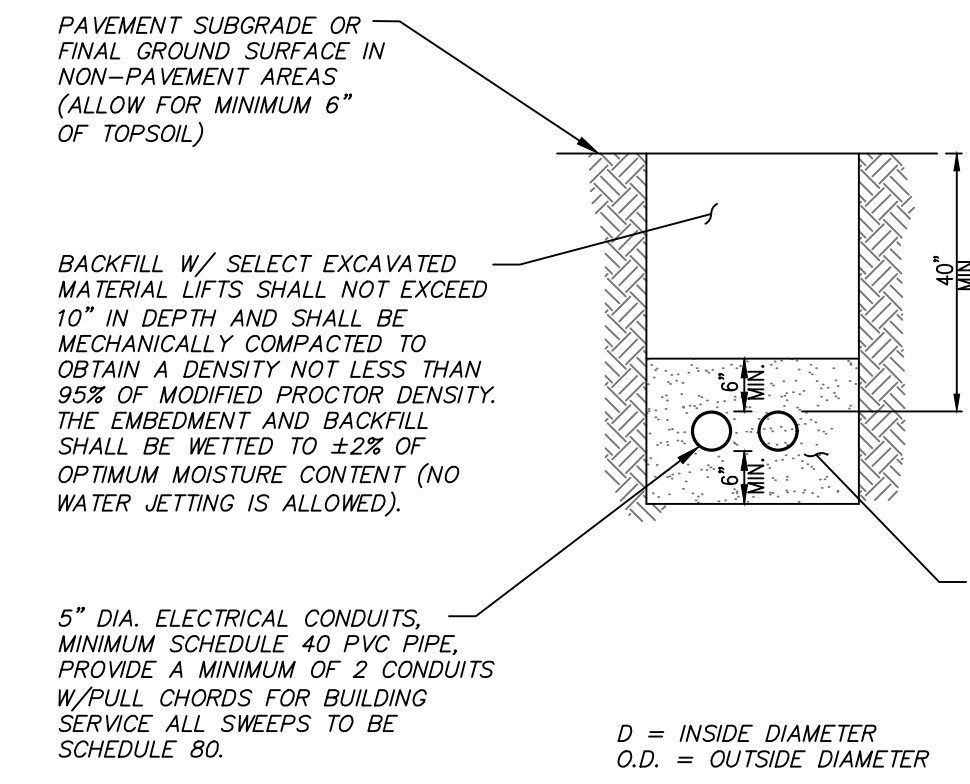
PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
STANDARD TOWNSHIP DETAILS
SHEET NO:
D6.3



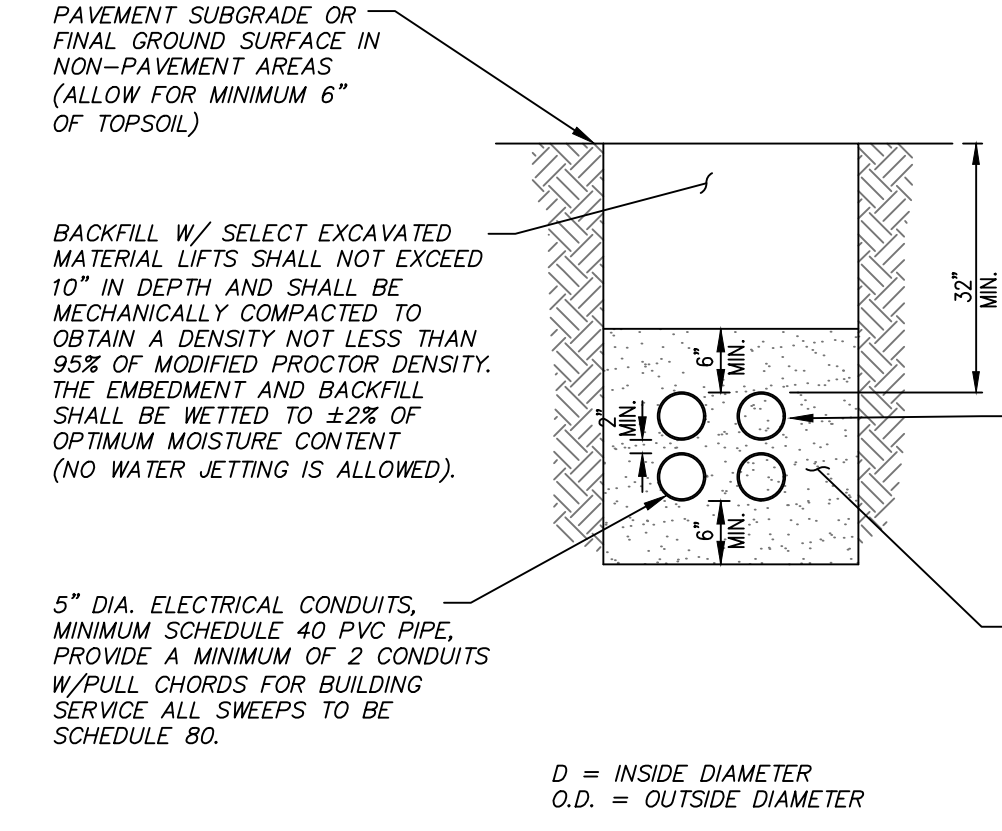
GAS SERVICE LINE



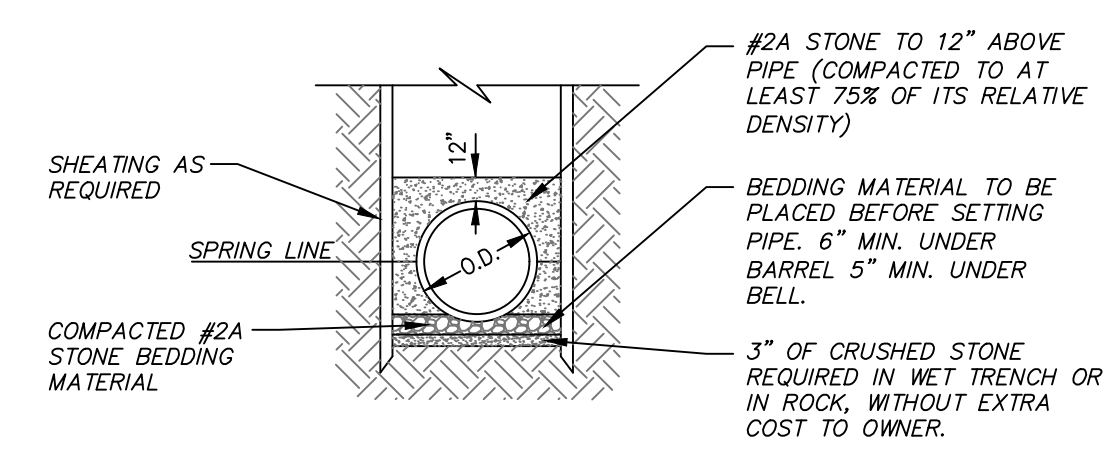
TELEPHONE SERVICE LINE



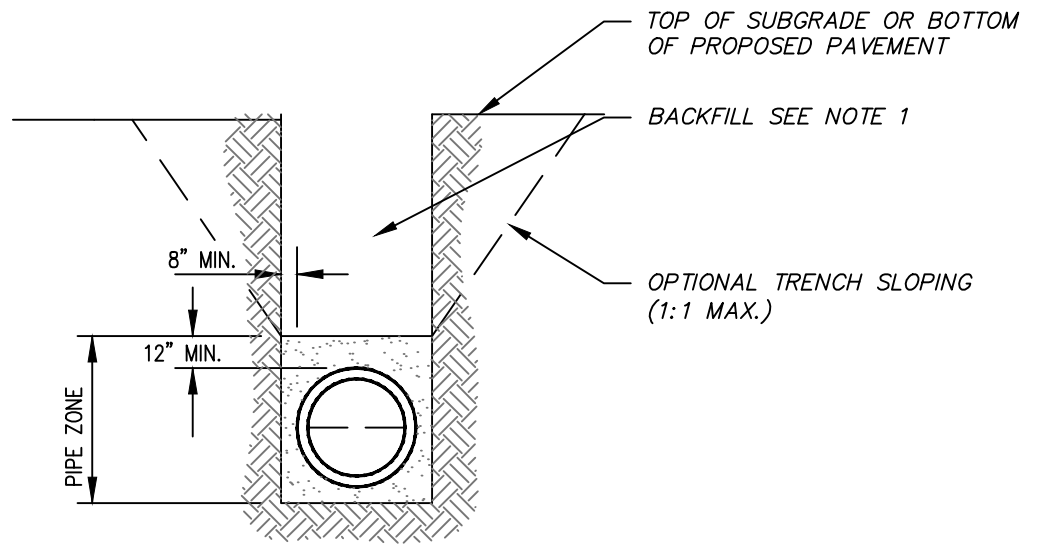
ELECTRIC SERVICE LINE



COMBINED ELECTRIC AND TELEPHONE SERVICE LINE



PIPE ZONE FOR STORM SEWER

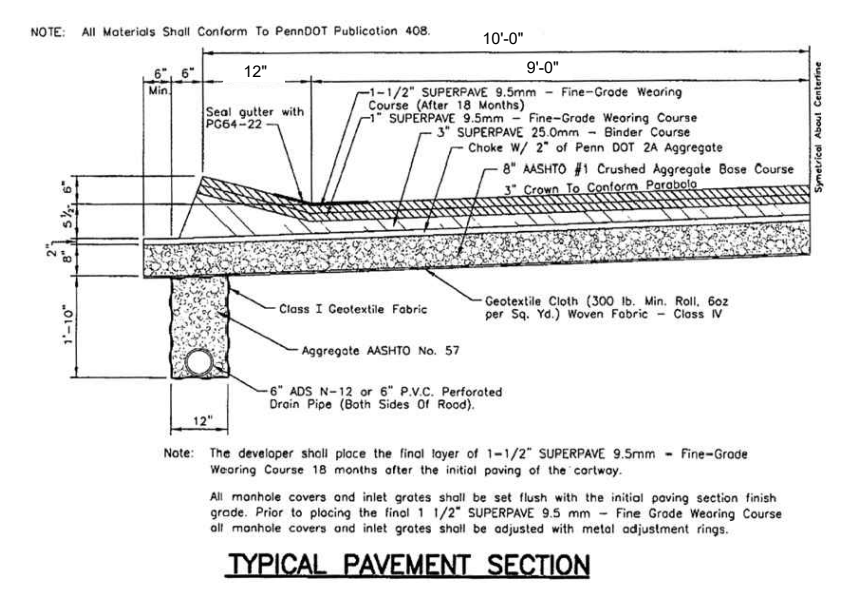
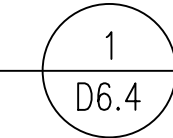


STORM SEWER TRENCH SECTION

TRENCHING NOTES:

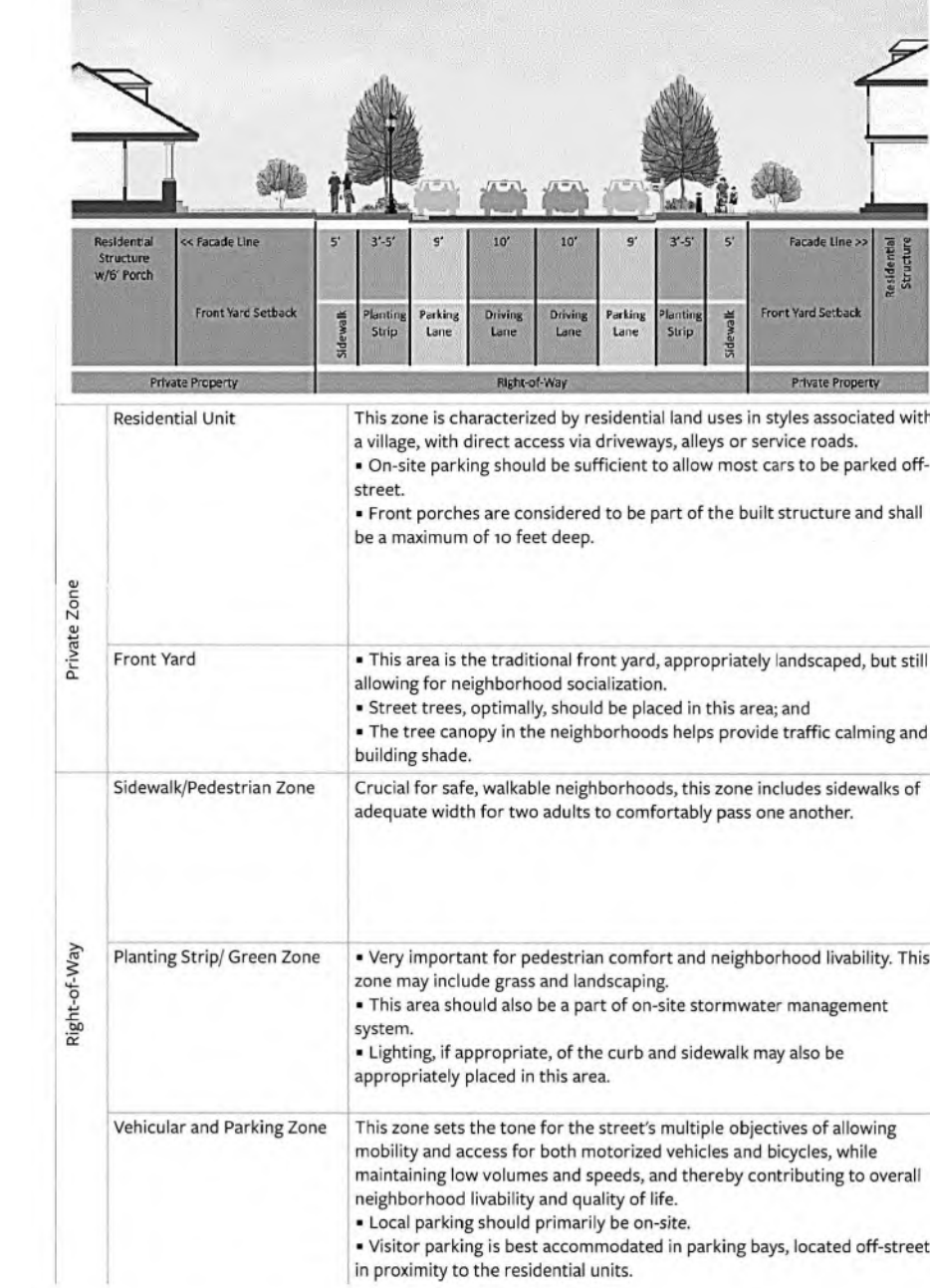
- LIFTS SHALL NOT EXCEED 10" IN DEPTH AND SHALL BE MECHANICALLY COMPACTED TO OBTAIN A DENSITY NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY. THE EMBEDMENT AND BACKFILL SHALL BE WETTED TO ±2% OF OPTIMUM MOISTURE CONTENT (NO WATER JETTING IS ALLOWED).
- THE TRENCH WALL SHALL BE SUBSTANTIALLY VERTICAL IN THE PIPE ZONE. MAXIMUM TRENCH WIDTH (W) SHALL BE O.D. + 24" AND MINIMUM TRENCH SHALL BE O.D. + 16".
- NO ROCK WILL BE PERMITTED IN BACKFILL IN THE ZONE FROM BOTTOM OF TRENCH TO 2' ABOVE THE PIPE NOR IN THE TOP 18" OF TRENCH BACKFILL AT THE GROUND SURFACE. ROCK MAY BE PLACED ELSEWHERE IN THE BACKFILL PROVIDED THE SIZE OF PIECES IN THE LARGEST DIMENSION DOES NOT EXCEED 12".
- SLOPING OF THE TRENCH SIDES ABOVE THE PIPE ZONE WILL BE ALLOWED.

TYPICAL UTILITY TRENCH
NOT TO SCALE

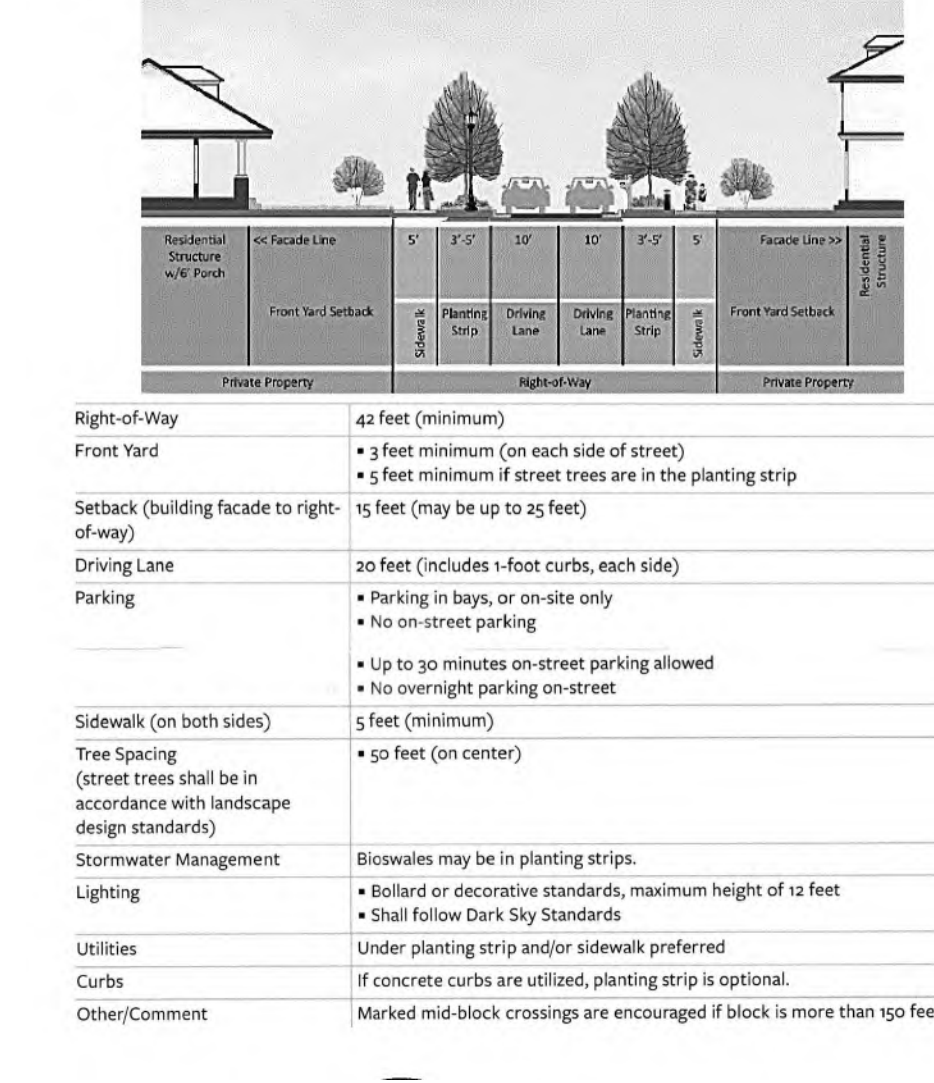


TYPICAL PAVEMENT SECTION

LOCAL STREET SECTION: GENERALIZED



LOCAL STREET SECTION: NARROW



PETERS TOWNSHIP CODE

The components of the pavement structure shall be designed and constructed in accordance with PennDOT Publication 408 Specifications (most recent edition).

Superpave materials must be designed with a minimum of 0.3 million equivalent single axle loads (ESALs) and have a minimum void resistance level (VRL) of H Performance Grade (B) for all designs shall be PG 64-22. The Township Engineer may require project specific pavement designs with higher ESAL counts based on traffic studies or road characteristics.

Core samples shall be taken prior to placing the wearing course to verify depth. The acceptance tolerance will be one sample with 17.4% per ft. If deficiencies exist, the contractor, will be required to remove, replace or otherwise satisfactorily correct the deficient areas. The cutting of the test holes, refilling and compacting with hot mix or acceptable material shall be done by and at the expense of the contractor within 24 hours of taking the cores.

Once the final wearing course is placed, the contractor shall seal the gutter line with PG 64-22 asphalt cement by overlapping 3" on to the waste curb and extending 3" into the gutter, placing of inlets, manholes, water and gas valves bases etc. in accordance with PennDOT Publication 408 Specifications (most recent edition).

The contractor shall provide the following certifications daily during the paving operation:

- Bill of lading for the liquid asphalt.
- Controlled storage mix removal from PennDOT.
- 2 weeks prior to paving.
- Certification of density testing.
- PENN DOT Certification 4171.

NOTE:

When paving roads in the township, the contractor may be required to reduce the depth of asphalt to reduce the stress on the existing township roads or road to avoid for any reasons required because of drainage due to flowing over the township road. The contractor shall contact the township for any restrictions that may apply to the project.

The township representative will be required to perform the testing of the bituminous pavement as part of their inspection service to the township. The testing of the material will be in accordance with PennDOT Publication 408 and the township's standard details and surface requirements. The testing will be performed to verify the density of the material. The contractor shall provide the following certifications:

The engineering inspection rates will be in accordance with the rate schedule posted with the township.

* All aggregate sizes shown are MSHD numbers unless otherwise noted.
 * All material must be PennDOT approved.
 * All utility crossings must be installed prior to placing bituminous pavement.
 * Additional subgrade repairs may be required by the township engineer where underground water is encountered.
 * If the subbase is not installed by November 1, the bituminous pavement must be delayed until the next paving season.

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1	3/17/2023	CONDO PLAN

TYPICAL PAVEMENT SECTION

APPROVED: _____ DATE: _____ SHEET 2 OF 2 CD-1

SUBDIVISION AND LAND DEVELOPMENT

NOTE:

- CONTRACTOR SHALL PLACE A TOUGED JOINT AT EVERY 6' O.C. ON SIDEWALKS.
- THE INSTALLATION OF ACCESSIBLE RAMPS AT APPROPRIATE LOCATIONS IN ACCORDANCE WITH THE U.S. DEPARTMENT OF JUSTICE'S "ADA STANDARDS" LATEST EDITION MAY BE REQUIRED BY THE TOWNSHIP IN CONJUNCTION WITH SIDEWALK RESTORATION/CONSTRUCTION.

CONCRETE DRIVEWAY OR SIDEWALK DETAIL
NOT TO SCALE

BITUMINOUS DRIVEWAY
NOT TO SCALE

Superpave materials must be designed with a minimum of 0.3 million equivalent single axle loads (ESALs) and have a minimum void resistance level (VRL) of H Performance Grade (B) for all designs shall be PG 64-22.

REVISIONS:

NO.	DATE	DESCRIPTION
1	January, 2019	DRIVEWAY AND SIDEWALK RESTORATION PETERS TOWNSHIP

DRIVEWAY AND SIDEWALK RESTORATION
PETERS TOWNSHIP

APPROVED: _____ DATE: _____ SHEET 2 OF 2 CD-5

KDH
CONSULTING ENGINEERS, INC.

593 RUGH STREET
GREENSBURG, PA 15601
P: 878-295-8914 F: 724-514-7047
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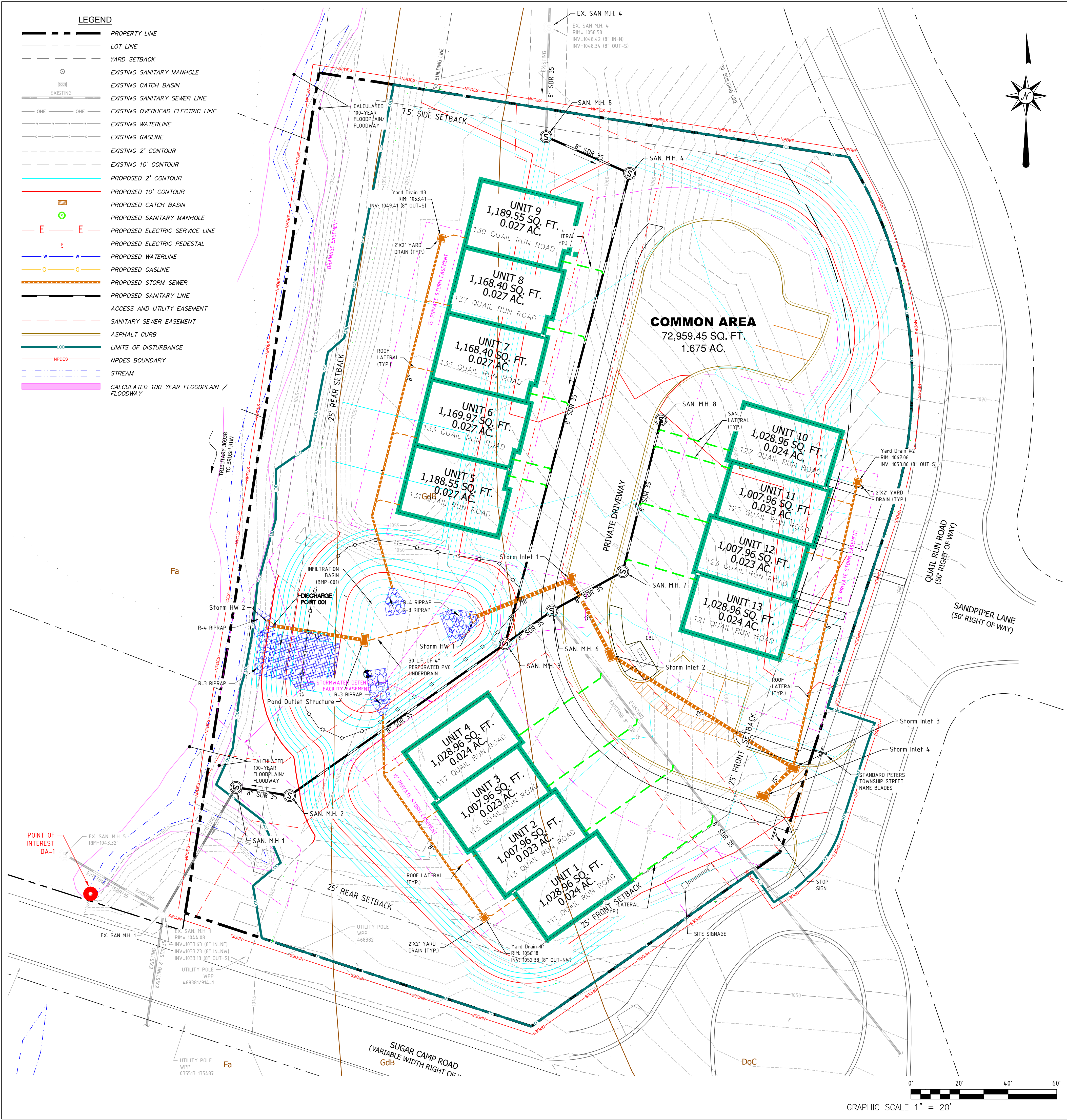
BENJAMIN MARCUS
HOMES

CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
STANDARD TOWNSHIP DETAILS

SHEET NO.
D6.4



STORMWATER MANAGEMENT NOTES:

- NO PERSON, INCLUDING THE LANDOWNER, BENJAMIN MARCUS HOMES, LLC, SHALL ALTER OR REMOVE THE STORMWATER MANAGEMENT FIXTURES WITHOUT PRIOR WRITTEN APPROVAL BY PETERS TOWNSHIP.
- THE OPERATION AND MAINTENANCE (O&M) AGREEMENT FOR THE STORMWATER MANAGEMENT CONTROLS IS PART OF THE STORMWATER MANAGEMENT PLAN.
- RECORD DRAWINGS AND DOCUMENTATION WILL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO THE RELEASE OF THE SURETY BOND AND AN ISSUANCE OF AN OCCUPANCY PERMIT.
- THE STORMWATER MANAGEMENT POND 1 INFILTRATION BASIN OPERATIONS AND MAINTENANCE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER / DEVELOPER DURING THE CONSTRUCTION PHASE. ONCE THE CONTROLS ARE INSTALLED, WORKING PROPERLY, AND APPROVED, RECORD DRAWINGS WILL BE COMPLETED AND THE OWNERSHIP WILL BE THEN TRANSFERRED TO CAMDEN VILLAGE HOA.

NOTES:

- ALL PROPOSED GRADES, ELEVATIONS, AND SLOPES, AS WELL AS ALL ASSOCIATED ENGINEERING ASSUMPTIONS, ARE BASED SOLELY AND EXCLUSIVELY UPON LOCAL AND NATIVE SOIL CONDITIONS FOUND AT THE SPECIFIC PROJECT LOCATION, AND SUPPORTING INFORMATION FROM THE "WESTMORELAND COUNTY PENNSYLVANIA - SOIL SURVEYED" PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (ISSUED NOVEMBER, 1968), AS WELL AS ADDITIONAL INFORMATION FROM THE NRCS'S WEB SOIL SURVEY WEBSITE.
- ANY AND ALL CONSTRUCTION WORK RELATED TO EARTH MOVING OR OTHER EXCAVATION SHALL ONLY BE PERFORMED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER, OR OTHER APPROVED PROFESSIONAL REPRESENTATIVE, WITH EXTENSIVE KNOWLEDGE AND EXPERIENCE IN THE INTERPRETATION OF ALL ISSUES RELATED TO GEOTECHNICAL ENGINEERING AND CONSTRUCTION ACTIVITIES.
- IN ADDITION, INFILTRATION CAPACITY OF NATIVE SOILS HAVE BEEN ASSUMED AND EVALUATED (BY OTHERS) BASED UPON THE ABOVE REFERENCED SOURCES. DUE TO THE NATURE OF STRUCTURAL BMP'S DESIGNED FOR INSTALLATION AND UTILIZATION ON THE PROJECT SITE EXTENSIVELY MINIMAL INFILTRATION IS ANTICIPATED. THE CONTRACTOR SHALL TAKE EXTREME CAUTION AND CARE WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE AREAS OF STRUCTURAL BMP IMPLEMENTATION, AND SHALL ADHERE TO THE RECOMMENDED CONSTRUCTION PROCEDURES AND AVOIDANCE MEASURES CONTAINED WITHIN THE APPROVED CONSTRUCTION DOCUMENTS.
- ALL STORM DRAIN/CATCH BASIN/INLET STRUCTURES TO BE CONSTRUCTED AND FITTED WITH BICYCLE SAFE FRAME AND GRATING, UNLESS NOTED OTHERWISE.
- THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAND NAD).
- ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
- ROCK APRONS SHALL BE INSTALLED WITH 0% SLOPE.

CRITICAL STAGES OF CONSTRUCTION:

THE ENGINEER MUST CERTIFY INSTALLATION OF ALL PCSM BMPs FOR TERMINATION OF THE NPDES PERMIT. THEREFORE, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER PRIOR TO CONSTRUCTING:

- STORMWATER INFILTRATION POND

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.

NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.

NOTE:

THIS PLAN IS FOR POST CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE APPROPRIATE UTILITY PLAN FOR FINAL LOCATION AND DETAILS.

I, CHRISTOPHER W. HAMM, P.E., HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN SUBSTANTIALLY MEETS ALL DESIGN STANDARDS AND CRITERIA OF PETERS TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

WE, BENJAMIN MARCUS HOMES, LLC, HEREBY CERTIFY THAT WE SHALL NOT ALTER OR REMOVE THE STORMWATER MANAGEMENT FIXTURES WITHOUT PRIOR WRITTEN APPROVAL BY PETERS TOWNSHIP.

MANAGING MEMBER

PROJECT ENGINEER:
KDH CONSULTING ENGINEERS, INC.
593 RUGH STREET, LOWER LEVEL
GREENSBURG, PA 15601
(724) 493-5041
CONTACT: CHRISTOPHER W. HAMM, P.E.

DEVELOPER:
BENJAMIN MARCUS HOMES, LLC
333 TECHNOLOGY DRIVE, SUITE 108
CANONSBURG, PA 15317
(412) 880-1025
CONTACT: MARK HOSKINS



KDH CONSULTING ENGINEERS, INC.
593 RUGH STREET
GREENSBURG, PA 15601
P: 878-295-8914 F: 724-514-7047
www.kdhengineers.com

REGISTERED PROFESSIONAL ENGINEER
CHRISTOPHER W. HAMM
ENGINEER PE-006435

REVISIONS:	ADDRESS	PTSA REVIEW COMMENTS	DATE	REV	DESCRIPTION
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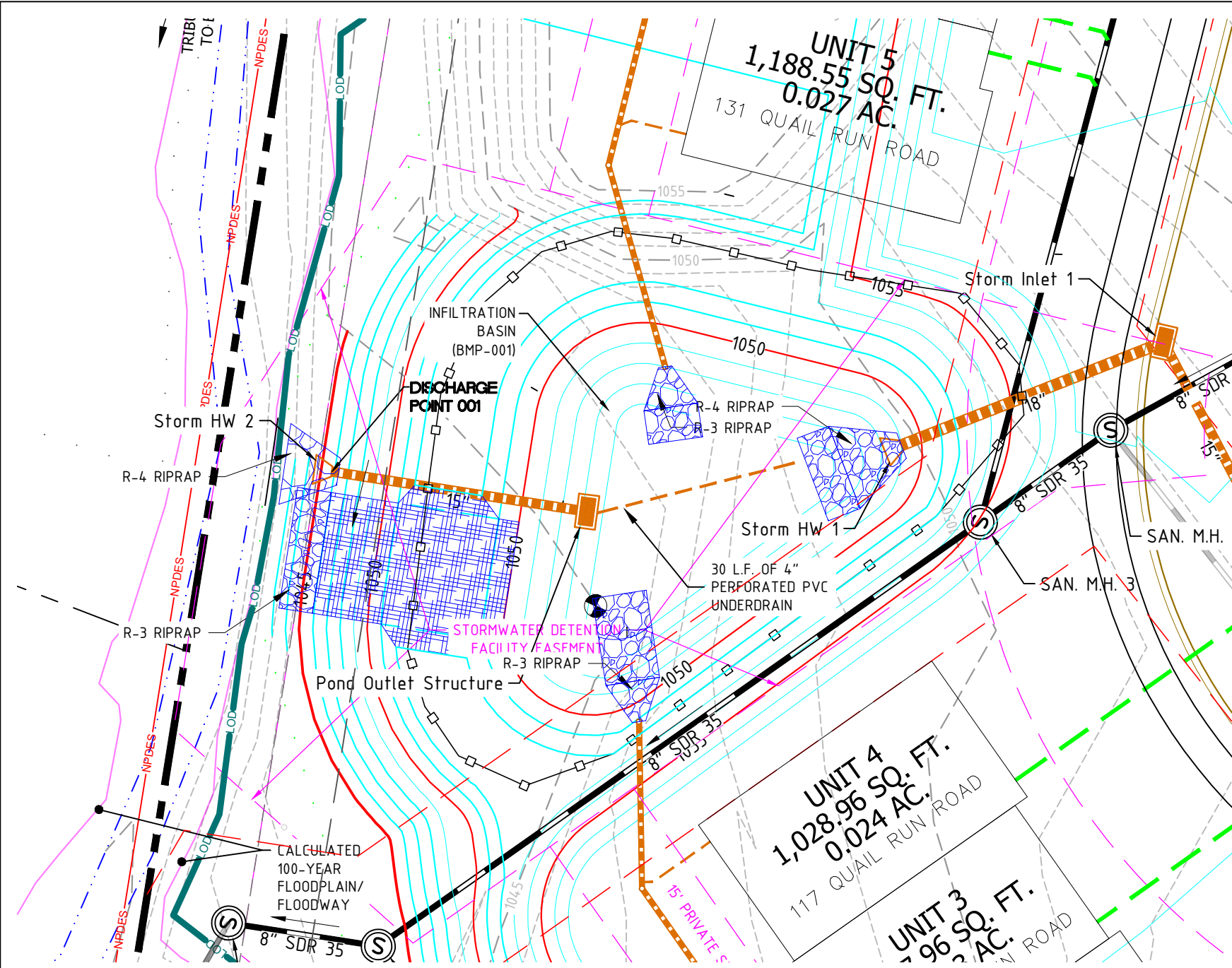
BENJAMIN MARCUS HOMES

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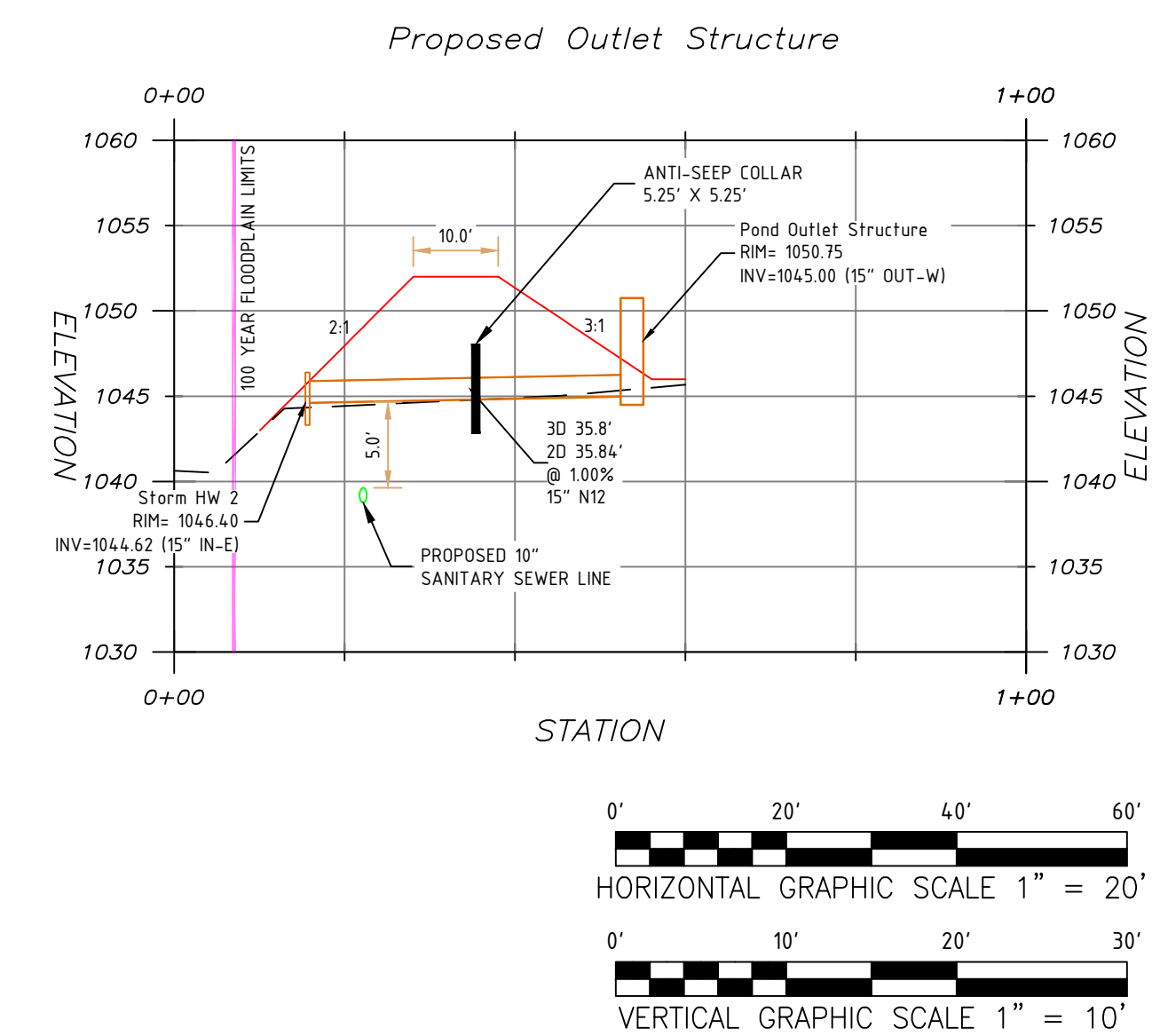
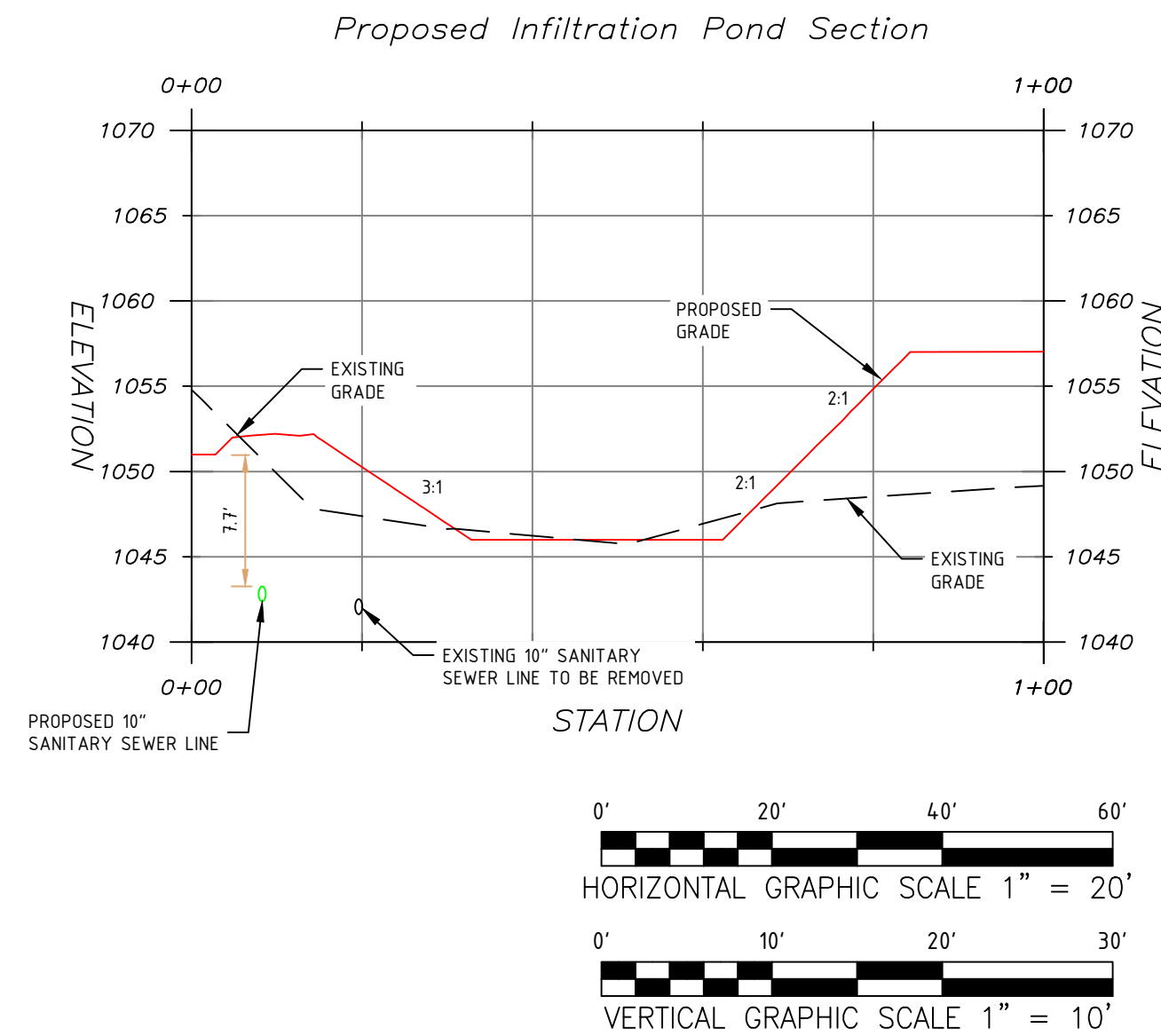
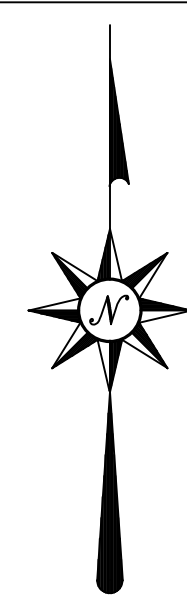
PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
PCSM PLAN

SHEET NO:
D7.0



INFILTRATION BASIN
SCALE: 1" = 20'
GRAPHIC SCALE 1" = 20'



CONSTRUCTION SEQUENCE

1. PROTECT INFILTRATION BASIN AREA FROM COMPACTION PRIOR TO INSTALLATION.
2. IF POSSIBLE, INSTALL INFILTRATION BASIN DURING LATER PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENT LADEN WATER FROM ENTERING INLETS AND PIPES.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
4. IF NECESSARY, EXCAVATE INFILTRATION BASIN BOTTOM TO AN UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE.
5. INSTALL OUTLET CONTROL STRUCTURES.
6. SEED AND STABILIZE TOPSOIL (VEGETATE IF APPROPRIATE WITH NATIVE PLANTINGS).
7. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

MAINTENANCE ISSUES

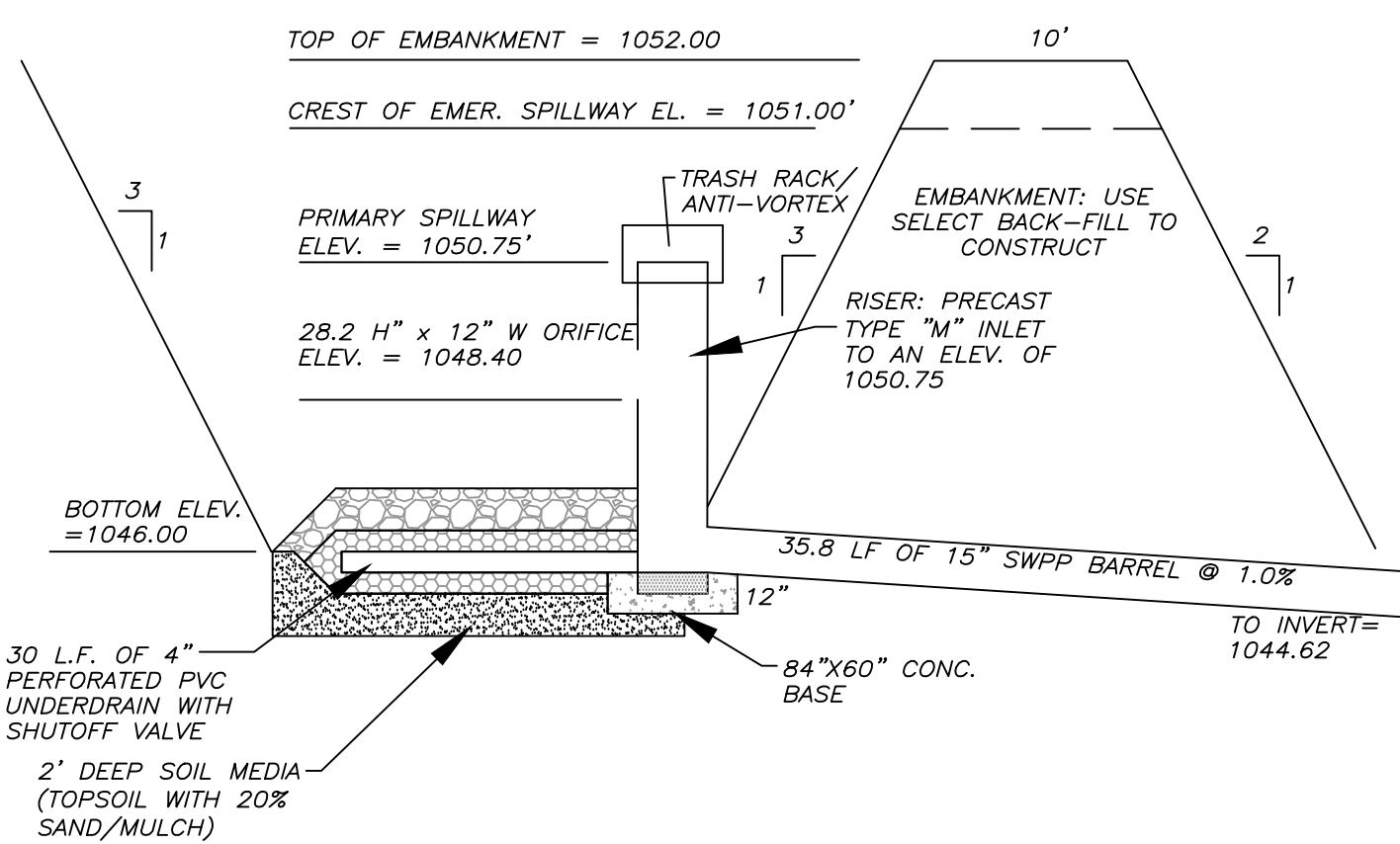
1. CATCH BASINS AND INLETS (UPGRADEMENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST FOUR TIMES PER YEAR AND AFTER RUNOFF EVENTS.
2. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
3. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 - 96 HOURS. MOSQUITOES SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 - 96 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
4. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS.
5. MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
6. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.

DEWATERING ISSUES

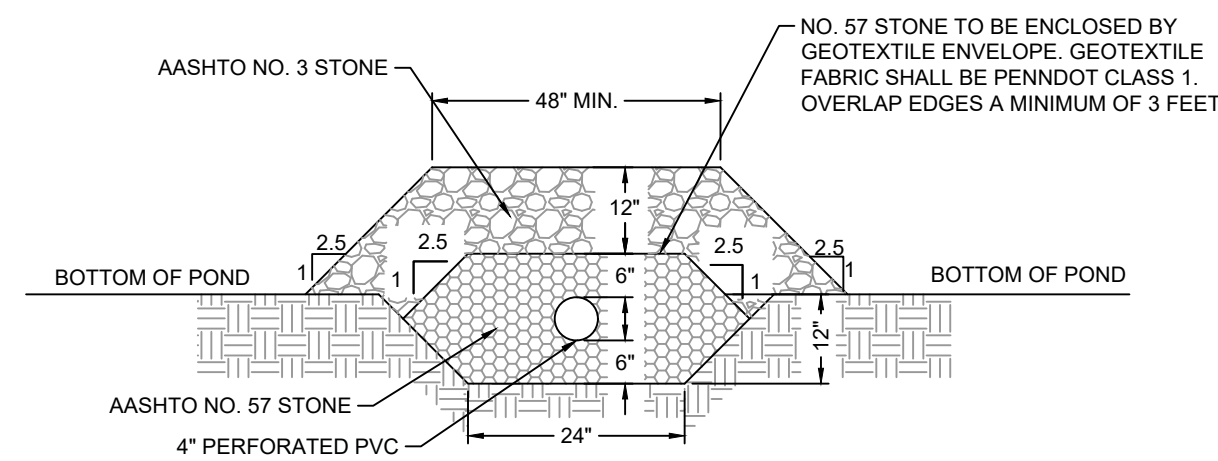
1. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 - 96 HOURS. MOSQUITOES SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 - 96 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
2. IF THE BASIN HAS NOT DRAINED DOWN COMPLETELY WITHIN THE 72 - 96 HOURS AFTER THE RUNOFF EVENT ENDS, THE VALVE ON THE UNDERDRAIN SHALL BE OPENED TO ALLOW FOR THE UNDERDRAIN TO RELEASE THE REMAINING VOLUME OF WATER IN THE BASIN.
3. ONCE THE BASIN HAS DRAINED, THE VALVE ON THE UNDERDRAIN SHALL BE CLOSED.
4. BASIN SHALL BE MONITORED DURING FUTURE RUNOFF EVENTS TO ENSURE DEWATERING ISSUES DO NOT CONTINUE.

NOTES:

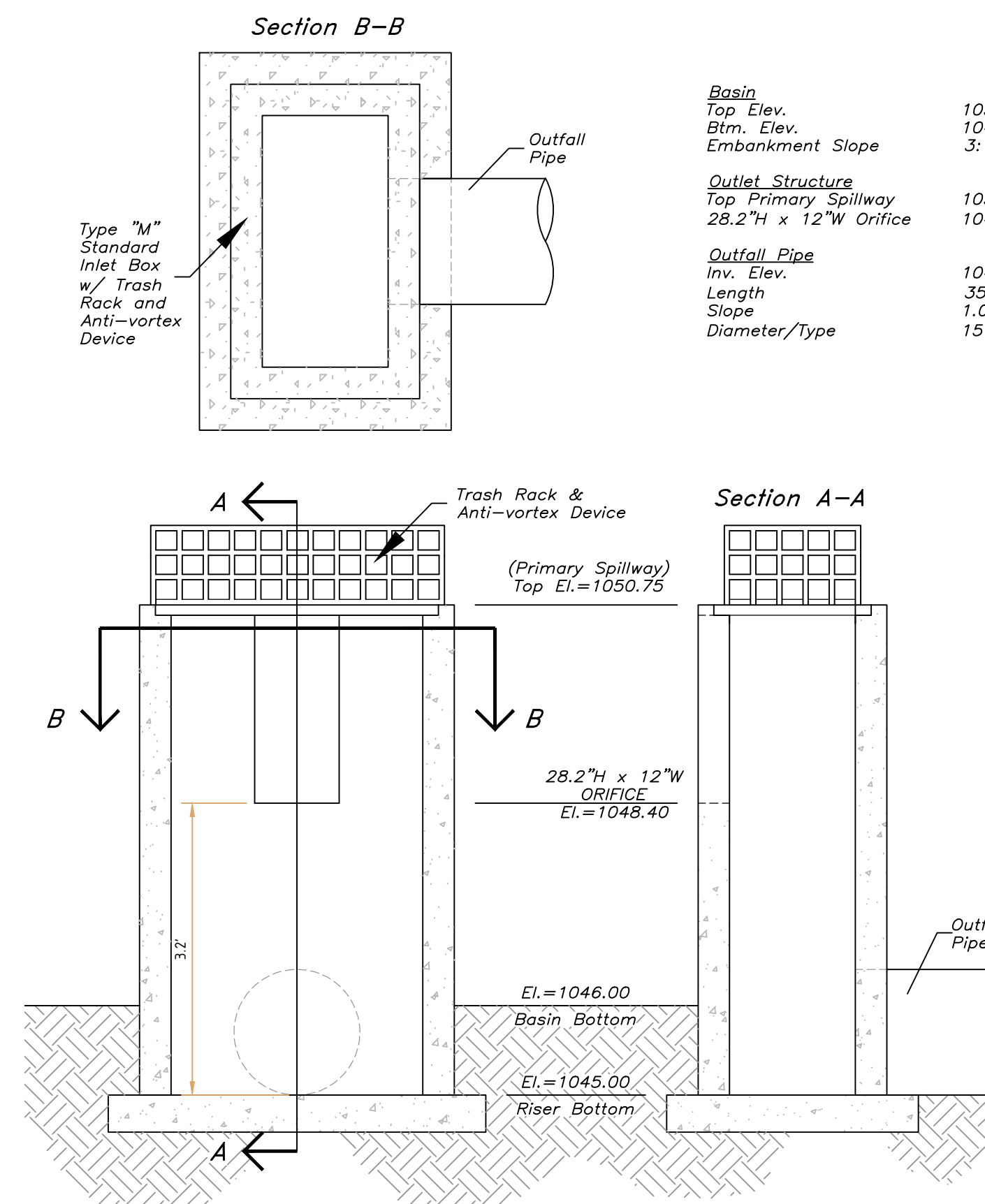
1. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).



TYPICAL POND SECTION
NOT TO SCALE



UNDERDRAIN DETAIL
NOT TO SCALE



OUTLET STRUCTURE
NOT TO SCALE

ERNEST 180 RAIN GARDEN MIX

Mix Composition

- 33.4% Schizachyrium scoparium, 'Itasca', MN Ecotype (Little Bluestem, 'Itasca', MN Ecotype)
- 20.0% Elymus virginicus, 'Madison' (Virginia Wildrye, 'Madison')
- 7.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype)
- 5.6% Chasmanthium latifolium, WV Ecotype (River Oats, WV Ecotype)
- 5.5% Echinacea purpurea (Purple Coneflower)
- 3.0% Chamaecrista fasciculata, PA Ecotype (Partridge Pea, PA Ecotype)
- 3.0% Coreopsis lanceolata (Lanceleaf Coreopsis)
- 3.0% Panicum clandestinum, Tioga (Deertongue, Tioga)
- 3.0% Panicum rigidulum, PA Ecotype (Redtop Panicgrass, PA Ecotype)
- 3.0% Rudbeckia hirta (Blackeyed Susan)
- 3.0% Verbena hastata, PA Ecotype (Blue Vervain, PA Ecotype)
- 2.0% Helopsis helianthoides, PA Ecotype (Oxeye Sunflower, PA Ecotype)
- 1.8% Asclepias incarnata, PA Ecotype (Swamp Milkweed, PA Ecotype)
- 1.0% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype)
- 1.0% Senna hebecarpa, VA & WV Ecotype (Wild Senna, VA & WV Ecotype)
- 0.7% Pycnanthemum tenuifolium (Narrowleaf Mountainmint)
- 0.5% Aster novae-angliae, PA Ecotype (New England Aster, PA Ecotype)
- 0.5% Aster prenanthoides, PA Ecotype (Zigzag Aster, PA Ecotype)
- 0.5% Baptisia australis, Southern WV Ecotype (Blue False Indigo, Southern WV Ecotype)
- 0.5% Zizia aurea (Golden Alexanders)
- 0.4% Monarda fluitans, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecotype)
- 0.3% Helianthus autumnalis, PA Ecotype (Common Sneezeweed, PA Ecotype)
- 0.3% Juncus tenuis, PA Ecotype (Path Rush, PA Ecotype)
- 0.2% Eupatorium perfoliatum, PA Ecotype (Boneset, PA Ecotype)
- 0.2% Juncus effusus (Soft Rush)
- 0.2% Oenothera fruticosa var. fruticosa (Sundrops)
- 0.2% Solidago nemoralis, PA Ecotype (Gray Goldenrod, PA Ecotype)
- 0.2% Solidago rugosa, PA Ecotype (Wrinkleleaf Goldenrod, PA Ecotype)

General Product Information:

The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Item Number: ERNMX-180
Height: 0.3 - 5.0 Feet
Seeding Rate: 20 lb per acre with a cover crop of grain eye at 30 lb per acre

Ernest Conservation Seeds, Inc. | 8884 Mercer Pike, Meadville PA 16335

NOTE:

THIS PLAN IS FOR POST CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE APPROPRIATE UTILITY PLAN FOR FINAL LOCATION AND DETAILS.

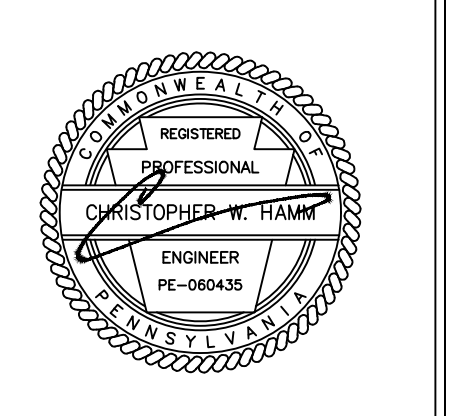
PROJECT ENGINEER:
KDH CONSULTING ENGINEERS, INC.
593 RUGH STREET, LOWER LEVEL
GREENSBURG, PA 15601
(724) 493-5041
CONTACT: CHRISTOPHER W. HAMM, P.E.

DEVELOPER:
BENJAMIN MARCUS HOMES, LLC
333 TECHNOLOGY DRIVE, SUITE 108
CANONSBURG, PA 15317
(412) 880-1025
CONTACT: MARK HOSKINS



I, CHRISTOPHER W. HAMM, P.E., HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN SUBSTANTIALLY MEETS ALL DESIGN STANDARDS AND CRITERIA OF PETERS TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

KDH CONSULTING ENGINEERS, INC.
593 RUGH STREET
GREENSBURG, PA 15601
P: 878-295-8914 F: 724-514-7047
www.kdhengineers.com



REV	DATE	DESCRIPTION
10	02/06/2023	ADDRESS PITS REVIEW COMMENTS
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11	3/17/2023	CONDO PLAN

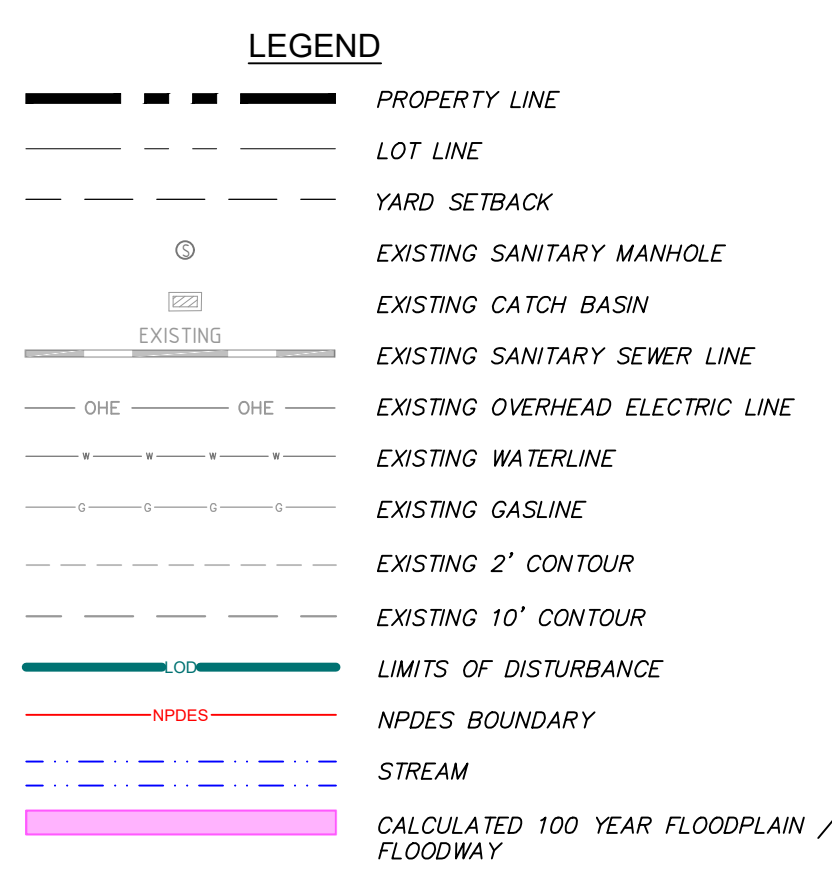
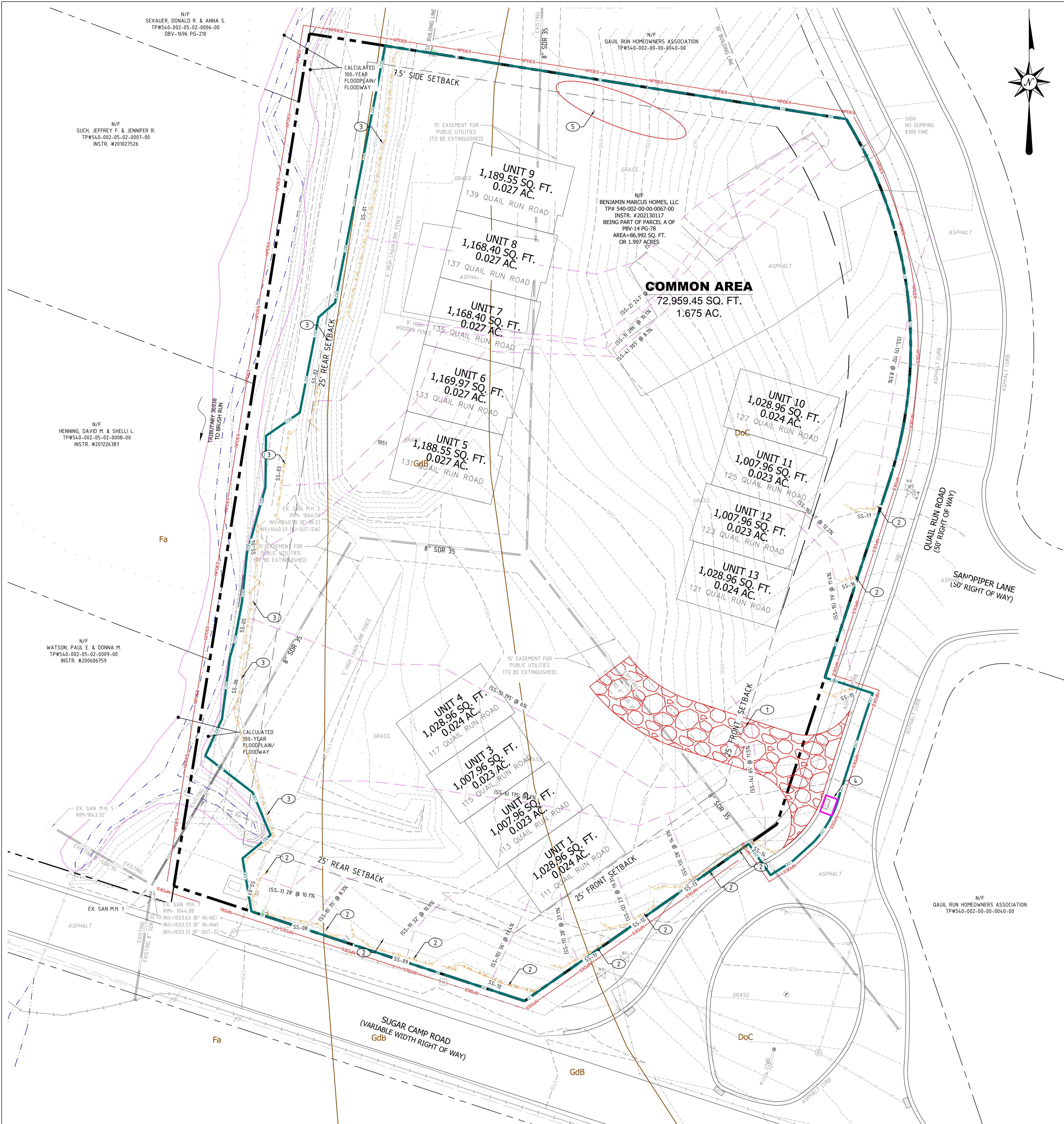
BENJAMIN MARCUS HOMES

CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
PCSM PLAN - INFILTRATION BASIN

SHEET NO.
D7.1



- EROSION AND SEDIMENT CONTROL NOTES:**
- ROCK CONSTRUCTION ENTRANCE
 - 18" SILT SOCK
 - 32" SILT SOCK
 - INLET PROTECTION
 - TOPSOIL STOCK PILE (CAN BE RELOCATED BY CONTRACTOR, ENGINEER TO BE NOTIFIED)

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED. ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.

NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.

- NOTES:**
- GROSS AREA OF THE SITE IS 1.997 ACRES.
 - THE TAX ID FOR THE DEVELOPED PARCEL IS 540-002-00-00-0067-00.
 - THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL DISTRICT.
 - THE EXISTING LAND USE: UNDEVELOPED CURRENTLY VACANT.
 - BASE TOPOGRAPHIC SURVEY INFORMATION IS BASE ON FIELD DATA.
 - NO WETLANDS EXIST ON THE PROPERTY.
 - GROSS OPEN SPACE: 0.375 ACRES.
 - OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

UTILITY NOTES:

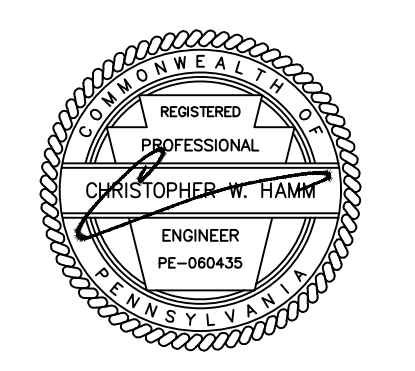
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

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CONTACT: CHRISTOPHER W. HAMM, P.E.

DEVELOPER:
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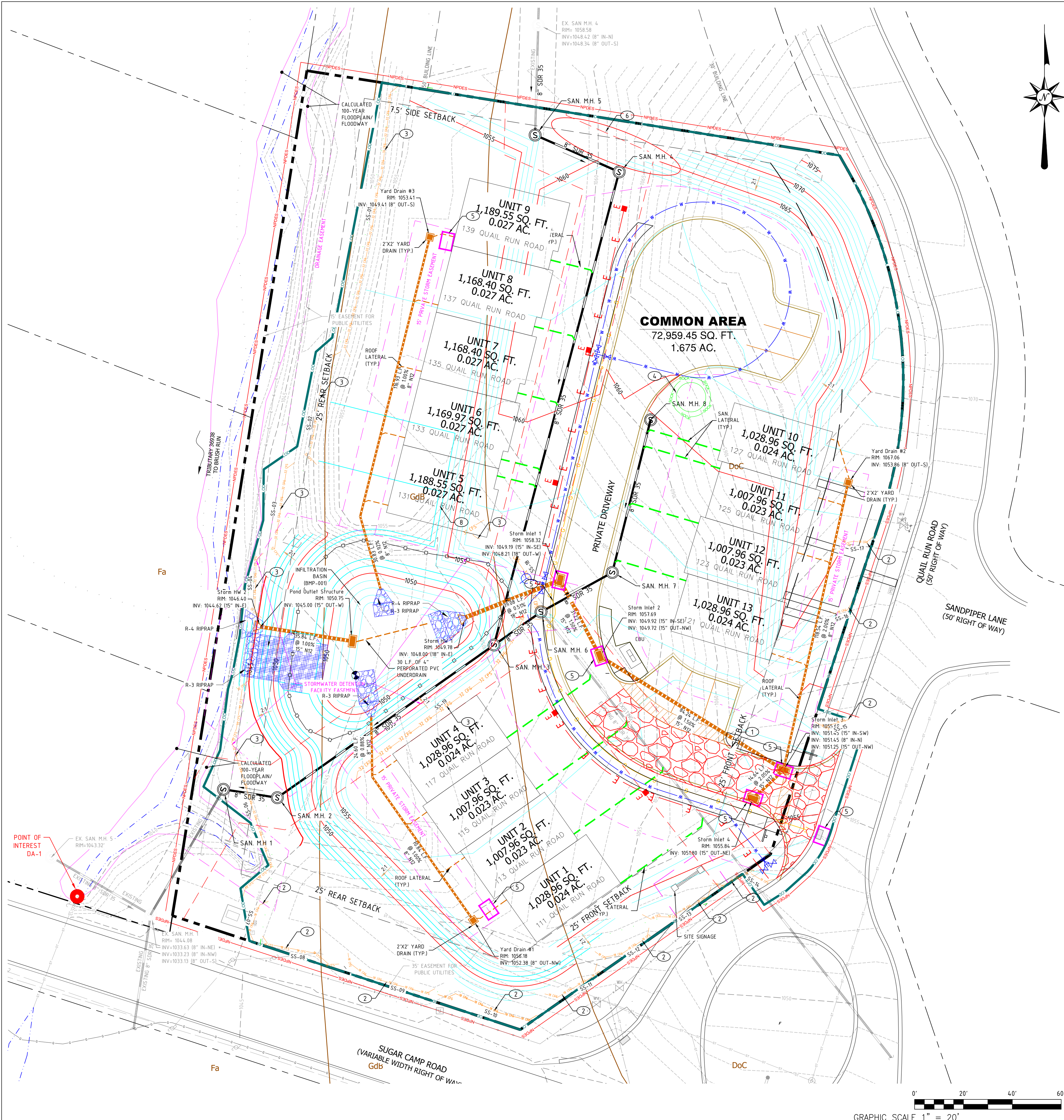


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11	3/17/2023	CONDO PLAN



CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
E&S PLAN - PHASE I
SHEET NO:
D8.0



LEGEND

---	PROPERTY LINE
---	LOT LINE
---	YARD SETBACK
○	EXISTING SANITARY MANHOLE
□	EXISTING CATCH BASIN
---	EXISTING SANITARY SEWER LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATERLINE
---	EXISTING GASLINE
---	EXISTING 2' CONTOUR
---	EXISTING 10' CONTOUR
---	PROPOSED 2' CONTOUR
---	PROPOSED 10' CONTOUR
□	PROPOSED CATCH BASIN
○	PROPOSED SANITARY MANHOLE
---	PROPOSED ELECTRIC SERVICE LINE
---	PROPOSED ELECTRIC PEDESTAL
---	PROPOSED WATERLINE
---	PROPOSED GASLINE
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY LINE
---	ACCESS AND UTILITY EASEMENT
---	SANITARY SEWER EASEMENT
---	ASPHALT CURB
---	LIMITS OF DISTURBANCE
---	NPDES BOUNDARY
---	STREAM
---	CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

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 - 2 18" SILT SOCK
 - 3 32" SILT SOCK
 - 4 CONCRETE WASHOUT (CAN BE RELOCATED BY CONTRACTOR, ENGINEER TO BE NOTIFIED)
 - 5 INLET PROTECTION
 - 6 TOPSOIL STOCK PILE

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 2. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 3. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
 4. ROCK APRONS SHALL BE INSTALLED WITH 0% SLOPE.
 5. STORMWATER BASIN ARE NOT TO BE USED AS SEDIMENT BASINS DURING CONSTRUCTION.

UTILITY NOTES:
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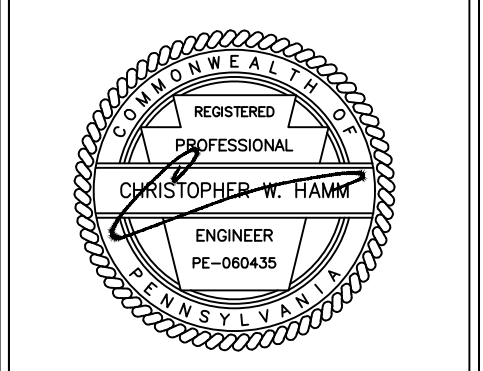
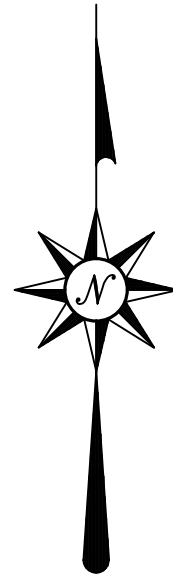
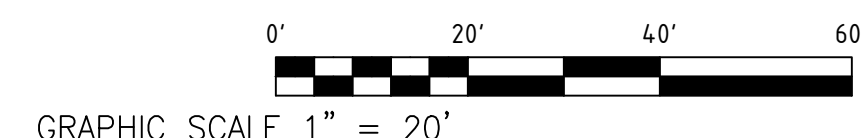
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 81,965.35 SQ. FT.
 NPDES PERMIT BOUNDARY: 2.0 ACRES
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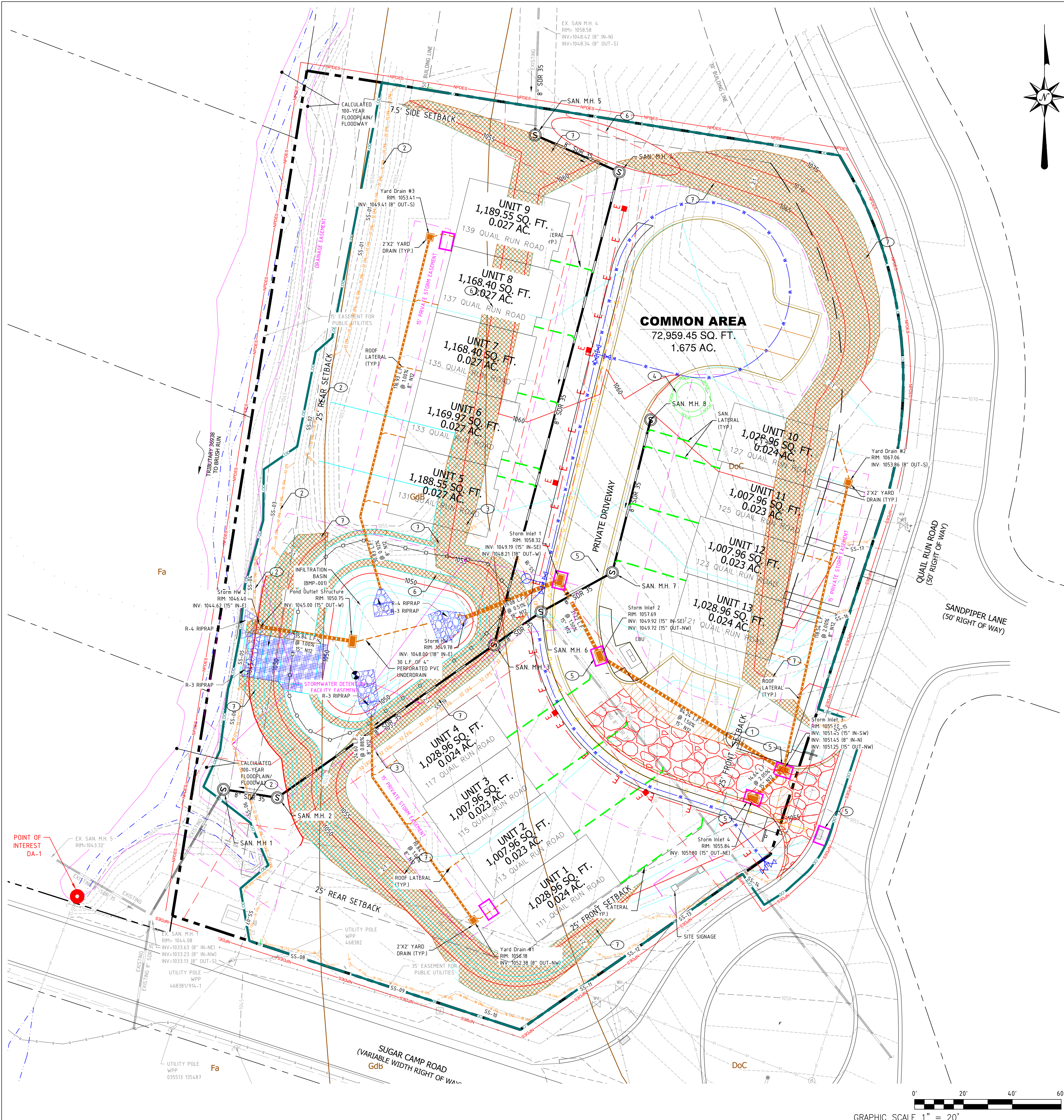


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1	03/17/2023	CONDO PLAN



CAMDEN VILLAGE
 PETERS TOWNSHIP, PA
 WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
DATE: 9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH
SHEET TITLE:
E&S PLAN - PHASE II
SHEET NO:
D8.1



LEGEND

	PROPERTY LINE
	LOT LINE
	YARD SETBACK
	EXISTING SANITARY MANHOLE
	EXISTING CATCH BASIN
	EXISTING SANITARY SEWER LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING WATERLINE
	EXISTING GASLINE
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	EXISTING 10' CONTOUR
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	SANITARY SEWER EASEMENT
	ASPHALT CURB
	LIMITS OF DISTURBANCE
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	STREAM
	CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

EROSION AND SEDIMENT CONTROL NOTES:

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- 3 32" SILT SOCK
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(CAN BE RELOCATED BY CONTRACTOR, ENGINEER TO BE NOTIFIED)
- 5 INLET PROTECTION
- 6 TOPSOIL STOCK PILE
(CAN BE RELOCATED BY CONTRACTOR, ENGINEER TO BE NOTIFIED)
- 7 EROSION CONTROL BLANKET

NOTES:

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FLOODPLAIN

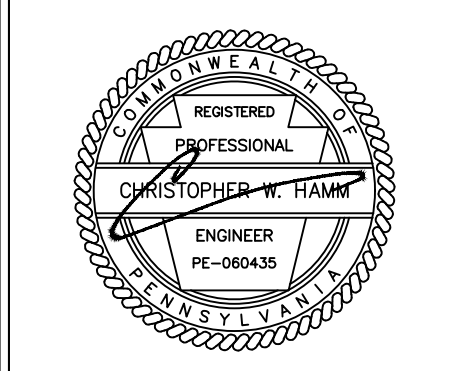
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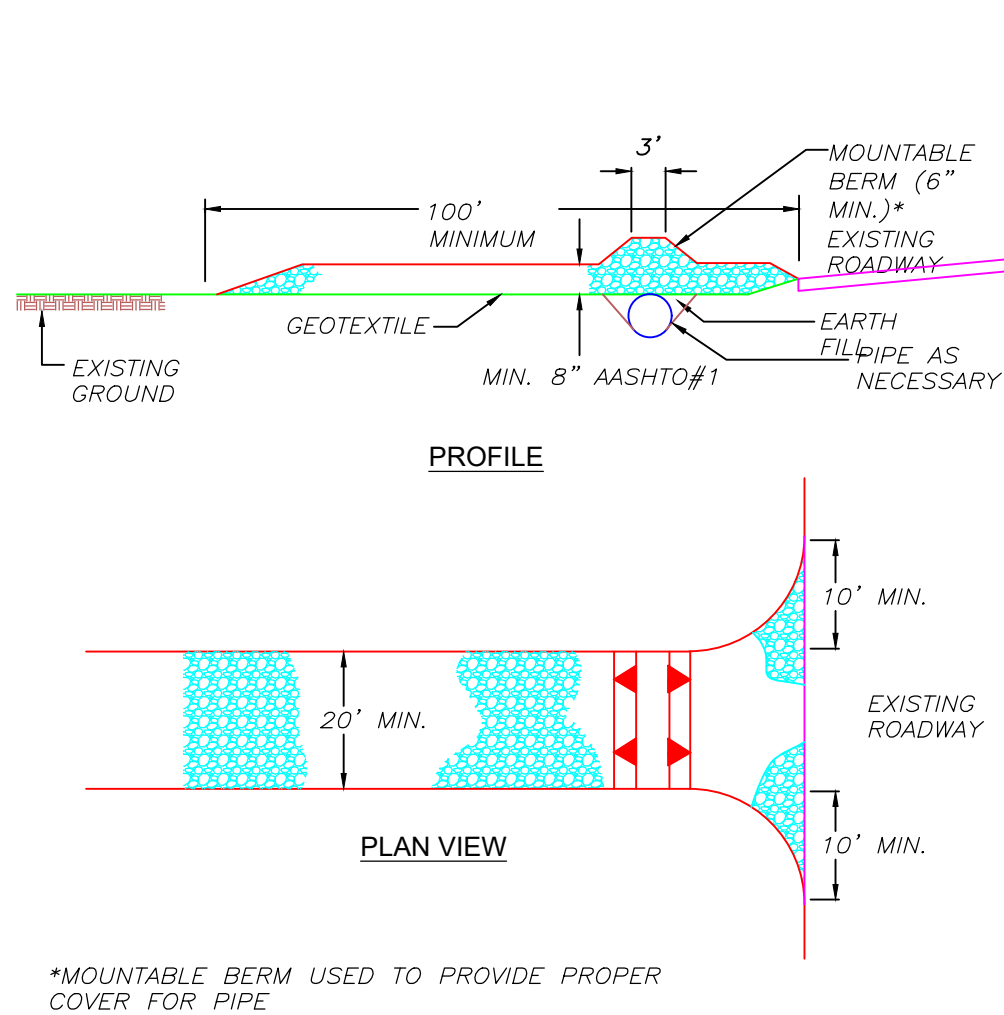


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REV		



CAMDEN VILLAGE
PETERS TOWNSHIP, PA
WASHINGTON COUNTY, PA

PROJ NO: 291-003-21
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E&S PLAN - PHASE III
SHEET NO:
D8.2



REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH ROCK WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ALTERNATIVE METHOD LANGUAGE

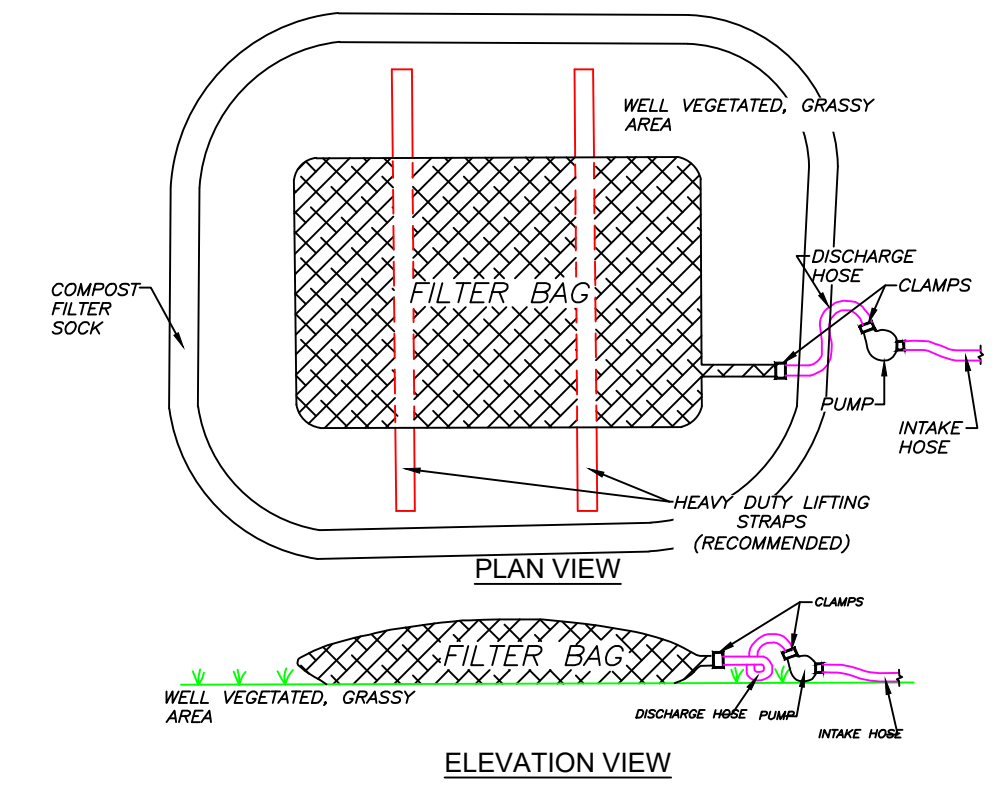
REASONABLE METHODS WHICH ARE SANCTIONED BY THE PADEP AS ALTERNATIVES TO INSTALLATION OF TIRE WASH STATIONS ON PUBLIC ROAD ACCESS POINTS FOR PROJECTS IN EV/HQ WATERSHEDS INCLUDE:

- FOR PAVED SURFACE PUBLIC ROADS: USE OF A VACUUM TRUCK SWEEPER OR SWEEPER WITH A CATCH BIN ATTACHMENT.
- FOR DIRT OR GRAVEL SURFACE PUBLIC ROADS: RIGOROUS MANUAL REMOVAL OF MUD/DIRT FROM VEHICLE/EQUIPMENT TIRES PRIOR TO EXITING CONSTRUCTION SITE, SUPPLEMENTED BY IMMEDIATE RECOVERY, BY MANUAL OR MECHANICAL MEANS, OF SOIL WHICH MAY BECOME DISCHARGED ONTO PUBLIC ROADWAYS. DUST CONTROL AND/OR COMPACTION VIA ROLLING OF THE DIRT PUBLIC ROAD SURFACE WILL BE IMPLEMENTED AS NEEDED.

A PREDICATE FOR UTILIZING ALTERNATIVE 1 AND 2 ABOVE IS THAT THE ROCK PAD CONSTRUCTION ENTRANCE MUST BE EXTENDED TO A MINIMUM TOTAL LENGTH OF 100 FEET AND MUST BE CONSTANTLY MAINTAINED INCLUDING STRUCTURE THICKNESS TO INSURE ITS EFFECTIVENESS REMAINS INTACT AT ALL TIMES.

FREQUENCY OF MECHANICAL AND/OR MANUAL CONTROLS WILL BE DEPENDENT UPON CONSTRUCTION TRAFFIC INTENSITY, WEATHER AND SOIL MOISTURE CONDITIONS. THE CONSTRUCTION ENTRANCE SHALL HAVE CONTINUAL MAINTENANCE AND IMMEDIATE REMOVAL OF SEDIMENT TRACKED ONTO THE ROADWAY. THE VACUUM TRUCK SWEEPER OR SWEEPER WITH A CATCH BIN ATTACHMENT SHALL CLEAN THE ROADWAY. THE REQUIREMENT IS TO NOT INTRODUCE SEDIMENT LOAD FROM CONSTRUCTION TRAFFIC ONTO PUBLIC ROAD SURFACES AND INTO ROAD DITCHES WHICH WILL FLOW INTO THE EV/HQ WATER RESOURCES WHICH ARE THE SUBJECT OF THE INCREASED PROTECTION MEASURES.

3-1 ROCK CONSTRUCTION ENTRANCE (HQ)



LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 100 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

Property	Test Method	Minimum Standard
Avg. Wide Width Strength	ASTM D-4884	60 lb/in
Grab Tensile	ASTM D-4632	205 lb
Puncture	ASTM D-4833	110 lb
Mullen Burst	ASTM D-3786	350 psi
UV Resistance	ASTM D-4355	70%
AOS% Retained	ASTM D-4751	80 Sieve

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS WHERE THIS IS NOT POSSIBLE. A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

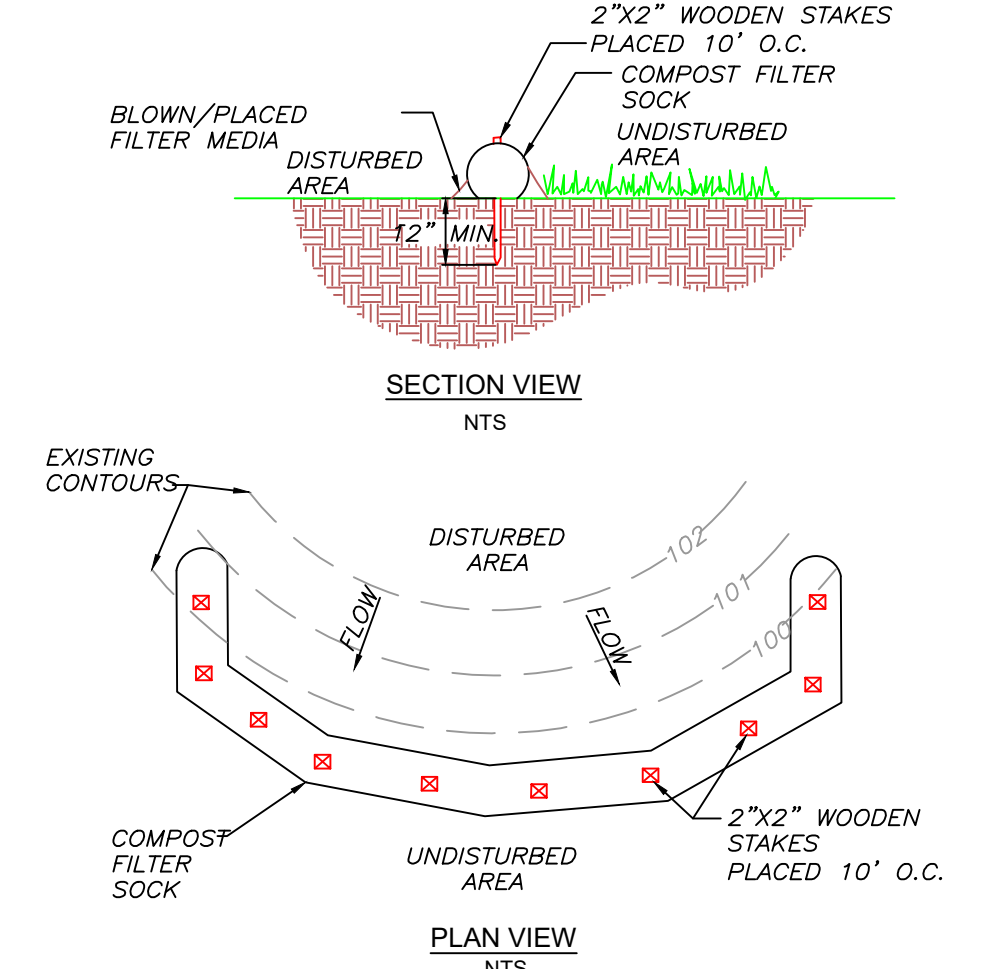
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

3-16 PUMPED WATER FILTER BAG (N.T.S.)



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED MAXIMUM PERMISSIBLE SLOPE LENGTH ABOVE COMPOST FILTER SOCKS. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. REPLACED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED, IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

4-1 COMPOST FILTER SOCK (N.T.S.)

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Polypropylene (MFPF)	Heavy Duty Multi-Filament Polypropylene (HDMFPF)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12"	18"	18"	12"	18"
	18"	24"	24"	24"	24"
		32"	32"	32"	32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

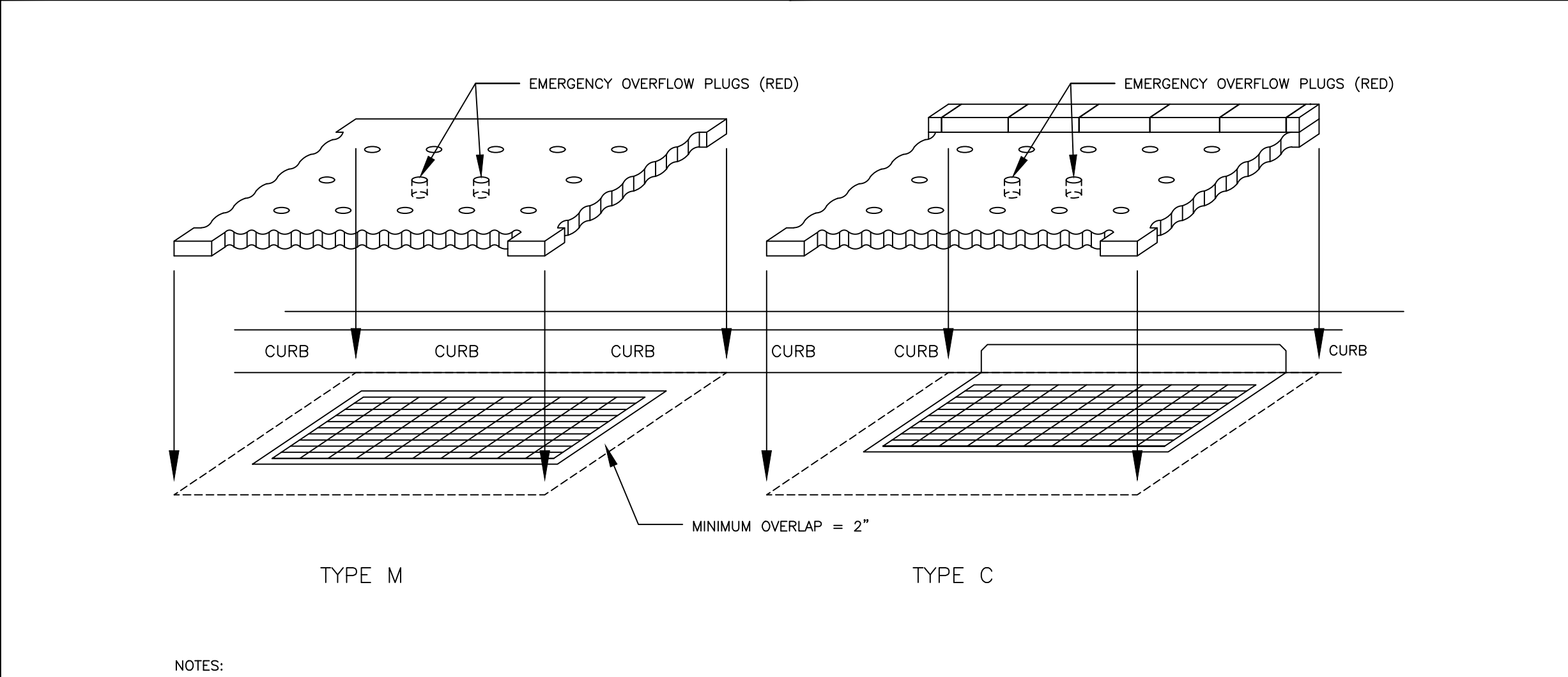
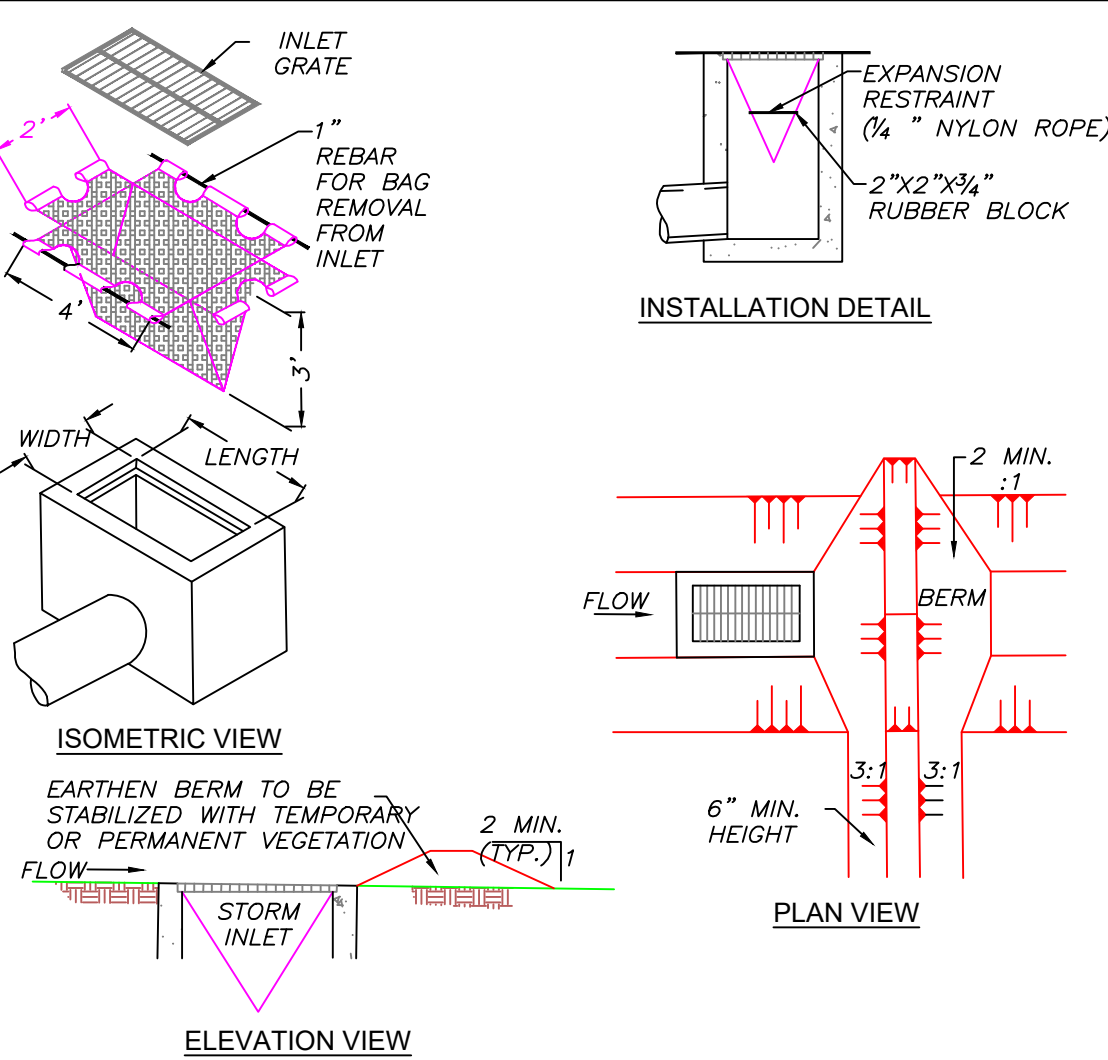
Two-ply systems

Inner Containment Netting	Outer Filtration Mesh
HDPE biaxial net	
Continuously wound	
Fusion-welded junctures	
3/4" X 3/4" Max. aperture size	
Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)	
	3/16" Max. aperture size

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

TABLE 4.2
Compost Standards

Organic Matter Content	80% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.0
Moisture Content	35% - 55%
Particle Size	98% pass through 1" screen
Soluble Salt Concentration	5.0 ds/m (mmhos/cm) Maximum



NOTES:

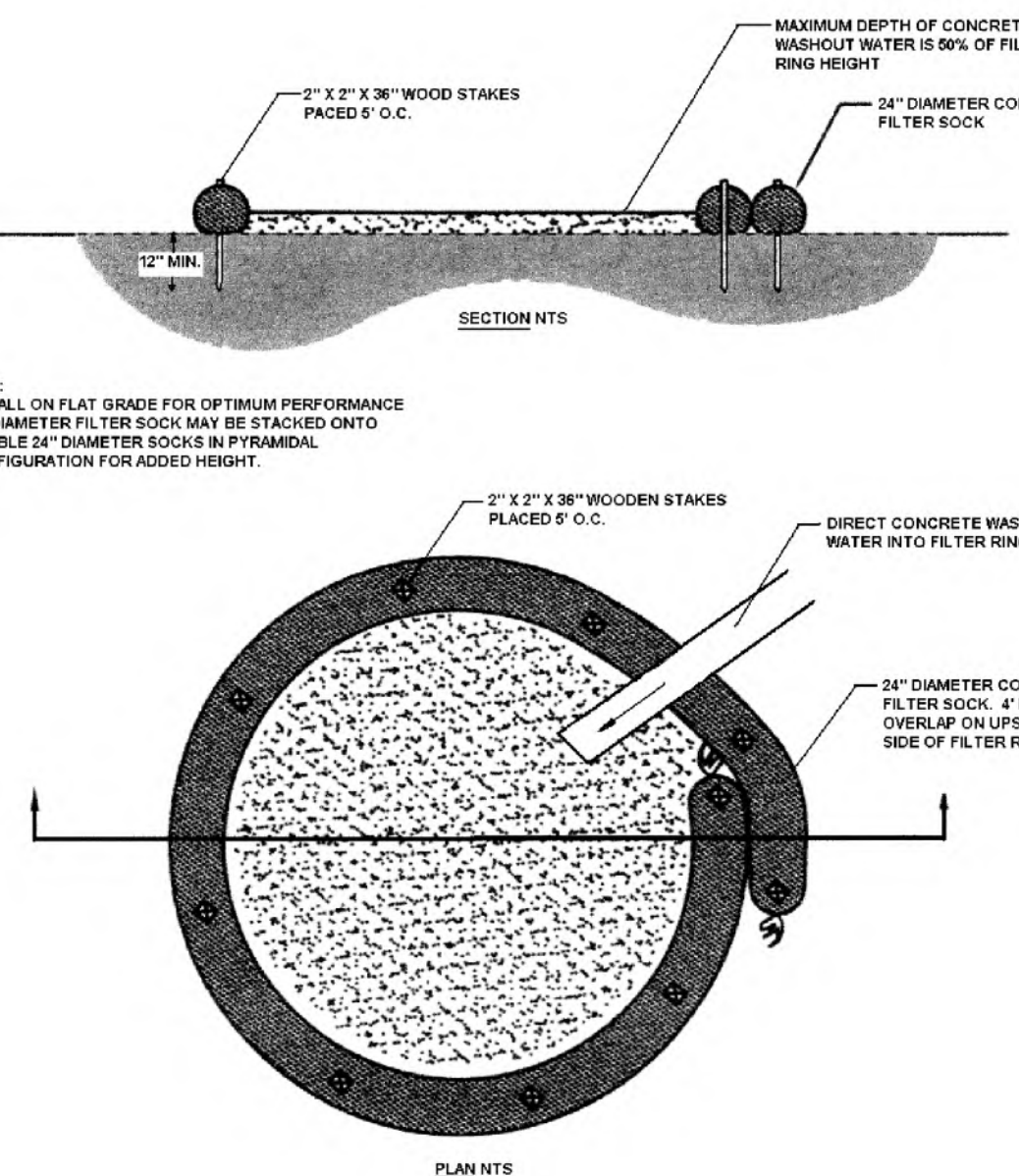
-PRIOR TO INSTALLATION, INLET GRATE SURFACE AND SURROUNDING AREA SHALL BE CLEANED AND CLEARED OF DEBRIS. INLET FILTER MAT SHALL BE INSTALLED WITH A MINIMUM 2" OVERLAP FROM EDGE OF GRATE TO EDGE OF MAT WITH STRAIGHT EDGE FLUSH TO CURB FACE. ADJUST MAT BY HAND UNTIL PLACEMENT ALLOWS FOR OPTIMAL MAGNETIC ADHESION TO SURFACE.

-PREINSTALLED RED EMERGENCY OVERFLOW PLUGS CAN BE REMOVED IN THE EVENT OF FLOODING TO ALLOW FOR RAPID DOWATERING. AFTER DOWATERING, THE INLET FILTER MAT SHALL BE LIFTED AND THOROUGHLY CLEANED OR REPLACED AND THE EMERGENCY OVERFLOW PLUGS SHALL BE REINSTALLED. IF GRATE IS AT LOWEST POINT OF STREET, REMOVAL OF ONE PLUG WILL ALLOW FOR EXPECTED DOWATERING AT ALL TIMES.

-INLET FILTER MATS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. AS NEEDED, INLET FILTER MATS SHALL BE LIFTED AND RINSED OR REPLACED. WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET OR THE INLET FILTER MAT BECOMES COMPRESSED DUE TO HEAVY TRAFFIC, REPLACEMENT IS REQUIRED.

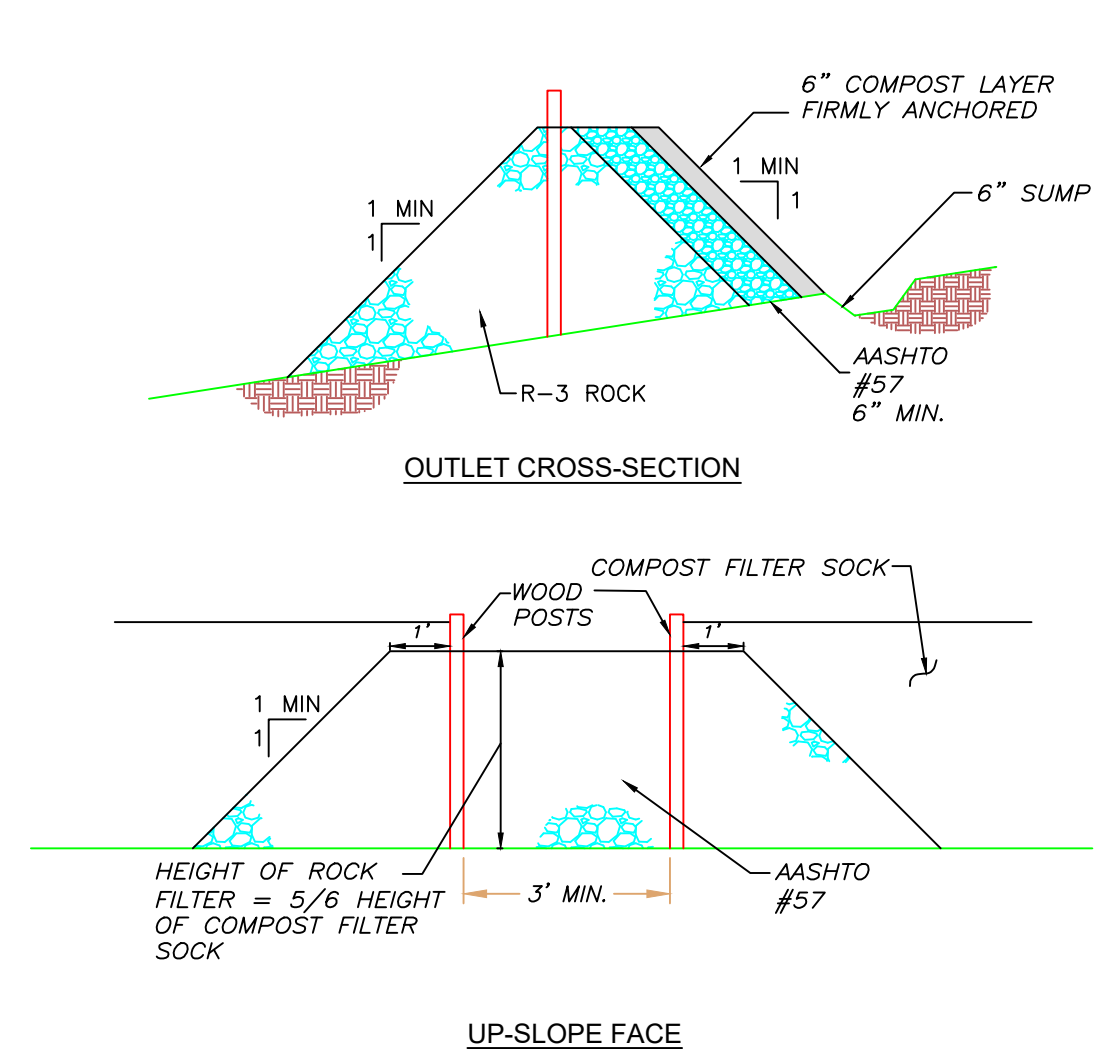
-A SUPPLY OF SPARE INLET FILTER MATS SHALL BE MAINTAINED ON SITE. ALL NECESSARY REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED MATS ACCORDING TO THE PLAN NOTES.

BLACKHAWK INLET FILTER SYSTEM (N.T.S.)



A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

TYPICAL COMPOST SOCK WASHOUT INSTALLATION (N.T.S.)



A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A COMPOST FILTER SOCK HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

ROCK FILTER OUTLET (N.T.S.)

PROJECT ENGINEER:
KDH CONSULTING ENGINEERS, INC.
593 RUGH STREET, LOWER LEVEL
GREENSBURG, PA 15601
(724) 493-5041
CONTACT: CHRISTOPHER W. HAMM, P.E.

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

DEVELOPER:
BENJAMIN MARCUS HOMES, LLC
333 TECHNOLOGY DRIVE, SUITE 108
CANONSBURG, PA 15317
(412) 880-1025
CONTACT: MARK HOSKINS

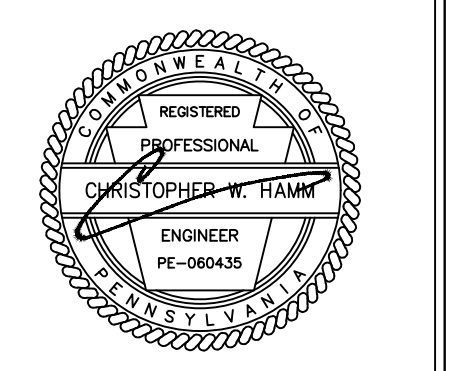
FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES
81,965.35 SQ. FT.

NPDES PERMIT BOUNDARY: 2.0 ACRES
87,120.00 SQ. FT.



REVISIONS:

NO.	DATE	DESCRIPTION
10	02/06/2023	ADDRESS P.T.S.A REVIEW COMMENTS
9	01/18/2023	ADDRESS TOWNSHIP ENG. COMMENTS
8	12/09/2022	ADDRESS WCDC COMMENTS
7	10/04/2022	ADDRESS WCDC COMMENTS
6	09/19/2022	ADDRESS TOWNSHIP COMMENTS
5	08/12/2022	ADDRESS WCDC COMMENTS
4	08/12/2022	ADDRESS TOWNSHIP COMMENTS
3	7/29/2022	ADDRESS TOWNSHIP COMMENTS
2	5/17/2022	ADDRESS TOWNSHIP COMMENTS
1	3/17/2023	CONDO PLAN



CAMDEN VILLAGE
PETERS TOWNSHIP,
WASHINGTON COUNTY, PA

PROJ NO:291-003-21
DATE:9/27/2022
DRAWN BY: RAM
CHECKED BY: CWH

SHEET TITLE:
E&S DETAILS
SHEET NO.
D8.4

