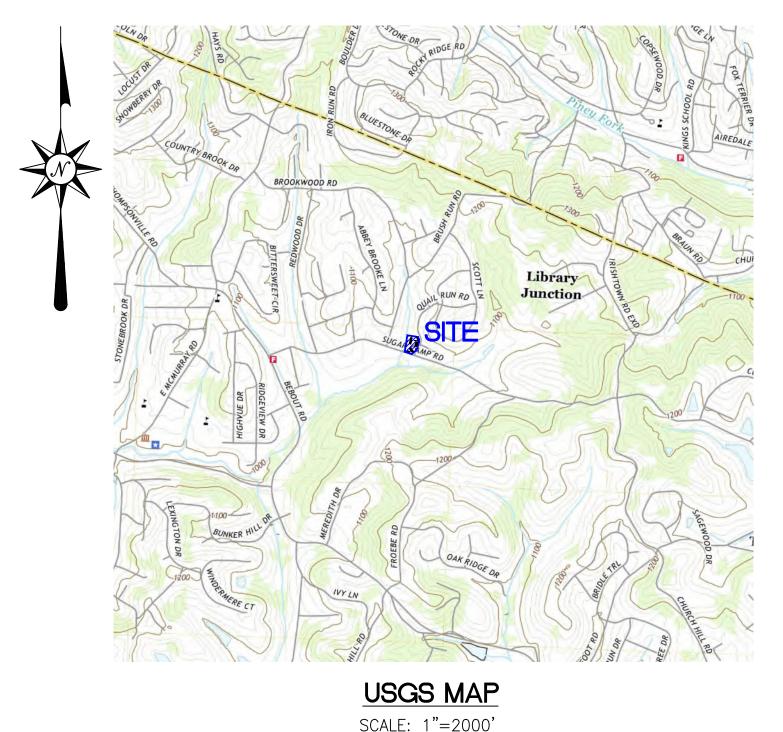
# SUGAR CAMP ROAD PENNSYLVANIA

# CAMDEN VILLAGE PETERS TOWNSHIP, WASHINGTON COUNTY



VICINITY MAP SCALE: 1"=500'



S. \ PRO IFOTS \ 201\_003\_21\_0AMOFN VILLACE \ DRAWINICS \ 201\_003\_21\_RASE\_230317 DWC

NOTE:

- CAMDEN VILLAGE HOA.
- TIME OF BUILDING PERMIT ISSUANCE.
- "STATE HIGHWAY LAW."

PREPARED FOR: BENJAMIN MARCUS HOMES, LLC

SHEET NO.	TITLE
D0.0	COVER SHEET
1	Condo plan
1	BOUNDARY & TOPOGRAPHY SURVEY
DO. 1	GENERAL NOTES AND LEGENDS
D1.0	EXISTING CONDITIONS PLAN
D1.1	SLOPE MAP
D1.2	DEMOLITION PLAN
D2.0	SITE LAYOUT PLAN
D2.1	SITE PLAN
D2.2	LANDSCAPE PLAN
D3.0	OVERALL SITE GRADING
D3.1	ROAD PROFILES
D3.2	SECTIONS
D4.0	STANDARD CONSTRUCTION DETAILS
D5.0	STORM SEWER PLAN & PROFILES
D6.0	UTILITY PLAN
D6.1	SANITARY SEWER PROFILES
D6.2	SANITARY SEWER DETAILS
D6.3	STANDARD TOWNSHIP DETAILS
D6.4	STANDARD TOWNSHIP DETAILS
D7.0	PCSM PLAN
D7.1	PCSM PLAN — INFILTRATION BASIN
D8.0	E&S PLAN – PHASE I
D8.1	E&S PLAN – PHASE II
D8.2	E&S PLAN – PHASE III
D8.3	E&S NOTES
D8.4	E&S DETAILS
D8.5	E&S DETAILS & NOTES
D8.6	E&S DETAILS & NOTES

THE OPEN SPACE SHALL BE DEDICATED TO THE CAMDEN VILLAGE HOA. POND 1-INFILTRATION BASIN SHALL BE OWNED AND MAINTAINED BY THE THE STORM SEWERS ARE TO REMAIN PRIVATE. 4. A \$1,525 TRAFFIC IMPACT FEE SHALL BE DUE FOR EACH UNIT AT THE DRIVEWAY ACCESS TO THE STATE HIGHWAY SHALL BE ONLY AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AS REQUIRED PURSUANT TO §420 OF THE ACT OF JUNE 1, 1948 (P.L. 1242, NO. 428), KNOWN AS THE

3 RUGH STREET, LOWER LEVEL NSBURG. PA 1560

DEVELOPER: BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 CANONSBURG, PA 15317 (412) 880-1025 CONTACT: MARK HOSKINS

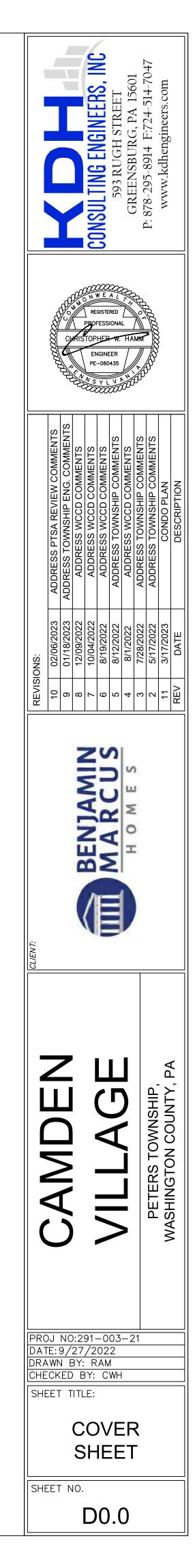
SURVEYOR: KEYSTONE SURVEYING & MAPPING, INC. 534 VALLEY BROOK ROAD VENETIA, PA 15367 CONTACT: KEITH HIGGINS (724) 514-7047

GAS SERVICE: PEOPLES NATURAL GAS COMPANY, LLC 375 NORTH SHORE DRIVE PITTSBURGH, PA 15212 (800) 764–0111

ELECTRIC SERVICE: WEST PENN POWER 105 COMMERCE BOULEVARD LAWRENCE, PA 15055 (724) 743–2028

WATER SERVICE: PENNSYLVANIA AMERICAN WATER COMPANY 300 GALLEY ROAD McMURRAY, PA 15317 (724) 746–6400

SANITARY SEWER SERVICE: PETERS TOWNSHIP SANITARY AUTHORITY 111 BELL DRIVE McMURRAY, PA 15317 (724) 941–6709

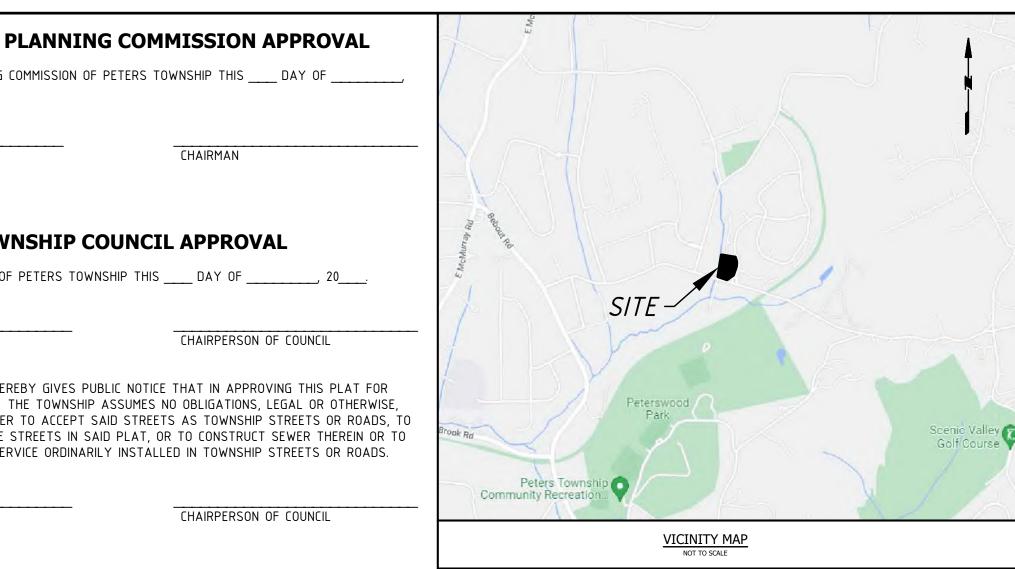


TP#540-	350.22, 1.210 S80.22, S80.2	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	SEWER ESMI. SEWENT SEMENT SEMENT SEWENT S	
	INJUSTICE ASEM TO BE MAINTAINED B TO BE MAINTAINED B TO BE MAINTAINED B TO BE MAINTAINED B TO BE MAINTAINED B	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c c} & & & \\ & & & & \\ & & & & \\ & & & \\ & & & & & \\ & & & & \\ & & & & & & \\ & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & & & & & & \\ & &$	15: PRIVATE STORM EASEMENT 02.28 08:37 S18:008' 34 "W S12:02:47 S10:12 S1
NJ0° 08' 36"E 10.87' N/F WATSON, PAUL E. & DONNA M. TP#540-002-05-02-0009-00 INSTR. #200606759	581° 11' 15"E 581° 11' 15"E 15° E 15° E	$\frac{1}{28} \frac{1}{11} \frac$	Strest 26"E 43,79 N770 51' 26"E 51' 26"E 49,66' N770 51' 26"E 51' 26' 51' 51' 26' 51' 26' 51' 51' 51' 51' 51' 51' 51' 51' 51' 51	Old The second s
LINE TABLE           LINE #         DIRECTION           L1         N35° 09' 54"W         24.50'           L2         N54° 50' 06"E         42.00'	SUGAR CAMP ROAD - S. (VARIABLE WIDTH RIGHT O L24 S76° 00' 48"E 42.30'	N71° 51' 26"W 125.00' R. 1004 F WAY)		
L3         S35° 09' 54"E         24.50'           L4         S54° 50' 06"W         42.00'           L5         N35° 09' 54"W         24.00'           L6         N54° 50' 06"E         42.00'           L7         S35° 09' 54"E         24.00'           L8         S54° 50' 06"E         42.00'           L9         N35° 09' 54"W         24.00'           L10         N54° 50' 06"E         42.00'           L11         S35° 09' 54"W         24.00'           L12         S54° 50' 06"E         42.00'           L13         N35° 09' 54"W         24.00'           L14         N54° 50' 06"E         42.00'	L25       S13° 59' 12"W       20.50'         L26       N76° 00' 48"W       2.00'         L27       S13° 59' 12"W       7.50'         L28       N76° 00' 48"W       40.30'         L29       N13° 59' 12"E       28.00'         L30       S76° 00' 48"E       42.30'         L31       S13° 59' 12"W       20.00'         L32       N76° 00' 48"W       20.00'         L33       S13° 59' 12"W       8.00'         L34       N76° 00' 48"W       40.30'         L35       N13° 59' 12"E       28.00'         L36       S76° 00' 48"W       40.30'	L46       S73° 26' 23"E       42.00'         L47       S16° 33' 37"W       24.50'         L48       N73° 26' 23"W       42.00'         L49       N16° 33' 37"E       24.50'         L50       S73° 26' 23"E       42.00'         L51       S16° 33' 37"W       24.00'         L52       N73° 26' 23"W       42.00'         L53       N16° 33' 37"E       24.00'	LOT AND AREA REQU "MD" MEDIUM DENSITY RES	
L15         S35° 09' 54"E         24.50'           L16         S54° 50' 06"W         42.00'           L17         N13° 59' 12"E         28.50'           L18         N76° 00' 48"W         40.30'           L19         S13° 59' 12"W         8.50'           L20         S76° 00' 48"E         2.00'           L21         S13° 59' 12"W         8.50'           L21         S13° 59' 12"W         20.00'           L22         N76° 00' 48"W         42.30'           L23         N13° 59' 12"E         28.00'	L37       S13° 59' 12"W       20.00'         L38       N76° 00' 48"W       2.00'         L39       S13° 59' 12"W       8.00'         L40       N13° 59' 12"E       28.50'         L41       S76° 00' 48"E       42.30'         L42       S13° 59' 12"W       20.50'         L43       N76° 00' 48"W       2.00'         L44       S13° 59' 12"W       8.00'         L45       N76° 00' 48"W       40.30'	L54       S73° 26' 23"E       42.00'         L55       S16° 33' 37"W       24.00'         L56       N73° 26' 23"W       42.00'         L57       N16° 33' 37"E       24.00'         L58       S73° 26' 23"E       42.00'         L59       S16° 33' 37"W       24.50'         L60       N73° 26' 23"W       42.00'         L61       N16° 33' 37"E       24.50'         L62       S76° 00' 48"E       40.30'	<ol> <li>MAXIMUM GROSS DWELLING UNITS PER ACRE OR LOT:</li> <li>MINIMUM PRINCIPAL BUILDING SETBACH</li> <li>MINIMUM ACCESSORY BUILDING SETBA</li> <li>MAXIMUM BUILDING HEIGHT:</li> <li>MAXIMUM LOT COVERAGE:</li> </ol>	7 GROSS (S: FRONT – 25 FEET SIDE – 7.5 FEET REAR – 25 FEET

K: \2023\CAMDEN VILLAGE TOWNHOUSE DEVELOPMENT\CADD\SUBDIVISION\CAMDEN VILLAGE CONDO PLAN NO 1.DWG

	ADOPTION	TOWNSHIP PLANNING C	OMMISSION APPROVAL	ш.	
BENJAMIN MARCOS HOMES, LLCCOMMONWEALTH OF PETP# 540-002-00-0067-00DOES HEREBY ADOPT TINSTR. #202130117DOES HEREBY ADOPT TBEING PART OF PARCEL A OFCOUNTY OF WASHINGTOPBV-14 PG-78SHOWN UPON THE PLAT	ESE PRESENTS, THAT THE BENJAMIN MARCUS HOMES, LLC, A CORPORATION OF THE NNSYLVANIA, BY VIRTUE OF A RESOLUTION OF THE BOARD OF DIRECTORS THEREOF HIS AS ITS PLAT OF LOTS OF ITS PROPERTY SITUATE IN THE TOWNSHIP OF PETERS N, AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGE ACCRUING EDICATE FOREVER, FOR PUBLIC USE, ALL STREETS, RIGHTS OF WAY AND EASEMENTS , WITH THE SAME FORCE AND EFFECT AS IF THE SAME FORCE AND EFFECT AS IF THE	E , APPROVED BY THE PLANNING COMMISSION OF PETER , 20 S			
AREA=86,992 SQ. FT. OR 1.997 ACRES AREAS SHOWN UPON T LATER DATE, BE ACCEF NON-PROFIT CORPORAT	, WITH THE SAME FORCE AND EFFECT AS IF THE SAME FORCE AND EFFECT AS IF THE D THROUGH LEGAL PROCEEDINGS AS WELL AS ANY OPEN SPACE, COMMON GROUND OF IE PLAT WHICH WILL, SIMULTANEOUS WITH THE RECORDING OF THE PLAT OR AT SOME TED BY THE TOWNSHIP, OR CONVEYED TO A HOME OWNERS' ASSOCIATION OR OTHEF ON FORMED TO MAINTAIN THE OPEN SPACE COMMON GROUND OR AREAS SET FORTH IN IDERATION OF THE APPROVAL OF SAID PLAT, BENJAMIN MARCUS HOMES, LLC FOREVEF	PLANNING DIRECTOR E R N	CHAIRMAN		
1     6.99'     DISCHARGE SAID TOWN       ARISING AND TO ARIS     PHYSICAL GRADING THE       N/F     THE SUPPORT AND MARKED	SHIP OF PETERS, ITS SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES E FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE REOF TO ANY GRADES THAT MAY BE ESTABLISHED, AND ANY SLOPES REQUIRED FOF INTENANCE THEREOF ACCORDING TO SUCH ESTABLISHED GRADES. THIS DEDICATION E BINDING UPON BENJAMIN MARCUS HOMES, LLC, ITS SUCCESSORS AND ASSIGNS AND	TOWNSHIP COUN APPROVED BY THE COUNCIL OF PETERS TOWNSHIP		EITE	
IN WITNESS WHEREOF, "	THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE AND SAME TO BE ATTESTED BY ITS MEMBER, THIS DAY OF A.D., 202	MANAGER	CHAIRPERSON OF COUNCIL		
(SEAL) R=175.00' AL=145.48' CB=S05°40'22''E	BENJAMIN MARCUS HOMES, LLC MANAGING MEMBER	THE TOWNSHIP OF PETERS HEREBY GIVES PUBLIC N RECORDING PURPOSES ONLY. THE TOWNSHIP ASSU EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID S GRADE, PAVE, AND CURB THE STREETS IN SAID PL/ INSTALL ANY OTHER SUCH SERVICE ORDINARILY INS	MES NO OBLIGATIONS, LEGAL OR OTHERWISE, TREETS AS TOWNSHIP STREETS OR ROADS, TO AT, OR TO CONSTRUCT SEWER THEREIN OR TO		Scenic Golf C
CL=141.33'	ACKNOWLEDGEMENT	MANAGER	CHAIRPERSON OF COUNCIL	Community Recreation	
COMMONWEALTH OF PEN	NSYLVANIA ) ) ss:			VICINITY MAP NOT TO SCALE	
		WASHINGTON COUNTY PLANN	IING COMMISSION APPROVAL	GENERAL NOTES	
COUNTY AND COMMONW BENJAMIN MARCUS HOM PERSONALLY PRESENT THE COMMON AND COR	EALTH, PERSONALLY APPEARED, OF THE ES, LLC, WHO BEING DULY SWORN, DEPOSETH AND SAITH THAT HE WAS AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW PORATE SEAL OF THE SAID CORPORATION DULY AFFIXED AND THAT THE	REVIEWED BY THE WASHINGTON COUNTY PLANNING 20	COMMISSION THIS DAY OF,	<ol> <li>THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE PENNSYLVANIA STAT COORDINATE SYSTEM, NAD 1983.</li> <li>VERTICAL DATA SHOWN (IF ANY) IS BASED ON NORTH AMERICAN VERTICAL E</li> </ol>	
AND DEED OF THE SAI MENTIONED AND THAT DEDICATION AS MANAG EXECUTION AND DELIVE	EDICATION WAS DULY SIGNED AND SEALED BY AND AS FOR THE ACT D BENJAMIN MARCUS HOMES, LLC, FOR THE USES AND PURPOSES THEREIN THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND ING MEMBER OF THE SAID CORPORATION, IN ATTESTATION OF THE DUE RY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND	CHAIRMAN	DIRECTOR	1988, NAVD 1988. 3. STREET NAMES AND ROW WIDTHS, BLOCK AND LOT NUMBERS AS PER THE CU MAPS.	URREN
PROPER AND RESPECTIV	E HANDWRITING.	RECO	RDING	4. BOUNDARY INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED KEYSTONE SURVEYING AND MAPPING INC ON DECEMBER 9, 2021.	ΒY
(TITLE OF OFFICER)		THE FOREGOING ADOPTION AND DEDICATION IS MADE UNDERSTANDING AND AGREEMENT THAT THE APPRO	OVAL OF THE WASHINGTON COUNTY PLANNING	5. OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO FOR CONSTRUCTION OF ANY TYPE.	BE US
SANDPIPER LANE (50' RIGHT OF WAY) SWORN TO AND SUBSCR WITNESS MY HAND AND	IBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.	COMMISSION, COUNCIL OF PETERS TOWNSHIP, AND P ATTACHED, WILL BECOME NULL AND VOID UNLESS T DEEDS OFFICE OF WASHINGTON COUNTY, COUNTY OF	HIS PLAN IS RECORDED IN THE RECORDERS OF	<ol> <li>WETLANDS, ENVIRONMENTAL, AND/OR HAZARDOUS MATERIALS LOCATIONS, IF COVERED UNDER THIS CONTRACT.</li> </ol>	F ANY,
	NOTARIAL SEAL THIS DAY OF, 20           THE         DAY OF, 20	(90) DAYS OF SAID APPROVAL. WE, BENJAMIN MARCUS HOMES, LLC, DO HEREBY CEF		7. THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL O UNDERSIGNED PROFESSIONAL(S).	JF THE
NOTARY PUBLIC	, 20	THE NAME OF BENJAMIN MARCUS HOMES, LLC AS RE WITNESS MANAGING		8. KEYSTONE SURVEYING AND MAPPING, INC. MAKES NO WARRANTY, EITHER EX IMPLIED, AS TO OUR STAKING, FINDINGS, RECOMMENDATIONS, PLANS, SPECIFI PROFESSIONAL ADVICE EXCEPT THAT THE WORK WAS PERFORMED PURSUAN GENERALLY ACCEPTED STANDARDS OF PRACTICE AND DEGREE OF CARE EXE MEMBERS OF THE SAME PROFESSION ON PROJECTS OF COMPARABLE SIZE AN	FICATION NT TO ERCISED
کاری       THE FULL UNDERSTANE         کاری       PLANNING COMMISSION         ساللہ       COMMISSION, IF HERETO	OPTION AND DEDICATION IS MADE BY BENJAMIN MARCUS HOMES, LLC, WITH ING AND AGREEMENT THAT THE APPROVAL OF THE WASHINGTON COUNTY COUNCIL OF PETERS TOWNSHIP, AND PETERS TOWNSHIP PLANNING ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAT IS RECORDED DEED'S OFFICE OF WASHINGTON COUNTY, COUNTY OFFICE BUILDING,			COMPLEXITY. AS USED IN THIS SURVEY, THE WORD CERTIFY (CERTIFIED, CER AND/OR CERTIFICATE) SHALL BE INTERPRETED AS MEANING A PROFESSIONAL REGARDING THE CONDITIONS OF THOSE FACTS AND/OR FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY ( GUARANTEE, EITHER EXPRESS OR IMPLIED.	AL OPINI E THE
WASHINGTON, PENNSYL	ANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.	<b>PROOF OF F</b> COMMONWEALTH OF PENNSYLVANIA: :SS	RECORDING	9. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEA BOUNDARY SURVEY. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADD EASEMENTS, RIGHT-OF-WAYS, COVENANTS, ETC. AS MAY BE DISCLOSED IN A COMPREHENSIVE TITLE SEARCH.	DITIONA
	HOMES, LLC, OWNERS THE CAMDEN VILLAGE CONDOMINIUM PLAN NO. 1 REBY CERTIFY THERE IS NO MORTGAGE, LIEN, OR ENCUMBRANCE AGAIN THIS	COUNTY OF WASHINGTON : RECORDED IN THE RECORDERS OFFICE FOR THE RECORDER IN PLAN INSTRUMENT NUMBER	ORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY <u>-</u>	10. IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, SECTION 715, WE FLOOD LEVEL OF RIMS OF PLUMBING DRAINAGE FIXTURES (DENOTED BY LOW FINISHED FLOOR ELEVATION) ARE BELOW THE ELEVATION OF THE MANHOLE ( THE NEXT UPSTREAM MANHOLE, BACKWATER VALVES ARE REQUIRED. THE F LOTS PER DESIGN REQUIRE A BACK WATER VALVE: UNITS 1 THRU 4. IF MAN GRADING CHANGES, REQUIREMENT FOR BACKWATER VALUES MUST BE VERIFI	WEST COVER FOLLOW NHOLE (
WITNESS	MANAGING MEMBER	GIVEN UNDER MY HAND AND SEAL THIS DAY	OF, 20	11. TAX PARCEL NUMBER 540-002-00-00-0067-00 WILL BE OWNED BY BENJAMIN HOMES, LLC AND EACH UNIT WILL BE SOLD INDIVIDUALLY.	
	HOMES, LLC, OWNERS THE CAMDEN VILLAGE CONDOMINIUM PLAN NO. 1 DO		RECORDER	REFERENCES	
	THE TITLE OF THIS PROPERTY IS IN THE NAME OF BENJAMIN MARCUS ED IN INSTRUMENT NUMBER 202130117, RECORDER OF DEEDS' OFFICE.	CONDI	TIONS	THE SURVEY IS BASED UPON EXISTING CONDITIONS FOUND AT THE SUBJECT FOLLOWING REFERENCES:	AND T
WITNESS	MANAGING MEMBER	WE, BENJAMIN MARCUS HOMES, LLC, OWNERS, ACKN SUBJECT TO THOSE CONDITIONS WHICH ARE HEREAF THE OFFICE OF THE RECORDER OF DEEDS OF WASHI	TER NOTED ON THIS PLAT TO BE RECORDED IN NGTON COUNTY, PENNSYLVANIA. WE	<ol> <li>PLAN ENTITLED "QUAIL RUN PLAN NO. 1" RECORDED IN PBV-14 PG-78, E OCTOBER 1976.</li> </ol>	DATED
\ PETEF	S TOWNSHIP SANITARY AUTHORITY	ACKNOWLEDGE THAT THESE CONDITIONS ARE BINDIN SUCCESSORS AND ASSIGNS.	NG UPON OURSELVES AND OUR HEIRS,	<ol> <li>PLAN ENTITLED "DECLARATION PLAN OF QUAIL RUN PLAN PHASE 1", RE PBV-17 PG-15, MARCH 1979.</li> </ol>	ECORDE
20 THE UNDERSIN IT'S OR THEIR SUCCESS TOWNSHIP SANITARY / SUCCESSORS AND ASS MAINTAIN, RELOCATE, / COLLECTION AND CONV AND/OR EASEMENTS F	ERS TOWNSHIP SANITARY AUTHORITY THIS DAY OF, INED OWNERS, INTENDING TO LEGALLY BIND THEMSELVES, ITSELF, AND ORS AND ASSIGNS, HEREBY GRANT AND DEDICATE TO THE PETERS .UTHORITY, WASHINGTON COUNTY, PENNSYLVANIA, AND ITS RESPECTIVE GNS FOREVER, THE RIGHT TO INSTALL, CONSTRUCT, OPERATE, REPAIR, .ND REPLACE ALL NECESSARY FACILITIES FOR SANITARY SEWER EYANCE TO, OVER, THROUGH AND ACROSS EASEMENTS FOR UTILITIES OR SANITARY SEWERS, INCLUDING THE RIGHT TO ASSIGN THE SAME, ALL AND EFFECT AS THOUGH SAID EASEMENTS HAD BEEN DULY ACQUIRED	CONDITIONS: A B C			
FOR SUCH PURPOSES E THEMSELVES AND IT'S DAMAGES FOR THE LA TOGETHER WITH THE R	Y CONDEMNATION, AND THE UNDERSIGNED HEREBY WAIVES FOR ITSELF, OR THEIR ASSIGNS AND SUCCESSORS ANY AND ALL CLAIMS FOR VFUL USE OF SUCH EASEMENTS FOR THE AFORESAID PURPOSES, GHT OF INGRESS AND EGRESS TO AND FROM SAID EASEMENTS OVER AND	WITNESS	MANAGING MEMBER	N W E A L LA	
UPON THE LANDS OF T ATTEST	IL URANTOR.	DRIVI DRIVEWAY ACCESS TO THE STATE HIGHWAY SHAL	EWAYS	PROFESSIONAL KEITH H. HIGGINS	
AUTHORITY REPRESENT	ATIVE	OCCUPANCY PERMIT FROM THE PENNSYLVANIA DEF PURSUANT TO SECTION 420 OF THE ACT OF JUNE "STATE HIGHWAY LAW."	PARTMENT OF TRANSPORTATION, AS REQUIRED	Katt laama	
SIGNATURE OF DEVELO HOMEOWNER'S ASSOCIA		SITE ADDRESS: QUAIL RUN ROAD VENETIA, PA 15367	F F	EITH H. HIGGINS DATE DATE DATE DATE	
	PROJECT NO.: DRAWING NO.: CAMDEN VILLAGE DATE:	PROJECT: CLIENT: VICTOR WETZEL ASSOCIATES 409 BROAD STREET, SUITE 270		VILLAGE	
SUBJECT PROPERTY LINE     ADJOINER PROPERTY LINES     EXISTING RIGHT-OF-WAY LINES     EXISTING UTILITY EASEMENT	03/16/2023 SCALE: 1" = 30' DRAWN BY:	SEWICKLEY, PA 15143 OWNER: BENJAMIN MARCUS HOMES, LL 333 TECHNOLOGY DRIVE, SUITE 1 MCMURRAY, PA 15317		F	

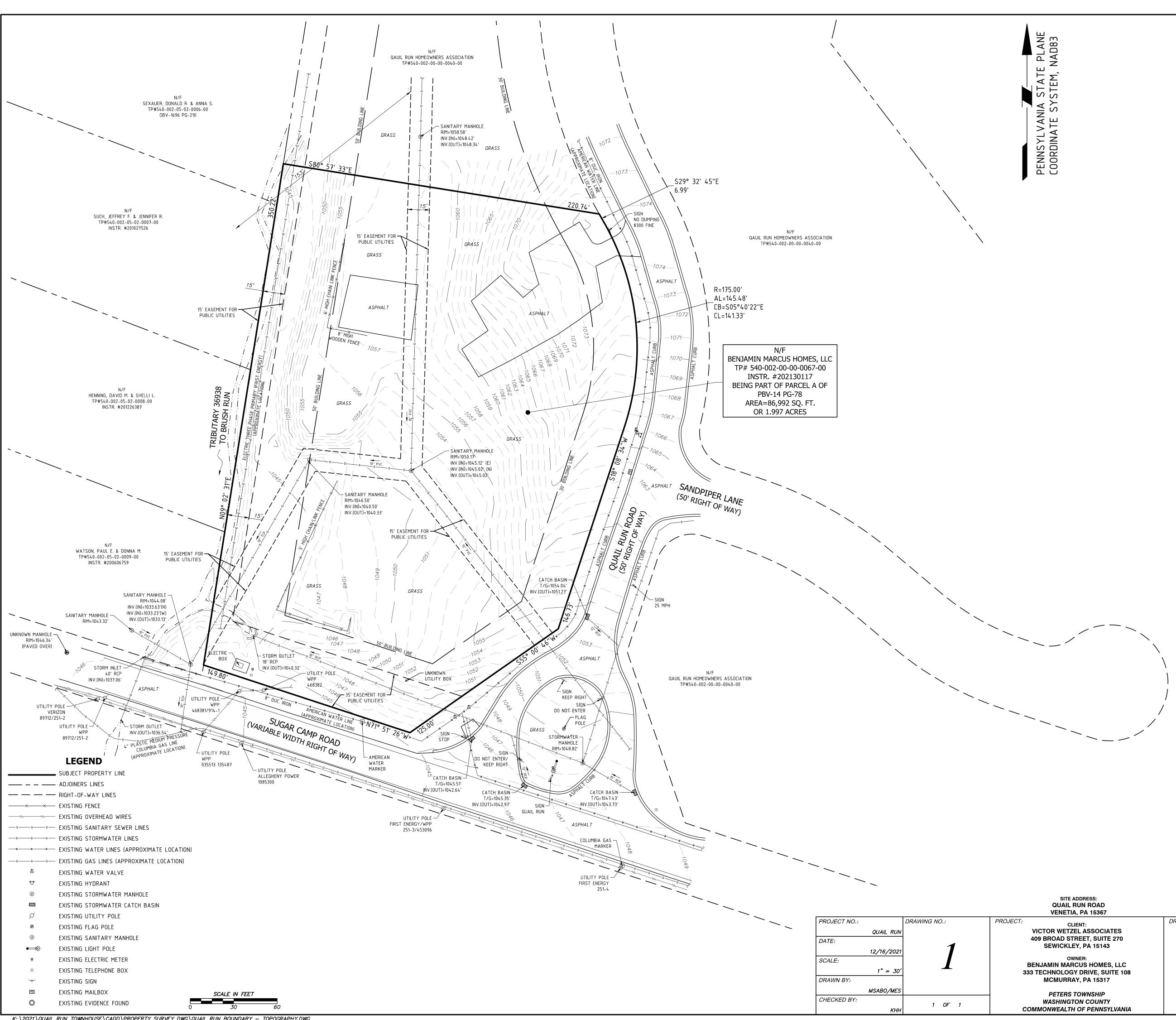
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т		ADJOINER PROPERTY
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Т		EXISTING UTILITY EAS
ET MAXIMUM	٠	SET 5/8" IRON PIN AN
		CAP NO. SU 075168



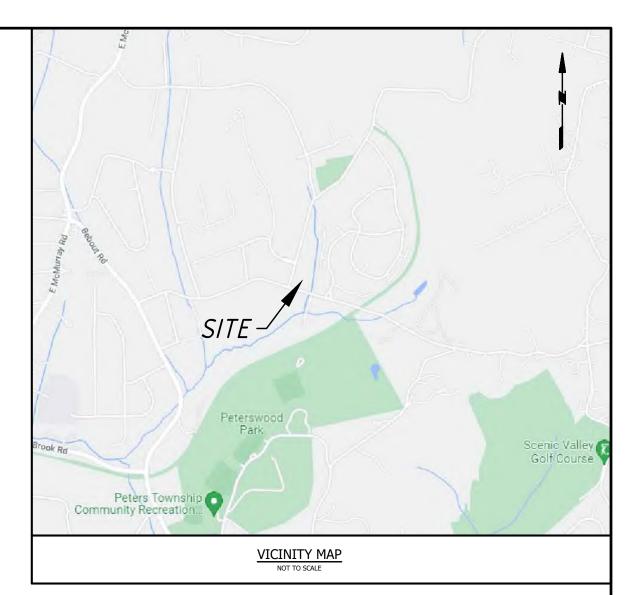
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K: \2021 \QUAIL RUN TOWNHOUSE \CADD \PROPERTY SURVEY DWG \QUAIL RUN BOUNDARY - TOPOGRAPHY.DWG



# **GENERAL NOTES**

- 1. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, NAD 1983.
- 2. VERTICAL DATA SHOWN (IF ANY) IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, NAVD 1988.
- 3. STREET NAMES AND ROW WIDTHS, BLOCK AND LOT NUMBERS AS PER THE CURRENT TAX MAPS.
- 4. BOUNDARY INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY KEYSTONE SURVEYING AND MAPPING INC ON DECEMBER 9, 2021.
- 5. OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION OF ANY TYPE.
- 6. WETLANDS, ENVIRONMENTAL, AND/OR HAZARDOUS MATERIALS LOCATIONS, IF ANY, NOT COVERED UNDER THIS CONTRACT.
- 7. THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
- 8. KEYSTONE SURVEYING AND MAPPING, INC. MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, AS TO OUR STAKING, FINDINGS, RECOMMENDATIONS, PLANS, SPECIFICATIONS, OR PROFESSIONAL ADVICE EXCEPT THAT THE WORK WAS PERFORMED PURSUANT TO GENERALLY ACCEPTED STANDARDS OF PRACTICE AND DEGREE OF CARE EXERCISED BY MEMBERS OF THE SAME PROFESSION ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. AS USED IN THIS SURVEY, THE WORD CERTIFY (CERTIFIED, CERTIFICATION, AND/OR CERTIFICATE) SHALL BE INTERPRETED AS MEANING A PROFESSIONAL OPINION REGARDING THE CONDITIONS OF THOSE FACTS AND/OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.
- 9. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH OR BOUNDARY SURVEY. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, ETC. AS MAY BE DISCLOSED IN A CURRENT, COMPREHENSIVE TITLE SEARCH.

# REFERENCES

THE SURVEY IS BASED UPON EXISTING CONDITIONS FOUND AT THE SUBJECT AND THE FOLLOWING REFERENCES:

- 1. PLAN ENTITLED "QUAIL RUN PLAN NO. 1" RECORDED IN PBV-14 PG-78, DATED OCTOBER 1976.
- 2. PLAN ENTITLED "DECLARATION PLAN OF QUAIL RUN PLAN PHASE 1", RECORDED IN PBV-17 PG-15, MARCH 1979.

KEITH H. HIGGINS PROFESSIONAL LAND SURVEYOR PA LIC NO. SU075168



12/16/2021 DATE

DRAWING TITLE: MAP OF



OF

TAX PARCEL NUMBER 540-002-00-00-0067-00 **KEYSTONE SURVEYING & MAPPING INC.** 534 VALLEY BROOK ROAD VENETIA, PA 15367 OFFICE (724) 514-7949

STANDARD GENERAL NOTES:

- 1. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SAFETY OF ALL PERSONS AND PROPERTY
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES. 3. CONTRACTOR IS REQUIRED TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, RESOLUTIONS, POLICIES, AND
- PROCEDURES, IN GENERAL.
- 4. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS. 5. CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS OR OTHER DEVICES NECESSARY TO PROVIDE SAFETY.
- 6. THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO IT'S ORIGINAL CONDITION, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 7. THE CONTRACTOR SHALL REMOVE ANY SUBSURFACE OBSTRUCTIONS OR ABANDONED UTILITY LINES WITHIN THE DEMOLITION AREA AS PART OF THIS PROJECT.
- 8. WARNING: THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE LOCATIONS INDICATED. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXACT LOCATIONS OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES, AND TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 72 HOURS BEFORE YOU DIG, DRILL OR BLAST.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY SITE, YARD AND GROUNDS. REMOVE AND PROPERLY DISPOSE, OFF SITE, ALL RUBBISH, WASTE MATERIALS, LITTER, AND ALL OTHER FOREIGN SUBSTANCES. REMOVE PETROCHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUNDS TO A SMOOTH EVEN-TEXTURED SURFACE.
- 10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS AND COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED. 11. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON
- THE JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- 12. THE CONTRACTOR IS REQUIRED TO HAVE COPIES OF ALL PERMITS AND PLANS ON SITE AT ALL TIMES. 13. CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL
- IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
- 14. THE OWNER OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE OWNER OR THE OWNER'S REPRESENTATIVE
- 15. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE OWNER OR THE OWNER'S REPRESENTATIVE, SHALL BE REPLACED AT THE CONTRACTORS EXPENSE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK. 17. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE
- AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO DO SO.
- 18. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED, AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE PROTECTED FROM DAMAGE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FOUR FEET OR MORE IN DEPTH, ADEQUATE METHODS FOR PROTECTION OF WORKERS IS REQUIRED.
- 19. STATIONING HEREIN IS ALONG STREET CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- 20. ALL RETURN RADII AND CURB DATA ARE TO BACK OF WEDGE CURB, AND TO THE FRONT FACE OF CONCRETE CURB UNLESS OTHERWISE NOTED. 21. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR
- THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER. NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO THE EXISTING SYSTEM IS MADE. 22. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY
- RESTORED TO THE SATISFACTION OF THE PROJECT ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE. 23. LENGTHS AND PERCENT SLOPE OF SANITARY SEWERS AND STORM DRAINS, AS WELL AS ALL POTENTIAL CONFLICTS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTING SUCH ENTITIES.
- 24. IF ARCHEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHEOLOGIST HAS HAD AN OPPORTUNITY TO EVALUATE THE
- SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY. 25. CONTRACTOR SHALL PROVIDE TRAFFIC MAINTENANCE AND PROTECTION AS PER PADOT PUBLICATION 203. GENERAL NOTES:
- 1. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY JONES CONSULTANTS.
- 2. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER/DEVELOPER SITE WORK SPECIFICATIONS.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, VING. UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED
- 4. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- 5. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. 6. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE
- CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- 7. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE LOCAL PENNSYLVANIA D.O.T. OFFICE.

### 

<u>LEGEN</u>	<u>ID</u>
	PROPERTY LINE
	LOT LINE
	YARD SETBACK
S	EXISTING SANITARY MANHOLE
	EXISTING CATCH BASIN
EXISTING	EXISTING SANITARY SEWER LINE
OHE OHE	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING WATERLINE
GGGG	EXISTING GASLINE
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED 10' CONTOUR
	PROPOSED CATCH BASIN
S	PROPOSED SANITARY MANHOLE
— E — E —	PROPOSED ELECTRIC SERVICE LINE
Ę	PROPOSED ELECTRIC PEDESTAL
w w	PROPOSED WATERLINE
G G	PROPOSED GASLINE
	PROPOSED STORM SEWER
	PROPOSED SANITARY LINE
	ACCESS AND UTILITY EASEMENT
<u> </u>	SANITARY SEWER EASEMENT
	ASPHALT CURB
LOD	LIMITS OF DISTURBANCE
NPDES	NPDES BOUNDARY
	STREAM
	CALCULATED 100 YEAR FLOODPLAIN /

S: \PROJECTS\291-003-21-CAMDEN VILLAGE\DRAWINGS\291-003-21-BASE-230317.DWG

FLOODWAY

GENERAL NOTES:

- MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTING SUCH ENTITIES.
- 2. ALL UTILITIES SHALL BE INSTALLED, DISCONNECTED, AND/OR RELOCATED IN ACCORDANCE WITH THE CODES AND
- SPECIFICATIONS OF THAT UTILITY AUTHORITY.
- UNLESS OTHER ARRANGEMENTS ARE MADE WITH OWNER.
- AND/OR INSTALLATION OF SITE UTILITIES.

- SPECIFICATIONS.
- RESTORED TO THE SATISFACTION OF THE PROJECT ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.

## SOIL LIMITATIONS & RESOLUTIONS:

	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE	HYDRIC / HYDRIC INCLUSIONS	LOW STRENGHT / LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
SYMBOL						ΩΧ			0,					Δ.		
DoC	х	C/S		х		X	Х	Х	Х	Х	Х	х	х	х		х
Fa	х	C/S	X	х	Х	X	Х	х		х		Х				
GdB	Х	C/S				Х	Х	Х	Х	Х	Х	Х				Х
NOTE: DUE TO SOIL LIMITATION ALL EARTHWORK SHALL BE PERFORMED																

NOTE: DUE TO SOIL LIMITATION ALL EARTHWORK SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.

## **RESOLUTIONS TO SOIL LIMITATIONS:**

- CUTBANKS CAVE: ACCORDING TO THE U.S.G.S. OPEN-FILE REPORT 78-1057 LANDSLIDES AND RELATED FEATURES OF THE BRIDGEVILLE, PA QUADRANGLE, THE SITE IS GENERALLY CLASSIFIED AS HAVING SLOPES OF LITTLE SUSCEPTIBILITY TO LANDSLIDES. IF ISSUES ARISE WITH CUTBANKS CAVING ON SITE, THE CONTRACTOR SHALL CONTACT THE ON-SITE GEOTECHNICAL ENGINEER AND WORK SHALL PROCEED UNDER THEIR RECOMMENDATIONS.
- CORROSIVE TO CONCRETE\STEEL ALL CONCRETE AND STEEL UNDERGROUND UTILITIES SHALL BE PROTECTED WITH A CORROSION RESISTANT SEAL.
- EASILY ERODIBLE ALL AREAS THAT ARE 3:1 OR GREATER WILL BE PROTECTED WITH EROSION CONTROL BLANKETING, AND VEGETATED.
- "DEPTH TO SATURATED ZONE/ SEASONAL HIGH-WATER TABLE" THE AREA OF DISTURBANCE IS NEAR THE TOP OF THE WATERSHED. THEREFORE, THIS WILL NOT BE AN ISSUE. ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.
- HYDRIC / HYDRIC INCLUSIONS THE SITE HAS BEEN INVESTIGATED FOR WETLAND AND STREAMS. NO WETLANDS OR STREAMS WILL BE IMPACTED.
- LOW STRENGTH / LANDSLIDE PRONE ACCORDING TO THE U.S.G.S. OPEN-FILE REPORT 78-1057 LANDSLIDES AND RELATED FEATURES OF THE BRIDGEVILLE, PA QUADRANGLE, THE SITE IS GENERALLY CLASSIFIED AS HAVING SLOPES WITH LITTLE SUSCEPTIBILITY TO LANDSLIDING. IF LANDSLIDE ISSUES OCCUR, THE CONTRACTOR SHALL CONTACT THE ON-SITE GEOTECHNICAL AND PROCEED WITH THE WORK BASED ON THEIR RECOMMENDATIONS.
- SLOW PERCOLATION THE POTENTIAL FOR INFILTRATION IS LOW, BUT USED TO THE MAXIMUM EXTENT POSSIBLE BY WAY OF AN INFILTRATION BASIN.
- COLLARS WILL BE INSTALLED FOR THE BASIN'S OUTFLOW PIPE.
- POOR SOURCE OF TOPSOIL THE SITE HAS BEEN INVESTIGATED BY A GEOTECHNICAL ENGINEER, AND THE REPORT SHOWS THAT THERE IS AMPLE TOPSOIL WITHIN THE DISTURBED AREA.
- FROST ACTION ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.
- SHRINK SWELL ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN
- ON-SITE GEOTECHNICAL ENGINEER.
- POTENTIAL SINKHOLE ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.
- WETNESS ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.

## LAND USE:

### PAST USE LAND USES FOR PAST 50-YEARS: FARM FIELD PRESENT USE FOR PAST 5-YEARS : VACANT LAND PROPOSED USE: RESIDENTIAL SUBDIVISION

## TOWNSHIP ACCESS:

THE OWNER WILL GRANT ACCESS TO THE TOWNSHIP FOR PERIODIC INSPECTIONS.

# FLOOD PLAIN NOTE:

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

## WATERSHED AND RUNOFF:

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

### WETLANDS

THERE ARE NO WETLANDS DELINEATED WITHIN THE PROJECT BOUNDARIES.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH INSTALLATION AND INSPECTION OF UTILITY

4. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO LOCATION, RELOCATION, REMOVAL

5. PLUMBING CONTRACTOR SHALL CONTACT LOCAL HEALTH DEPARTMENT CONCERNING FILING OF UTILITY PLAN, AND PAYMENT OF FEES RELATED TO WATER AND SANITARY SEWER LINE CONSTRUCTION.

6. CONTRACTOR SHALL ADJUST ANY FRAMES AND GRATES FOR EXISTING INLETS, MANHOLES, AND VALVES TO REMAIN. 7. ALL UTILITY LINES REQUIRING TESTING SHALL BE TESTED IN ACCORDANCE WITH THE UTILITY COMPANY CODES AND

8. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. 9. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER. NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE UTILITY OWNER BEFORE EACH AND EVERY CONNECTION TO THE EXISTING SYSTEM IS MADE. 10. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND CONTACT THE ENGINEER.

A WRITTEN REPORT MUST BE KEPT BY THE CONTRACTOR DOCUMENTING INSPECTIONS AND REPAIRS TO ALL BMPS. THE CONTRACTOR SHALL INSPECT AND LOG ALL ACTIVITIES ONTO DEP FORM 3800-FM-BCW0271D (DATED 12/2019) AND KEPT ON SITE AT ALL TIMES.

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY. BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

E&S PLAN – PHASE I

- 1. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING, AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE WASHINGTON COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- 2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH WORK DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 OR 811 FOR THE LOCATION OF EXISTING UNDERGROUND
- UTILITIES. 3. LAYOUT THE LIMITS OF THE CONSTRUCTION SITE AND ESTABLISH
- BENCHMARKS AND REFERENCE POINTS. 4. STAKE OUT THE LIMIT OF DISTURBANCE (LOD) AS INDICATED ON THE
- CONSTRUCTION PLANS. 5. INSTALL THE ROCK CONSTRUCTION ENTRANCE IN THE LOCATION SHOWN ON THE PLAN AND IN ACCORDANCE WITH STANDARD DETAIL. INSTALL ANY CULVERTS AND/OR STORM DRAIN CONVEYANCE SYSTEM UNDER THE
- ENTRANCE AS SHOWN ON THE PLANS. 6. ONCE THE CONSTRUCTION ENTRANCE IS INSTALLED. THE CONTRACTOR SHALL INSTALL THE 32" COMPOST FILTER SOCK ALONG THE EASTERN SIDE OF THE SITE ALONG THE EXISTING TRIBUTARY TO BRUSH RUN. AND THE 18" COMPOST FILTER SOCK ALONG THE SOUTHERN SIDE OF THE SITE ALONG SUGAR CAMP ROAD AND QUAIL RUN ROAD. INSTALL ALL COMPOST FILTER SOCKS AS SHOWN ON THE E&S CONTROL PLAN DRAWINGS AND IN ACCORDANCE WITH THE STANDARD DETAILS. ALL COMPOST FILTER SOCKS SHALL BE INSTALLED PARALLEL TO THE CONTOURS. TREES SHALL NOT BE REMOVED IN ORDER TO INSTALL COMPOST FILTER SOCKS. SLIGHT DEVIATION FROM INSTALLATION PARALLEL TO CONTOURS IS ACCEPTABLE TO AVOID TREES.
- 7. AFTER THE EXTERIOR COMPOST FILTER SOCK IS INSTALLED, THE CONTRACTOR SHALL CLEAR AND GRUB THE TREES AS SHOWN ON THE DEMOLITION PLAN.

E&S PLAN – PHASE II

- 8. AFTER, THE EXTERIOR SILT SOCK ARE INSTALLED AND FUNCTIONING AND THE TREES ARE REMOVED. BEGIN CUT/FILL GRADING OPERATIONS AS FOLLOWS: BEGIN THE CUT ON THE NORTHERN PROPERTY LINE. CONTINUE MOVING SOUTH WITH THE EARTHWORK OPERATIONS AND USING THE GENERATED CUT
- ON THE SOUTHERN SIDE OF THE DEVELOPMENT AS FILL MATERIAL. 9. THE INFILTRATION BASIN CAN BE CONSTRUCTED AS PART OF THE EARTHWORK. THESE ARE CONSIDERED CRITICAL STAGES SINCE THEY WILL BE USED AS PCSM BMPS AND SHOULD BE INSPECTED AS THEY ARE INSTALLED. HOWEVER, IT SHALL NOT TO BE USED AS SEDIMENT TRAP DURING CONSTRUCTION.

NOTE:

- THE INFILTRATION BASIN LOCATION SHALL BE PROTECTED BY DURING CONSTRUCTION. THIS INCLUDES BUT NOT LIMITED TO. NOT DRIVING ON OR PARKING ON THE AREA IN ORDER NOT TO CAUSE COMPACTION OF THE INFILTRATION BASIN BOTTOM. ALSO, THE INFILTRATION BASIN SHOULD BE PROTECTED FROM HAVING SEDIMENT ENTERING THE BASIN WITH THE INSTALLATION OF COMPOST FILTER SOCK PLACED ON THE UPHILL SIDE OF THE BASIN.
- 10. AS THE EARTHWORK IS PROGRESSING AND THE CUT AND FILL SLOPES ARE TAKING SHAPE AND HAVE REACHED FINAL GRADE, THEY SHALL HAVE TOPSOIL PLACED AND BE SEEDED.
- 11. ONCE THE SLOPES HAVE BEEN SEEDED. THEY SHALL HAVE EROSION CONTROL BLANKETS PLACED ON THE SLOPES. EROSION CONTROL BLANKETS SHALL BE PLACED IN ACCORDANCE WITH THE PLANS AND DETAILS.
- 12. AS THE CUT AND FILL ARE PLACED AND THE INFILTRATION BASIN IS TAKING SHAPE. THE OUTLET STRUCTURE AND THE OUTLET PIPE SHALL BE INSTALLED. THE OUTLET PIPE SHALL HAVE THE ANTI-SEEP COLLAR AND RIPRAP APRONS INSTALLED ACCORDING TO THE PLANS AND DETAILS.

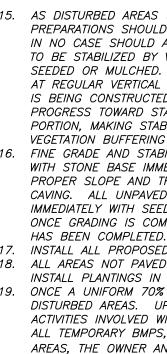
### NOTE:

CONTRACTOR SHALL GRADE SUCH THAT ALL CUT AND FILL EARTHWORK CONTINUE TO PROMOTE SHEET FLOW AS IN THE EXISTING CONDITIONS. CONTRACTOR SHALL NOT GRADE IN ANYWAY THAT CAUSES CHANNELIZATION OF RUNOFF FLOW. ANY CHANNELIZATION SHALL BE CORRECTED TO ENSURE SHEET FLOW DURING SITE GRADING.

- 13. INSTALL THE CONCRETE WASHOUT FACILITIES IN ACCORDANCE WITH THE STANDARD DETAIL. 14. SITE UTILITIES INCLUDING WATER AND SEWER, STORM SEWER, GAS, AND
- ELECTRIC/COMMUNICATIONS WITHIN THE LIMIT OF DISTURBANCE CAN BE INSTALLED AT THE CONTRACTOR'S DISCRETION TO AVOID RE-DISTURBING AREAS LATER AS THE SITE REACHES GRADE, PROVIDE DOWNSTREAM BMP'S ARE IN PLACE AS PER PLANS. UTILIZE TRENCH PLUGS AND COMPOST FILTER SOCK AS NECESSARY AND REFER TO THE STANDARD DETAILS PROVIDED ON THE DETAIL SHEET. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACKFILLED IN ONE WORKING DAY. UTILIZE A PUMPED WATER FILTER BAG, AS NECESSARY. WATER FILTER BAGS MUST BE SURROUNDED BY COMPOST FILTER SOCK TO TREAT FOR ADDITIONAL SEDIMENT REMOVAL PRIOR TO BEING DISCHARGED TO SURFACE WATERS OR STORMWATER INLETS. NOTE

THE CONSTRUCTION OF ANY UTILITIES (SPECIFICALLY STORM AND SANITARY SEWERS) SHALL BE DONE DURING EXPECTED PERIODS OF DRY WEATHER AND ONLY THE AMOUNT OF TRENCH THAT CAN BE COMPLETED IN ONE DAY SHALL BE OPENED AT ANY TIME. THE TRAP SHALL BE REPAIRED DAILY TO ENSURE THAT IT IS FUNCTIONING PROPERLY. AS THE UTILITY IS INSTALLED, THE DISTURBANCE SHALL BE SEEDED AND MULCHED IMMEDIATELY TO ENSURE VEGETATION GROWTH AND LIMIT THE POSSIBILITY OF EROSION. AS THE WORK IS COMPLETED, THE TRAP SHOULD BE INSPECTED FOR ANY DAMAGE CAUSED BY THE UTILITY INSTALLATION AND ANY NECESSARY REPAIRS ARE TO BE MADE IMMEDIATELY.

ONCE INSTALLED, ALL STORMWATER INLETS SHALL BE PROTECTED FROM ENTERING SEDIMENT BY THE USE OF INLET PROTECTION AS SHOWN ON THE PLANS TO PREVENT SEDIMENT FROM ENTERING THE PREVIOUSLY CONSTRUCTED INFILTRATION POND. PLEASE NOTE SEDIMENT SHALL BE PREVENTED FROM ENTERING THE INFILTRATION BASIN BY THE INSTALLATION OF COMPOST SILT SOCK ON THE UPHILL SIDE OF THE BMP. INLET PROTECTION MUST BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT THROUGHOUT THE DURATION OF CONSTRUCTION. BAGS CAN BE EMPTIED, AND RINSED ORE REPLACED WHEN FILTER BAGS ARE HALF FULL AND FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING.



15. AS DISTURBED AREAS WITHIN THE PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN. IN NO CASE SHOULD AN AREA EXCEEDING 15.000 SQUARE FEET WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED OR MULCHED. FILL SLOPES SHOULD BE SEEDED AND MULCHED AT REGULAR VERTICAL INCREMENTS -15 TO 25 FEET MAXIMUM - AS FILL IS BEING CONSTRUCTED. THIS WILL ALLOW THE BOTTOM OF THE FILL TO PROGRESS TOWARD STABILIZATION WHILE WORK CONTINUES ON THE UPPER PORTION, MAKING STABILIZATION EASIER TO ACHIEVE AND PROVIDING SOME VEGETATION BUFFERING AT THE BOTTOM OF THE SLOPE. 16. FINE GRADE AND STABILIZE ALL AREAS OF THE SITE. STABILIZE ROADS WITH STONE BASE IMMEDIATELY AFTER SUBGRADE IS REACHED. UTILIZE PROPER SLOPE AND TRENCH SHORING METHODS TO ALLEVIATE CUTBANK CAVING. ALL UNPAVED DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH AND EROSION CONTROL BLANKETS ONCE GRADING IS COMPLETE WITHIN FOUR DAYS ONCE THE CONSTRUCTION

17. INSTALL ALL PROPOSED PAVING AND CONCRETE SITE WORK. 18. ALL AREAS NOT PAVED SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL. INSTALL PLANTINGS IN ACCORDANCE WITH THE LANDSCAPE PLAN. 19. ONCE A UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ACHIEVED ON ALL DISTURBED AREAS. UPON COMPLETE OF ALL EARTH DISTURBANCE ACTIVITIES INVOLVED WITH THE SUBDIVISION INFRASTRUCTURE, REMOVAL OF ALL TEMPORARY BMPS, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OPERATOR SHALL CONTRACT THE WASHINGTON COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION AND A NOTICE OF TERMINATION (NOT) SHALL BE FILED FOR THE PROJECT.

> PROJECT ENGINEER: KDH CONSULTING ENGINEERS, INC. 593 RUGH STREET, LOWER LEVEL GREENSBURG, PA 15601 (724) 493-5041 CONTACT: CHRISTOPHER W. HAMM, P.E.

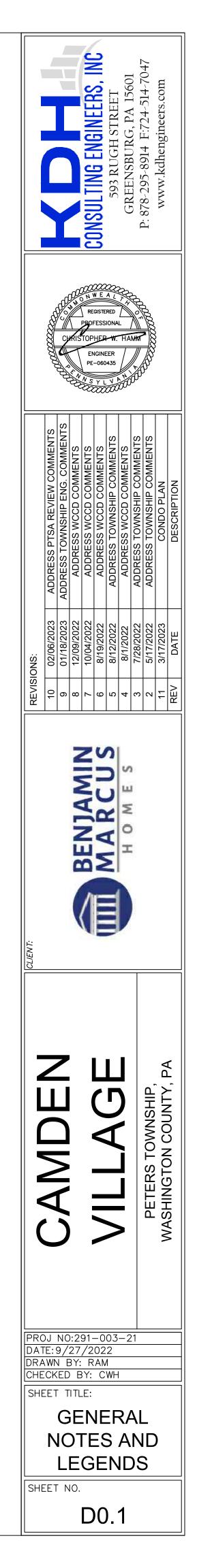
<u>DEVELOPER:</u> BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 CANONSBURG, PA 15317 (412) 880-1025 CONTACT: MARK HOSKINS

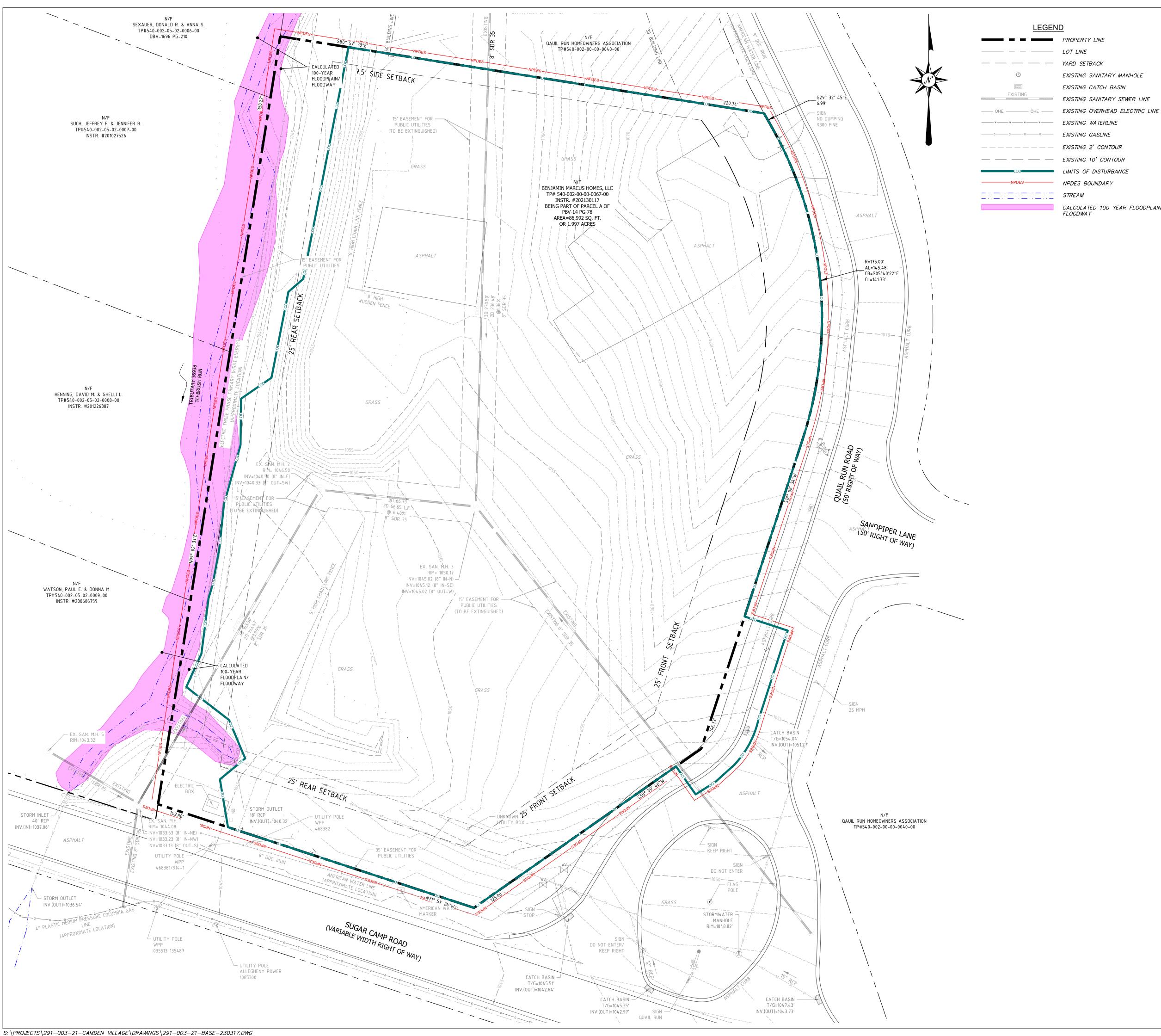
SURVEYOR: KEYSTONE SURVEYING & MAPPING, INC. 534 VALLEY BROOK ROAD VENETIA, PA 15367 CONTACT: KEITH HIGGINS (724) 514-7047

# NPDES PERMIT

LIMITS OF DISTURBANCE: 1.88 ACRES NPDES PERMIT BOUNDARY: 2.0 ACRES

81,965.35 SQ. F.T. 87,120.00 SQ. FT.





- EXISTING SANITARY MANHOLE
- EXISTING CATCH BASIN
- CALCULATED 100 YEAR FLOODPLAIN /

## **RECEIVING WATERS**

### THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

## FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

# NPDES PERMIT

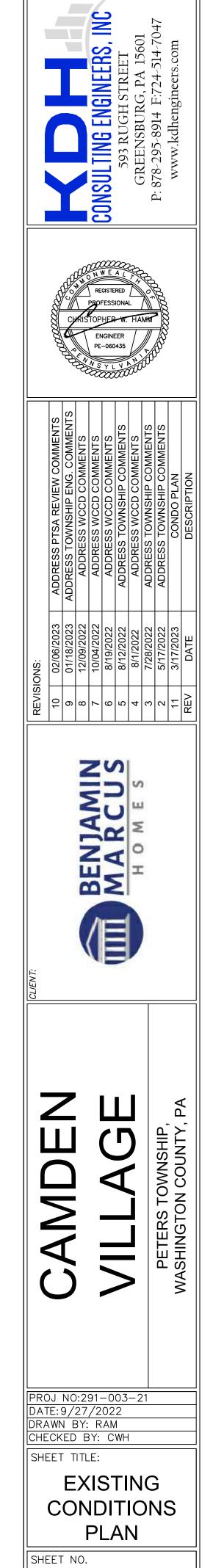
LIMITS OF DISTURBANCE:	1.88 ACRES 81,965.35 SQ. F.T.
NPDES PERMIT BOUNDARY:	2.0 ACRES 87,120.00 SQ. FT.

## NOTES:

- GROSS AREA OF THE SITE IS 1.997 ACRES. THE TAX ID FOR THE DEVELOPED PARCEL IS 2.
- 540-002-00-00-0067-00. 3.
- THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL DISTRICT. THE EXISTING LAND USE: UNDEVELOPED CURRENTLY VACANT. 4
- BASE TOPOGRAPHIC SURVEY INFORMATION IS BASE ON FIELD DATA. NO WETLANDS EXIST ON THE PROPERTY.
- GROSS OPEN SPACE: 0.375 ACRES. 8
- OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. 9. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE
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- 10. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

## UTILITY NOTES:

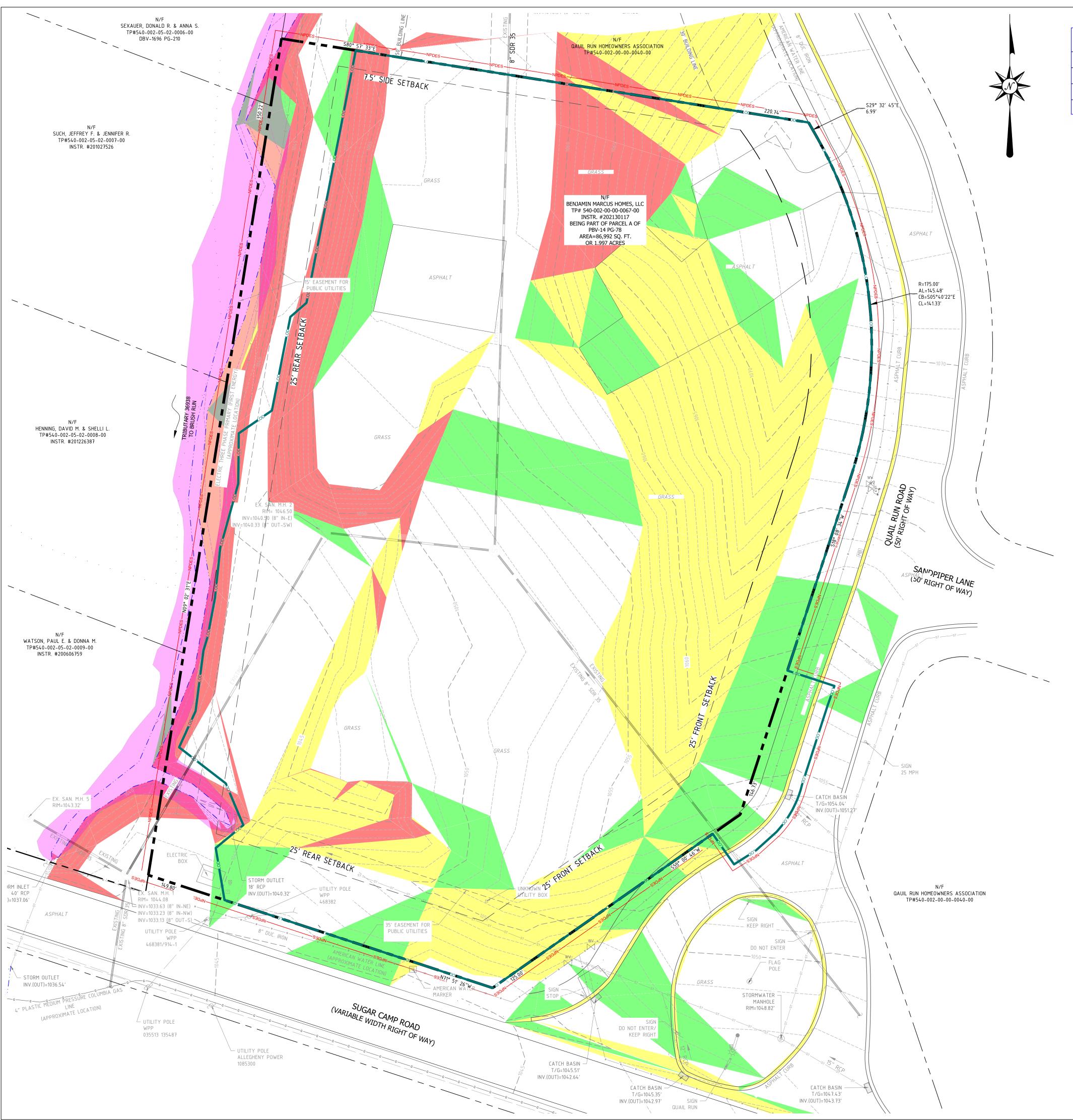
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D1.0



Know what's **below. Call before you dig.** 



Slopes Table						
Number	Minimum Slope	Maximum Slope	Агеа	Color		
1	10.00%	15.00%	17503.76			
2	15.00%	25.00%	26880.87			
3	25.00%	100.00%	12732.09			

# **RECEIVING WATERS**

### THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

## FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

# NPDES PERMIT

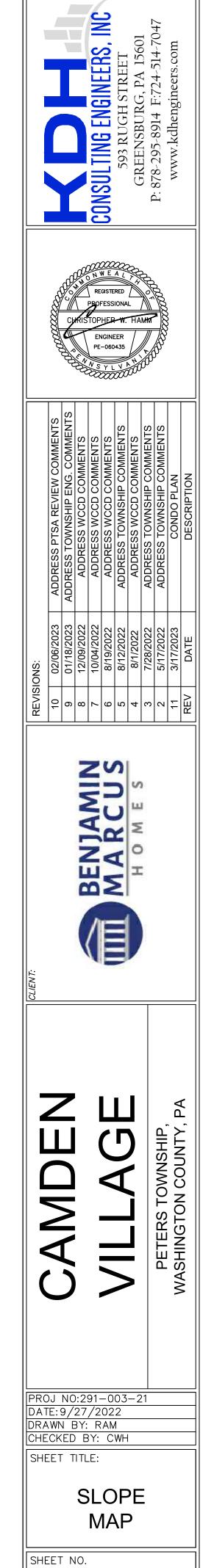
LIMITS OF DISTURBANCE:	1.88 ACRES 81,965.35 SQ. F.T.
NPDES PERMIT BOUNDARY:	2.0 ACRES 87,120.00 SQ. FT.

## NOTES:

- 1.
- GROSS AREA OF THE SITE IS 1.997 ACRES. THE TAX ID FOR THE DEVELOPED PARCEL IS 540-002-00-00-0067-00.
- 3. THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL DISTRICT. 4.
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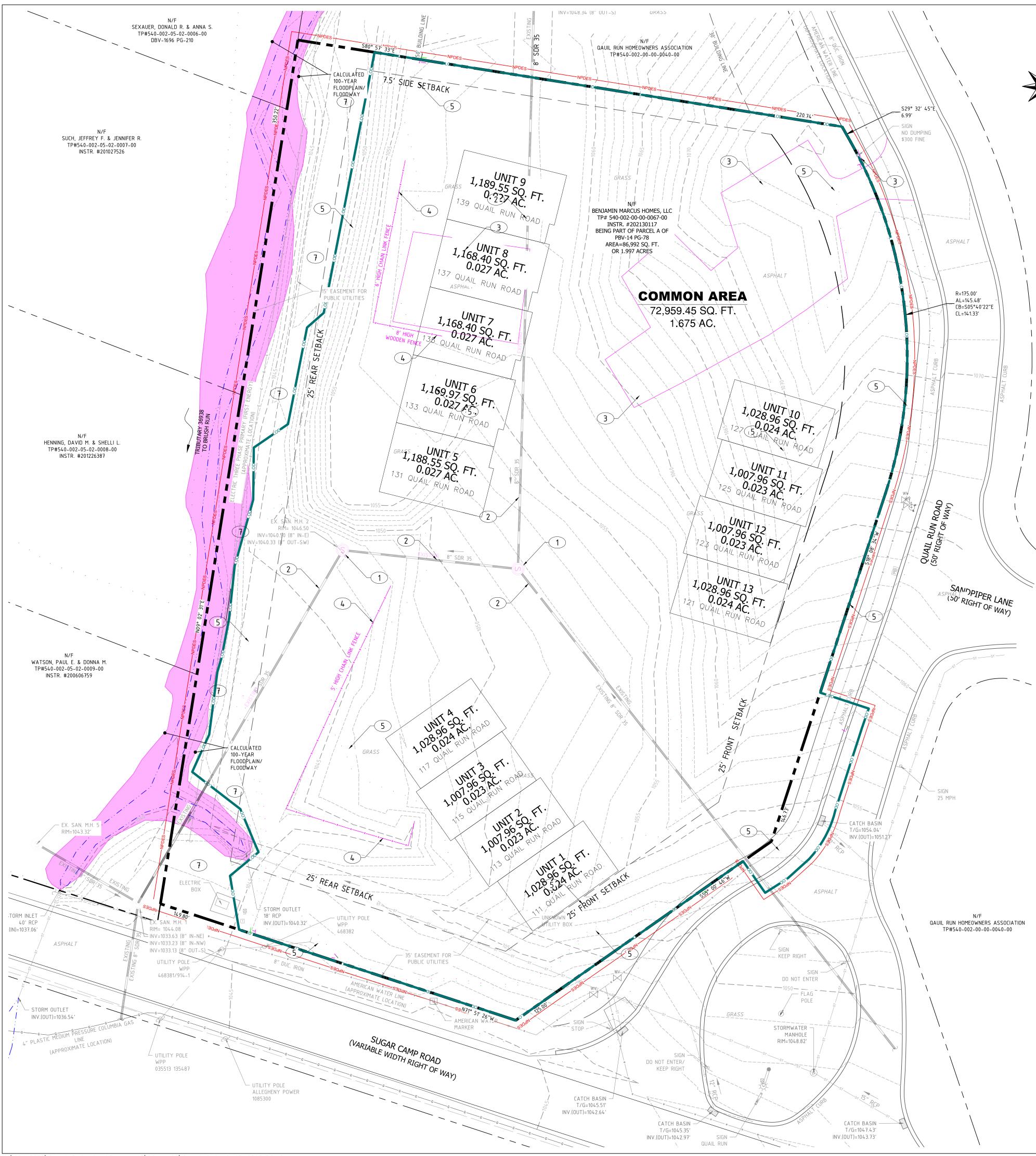
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D1.1





# SITE DEMOLITION NOTES:

	CONTRACTOR	SHALL	REMOVE
2	CONTRACTOR	SHALL	REMOVE
3	CONTRACTOR	SHALL	REMOVE
4	CONTRACTOR	SHALL	REMOVE
5	CONTRACTOR	SHALL	REMOVE
6	CONTRACTOR	SHALL	REMOVE
(7)	EXISTING TRE	ES TO	REMAIN II

# GENERAL DEMOLITION NOTES:

- 1. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- 2. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS AND FOOTINGS. IN ADDITION, ALL EXISTING UTILITY SERVICES TO BE TERMINATED PER UTILITY PROVIDER REQUIREMENTS.
- 3. CONTRACTOR SHALL CONTACT ONE CALL SYSTEM AND THE APPROPRIATE UTILITY COMPANIES AT LEAST THREE (3) DAYS PRIOR TO THE INITIATION OF EARTH MOVING AND DEMOLITION ACTIVITIES.
- 4. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- 5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS NOT USED AS FILL MATERIAL, SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- 6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- 7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- 8. ASBESTOS OR HAZARDOUS MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- 9. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL ACTIVITIES.
- 10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING ALL ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

# **RECEIVING WATERS**

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# NOTES:

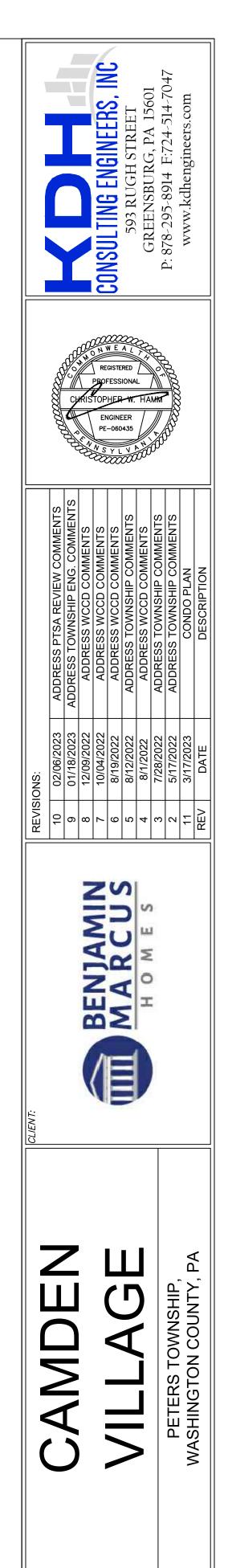
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- EXISTING SANITARY MANHOLE AND BACKFILL EXISTING SANITARY SEWER LINE AND BACKFILL
- EXISTING ASPHALT PAVING
- EXISTING FENCING
- EXISTING TREES AND VEGETATION AS SHOWN
- EXISTING "NO DUMPING" SIGN
- IN THIS AREA

- 87,120.00 SQ. FT.



PROJ NO:291-003-21

DATE: 9/27/2022

DRAWN BY: RAM

SHEET TITLE:

SHEET NO.

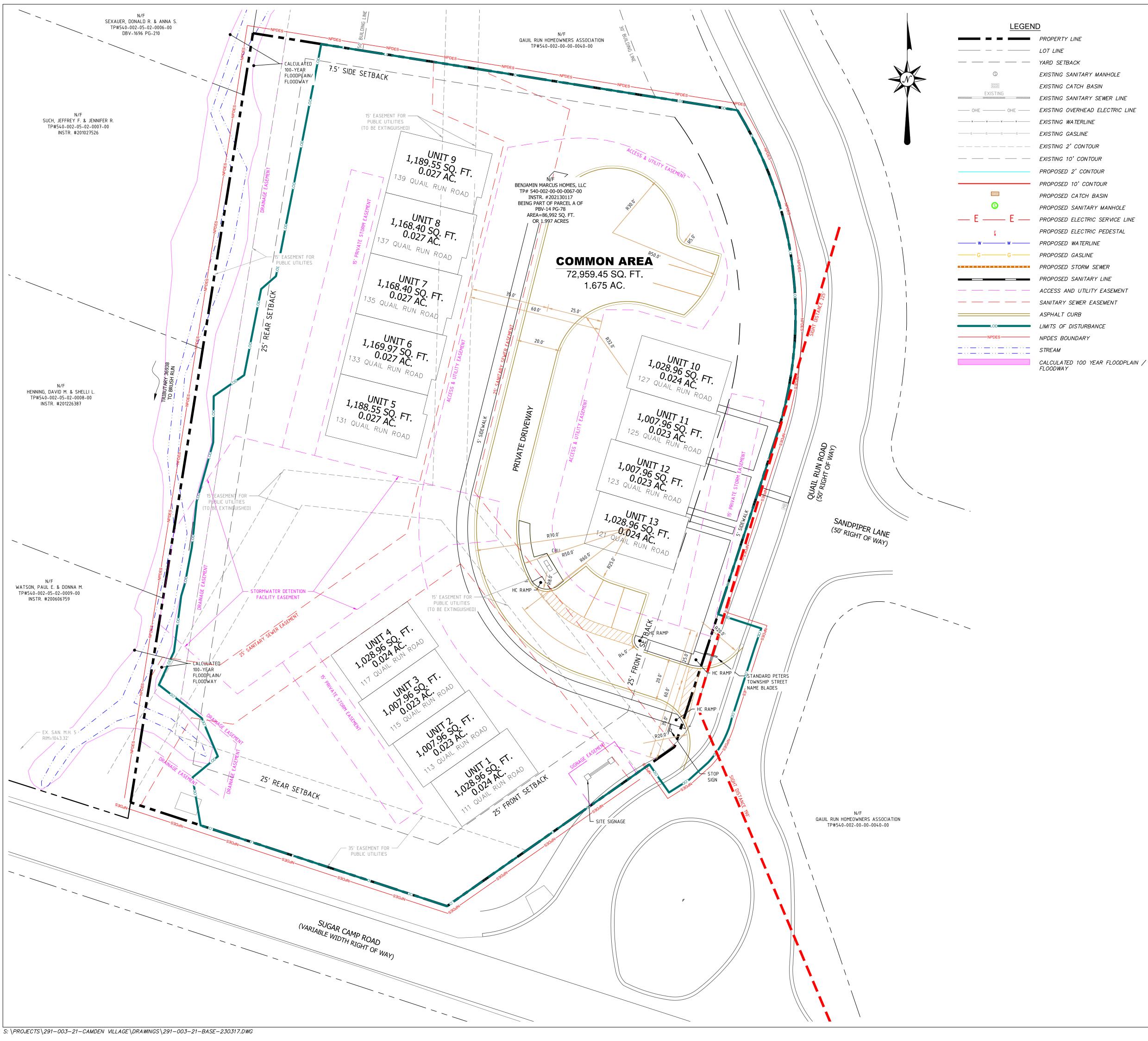
CHECKED BY: CWH

DEMOLITION

PLAN

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HOUSING UNIT TABLE

LOT NUMBER	LOT TYPE	LOT SIZE
LOT 1 – UNIT A	CONDOMINIUM	6,967.07 SQ. FT. – 0.395 AC.
LOT 1 – UNIT B	CONDOMINIUM	2,987.27 SQ. FT. – 0.069 AC.
LOT 1 – UNIT C	CONDOMINIUM	2,893.84 SQ. FT 0.066 AC.
LOT 1 – UNIT D	CONDOMINIUM	4,356.90 SQ. FT. – 0.100 AC.
LOT 2 – UNIT A	CONDOMINIUM	4,581.68 SQ. FT. – 0.105 AC.
LOT 2 – UNIT B	CONDOMINIUM	2,948.61 SQ. FT. – 0.068 AC.
LOT 2 – UNIT C	CONDOMINIUM	2,885.32 SQ. FT. – 0.066 AC.
LOT 2 – UNIT D	CONDOMINIUM	6.909.70 SQ. FT. – 0.159 AC.
LOT 3 – UNIT A	CONDOMINIUM	5,573.48 SQ. FT. – 0.128 AC.
LOT 3 – UNIT B	CONDOMINIUM	4,135.56 SQ. FT 0.095 AC.
LOT 3 – UNIT C	CONDOMINIUM	4,204.75 SQ. FT. – 0.096 AC.
LOT 3 – UNIT D	CONDOMINIUM	8,145.90 SQ. FT. – 0.187 AC.
LOT 3 – UNIT E	CONDOMINIUM	14,042.23 SQ. FT 0.322 AC.
COMMON AREA	OPEN SPACE	16,351.06 SQ. FT 0.375 AC.

13 TOTAL LOTS: 13 CONDOMINIUM LOTS (100%)

# ZONING COMPARISON CHART

	MD	CAMDEN VILLAGE
	TOWNHOUSE	TOWNHOUSE
MIN. LOT AREA	N/A	N/A
MAX D/U PER ACRE	7	6
MAX. BLDG. COVERAGE	35%	35%
MIN. FRONTAGE	N/A	N/A
MAX. BLDG. HEIGHT	45'	45'
MIN. FRONT YARD	25'	25'
MIN. SIDE YARD	7.5'	7.5'
MIN. REAR YARD	25'	25'
SITE AREA	2.0 ACRES	2.0 ACRES
OPEN SPACE	NOT REQUIRED	0.37 ACRES (19%)

## ZONING INFORMATION

ZONING: MINIMUM GROSS LOT:	MD (MEDIUM D 5 ACRES FOR			DISTRICT)
MAXIMUM GROSS DWELLING UNITS PER ACRE OR LOT:	7 GROSS			
MINIMUM PRINCIPAL BUILDING	SETBACKS:	FRONT — SIDE — REAR —	7.5 FEET	
MINIMUM ACCESSORY BUILDING	SETBACKS:	FRONT — SIDE — REAR —	7.5 FEET	
MAXIMUM BUILDING HEIGHT:	45 FEET MAXII	MUM		

MAXIMUM LOT COVERAGE: 35% \* UNITS CAN BE ON INDIVIDUAL LOTS OR CONDOMINIUM; NO MINIMUM LOT SIZE FOR INDIVIDUAL LOTS.

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## PARKING CHART:

1.5 / DU + <del>]</del> GUEST PARKING (5 STALL MAX IN ANY ONE AREA)

<u>PROVIDED</u> 26 SPACES

+6 GUESTS

<u>REQUIRED</u> 20 SPACES +4 GUEST



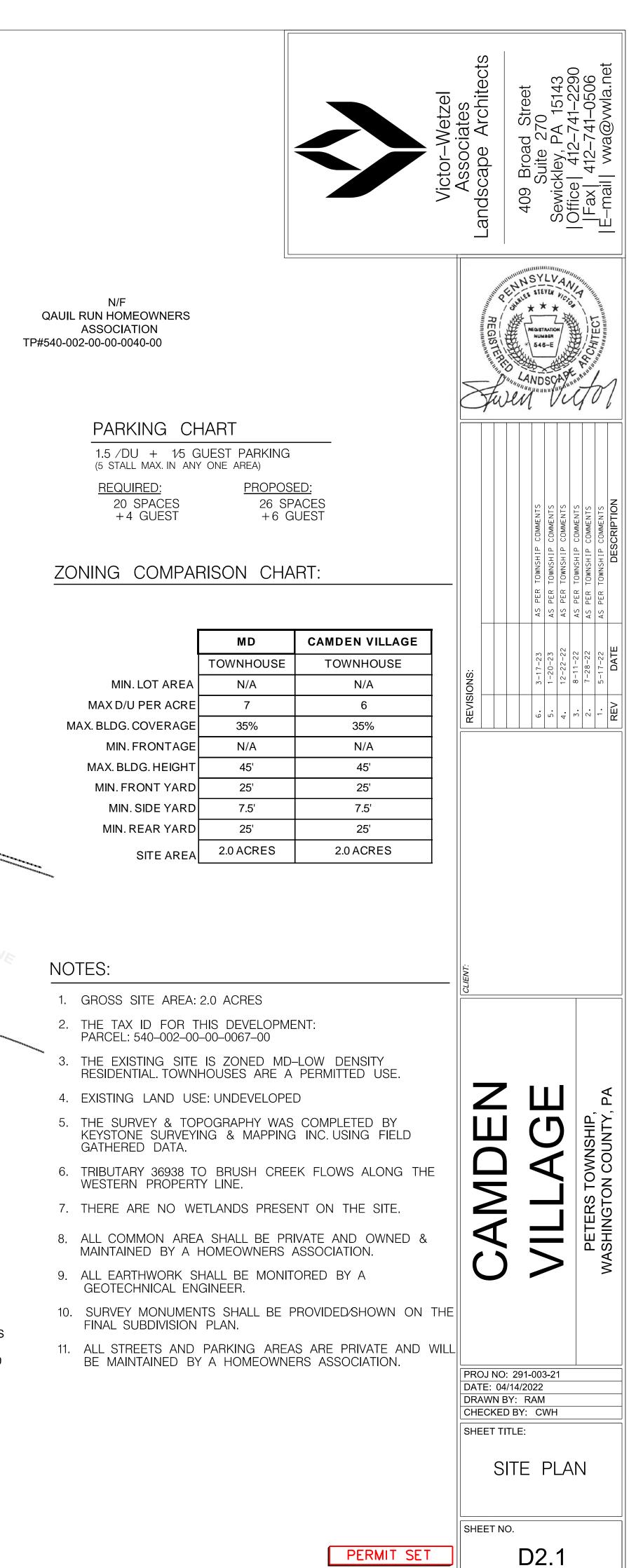
Know what's **below.** Call before you dig.



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CLIENT:			BENJAMIN			HON	; )			
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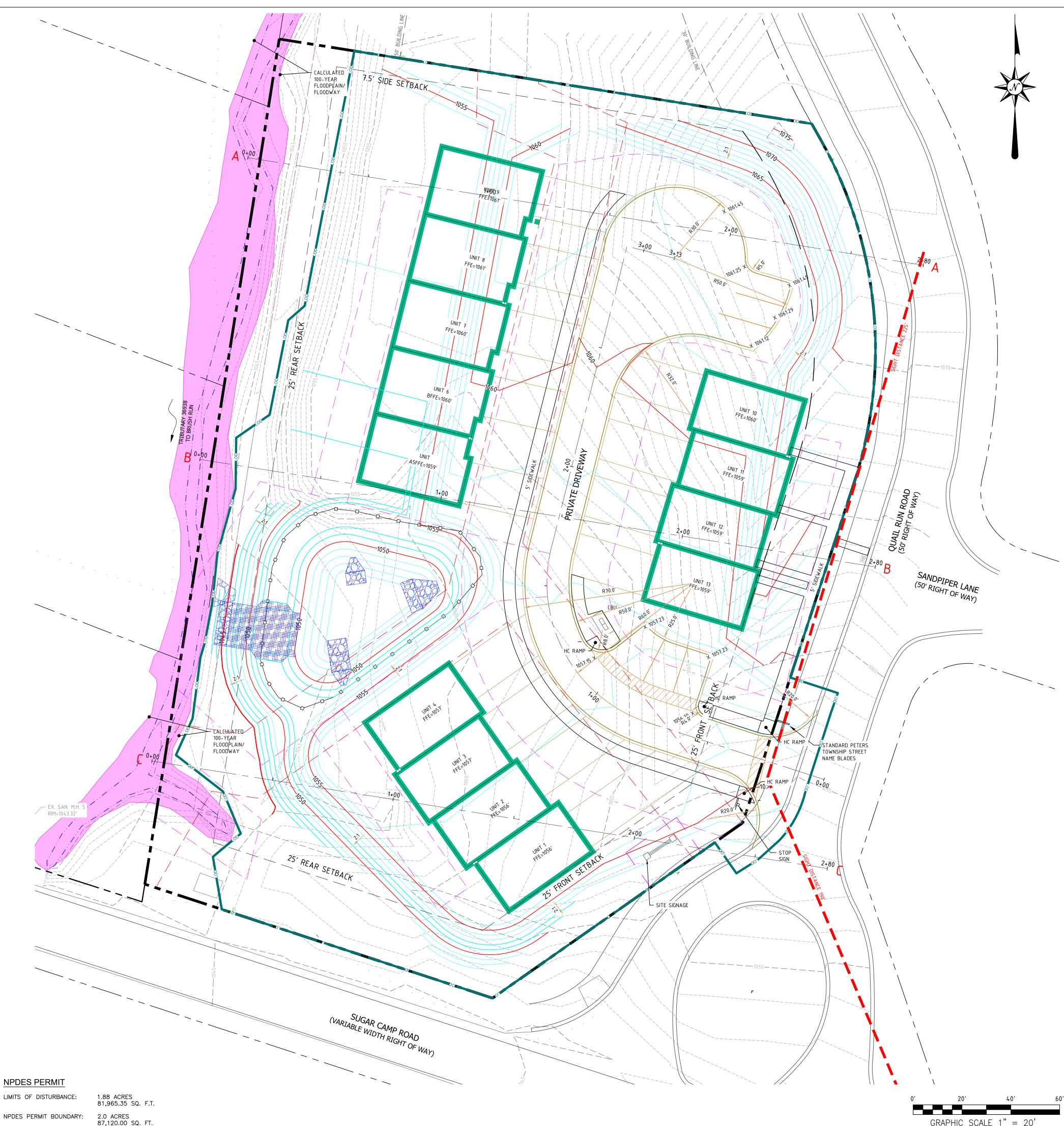
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NOT FOR CONSTRUCTIO





LEGEND PROPERTY LINE \_\_\_\_\_ \_\_ \_\_ \_\_ \_\_ \_\_ \_\_ LOT LINE YARD SETBACK \_\_\_\_\_ EXISTING SANITARY MANHOLE EXISTING CATCH BASIN EXISTING SANITARY SEWER LINE OHE OHE OHE EXISTING OVERHEAD ELECTRIC LINE \_\_\_\_\_G \_\_\_\_\_G \_\_\_\_\_G \_\_\_\_\_ EXISTING GASLINE — — — — — — — EXISTING 2' CONTOUR ----- --- EXISTING 10' CONTOUR PROPOSED 2' CONTOUR PROPOSED 10' CONTOUR PROPOSED CATCH BASIN  $\odot$ PROPOSED SANITARY MANHOLE ----- L ------ PROPOSED ELECTRIC SERVICE LINE PROPOSED ELECTRIC PEDESTAL G G PROPOSED GASLINE PROPOSED STORM SEWER PROPOSED SANITARY LINE ACCESS AND UTILITY EASEMENT \_\_\_\_\_ ----- SANITARY SEWER EASEMENT ASPHALT CURB LIMITS OF DISTURBANCE NPDES NPDES BOUNDARY STREAM CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

GRADING NOTES:

- 3. ALL ELEVATIONS ARE TO FINISHED GRADE.
- THROUGH THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
- EXCAVATING INTERIOR & PERIMETER FOOTINGS. EXACT BUILDING ENTRANCE LOCATIONS.
- AND STATE LAWS.

- UNLESS OTHERWISE NOTED.

- 14. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS
- STABILITY AND PREVENT SETTLEMENT.
- DEVELOPER.
- TOPSOIL AND MULCH AFTER FINAL GRADE IS REACHED.

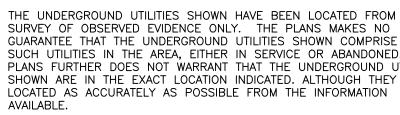
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# UTILITY NOTES



GRAPHIC SCALE 1" = 20'

. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.

2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

4. A SITE FOR EXCESS MATERIAL WILL BE DETERMINED AND THE APPROPRIATE PAPERWORK SHALL BE FILED WITH THE MUNICIPALITY PRIOR TO THE COMMENCEMENT OF EARTHWORK ACTIVITIES. NO WORK SHALL BE COMPLETED PRIOR TO APPROVAL OF AN EROSION AND SEDIMENTATION CONTROL PLAN

5. IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO

6. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND

7. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED, LOCAL MUNICIPAL REQUIREMENTS, APPLICABLE SECTIONS OF PADOT PUBLICATION 408 STANDARD SPECIFICATIONS AND STANDARDS FOR ROADWAY CONSTRUCTION, LATEST ADDITION AND ALL OTHER PERTINENT FEDERAL

8. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS. PROVISIONS AND POLICIES GOVERNING SAFETY AND HEALTH. INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.

9. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL AT 800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHOWN ARE APPROXIMATE AND THOSE SHOWN ARE NOT NECESSARILY ALL OF THE EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE, LOCATION AND SIZE OF ALL UTILITIES & UNDERGROUND STRUCTURES AND REPORT DISCREPANCIES TO NATIONAL SURVEY AND ENGINEERING PRIOR TO THE COMMENCEMENT OF WORK.

10. ALL ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS

11. ALL SLOPES SHALL BE 2:1 (HORIZONTAL: VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.

12. PAVEMENT SLOPES ACROSS HANDICAP PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2% OR IN ACCORDANCE WITH THE LATEST ADA STANDARDS.

13. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE REMOVAL AND/OR RELOCATION OF UTILITIES. SEE UTILITY PLAN FOR ADDITIONAL NOTES AND CONDITIONS.

PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLAND IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL PLAN PREPARED FOR THIS PROJECT.

15. THE CONTRACTOR SHALL PROOF ROLL THE SITE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER AND REMOVE ANY SOFT SOIL PRIOR TO THE IMPORTING OF ANY FILL MATERIAL.

16. THE CONTRACTOR SHALL COMPACT ALL FILL MATERIALS IN LIFTS NOT GREATER THAN 12" AND TO NO LESS THAN 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM S1557 TO PROVIDE

17. ALL AREAS NOT PAVED SHALL BE LANDSCAPED IN ACCORDANCE WITH THE PLANS, UNLESS NOTED OTHERWISE IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE

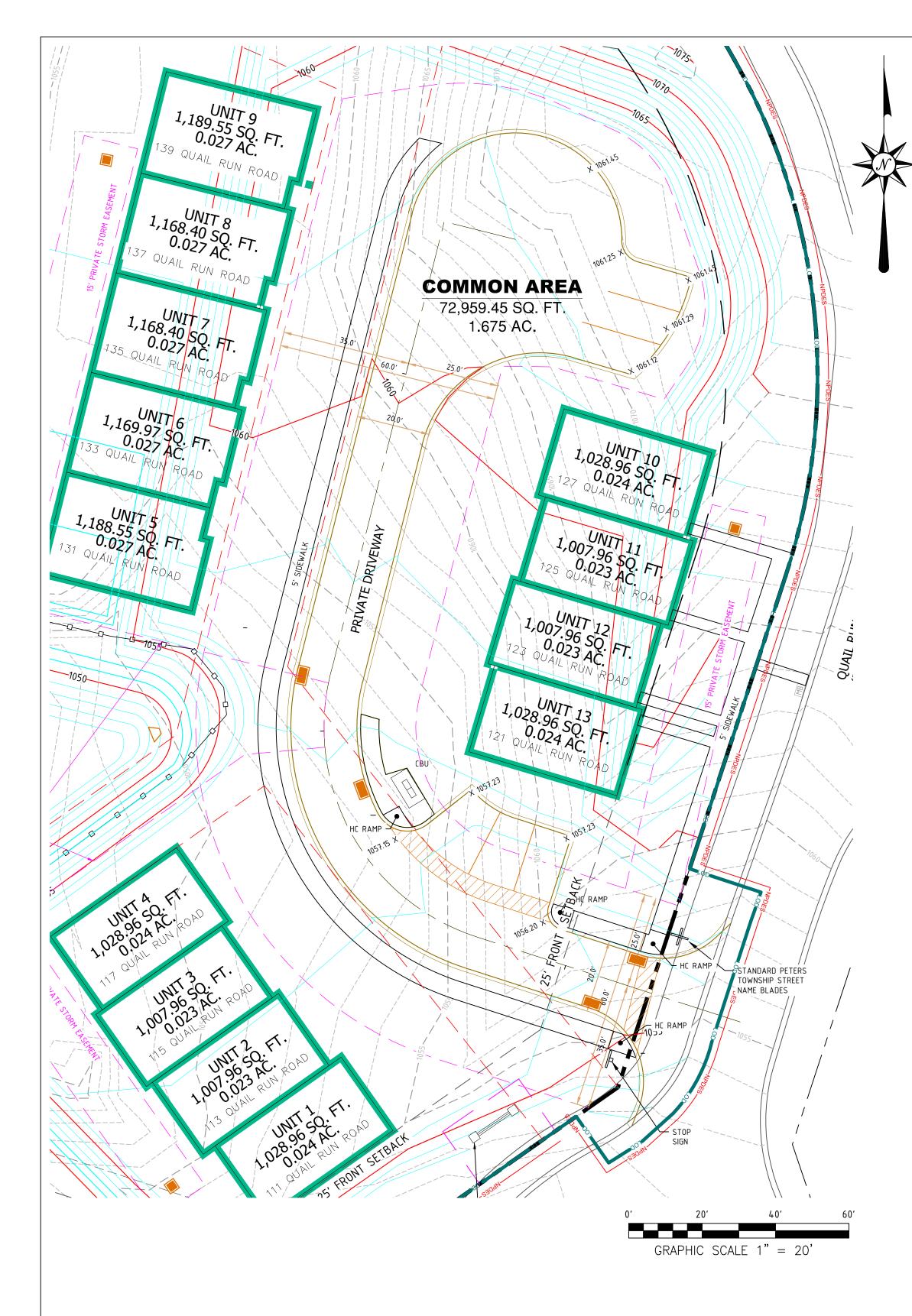
18. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD. 19. ALL DISTURBED AREAS, WHETHER NOTED ON THE PLANS OR NOT, SHALL BE PROVIDED WITH

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			11 3/17/2023	CONDO PLAN		www.kdhengineers.com
			REV DATE	DESCRIPTION		)

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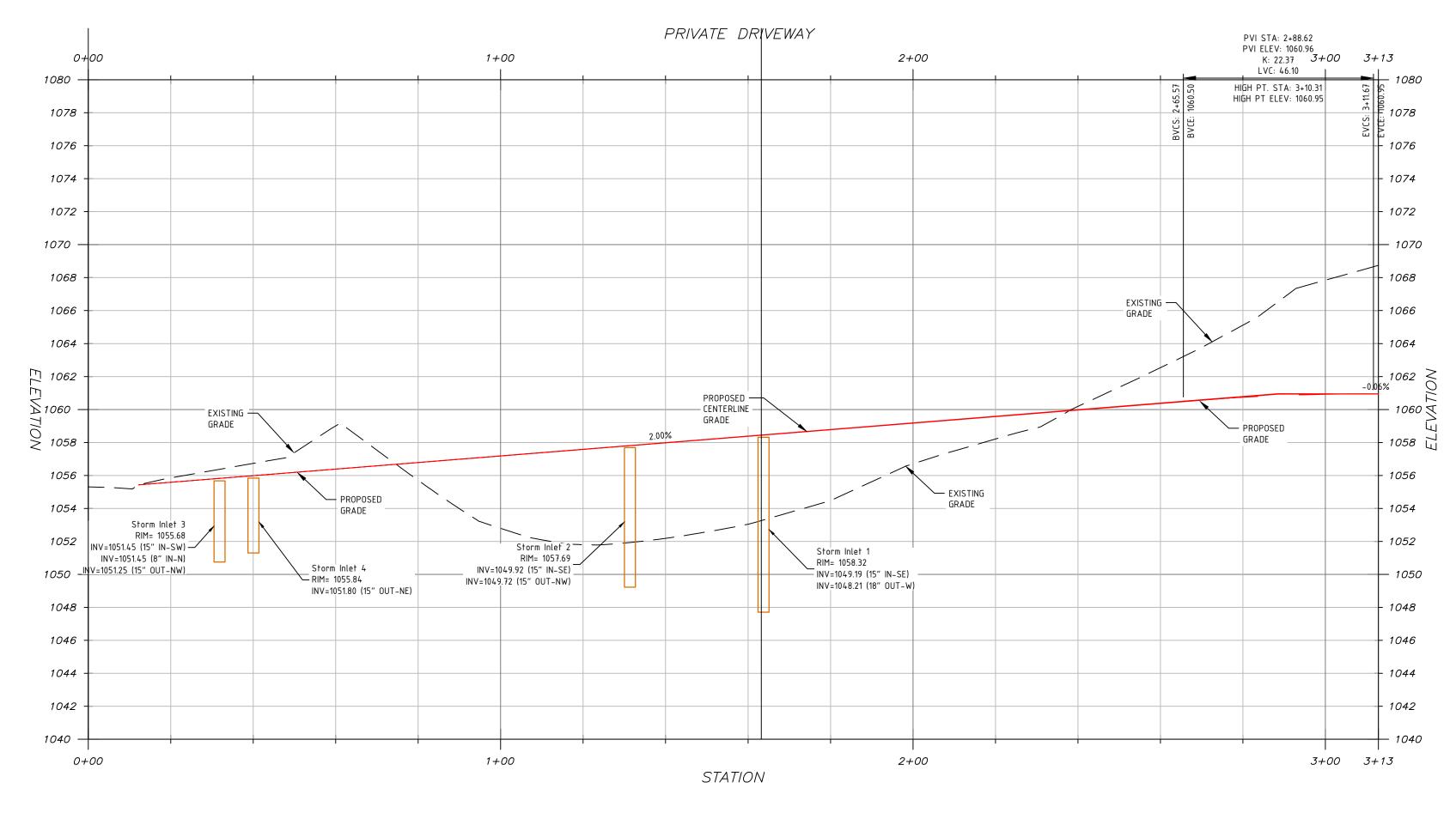
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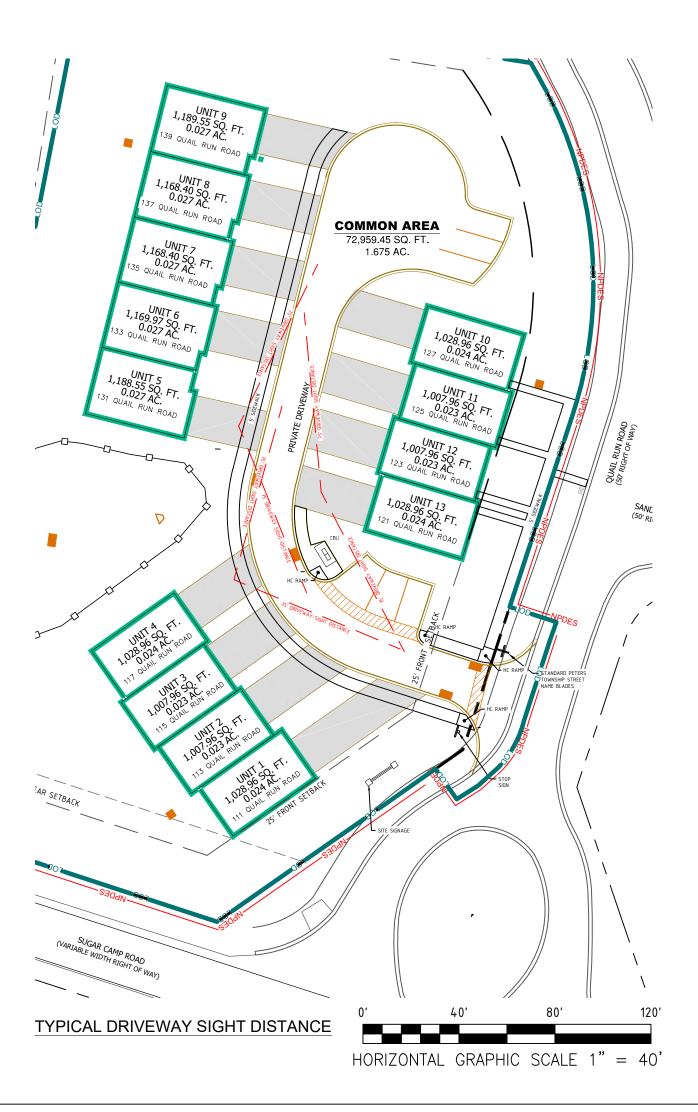
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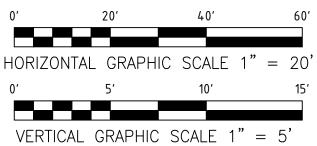
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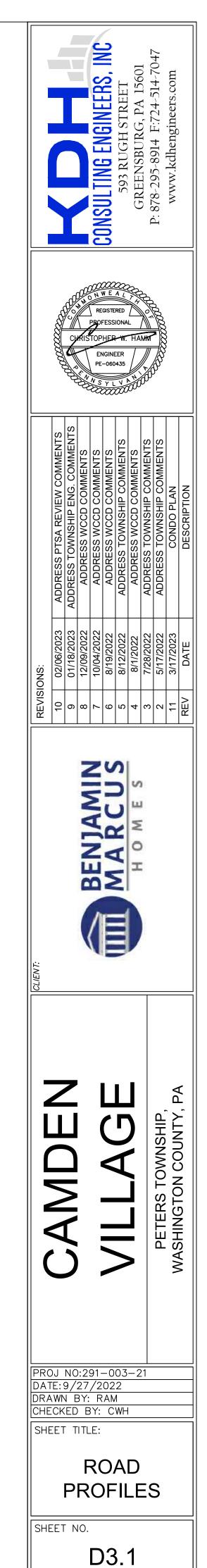
# NOTES:

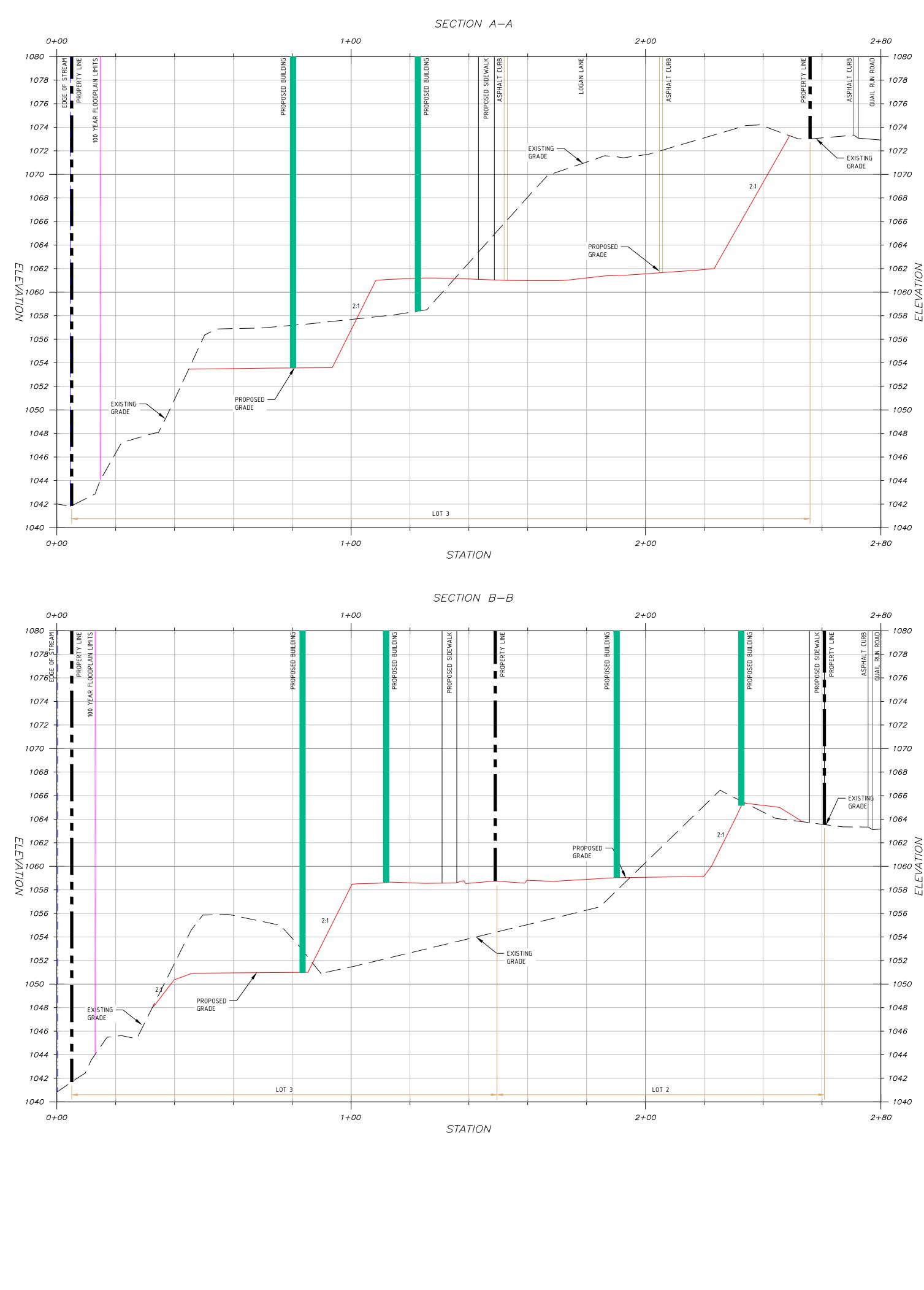
- 1. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER. 2. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN
- DATUM OF 1983 (NAD 83).

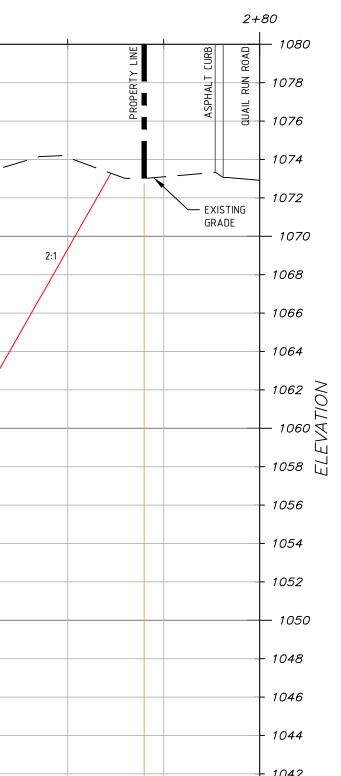


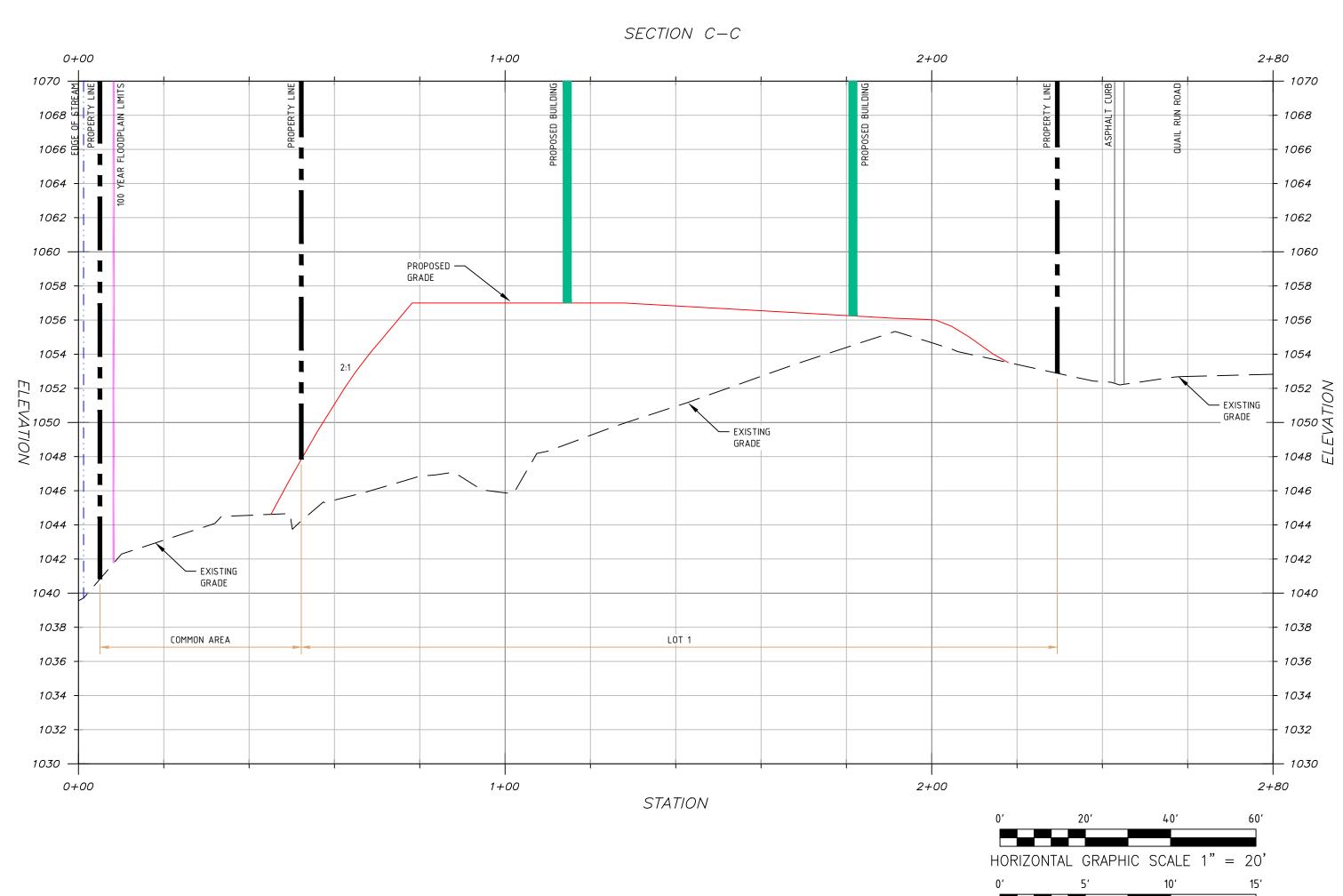












NOTES:

 ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.
 THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).

# **RECEIVING WATERS**

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

# **FLOODPLAIN**

THE SITE IS LOCATED IN ZONE X – AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

## NPDES PERMIT

LIMITS OF DISTURBANCE: NPDES PERMIT BOUNDARY: 2.0 ACRES

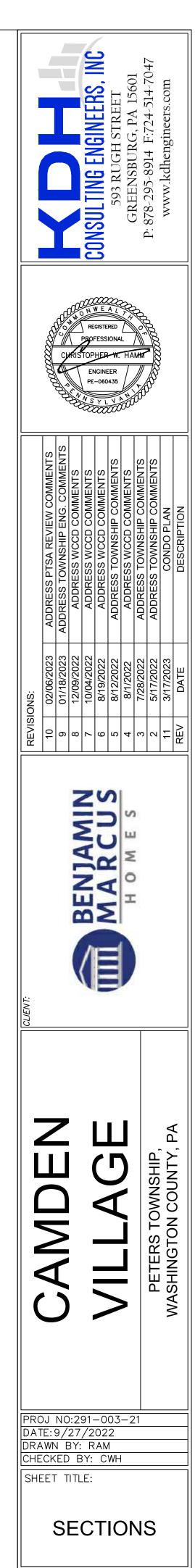
1.88 ACRES 81,965.35 SQ. F.T. 87,120.00 SQ. FT.

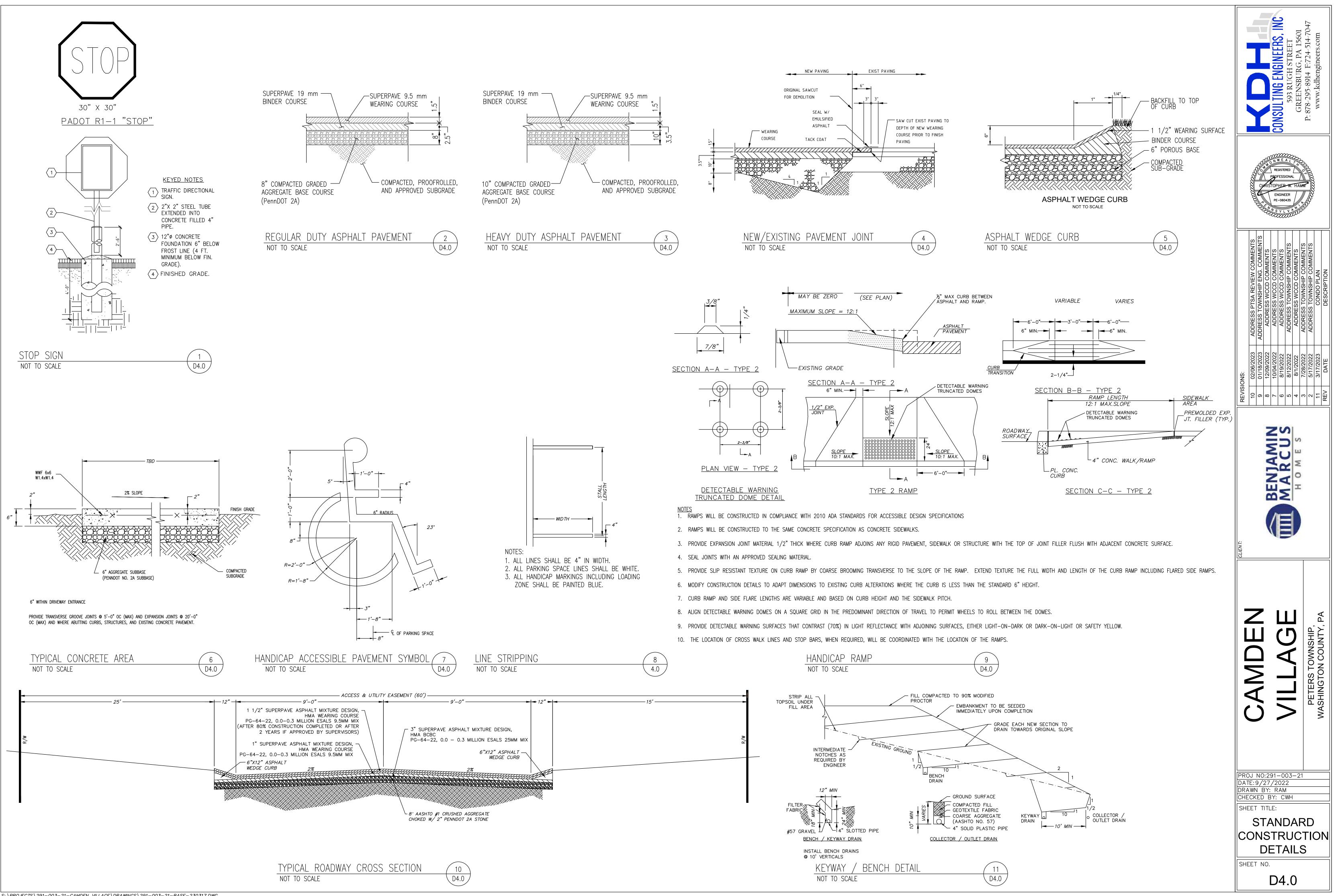
Know what's **below. Call before you dig.** 

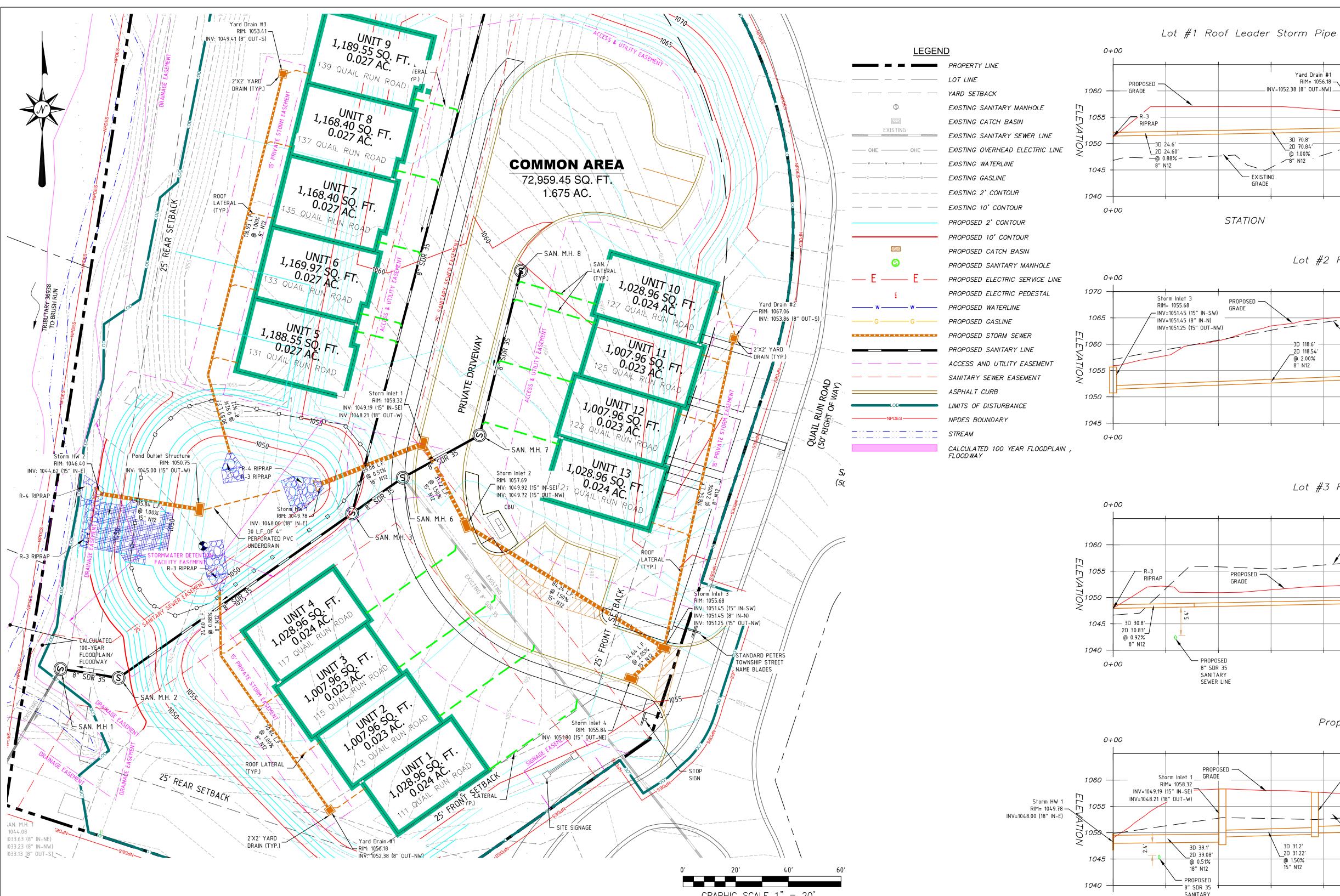
SHEET NO.

D3.2

VERTICAL GRAPHIC SCALE 1" = 5'







# STORMWATER SYSTEM NOTES:

- 1. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK SHOWN.
- 2. THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR SITE SAFETY.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS. CONTRACTOR TO FIELD VERIFY LOCATION, HORIZONTAL AND VERTICAL, AND SIZE OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL CALL PENNSYLVANIA ONE CALL AT 1-800-242-1776 TO NOTIFY THE UTILITIES OF HIS INTENTIONS AND TO REQUEST REQUIRED FIELD STAKING OF EXISTING UTILITIES.
- 4. THE CONTRACTOR SHALL CONSTRUCT ALL STORM DRAINAGE FACILITIES IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND ANY OTHER LOCAL STATE OR FEDERAL CODES.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING PROPOSED CONNECTIONS TO EXISTING FACILITIES WITH THE APPROPRIATE AGENCY, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.
- 6. TRENCH RESPONSIBILITY INCLUDES EXCAVATIONS, BACKFILL, COMPACTION AND MAINTENANCE OF THE TRENCH.
- 7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE CONSTRUCTION SAFETY SIGNAGE WHILE WORKING IN PUBLIC RIGHT-OF-WAY AND EASEMENTS.
- 8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE COST OF THE IMPROVEMENTS.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- 10. ALL PIPE LENGTHS ARE MEASURED FROM INSIDE WALL OF STRUCTURE.

STORMWATER SYSTEM NOTES CONT .:

- 11. THE ORIENTATION OF THE INLETS SHALL REMAIN CONSISTENT, AS SHOWN ON THE PLANS, TO PROVIDE OPTIMUM DRAINAGE CONTROL. ANY ACCOMMODATIONS REQUIRED FOR LARGER PIPE SIZES AND/OR PIPE CONFIGURATION SHALL BE ADDRESSED BY USING MODIFIED STRUCTURES IN ACCORDANCE WITH THE RC STANDARDS.
- 12. SEE "PADOT STANDARDS FOR ROADWAY CONSTRUCTION" CURRENT EDITION FOR DETAILS PERTAINING TO TYPE C AND TYPE M INLETS AND STORM SEWER MANHOLES. MATERIALS AND SIZING OF STRUCTURES SHALL BE IN ACCORDANCE WITH THESE STANDARDS.
- 13. CONTRACTOR TO EXCAVATE AT ALL UTILITY CROSSINGS PRIOR TO INSTALLATION TO CONFIRM CROSSING CAN BE INSTALLED AS SHOWN.
- 14. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83). 15. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

# NOTE:

- 1. POND 1-INFILTRATION BASIN SHALL BE OWNED AND MAINTAINED BY THE CAMDEN VILLAGE HOA.
- THE STORM SEWERS ARE TO REMAIN PRIVATE. 3. THE OPEN SPACE SHALL BE DEDICATED TO THE CAMDEN VILLAGE HOA.

GRAPHIC SCALE 1" = 20'

# **RECEIVING WATERS**

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

# FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

# UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

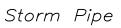
# NPDES PERMIT

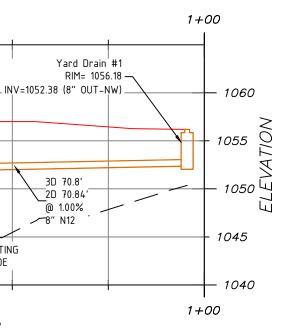
LIMITS OF DISTURBANCE: NPDES PERMIT BOUNDARY: 2.0 ACRES

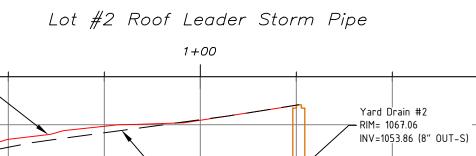
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1.88 ACRES 81,965.35 SQ. F.T. 87,120.00 SQ. FT.

SEWER LINE

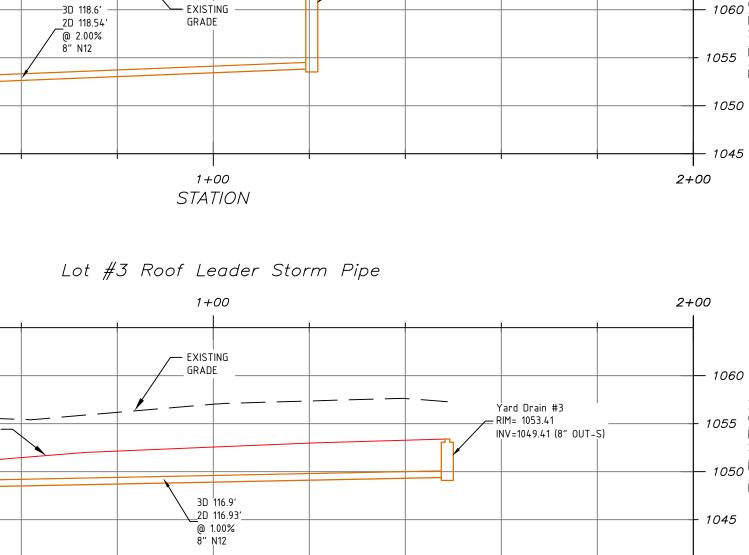


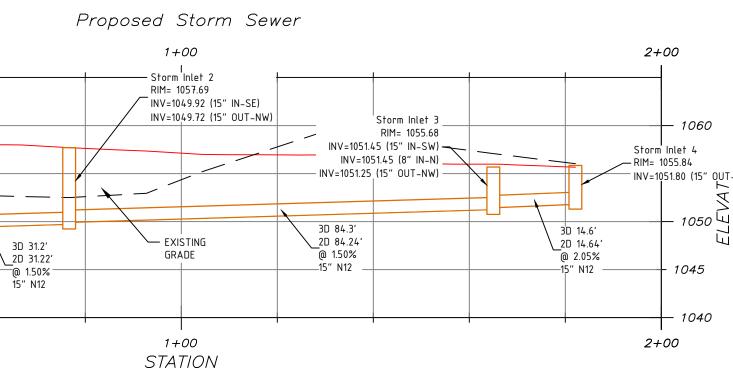




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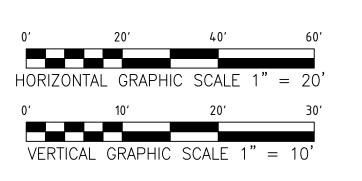
STATION





# UTILITY TRENCHING NOTES:

- 1. THE EXCAVATED MATERIAL FROM TRENCHING SHALL BE PLACED ON THE UPSLOPE SIDE OF THE TRENCH.
- 2. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
- 3. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.
- 4. ANY BMP'S AFFECTED BY TRENCHING AND BACKFILLING OPERATIONS SHALL BE REPAIRED AND STABILIZED IMMEDIATELY.





Know what's **below**. Call before you dig.

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2 1 WH <b>S</b>			5 8/12/2022	ADDRESS TOWNSHIP COMMENTS	IONA W.	593 RUGH STREET
E 8 _E		HOMES	4 8/1/2022	ADDRESS WCCD COMMENTS	A L HA	GREENSRIDG DA 15601
× V			3 7/28/2022	ADDRESS TOWNSHIP COMMENTS		
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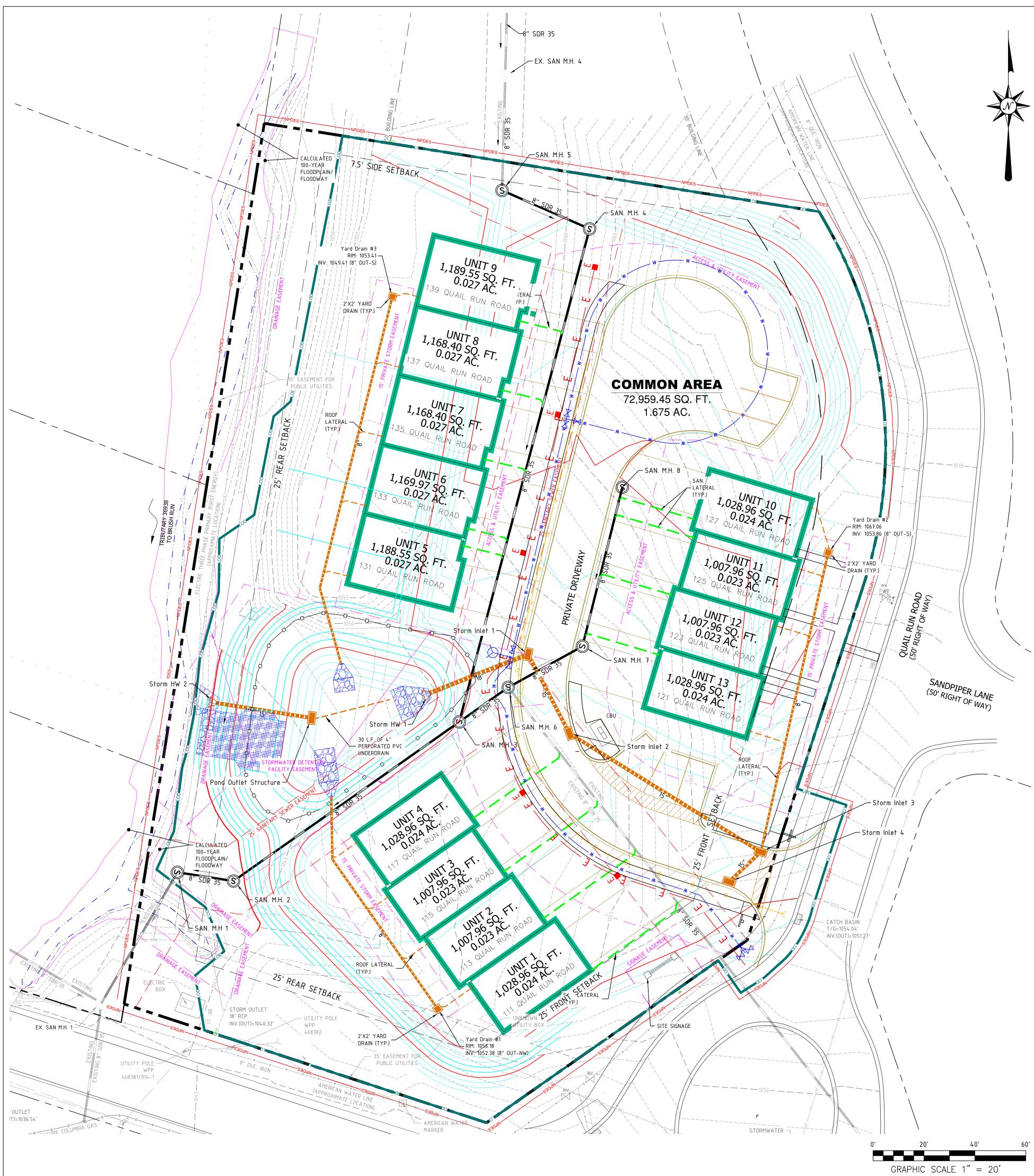
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PROPERTY LINE OT LINE ARD SETBACK KISTING SANITARY MANHOLE KISTING CATCH BASIN KISTING SANITARY SEWER LINE KISTING OVERHEAD ELECTRIC LINE XISTING WATERLINE KISTING GASLINE XISTING 2' CONTOUR KISTING 10' CONTOUR ROPOSED 2' CONTOUR ROPOSED 10' CONTOUR ROPOSED CATCH BASIN ROPOSED SANITARY MANHOLE ROPOSED ELECTRIC SERVICE LINE ROPOSED ELECTRIC PEDESTAL ROPOSED WATERLINE ROPOSED GASLINE ROPOSED STORM SEWER ROPOSED SANITARY LINE CCESS AND UTILITY EASEMENT ANITARY SEWER EASEMENT SPHALT CURB IMITS OF DISTURBANCE PDES BOUNDARY TREAM

FLOODWAY

# UTILITY NOTES:

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- 2. THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR SITE SAFETY. 3. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT
- OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS. CONTRACTOR TO FIELD VERIFY LOCATION, HORIZONTAL AND VERTICAL, AND SIZE OF ALL EXISTING UTILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL CALL PENNSYLVANIA ONE CALL AT 1-800-242-1776 TO NOTIFY THE UTILITIES OF HIS INTENTIONS AND TO REQUEST REQUIRED FIELD STAKING OF EXISTING UTILITIES.
- 4. THE CONTRACTOR SHALL INSTALL ALL SANITARY SEWER FACILITIES TO MEET THE REQUIREMENTS OF THE PETERS TOWNSHIP SANITARY AUTHORITY'S RULES AND REGULATIONS.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY/OWNER, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.
- 6. TRENCH RESPONSIBILITY INCLUDES EXCAVATIONS, BACKFILL, COMPACTION AND MAINTENANCE OF THE TRENCH.
- 7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE CONSTRUCTION SAFETY SIGNAGE WHILE WORKING IN PUBLIC RIGHT-OF-WAY AND EASEMENTS.
- 8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE COST OF THE IMPROVEMENTS.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- 10. ALL PIPE LENGTHS ARE MEASURED FROM INSIDE WALL OF STRUCTURE.
- 11. CONTRACTOR TO EXCAVATE AT ALL UTILITY CROSSINGS PRIOR TO INSTALLATION TO CONFIRM CROSSING CAN BE INSTALLED AS SHOWN.
- 12. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 13. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- 14. DUE TO PROXIMITY TO THE STREAM, SAN MH 1, AND SAN MH 2 SHALL HAVE WATERTIGHT LIDS.
- 15. ALL TERMINAL MANHOLES SHALL HAVE VENTED MANHOLE LIDS.
- OF RIMS OF PLUMBING DRAINAGE FIXTURES (DENOTED BY LOWEST FINISHED FLOOR ELEVATION) ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE, BACKWATER VALVES ARE REQUIRED. THE FOLLOWING LOTS PER DESIGN REQUIRE A BACK WATER VALVE: LOT 1, UNIT A. LOT 1 UNIT B. LOT 1 UNIT C, LOT 1 UNIT D, AND LOT 1 UNIT E. IF MANHOLE OR GRADING CHANGES, REQUIREMENT FOR BACKWATER VALUES MUST BE VERIFIED.
- 17. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

# UTILITY TRENCHING NOTES:

- 1. THE EXCAVATED MATERIAL FROM TRENCHING SHALL BE PLACED ON THE UPSLOPE SIDE OF THE TRENCH.
- 2. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
- 3. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.
- 4. ANY BMP'S AFFECTED BY TRENCHING AND BACKFILLING OPERATIONS SHALL BE REPAIRED AND STABILIZED IMMEDIATELY.

# ELECTRICAL PEDESTAL NOTES:

1. ALL ELECTRICAL PEDESTALS MUST BE INSTALLED WITH A MINIMUM 3' SEPARATION FOR SANITARY SEWER LINES AND MANHOLES.

# **RECEIVING WATERS**

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# FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT BOUNDARY:



Know what's **below**.

2.0 ACRES 87,120.00 SQ. FT.

NPDES PERMIT LIMITS OF DISTURBANCE:

1.88 ACRES 81,965.35 SQ. F.T.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD

GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE

PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES

SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE

SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO

LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION

Call before you dig.

SHEET NO. D6.0

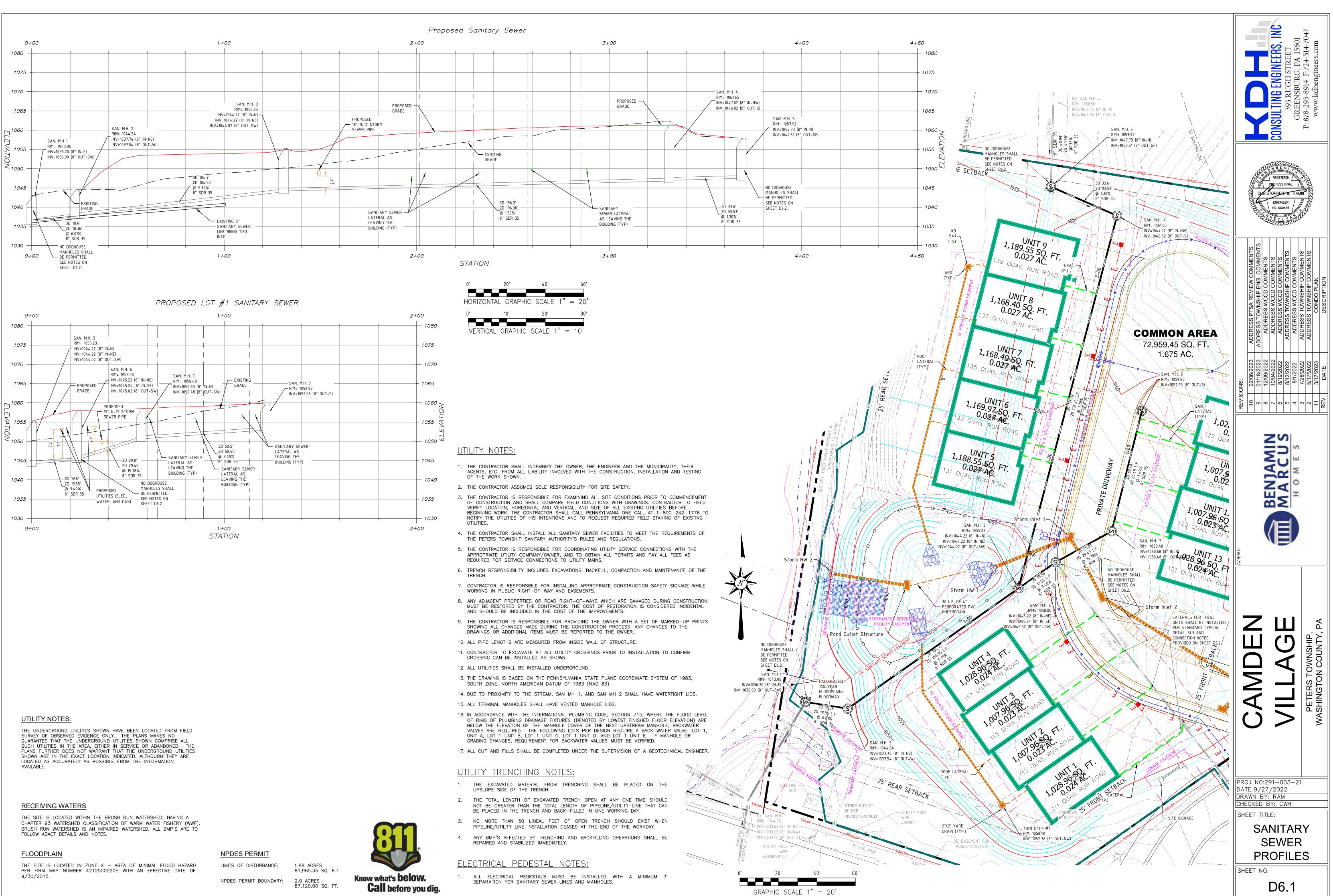
AVAILABLE.

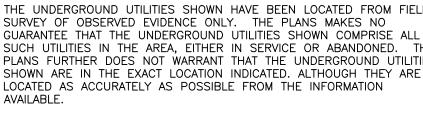
UTILITY NOTES:

16. IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, SECTION 715, WHERE THE FLOOD LEVEL

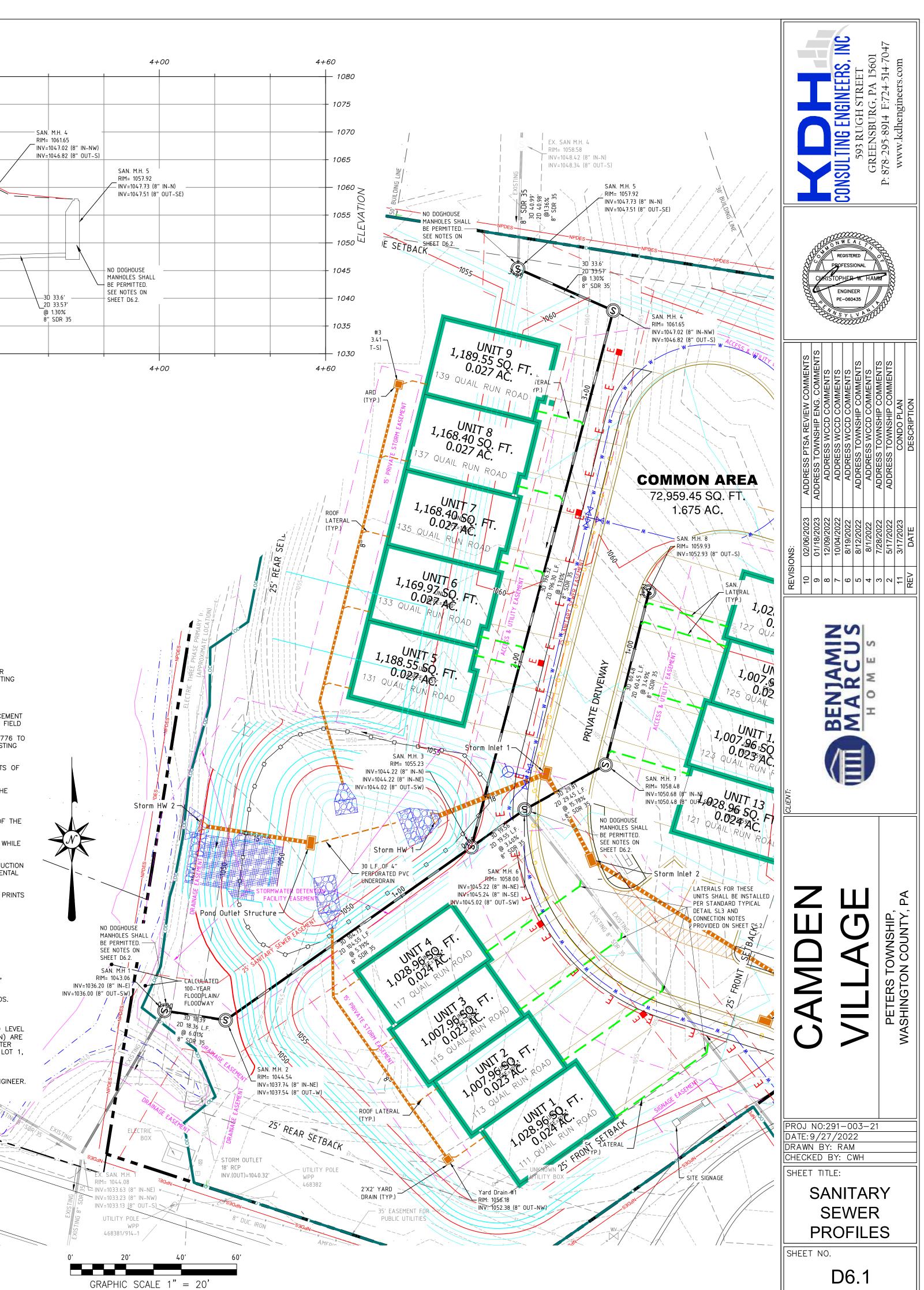
ALCULATED 100 YEAR FLOODPLAIN /

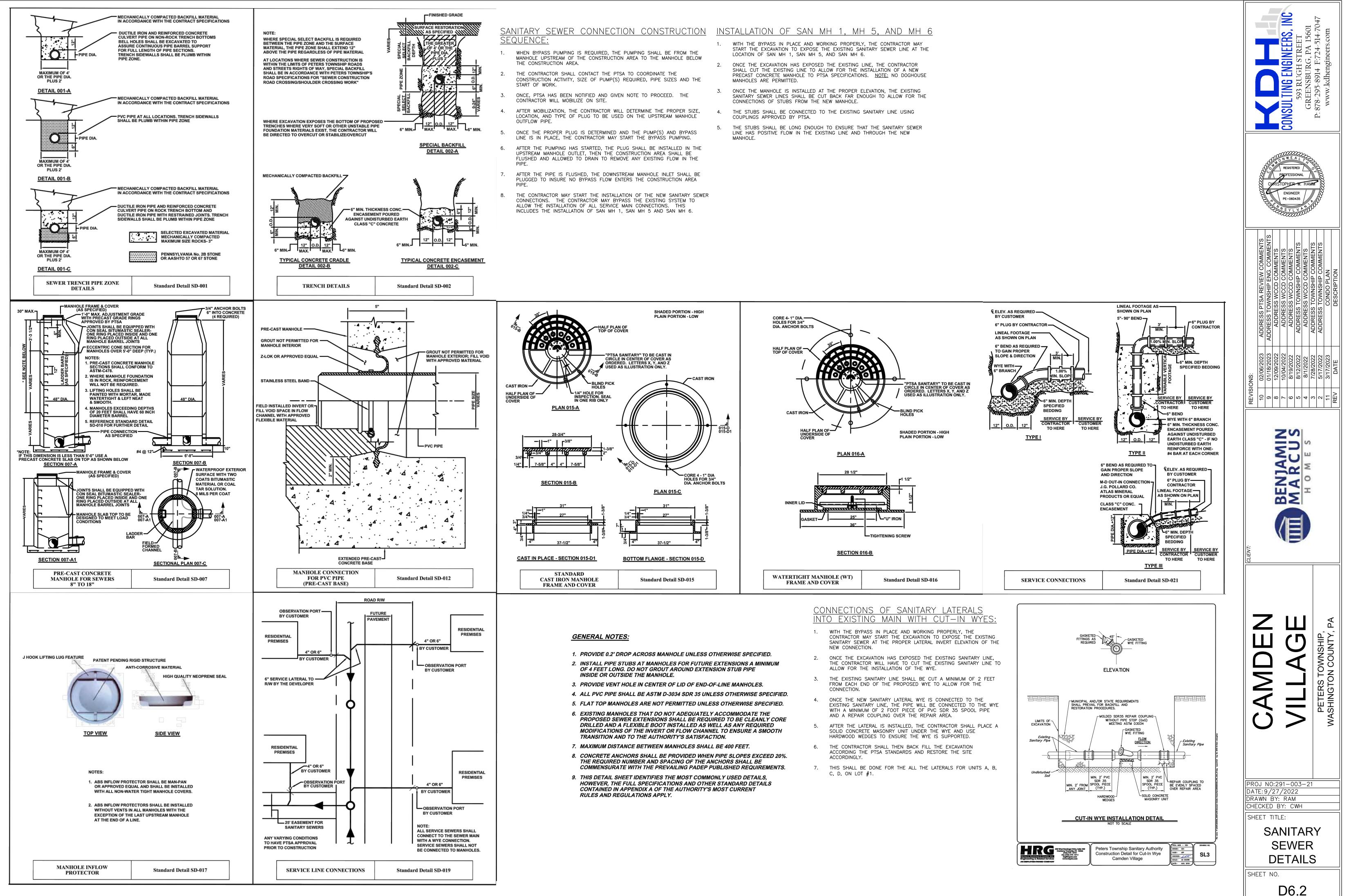
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	HOMES	4 8/	8/1/2022	ADDRESS WCCD COMMENTS		GREENSRIPC DA 15601
		3 7/2	7/28/2022	ADDRESS TOWNSHIP COMMENTS		
PETERS TOWNSHIP.		2 5/1	5/17/2022	ADDRESS TOWNSHIP COMMENTS		/+0/~+IC-+7/:4 +I68~C67~8/8.7
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		REV	DATE	DESCRIPTION		

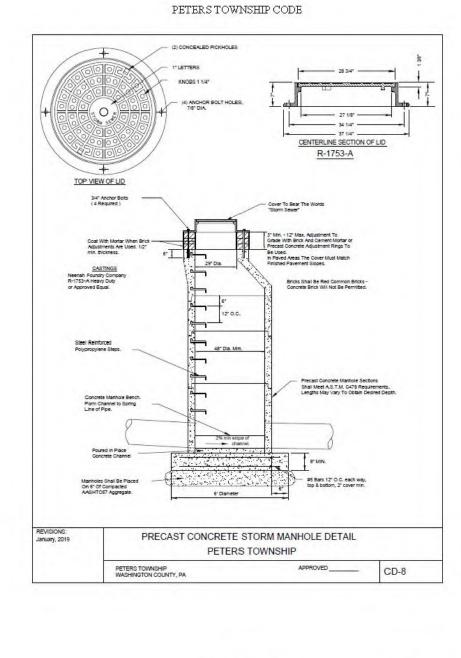






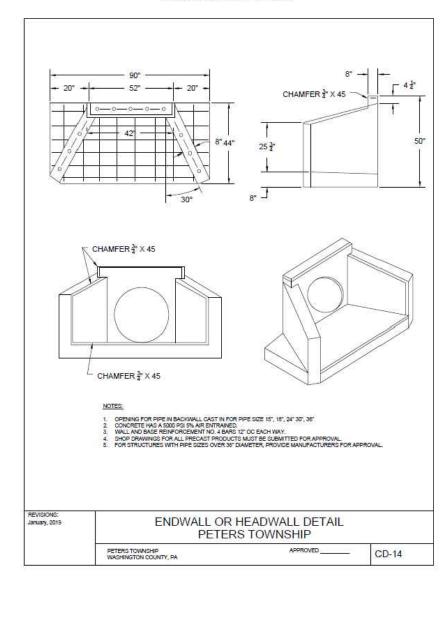






385 Attachment 3:30 Supp 23, Dec 2019

PETERS TOWNSHIP CODE



385 Attachment 3:36

Supp 23, Dec 2019

MIN. 6" SUBBASE OR MATCH EXISTING GEOTEXTILE CLOTH (300 LB MIN: ROLL, 602 PER SQ. YD.) WOVEN FABRIC - CLASS IV NOTE: 2 YEAR GUARANTEE REQUIRED FOR ALL PERMANENT RESTORATION (SEE CHAPTER 22 OF TOWNSHIP CODE) 1' CUTBACK UTILITY TRENCH 1' CUTBACK UTILITY TRENCH 1' CUTBACK ALL MATERIALS USED & INSTALLATION PROCEDURES SHALL CONFORM TO PA DOT PUB 408 MOST RECENT EDITION PERMANENT RESTORATION -2" BITUMINOUS MATERIAL (COLD PATCH OR H.M.A) EX. WEARING COURSE EX. BASE COURSE FULL DEPTH SAWCUT (ALL SIDES) EX. SUB-BASE EX. SUB-GRADE - COMPACTED AGGREGATE PA D.O.T. #2A 1) NO OPENING MAY BE MADE FOR GREATER THAN 250 LINEAR FEET AT ONE TIME, UNLESS AUTHORIZED BY THE PERMIT. 2) TEMPORARY RESTORATION SHALL BE COMPLETED BEFORE TRAFFIC IS ALLOWED BACK ONTO THE DISTURBED AREA AND SUCH TEMPORARY RESTORATION SHALL BE MADE WITHIN 24 HOURS OF BACKFILLING TO GRADE. 3) BETWEEN APRIL 15 AND OCTOBER 15, PERMANENT REPAIRS MUST BE MADE WITHIN 25 DAYS OF COMPLETION OF THE STREET OPENIN OTHERWISE, TEMPORARY PAVEMENT MAY BE KEPT IN PLACE FOR UP TO 6 MONTHS OR AS SPECIFIED IN THE PERMIT. IF PROPERLY MAINTAINED BY THE APPLICANT. MAINTAINED BY THE APPLICANT. TEMPORARY RESTORATION BITUMINOUS PAVEMENT RESTORATION January, 2019 PETERS TOWNSHIP PETERS TOWNSHIP WASHINGTON COUNTY, PA APPROVED CD-7 385 Attachment 3:29 Supp 23, Dec 2019

SUBDIVISION AND LAND DEVELOPMENT

ASPHALT PATCH TO BE SEALED A 12" WIDE STRIP OF PG-64-22 ON ALL SIDES

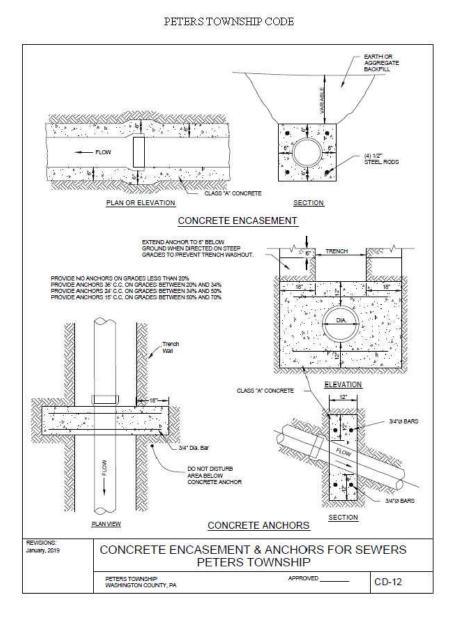
FULL LANE MILL & OVERLAY MAY BE REQUIRED (SEE DETA CD-7a)

- 4' MIN. --

1-1/2" SUPERPAVE 9.5mm - FINE GRADE WEARING COURSE

IF IT EXCEEDS 5" IN DEPTH.

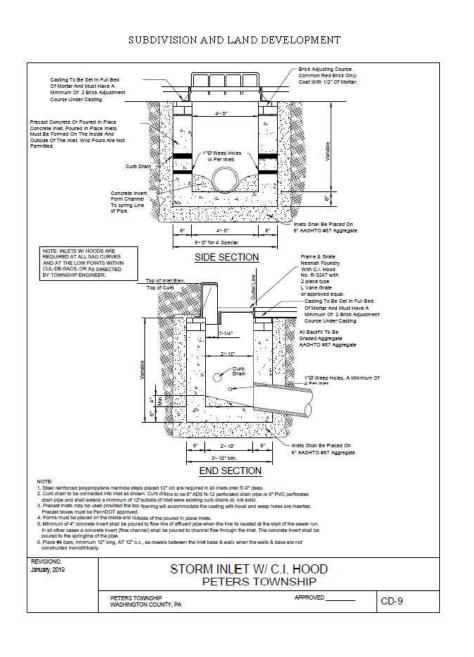
MENT SECTION



385 Attachment 3:34

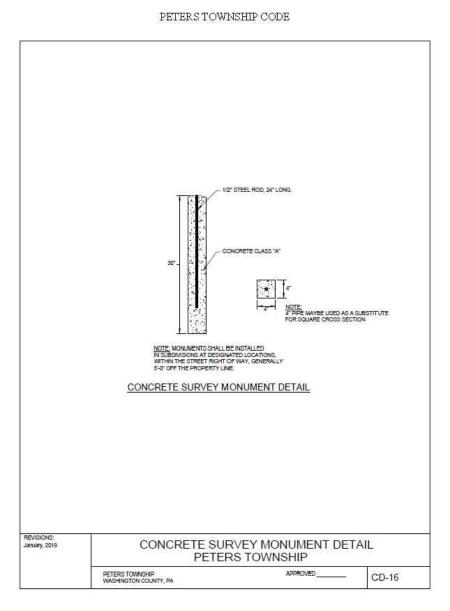
Supp 23, Dec 2019

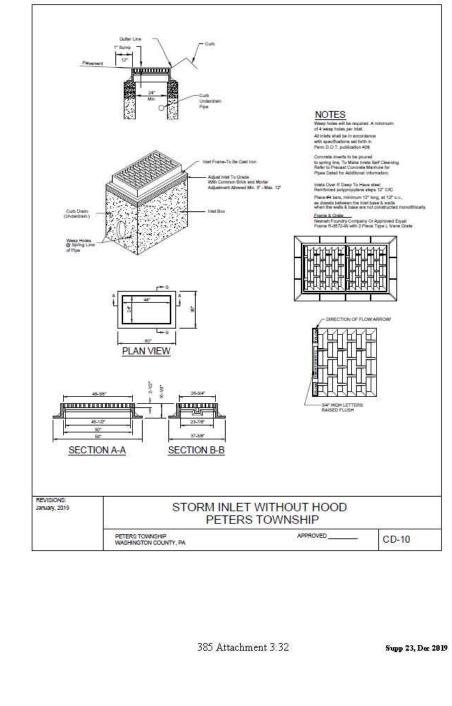
S: \PROJECTS \291-003-21-CAMDEN VILLAGE \DRAWINGS \291-003-21-BASE-230317.DWG



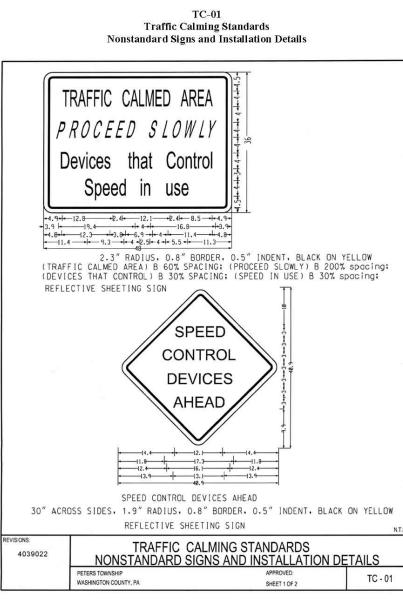
385 Attachment 3:31

Supp 23, Dec 2019





PETERS TOWNSHIP CODE

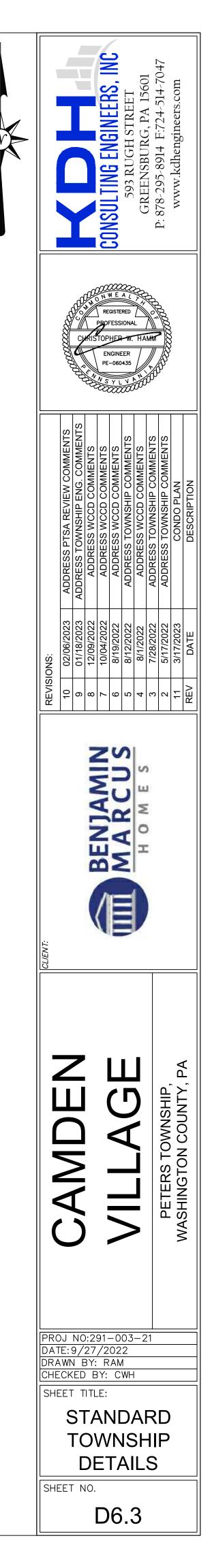


SUBDIVISION AND LAND DEVELOPMENT

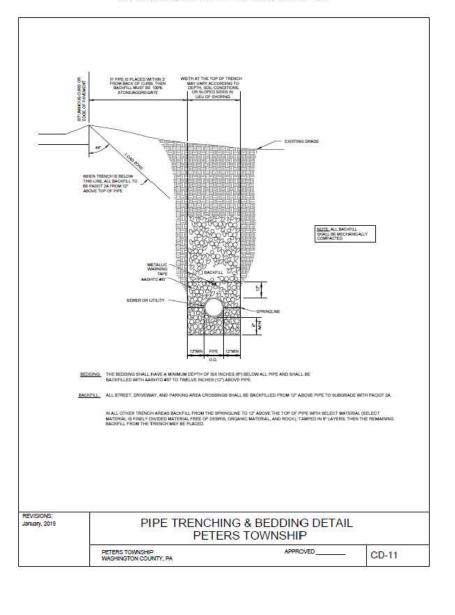
385 Attachment 3:3

Supp 23, Dec 2019

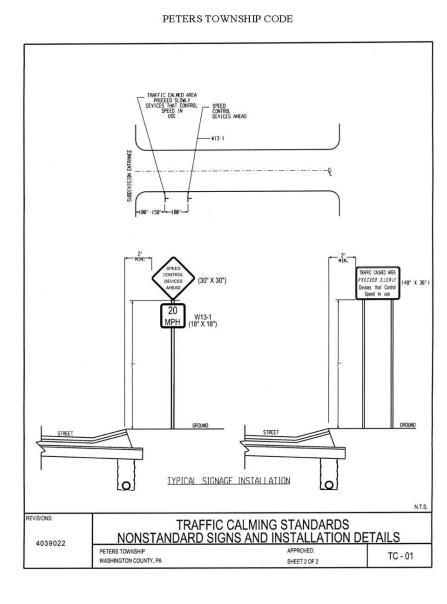
385 Attachment 3:38







385 Attachment 3:33

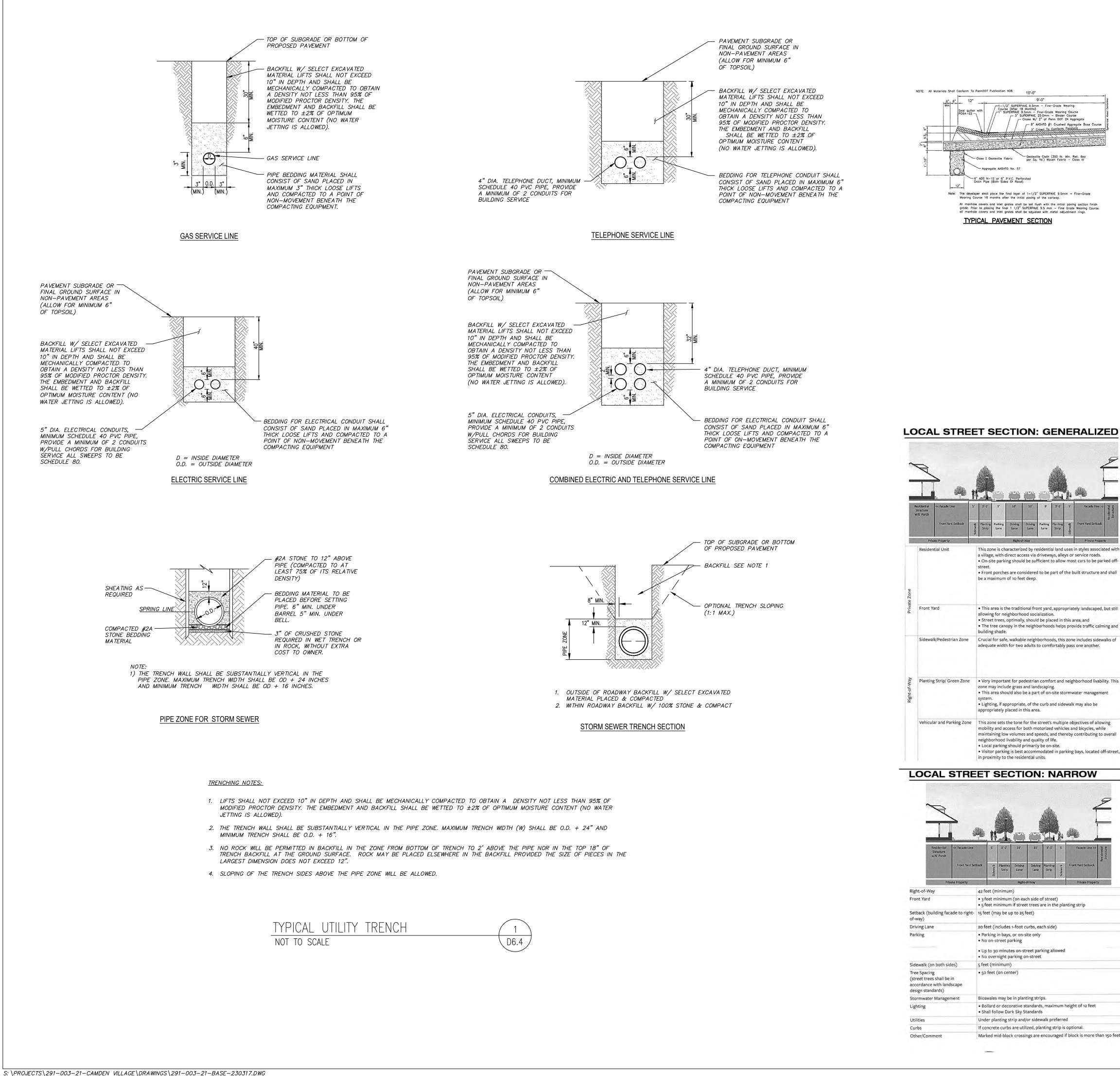


385 Attachment 3:4

02 - 01 - 2016

Supp 23, Dec 2019

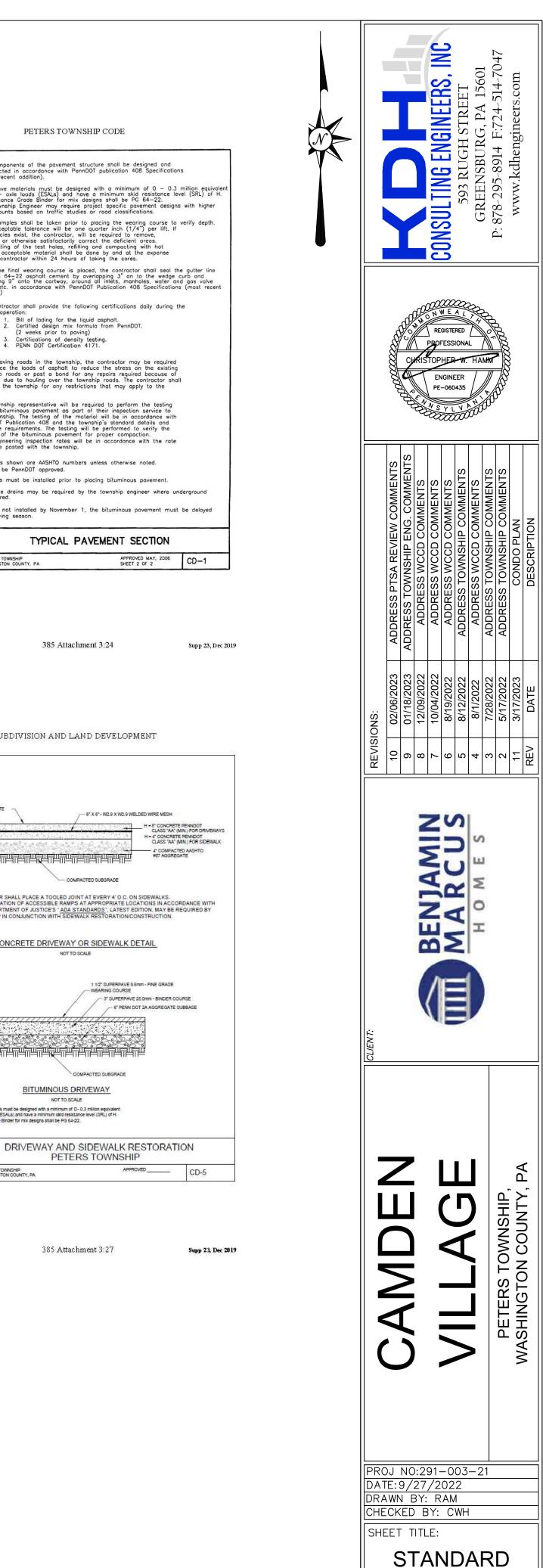
02 - 01 - 2016



# Property This zone is characterized by residential land uses in styles associated with On-site parking should be sufficient to allow most cars to be parked off- Front porches are considered to be part of the built structure and shall • This area is the traditional front yard, appropriately landscaped, but still allowing for neighborhood socialization. Street trees, optimally, should be placed in this area; and • The tree canopy in the neighborhoods helps provide traffic calming and Sidewalk/Pedestrian Zone Crucial for safe, walkable neighborhoods, this zone includes sidewalks of adequate width for two adults to comfortably pass one another. Planting Strip/ Green Zone • Very important for pedestrian comfort and neighborhood livability. This zone may include grass and landscaping. This area should also be a part of on-site stormwater management Lighting, if appropriate, of the curb and sidewalk may also be appropriately placed in this area. Vehicular and Parking Zone This zone sets the tone for the street's multiple objectives of allowing mobility and access for both motorized vehicles and bicycles, while maintaining low volumes and speeds, and thereby contributing to overall neighborhood livability and quality of life. Local parking should primarily be on-site. Visitor parking is best accommodated in parking bays, located off-street, in proximity to the residential units.

# LOCAL STREET SECTION: NARROW

		<b>P</b>					troop of the second	]	8		
Residential Structure w/6' Porch	Facade Line	5'	3'-5'	10'	10'	3'-5'	5'	Facade Line >>	lesidential Structure		
	Front Yard Set	back =	Plantin Strip	g Driving Lane	Driving Lane	Planting Strip	Sidewa Ik	Front Yard Setback			
Private I	Property		e Berne	Right-	of-Way		i da	Private Proper	CY		
Right-of-Way		42 feet (	(minimu	m)							
Front Yard				m (on eac m if stree				nting strip			
Setback (building facade of-way)	15 feet (	may be	up to 25 f	eet)							
Driving Lane		20 feet	(include	s 1-foot c	urbs, ea	ch side	)				
Parking		<ul> <li>Parking in bays, or on-site only</li> <li>No on-street parking</li> <li>Up to 30 minutes on-street parking allowed</li> <li>No overnight parking on-street</li> </ul>									
Sidewalk (on both sides)	)	5 feet (minimum)									
Tree Spacing (street trees shall be in accordance with landsca design standards)		• 50 feet (on center)									
Stormwater Managemer	nt	Bioswal	es may b	e in plan	ting strip	os.					
Lighting				orative st ark Sky St			num ł	neight of 12 feet			
Utilities		Under p	lanting	strip and/	or sidew	valk pre	ferre	d			
Curbs		If concr	ete curb	s are util	zed, pla	nting st	rip is	optional.			
Other/Comment		Marked	mid-blo	ck crossi	ngs are e	encoura	nged i	f block is more t	han 150 fee		

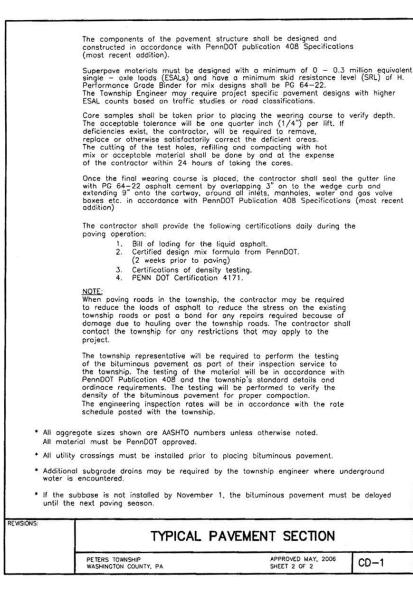


TOWNSHIP

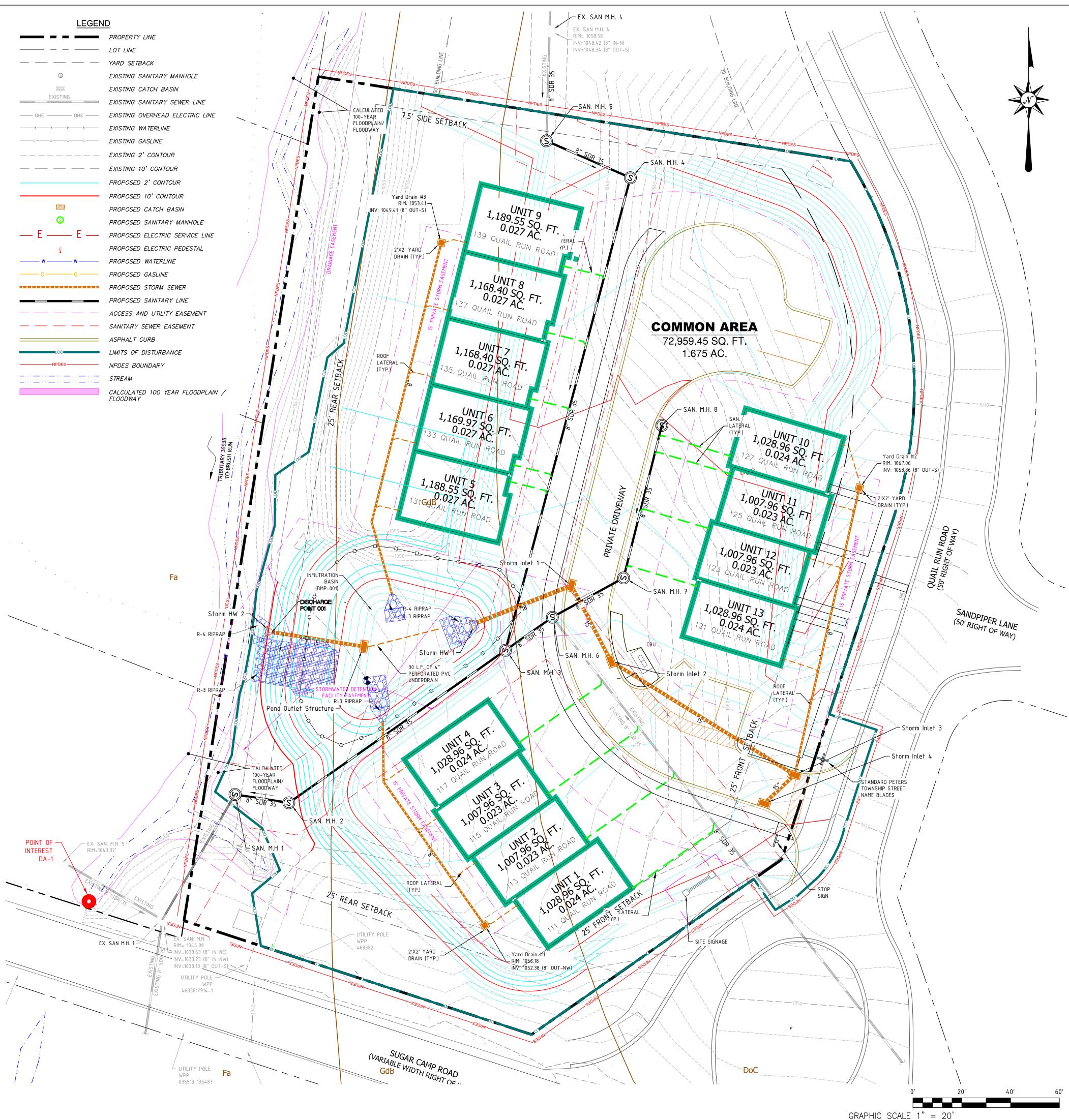
DETAILS

D6.4

SHEET NO.



SUBDIVISION AND LAND DEVELOPMENT INISH TO MATCH EXISTING CONCRETE 1/2 "H"--TO CONTRACTOR SHALL PLACE A TOOLED JOINT AT EVERY 4' O.C. ON SIDEWALKS. 2) THE INSTALLATION OF ACCESSIBLE RAMPS AT APPROPRIATE LOCATIONS IN ACCORDANCE WITH THE U.S. DEPARTMENT OF JUSTICE'' ADA STANDARDS''. LATEST EDITION, MAY BE REQUIRED BY THE TOWNSHIP IN CONJUNCTION WITH SIDEWALK RESTORATION/CONSTRUCTION. CONCRETE DRIVEWAY OR SIDEWALK DETAIL uperpave materiais must be designed with a minimum of D-0.3 million equivalent ingle - axie loads (ESALs) and have a minimum skid resistance level (SRL) of H. Performance Grade Binder for mix designs shall be PG 64-22. DRIVEWAY AND SIDEWALK RESTORATION January, 2019 PETERS TOWNSHIP WASHINGTON COUNTY, PA



# STORMWATER MANAGEMENT NOTES:

- TOWNSHIP.
- 3. PERMIT
- 4. VILLAGE HOA.

# NOTES:

- FROM THE NRCS'S WEB SOIL SURVEY WEBSITE.
- CONSTRICTION ACTIVITIES.

# IS RESPONSIBLE FOR CONTACTING THE ENGINEER PRIOR TO CONSTRUCTING:

- STORMWATER INFILTRATION POND

# **RECEIVING WATERS**

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

# FLOODPLAIN

THE SITE IS LOCATED IN ZONE X – AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

# UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

# NPDES PERMIT

LIMITS OF DISTURBANCE: NPDES PERMIT BOUNDARY:

# NOTE:

THIS PLAN IS FOR POST CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE APPROPRIATE UTILITY PLAN FOR FINAL LOCATION AND DETAILS.

### I, CHRISTOPHER W. HAMM, P.E., HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN SUBSTANTIALLY MEETS ALL DESIGN STANDARDS AND CRITERIA OF PETERS TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

WE, BENJAMIN MARCUS HOMES. LLC, HEREBY CERTIFY THAT WE SHALL NOT ALTER OR REMOVE THE STORMWATER MANAGEMENT FIXTURES WITHOUT PRIOR WRITTEN APPROVAL BY PETERS TOWNSHIP.

MANAGING MEMBER

1. NO PERSON, INCLUDING THE LANDOWNER, BENJAMIN MARCUS HOMES, LLC, SHALL ALTER OR REMOVE THE STORMWATER MANAGEMENT FIXTURES WITHOUT PRIOR WRITTEN APPROVAL BY PETERS

2. THE OPERATION AND MAINTENANCE (O&M) AGREEMENT FOR THE STORMWATER MANAGEMENT CONTROLS IS PART OF THE STORMWATER MANAGEMENT PLAN.

RECORD DRAWINGS AND DOCUMENTATION WILL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO THE RELEASE OF THE SURETY BOND AND AN ISSUANCE OF AN OCCUPANCY

THE STORMWATER MANAGEMENT POND 1 INFILTRATION BASIN OPERATIONS AND MAINTENANCE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER / DEVELOPER DURING THE CONSTRUCTION PHASE. ONCE THE CONTROLS ARE INSTALLED, WORKING PROPERLY, AND APPROVED, RECORD DRAWINGS WILL BE COMPLETED AND THE OWNERSHIP WILL BE THEN TRANSFERRED TO CAMDEN

1. ALL PROPOSED GRADES, ELEVATIONS, AND SLOPES, AS WELL AS ALL ASSOCIATED ENGINEERING ASSUMPTIONS, ARE BASED SOLELY AND EXCLUSIVELY UPON LOCAL AND NATIVE SOIL CONDITIONS FOUND AR THE SPECIFIC PROJECT LOCATION, AND SUPPORTING INFORMATION FROM THE "WESTMORELAND COUNTY PENNSYLVANIA -SOIL SURVEYED "PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (ISSUED NOVEMBER, 1968), AS WELL AS ADDITIONAL INFORMATION

2. ANY AND ALL CONSTRUCTION WORK RELATED TO EARTH MOVING OR OTHER EXCAVATION SHALL ONLY BE PERFORMED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER, OR OTHER APPROVED PROFESSIONAL REPRESENTATIVE, WITH EXTENSIVE KNOWLEDGE AND EXPERIENCE IN THE INTERPRETATION OF ALL ISSUES RELATED TO GEOTECHNICAL ENGINEERING AND

3. IN ADDITION, INFILTRATION CAPACITY OF NATIVE SOILS HAVE BEEN ASSUMED AND EVALUATED (BY OTHERS) BASED UPON THE ABOVE REFERENCED SOURCES. DUE TO THE NATURE OF STRUCTURAL BMP'S DESIGNED FOR INSTALLATION AND UTILIZATION ON THE PROJECT SITE EXTENSIVELY MINIMAL INFILTRATION IS ANTICIPATED. THE CONTRACTOR SHALL TAKE EXTREME CAUTION AND CARE WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE AREAS OF STRUCTURAL BMP IMPLEMENTATION, AND SHALL ADHERE TO THE RECOMMENDED CONSTRUCTION PROCEDURES AND AVOIDANCE MEASURES CONTAINED WITHIN THE APPROVED CONSTRUCTION DOCUMENTS.

4. ALL STORM DRAIN/CATCH BASIN/INLET STRUCTURES TO BE CONSTRUCTED AND FITTED WITH BICYCLE SAFE FRÁME AND GRATÍNG, UNLESS NOTED OTHERWISE.

5. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAND NAD).

6. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER. 7. ROCK APRONS SHALL BE INSTALLED WITH 0% SLOPE.

CRITICAL STAGES OF CONSTRUCTION:

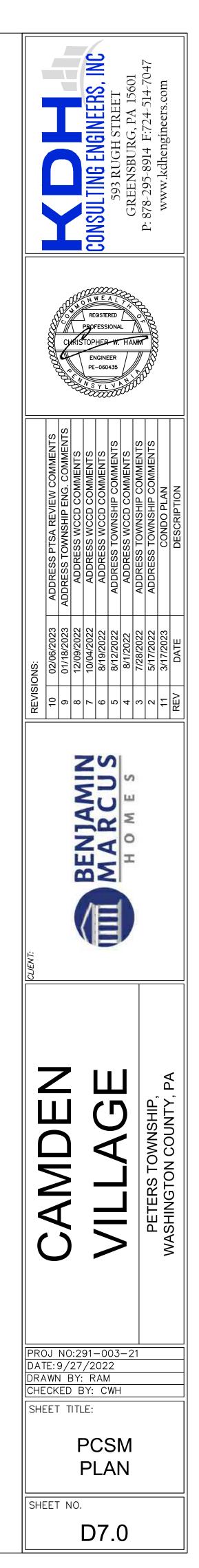
THE ENGINEER MUST CERTIFY INSTALLATION OF ALL PCSM BMPs, FOR TERMINATION OF THE NPDES PERMIT. THEREFORE, THE CONTRACTOR

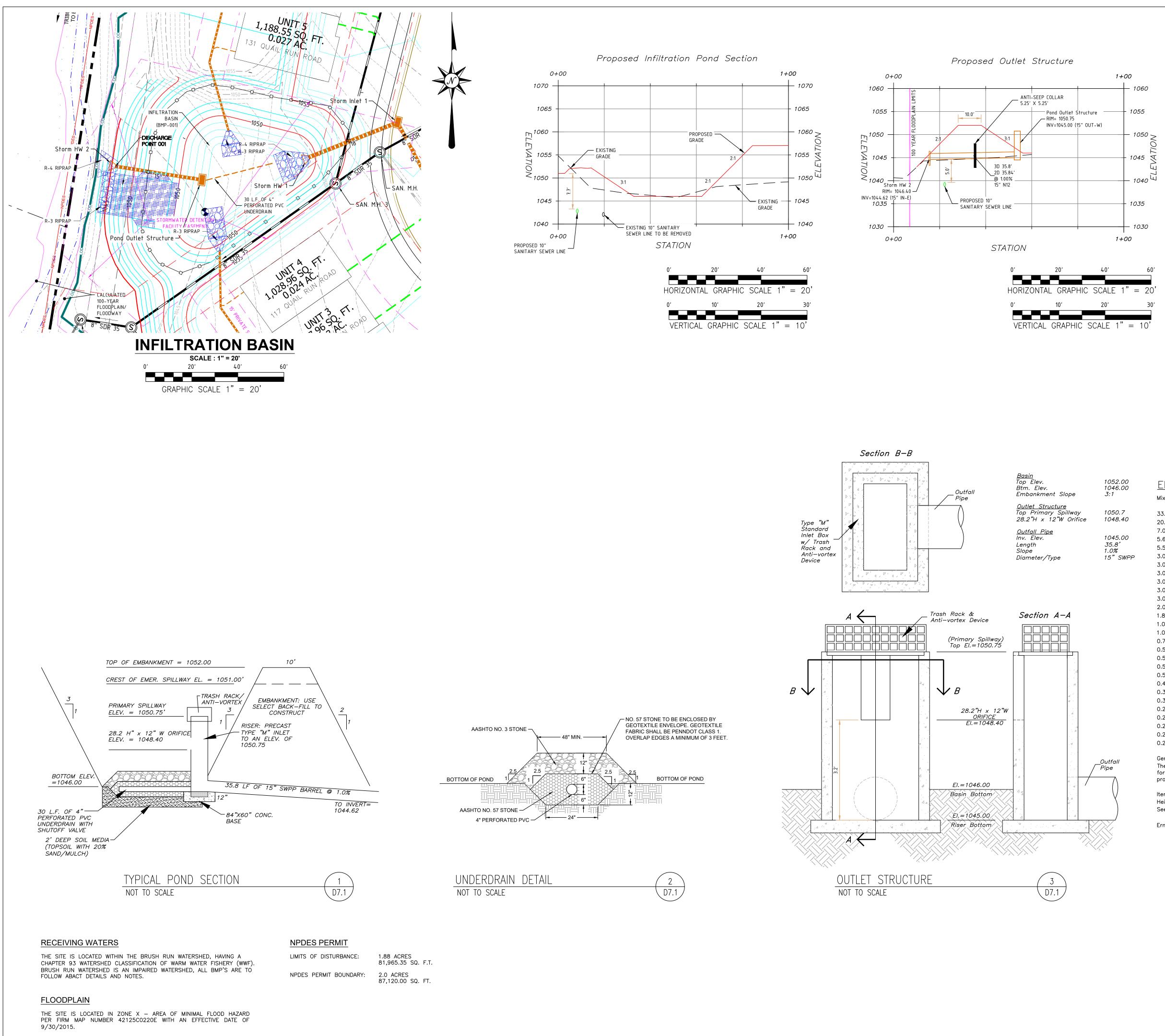
1.88 ACRES 81,965.35 SQ. F.T. 2.0 ACRES 87,120.00 SQ. FT.

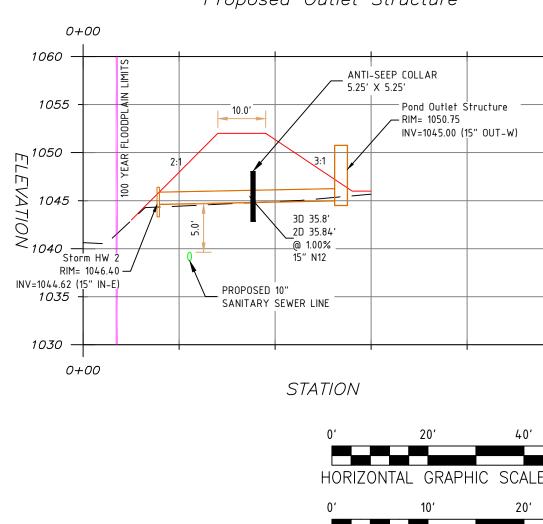
PROJECT ENGINEER: KDH CONSULTING ENGINEERS, INC. 593 RUGH STREET, LOWER LEVEL GREENSBURG, PA 15601 (724) 493–5041 CONTACT: CHRISTOPHER W. HAMM, P.E.

**DEVELOPER:** BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 CANONSBURG, PA 15317 (412) 880–1025 CONTACT: MARK HOSKINS











- 1. PROTECT INFILTRATION BASIN AREA FROM COMPACTION PRIOR TO INSTALLATION. 2. IF POSSIBLE, INSTALL INFILTRATION BASIN DURING LATER PHASES OF SITE
- CONSTRUCTION TO PREVENT SEDIMENT LADEN WATER FROM ENTERING INLETS AND PIPES. 3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES
- DURING CONSTRUCTION. 4. IF NECESSARY, EXCAVATE INFILTRATION BASIN BOTTOM TO AN UNCOMPACTED
- SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE. 5. INSTALL OUTLET CONTROL STRUCTURES.
- 6. SEED AND STABILIZE TOPSOIL (VEGETATE IF APPROPRIATE WITH NATIVE
- PLANTINGS.) 7. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

MAINTENANCE ISSUES

- 1. CATCH BASINS AND INLETS (UPGRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST FOUR TIMES PER YEAR AND AFTER RUNOFF EVENTS.
- 2. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
- 3. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 - 96 HOURS. MOSQUITOES SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 - 96 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
- 4. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS. 5. MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
- 6. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.

DEWATERING ISSUES

- 1. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72-96 HOURS. MOSQUITO'S SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72-96 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
- 2. IF THE BASIN HAS NOT DRAINED DOWN COMPLETELY WITHIN THE 72-96 HOURS AFTER THE RUNOFF EVENT ENDS. THE VALVE ON THE UNDERDRAIN SHALL BE OPENED TO ALLOW FOR THE UNDERDRAIN TO RELEASE THE REMAINING VOLUME OF WATER IN THE BASIN.
- 3. ONCE THE BASIN HAS DRAINED, THE VALVE ON THE UNDERDRAIN SHALL BE CLOSED. 4. BASIN SHALL BE MONITORED DURING FUTURE RUNOFF EVENTS TO ENSURE
- DEWATERING ISSUES DO NOT CONTINUE.

# NOTES:

1. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).

# ERNEST 180 RAIN GARDEN MIX

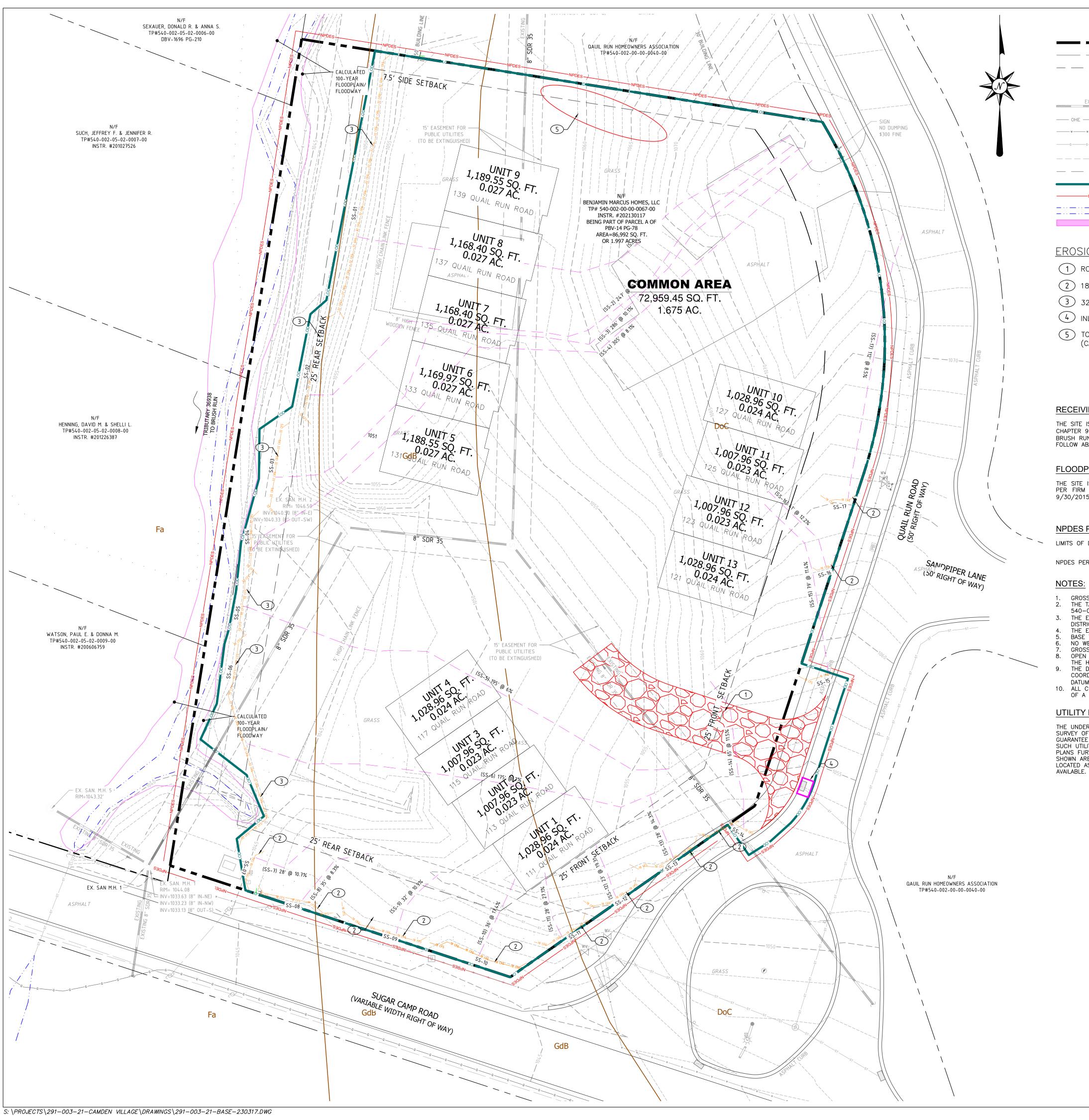
Mix Composition

33.4% Schizachyrium scoparium, 'Itasca', MN Ecotype (Little Bluestem, 'Itasca', MN Ecotype) 20.0% Elymus virginicus, 'Madison' (Virginia Wildrye, 'Madison') 7.0% Carex vulpinoidea, PA Ecotype (Fox Sedge, PA Ecotype) 5.6% Chasmanthium latifolium. WV Ecotype (River Oats, WV Ecotype) 5.5% Echinacea purpurea (Purple Coneflower) 3.0% Chamaecrista fasciculata, PA Ecotype (Partridge Pea, PA Ecotype) 3.0% Coreopsis lanceolata (Lanceleaf Coreopsis) 3.0% Panicum clandestinum, Tioga (Deertongue, Tioga) 3.0% Panicum rigidulum, PA Ecotype (Redtop Panicgrass, PA Ecotype) 3.0% Rudbeckia hirta (Blackeyed Syusan) 3.0% Verbena hastat, PA Ecotype (Blue Vervain, PA Ecotype) 2.0% Heliopsis helianthoides, PA Ecotype (Oxeye Sunflower, PA Ecotype) 1.8% Asclepias incarnate, PA Ecotype (Swamp Milkweed, PA Ecotype) 1.0% Carex scoparia, PA Ecotype (Blunt Broom Sedge, PA Ecotype) 1.0% Senna hebecarpa, VA & WV Wcotype (Wild Senna, VA & WV Ecotype) 0.7% Pycnanthemum tenuifolium (Narrowleaf Mountainmint) 0.5% Aster novae—anglia, PA Ecotype (New England Aster, PA Ecotype) 0.5% Aster prenanthoides, PA Ecotype (Zigzag Aster, PA Ecotype) 0.5% Baptisia australis, Southern WV Ecotype (Blue False Indigo, Southern WV Ecotype) 0.5% Zizia aurea (Golden Alexanders) 0.4% Monarda fitulosa, Fort Indiantown Gap-PA Ecotype (Wild Bergamot, Fort Indiantown Gap-PA Ecot 0.3% Helenium autumnale. PA Ecotype (Common Sneezeweed. PA Ecotype) 0.3% Juncus tenuis, PA Ecotype (Path Rush, PA Ecotype) 0.2% Eupatorium perfoliatum, PA Ecotype (Boneset, PA Ecotype) 0.2% Juncus effusus (Soft Rush) 0.2% Oenothera fruiticosa var, fruticose (Sundrops) 0.2% Solidago nemoralis, PA Ecotype (Gray Goldenrod, PA Ecotype) 0.2% Solidago rugosa, PA Ecotype (Wrinkleeaf Goldenrod, PA Ecotype) General Product Information: The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not. Item Number: ERNMX-180 Height: 0.3 - 5.0 Feet Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre Ernest Conservation Seeds, Inc. | 8884 Mercer Pike, Meadville PA 16335 NOTE: THIS PLAN IS FOR POST CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE APPROPRIATE UTILITY PLAN FOR FINAL LOCATION AND DETAILS. **PROJECT ENGINEER:** KDH CONSULTING ENGINEERS, INC. 593 RUGH STREET, LOWER LEVEL GREENSBURG, PA 15601 (724) 493–5041 CONTACT: CHRISTOPHER W. HAMM, P.E. DEVELOPER: BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 CANONSBURG, PA 15317 (412) 880-1025 Know what's **below.** CONTACT: MARK HOSKINS Call before you dig. I, CHRISTOPHER W. HAMM, P.E., HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN SUBSTANTIALLY

MEETS ALL DESIGN STANDARDS AND CRITERIA OF PETERS

TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

						CONVOULTING ENGINEERD, INU	593 RUGH STREET	GREENSRIPG DA 15601		P: 8/8-290-8914 F:/24-014-/04/	www.kdhengineers.com	
		ADDRESS PTSA REVIEW COMMENTS	ADDRESS TOWNSHIP ENG. COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS TOWNSHIP COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS TOWNSHIP COMMENTS	ADDRESS TOWNSHIP COMMENTS	CONDO PLAN	DESCRIPTION
	REVISIONS:	10 02/06/2023	9 01/18/2023	8 12/09/2022	7 10/04/2022	6 8/19/2022	5 8/12/2022	4 8/1/2022	3 7/28/2022	2 5/17/2022	11 3/17/2023	REV DATE
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type)										PETERS TOWNSHIP.		
				27 3Y: ITL ITL <b>S</b> IL	/2 R 3Y: E: <b>N</b> .T		2 1 WH	/ \\T N	\ \ 			



# PROPERTY LINE — \_\_\_\_\_ LOT LINE — — YARD SETBACK S EXISTING EXISTING SANITARY SEWER LINE ----- OHE ------ OHE ----- EXISTING OVERHEAD ELECTRIC LINE ------ \*----- \* EXISTING WATERLINE Generation Contraction Contrac ---- EXISTING 2' CONTOUR ---- --- EXISTING 10' CONTOUR LIMITS OF DISTURBANCE NPDES NPDES BOUNDARY STREAM

LEGEND

EROSION AND SEDIMENT CONTROL NOTES:

(1) ROCK CONSTRUCTION ENTRANCE 2 18" SILT SOCK 3 32" SILT SOCK 4 INLET PROTECTION 5 TOPSOIL STOCK PILE

# **RECEIVING WATERS**

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

# FLOODPLAIN

THE SITE IS LOCATED IN ZONE X – AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

# NPDES PERMIT

LIMITS OF DISTURBANCE:

# NPDES PERMIT BOUNDARY:

NOTES:

- GROSS AREA OF THE SITE IS 1.997 ACRES. THE TAX ID FOR THE DEVELOPED PARCEL IS 540-002-00-00-0067-00.
- DISTRICT
- NO WETLANDS EXIST ON THE PROPERTY. GROSS OPEN SPACE: 0.375 ACRES.
- OPEN SPACE SHALL BE PRIVATE AND OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- DATUM OF 1983 (NAD 83).

# UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION

	CLIENT:	02/06/2023	8 12/09/2022 ADDRESS IOWNSHIP ENG. COMMENTS	7 10/04/2022 ADDRESS WCCD COMMENTS		H H M F S ADRESS WCCD COMMENTS	3 7/28/2022 ADDRESS TOWNSHIP COMMENTS	2 5/17/2022 ADDRESS TOWNSHIP COMMENTS COMMENTS	TON COLINITY DA CONDO PLAN CONDO PLAN CONDO PLAN Www.kdhengineers.com	
Р.Е.	CLIENT:							PETERS TOWNSHIP.	<	

D8.0

EXISTING SANITARY MANHOLE EXISTING CATCH BASIN CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

(CAN BE RELOCATED BY CONTRACTOR, ENGINEER TO BE NOTIFIED

1.88 ACRES 81,965.35 SQ. F.T.

2.0 ACRES 87,120.00 SQ. FT.

3. THE EXISTING SITE IS ZONED "MD" MEDIUM DENSITY RESIDENTIAL THE EXISTING LAND USE: UNDEVELOPED CURRENTLY VACANT. BASE TOPOGRAPHIC SURVEY INFORMATION IS BASE ON FIELD DATA.

THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN

10. ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

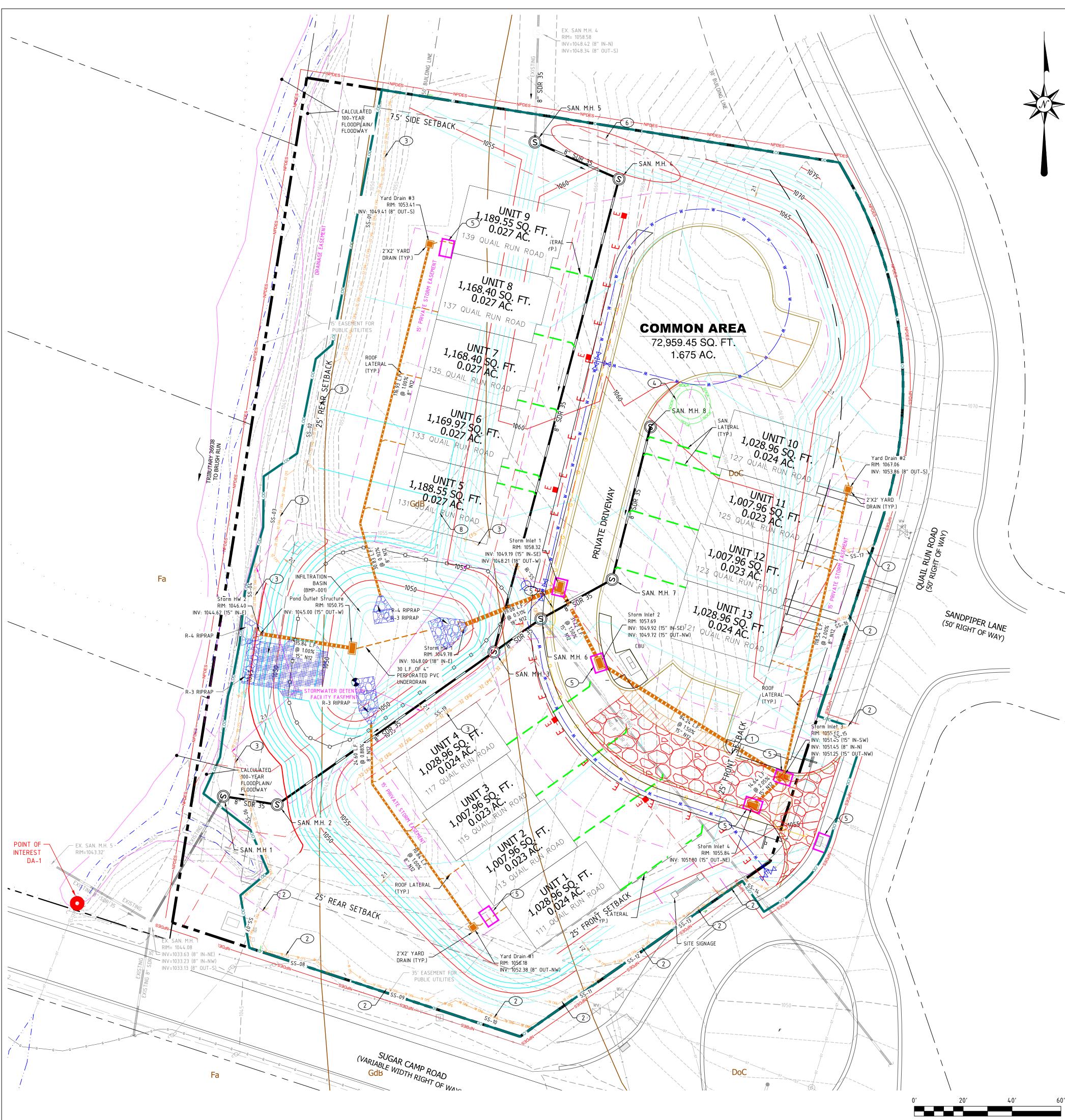
PROJECT ENGINEER: KDH CONSULTING ENGINEERS, INC. 593 RUGH STREET, LOWER LEVEL GREENSBURG, PA 15601 (724) 493–5041 CONTACT: CHRISTOPHER W. HAMM,

<u>DEVELOPER:</u> BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 CANONSBURG, PA 15317 (412) 880-1025 CONTACT: MARK HOSKINS



Know what's **below Call** before you

GRAPHIC SCALE 1" = 20'



# — — — YARD SETBACK EXISTING ----- EXISTING 2' CONTOUR - --- EXISTING 10' CONTOUR S G G G PROPOSED GASLINE PROPOSED STORM SEWER STREAM

LEGEND

-

# NOTES:

- DATUM OF 1983 (NAD 83). ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION

DURING CONSTRUCTION.

OF A GEOTECHNICAL ENGINEER.

# UTILITY NOTES:

AVAILABLE.

# **RECEIVING WATERS**

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LIMITS OF DISTURBANCE: NPDES PERMIT BOUNDARY:

GRAPHIC SCALE 1" = 20'

PROPERTY LINE — — — LOT LINE EXISTING SANITARY MANHOLE EXISTING CATCH BASIN EXISTING SANITARY SEWER LINE ----- OHE ------ OHE ----- EXISTING OVERHEAD ELECTRIC LINE EXISTING GASLINE PROPOSED 2' CONTOUR PROPOSED 10' CONTOUR PROPOSED CATCH BASIN PROPOSED SANITARY MANHOLE ---- E ----- E ---- PROPOSED ELECTRIC SERVICE LINE PROPOSED ELECTRIC PEDESTAL PROPOSED SANITARY LINE ACCESS AND UTILITY EASEMENT ASPHALT CURB LIMITS OF DISTURBANCE NPDES NPDES BOUNDARY

CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

EROSION AND SEDIMENT CONTROL NOTES:

FION ENTRANCE

TED BY CONTRACTOR, ENGINEER TO BE NOTIFIED

1. THIS PLAN IS FOR THE EROSION AND SEDIMENTATION CONTROL PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE APPROPRIATE UTILITY PLAN FOR THE FINAL LOCATION AND DETAILS. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN

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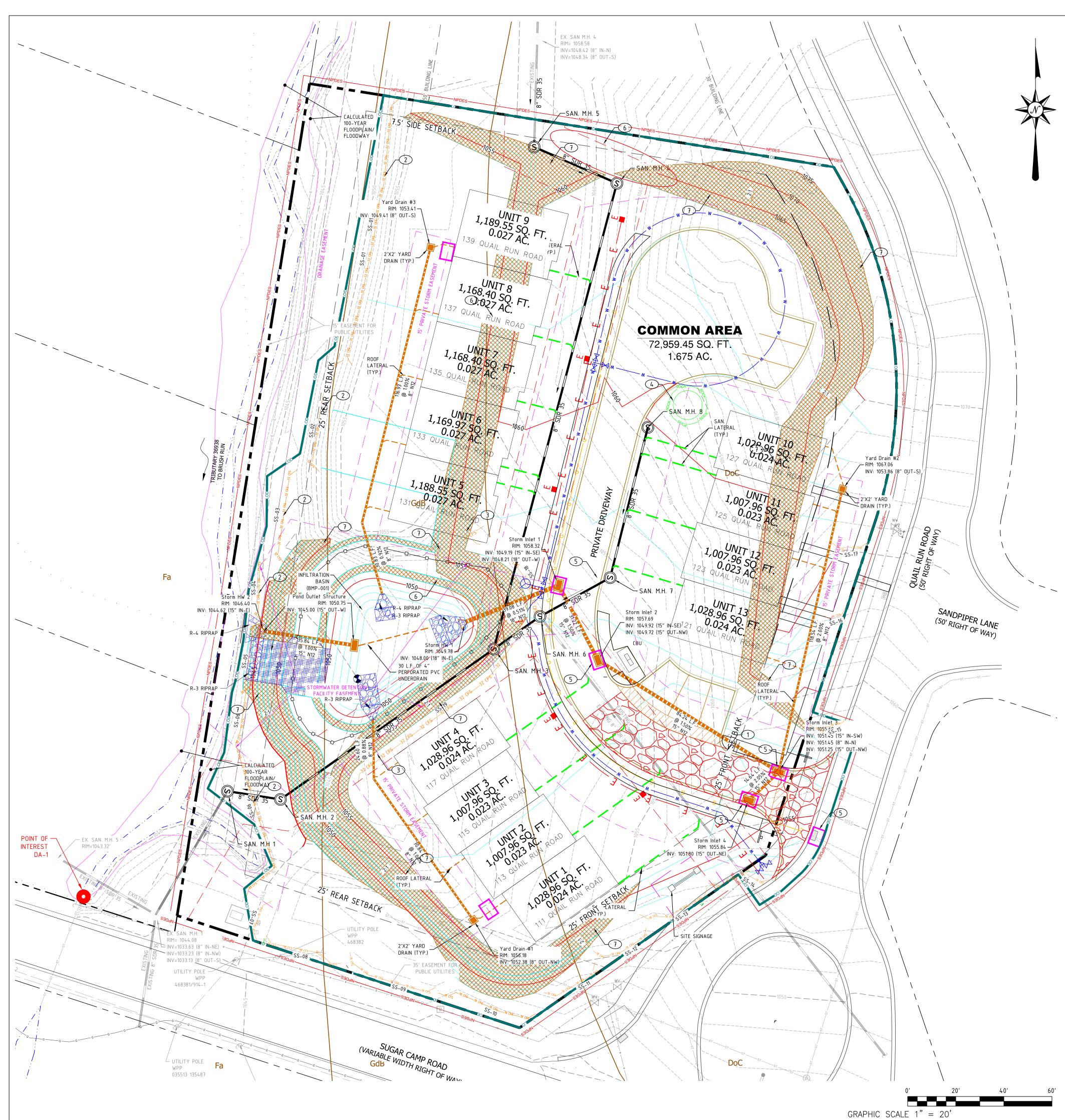
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					HER IGINE -060	IONA W.					
	ADDRESS PTSA REVIEW COMMENTS	ADDRESS TOWNSHIP ENG. COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS TOWNSHIP COMMENTS	ADDRESS WCCD COMMENTS	ADDRESS TOWNSHIP COMMENTS	ADDRESS TOWNSHIP COMMENTS	CONDO PLAN	DESCRIPTION
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CLIENT:			DENI	DENJAMIN			U H	)			
									PETERS TOWNSHIP.		
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		_					_				



# EXISTING EXISTING WATERLINE — — — — — — EXISTING 2' CONTOUR - ---- EXISTING 10' CONTOUR G G G G PROPOSED GASLINE STREAM

LEGEND

1	ROCK CONSTRUCTION
2	18" SILT SOCK
E	32" SILT SOCK
4	CONCRETE WASHOU (CAN BE RELOCATE
5	INLET PROTECTION
6	TOPSOIL STOCK PI (CAN BE RELOCATE
7	EROSION CONTROL

# NOTES:

- DURING CONSTRUCTION.

# UTILITY NOTES:

AVAILABLE.

# **RECEIVING WATERS**

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# NPDES PERMIT

LIMITS OF DISTURBANCE: NPDES PERMIT BOUNDARY:

PROPERTY LINE — — \_\_\_\_\_ LOT LINE EXISTING SANITARY MANHOLE EXISTING CATCH BASIN EXISTING SANITARY SEWER LINE ----- OHE ------ OHE ----- EXISTING OVERHEAD ELECTRIC LINE EXISTING GASLINE PROPOSED 2' CONTOUR PROPOSED 10' CONTOUR PROPOSED CATCH BASIN PROPOSED SANITARY MANHOLE ---- E ----- E ---- PROPOSED ELECTRIC SERVICE LINE PROPOSED ELECTRIC PEDESTAL PROPOSED STORM SEWER PROPOSED SANITARY LINE ACCESS AND UTILITY EASEMENT — — — — SANITARY SEWER EASEMENT ASPHALT CURB LIMITS OF DISTURBANCE NPDES NPDES BOUNDARY

CALCULATED 100 YEAR FLOODPLAIN / FLOODWAY

EROSION AND SEDIMENT CONTROL NOTES:

TION ENTRANCE

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1. THIS PLAN IS FOR THE EROSION AND SEDIMENTATION CONTROL PURPOSES ONLY. THE CONTRACTOR SHALL REFER TO THE APPROPRIATE UTILITY PLAN FOR THE FINAL LOCATION AND DETAILS. THE DRAWING IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83). ALL CUT AND FILLS SHALL BE COMPLETED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

ROCK APRONS SHALL BE INSTALLED WITH 0% SLOPE. STORMWATER BASIN ARE NOT TO BE USED AS SEDIMENT BASINS

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE PLANS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE PLANS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION

> 1.88 ACRES 81,965.35 SQ. F.T. 2.0 ACRES 87,120.00 SQ. FT.

PROJECT ENGINEER: KDH CONSULTING ENGINEERS, INC. 593 RUGH STREET, LOWER LEVEL GREENSBURG, PA 15601 (724) 493–5041 CONTACT: CHRISTOPHER W. HAMM, P.E.

<u>DEVELOPER:</u> BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 CANONSBURG, PA 15317 (412) 880–1025 CONTACT: MARK HOSKINS



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CLIENT:	CLENT: BENJAMIN MARCUS H O M E S										
	CAMDEN VILLAGE PETERS TOWNSHIP, PA MASHINGTON COUNTY, PA										
DAT DRA	PROJ NO:291-003-21 DATE:9/27/2022 DRAWN BY: RAM CHECKED BY: CWH SHEET TITLE: E&S PLAN - PHASE III										

# SOIL LIMITATIONS & RESOLUTIONS:

	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE	HYDRIC / HYDRIC INCLUSIONS	LOW STRENGHT / LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
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NOTE: DUE TO SOIL LIMITATION ALL EARTHWORK SHALL BE PERFORMED																

NOTE: DUE TO SOIL LIMITATION ALL EARTHWORK SHALL BE PERFORME UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.

# RESOLUTIONS TO SOIL LIMITATIONS:

- CUTBANKS CAVE: ACCORDING TO THE U.S.G.S. OPEN-FILE REPORT 78-1057 LANDSLIDES AND RELATED FEATURES OF THE BRIDGEVILLE, PA QUADRANGLE, THE SITE IS GENERALLY CLASSIFIED AS HAVING SLOPES OF LITTLE SUSCEPTIBILITY TO LANDSLIDES. IF ISSUES ARISE WITH CUTBANKS CAVING ON SITE, THE CONTRACTOR SHALL CONTACT THE ON-SITE GEOTECHNICAL ENGINEER AND WORK SHALL PROCEED UNDER THEIR RECOMMENDATIONS.
- CORROSIVE TO CONCRETE\STEEL
- ALL CONCRETE AND STEEL UNDERGROUND UTILITIES SHALL BE PROTECTED WITH A CORROSION RESISTANT SEAL. • EASILY ERODIBLE
- ALL AREAS THAT ARE 3:1 OR GREATER WILL BE PROTECTED WITH EROSION CONTROL BLANKETING, AND VEGETATED.
- "DEPTH TO SATURATED ZONE/ SEASONAL HIGH-WATER TABLE" THE AREA OF DISTURBANCE IS NEAR THE TOP OF THE WATERSHED. THEREFORE, THIS WILL NOT BE AN ISSUE. ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.
- HYDRIC / HYDRIC INCLUSIONS
   THE SITE HAS BEEN INVESTIGATED FOR WETLAND AND STREAMS. NO
   WETLANDS OR STREAMS WILL BE IMPACTED.
- LOW STRENGTH / LANDSLIDE PRONE ACCORDING TO THE U.S.G.S. OPEN-FILE REPORT 78-1057 LANDSLIDES AND RELATED FEATURES OF THE BRIDGEVILLE, PA QUADRANGLE, THE SITE IS GENERALLY CLASSIFIED AS HAVING SLOPES WITH LITTLE SUSCEPTIBILITY TO LANDSLIDING. IF LANDSLIDE ISSUES OCCUR, THE CONTRACTOR SHALL CONTACT THE ON-SITE GEOTECHNICAL AND PROCEED WITH THE WORK BASED ON THEIR RECOMMENDATIONS.
- SLOW PERCOLATION THE POTENTIAL FOR INFILTRATION IS LOW, BUT USED TO THE MAXIMUM EXTENT POSSIBLE BY WAY OF AN INFILTRATION BASIN.
- PIPING
   COLLARS WILL BE INSTALLED FOR THE BASIN'S OUTFLOW PIPE.
- POOR SOURCE OF TOPSOIL THE SITE HAS BEEN INVESTIGATED BY A GEOTECHNICAL ENGINEER, AND THE REPORT SHOWS THAT THERE IS AMPLE TOPSOIL WITHIN THE DISTURBED AREA.
- FROST ACTION ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.
- SHRINK SWELL ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.
- POTENTIAL SINKHOLE ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.
- WETNESS ALL WORK WILL BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ON-SITE GEOTECHNICAL ENGINEER.

# LAND USE:

PAST USE LAND USES FOR PAST 50-YEARS: FARM FIELD PRESENT USE FOR PAST 5-YEARS : VACANT LAND PROPOSED USE: RESIDENTIAL SUBDIVISION

# TOWNSHIP ACCESS:

THE OWNER WILL GRANT ACCESS TO THE TOWNSHIP FOR PERIODIC INSPECTIONS.

# FLOOD PLAIN NOTE:

THE SITE IS LOCATED IN ZONE X – AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

# WATERSHED AND RUNOFF:

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

## WETLANDS

THERE ARE NO WETLANDS DELINEATED WITHIN THE PROJECT BOUNDARIES.

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# FILL MATERIAL NOTICE:

THE CONSTRUCTION OF THIS SITE WILL REQUIRE EXCESS FILL MATERIAL FROM AN OFFSITE FACILITY. ANY FILL MATERIAL SHALL BE FROM A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN APPROVED AND ON FILE AT THE COUNTY CONSERVATION DISTRICT.

- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.).
- 2. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
- 3. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S

# EROSION & SEDIMENT CONTROL MAINTENANCE &

POLICY "MANAGEMENT OF CLEAN FILL."

**INSPECTION SCHEDULE:** 

- THE SPECIFIC INSPECTION AND MAINTENANCE REQUIREMENTS FOR EACH BMP IS LISTED WITH EACH DETAIL.
- 2. THE SOIL EROSION FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER, HIS HEIRS OR ASSIGNS.
- 3. ADDITIONAL MAINTENANCE REQUIREMENTS ARE LOCATED WITH PLAN DETAILS AS APPLICABLE.
- 4. THE OWNER, THE CONTRACTOR OR ASSIGNS SHALL BE RESPONSIBLE FOR CONTINUING MAINTENANCE OF THE FACILITIES WHICH SHALL INCLUDE SUCH ITEMS AS MOWING, CLEANING AND REMOVING SEDIMENT AND/OR DEBRIS. ALL SEDIMENTS SHALL BE STOCKPILED AND SEEDED AND WILL BE USED IN FINAL GRADING. ALL DEBRIS SHALL BE RECYCLED OR DISPOSED OF IN A LANDFILL.
- 5. THE OWNER, CONTRACTOR OR ASSIGNS SHALL INSPECT AND/OR REPAIR THE FACILITIES WEEKLY AND AFTER EACH STORM EVENT. THE OWNER, CONTRACTOR OR ASSIGNS SHALL ALSO BE RESPONSIBLE FOR REPARATION OF ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, THE OWNER SHALL BE RESPONSIBLE TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE, BUT IN ANY CASE WITHIN 5 DAYS.
- 6. A WRITTEN REPORT MUST BE KEPT BY THE CONTRACTOR DOCUMENTING INSPECTIONS AND REPAIRS TO ALL BMPS. THE CONTRACTOR SHALL INSPECT AND LOG ALL ACTIVITIES ONTO DEP FORM 3800-FM-BCW0271d (DATED 12/2019) AND KEPT ON SITE AT ALL TIMES.

## RECYCLING AND DISPOSAL METHODS:

ALL BUILDING AND CONSTRUCTION WASTE MATERIALS MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. NO BUILDING MATERIALS, WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE. BUILDING AND CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO: EXCESS SOIL AND ROCK, MISC. BUILDING MATERIALS, CONCRETE AND CONCRETE WASH WATER, SANITARY WASTE AND ANY OTHER MATERIAL THAT COULD HAVE ADVERSE AFFECTS.

# UTILITY TRENCHING NOTES:

- 1. THE EXCAVATED MATERIAL FROM TRENCHING SHALL BE PLACED ON THE UPSLOPE SIDE OF THE TRENCH.
- 2. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
- 5. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.
- ANY BMP'S AFFECTED BY TRENCHING AND BACKFILLING OPERATIONS SHALL BE REPAIRED AND STABILIZED IMMEDIATELY.

# GENERAL E&S PLAN NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- 5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- 7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.

- 9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10 ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- 14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY ONTO THE ROADWAY, EXCEPT FOR THE LOCATION OF THE ROCK CONSTRUCTION ENTRANCE.
- 15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 16. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- 18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- 19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES -- 6 TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- 20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 21. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 22. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 24. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- 26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- 27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- 29. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
- 31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONV'ERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- 33. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 34. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- 35. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- 36. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

CONSTRUCTION SEQUENCE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND CONTACT THE ENGINEER.

A WRITTEN REPORT MUST BE KEPT BY THE CONTRACTOR DOCUMENTING INSPECTIONS AND REPAIRS TO ALL BMPS. THE CONTRACTOR SHALL INSPECT AND LOG ALL ACTIVITIES ONTO DEP FORM 3800-FM-BCW0271D (DATED 12/2019) AND KEPT ON SITE AT ALL TIMES.

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY. BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

E&S PLAN – PHASE I

- 1. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING, AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE WASHINGTON COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- 2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH WORK DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 OR 811 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 3. LAYOUT THE LIMITS OF THE CONSTRUCTION SITE AND ESTABLISH BENCHMARKS AND REFERENCE POINTS.
- 4. STAKE OUT THE LIMIT OF DISTURBANCE (LOD) AS INDICATED ON THE CONSTRUCTION PLANS.
- 5. INSTALL THE ROCK CONSTRUCTION ENTRANCE IN THE LOCATION SHOWN ON THE PLAN AND IN ACCORDANCE WITH STANDARD DETAIL. INSTALL ANY CULVERTS AND/OR STORM DRAIN CONVEYANCE SYSTEM UNDER THE ENTRANCE AS SHOWN ON THE PLANS.
- 6. ONCE THE CONSTRUCTION ENTRANCE IS INSTALLED. THE CONTRACTOR SHALL INSTALL THE 32" COMPOST FILTER SOCK ALONG THE EASTERN SIDE OF THE SITE ALONG THE EXISTING TRIBUTARY TO BRUSH RUN. AND THE 18" COMPOST FILTER SOCK ALONG THE SOUTHERN SIDE OF THE SITE ALONG SUGAR CAMP ROAD AND QUAIL RUN ROAD. INSTALL ALL COMPOST FILTER SOCKS AS SHOWN ON THE E&S CONTROL PLAN DRAWINGS AND IN ACCORDANCE WITH THE STANDARD DETAILS. ALL COMPOST FILTER SOCKS SHALL BE INSTALLED PARALLEL TO THE CONTOURS. TREES SHALL NOT BE REMOVED IN ORDER TO INSTALL COMPOST FILTER SOCKS. SLIGHT DEVIATION FROM INSTALLATION PARALLEL TO CONTOURS IS ACCEPTABLE TO AVOID TREES.
- 7. AFTER THE EXTERIOR COMPOST FILTER SOCK IS INSTALLED, THE CONTRACTOR SHALL CLEAR AND GRUB THE TREES AS SHOWN ON THE DEMOLITION PLAN.

E&S PLAN – PHASE II

- 8. AFTER, THE EXTERIOR SILT SOCK ARE INSTALLED AND FUNCTIONING AND THE TREES ARE REMOVED. BEGIN CUT/FILL GRADING OPERATIONS AS FOLLOWS: BEGIN THE CUT ON THE NORTHERN PROPERTY LINE. CONTINUE MOVING SOUTH WITH THE EARTHWORK OPERATIONS AND USING THE GENERATED CUT ON THE SOUTHERN SIDE OF THE DEVELOPMENT AS FILL MATERIAL.
- 9. THE INFILTRATION BASIN CAN BE CONSTRUCTED AS PART OF THE EARTHWORK. THESE ARE CONSIDERED CRITICAL STAGES SINCE THEY WILL BE USED AS PCSM BMPS AND SHOULD BE INSPECTED AS THEY ARE INSTALLED. HOWEVER, IT SHALL NOT TO BE USED AS SEDIMENT TRAP DURING CONSTRUCTION.
- THE INFILTRATION BASIN LOCATION SHALL BE PROTECTED BY DURING CONSTRUCTION. THIS INCLUDES BUT NOT LIMITED TO, NOT DRIVING ON OR PARKING ON THE AREA IN ORDER NOT TO CAUSE COMPACTION OF THE INFILTRATION BASIN BOTTOM. ALSO, THE INFILTRATION BASIN SHOULD BE PROTECTED FROM HAVING SEDIMENT ENTERING THE BASIN WITH THE INSTALLATION OF COMPOST FILTER SOCK PLACED ON THE UPHILL SIDE OF THE BASIN.
- 10. AS THE EARTHWORK IS PROGRESSING AND THE CUT AND FILL SLOPES ARE TAKING SHAPE AND HAVE REACHED FINAL GRADE, THEY SHALL HAVE TOPSOIL PLACED AND BE SEEDED.
- 11. ONCE THE SLOPES HAVE BEEN SEEDED, THEY SHALL HAVE EROSION CONTROL BLANKETS PLACED ON THE SLOPES. EROSION CONTROL BLANKETS SHALL BE PLACED IN ACCORDANCE WITH THE PLANS AND DETAILS.
- 12. AS THE CUT AND FILL ARE PLACED AND THE INFILTRATION BASIN IS TAKING SHAPE, THE OUTLET STRUCTURE AND THE OUTLET PIPE SHALL BE INSTALLED. THE OUTLET PIPE SHALL HAVE THE ANTI-SEEP COLLAR AND RIPRAP APRONS INSTALLED ACCORDING TO THE PLANS AND DETAILS.

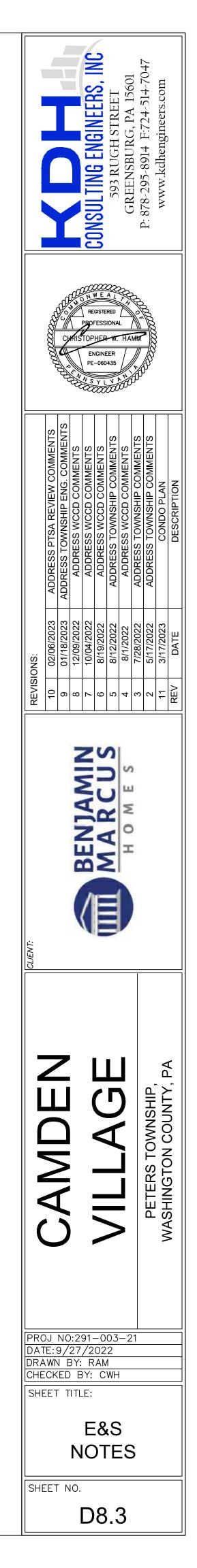
NOTE:

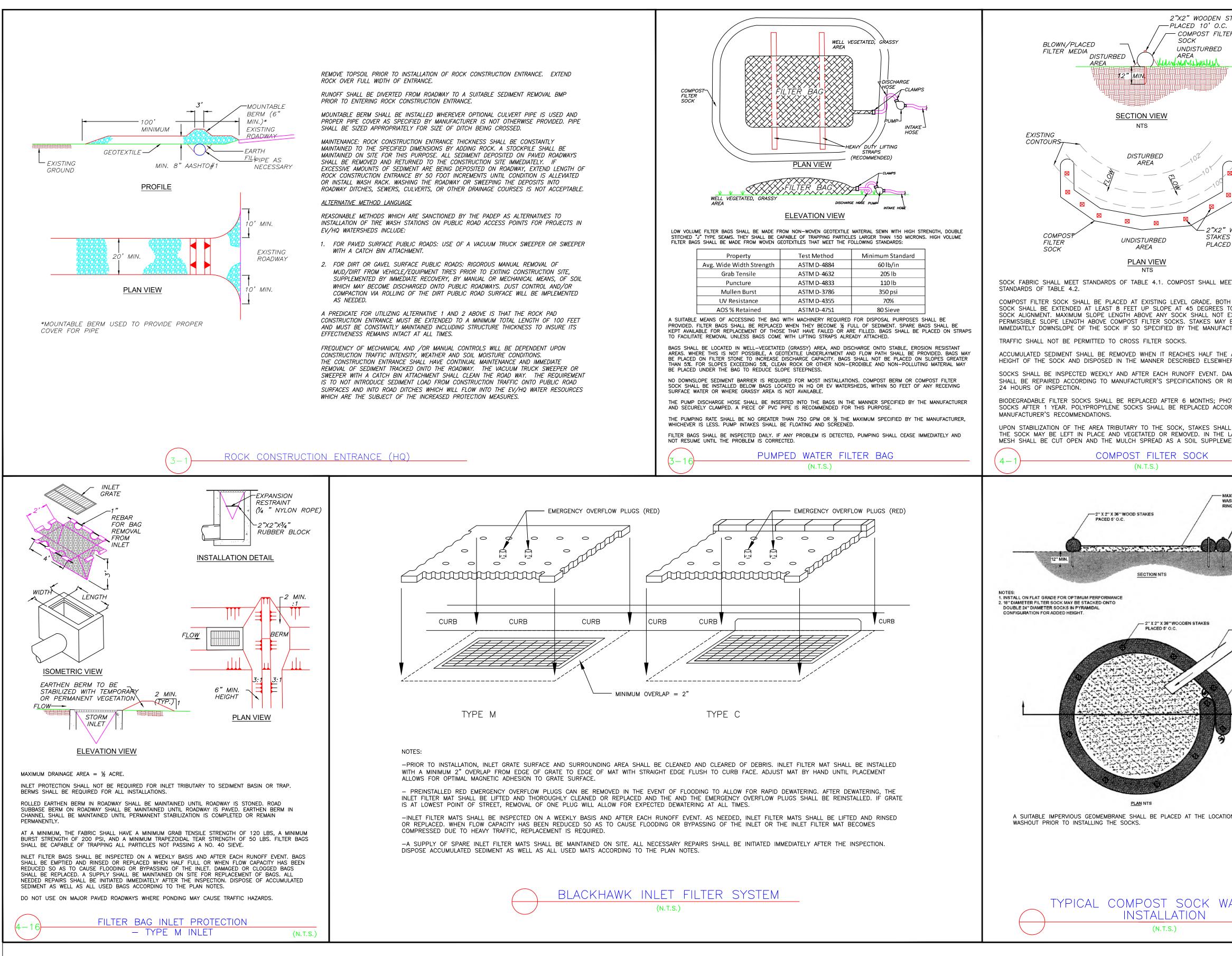
NOTE:

- CONTRACTOR SHALL GRADE SUCH THAT ALL CUT AND FILL EARTHWORK CONTINUE TO PROMOTE SHEET FLOW AS IN THE EXISTING CONDITIONS. CONTRACTOR SHALL NOT GRADE IN ANYWAY THAT CAUSES CHANNELIZATION OF RUNOFF FLOW. ANY CHANNELIZATION SHALL BE CORRECTED TO ENSURE SHEET FLOW DURING SITE GRADING.
- INSTALL THE CONCRETE WASHOUT FACILITIES IN ACCORDANCE WITH THE STANDARD DETAIL.
   SITE UTILITIES INCLUDING WATER AND SEWER, STORM SEWER, GAS, AND
- ELECTRIC/COMMUNICATIONS WITHIN THE LIMIT OF DISTURBANCE CAN BE INSTALLED AT THE CONTRACTOR'S DISCRETION TO AVOID RE-DISTURBING AREAS LATER AS THE SITE REACHES GRADE, PROVIDE DOWNSTREAM BMP'S ARE IN PLACE AS PER PLANS. UTILIZE TRENCH PLUGS AND COMPOST FILTER SOCK AS NECESSARY AND REFER TO THE STANDARD DETAILS PROVIDED ON THE DETAIL SHEET. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACKFILLED IN ONE WORKING DAY. UTILIZE A PUMPED WATER FILTER BAG, AS NECESSARY. WATER FILTER BAGS MUST BE SURROUNDED BY COMPOST FILTER SOCK TO TREAT FOR ADDITIONAL SEDIMENT REMOVAL PRIOR TO BEING DISCHARGED TO SURFACE WATERS OR STORMWATER INLETS. NOTE:
- THE CONSTRUCTION OF ANY UTILITIES (SPECIFICALLY STORM AND SANITARY SEWERS) SHALL BE DONE DURING EXPECTED PERIODS OF DRY WEATHER AND ONLY THE AMOUNT OF TRENCH THAT CAN BE COMPLETED IN ONE DAY SHALL BE OPENED AT ANY TIME. THE TRAP SHALL BE REPAIRED DAILY TO ENSURE THAT IT IS FUNCTIONING PROPERLY. AS THE UTILITY IS INSTALLED, THE DISTURBANCE SHALL BE SEEDED AND MULCHED IMMEDIATELY TO ENSURE VEGETATION GROWTH AND LIMIT THE POSSIBILITY OF EROSION. AS THE WORK IS COMPLETED, THE TRAP SHOULD BE INSPECTED FOR ANY DAMAGE CAUSED BY THE UTILITY INSTALLATION AND ANY NECESSARY REPAIRS ARE TO BE MADE IMMEDIATELY.
- ONCE INSTALLED, ALL STORMWATER INLETS SHALL BE PROTECTED FROM ENTERING SEDIMENT BY THE USE OF INLET PROTECTION AS SHOWN ON THE PLANS TO PREVENT SEDIMENT FROM ENTERING THE PREVIOUSLY CONSTRUCTED INFILTRATION POND. PLEASE NOTE SEDIMENT SHALL BE PREVENTED FROM ENTERING THE INFILTRATION BASIN BY THE INSTALLATION OF COMPOST SILT SOCK ON THE UPHILL SIDE OF THE BMP. INLET PROTECTION MUST BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT THROUGHOUT THE DURATION OF CONSTRUCTION. BAGS CAN BE EMPTIED, AND RINSED ORE REPLACED WHEN FILTER BAGS ARE HALF FULL AND FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING.

E&S PLAN – PHASE III

- 15. AS DISTURBED AREAS WITHIN THE PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN. IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED OR MULCHED. FILL SLOPES SHOULD BE SEEDED AND MULCHED AT REGULAR VERTICAL INCREMENTS –15 TO 25 FEET MAXIMUM – AS FILL IS BEING CONSTRUCTED. THIS WILL ALLOW THE BOTTOM OF THE FILL TO PROGRESS TOWARD STABILIZATION WHILE WORK CONTINUES ON THE UPPER PORTION, MAKING STABILIZATION EASIER TO ACHIEVE AND PROVIDING SOME VEGETATION BUFFERING AT THE BOTTOM OF THE SLOPE.
- 16. FINE GRADE AND STABILIZE ALL AREAS OF THE SITE. STABILIZE ROADS WITH STONE BASE IMMEDIATELY AFTER SUBGRADE IS REACHED. UTILIZE PROPER SLOPE AND TRENCH SHORING METHODS TO ALLEVIATE CUTBANK CAVING. ALL UNPAVED DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH AND EROSION CONTROL BLANKETS ONCE GRADING IS COMPLETE WITHIN FOUR DAYS ONCE THE CONSTRUCTION HAS BEEN COMPLETED.
- INSTALL ALL PROPOSED PAVING AND CONCRETE SITE WORK.
   ALL AREAS NOT PAVED SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL. INSTALL PLANTINGS IN ACCORDANCE WITH THE LANDSCAPE PLAN.
- 19. ONCE A UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ACHIEVED ON ALL DISTURBED AREAS. UPON COMPLETE OF ALL EARTH DISTURBANCE ACTIVITIES INVOLVED WITH THE SUBDIVISION INFRASTRUCTURE, REMOVAL OF ALL TEMPORARY BMPS, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OPERATOR SHALL CONTRACT THE WASHINGTON COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION AND A NOTICE OF TERMINATION (NOT) SHALL BE FILED FOR THE PROJECT.





**PROJECT ENGINEER:** KDH CONSULTING ENGINEERS, INC. 593 RUGH STREET, LOWER LEVEL

GREENSBURG, PA 15601 (724) 493–5041 CONTACT: CHRISTOPHER W. HAMM, P.E.

**DEVELOPER:** BENJAMIN MARCUS HOMES, LLC 333 TECHNOLOGY DRIVE, SUITE 108 CANONSBURG, PA 15317 (412) 880-1025

CONTACT: MARK HOSKINS

RECEIVING WATERS

THE SITE IS LOCATED WITHIN THE BRUSH RUN WATERSHED, HAVING A CHAPTER 93 WATERSHED CLASSIFICATION OF WARM WATER FISHERY (WWF). BRUSH RUN WATERSHED IS AN IMPAIRED WATERSHED, ALL BMP'S ARE TO FOLLOW ABACT DETAILS AND NOTES.

# FLOODPLAIN

THE SITE IS LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD PER FIRM MAP NUMBER 42125C0220E WITH AN EFFECTIVE DATE OF 9/30/2015.

NPDES PERMIT LIMITS OF DISTURBANCE: NPDES PERMIT BOUNDARY:

S: \PROJECTS\291-003-21-CAMDEN VILLAGE\DRAWINGS\291-003-21-BASE-230317.DWG

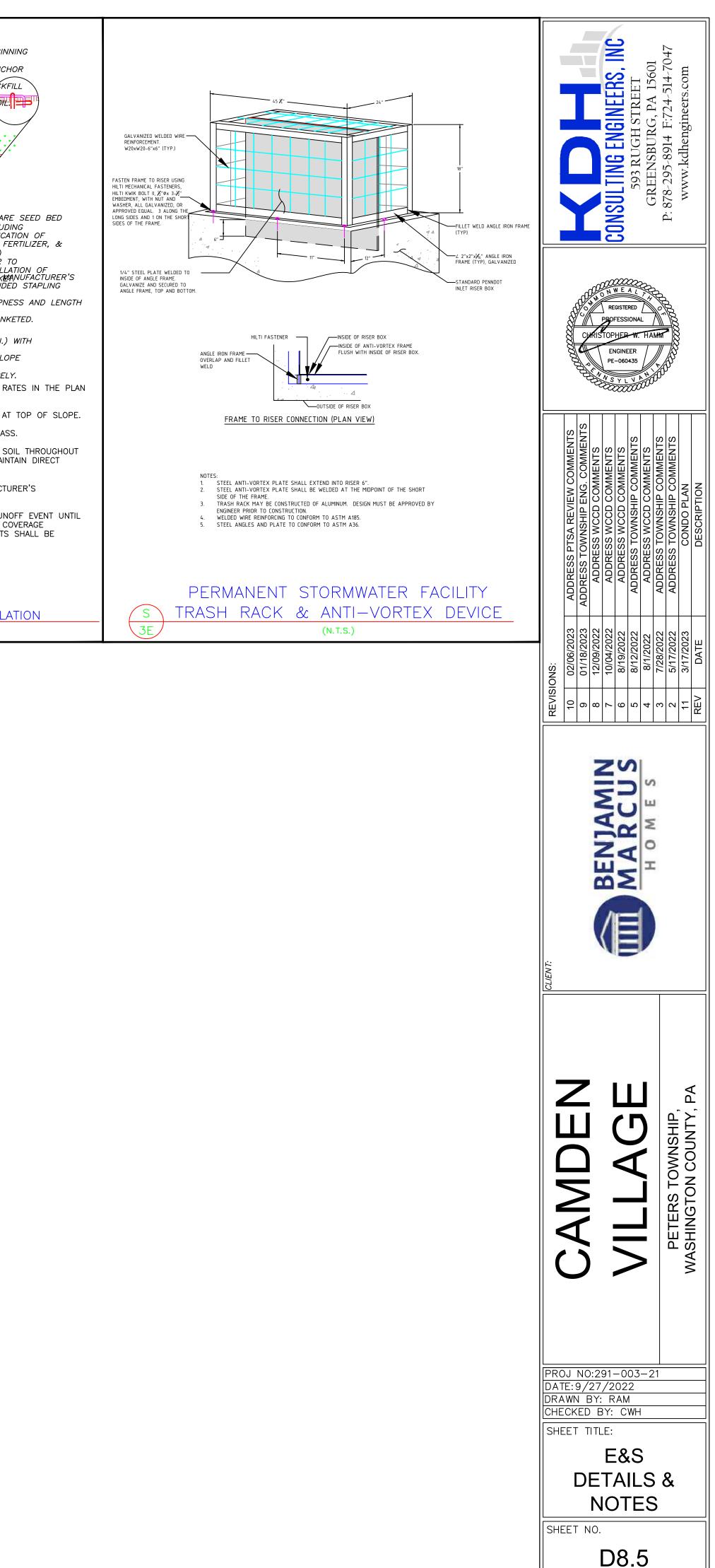
1.88 ACRES 81,965.35 SQ. F.T. 2.0 ACRES 87,120.00 SQ. FT.

2.			TA	BLE 4.1				-6	N
TER		Compo	st Sock Fabric		ecifications			N. IC	.7047 n
	Material Type Material	3 mil HDPE Photo-	5 mil HDPE Photo-	5 mil HDPE Bio-	Multi-Filament Polypropylene (MFPP) Photo-	Heavy Duty Multi-Filament Polypropylene (HDMFPP) Photo-		CONSULTING ENGINEERS, INC 593 RUGH STREET GREENSBURG, PA 15601	724 <sup>t</sup> neers
	Characteristics	degradable		degradable 12"	degradable 12"	degradable 12"		ULTING ENGI 593 RUGH S GREENSBURG	3914 dhenį
	Sock Diameters	12" 18"	12 18" 24"	12 18" 24"	12 18" 24"	12 18" 24"		93 RU	295-8 vw.ka
	Mark Oreasian		32"	32"	32"	32"		SUL 5 GRI	878-3 WW
$\mathcal{A}$	Mesh Opening Tensile	3/8"	3/8"	3/8"	3/8"	1/8"		ONO	P.
×	Strength Ultraviolet		26 psi	26 psi	44 psi	202 psi			
WOODEN	Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.	€¢	REGISTERED	
TS TD 10' 0.C.	Minimum Functional	6 months	9 months	6 months	1 year	2 years		PROFESSIONAL /	
	Longevity		Two-p	ly systems			8	ENGINEER PE-060435	
EET THE		Maria			HDPE biaxial n Continuously wo				pp pp
H ENDS OF THE	Inner Co	ntainment Ne	etting	Fu	ision-welded jun X 3/4" Max. aper	ctures			
TO THE MAIN EXCEED MAXIMUM BE INSTALLED CTURER.	Outer	r Filtration Me	sh	Comp (Woven mechani	osite Polypropyle layer and non-w cally fused via ne (16" Max. apertur	ene Fabric oven fleece eedle punch)	ADDRESS PTSA REVIEW COMMENTS ADDRESS TOWNSHIP FNG. COMMENTS	ADDRESS WCCD COMMENTS ADDRESS WCCD COMMENTS ADDRESS WCCD COMMENTS ADDRESS TOWNSHIP COMMENTS ADDRESS WCCD COMMENTS	ADDRESS TOWNSHIP COMMENTS ADDRESS TOWNSHIP COMMENTS CONDO PLAN DESCRIPTION
E ABOVEGROUND IERE IN THE PLAN.	Sock fabrics	composed of	burlap may b		jects lasting 6 mo			OMM OMM	
AMAGED SOCKS REPLACED WITHIN			TA	BLE 4.2				ADDRESS WCCD COMMENTS ADDRESS WCCD COMMENTS ADDRESS WCCD COMMENTS JDRESS TOWNSHIP COMMENTS ADDRESS WCCD COMMENTS	TOWNSHIP CC TOWNSHIP CC CONDO PLAN DESCRIPTION
IOTODEGRADABLE		0 N 10++ 0 0 C	Compos	t Standards	1000/ Laborar 1	ht basis)	TSA F	ADDRESS WCCD ADDRESS WCCD ADDRESS WCCD DRESS WCCD DRESS WCCD ADDRESS WCCD	TOWI CONE JESCI
ORDING TO		c Matter Cont ganic Portion	ent		- 100% (dry weig ibrous and elong		ESS P	ADDRESS ADDRESS ADDRESS ADDRESS TC ADDRESS TC	ZESS ZESS
LL BE REMOVED. LATTER CASE, THE MENT.		pH isture Conten	t		5.5 - 8.0 35% - 55%		ADDRESS PTSA	ADDF AD	
		Particle Size Salt Concentr	ation		6 pass through 1″ /m (mmhos/cm)				
							VS: 02/06/2023 01/18/2023	12/09/2022 10/04/2022 8/19/2022 8/12/2022 8/1/2022	7/28/2022 5/17/2022 3/17/2023 DATE
24" DIAMETER COMPOST FILTER SOCK	FILTER	1  MIN $1  MIN$ $1$	OUTLET C	-3 ROCK ROSS-SECT COMPOS DOSTS 3' MIN	FIRMLY	MPOST LAYER ANCHORED	CLIENT: REVISIONS: 9 01	HOMES 00 7 00	REV 1 2 3
ION OF THE	HAS OCCURRED ON UPSLOPE F	DUE TO CON ACE IN HQ AI	NCENTRATED F ND EV WATER:	LOW. ANCHOR SHEDS.		MPOST FILTER SOCK YER SHALL BE USEI HEIGHT OF THE	N F N	AGE	TOWNSHIP, N COUNTY, PA
VASHOUT	4-6			ILTER OU 1.t.s.)	JTLET		A V V		PETERS 7 WASHINGTO
	4-6				JTLET		DATE:9/ DRAWN	D:291-003-2 27/2022 BY: RAM D BY: CWH TITLE: E&S	P

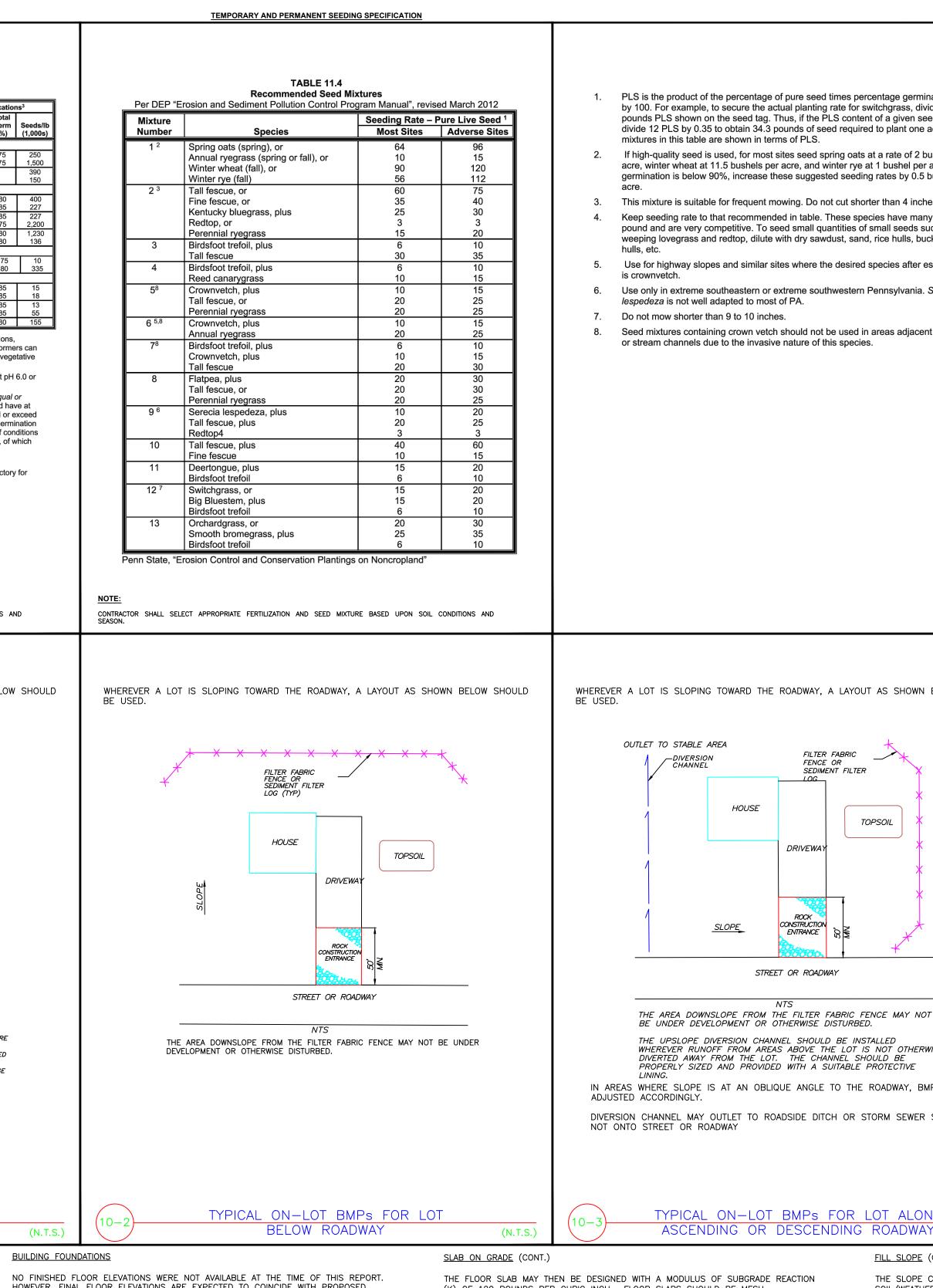


<image/>	BLANKET EDGES OVERLAPPED 4" (MN.) AND STAPPED 4" (MN.) (
9-1 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL (N.T.S.)	EROSION CONTROL BLANKET INSTALLAT (N.T.S.)
<ul> <li>IENERGY AND RECEIVANCE STRAILS OF PLACED IN THE LOCATIONS SHOWN ON THE PLANE OUR WORKING DAYS. THE TEMPORARY VEGTATION WILL REDUCE PROBLEMS OF MUD AND DUST PRODUCTION FROM BARE SOIL SURFACES DURING CONSTRUCTION.</li> <li>INSTALLATION: FERTILIZING, SEEDING, AND MULCHING WILL BE USED AFEA THAN FOUR WORKING DAYS. THE TEMPORARY VEGTATION WILL REDUCE PROBLEMS OF MUD AND DUST PRODUCTION FROM BARE SOIL SURFACES DURING CONSTRUCTION.</li> <li>INSTALLATION: FERTILIZING, SEEDING, AND MULCHING WILL BE USED AFEA MUD MULCHING WILL BE USED AFEA MUD MUD STOCKFUED SOIL MATERIALS. WITH REGARD TO THE TEMPORARY SEED MAR. REPORT TO THE SEEDING MULTICLE OF MOMENTAL STATUS OF THAN FOUR SUBJECT ON THE SEEDING MULTICLE THAN FOUR PROVIDED TO THE SEEDING MULTICLE THAN FOR MUT AND SEEDING PROCEDURES, TO BE APPLIED IN THE ORDER PRESENTED, AFE AS FOLLOWS: UNLESS APPROVED SOIL TEST. RESULTS INDICATE OTHERWISE, EVENLY APPLY THE TO THE SEEDING BROCKELURES, TO BE APPLIED IN THE ORDER PRESENTED, AFE AS FOLLOWS: UNLESS APPROVED SOIL TEST. RESULTS INDICATE OTHERWISE, EVENLY APPLY THE TO THE SEEDING BROCKELURES, TO BE APPLIED IN THE ORDER PRESENTED, AFE AS FOLLOWS: UNLESS APPROVED SOIL TEST. RESULTS INDICATE OTHERWISE, EVENLY APPLY THE TO THE SEEDING BROCKELURES. TO DE APPLIED IN THE CASE TO THE THE SECORES DOIL TEST.</li> <li>ISS POUNDS PER ACRE "GO-GO MURARIC POTASM:</li> <li>WHERE SLOPES REAMED, FORMETLY DISK ALL AMENDMENTS UNDER TO A 3 TO GUINE FOR AS SEED AND INFOLUTION.</li> <li>WHERE SLOPES DERIM, PROMPTLY DISK ALL AMENDMENTS UNDER TO A 3 TO GUINE ADDES SEED AND THE MUCCULANT.</li> <li>WHERE SLOPES DERIM, PROMPTLY DISK ALL AMENDMENTS UNDER TO A 3 TO GUINE ADDES SEED AND THE MUCH ADDES TO THE THEMELY SEED MERTANON. ON TRACKING ON TRACKING ON THA SUBTRY WITH FERTILIZERS FOR MORE THAN ONE HOUR.</li> <li>MPERARE SEEDED DE PREVARIATION. ON TRACKEL MARK SARE PARALLEL TO SITE CONTOURS. SEEDED MERTANION. ON TRACK MORE THAN SEURT WITH FERTILIZERS FOR MORE THAN OND FLECTIONES THAN MULTION THE EXECUTION OF THE S</li></ul>	
	<complex-block><text><text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text></text></complex-block>

81,965.35 SQ. F.T. 87,120.00 SQ. FT.



Per DEP "Er	osion and Sediment F	TABLE 11.2 ent Application Rate	am Manual", revised N	larch 2012			Species				CES OF S	E 11.3 SOIL LIMIT		Minimum S Ready	Seed Spe Hard	Tota
Soil Amendment		Per 1,000 sq. ft.	ation Rate Per 1,000 sq. yd.	Notes			Warm-Season G	Growth Habit1 rasses bunch	Wet Soil yes		Low Fertility yes	Acid Soil (pH 5-5.5) <sup>2</sup> yes	Purity (%) 95	Germ (%) 75	Seed (%)	Geri (%)
Agricultural Lime	6 tons	240 lb.	2,480 lb.	Or as per soil test may not be required in agricultural fields			Weeping lovegrass Switchgrass Big bluestem Cool-Season Gra	bunch bunch bunch	no yes no no	yes yes yes no	yes yes yes yes	yes yes yes	97	75 (60 P (60 P		80
10-20-20 fertilizer	1,000 lb.	25 lb.	210 lb.	Or as per soil test may not be required in agricultural fields			Perennial ryegrass Annual ryegrass Kentucky bluegrass Timothy Smooth bromegrass	bunch bunch sod bunch	yes yes no yes no	no no no no yes	no yes no yes yes	no no no yes no	95 95 85 95 95 95	85 85 75 80 80		85 85 75 80 80
Agricultural Lima		rary Seeding Applic	ation Rate	Typically not			Legumes <sup>5</sup> Flatpea Serecia lespedeza Cereals	sod bunch	no no	no yes	yes yes	yes yes	98 98	55 60	20 20	75 80
Agricultural Lime	1 ton	40 lb.	410 10.	required for topso stockpiles Typically not			Winter wheat Winter rye Spring oats	bunch bunch bunch	no no no	no no no	no yes no	no yes no	98 98 98	85 85 85		85 85 85
10-10-10 fertilizer	500 lb.	12.5 lb. ontrol and Conserva	100 lb.	required for topso stockpiles	bil		Sundangrass Japanese millet <sup>1</sup> Growth habit re	bunch bunch	no yes bility of	yes no	no yes	no yes	98 98	85 80	means (	85 80
Pollution substitu Mulching – Cellulo recycled long fiber suitable to hydra n Place mulch, of the	n Control Program ted for the soil am se Fiber Mulch: De pulp, free from we nulching. e kind indicated, im e mulch blanket rate	meets the standard Manual", revised M endments shown in gradable green dyed eds or other foreign r mediately after seed e of 2-1/2 tons per ac	Table 11.2. wood cellulose fibe natter toxic to seed	r <b>11 may be</b> r or 100% germination and rs after seeding		NOTE		ed, plants m lots are truly andards. Thu y germinable cations. Ren at germinate germinate ra type. ed is sold on egume inocu	ay grow winimu us, deeri s seed a nember s during apidly w hly on th lant. Inc	at a som um, and s congue gr nd 30% h that distu the peri- hen plan e basis o oculant su	newhat low rass should hard seed. Irbed sites od of the gi ted. The op f PLS. uitable for g	er pH, but cov be used for r germinate 75 Commonly, s are adverse f ermination tes oposite of read	ver genera revegetati 5% or bet eed lots a or plant e st and tha dy germin	ally is only ion purpos tter. Crowr are availab istablishmo t would be nation is do tpeas usua	v adequat nvets should nvetch sh le that eo ent. Read e expecte prmant se	te at p d equ lould qual c dy ge ed, if c eed, o
DR SHALL SELECT APP	Mul	TABLE 11.6 Ich Application Rat	95			SEASC	EREVER A LOT									
Per DEP "Er	Application	Pollution Control Progra on Rate(min.) 1,000 sq. Per 1,000 ft. yd.		larch 2012 lotes												
Straw	3 tons 1	140 lb 1,240	lb. free of weed	at or oat straw, ds, not chopped			_						OUTLE	<u> </u>	~	
Нау	3 tons 1	40 lb. 1,240	Timothy, m lb. timothy o	ely broken ixed clover and r other native			l	DIVERSION .	swale				SWALI ADEQ	Ε ΤΟ		1
Wood Chips Hydromulch		– 275 lb. 1,650 – 2 lb. 47 lb. 415	2,500 May preven grasses	e grasses t germination of and legumes ations below <sup>1</sup>						HOL	JSE					
being windblown. soil — about 3 incl machinery should it with tracked mac Polymeric and gur recommendations days. A 24-hour cu Application should banks to prevent le uniformly. Binders being blown onto t Synthetic binders, anchor mulch prov native plant and an Mulch on slopes o fiber, or paper nets recommendations Shredded paper h hydromulch may b	A tractor-drawn imp hes. This method sl be operated on the chinery is not recom n tackifiers mixed a may be used to tac uring period and a s generally be heavi- oss by wind. The re may be applied aftu- he soil. Applying st or chemical binders rided sufficient docu- nimal species. f 8% or steeper sho s may be stapled ov ydromulch should n e applied on steeper	ored or tackified immolement may be used hould be limited to sli contour. Note: Crimponended. and applied according k mulch. Avoid appli soil temperature high- est at edges of seed mainder of the area er mulch is spread of raw and binder toget s, may be used as re- umentation is provide build be held in place over the mulch accord not be used on slopes er slopes provided a 000 lb/acre at a minir	to "crimp" the straw opes no steeper tha bing of hay or straw to manufacturer's cation during rain ar er than 45° F are typ ed areas and at cress should have binder a sprayed into the mi- her is generally mor- commended by the d to show they are no with netting. Lightwe ing to manufacturer' s steeper than 5%. V tackifier is used. The	r or hay into the n 3H:1V. The by running over nd on windy bically required. sts of ridges and applied ulch as it is e effective. manufacturer to non-toxic to eight plastic, s			THAN 150 NOT OTHE AND PROV CAUTION 1	(TYP)	ON CHA E THE F TED AW A SUITAL ALL DO	NNEL SH CODWAY AY FROM BLE PROT	STREET STREET NOULD BE 1 OR WHERE THE LOT. TECTIVE LIN	ROCK STRUCTON VTRANCE OR ROADWAY TS NSTALLED WH TRE CHANN ING. THE DE TY OWNERS W	HEREVER S OM AREAS IEL SHOU	S ABOVE 1 ILD BE PR MUST EXP.	XXTENDS THE LOT OPERLY ERIENCE	IS SIZED
CAL RECOMMEND/ WING RECOMMEN G GEOTECHNICAL	<u>ATIONS:</u> DATIONS ARE TAK	ON AND SEED MIXTURE KEN DIRECTLY FRO FOR CAMDEN VILLA	M THE ACA	CONDITIONS AND	THE	SOIL USEI	CONSTRUCTION	ISTRUCTION	N SHO	AE	BOVE		/AY clean	,	DT	
COAL, CARBONAC ATED WITH MORE SUITABLE SOILS C AS NECESSARY, T ED NUMBER OF TI MATERIAL ACROSS ON AN ACA REPR FOR CONSTRUCT EMAINING SOILS, WHICH WILL REC STRUCTURE SUPF LED TO DETECT A G A LOADED TRI– EMENT CRITERIA. IG, PUMPING, OR SOUTH AND ONE AREA OF FILL PL/ OR STABILIZED AS	EOUS MATERIAL, THAN FIVE (5) P OR MATERIALS. A O ACCOMMODATE EST BORINGS TAK THE SITE, IT IS ESENTATIVE SHOL ION TO OBSERVE WHERE NECESSAF CEIVE BACKFILL S OR HAULED IN F PORT OR BACKFILL S OR HAULED IN F PORT OR BACKFILL S OR HAULED IN F PORT OR BACKFILL S OR HAULED IN F SOIL MEETS NOM EXCESSIVE SETTL (1) EAST TO WI ACEMENT. ANY Y S PER PART 6.1.	LING OPERATIONS, IG ZONES. PROOI TR AN AREA TO SI N-MOVEMENT CRIT LEMENT. TWO (2) EST, SHOULD BE YIELDING ZONES D 5 OF THIS SECTIO	OIL, SOILS BY WEIGHT, AND RELOCATE ALL T CONSTRUCTION. D ENTIAL VARIABILITY HAT DURING SITE SUITABILITY OF ABLE MATERIALS A SUBGRADE ELEVA IN WITH SUITABL ALL AREAS SHOU FROLLING IS PERF EE IF IT MEETS ERIA WHEN THERE PASSES, ONE (1 MADE OVER THE ISCOVERED SHOUL N.	ANY HE UE TO TOF THE ARE ATIONS. E JLD BE FORMED E IS ) ENTIRE LD BE	ORG/ DIME ASTM AND MATE SHOU IN TI REPL PROF THE THIC IN M MINU MODI ALL MAXI D155 DURI SHOF IN A SOFT	NIC MATTE NSION, AN I D-2487 CL OR A RIALS, SUU JLD NOT E HE AREAS ACEMENT PERLY PRE FIRST LIFT < IN THE AXIMUM EI S TWO (2) FIED PROC FILL SHOU MUM DRY -7). NG FILL C JLD MAINT, JED TO CA YY SECTOF ENED SOIL	IFF-SITE MATERI ER, PEAT, ROCK D OTHER DELET SOIL CLASSIFIC, COMBINATION O CH AS COAL/CA BE USED. WHICH ARE TO PROCESS OR FO PROCESS	OR GRAV ERIOUS M/ ATION GRC F THESE G RBONACEC DR GRADE UBGRADE SHOULD B EACH LIF .00SE THIM DPTIMUM I M D-1557 TED TO A TERMINED ND/OR SL DRAINAGE. ) FLOW AV S SHOULD	EL LAF ATERIA DUPS: GROUF DUS SF FILL EI RAISII SHOUL E ONL E ONL	RGER T LS AND GW, G SYMB HALE O THER A NG, THE D BE SOIL TH S AND IRE CO UM DEN E MOD DE PRE OSED S ROM TH DRAINED	HAN 6 IN SHALL SP, GM, GOLS. F R MINE S AS PART E SUBGRA SCARIFIEL ROXIMATE IEREAFTE SHOULD NTENT AS NSITY OF IFIED PRO PARATION SURFACES IE SITE. AND AL	NCHES IN / INCLUDE TH GC, SW, SF POTENTIALLY SPOIL MATE OF AN UN ADE SHOUL D. LY FOUR ( R SHOULD BE WITHIN 95 PERCE DCTOR TES I, THE CON S SHOULD IF WATER L MUD ZO	ANY HE FOLI P, SM, Y EXPAN ERIALS DERCUT D FIRS 4) INCH BE PLA I PLUS NED BY ENT OF T (ASTM ITRACTO BE POS DOES INES OF	LOWING SC, ML NSIVE AND T BE HES ACED OR THE M NR SITIVELY POND		
TION OF ISOLATED RUSHED STONE WH 5. AN ALTERNATE DIST SOILS WOULD EAS. DFROLLED AREAS S UNSUITABLE MATER BGRADE APPROVAL IERAL FILL CONSTR	ICH IS "BRIDGED" METHOD OF SUE BE TO SCARIFY, SHOULD BE INSPE RALS HAVE BEEN , FILL THE SITE	OR "CHOKED" IN BGRADE STABILIZAT DRY OUT, AND TH ECTED BY AN ACA REMOVED. TO GRADE WHERE	ITO THE YIELDING ION FOR THE CAS IEN RECOMPACT T ENGINEER TO EV NECESSARY AS F	SE OF THE ALUATE	BREA ARE CONS REST THEN GRAD ALL OR O FEET THE CONS	KDOWN B' ENCOUNTE STRUCTION ABILIZED E I DRYING J JUALLY WO FILL DENS DTHER APF ON EACH ABOVE RE STRUCTION	ILTY SOILS WERI Y PUMPING UND TRAFFIC SHOUL EITHER BY DRYIN AND RECOMPACT IRSEN AND SPRI TILES SHOULD B PROVED METHOD LIFT SHOULD E COMMENDATIONS THEY ARE NO PECIFICATIONS.	ER TRAFFI DNSTRUCTI D BE REF IG AND RI ING. ARE EAD. E EVALUA S. AT LE BE CONDU E ENCOMP/	IC LOA ON AN ROUTEL ECOMF EAS AL TED B TED B CAST O CTED.	DS. W D IF P AND ACTING LOWED Y ACA NE (1) SSENTIA	IHEN CLA UMPING THE ARE, OR BY TO BRE/ USING NI TEST PE	IY OR SILT IS INITIATEI A SHOULD ADDING DI AK DOWN N UCLEAR DE ER EVERY : TS OF FILL	POCKE D, THEN E RAINAGE WILL NSOMET 2,500 S	ets Be I AND Fers Square		



HOWEVER, FINAL FLOOR ELEVATIONS ARE EXPECTED TO COINCIDE WITH PROPOSED GRADING. BASED ON THE TEST BORINGS PERFORMED AND THE STANDARD PENETRATION TESTING (SPT) RESULTS, THE EXISTING FILL MATERIAL SHOULD BE OVEREXCAVATED THREE (3) FEET BELOW BOTTOM OF FOUNDATION ELEVATION AND REPLACED WITH SUITABLE FILL MATERIAL AS PER THE "GENERAL FILL CONSTRUCTION" SECTION OF THIS REPORT. A STANDARD FOUNDATION SYSTEM (SHALLOW SPREAD AND CONTINUOUS WALL FOOTINGS) CAN THEN BE DESIGNED FOR A NET, MAXIMUM ALLOWABLE BEARING PRESSURE OF 2,000 POUNDS PER SQUARE FOOT.

THE FOLLOWING ARE GENERAL RECOMMENDATIONS FOR THE SHALLOW FOUNDATION SYSTEM:

THE EXTERIOR FOOTINGS AND FOOTINGS EXPOSED TO FREEZING CONDITIONS MUST BE A MINIMUM OF THREE AND ONE-HALF (3.5) FEET BELOW THE ADJACENT FINISHED EXTERIOR GRADE TO ASSURE PROPER FROST PROTECTION.

IF ANY FOUNDATIONS ARE TO BE STEPPED, THEY SHOULD BE STEPPED NO STEEPER THAN ONE (1) FOOT VERTICALLY TO TWO (2) FEET HORIZONTALLY.

ALL FOUNDATION BEARING SURFACES SHOULD BE COMPACTED FOLLOWING EXCAVATION AND PRIOR TO CONCRETE PLACEMENT. FOUNDATIONS SHOULD BE POURED AS SOON AFTER EXCAVATION AS POSSIBLE. FURTHERMORE, CONCRETE SHOULD NOT BE PLACED ON FROZEN SOIL.

ALL FOUNDATION BEARING SURFACES SHOULD BE INSPECTED BY ACA TO EVALUATE THE SUITABILITY OF THE BEARING MATERIALS FOR SUPPORT OF THE PROPOSED LOADS AND TO ENSURE THAT NO UNSUITABLE MATERIALS ARE PRESENT.

ALL FOUNDATIONS SHOULD BE DESIGNED TO WITHSTAND 0.5 INCH DIFFERENTIAL SETTLEMENT.

# <u>SLAB ON GRADE</u>

THE FLOOR SLABS WILL BE SUPPORTED BY EXISTING FILL MATERIAL. DUE TO THE PRESENCE OF SLAG, THE PREVIOUSLY PLACED FILL MATERIAL ENCOUNTERED SHOULD BE OVEREXCAVATED TWO (2) FEET AND REPLACED WITH SUITABLE MATERIAL, PLACED AND COMPACTED AS PER THE "GENERAL FILL CONSTRUCTION" OF THIS REPORT. AFTER THE OVEREXCAVATION IS COMPLETED, ANY SOFT AREAS THAT MAY STILL EXIST SHOULD BE STABILIZED USING A MINIMUM OF SIX (6) INCHES OF AASHTO NO. 1 STONE (MAXIMUM SIZE 4"). IT MAY BE POSSIBLE TO REUSE SOME OF THE ON-SITE MATERIAL PROVIDED IT IS SUITABLE MATERIAL AND PROPERLY DRIED PRIOR TO BACKFILL PLACEMENT.

(K) OF 120 POUNDS PER CUBIC INCH. FLOOR SLABS SHOULD BE MESH REINFORCED AND SHOULD HAVE AMPLE CONSTRUCTION JOINTS TO HELP CONTROL THE LOCATIONS OF SHRINKAGE AND SETTLEMENT CRACKING. IN ADDITION, FLOOR SLABS SHOULD NOT BE STRUCTURALLY CONNECTED TO WALLS OR COLUMNS.

ALL BEARING SURFACES SHOULD BE FREE OF WATER, CONTAMINATION, AND CARBONACEOUS MATERIAL PRIOR TO CONCRETE PLACEMENT. FURTHERMORE, CONCRETE SHOULD NOT BE PLACED ON FROZEN SOIL.

PRIOR TO CONCRETE PLACEMENT, AN ACA ENGINEER OR SOILS TECHNICIAN SHOULD EVALUATE THE SUITABILITY OF THE BEARING MATERIALS FOR SUPPORT OF THE PROPOSED LOADS AND OBSERVE THAT NO UNSUITABLE MATERIALS ARE PRESENT.

THE USE OF A POLYETHYLENE MOISTURE BARRIER BENEATH THE FLOOR SLAB IS RECOMMENDED TO BREAK CAPILLARY MOISTURE RISE. THE SLAB SHOULD BE PLACED ON A MINIMUM OF SIX (6) INCHES OF GRANULAR SUBBASE MATERIALS, SUCH AS PENNDOT NO. 2A STONE, COMPACTED AS PER THE "GENERAL FILL CONSTRUCTION" SECTION OF THIS REPORT.

# <u>FILL SLOPE</u>

TO PROVIDE FOR LONG TERM STABILITY, ALL FILL SLOPES SHOULD BE CONSTRUCTED WITH A GRADE NO STEEPER THAN 2:1 (HORIZONTAL:VERTICAL). ALL FILL SLOPES SHOULD BE CONSTRUCTED USING PROPER TOE BENCHING, DRAINAGE AND INTERMEDIATE BENCHING. DUE TO THE PRESENCE OF UNDOCUMENTED FILL MATERIAL THE TOE OF THE EXISTING FILL SLOPES SHOULD BE RE-EXCAVATED AND THE OUTER TEN (10) FEET OF THE EXISTING SLOPES SHOULD BE RECOMPACTED. TO ACHIEVE A STABLE SLOPE AND PRIOR TO PLACING ANY FILL, THE FOLLOWING SHOULD BE IMPLEMENTED.

STRIP THE ENTIRE CONSTRUCTION AREA OF ALL EXISTING VEGETATION, TOPSOIL, ANY ORGANIC SOIL ENCOUNTERED, AND ANY OTHER UNSUITABLE MATERIALS. ANY COLLUVIAL MATERIAL ENCOUNTERED SHOULD BE COMPLETELY REMOVED AS DIRECTED BY ACA.

CONSTRUCT THE EMBANKMENT TOE BENCH AS SHOWN IN APPENDIX J. THE KEYWAY SHOULD BE EXCAVATED TO SUITABLE MATERIAL AS DIRECTED BY ACA. SUITABLE MATERIAL IS DEFINED AS WEATHERED ROCK WITH A MINIMUM CONSISTENCY OF STIFF. THE BOTTOM OF THE BENCH SHOULD PASS A PROOFROLL PRIOR TO BACKFILLING OPERATIONS. SLOPES LESS THAN THIRTY (30) FEET IN HEIGHT SHOULD HAVE A MINIMUM KEYWAY WIDTH OF TEN (10) FEET.

SOIL/WEATHE INITIÁL STAG PER THE "GI SHOULD BE SUITABILITY

EROSION. CUT SLOPES

THE FINAL

	TAD	BLE 11.5		<b>%, INC</b> 5601 14-7047 com
mination divided divide 12	Recommended Seed Mixture Per DEP "Erosion and Sediment Pollution	s for Stabilizing Distur Control Program Manual",	revised March 2012	S. C. S.
seed lot is 35%, ne acre. All	Site Condition Slopes and Banks (not mowed)	Nurse Crop	Seed Mixture (Select One Mixture)	GINE STRI G, PA F:724 gineer
2 bushels per per acre. If .5 bushel per	Well-drained Slopes and banks (grazed / hay) Well-drained Gullies and Eroded Areas	1 plus 1 plus	12 <sup>1</sup> 2,3, or 13	SULTING ENGINEERS, 593 RUGH STREET GREENSBURG, PA 1560 878-295-8914 F:724-514-7 www.kdhengineers.com
iches.	Erosion Control Facilities (BMPs) For hay or silage on diversion channels Occasional water flow areas	s and 1 plus	13	593 7.000 7.000 7.000 7.000 7.000
nany seeds per s such as buckwheat	Utility Right-of-Way Well-drained	1 plus	12 <sup>1</sup>	P: 876
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*	(724) 493–5041 CONTACT: CHRISTOPHER W.			ZA
		HAMM, F.L.		SB
	<u>DEVELOPER:</u> benjamin marcus homes,			
NOT	333 TECHNOLOGY DRIVE, S CANONSBURG, PA 15317	UITE 108		
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ΑΥ (Ν.Τ.S.) <u>νε</u> (CONT.)				
E CONSTRUCTION SHOUL THERED ROCK. IT IS RE AGES OF THE FILL PLACE "GENERAL FILL CONSTRUC	) THEN START USING THE ON-SITE SUITABLE COMMENDED THAT ROCKY FILL BE PLACED IN THE MENT. THESE MATERIALS SHOULD BE PLACED AS TION" SECTION OF THIS REPORT. THE FILL (ISTING MATERIALS. ACA SHOULD EVALUATE THE			LAG RS TOWNSHIP, TON COUNTY,
Y OF THE FILL MATERIALS				A A I L Peters Shingto
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<u>'ES</u> DES SHOULD BE CONSTRU	CTED WITH A GRADE NO STEEPER THAN 2:1			O>

CUT SLOPES SHOULD BE CONSTRUCTED WITH A GRADE NO STEEPER THAN 2:1 (HORIZONTAL:VERTICAL). A COLLECTION DITCH SHOULD BE CREATED AT THE BOTTOM OF THE SLOPE IN ORDER TO COLLECT ANY SURFACE OR SUBSURFACE WATER AND DIVERT IT AWAY FROM THE DEVELOPMENT AREA. ANY COLLUVIAL MATERIAL. UNSTABLE EXISTING FILL, OR OTHERWISE LANDSLIDE PRONE SOILS, ENCOUNTERED WITHIN THE CUT SLOPES SHOULD BE OVEREXCAVATED AND REPLACED WITH SUITABLE MATERIAL AS IDENTIFIED IN THE "GENERAL FILL CONSTRUCTION" SECTION OF THIS REPORT. THE OVEREXCAVATION SHOULD EXTEND A MINIMUM HORIZONTAL DISTANCE TEN (10) FEET AND BE SLOPED 1% BACK INTO THE SLOPE. A DRAIN SIMILAR TO THE DRAIN SHOWN ON THE KEYWAY BENCH DETAIL SHOULD BE INSTALLED AT THE HEEL OF THE BENCH. OUTLETS FOR THE DRAINS SHOULD BE PROVIDED AT LOW POINTS OF THE OVEREXCAVATIONS. THE OVEREXCAVATED AREA SHOULD BE BACKFILLED AS PER THE "GENERAL FILL CONSTRUCTION" SECTION OF THIS REPORT. THIS WILL REQUIRE THE OVEREXCAVATION OF COLLUVIAL SOILS THE VICINITY OF EACH TEST BORINGS. IN ADDITION, DUE TO THE POSSIBILITY OF GROUNDWATER BEING ENCOUNTERED WITHIN THE CUT AREAS, FUTURE MAINTENANCE OF THE SLOPES MAY BE REQUIRED. TYPICALLY FOLLOWING THE EXCAVATION OF THE SLOPES, GROUNDWATER MAY BE EVIDENT WITHIN THE NEW SLOPE SURFACE. THIS MAY BE CAUSE FOR CONCERN DUE TO THE POTENTIAL HIGH MOISTURE CONTENT WITHIN THE SURFACE SOIL WHICH MAY CAUSE SURFACE SLOUGHING AND LOCALIZED SURFACE FAILURES. IN THE EVENT THIS SITUATION OCCURS DURING OR AFTER CONSTRUCTION, THESE LOCALIZED AREAS MAY NEED TO BE EXCAVATED AND BACKFILLED WITH ROCK MATERIAL. PROPER DRAINAGE SHOULD BE PROVIDED AT THE TOP OF CUT SLOPES TO CARRY WATER AWAY FROM THE SLOPES THROUGH ROCK LINED CHANNELS. SEEDING OF THE SLOPES SHOULD

BE PERFORMED IMMEDIATELY AFTER COMPLETION OF GRADING.

