

APPLICATION FOR SUBMITTAL OF POST-APPROVAL DOCUMENT

This application is for submittal of documents, after the initial approval of the project (post-approval documents), that require Division of the State Architect (DSA) review and approval. This form shall be completed by the Design Professional in General Responsible Charge of the project, in accordance with California Code of Regulations, Title 24, Part 1, Sections 4-317, 4-323 and 4-338 and in compliance with DSA IR A-6: Construction Change Document Submittal and Approval Process.

DSA documents referenced within this form are available on the [DSA Forms](#) or [DSA Publications](#) webpages.

1. SUBMITTAL TYPE: (Is this a resubmittal? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>)			
Deferred Submittal <input type="checkbox"/>	Addendum Number: 01	Revision Number:	CCD Number: _____ Category A <input type="checkbox"/> or B <input type="checkbox"/>
2. PROJECT INFORMATION:			
School District/Owner: Corona Norco Unified School District		DSA File Number: 33 9	
Project Name/School: Corona Fundamental Intermediate School		DSA Application Number 04 121721	
3. APPLICANT INFORMATION:			
Date Submitted: 08/07/23	Attached Pages? No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Number of pages? 30		
Firm Name: CSDA Design Group	Contact Name: Jose Arche		
Work Email: jarche@csdadesigngroup.com	Work Phone: (310) 301-4767		
Firm Address: 610 E Franklin Ave	City: El Segundo	State: CA	Zip Code: 90245
4. REASON FOR SUBMITTAL: (Check applicable boxes)			
<input checked="" type="checkbox"/> For revision or addendum prior to construction.		<input type="checkbox"/> For a project currently under construction.	
<input type="checkbox"/> For a project that has a form DSA 301-N: Notification of Requirement for Certification, DSA 301-P: Posted Notification of Requirement for Certification or a 90-Day Letter issued.			
<input type="checkbox"/> To obtain DSA approval of an existing uncertified building or buildings.			
<input type="checkbox"/> For Category B CCD this is: <input type="checkbox"/> a voluntary submittal, <input type="checkbox"/> a DSA required submittal (attach DSA notice requiring submission).			
5. DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE:			
Name of the Design Professional In General Responsible Charge: Yisan Tai			
Professional License Number: C-29766		Discipline: Architecture	
Design Professional in General Responsible Charge Statement: The attached post-approval documents have been examined by me for design intent and appear to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications. They are acceptable for incorporation into the construction of the project.			
Signature: _____ <i>Yisan Tai</i>			
DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE			
6. CONFIRMATION, DESCRIPTION AND LISTING OF DOCUMENTS:			
For addenda, revisions, or CCDs: CHECK THIS BOX <input checked="" type="checkbox"/> to confirm that <i>all</i> post-approval documents have been stamped and signed by the Responsible Design Professional listed on form DSA 1: Application for Approval of Plans and Specifications for this project. (For Deferred Submittals, refer to IR A-18: Use of Construction Documents Prepared by Other Professionals, and IR A-19: Design Professional's Signature and Seal (Stamp) on Construction Documents, when applicable, for signature and seal requirements.)			
Provide a brief description of construction scope for this post-approval document (attach additional sheets if needed): Constructibility District review varies items changes			
List of DSA-approved drawings affected by this post-approval document: G-101,C-2.0,C-3.0,C-4.0,A-101, A-110,A-111,A-411,A-412, A-421, A-423,A-431,A-432,A-441,A-552,M-111,M-601,E-101D,E-101,P-101, DIV. 02419			

DSA USE ONLY		
	Returned	DSA STAMP
SSS PC Date 10/31/2023 <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved <input type="checkbox"/> Not Required Comments: _____	Date: 11/01/2023	<div style="border: 2px solid black; border-radius: 15px; padding: 10px; text-align: center;"> <p>APPROVED DIV. OF THE STATE ARCHITECT</p> <p>APP: 04-121721 INC:</p> <p>REVIEWED FOR</p> <p>SS <input checked="" type="checkbox"/> FLS <input checked="" type="checkbox"/> ACS <input checked="" type="checkbox"/></p> <p>DATE: <u>10/31/2023</u></p> </div>
FLS DS Date 09/20/2023 <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved <input type="checkbox"/> Not Required Comments: _____	By: DP	
ACS SP Date 10/27/2023 <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved <input type="checkbox"/> Not Required Comments: _____		

ADDENDA

GENERAL

1.01 The following sets forth the format for issued Addenda.

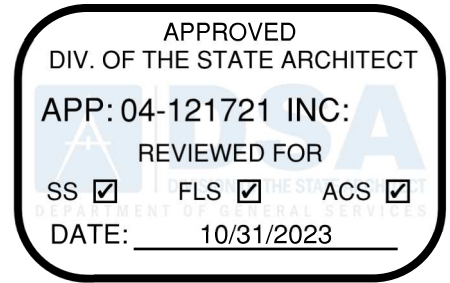
ADDENDUM NO. 01, dated July 11, 2023.

MPR RENOVATION
CORONA FUNDAMENTAL INTERMEDIATE SCHOOL
1230 S Main St, Corona, CA 92882

OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT
2820 Clark Ave, Norco, CA 92860

ARCHITECT:
CSDA Design Group
610 E. Franklin Ave.
El Segundo, CA 90245

DSA File No.: 33-9
DSA App. No.: 04-121721
PTN.: 67033-359
CSDA Project No.: 22063.01



TO: ALL PROSPECTIVE BIDDERS:

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated {month, year}, as noted below. Acknowledge receipt of the Addendum in the space provided on Document 00 4100 - Bid and Acceptance Form. Failure to do so may result in the bid being deemed non-responsive.

The Addendum consists of 30 pages.

OAR Name Signature Date

Regional Director Name Signature Date

CHANGES TO BIDDING DOCUMENTS

Item No. 1.01
Sheet G-101 - SITE PLAN - OVERALL - ACCESSIBILITY

- Sheet notes regarding sheet G-102 removed.

Item No. 1.02
Sheet A-101 - SITE PLAN - OVERALL & DETAILS

- West concrete landing layout revised
- Remove handrail, added continues concrete step

Item No. 1.03
A-110 - 1ST FLOOR PLAN & RCP - OVERALL – DEMO

- Sheet note 12 removed
- Existing lockers to be demolished shown in Boys' and Girls' locker rooms
- Existing tabletop & cabinet to be demolished shown and keynoted in Girl's Towel Room
- Note in Audio-Visual Room revised
- Note added to Boys' Towel Room regarding existing tile
- Keynote D02.21 added for tabletop & cabinet
- Keynote D10.01 revised

Item No. 1.04
Sheet A-111 - 1ST FLOOR PLAN & RCP - OVERALL

- Added Sheet Note 5 for work on ceilings and walls
- Added Sheet Note 6, Extron System
- West concrete landing layout revised
- Girls' Toilet Room 9 layout revised
- Floor mat added at Door E20 in Classroom 20

Item No. 1.05
Sheet A-411 - COMPUTER LAB ROOM 2 - ENLARGED PLAN & INTERIOR ELEVATIONS

- Girls' Toilet Room 9 layout revised
- Keynote 11.50 revised

Item No. 1.06
Sheet A-412 - COMPUTER LAB ROOM 2 - ENLARGED RCP

- Added Sheet Note 5 for work on ceilings and walls

Item No. 1.07
Sheet A-421 - MPR - ENLARGED PLAN

- Added notes for rooms 13-16 to be painted

Item No. 1.09
Sheet A-423 - MPR - INTERIOR ELEVATIONS

- Keynote 95.65.01 revised

Item No. 1.10
Sheet A-431 - CLASSROOM ROOM 20 - ENLARGED PLAN & INT ELEVATIONS

- Floor mat added and keynoted at Door E20 in Classroom 20
- Keynote 12.70 added for floor mat

Item No. 1.11
Sheet A-441 - INTERIOR ELEVATIONS

- 1/A-441, 2/A-441, and 3/A-441 revised to reflect Girls' Toilet Room 9 layout

Item No. 1.12
Sheet A-552 - DETAILS - TYPICAL

- 7/A-552 revised to reflect concrete landing layout
- Detail callout added at concrete steps

Item No. 1.13
Sheet A-571 - DETAILS - TYPICAL SIGNAGE

- CHPS detail 3/A-571 removed

Item No. 1.14
Sheet A-641 - FINISH SCHEDULE & TYPICAL DETAILS

- Note added regarding floor mat in Classroom 20

Item No. 1.15
Sheet M-111

- Add sheet note #G.

Sheet M-601 – Mechanical Control Diagram

- Add sheet note #A.
- Specify location of new I-VU location.

Item No.1.16
Sheet E-101D:

- Match existing panel locations to site conditions.

Sheet E-101:

- Add Speaker, Project, Access Point, and Extron locations.
- Shift power outlet locations to match washer & dryer locations.

Item No. 1.17
Sheet P-101:

- Shift piping layout per new water closet locations.

Item No. 1.18
Specification section 02 4119

- Omit Part 1 paragraph C-1,2

Item No. 1.19
Specification section 27 000 & 27 3000

- Added sections (District Standards) Total pages 4

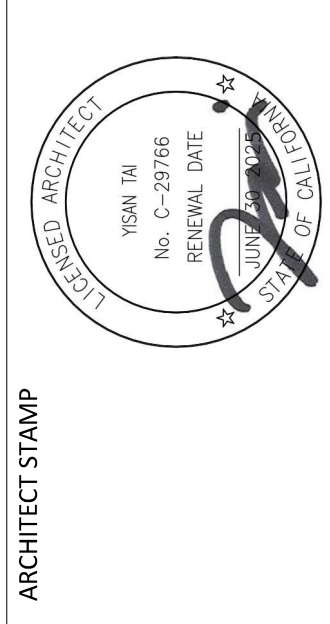
END OF ADDENDUM NO. 01

APPROVED
 DIV. OF THE STATE ARCHITECT
 APP: 04-121721 INC.
 REVIEWED FOR:
 SS FLS ACS
 DATE: 10/31/2023

CSDA DESIGN GROUP

LISTEN COLLABORATE CREATE

889 N. DOUGLAS STREET, SUITE 100
 EL SEGUNDO, CA 90245
 [T]: 310.821.9200
 www.csdadesigngroup.com



CONSULTANT:

CONSULTANT STAMP

PROJECT OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT



2820 Clark Ave, Norco, CA 92860
 (951) 736-5000

PROJECT NAME:

**CORONA FUNDAMENTAL
 INTERMEDIATE SCHOOL - MPR
 RENOVATION**

1230 S Main St, Corona, CA 92882

MARK DATE	DESCRIPTION
12/19/2022	DSA SUBMITTAL
03/07/2023	DSA BACK CHECK
07/17/2023	ADDENDUM 01
10/23/2023	ADDENDUM 02 RESUBMITTAL

PROJECT NO.: 22063.01

SHEET TITLE:
**SITE PLAN - OVERALL -
 ACCESSIBILITY**

SHEET NO.:

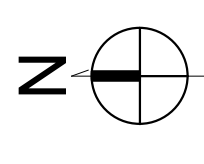
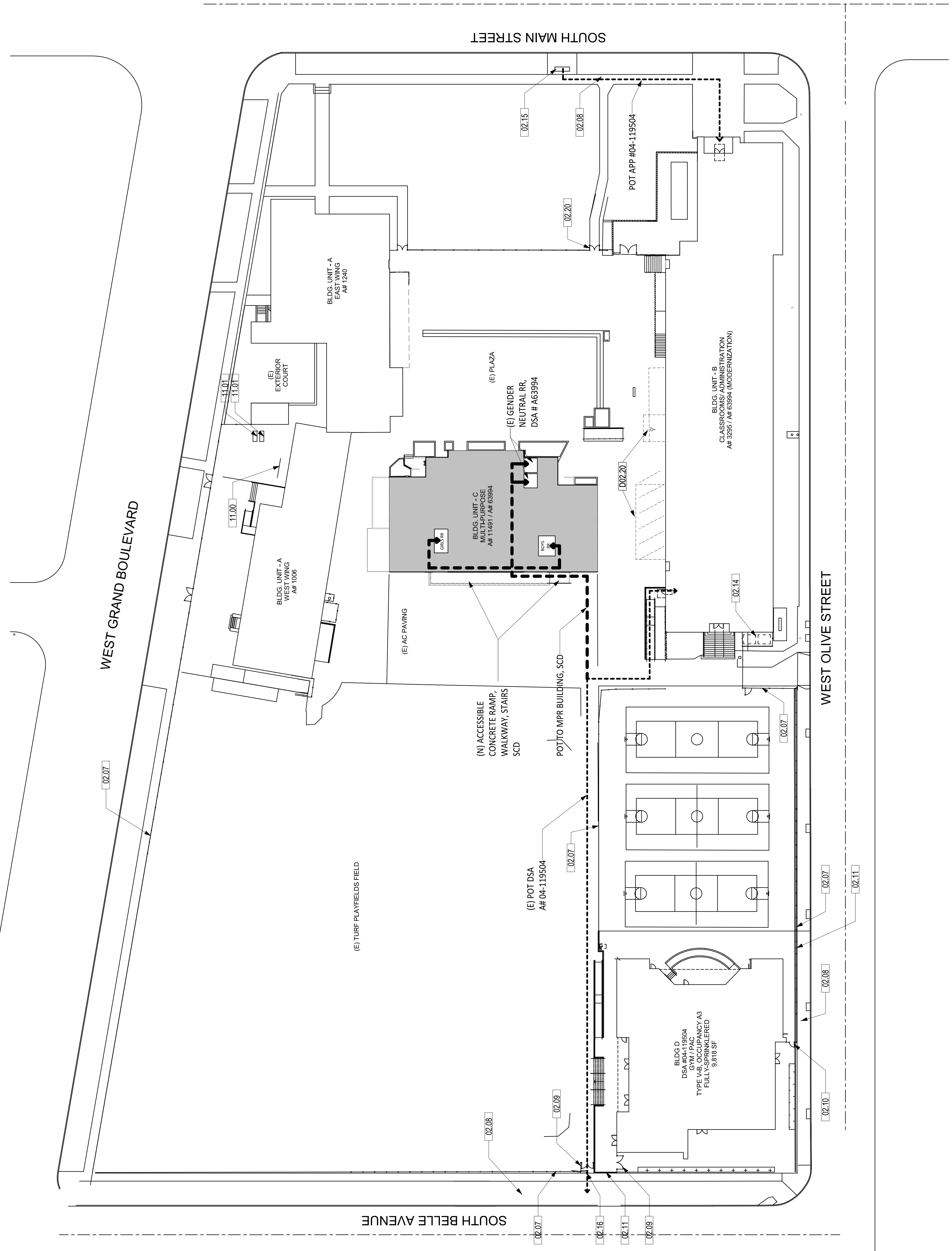
G-101

SHEET NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION FENCING AND USE OF THE PROPERTY DURING SCHOOL HOURS OF OPERATION.
- THERE IS NOT EXISTING CAMPUS PARKING.

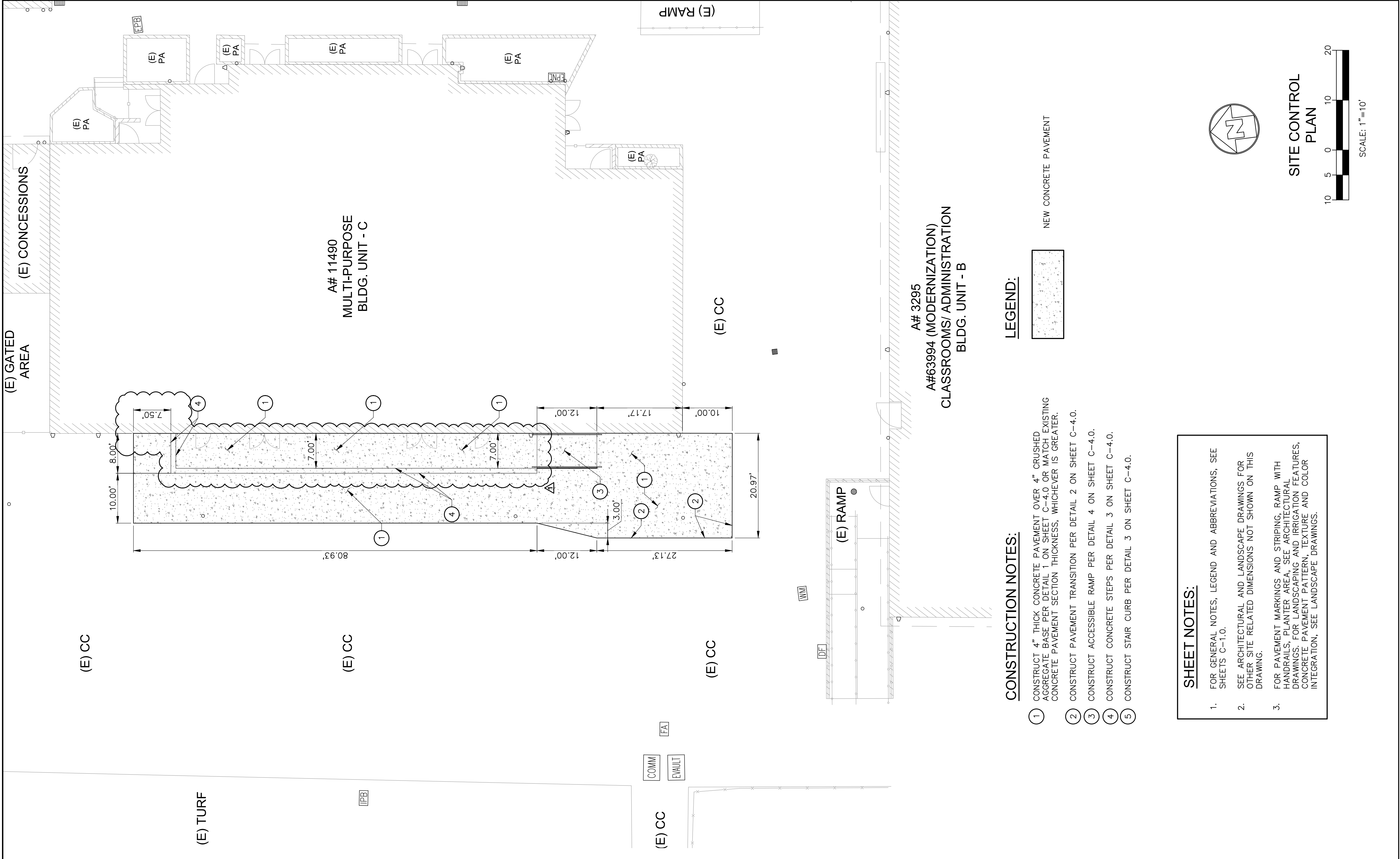
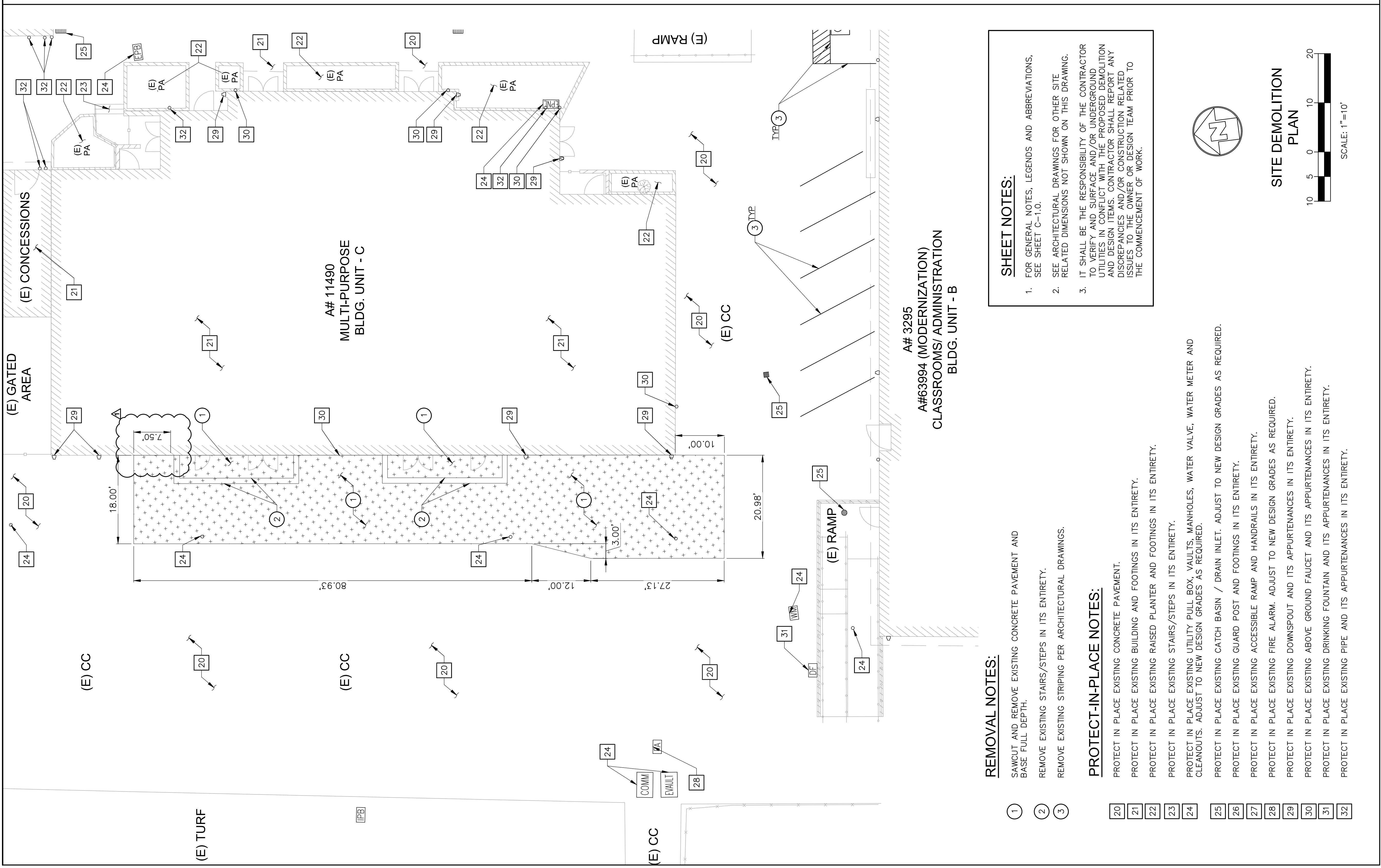
KEYNOTES

02.07	EXISTING CHAINLINK FENCE TO REMAIN - PROTECT IN PLACE
02.08	EXISTING CITY SIDEWALK TO REMAIN - PROTECT IN PLACE
02.09	EXISTING CHAINLINK DOUBLE GATE - 8'-0" HIGH UNO, AF 04-119504
02.10	EXISTING CHAINLINK SINGLE GATE - 8'-0" HIGH UNO
02.11	EXISTING CHAINLINK FENCE - 8'-0" UNO
02.14	(E) CAMPUS RECYCLING AREA
02.15	(E) TRANSIT STOP
02.16	(E) SITE ARRIVAL POINT
02.20	EXISTING ORNAMENTAL METAL GATE TO REMAIN - PROTECT IN PLACE
11.00	EXISTING RIBBON BIKE RACK - 11 BIKE CAPACITY, AF 04-119504
11.01	EXISTING BIKE LOCKER - 1 BIKE CAPACITY, AF 04-119504
02.20	REMOVE PARKING SA SYMBOL & STRIPINGS



SITE PLAN - ACCESSIBILITY 1
 SCALE: 1" = 30'-0"

<p>APPROVED DIV. OF THE STATE ARCHITECT APP: 04-121721 INC. REVIEWED FOR: SS <input checked="" type="checkbox"/> FLS <input checked="" type="checkbox"/> ACS <input checked="" type="checkbox"/> DATE: 10/31/2023</p>	<p>CSDA DESIGN GROUP LISTEN COLLABORATE CREATE</p> <p>889 N. DOUGLAS STREET, SUITE 100 EL SEGUNDO, CA 90245 [T]: 310.821.9200 www.csdadesigngroup.com</p>		<p>CONSULTANT STAMP</p> 	<p>PROJECT OWNER: CORONA NORCO UNIFIED SCHOOL DISTRICT</p>  <p>2820 Clark Ave, Norco, CA 92860 (951) 736-5000</p>	<p>PROJECT NAME: CORONA FUNDAMENTAL INTERMEDIATE SCHOOL - MPR RENOVATION</p> <p>1230 S Main St, Corona, CA 92882</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td></td> <td>12/19/2022</td> <td>DSA SUBMITTAL</td> </tr> <tr> <td>A</td> <td>03/10/2023</td> <td>DSA BACKCHECK</td> </tr> <tr> <td>A</td> <td>07/11/2023</td> <td>ADDENDUM 01</td> </tr> <tr> <td>Z</td> <td>08/07/2023</td> <td>DSA REVISION ADDENDUM</td> </tr> </tbody> </table>	MARK	DATE	DESCRIPTION		12/19/2022	DSA SUBMITTAL	A	03/10/2023	DSA BACKCHECK	A	07/11/2023	ADDENDUM 01	Z	08/07/2023	DSA REVISION ADDENDUM
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<p>PROJECT NO.: 22063.01</p> <p>SHEET TITLE: SITE DEMOLITION / SITE CONTROL PLAN</p> <p>SHEET NO.: C-2.0</p>																					



- 1 SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT AND BASE FULL DEPTH.
- 2 REMOVE EXISTING STAIRS/STEPS IN ITS ENTIRETY.
- 3 REMOVE EXISTING STRIPING PER ARCHITECTURAL DRAWINGS.
- 20 PROTECT IN PLACE EXISTING CONCRETE PAVEMENT.
- 21 PROTECT IN PLACE EXISTING BUILDING AND FOOTINGS IN ITS ENTIRETY.
- 22 PROTECT IN PLACE EXISTING RAISED PLANTER AND FOOTINGS IN ITS ENTIRETY.
- 23 PROTECT IN PLACE EXISTING STAIRS/STEPS IN ITS ENTIRETY.
- 24 PROTECT IN PLACE EXISTING UTILITY PULL BOX, VAULTS, MANHOLES, WATER VALVE, WATER METER AND CLEANOUTS. ADJUST TO NEW DESIGN GRADES AS REQUIRED.
- 25 PROTECT IN PLACE EXISTING CATCH BASIN / DRAIN INLET. ADJUST TO NEW DESIGN GRADES AS REQUIRED.
- 26 PROTECT IN PLACE EXISTING GUARD POST AND FOOTINGS IN ITS ENTIRETY.
- 27 PROTECT IN PLACE EXISTING ACCESSIBLE RAMP AND HANDRAILS IN ITS ENTIRETY.
- 28 PROTECT IN PLACE EXISTING FIRE ALARM. ADJUST TO NEW DESIGN GRADES AS REQUIRED.
- 29 PROTECT IN PLACE EXISTING DOWNSPOUT AND ITS APPURTENANCES IN ITS ENTIRETY.
- 30 PROTECT IN PLACE EXISTING ABOVE GROUND FAUCET AND ITS APPURTENANCES IN ITS ENTIRETY.
- 31 PROTECT IN PLACE EXISTING DRINKING FOUNTAIN AND ITS APPURTENANCES IN ITS ENTIRETY.
- 32 PROTECT IN PLACE EXISTING PIPE AND ITS APPURTENANCES IN ITS ENTIRETY.

REMOVAL NOTES:

- 1 SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT AND BASE FULL DEPTH.
- 2 REMOVE EXISTING STAIRS/STEPS IN ITS ENTIRETY.
- 3 REMOVE EXISTING STRIPING PER ARCHITECTURAL DRAWINGS.

PROTECT-IN-PLACE NOTES:

- 20 PROTECT IN PLACE EXISTING CONCRETE PAVEMENT.
- 21 PROTECT IN PLACE EXISTING BUILDING AND FOOTINGS IN ITS ENTIRETY.
- 22 PROTECT IN PLACE EXISTING RAISED PLANTER AND FOOTINGS IN ITS ENTIRETY.
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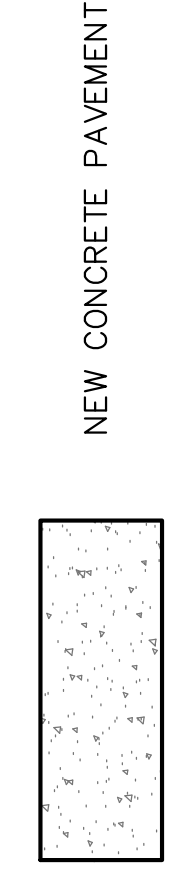
SHEET NOTES:

- 1. FOR GENERAL NOTES, LEGENDS AND ABBREVIATIONS, SEE SHEETS C-1.0.
- 2. SEE ARCHITECTURAL DRAWINGS FOR OTHER SITE RELATED DIMENSIONS NOT SHOWN ON THIS DRAWING.
- 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND SURFACE AND/OR UNDERGROUND UTILITIES IN CONFLICT WITH THE PROPOSED DEMOLITION AND DESIGN ITEMS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR CONSTRUCTION RELATED ISSUES TO THE OWNER OR DESIGN TEAM PRIOR TO THE COMMENCEMENT OF WORK.

CONSTRUCTION NOTES:

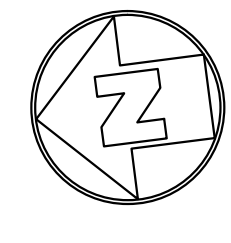
- 1 CONSTRUCT 4" THICK CONCRETE PAVEMENT OVER 4" CRUSHED AGGREGATE BASE PER DETAIL 1 ON SHEET C-4.0 OR MATCH EXISTING CONCRETE PAVEMENT SECTION THICKNESS, WHICHEVER IS GREATER.
- 2 CONSTRUCT PAVEMENT TRANSITION PER DETAIL 2 ON SHEET C-4.0.
- 3 CONSTRUCT ACCESSIBLE RAMP PER DETAIL 4 ON SHEET C-4.0.
- 4 CONSTRUCT CONCRETE STEPS PER DETAIL 3 ON SHEET C-4.0.
- 5 CONSTRUCT STAIR CURB PER DETAIL 3 ON SHEET C-4.0.

LEGEND:

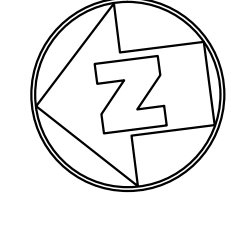
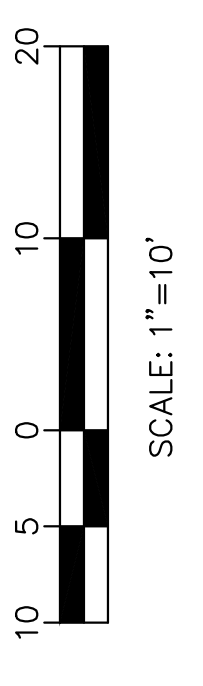


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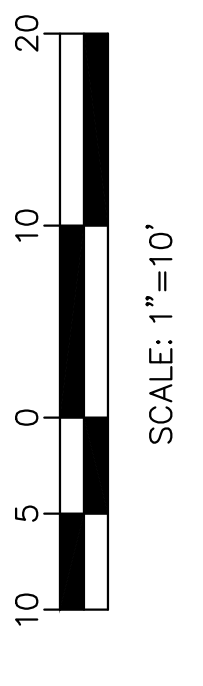
- 1. FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS, SEE SHEETS C-1.0.
- 2. SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR OTHER SITE RELATED DIMENSIONS NOT SHOWN ON THIS DRAWING.
- 3. FOR PAVEMENT MARKINGS AND STRIPING, RAMP WITH HANDRAILS, PLANTER AREA, SEE ARCHITECTURAL DRAWINGS. FOR LANDSCAPING AND IRRIGATION FEATURES, CONCRETE PAVEMENT PATTERN, TEXTURE AND COLOR INTEGRATION, SEE LANDSCAPE DRAWINGS.

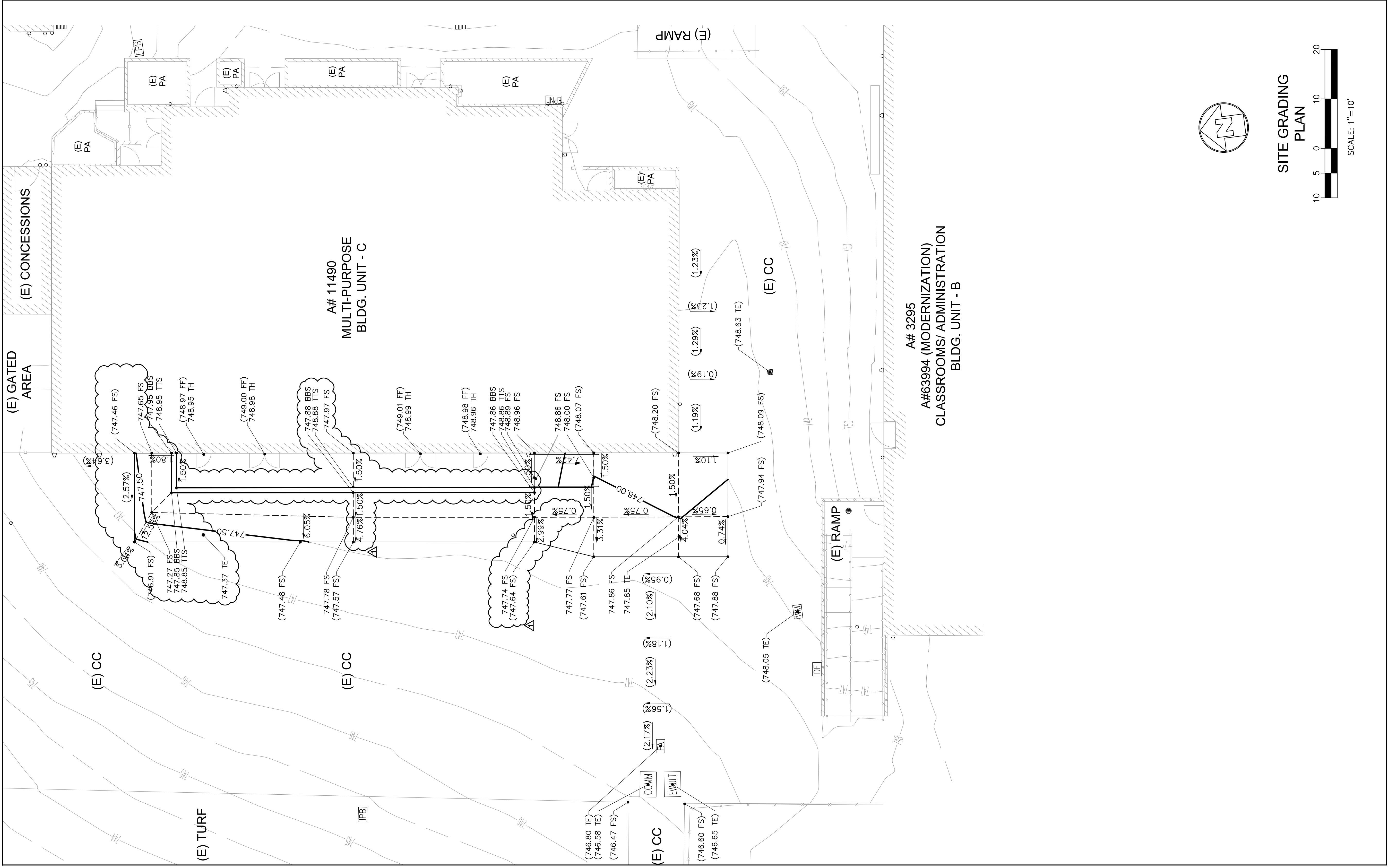


**SITE DEMOLITION
PLAN**

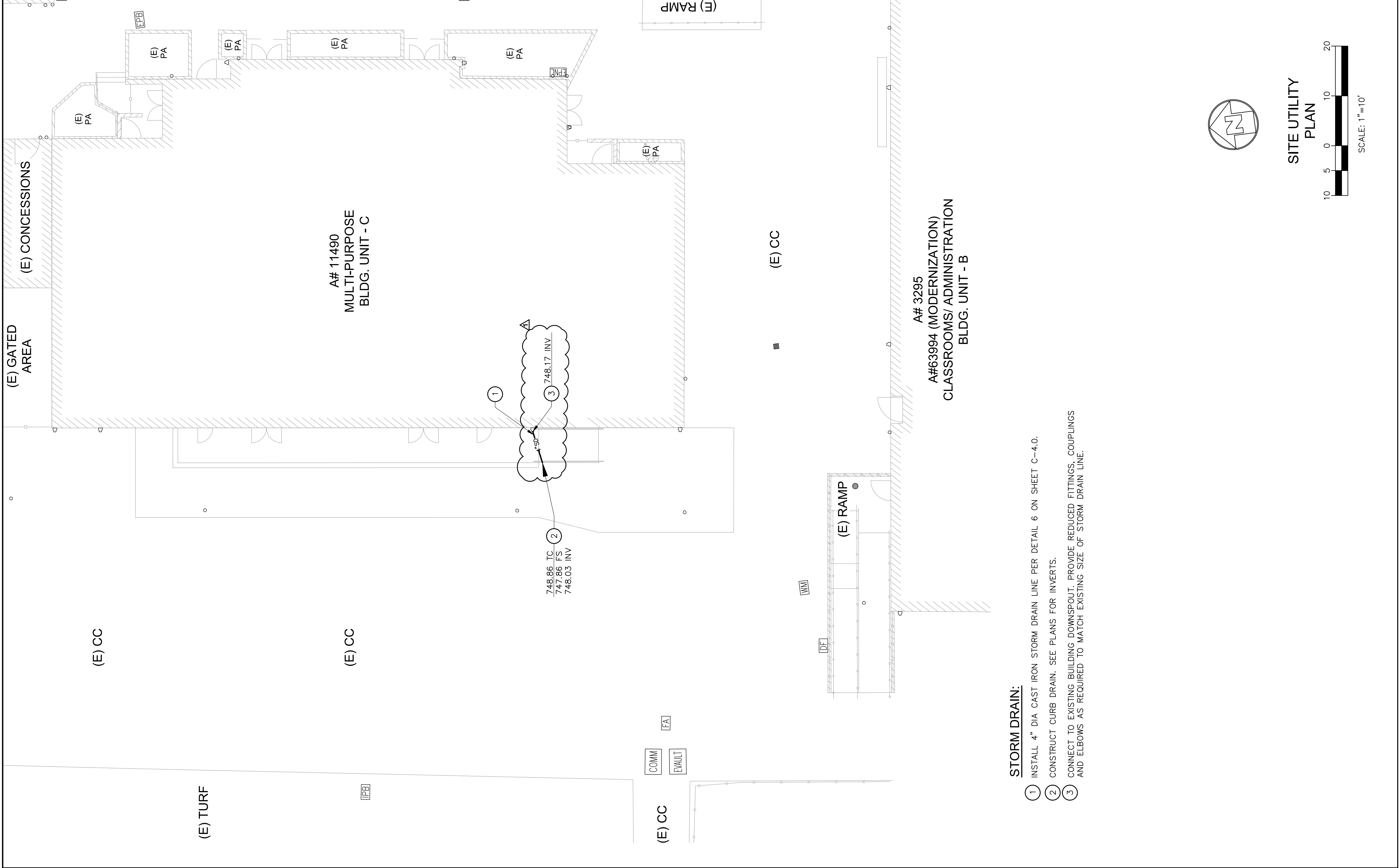


**SITE CONTROL
PLAN**





SITE GRADING PLAN
SCALE: 1"=10'

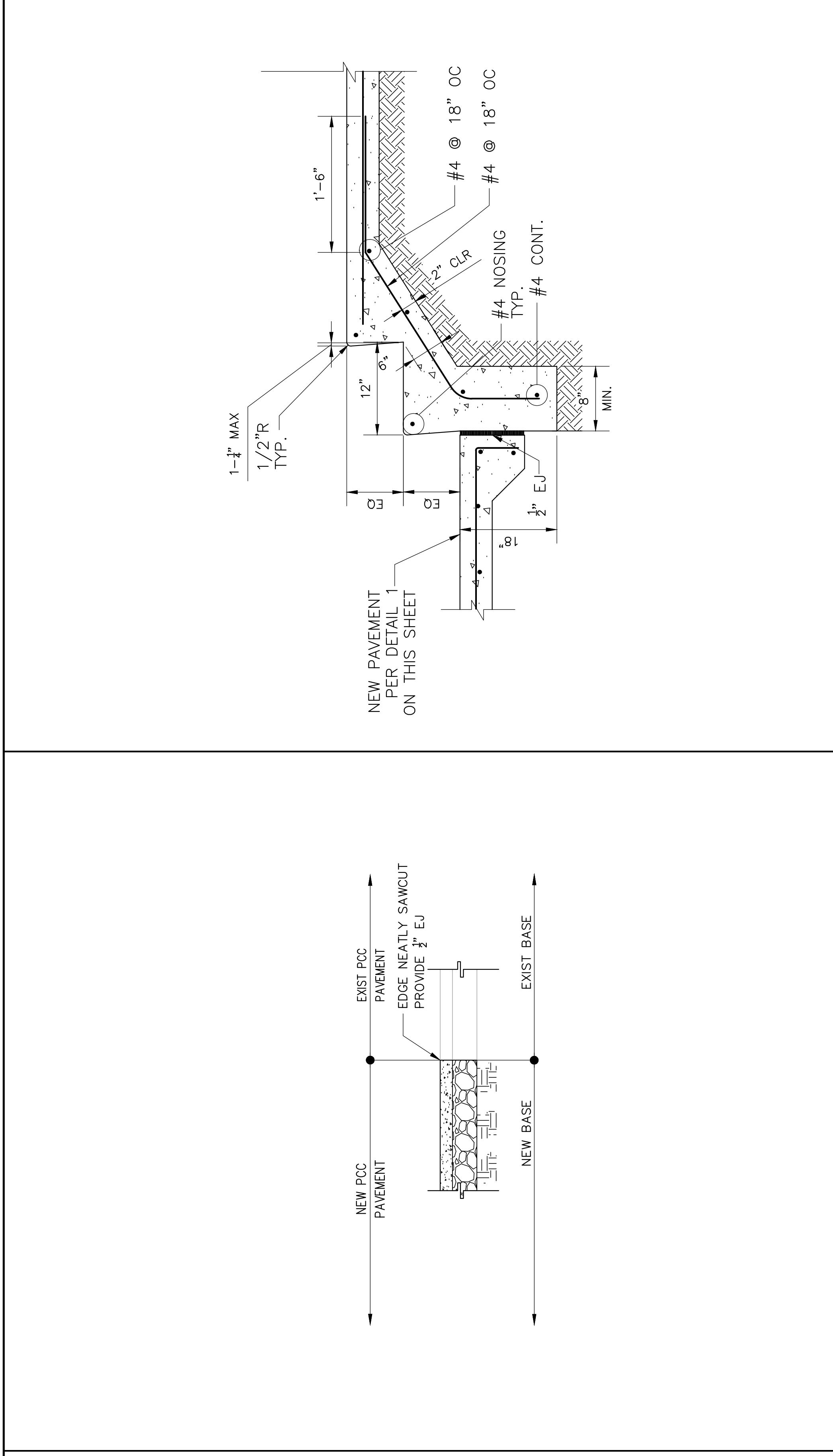


SITE UTILITY PLAN
SCALE: 1"=10'

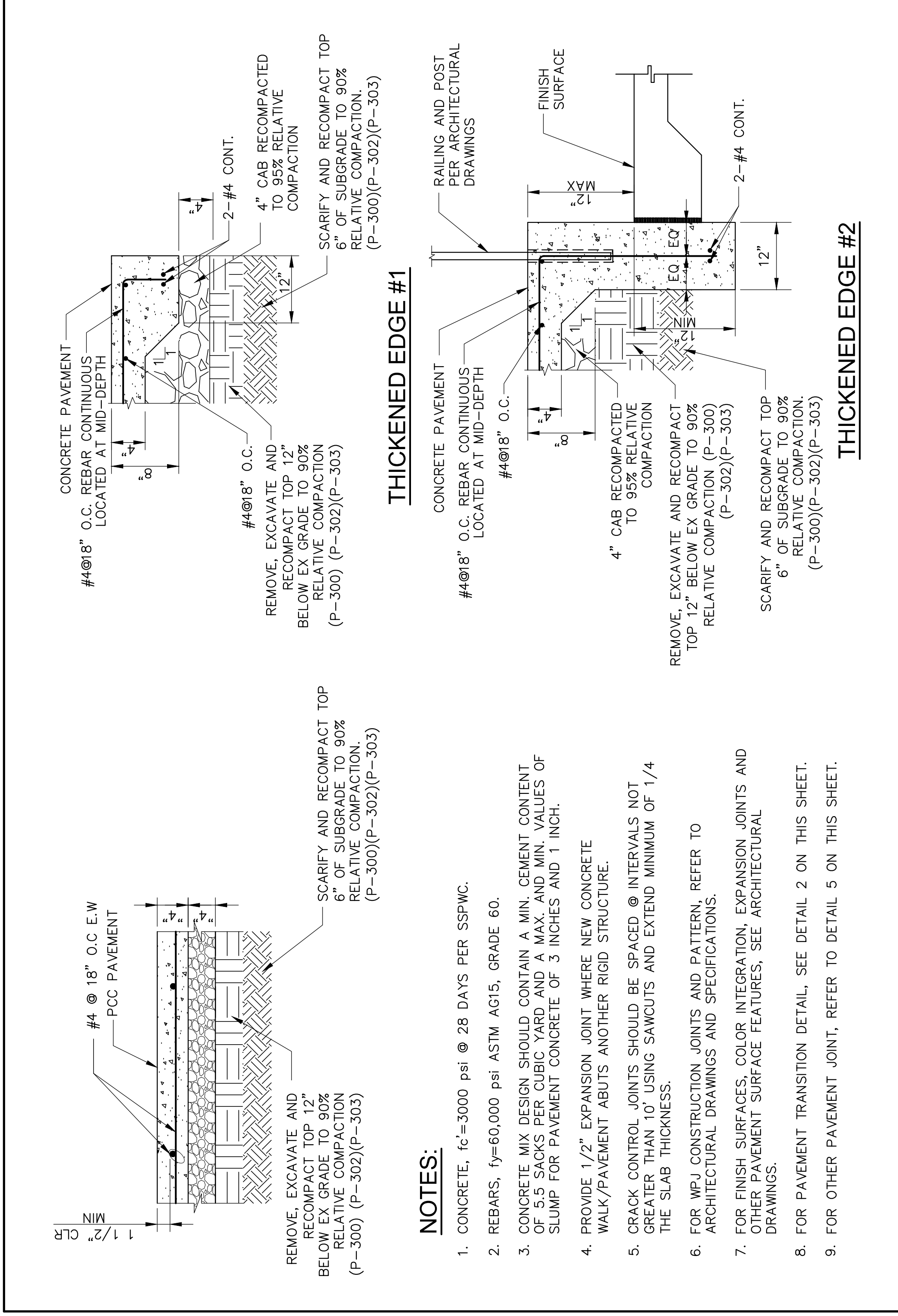
STORM DRAIN:

- 1 INSTALL 4" DIA CAST IRON STORM DRAIN LINE PER DETAIL 6 ON SHEET C-4.0.
- 2 CONSTRUCT CURB DRAIN. SEE PLANS FOR INVERTS.
- 3 CONNECT TO EXISTING BUILDING DOWNSPOUT. PROVIDE REDUCED FITTINGS, COUPLINGS AND ELBOWS AS REQUIRED TO MATCH EXISTING SIZE OF STORM DRAIN LINE.

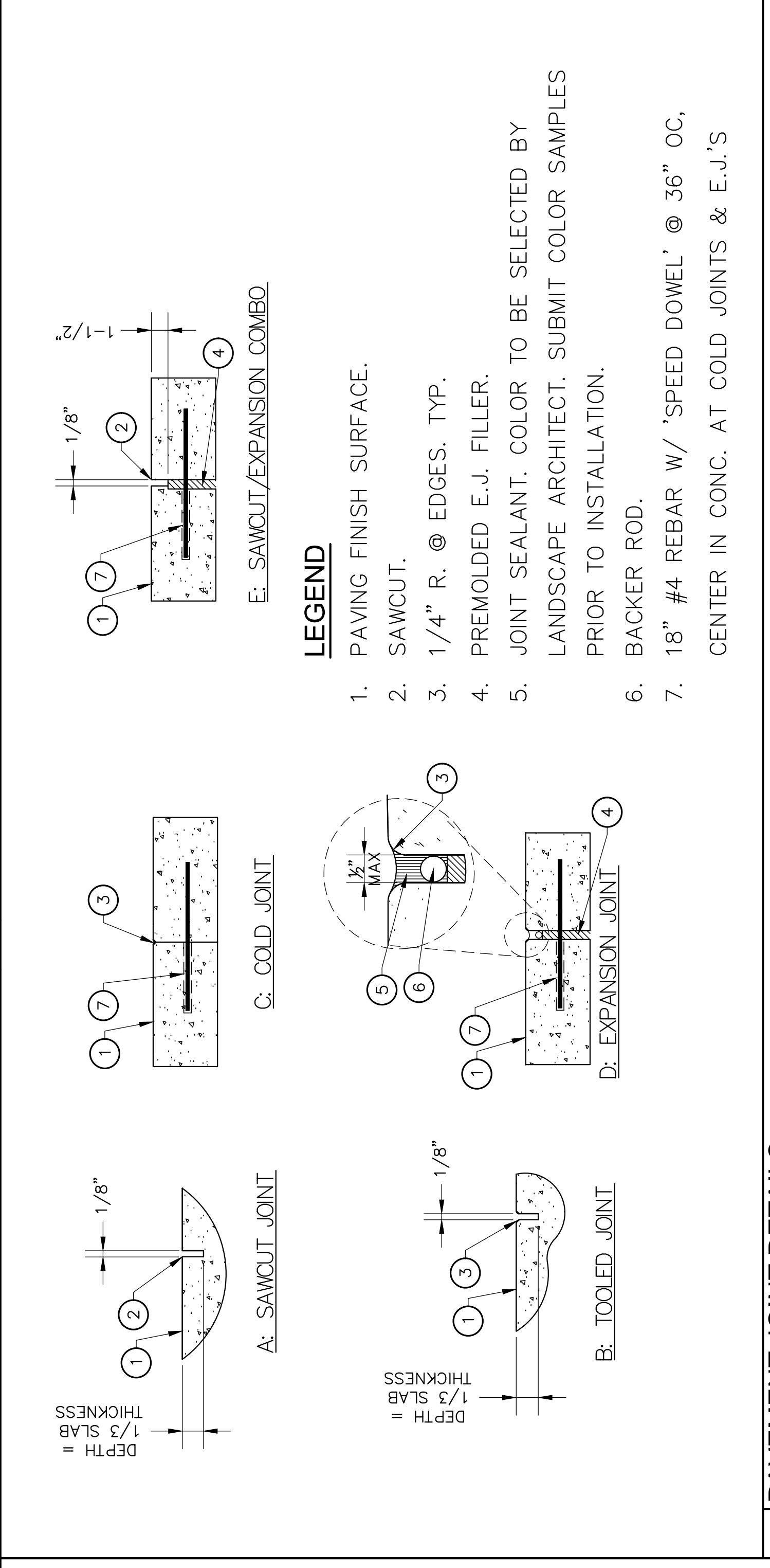
APPROVED: DIV. OF THE STATE ARCHITECT APP: 04-121721 INC. REVIEWED FOR: SS <input checked="" type="checkbox"/> FLS <input checked="" type="checkbox"/> ACS <input checked="" type="checkbox"/> DATE: 10/31/2023		CSDA DESIGN GROUP LISTEN COLLABORATE CREATE 889 N. DOUGLAS STREET, SUITE 100 EL SEGUNDO, CA 90245 TEL: 310.821.9200 WWW.CSDADESIGNGROUP.COM ARCHITECT STAMP			
CONSULTANT STAMP PROJECT OWNER: CORONA NORCO UNIFIED SCHOOL DISTRICT 2820 Clark Ave, Norco, CA 92860 (951) 736-5000				PROJECT NAME: CORONA FUNDAMENTAL INTERMEDIATE SCHOOL - MPR RENOVATION 1230 S Main St, Corona, CA 92882	
CONSULTANT STAMP		PROJECT NO.: 22063.01		SHEET TITLE: SITE GRADING/ SITE UTILITY PLAN	
CONSULTANT STAMP		PROJECT NO.: 22063.01		SHEET NO.: C-3.0	



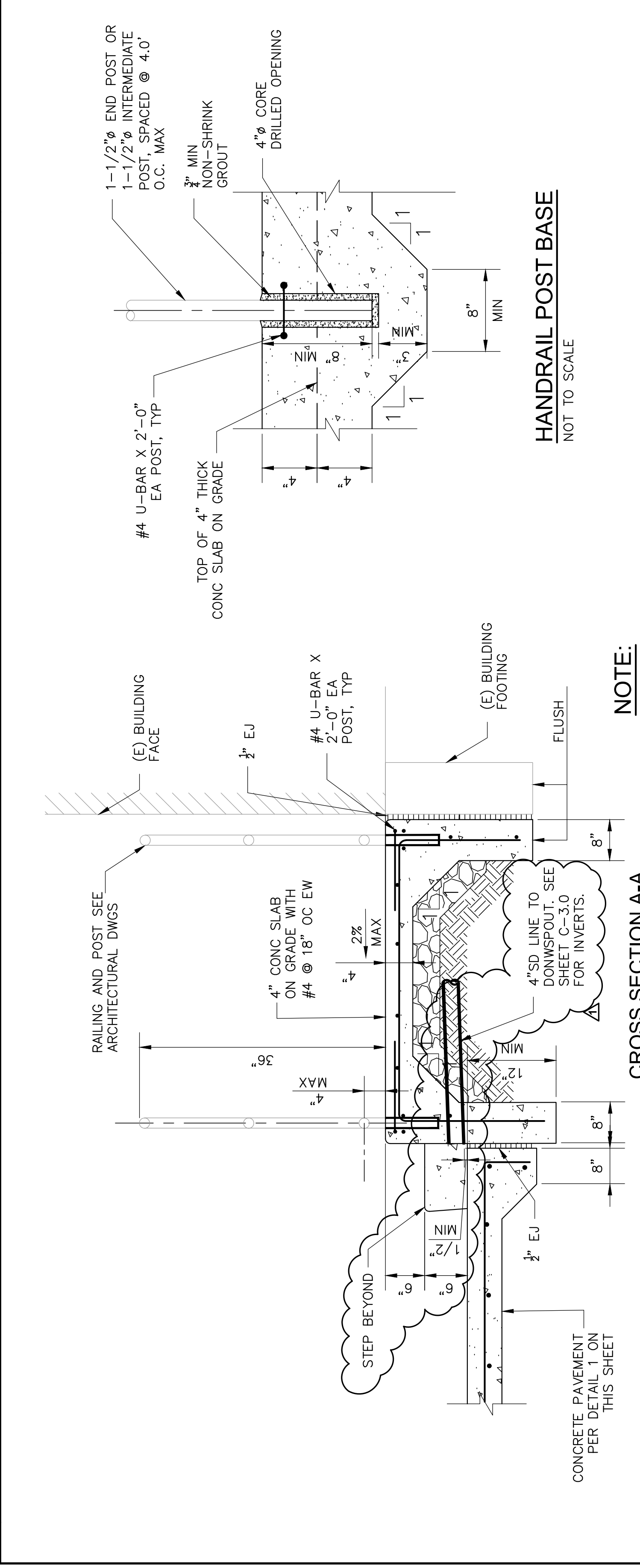
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NOT TO SCALE



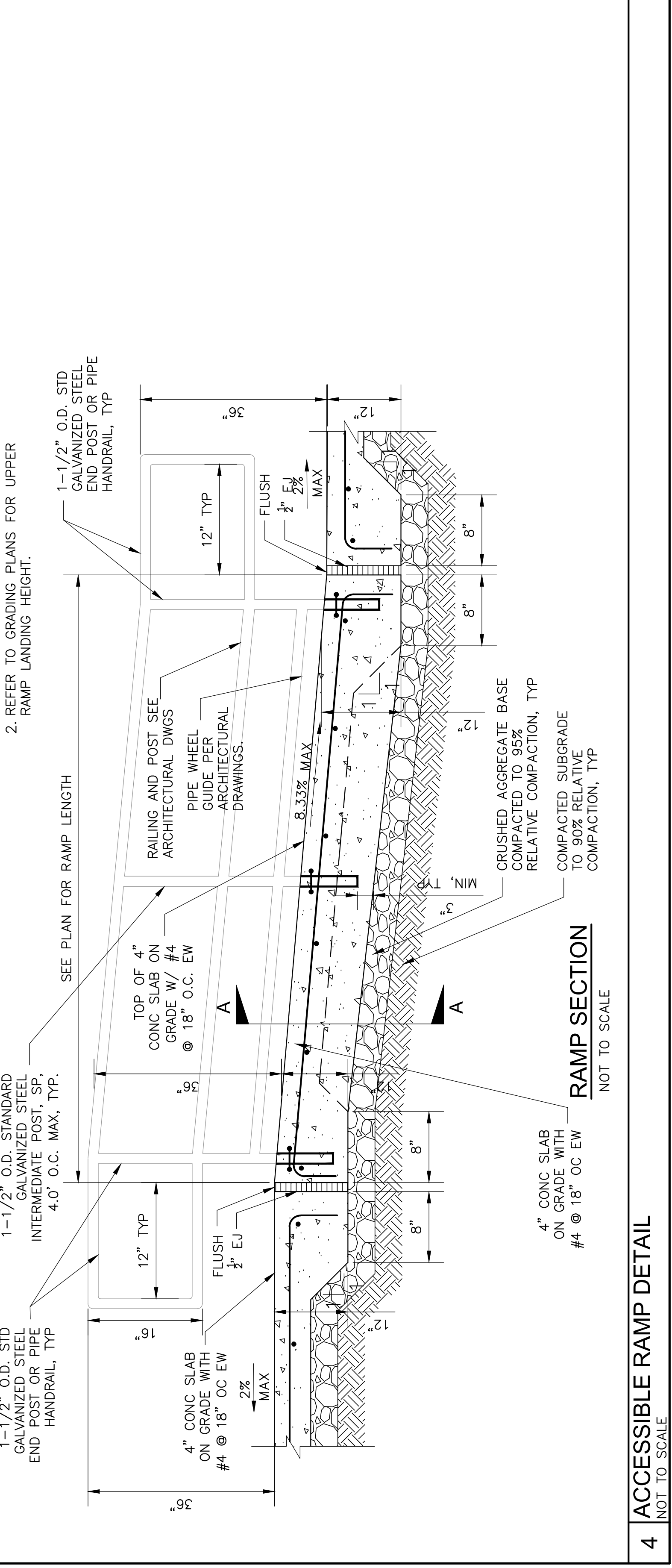
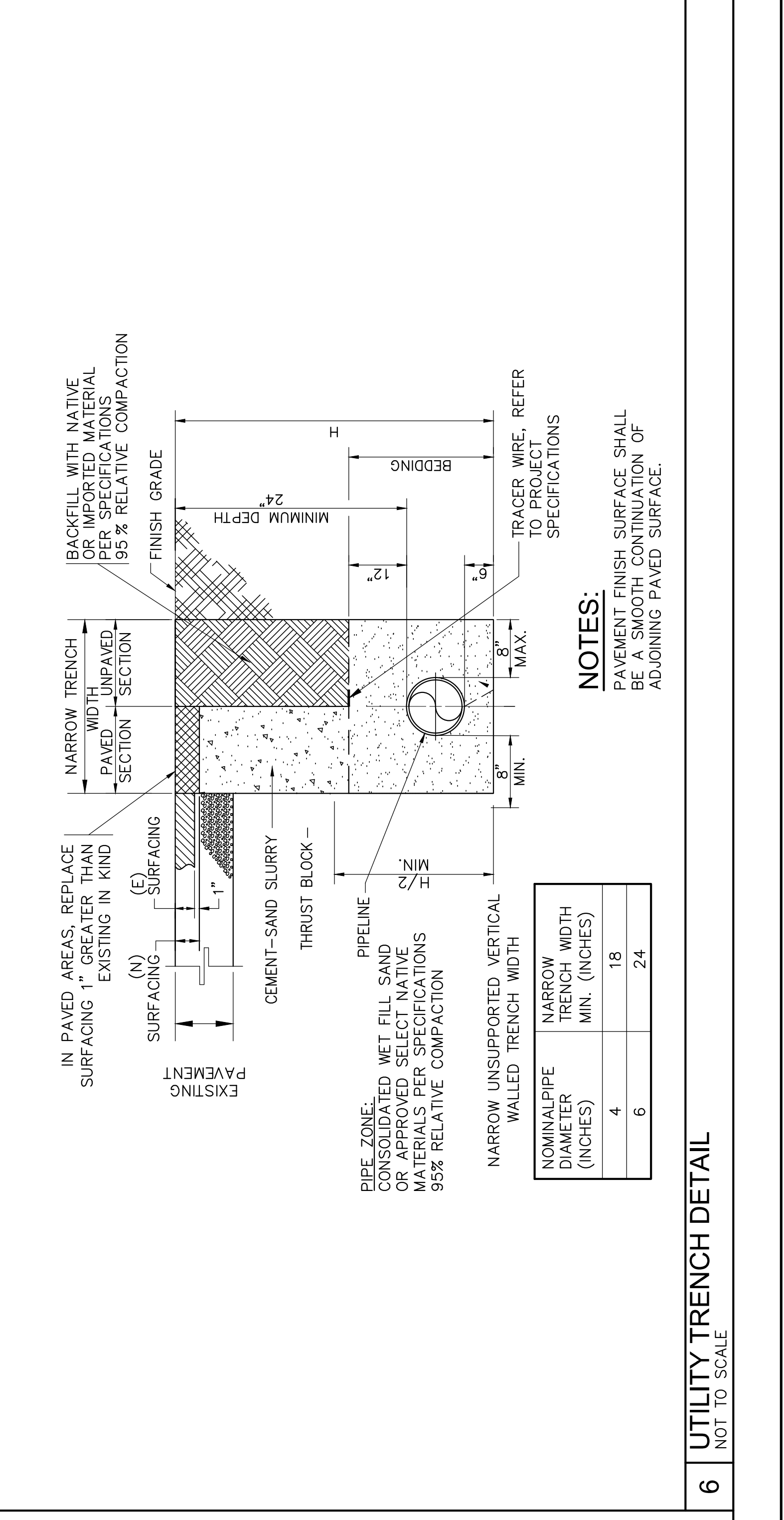
2 PAVEMENT TRANSITION DETAIL
NOT TO SCALE



3 STAIR / STEPS DETAIL
NOT TO SCALE



4 ACCESSIBLE RAMP DETAIL
NOT TO SCALE

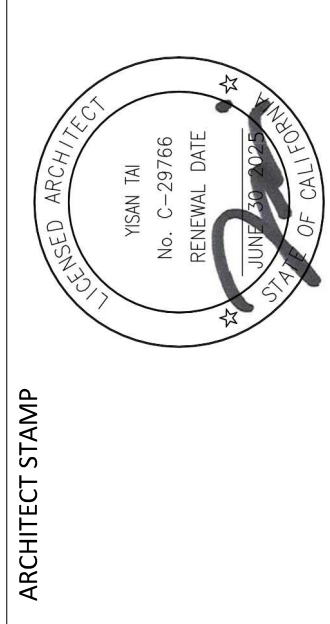


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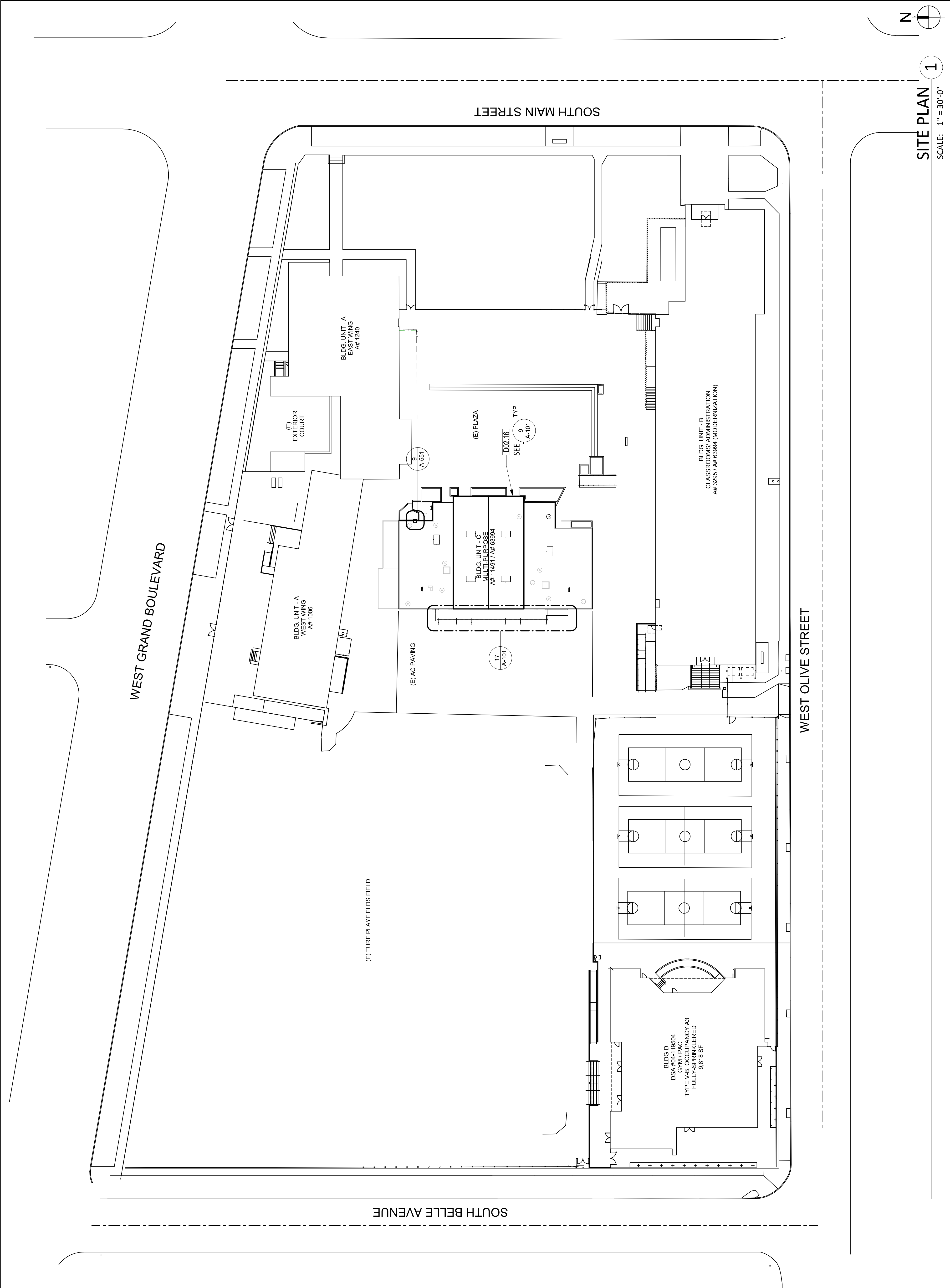
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	10/23/2023	ADDENDUM 01 RESUBMITTAL

PROJECT NO.: 22063.01

SHEET TITLE:
**SITE PLAN - OVERALL &
 DETAILS**

SHEET NO.:

A-101



SITE PLAN 1
 SCALE: 1" = 30'-0"

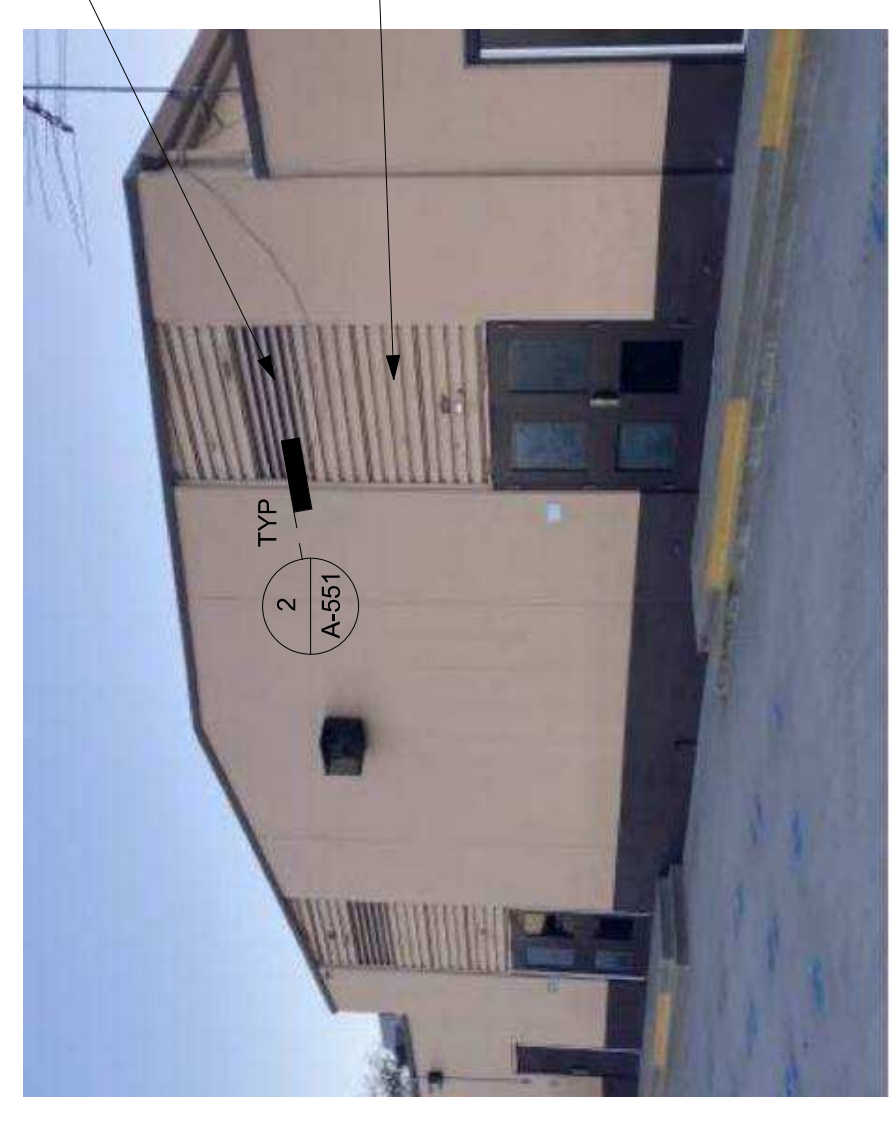
KEYNOTES

03.13	ACCESSIBLE CONCRETE RAMP, SCD
03.15	NEW CONCRETE WALKWAY, SEE CIVIL PLAN
05.02	ACCESSIBLE HANDRAIL, SCD
D02.16	REMOVE (E) LOUVERS OVER EXTERIOR DOUBLE DOORS AT MPR SPACE

SHEET NOTES

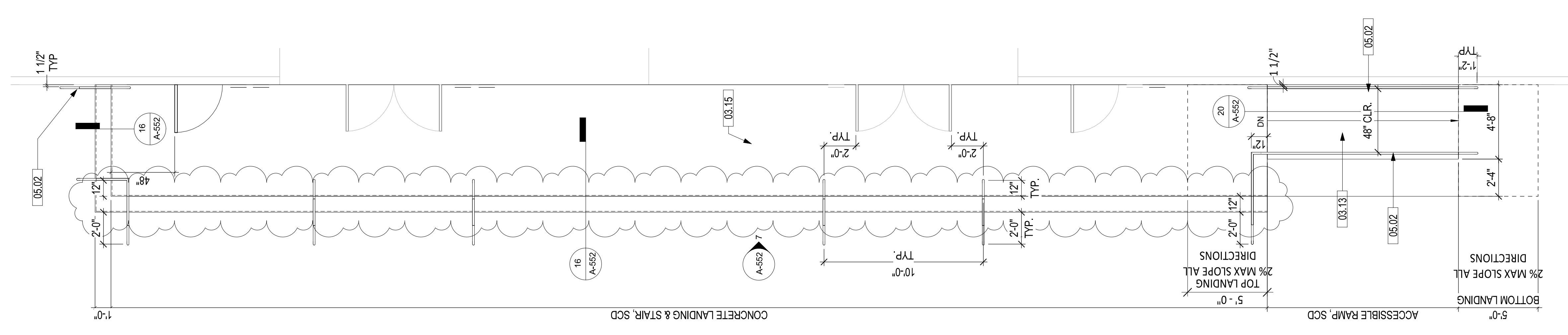
- FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- COORDINATE WITH SCHOOL DISTRICT ALL CONSTRUCTION FENCING AND CONSTRUCTION ACTIVITIES, SEQUENCING AND USE OF THE PROPERTY DURING SCHOOL HOURS OF OPERATION.
- REMOVE AND REINSTALL OR PROTECT INPLACE ALL (E) FIXTURES, MURALS, ETC TO PERFORM (N) WORK.

EXTERIOR LOUVERS 9
 SCALE: 1/4" = 1'-0"



CEMENT PLASTER WALL INFILL
 TYPICAL OVER FOUR (4) EXTERIOR
 DOUBLE DOORS AT MPR SPACE,
 COLOR TBD BY ARCHITECT

REMOVE (E) LOUVERS, SEAL AND
 PREP AREA SMOOTH FOR NEW
 PAINT, TYPICAL OVER FOUR (4)
 EXTERIOR DOUBLE DOORS AT MPR
 SPACE, PAINT TO MATCH
 ADJACENT WALL



ACCESSIBLE STAIR & RAMP 17
 SCALE: 1/4" = 1'-0"

SHEET NOTES

- REPAIR & PATCH DAMAGES ON FLOORS, WALLS & CEILINGS WHERE (E) WALLS, FIXTURES OR CONSTRUCTION IS REMOVED. READY SURFACES TO RECEIVE NEW FINISHES.
- REMOVE AND REINSTALL OR PROTECT IN PLACE ALL (E) FIXTURES, MURALS, ETC TO PERFORM (N) WORK. COORDINATE WITH DISTRICT.
- REMOVE (E) WALL/DOOR SIGNAGE WHERE (N) SIGNAGE IS REQUIRED. REPAIR/ PATCH SURFACES AND PAINT TO MATCH ADJACENT WALL TO RECEIVE (N) SIGNAGE.
- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- REMOVE TACK BOARDS WHERE NOTED. THIS INCLUDES ANY ASSOCIATED HARDWARE, MASTIC BEHIND BOARDS. PREP WALL TO RECEIVE NEW FINISH.
- EXISTING HW FRAME TO REMAIN. PATCH AND BOND ALL HOLES AND PREP WALL TO RECEIVED NEW HARDWARE AND FINISH.
- SEE ELECTRICAL DRAWING FOR SCOPE OF DEMO WORK FOR ELECTRICAL FIXTURES

PROTECT IN PLACE OR REMOVE & RELOCATE TO PERFORM NEW WORK:

- CONTRACTOR SHALL PROTECT IN PLACE OR REMOVE AND REINSTALL ALL INTRUSION DETECTION SYSTEMS.
- CONTRACTOR SHALL PROTECT IN PLACE OR REMOVE AND REINSTALL ALL TACK BOARDS / TACK STRIPS, TYP, WHERE APPLIES.
- CONTRACTOR SHALL PROTECT ALL EXISTING WALL MURALS.
- ALL EXISTING SPEAKER CLOCK SYSTEM TO REMAIN. PROTECT IN PLACE. (RELOCATE IN THE SAME LOCATION AT A LOWER HEIGHT WHEN (E) HEIGHT CONFLICT WITH THE NEW CEILING.)
- NOTE USED
- (E) RECEPTACLES SHALL REMAIN. PROTECT IN PLACE UNLESS NOTED OTHERWISE.
- (E) WIRING TO REMAIN. PROTECT IN PLACE UNLESS NOTED OTHERWISE.
- ALL (E) FIRE ALARM POWER SUPPLY & TERMINAL CABINET TO REMAIN PROTECT IN PLACE UNLESS NOTED OTHERWISE.
- ALL EXISTING HOSE BIBS TO REMAIN. PROTECT IN PLACE.
- CONTRACTOR TO SALVAGE AND TURN OVER TO DISTRICT ALL TAGGED EQUIPMENT AND ASSETS. CONTRACTOR TO COORDINATE WITH DISTRICT.
- REMOVE ALL PINS, NAILS, SCREWS, AND ABANDONED HARDWARE IN WALLS FOR PATCH, REPAIR & REFINISHING.

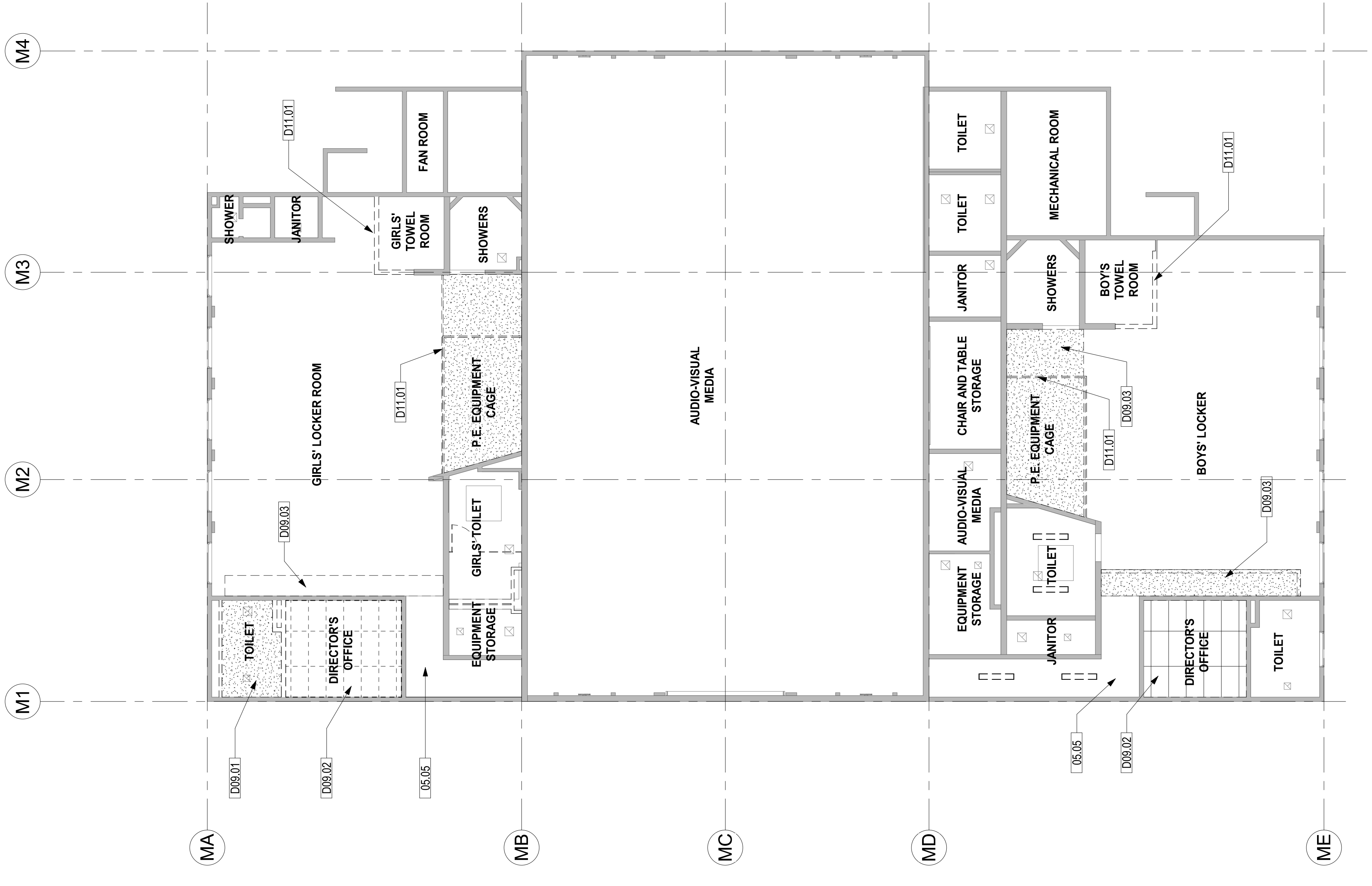
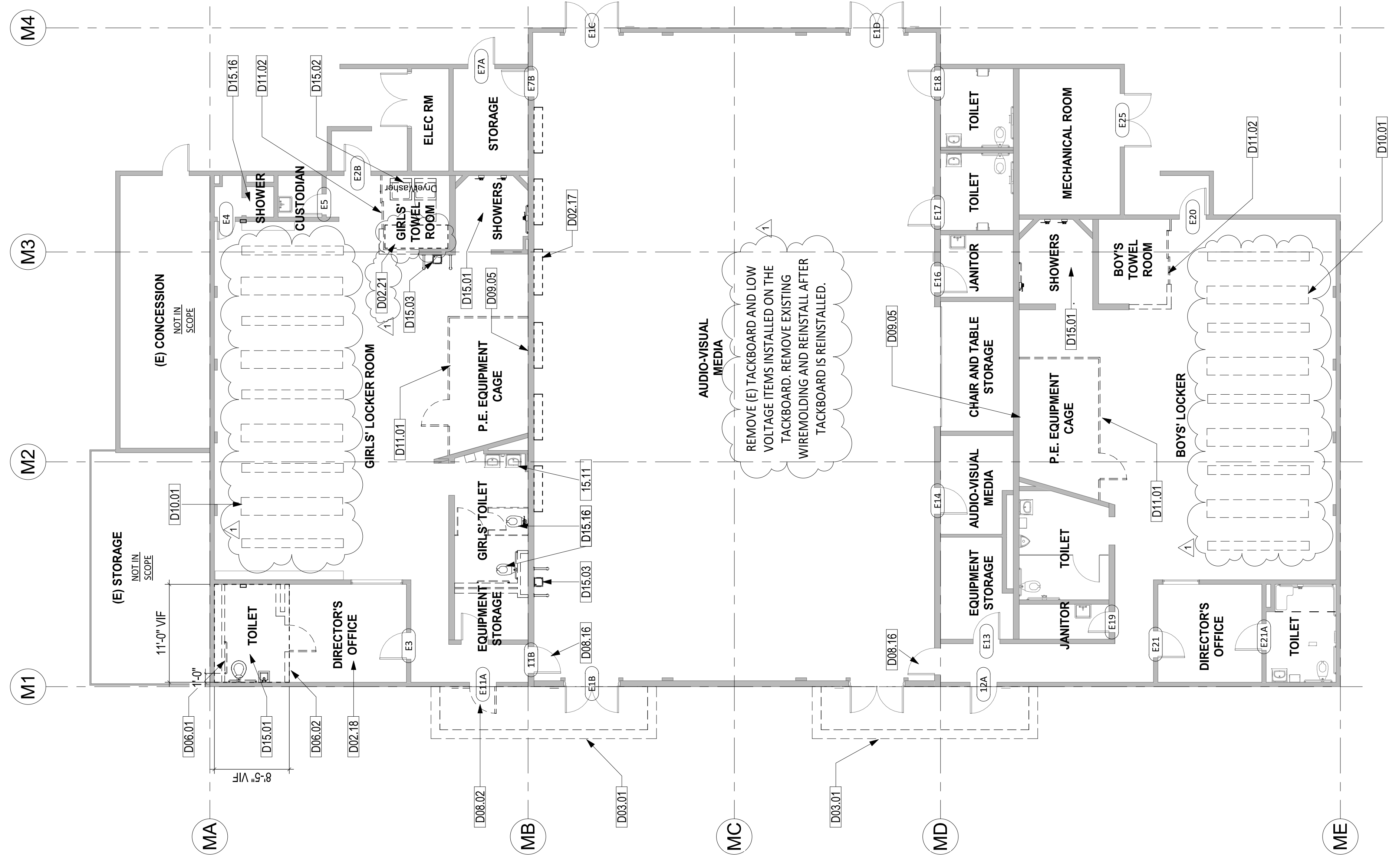
LEGEND

- DEMOLISH
- TO REMAIN, PROTECT IN PLACE
- CONCRETE WALL
- ▭ CEILING TO REMAIN, FINISH WITH NEW PAINT, SEE RCP COLOR SPECIFIED

KEYNOTES

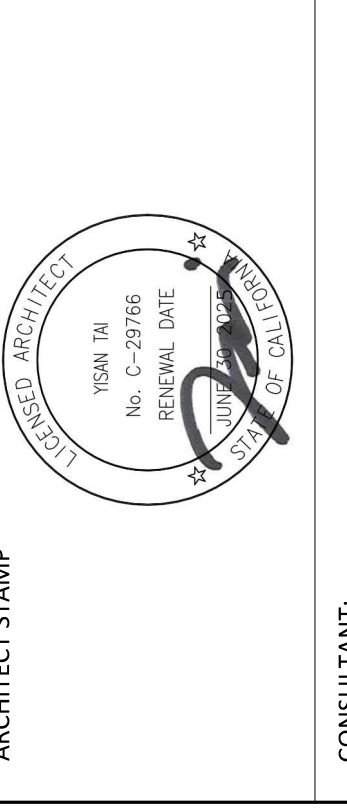
- 05.05 (E) FRAME CEILING TO REMAIN. NEW END WALL TO CLOSE-OFF CEILING FACE.
- 15.11 (E) ACCESSIBLE LAVATORY TO REMAIN
- D02.17 REMOVE (E) LUNCH TABLE CLOSET, TYP
- D02.18 REMOVE (E) FLOOR FINISH TO EXPOSE CONCRETE
- D02.21 REMOVE (E) TABLETOP AND CABINET
- D03.01 REMOVE (E) CONCRETE STAIR AND LANDING, SCD
- D06.01 REMOVE FRAMED WALL
- D06.02 REMOVE FRAMED WALL AND DOOR
- D08.02 REMOVE (E) DOOR(S) & FRAME.
- D08.16 REMOVE (E) DOOR CLOSER TO BE IN COMPLIANCE.
- D09.01 REMOVE FRAMED CEILING, FIXTURES, & ATTACHMENTS
- D09.02 REMOVE SUSPENDED CEILING, FIXTURES, & ATTACHMENTS
- D09.03 EXISTING SOFFIT TO REMAIN. REMOVE FIXTURES, MECH EQUIPMENT, & ATTACHMENTS. SMD
- D09.05 REMOVE WALL TILE, PATCH AND PREP WALLS TO RECEIVE NEW FINISH
- D10.01 REMOVE LOCKERS, BENCHES, AND CONCRETE CURBS (J.N.C.), PATCH & REPAIR FLOOR.
- D11.01 REMOVE GLE WITH GATE AND ALL ASSOCIATED HARDWARE
- D11.02 REMOVE LOW WALL AND METAL FENCING/GATE
- D15.01 REMOVE PLUMBING FIXTURES, TILE FLOOR & WALL FINISH; CAP AND SEAL PIPING CONCEALED IN WALL/FLOOR; PATCH WALL/FLOOR; PREP SURFACES TO RECEIVE NEW FINISHES
- D15.02 REMOVE AND RELOCATE WASHER AND DRYER MACHINES, SEE PLANS FOR NEW LOCATION, SPD, SMD, SED
- D15.03 REMOVE WALL-MOUNTED DRINKING FOUNTAIN AND METAL GUARDRAIL
- D15.16 REMOVE PLUMBING FIXTURES, SPD

KEY PLAN



APPROVED:
DIV. OF THE STATE ARCHITECT
APP: 04-121721 INC.
REVIEWED FOR:
SS [] FS [] ACS []
DATE: 10/31/2023

CSDA DESIGN GROUP
LISTEN COLLABORATE CREATE
889 N. DOUGLAS STREET, SUITE 100
EL SEGUNDO, CA 90245
TEL: 310.821.9200
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ARCHITECT STAMP



CONSULTANT:

CONSULTANT STAMP

PROJECT OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT
2820 Clark Ave, Norco, CA 92860
(951) 736-5000

PROJECT NAME:
CORONA FUNDAMENTAL INTERMEDIATE SCHOOL - MPR RENOVATION
1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
1	12/19/2022	DSA SUBMITTAL
	03/10/2023	DSA BACK CHECK
	07/17/2023	ADDENDUM 01
	10/26/2023	ADDENDUM 01 RESUBMITTAL

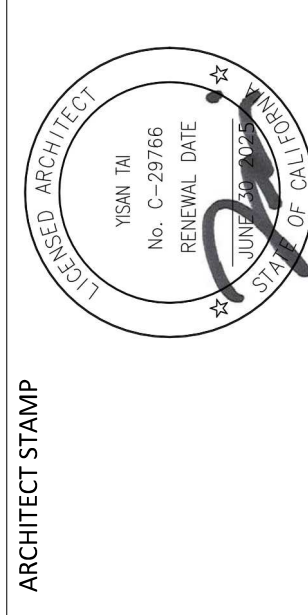
PROJECT NO.: 22063.01

SHEET TITLE:
1ST FLOOR PLAN & RCP - OVERALL - DEMO

SHEET NO.: **A-110**

DEMOS FLOOR PLAN 1
SCALE: 1/8" = 1'-0"

DEMOS REFLECTED CEILING PLAN 2
SCALE: 1/8" = 1'-0"



CONSULTANT:

CONSULTANT STAMP



PROJECT NAME:

MARK	DATE	DESCRIPTION
1	12/19/2022	DSA SUBMITTAL
	03/10/2023	DSA BACK CHECK
	07/11/2023	ADDENDUM 01
	10/26/2023	ADDENDUM 01 RESUBMITTAL

PROJECT NO.: 22063.01

SHEET TITLE:
**1ST FLOOR PLAN & RCP -
 OVERALL**

SHEET NO.: **A-111**

SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (E12A, E20, E21, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C13352 NZD 6781), 626; RU; FOR SECURITY FROM THE INSIDE. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CAL ED. CODE & CBC-1010.1.1).
- REFER TO NOTE #19 ON SHEET G-002 FOR WORK ON CEILINGS AND WALL SURFACES OF BUILDING.
- PROVIDE EXTRON WWS DIGITAL IN COMPUTER LAB ROOM, MULTIPURPOSE ROOM, AND CLASSROOM. EXTRON WALLMOUNT MODEL WWS 211D, TWO INPUT DIGITAL WALLMOUNT, PART # 42-311-03. INPUTS TO BE LOCATED ADJACENT TO THE TEACHERS DESK/WORKSTATION. PER SPEC SECTION 27 10 00 AND 27 30 00.

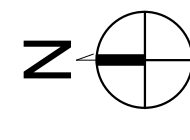
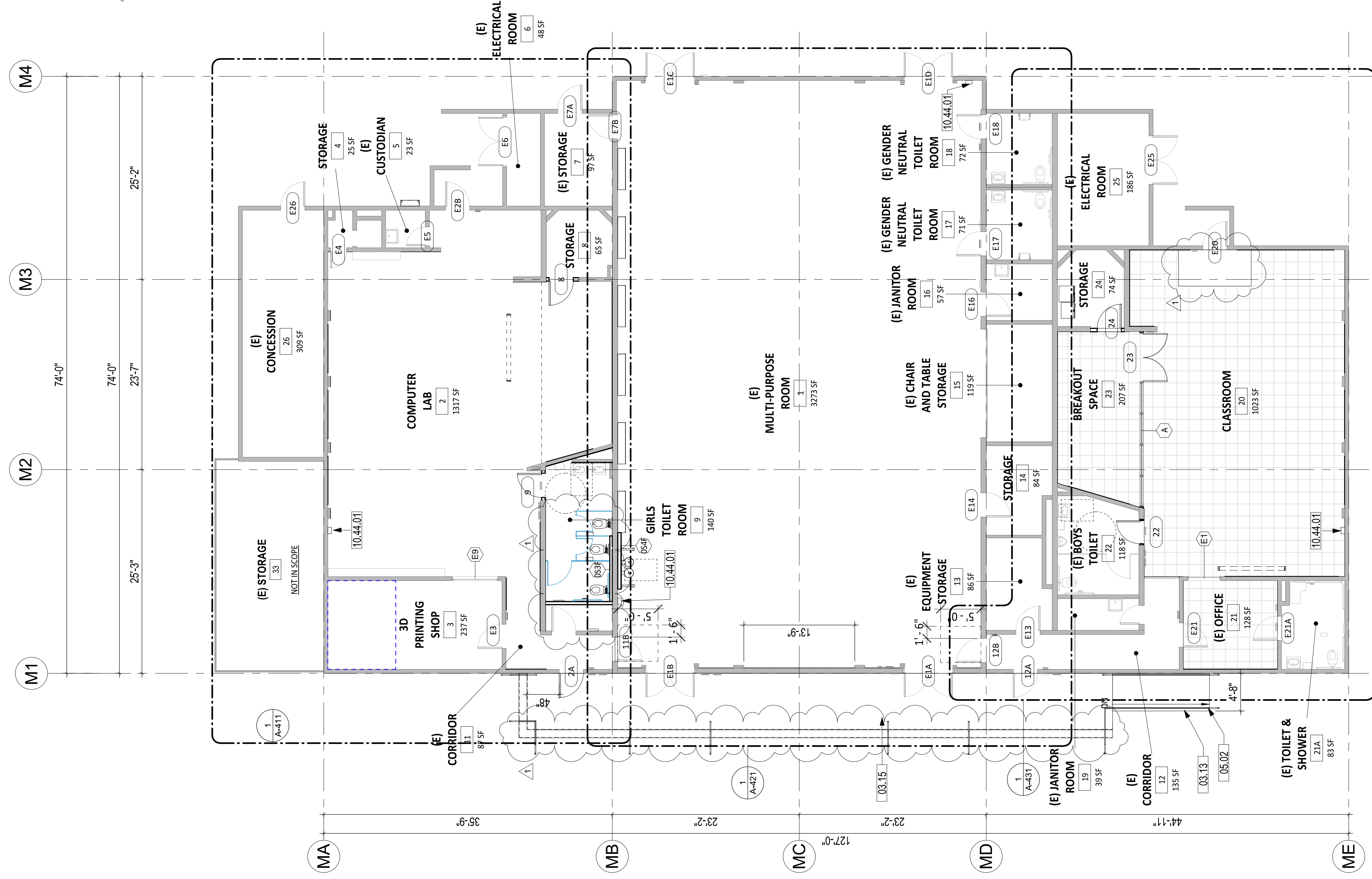
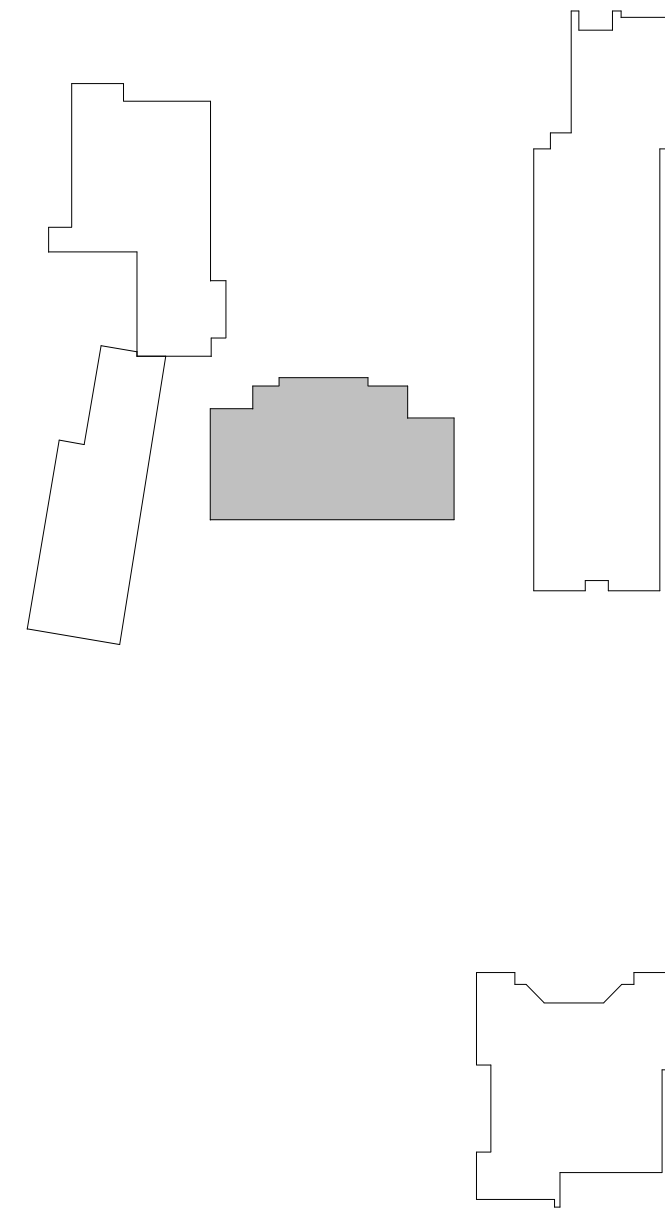
LEGEND

- METAL STUD WALL
- (E) CONCRETE WALL

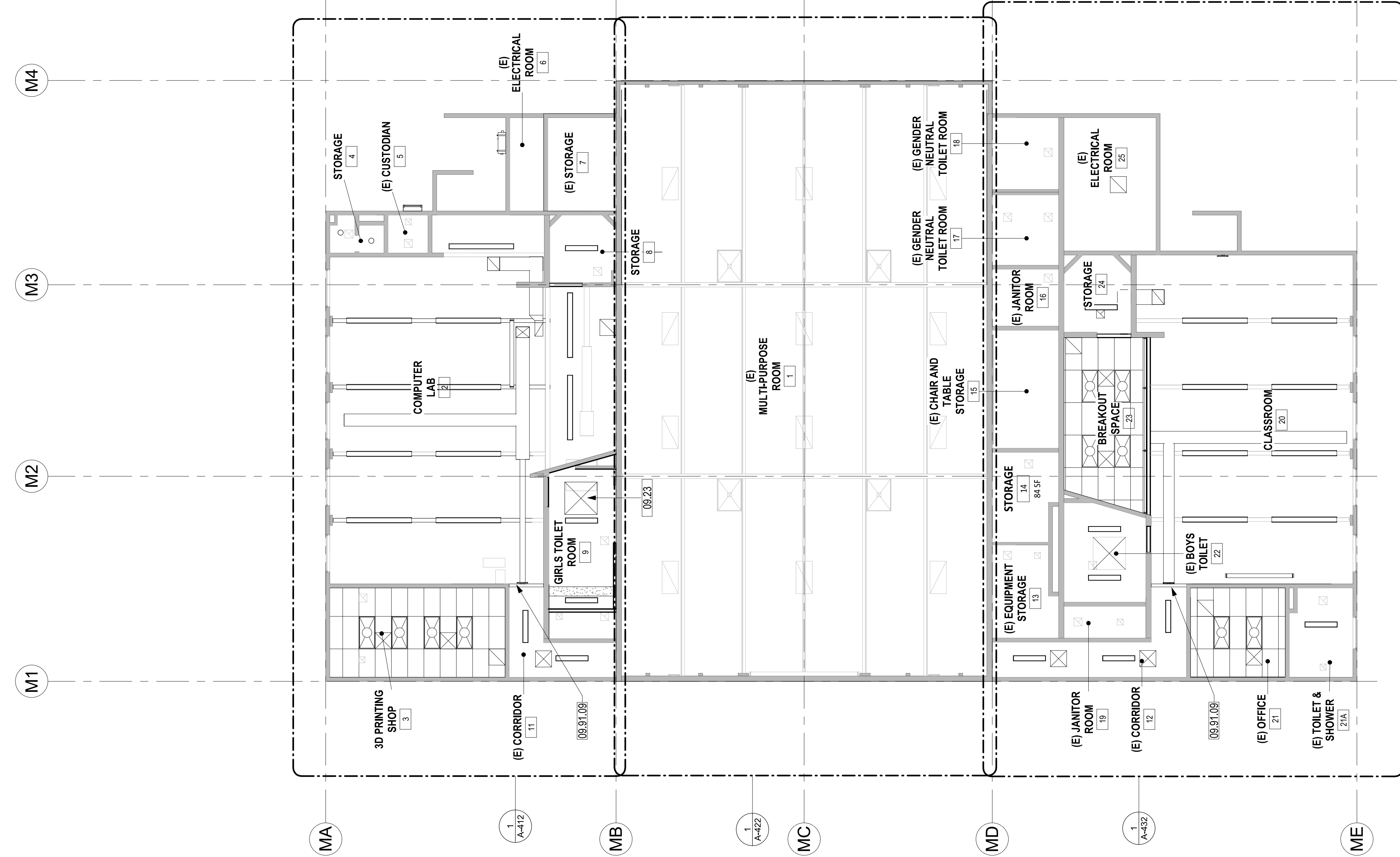
KEYNOTES

03.13	ACCESSIBLE CONCRETE RAMP, SCD
03.15	NEW CONCRETE WALKWAY, SEE CIVIL PLAN
05.02	ACCESSIBLE HANDRAIL, SCD
09.23	PAINT (E) GYPSUM BOARD SKYLIGHT WELL
09.91.09	NEW SOFFIT WALL SEE DETAIL 8/ A-551
10.44.01	SURFACE MOUNT FIRE EXTINGUISHER CABINET WITH 2A10BC FIRE EXTINGUISHER

KEY PLAN



FLOOR PLAN 1
 SCALE: 1/8" = 1'-0"



REFLECTED CEILING PLAN 2
 SCALE: 1/8" = 1'-0"

SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (E) 12A, E2D, E2, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C3352 NZD 6781), 626, RU, FOR SECURITY FROM THE INSIDE. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CAL. ED. CODE & CBC 1010.1.1).

LEGEND

METAL STUD WALL
 (E) CONCRETE WALL

PAINT COLORS

P-1 FIELD - COLOR TO BE DETERMINED BY ARCHITECT
 P-2 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT
 P-3 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT

KEYNOTES

05.03 TUBULAR RAIL HIGH PARAPET ACCESS LADDER WITH PLATFORM AND RETURN, WALL BRACKETS AND OFF-FLOOR MOUNTING BRACKET, AND SECURITY DOOR. SEE 9/A-551

08.01 (N) DOOR AND (N) FRAMED WALL AT (E) OPENINGS

08.02 (N) LOW-E TINT ON EXTERIOR WINDOWS, TYP.

08.17 REMOVE CLOSER FOR DOOR TO BE IN COMPLIANCE.

08.53 PAINT (E) DOOR AND FRAME

09.04 FLOOR TRANSITION TO (N) CARPET TILE FLOOR FINISH

09.12 4" EPOXY BASE

09.13 GYPSUM CEILING INFILL, PTD

09.30.21 PATCH/REPAIR CONCRETE FLOOR WHERE TILE WERE REMOVED, FINISH TO ALIGN (E) ADJACENT CONCRETE FLOOR, PREPARE SURFACE TO RECEIVE (N) FLOOR FINISH

09.91.01 PAINT (E) WOOD TRIM

09.91.02 PAINT (E) WALL

09.91.07 PAINT (E) PLASTER

10.02 ACCESSIBLE WATER CLOSET, RESTORE SOG TO MATCH (E), SPD

10.14.01 TACTILE ROOM NAME & NUMBER SIGNAGE, SEE DETAIL 1A/A-571

10.14.06 A.L.S. SIGNAGE, SEE DETAIL 7/A-571

10.14.09 ACCESSIBLE TOILET ROOM DOOR SIGNAGE - WOMEN/GIRLS, SEE DETAIL 9B/A-571

10.14.12 EXIT RAMP DOWN SIGNAGE, SEE DETAIL 11B/A-571

10.14.17 TOILET WALL SIGNAGE - GIRLS, SEE DETAIL 14B/A-571

10.14.19 DOOR SIGNAGE - NOT AN EXIT, SEE DETAIL 15A/A-571

10.44.01 SURFACE MOUNT FIRE EXTINGUISHER CABINET WITH 2A10BC FIRE EXTINGUISHER

10.44.02 BUILDING ENTRY SIGNAGE, SEE 1/A-571.

10.96.1 (E) ACCESSIBLE TOILET SEAT COVER DISPENSER

10.101 TOILET PAPER DISPENSER, ACCESSIBLE

10.103 GRAB BAR, ACCESSIBLE, PROVIDE BLOCKING, REFERENCE 7/A-551.

10.104 TOILET PARTITIONS

10.105 (E) PAPER TOWEL DISPENSER

10.114 TOILET PAPER DISPENSER

11.02 (E) LOCKERS TO REMAIN, PROTECT IN PLACE

11.03 MARKERBOARD

11.09 TACKBOARD WITH ALUM J-MOLD AT TOP, BOTTOM & END EDGES

11.46 PROJECTION SCREEN, CEILING MOUNTED, MANUAL OPERATED, DETAIL 6/A-552

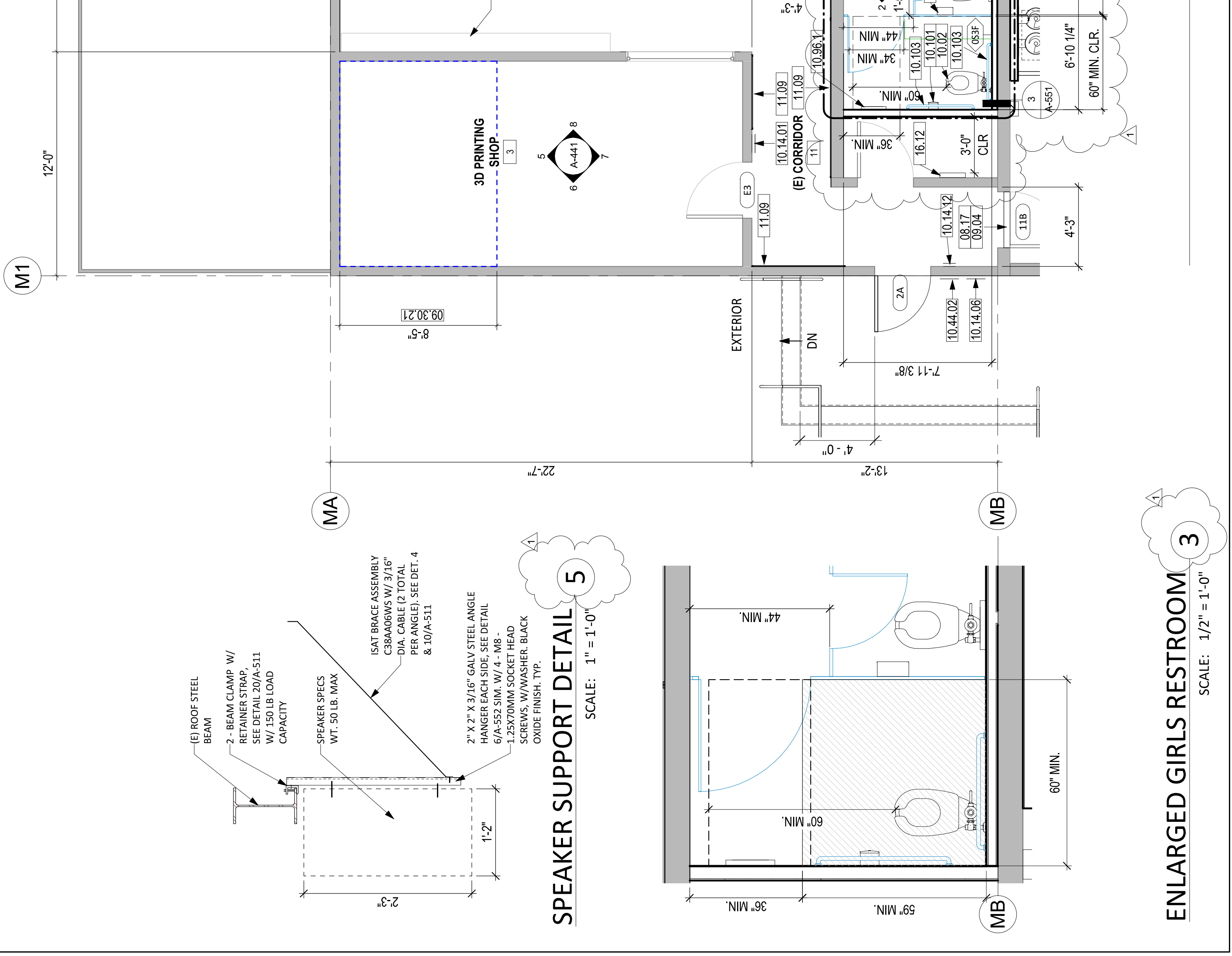
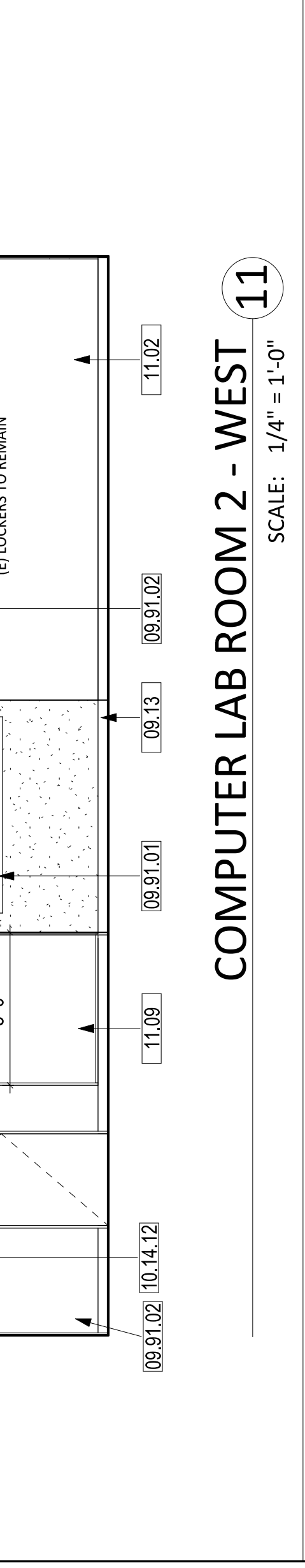
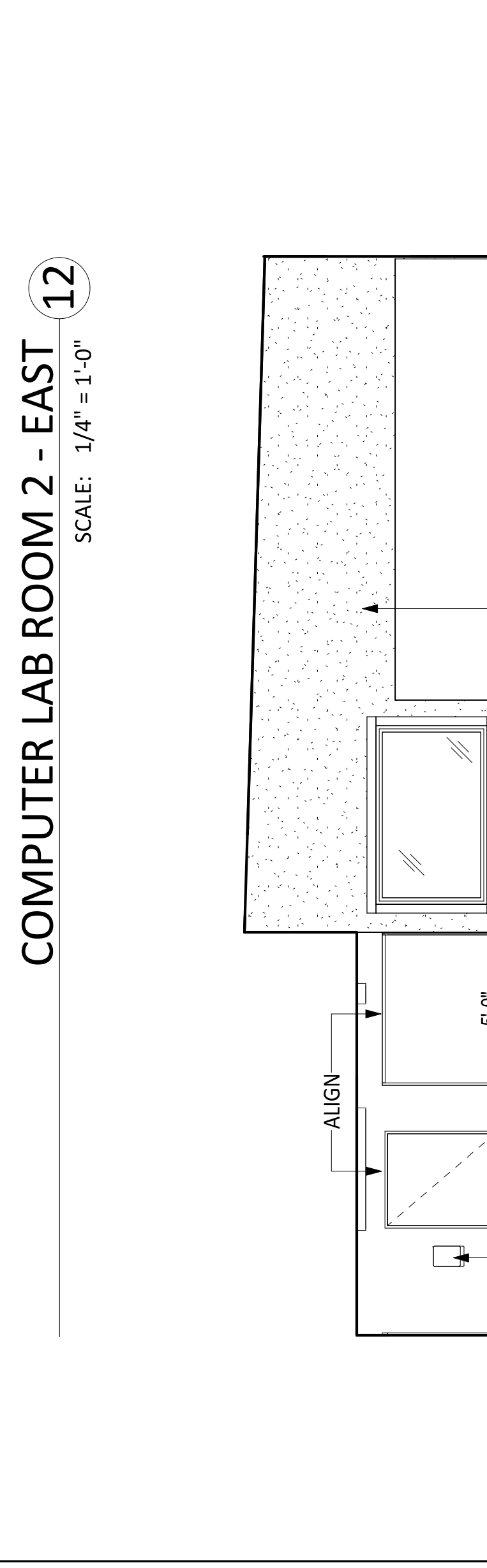
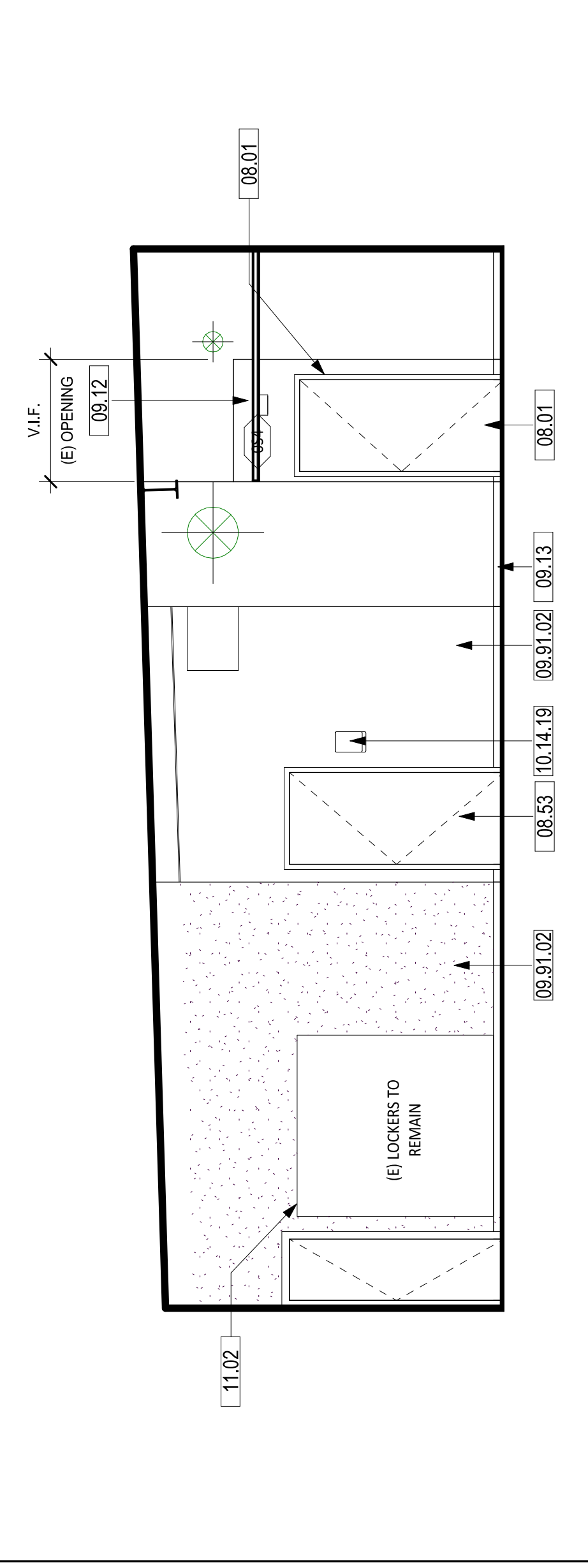
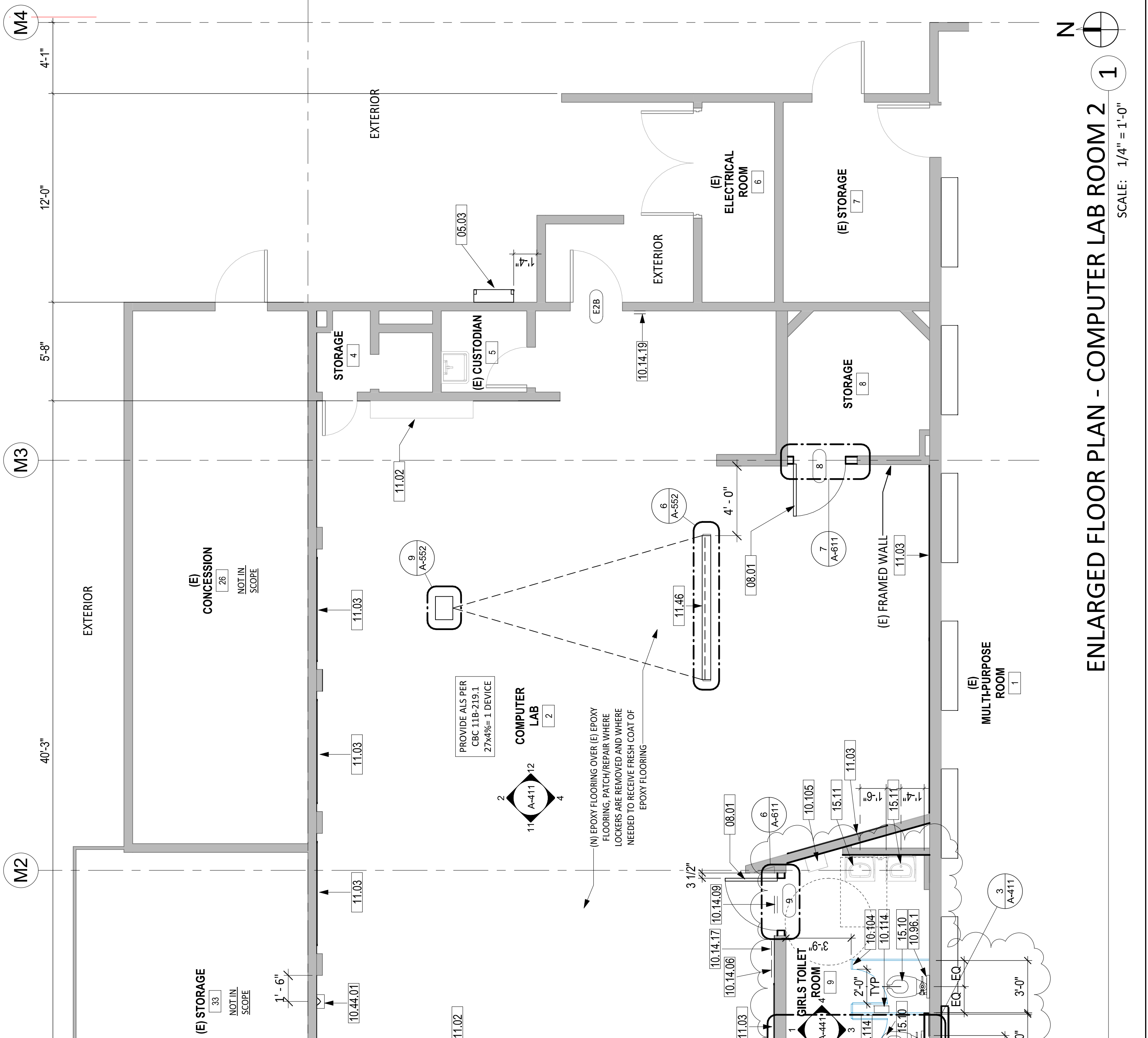
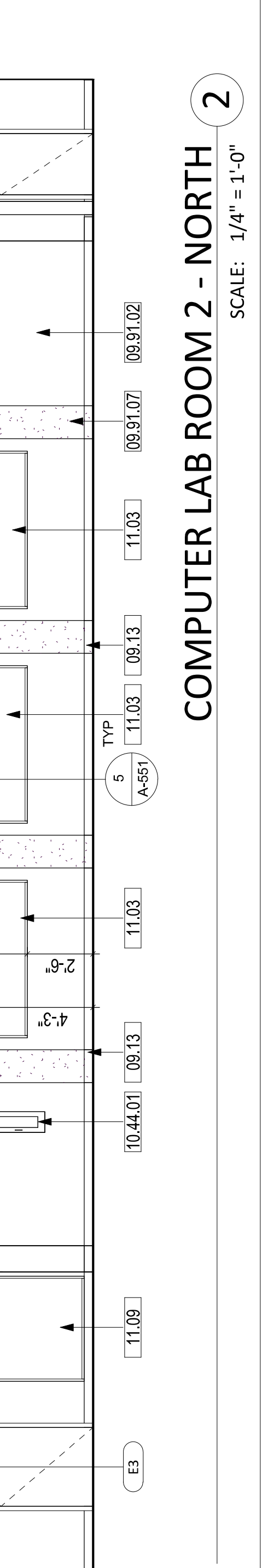
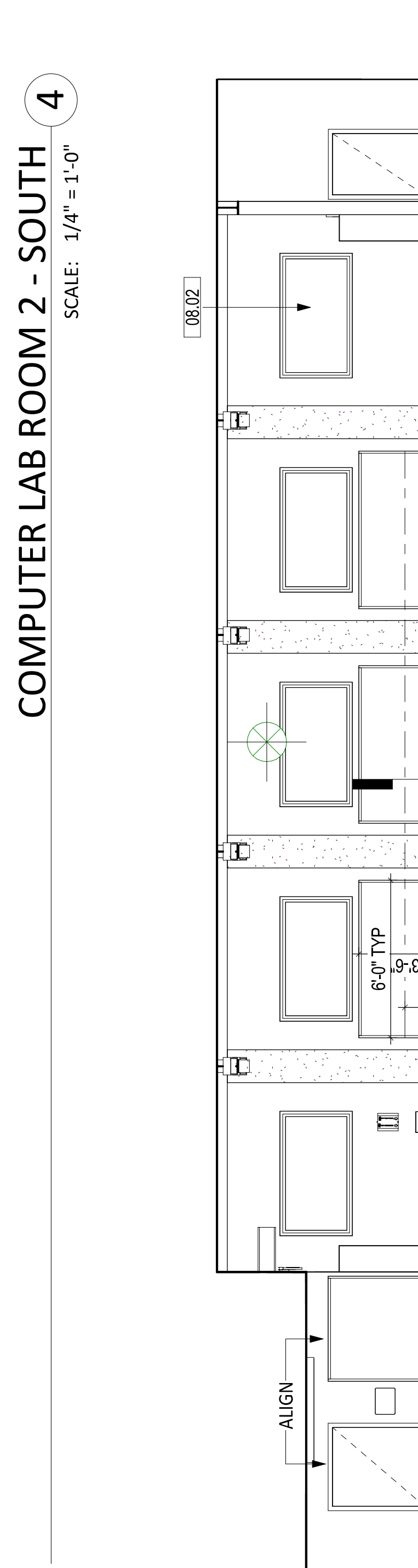
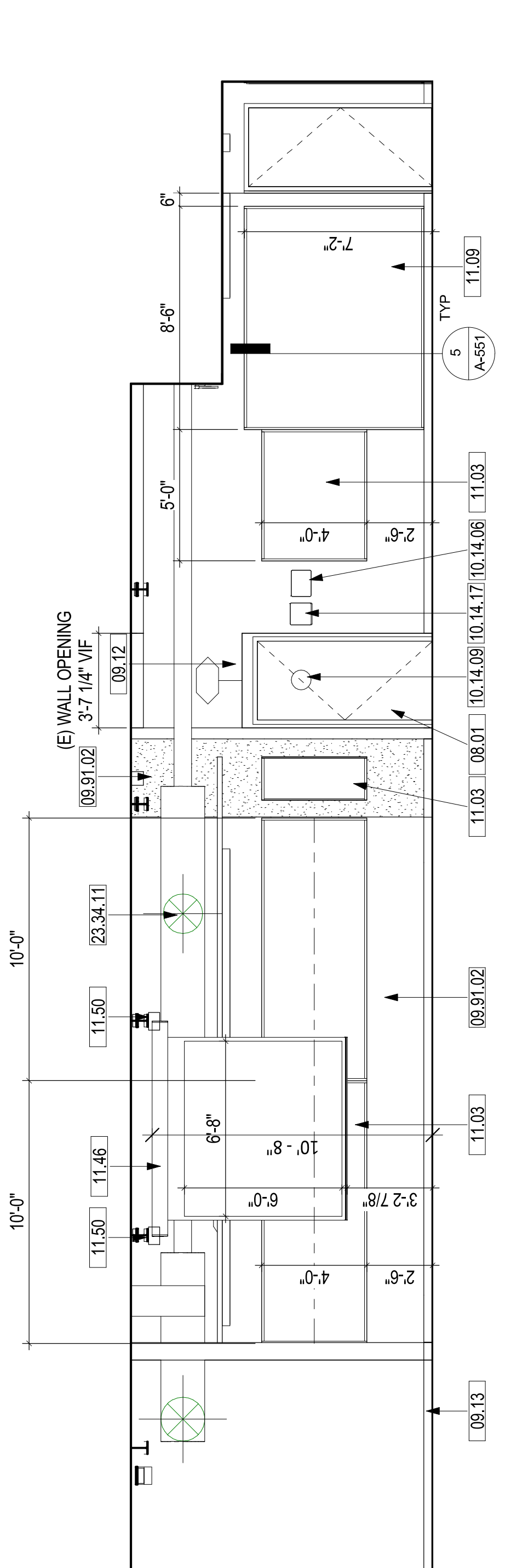
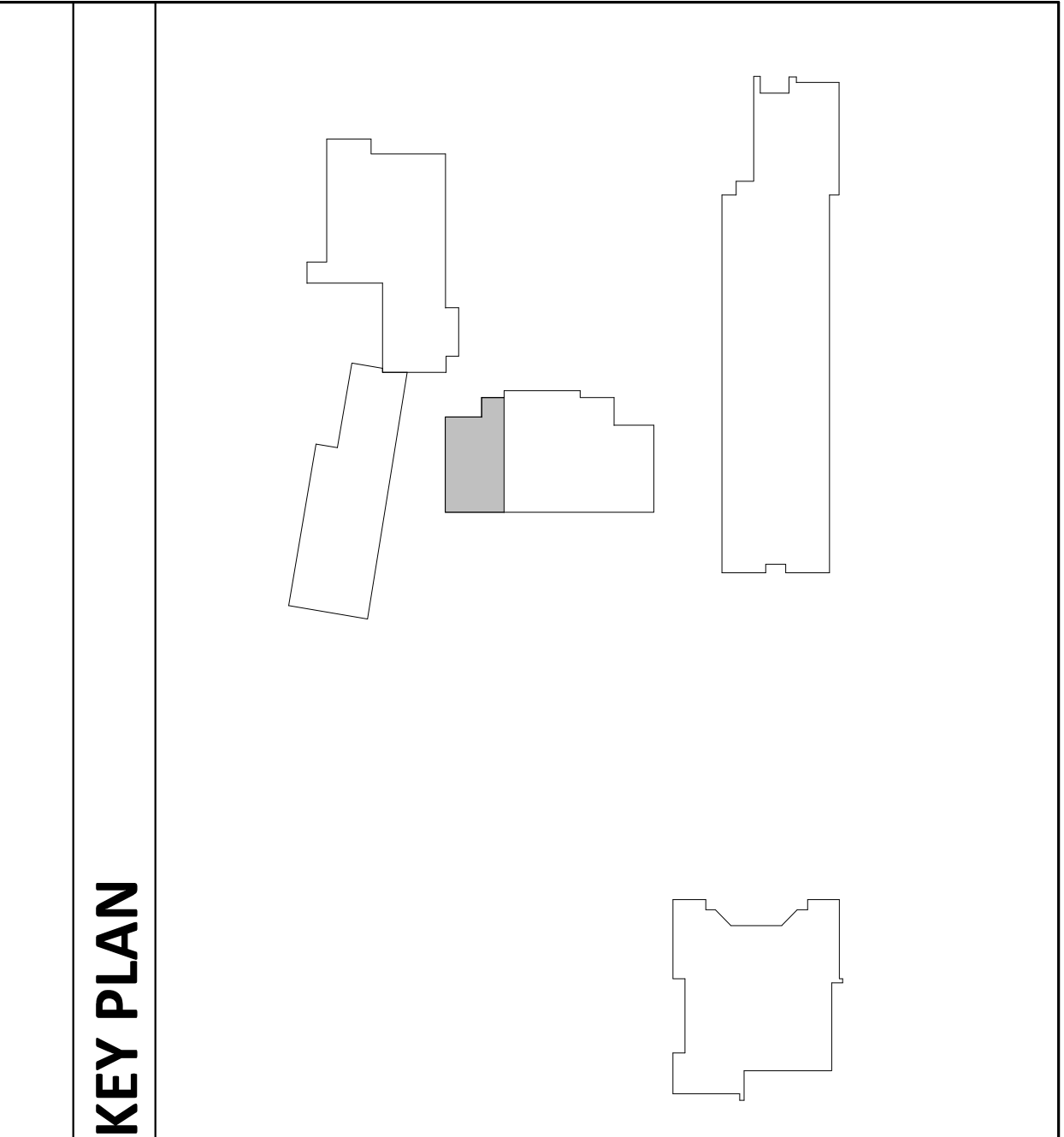
11.50 SPEAKER WITH MOUNTING BRACKET ON (E) STEEL BEAM. SEE DET. 5/A-411. PROVIDE CONDUIT WITH PULL WIRE 1011-R001.

15.10 WATER CLOSET, REPAIR, PATCH, AND REFINISH SOG, SPD

15.11 (E) ACCESSIBLE LAVATORY TO REMAIN

16.12 (E) ELECTRICAL PANEL TO REMAIN

23.34.11 OUTSIDE AIR GOOSENECK THROUGH (E) EPONING, SMD

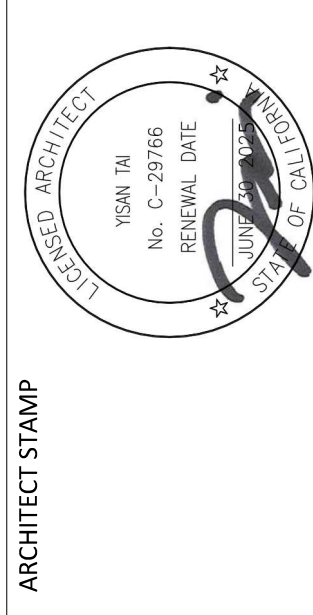


APPROVED
 DIV. OF THE STATE ARCHITECT
 APP: 04-121721 INC.
 REVIEWED FOR:
 SS FLS ACS
 DATE: 10/31/2023

CSDA DESIGN GROUP

LISTEN COLLABORATE CREATE

889 N. DOUGLAS STREET, SUITE 100
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 [T]: 310.821.9200
 www.csdadesigngroup.com



CONSULTANT:

CONSULTANT STAMP

PROJECT OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT



2820 Clark Ave, Norco, CA 92860
 (951) 736-5000

PROJECT NAME:

**CORONA FUNDAMENTAL
 INTERMEDIATE SCHOOL - MPR
 RENOVATION**

1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
	12/19/2022	DSA SUBMITTAL
	03/10/2023	DSA BACK CHECK
	07/11/2023	ADDENDUM 01
1	10/23/2023	ADDENDUM 01 RESUBMITTAL

PROJECT NO.: 22063.01

SHEET TITLE:
**COMPUTER LAB ROOM 2 -
 ENLARGED RCP**

SHEET NO.:

A-412

SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (E12A, E20, E2, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C1332 NZD 6781), 626, RU. FOR SECURITY FROM THE INSIDE. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CAL ED. CODE & CBC 1010.1.1).
- REFER TO NOTE #19 ON SHEET G-002 FOR WORK ON CEILINGS AND WALL SURFACES OF BUILDING.

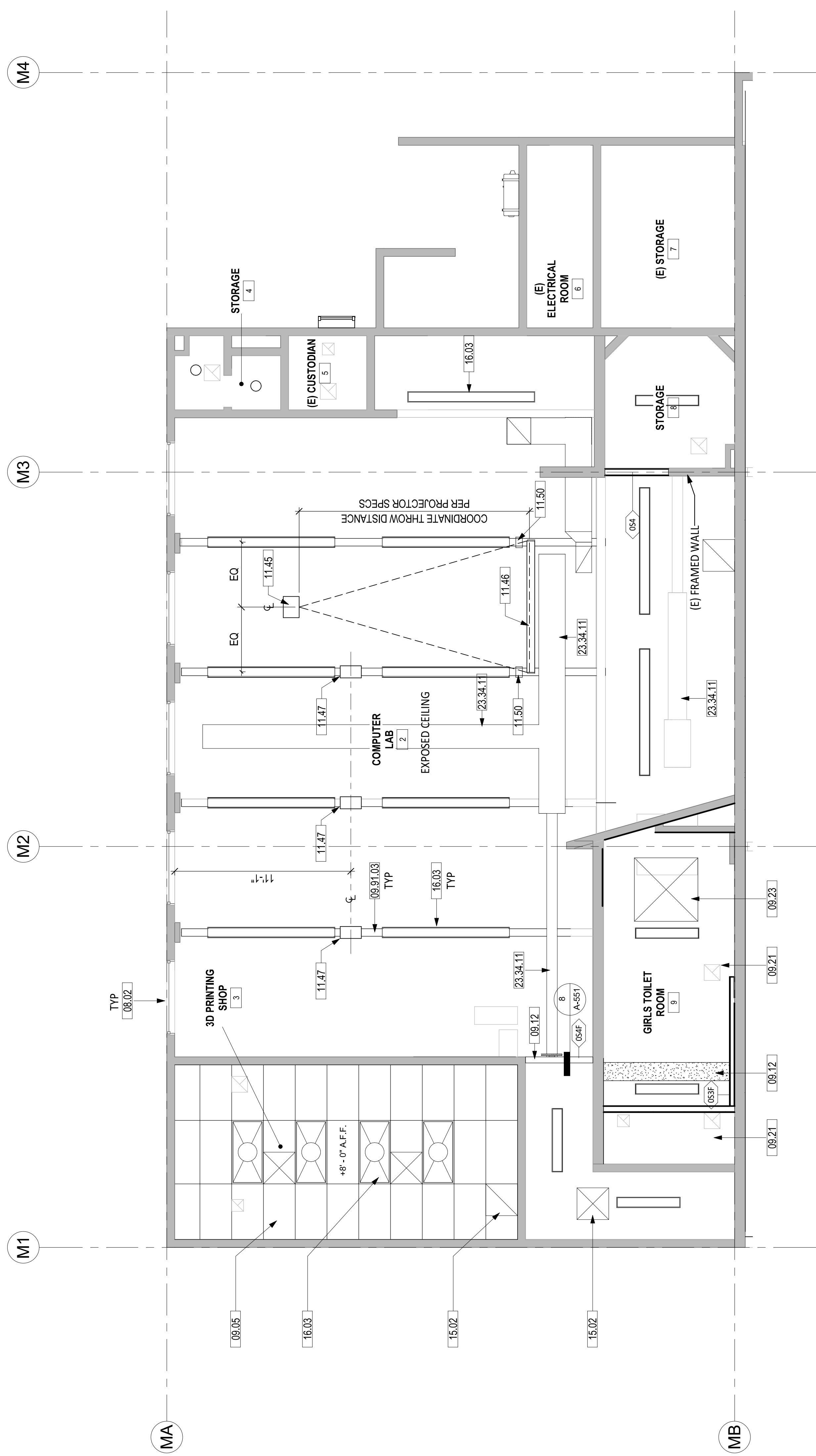
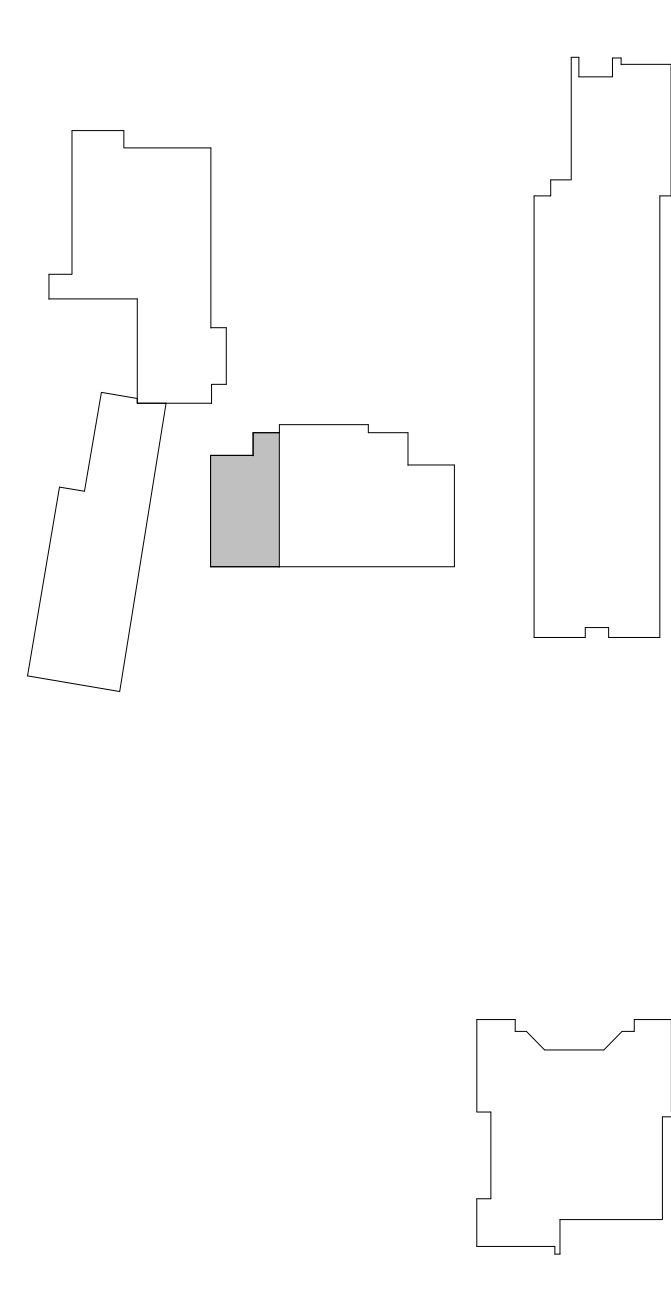
LEGEND

- METAL STUD WALL
- (E) CONCRETE WALL

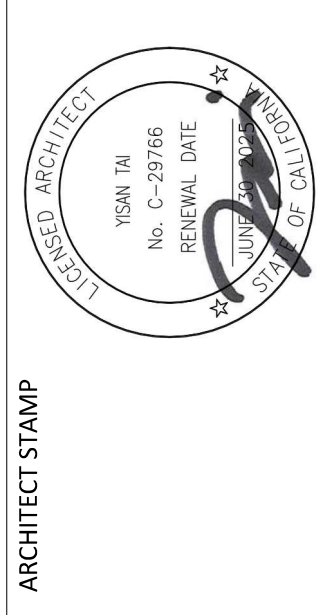
KEYNOTES

- 08.02 (N) LOW-E TINT ON EXTERIOR WINDOWS, TYP.
- 09.05 SUSPENDED CEILING, ACOUSTIC CEILING TILE FINISH
- 09.12 GYPSUM CEILING INFILL, PTD
- 09.21 PAINT (E) GYPSUM BOARD CEILING
- 09.23 PAINT (E) GYPSUM BOARD SKYLIGHT WELL
- 09.91.03 PAINT (E) EXPOSED STEEL BEAMS
- 11.45 PROJECTOR, CEILING MOUNTED WITH EXTENSION POLE, WITH DATA CONNECTION, SEE DETAIL 9/A-552.
- 11.46 PROJECTION SCREEN, CEILING MOUNTED, MANUAL OPERATED, DETAIL 6/A-552.
- 11.47 POWER & DATA CORD REEL, CEILING MOUNTED
- 11.50 SPEAKER WITH MOUNTING BRACKET ON (E) STEEL BEAM. SEE DET. 5/A-411. PROVIDE CONDUIT WITH PULL WIRE TO IT-ROOM.
- 15.02 MECH DEFUSERS, SMD
- 16.03 LIGHT FIXTURES, TYP. SED
- 23.34.11 OUTSIDE AIR GOOSENECK THROUGH (E) EPONING, SMD

KEY PLAN



ENLARGED RCP - COMPUTER LAB ROOM 2
 SCALE: 1/4" = 1'-0"
 1



CONSULTANT:

CONSULTANT STAMP

PROJECT OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT



2820 Clark Ave, Norco, CA 92860
 (951) 736-5000

PROJECT NAME:

**CORONA FUNDAMENTAL
 INTERMEDIATE SCHOOL - MPR
 RENOVATION**

1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
12/19/2022	DSA SUBMITTAL	
03/10/2023	DSA BACK CHECK	
07/17/2023	ADDENDUM 01	
10/26/2023	ADDENDUM 01 RESUBMITTAL	

PROJECT NO.: 22063.01

SHEET TITLE:
MPR - ENLARGED PLAN

SHEET NO.: **A-421**

SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (1EA, 1EB, 1EC, AND 1ED) WITH CLASSROOM INTRUDER LOCK SET FOR MPR WITH NEW SECURITY FROM THE INSIDE. REFER TO HARDWARE GROUP IN SPECS. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CAL ED. CODE & ECB 1010.11).

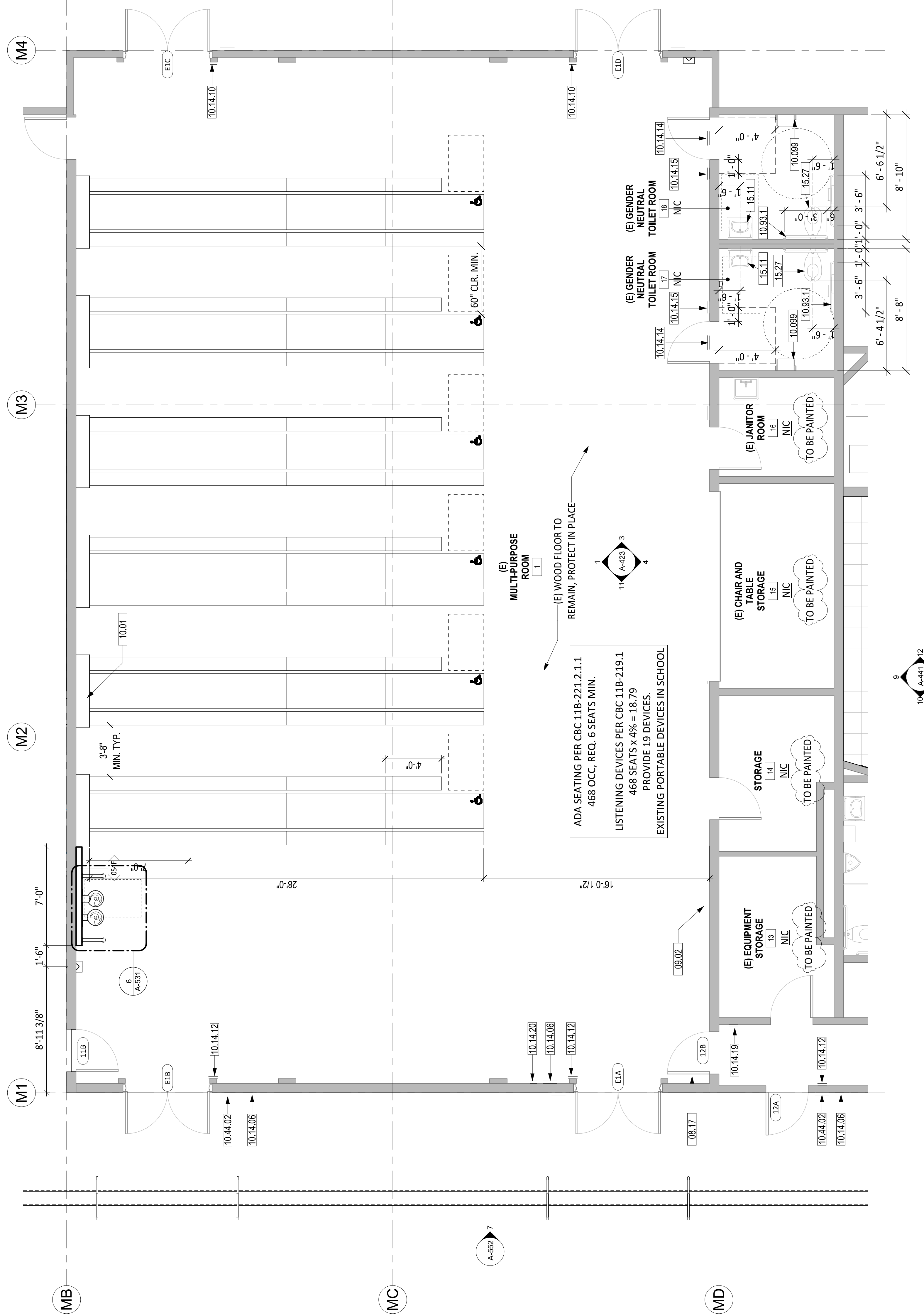
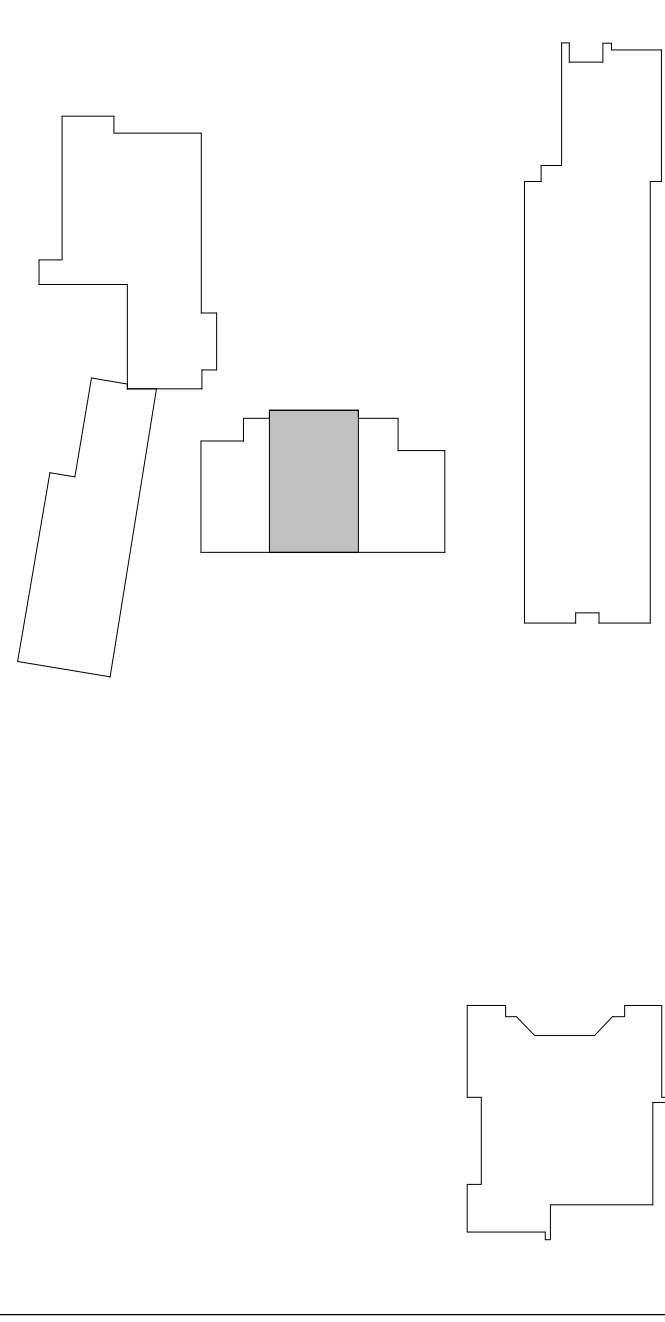
LEGEND

- METAL STUD WALL
- (E) CONCRETE WALL

KEYNOTES

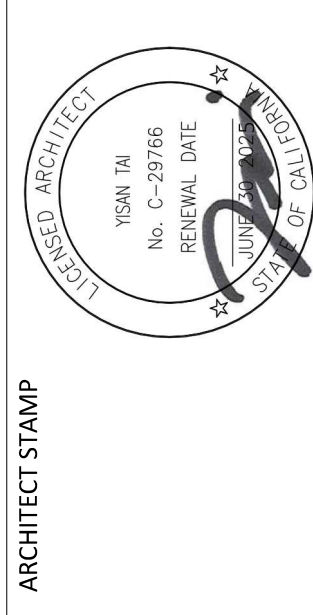
- 10.0.17 REMOVE CLOSER FOR DOOR TO BE IN COMPLIANCE.
- 09.0.2 PAINT ALL INTERIOR WALLS IN MPR SPACE, 4 COLORS MAX. DESIGN TBD BY ARCHITECT
- 10.0.1 FOLDING LUNCH TABLE W/ STORAGE CLOSETS
- 10.14.06 A.L.S. SIGNAGE, SEE DETAIL 7/A-571
- 10.14.10 TACTILE EXIT SIGNAGE, SEE DETAIL 4/A-571
- 10.14.12 EXIT RAMP DOWN SIGNAGE, SEE DETAIL 11B/A-571
- 10.14.14 ALL-GENDER/UNISEX TOILET DOOR SIGNAGE, SEE DETAIL 13A/A-571
- 10.14.15 ALL-GENDER/UNISEX TOILET WALL SIGNAGE, SEE DETAIL 13B/A-571
- 10.14.19 DOOR SIGNAGE - NOT AN ENT; SEE DETAIL 15A/A-571
- 10.14.20 OCCUPANCY SIGNAGE, SEE DETAIL 16/A-571
- 10.44.02 BUILDING ENTRY SIGNAGE, SEE 1/A-571.
- 10.09.1 (E) ACCESSIBLE GRAB BAR
- 10.09.9 (E) ACCESSIBLE TOILET PAPER DISPENSER & WASTE RECEPTACLE COMBO
- 15.1.1 (E) ACCESSIBLE LAVATORY TO REMAIN
- 15.2.7 (E) ACCESSIBLE WATER CLOSET TO REMAIN

KEY PLAN



NOTES: CONTRACTOR TO VERIFY (E) ALL-GENDER NEUTRAL TOILETS DIMENSIONS & CLEARANCES TO BE IN COMPLIANCE WITH 2019 CBC. PROVIDE WORK NECESSARY TO CORRECT NON-COMPLIANT CONDITIONS.

ENLARGED FLOOR PLAN - MPR
 SCALE: 1/4" = 1'-0"
 1



CONSULTANT:

CONSULTANT STAMP



PROJECT NAME:

MARK	DATE	DESCRIPTION
12/19/2022	12/19/2022	DSA SUBMITTAL
03/10/2023	03/10/2023	DSA BACK CHECK
07/11/2023	07/11/2023	ADDENDUM 01
10/26/2023	10/26/2023	ADDENDUM 01 RESUBMITTAL

PROJECT NO.: 22063.01

SHEET TITLE:
**MPR - INTERIOR
 ELEVATIONS**

SHEET NO.:

A-423

SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (E12A, E20, E2, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C1352 NZD 6781), 626, RU. FOR SECURITY FROM THE INSIDE SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CAL. ED. CODE & CBC 1010.1.1).

LEGEND

TACKBOARD COLORS

- T-1 COLOR TO BE DETERMINED BY ARCHITECT
- T-2 COLOR TO BE DETERMINED BY ARCHITECT

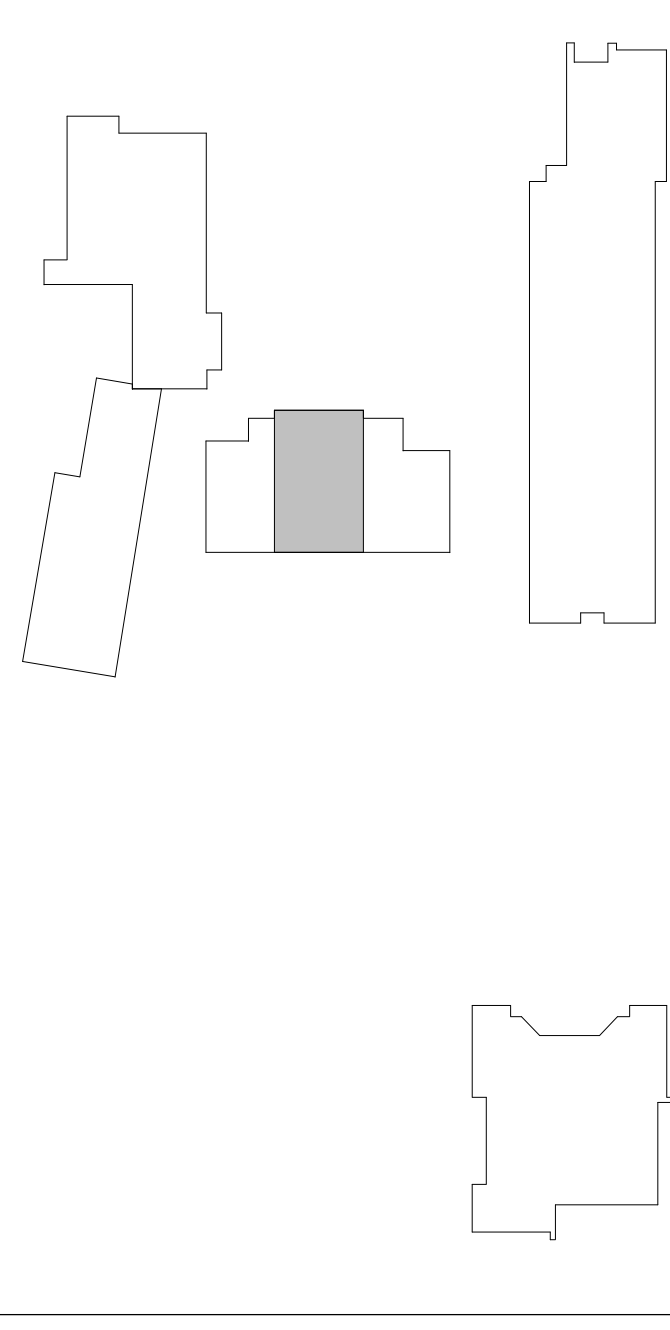
PAINT COLORS

- P-1 FIELD - COLOR TO BE DETERMINED BY ARCHITECT
- P-2 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT
- P-3 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT

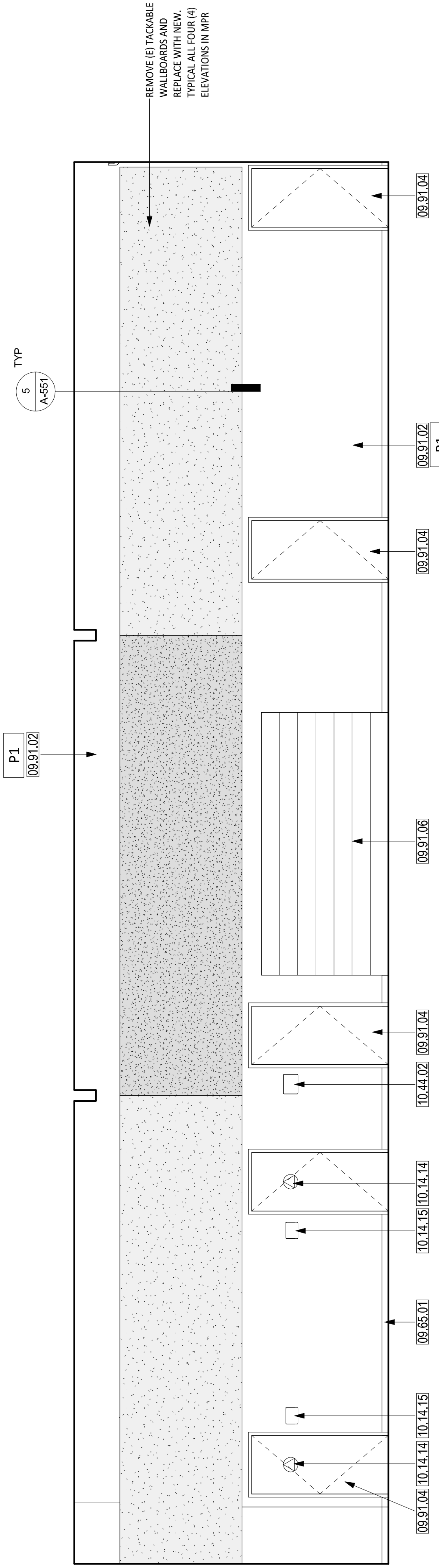
KEYNOTES

- 05.17 CANE DETECTION RAIL
- 05.19 1-1/2" OD STAINLESS STEEL PIPE W/ FLOOR PLATE, SEE DET. 7/A-551.
- 09.02 PAINT ALL INTERIOR WALLS IN MPR SPACE, 4 COLORS MAX. DESIGN TBD BY ARCHITECT
- 09.30.14 4" X 4" CERAMIC WALL TILE, RANDOM PATTERN, MATCH (E), ON THINK-SET
- 09.65.01 MORTAR-ON-CEMENT BOARD, WITH EPOXY GROUT
- 09.91.02 PAINT (E) WALL BASE
- 09.91.04 PAINT (E) WALL
- 09.91.04 PAINT (E) DOORS AND FRAMES
- 09.91.06 PAINT (E) ROLL UP DOOR
- 10.01 FOLDING LUNCH TABLE W/ STORAGE CLOSETS
- 10.14.06 A.L.S. SIGNAGE, SEE DETAIL 7/A-571
- 10.14.10 TACTILE EXIT SIGNAGE, SEE DETAIL 4/A-571
- 10.14.12 EXT RAMP DOWN SIGNAGE, SEE DETAIL 11B/A-571
- 10.14.14 ALL-GENDER/UNISEX TOILET DOOR SIGNAGE, SEE DETAIL 13A/A-571
- 10.14.15 ALL-GENDER/UNISEX TOILET WALL SIGNAGE, SEE DETAIL 13B/A-571
- 10.44.01 SURFACE MOUNT FIRE EXTINGUISHER CABINET WITH 2A108C FIRE EXTINGUISHER
- 10.44.02 BUILDING ENTRY SIGNAGE, SEE 1/A-571.
- 11.46.1 (E) PROJECTION SCREEN, WALL MOUNTED, MANUAL OPERATED PULL CORD
- 11.46.2 (E) PROJECTION SCREEN ROLLED UP
- 11.46.3 (E) PROJECTION SCREEN PULL CORD
- 15.25 ACCESSIBLE WATER BOTTLE FILLER, SPD
- 16.06 (E) ILLUMINATED EXIT SIGN, SURFACE MOUNT

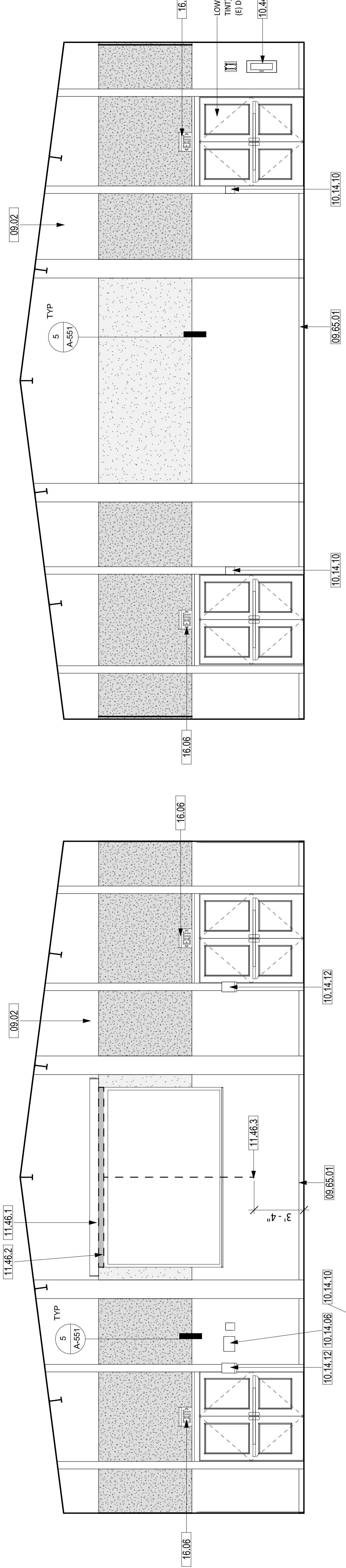
KEY PLAN



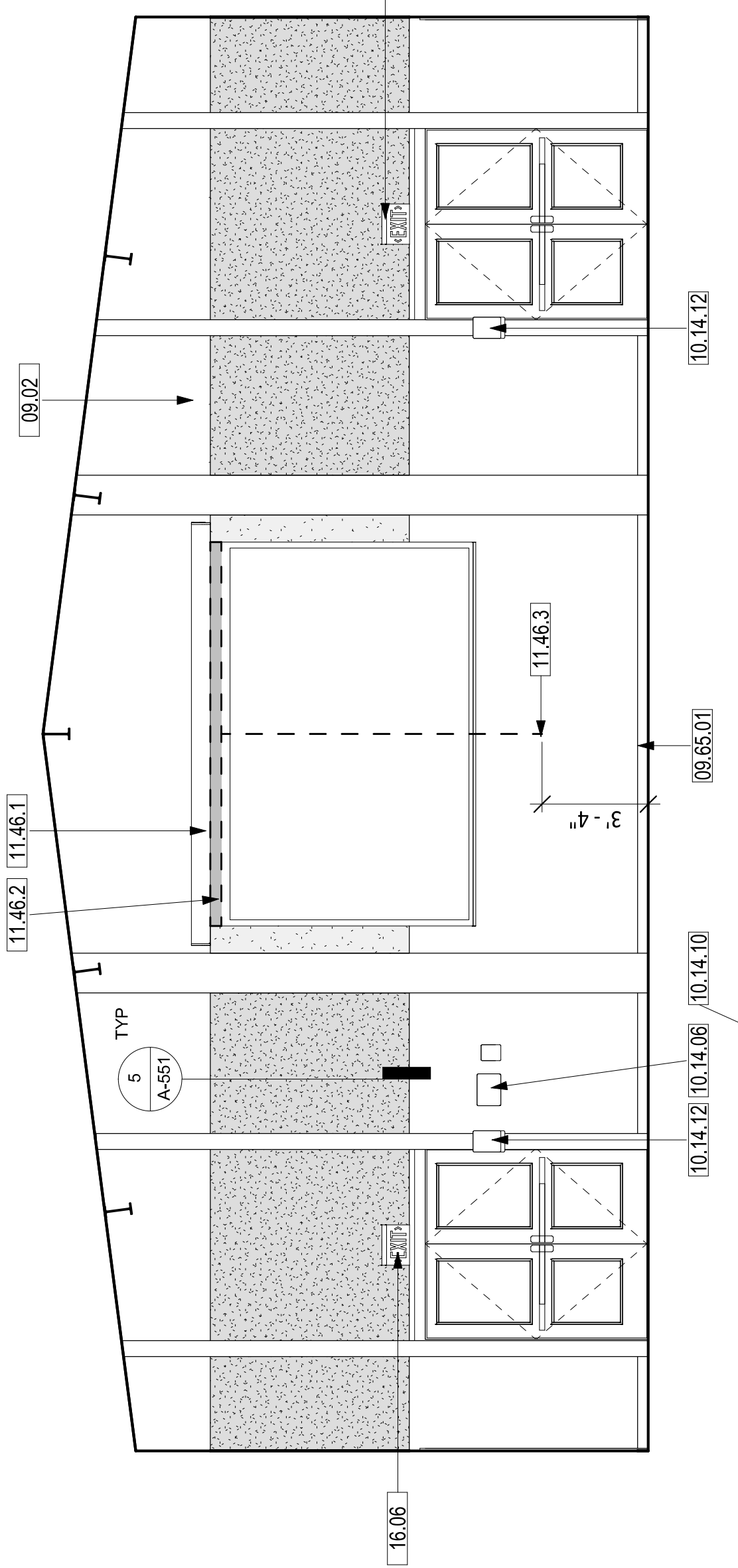
INTERIOR ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0"



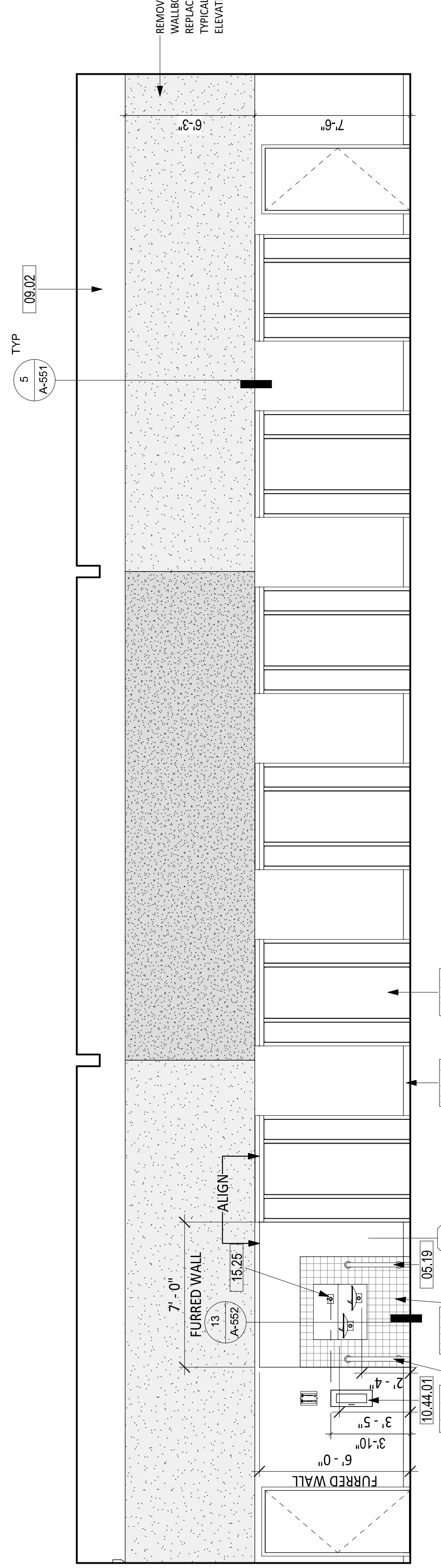
INTERIOR ELEVATION - EAST
 SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION - WEST
 SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION - NORTH
 SCALE: 1/4" = 1'-0"



SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (E12A, E20, E2, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C1352 NZD 6781), 626, RU, FOR SECURITY FROM THE INSIDE. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CALIF. CODE & CBC 1010.1.1).

LEGEND

METAL STUD WALL
 (E) CONCRETE WALL

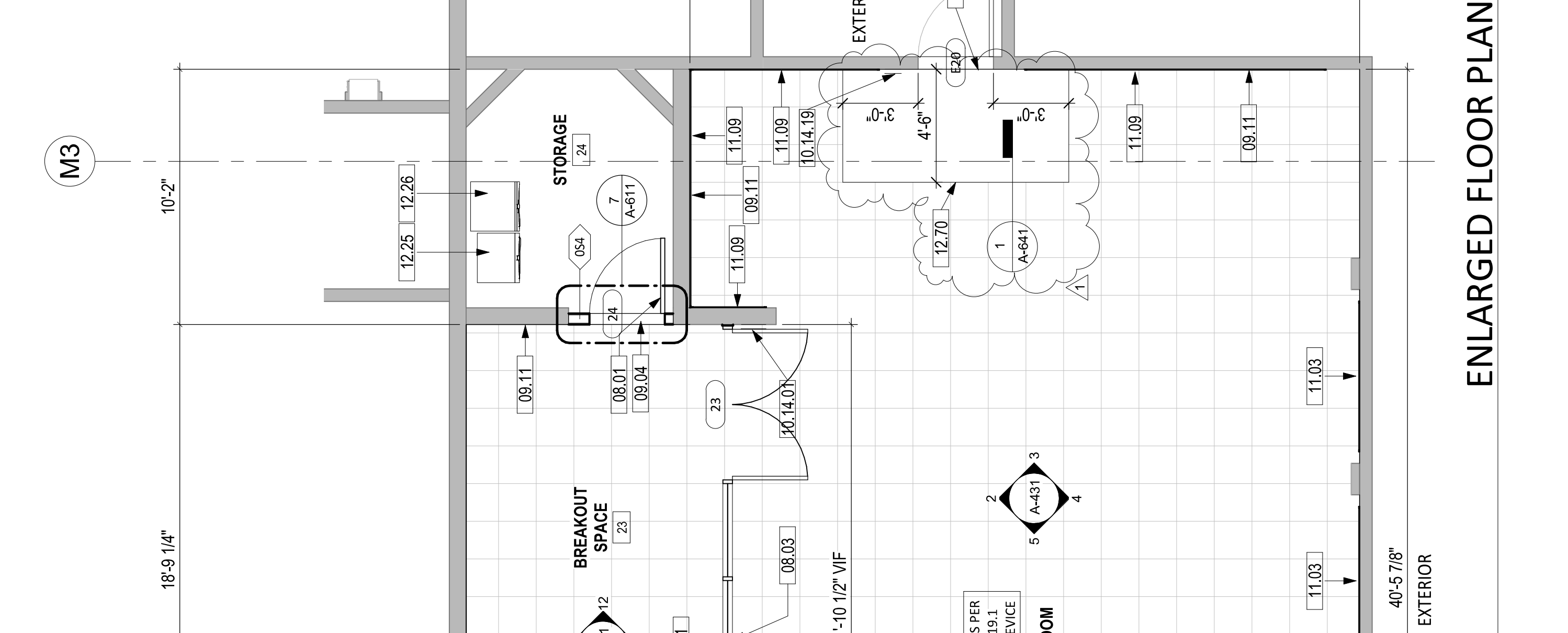
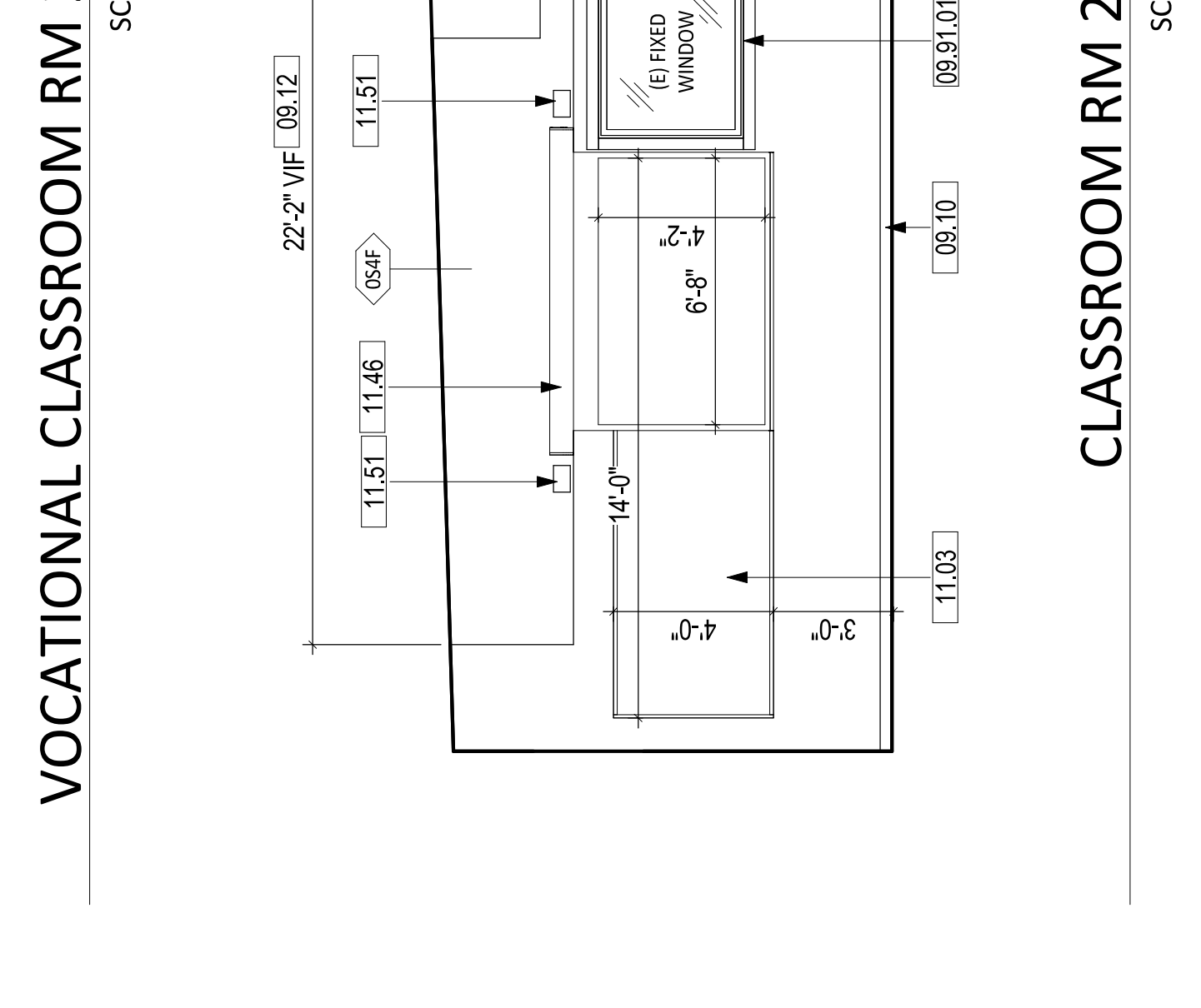
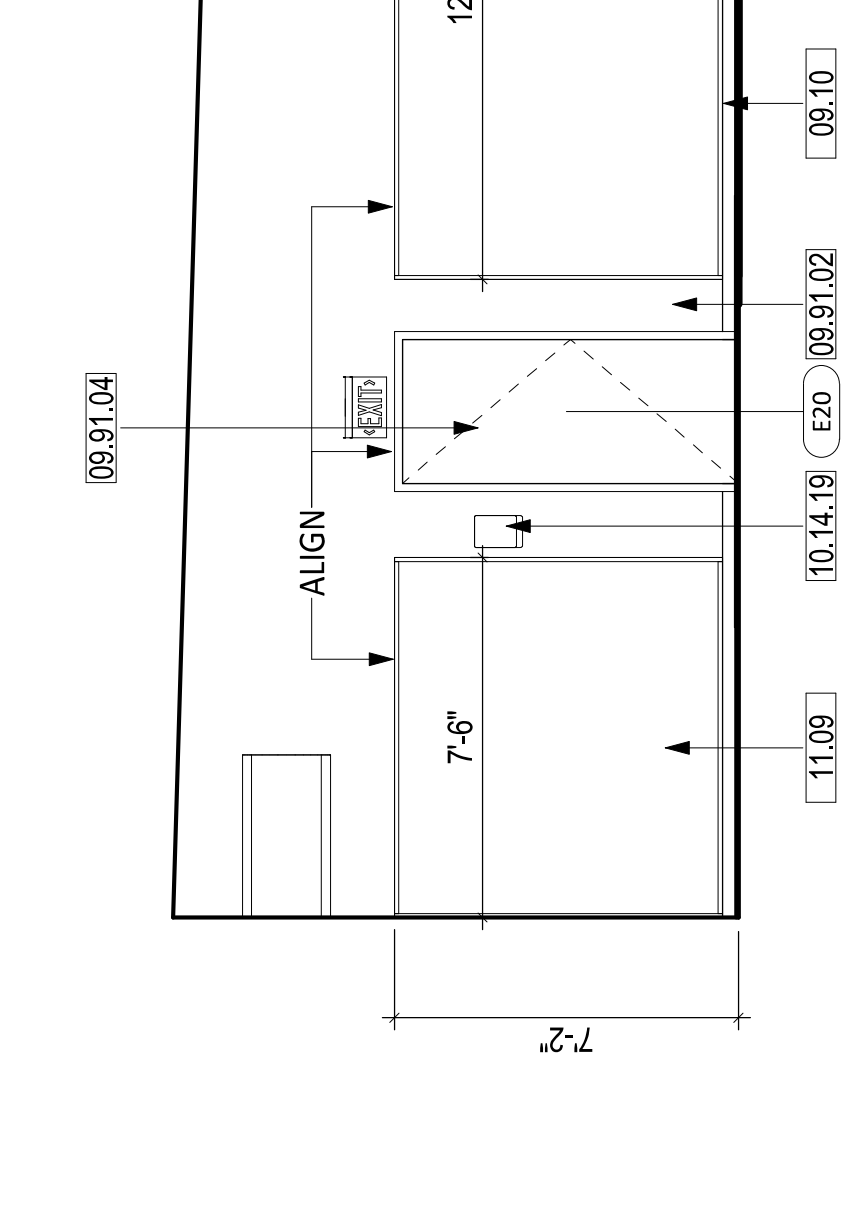
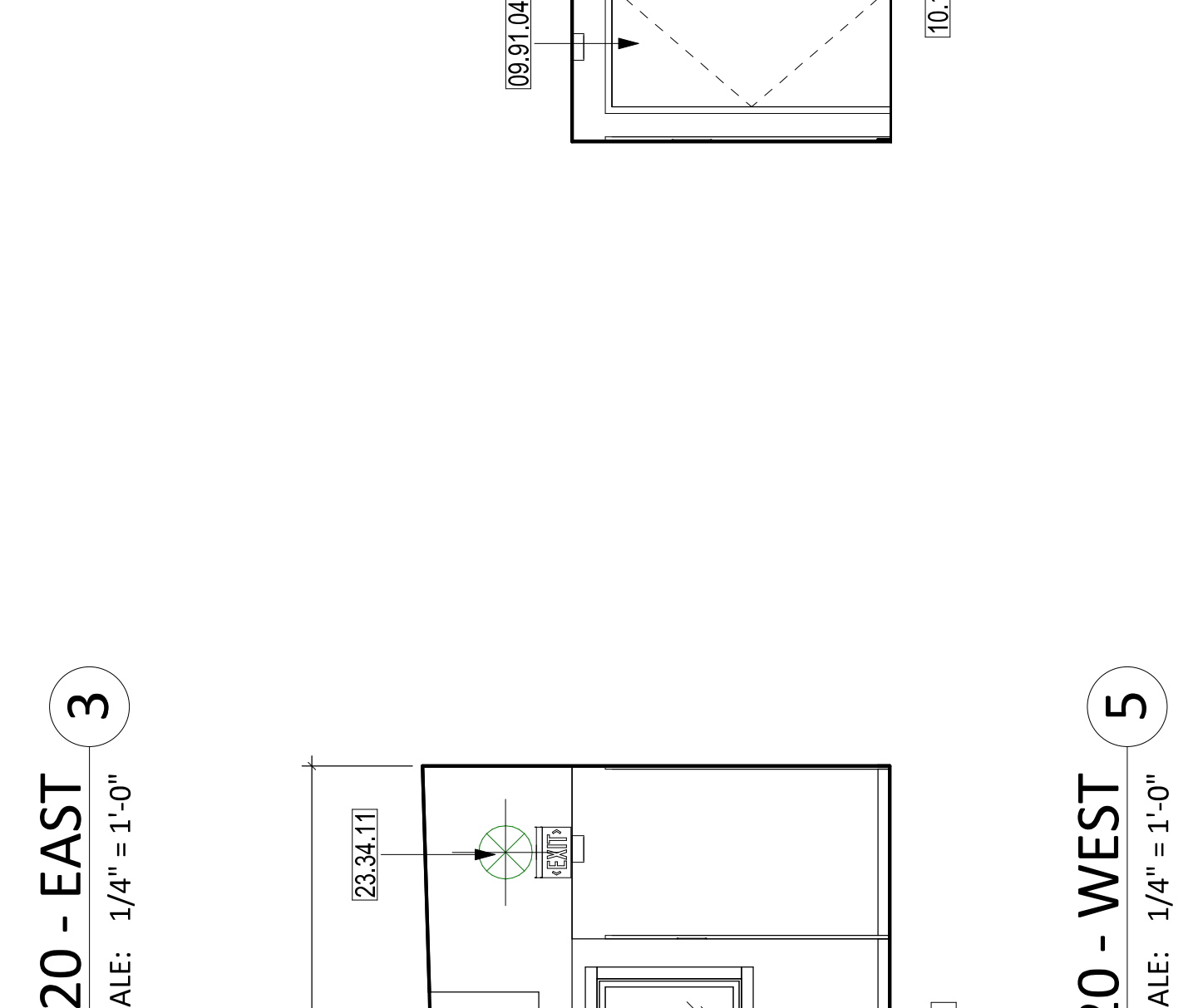
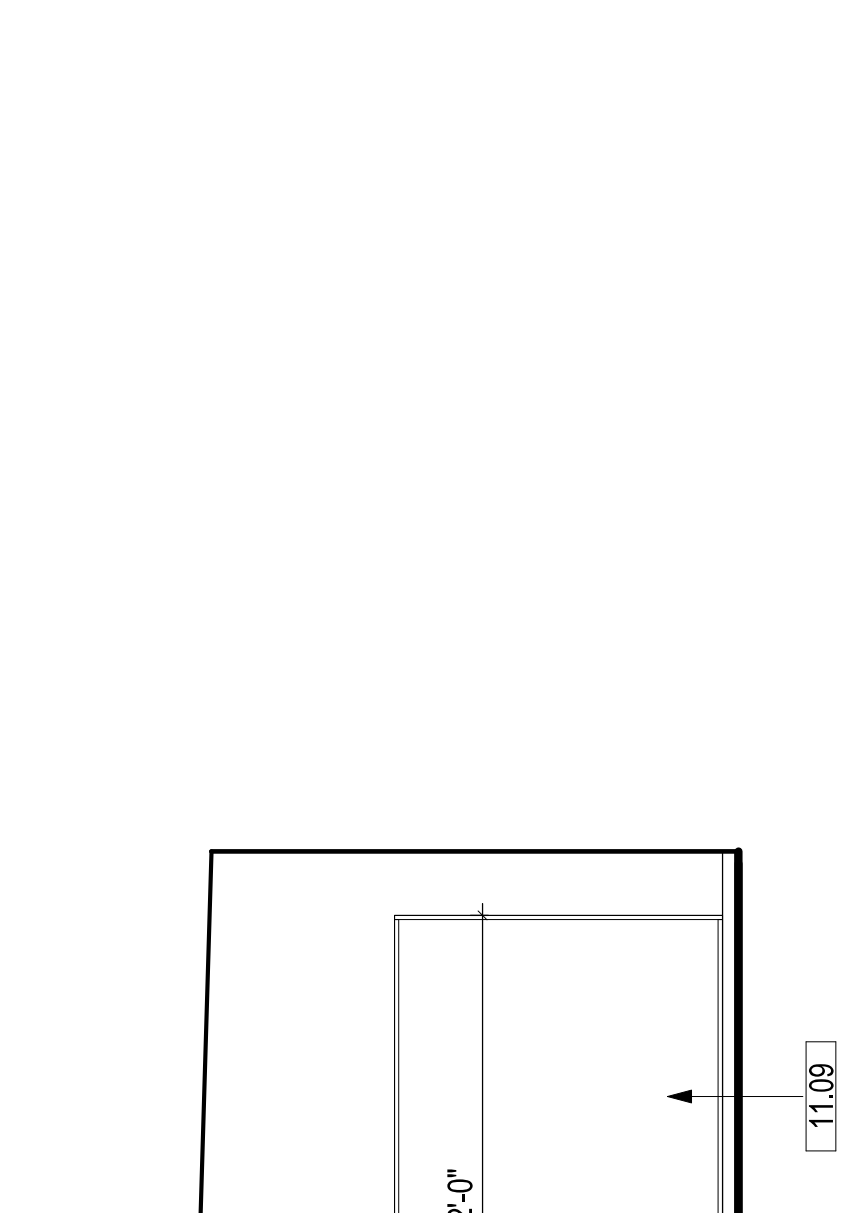
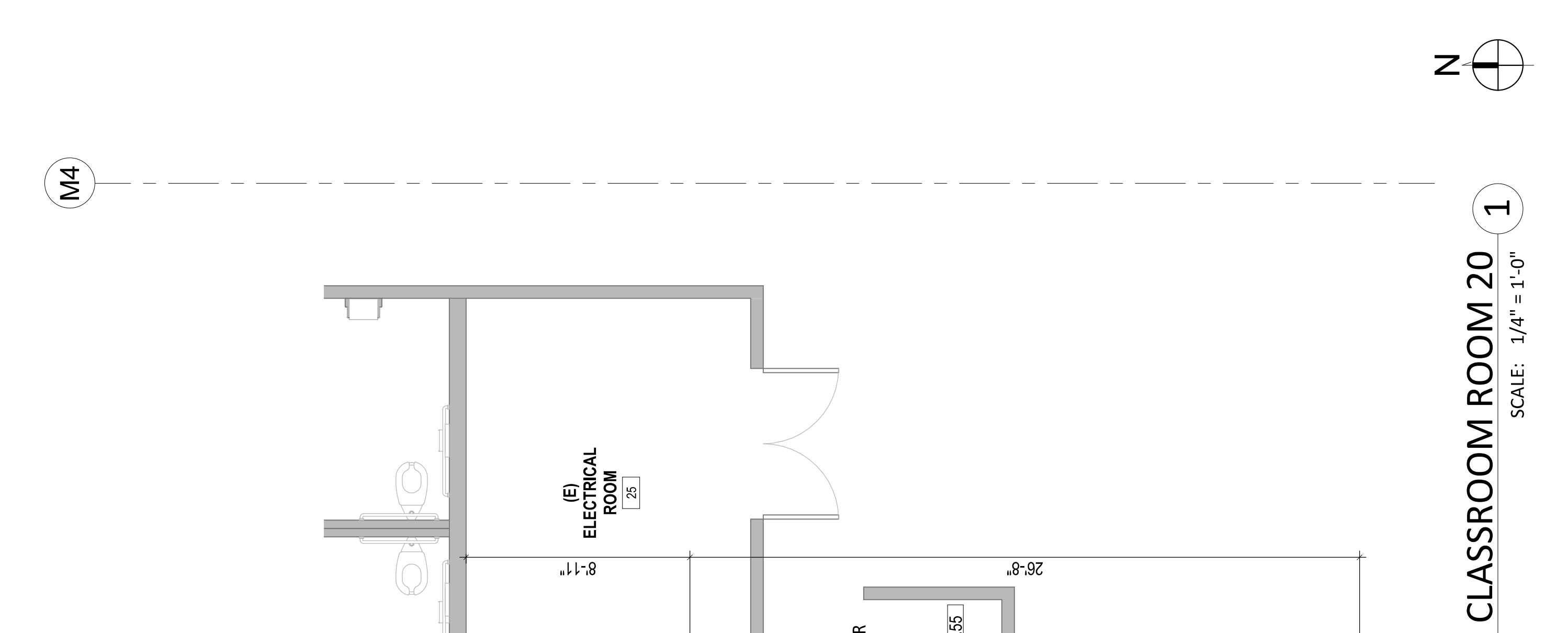
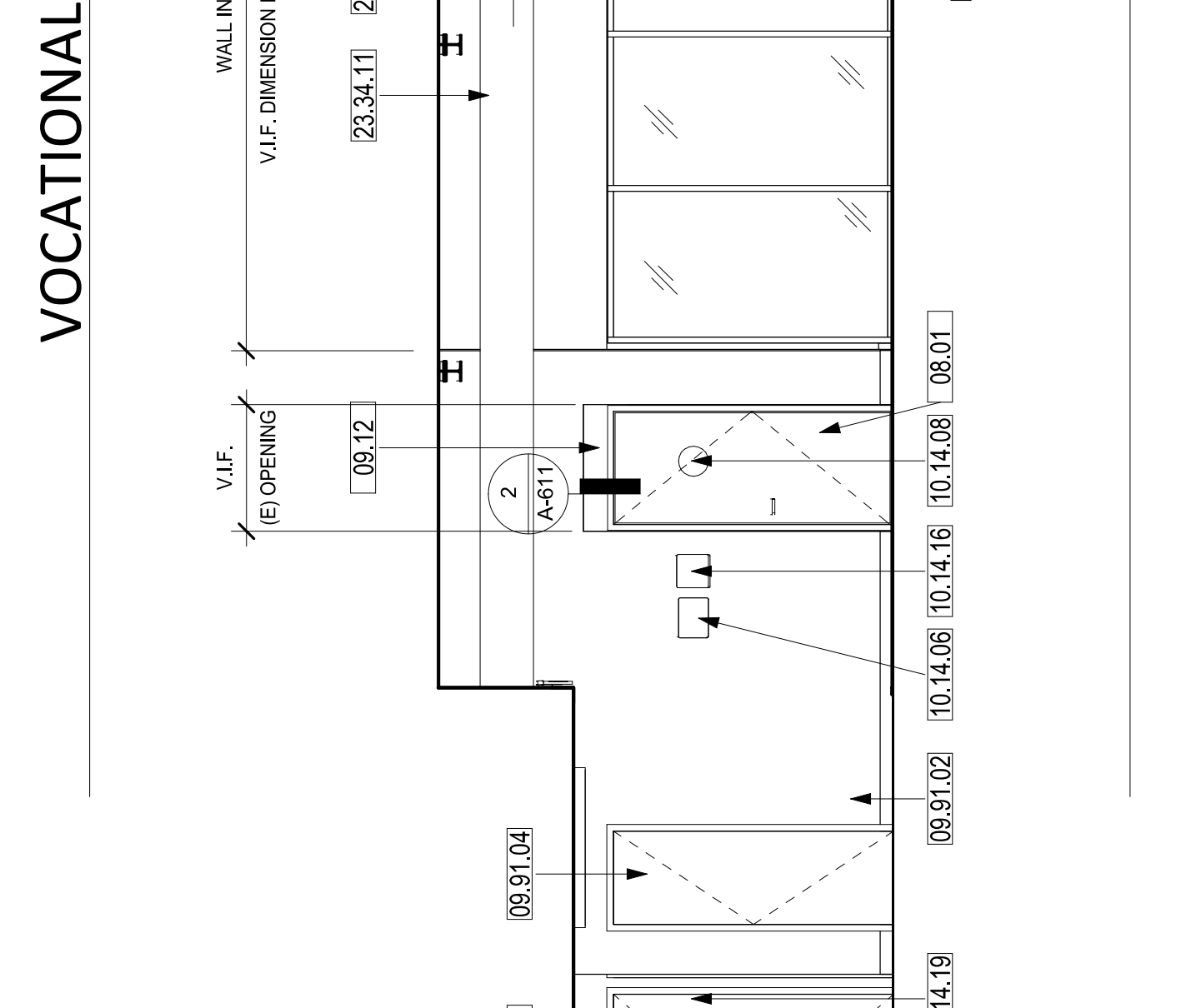
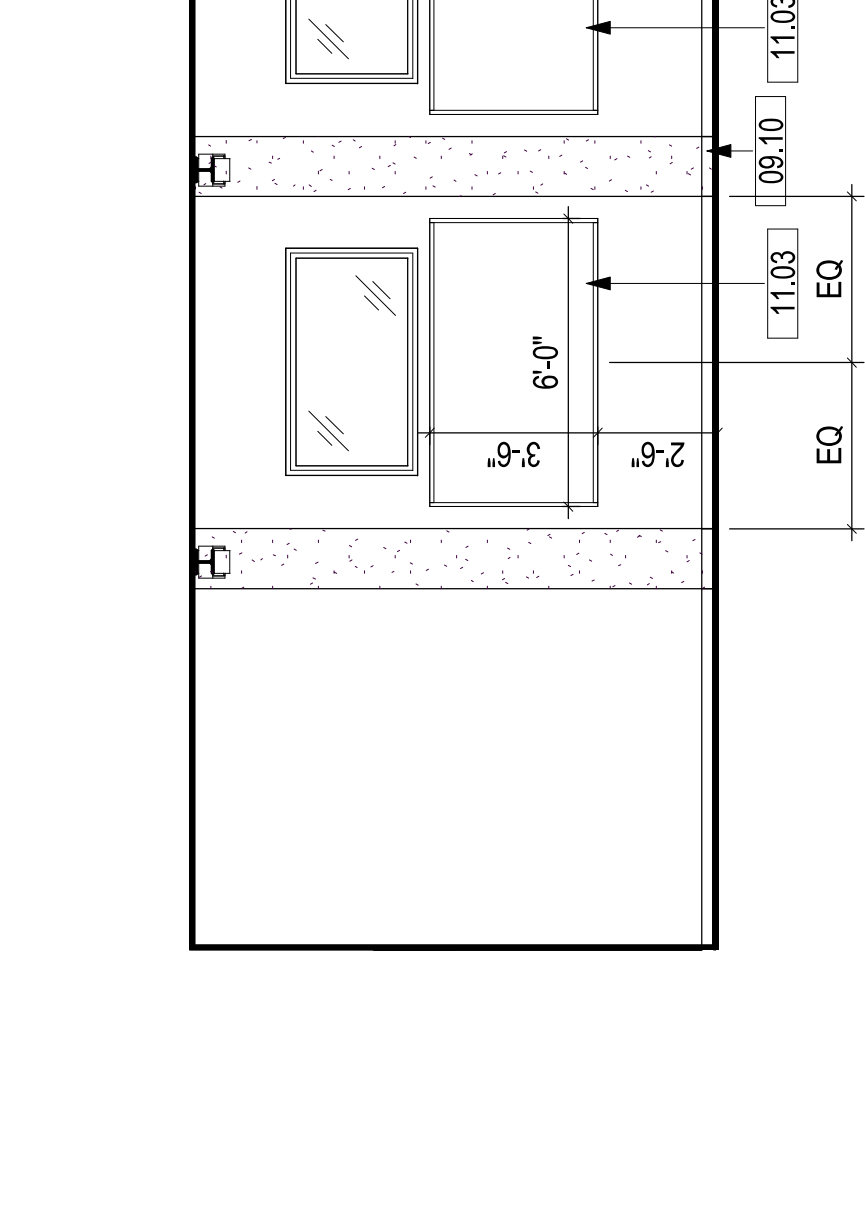
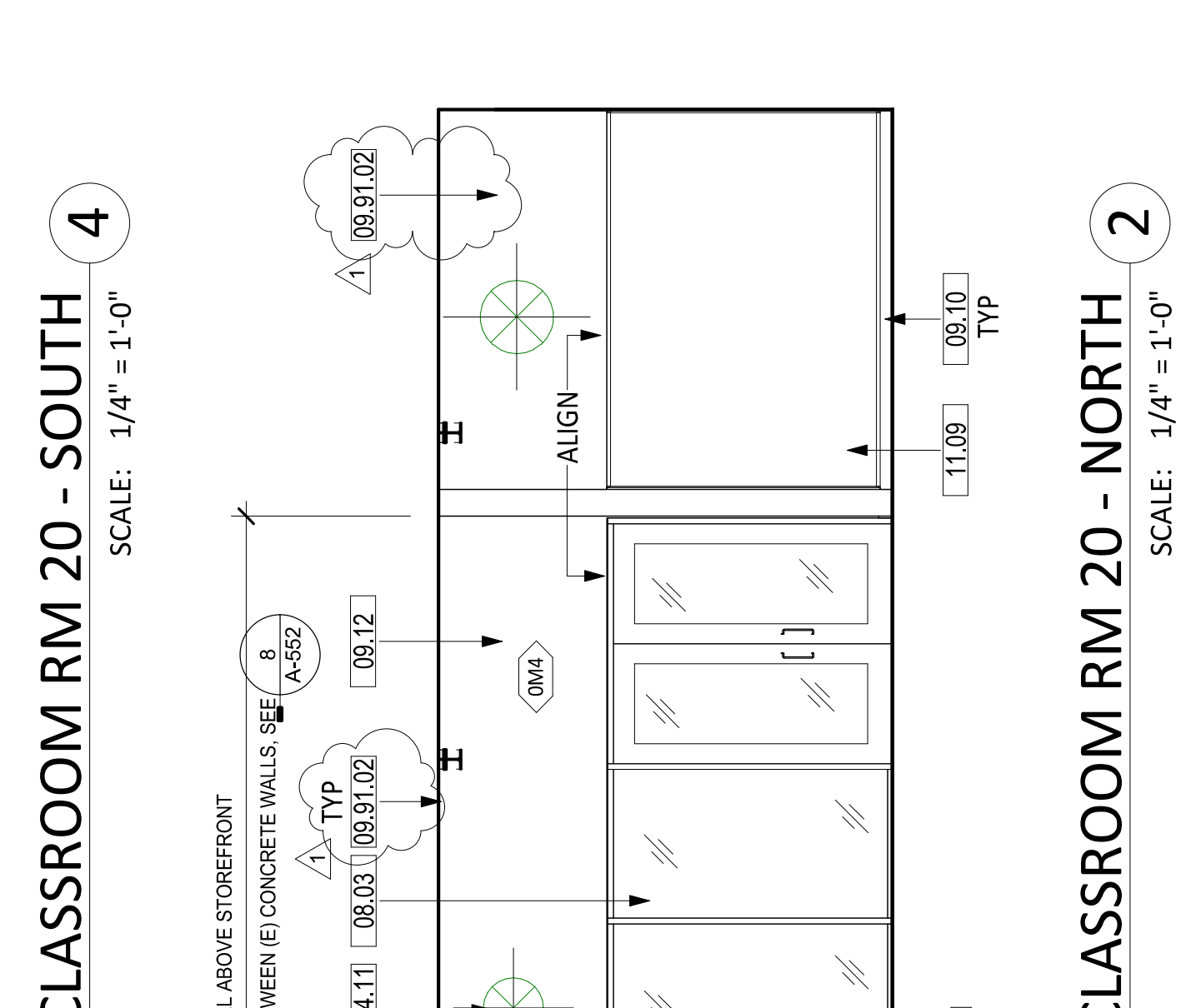
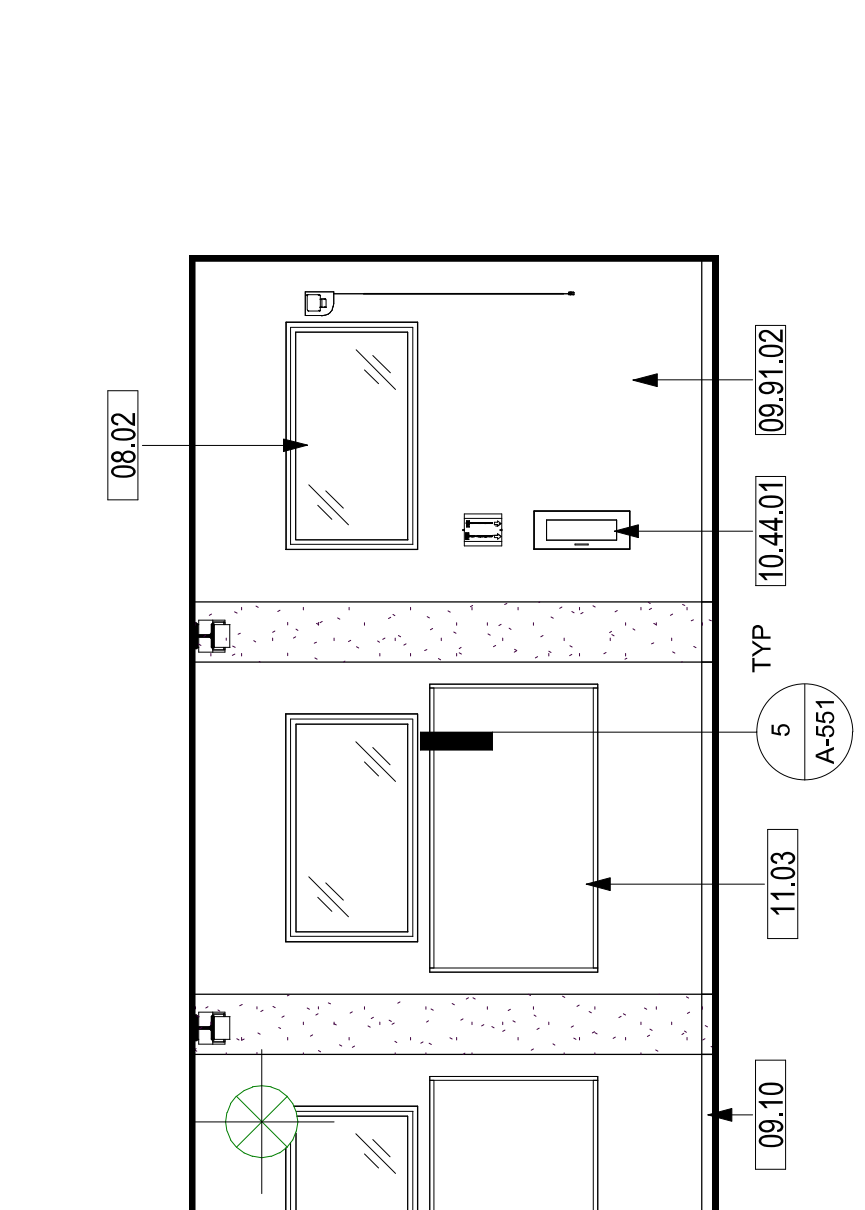
PAINT COLORS

P-1 FIELD - COLOR TO BE DETERMINED BY ARCHITECT
 P-2 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT
 P-3 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT

KEYNOTES

08.01 (N) DOOR AND (N) FRAMED WALL AT (E) OPENINGS
 08.02 (N) LOW-E TINT ON EXTERIOR WINDOWS, TYP.
 08.03 STOREFRONT WITH DOUBLE DOORS
 08.17 REMOVE CLOSER FOR DOOR TO BE IN COMPLIANCE.
 08.55 FLOOR FINISH ALUMINUM TRANSITION STRIP, ADA COMPLIANT
 09.04 FLOOR TRANSITION TO (N) CARPET TILE FLOOR FINISH
 09.10 PAINT (E) EPOXY BASE
 09.11 BACKWARD CARPET TRIM, 3/8" REVEAL, COLOR TO MATCH CARPET, TYPICAL CARPET TRANSITION TO (E) EPOXY BASE
 09.12 GYPSUM CEILING INFILL, PTD
 09.91.01 PAINT (E) WOOD TRIM
 09.91.02 PAINT (E) WALL
 09.91.04 PAINT (E) DOORS AND FRAMES
 10.14.01 TACTILE ROOM NAME & NUMBER SIGNAGE, SEE DETAIL 1A/A-571
 10.14.06 A.L.S. SIGNAGE, SEE DETAIL 7/A-571
 10.14.08 ACCESSIBLE TOILET ROOM DOOR SIGNAGE - MEN, SEE DETAIL 9A/A-571
 10.14.12 EXIT RAMP DOWN SIGNAGE, SEE DETAIL 11B/A-571
 10.14.14 ALL-GENDER/UNISEX TOILET DOOR SIGNAGE, SEE DETAIL 13A/A-571
 10.14.15 ALL-GENDER/UNISEX TOILET WALL SIGNAGE, SEE DETAIL 13B/A-571
 10.14.16 TOILET WALL SIGNAGE - BOYS, SEE DETAIL 14A/A-571
 10.14.19 DOOR SIGNAGE - NOT AN EXIT, SEE DETAIL 15A/A-571
 10.44.01 SURFACE MOUNT FIRE EXTINGUISHER CABINET WITH 2A/0BC FIRE EXTINGUISHER
 10.44.02 BUILDING ENTRY SIGNAGE, SEE 1/A-571.
 10.89.1 (E) ACCESSIBLE SHOWER HEAD & CONTROL
 10.90.1 (E) ACCESSIBLE FOLDING SHOWER SEAT
 10.93.1 (E) ACCESSIBLE PAPER TOWEL DISPENSER
 10.96.1 (E) ACCESSIBLE TOILET SEAT COVER DISPENSER
 10.101.1 (E) ACCESSIBLE TOILET PAPER DISPENSER
 10.104.1 (E) TOILET PARTITIONS
 11.03 MARKERBOARD
 11.09 TACKBOARD WITH ALUM-HOLD AT TOP, BOTTOM & END EDGES
 11.46 PROJECTION SCREEN, CEILING MOUNTED, MANUAL OPERATED, DETAIL 6/A-552.
 11.51 SPEAKER WITH MOUNTING BRACKET ON WALL (BY DISTRICT), PROVIDE CONDUIT WITH PULL WIRE TO T-Room
 12.25 RELOCATED WASHER, SED, SPD
 12.26 RELOCATED DRYER, SED, SPD
 12.70 FLOOR MAT, SEE FINISH SCHEDULE A-641
 15.08 (E) ACCESSIBLE URINAL
 15.11 (E) ACCESSIBLE WATER CLOSET TO REMAIN
 23.34.11 OUTSIDE AIR GOOSENECK THROUGH (E) EPONING, SMD

KEY PLAN



APPROVED: DIV. OF THE STATE ARCHITECT
 APP: 04-121721 INC.
 REVIEWED FOR: FLS, ACS
 DATE: 10/31/2023

CSDA DESIGN GROUP
 LISTEN COLLABORATE CREATE

889 N. DOUGLAS STREET, SUITE 100
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 www.csdadesigngroup.com
 ARCHITECT STAMP

CONTRIBUTOR:
 CORONA NORCO UNIFIED SCHOOL DISTRICT

2820 Clark Ave, Norco, CA 92860
 (951) 736-5000

PROJECT NAME:
 CORONA FUNDAMENTAL
 INTERMEDIATE SCHOOL - MPR
 RENOVATION

1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
1	12/19/2022	DSA SUBMITTAL
	03/10/2023	DSA BACK CHECK
	07/17/2023	ADDENDUM 01
	10/26/2023	ADDENDUM 01 RESUBMITTAL

PROJECT NO.: 22063.01

SHEET TITLE:
 CLASSROOM ROOM 20 -
 ENLARGED PLAN & INT
 ELEVATIONS

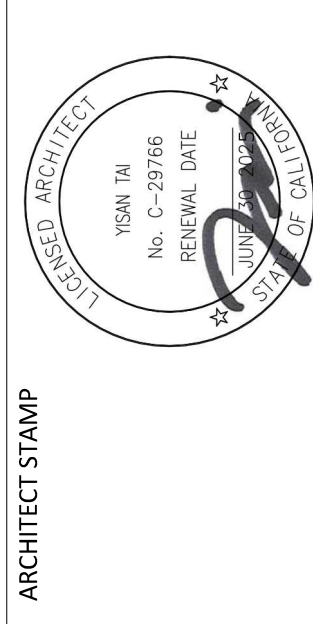
SHEET NO.: A-431

APPROVED BY:
 DIV. OF THE STATE ARCHITECT
 APP: 04-121721 INC.
 REVIEWED FOR:
 SS FLS ACS
 DATE: 10/31/2023

CSDA DESIGN GROUP

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CONSULTANT:

CONSULTANT STAMP

PROJECT OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT



2820 Clark Ave, Norco, CA 92860
 (951) 736-5000

PROJECT NAME:

**CORONA FUNDAMENTAL
 INTERMEDIATE SCHOOL - MPR
 RENOVATION**

1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
12/19/2022	DSA SUBMITTAL	
03/10/2023	DSA BACK CHECK	
07/17/2023	ADDENDUM 01	
10/26/2023	ADDENDUM 01 RESUBMITTAL	

PROJECT NO.: 22063.01

SHEET TITLE:
**CLASSROOM ROOM 20-
 ENLARGED RCP**

SHEET NO.: **A-432**

SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (E12A, E20, E2, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C13352 NZD 6781), 626, RU. FOR SECURITY FROM THE INSIDE. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CAL ED. CODE & CBC 1010.1.1).
- REFER TO NOTE #19 ON SHEET G-002 FOR WORK ON CEILINGS AND WALL SURFACES OF BUILDING.

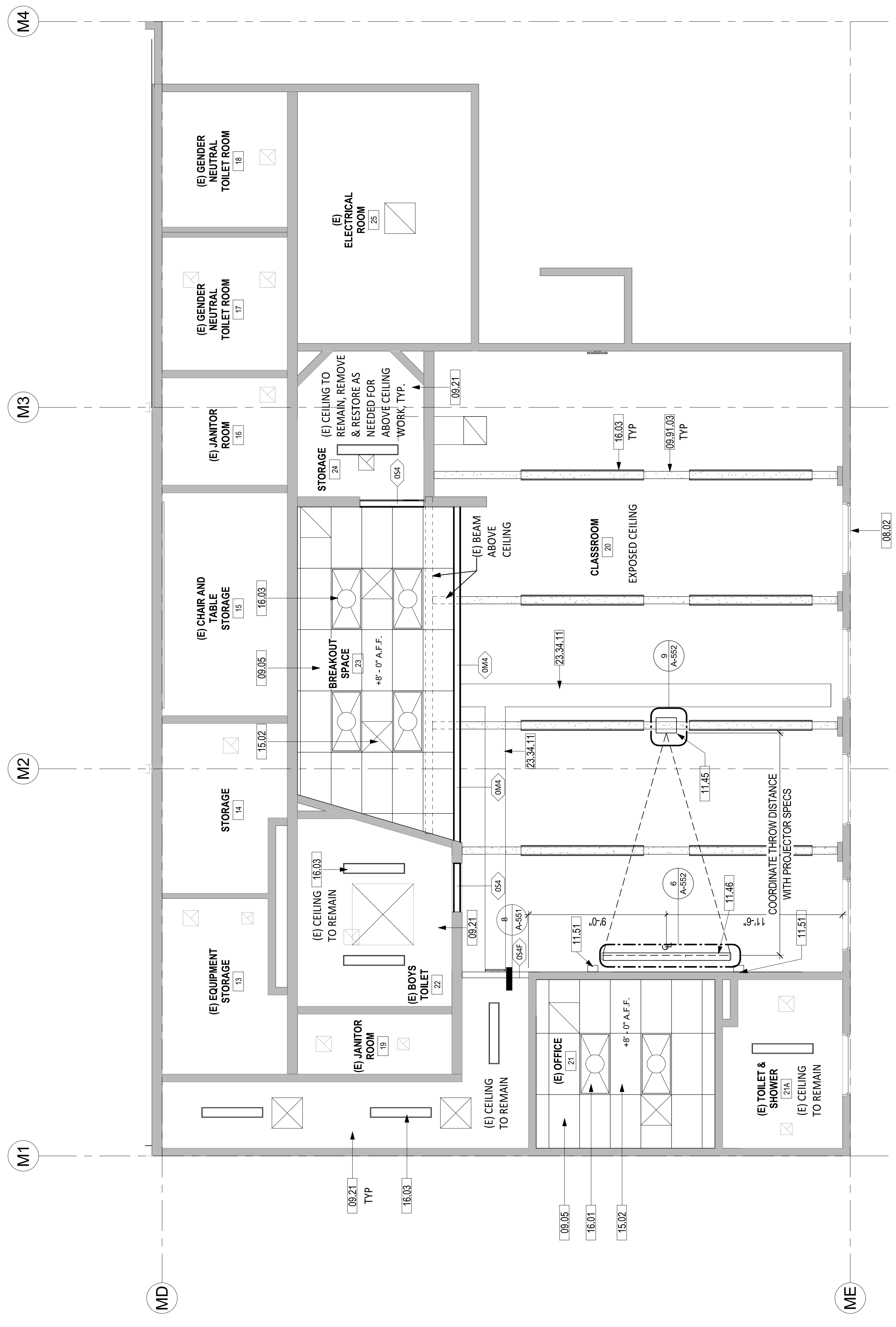
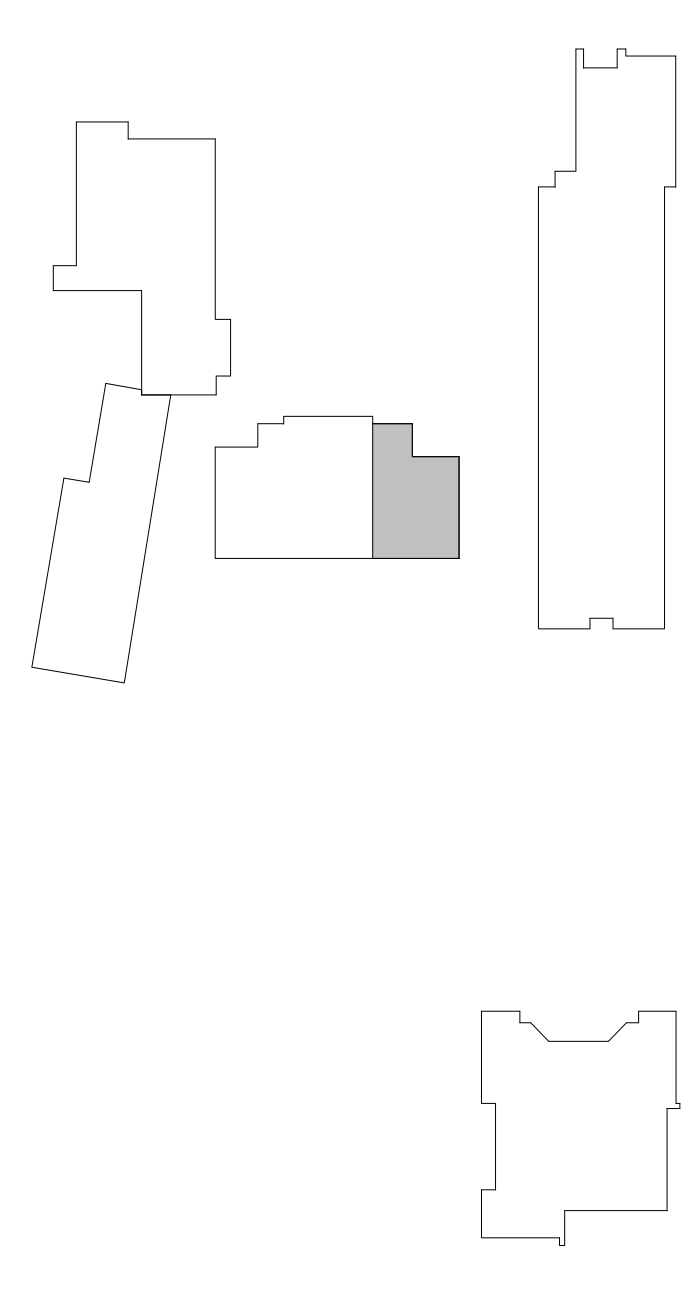
LEGEND

- METAL STUD WALL
- (E) CONCRETE WALL

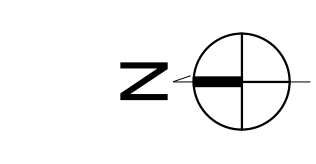
KEYNOTES

- 08.02 (N) LOW-E TINT ON EXTERIOR WINDOWS, TYP.
- 09.05 SUSPENDED CEILING, ACOUSTIC CEILING TILE FINISH
- 09.21 PAINT (E) GYPSUM BOARD, CEILING
- 09.91.03 PAINT (E) EXPOSED STEEL BEAMS
- 11.45 PROJECTOR, CEILING MOUNTED WITH EXTENSION POLE, WITH DATA CONNECTION, SEE DETAIL 9/A-552.
- 11.46 PROJECTION SCREEN, CEILING MOUNTED, MANUAL OPERATED, DETAIL 6/A-552.
- 11.51 SPEAKER WITH MOUNTING BRACKET ON WALL (BY DISTRICT), PROVIDE CONDUIT WITH PULL WIRE TO IT-ROOM
- 15.02 MECH DIFFUSERS, SMD
- 16.01 SEE ELECTRICAL DRAWINGS FOR LIGHTING DESIGN
- 16.03 LIGHT FIXTURES, TYP. SED
- 23.34.11 OUTSIDE AIR GOOSENECK THROUGH (E) FLOORING, SMD

KEY PLAN



ENLARGED RCP - CLASSROOM ROOM 20
 SCALE: 1/4" = 1'-0"



SHEET NOTES

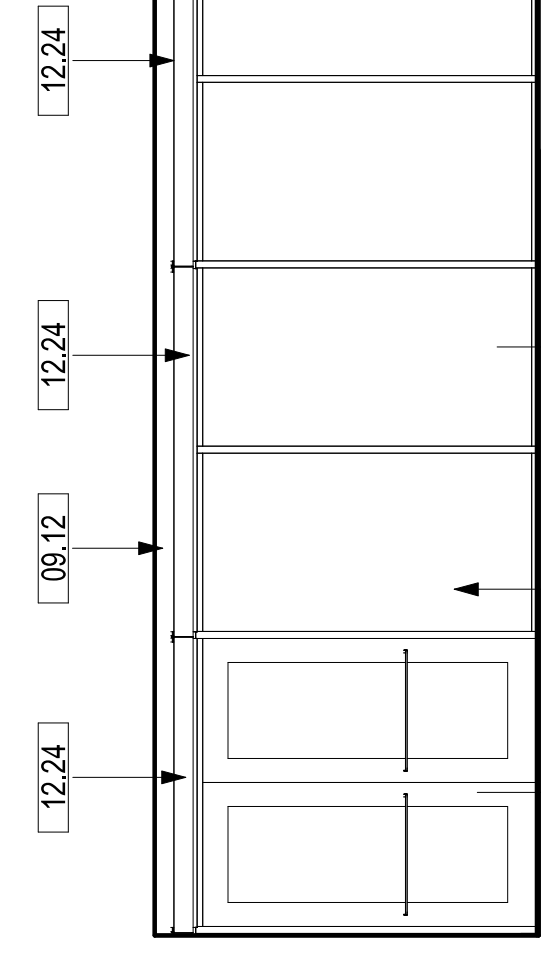
1. FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
2. PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
3. NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
4. REPLACE EXTERIOR DOORS (E)12A, E20, E2, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C)352 (N)ZD (7)B1, 626, RU, FOR SECURITY FROM THE INSIDE. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CALIF. CODE & CBC 1010.1.1).

LEGEND

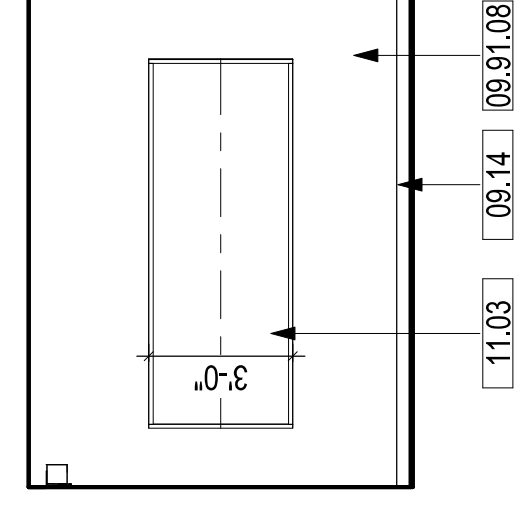
PAINT COLORS	
	P-1 FIELD - COLOR TO BE DETERMINED BY ARCHITECT
	P-2 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT
	P-3 ACCENT - COLOR TO BE DETERMINED BY ARCHITECT

KEYNOTES

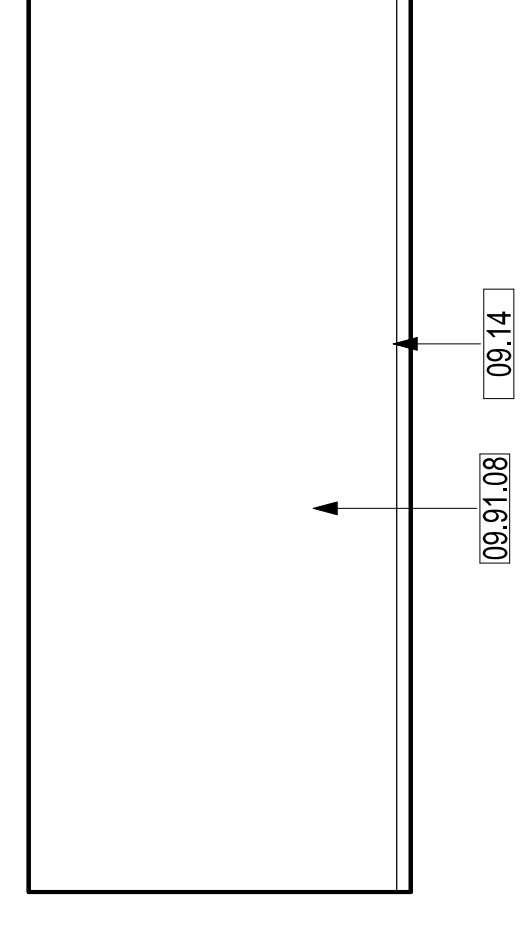
08.01	(N) DOOR AND (N) FRAMED WALL AT (E) OPENINGS
08.02	(N) LOW-E TINT ON EXTERIOR WINDOWS, TYP.
08.03	STOREFRONT WITH DOUBLE DOORS
08.49	(E) WINDOW, PROTECT IN PLACE
09.12	GYPSUM CEILING INFILL, PTD
09.13	4" EPOXY BASE
09.14	4" RESILIENT BASE
09.30.14	4" X 4" CERAMIC WALL TILE, RANDOM PATTERN, MATCH (E), ON THIN-SET MORTAR, ON CEMENT BOARD, WITH EPOXY GROUT
09.30.16	(E) 4" X 4" CERAMIC WALL TILE, RANDOM PATTERN, PROTECT IN PLACE, PATCH/REPAIR TILE WHERE (E) CONSTRUCTION WAS REMOVED
09.91.02	PAINT (E) WALL
09.91.04	PAINT (E) DOORS AND FRAMES
09.91.08	PAINT (E) WALL, PATCH/REPAIR DAMAGE FROM REMOVED CONSTRUCTION TO MATCH ADJACENT SURFACES
10.02	(E) ACCESSIBLE WATER CLOSET, RESTORE SOG TO MATCH (E), SPD
10.101	(E) ACCESSIBLE TOILET SEAT COVER DISPENSER
10.104	TOILET PAPER DISPENSER, ACCESSIBLE
10.105	TOILET PARTITIONS
10.106	(E) PAPER TOWEL DISPENSER
10.107	(E) SOAP DISPENSER
10.107	(E) MIRROR
10.114	TOILET PAPER DISPENSER
11.03	MARKERBOARD
12.24	ROLLER SHADE WITH MANUAL PULL CHAIN
15.11	(E) ACCESSIBLE LAVATORY TO REMAIN



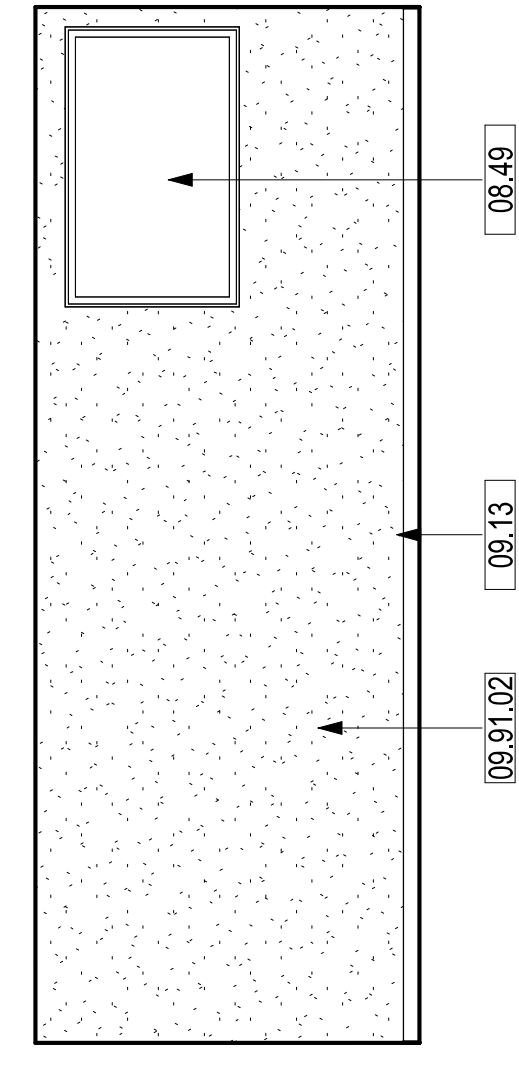
BREAKOUT SPACE RM 23 - SOUTH
SCALE: 1/4" = 1'-0"



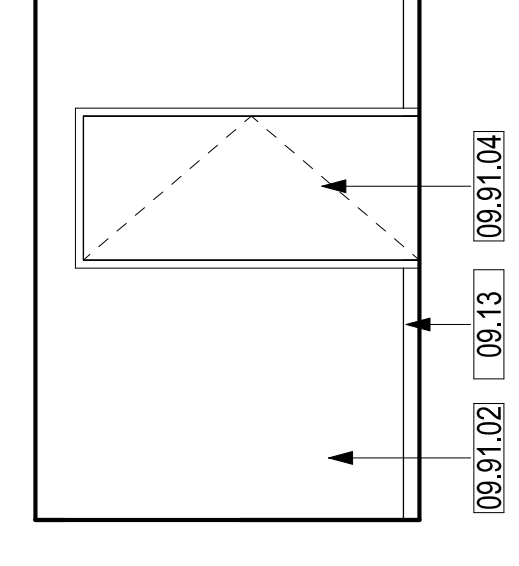
BREAKOUT SPACE RM 23 - WEST
SCALE: 1/4" = 1'-0"



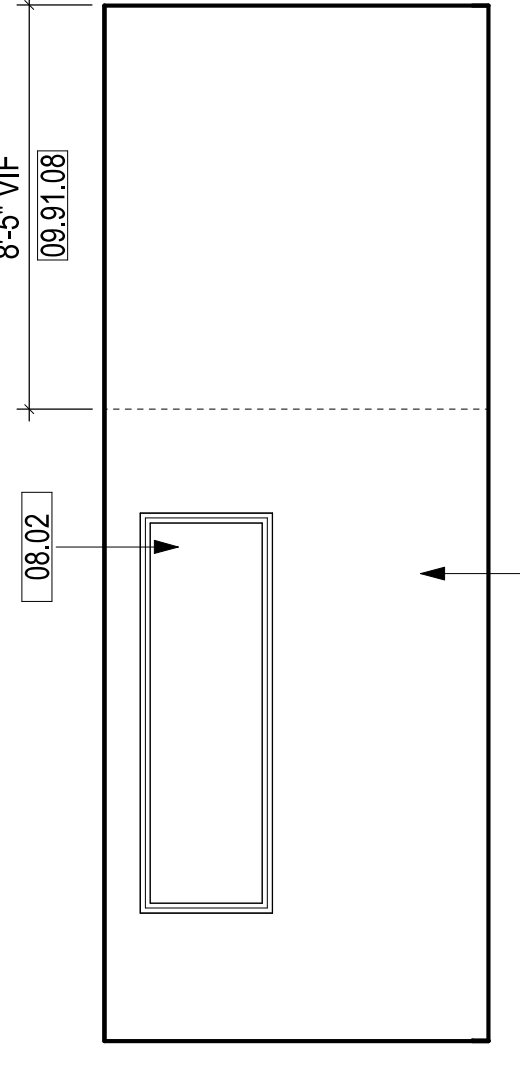
BREAKOUT SPACE RM 23 - NORTH
SCALE: 1/4" = 1'-0"



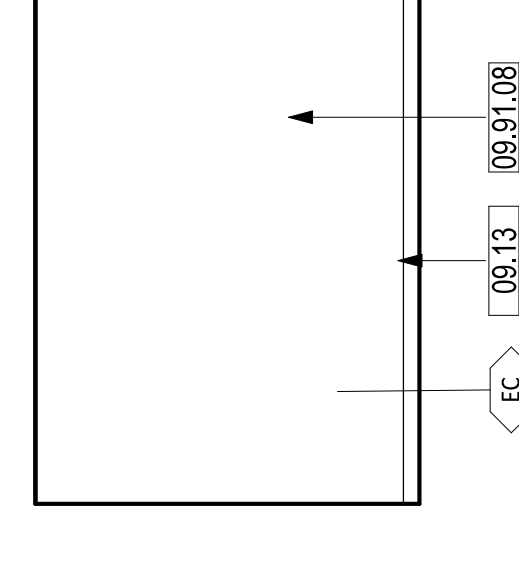
3D PRINTING SHOP RM 3 - EAST
SCALE: 1/4" = 1'-0"



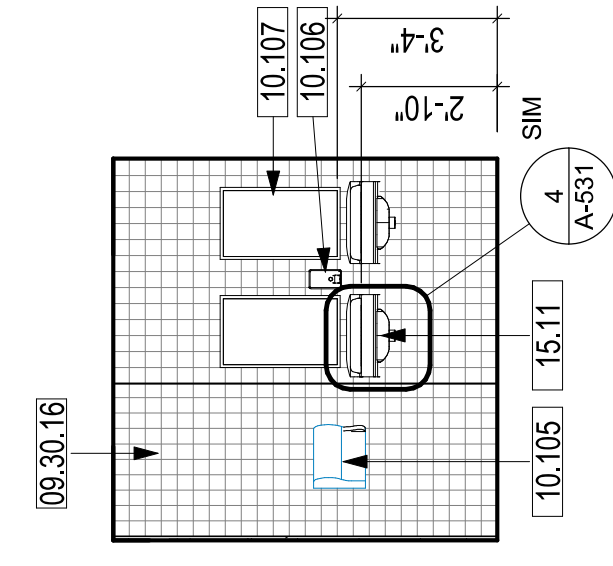
3D PRINTING SHOP RM 3 - SOUTH
SCALE: 1/4" = 1'-0"



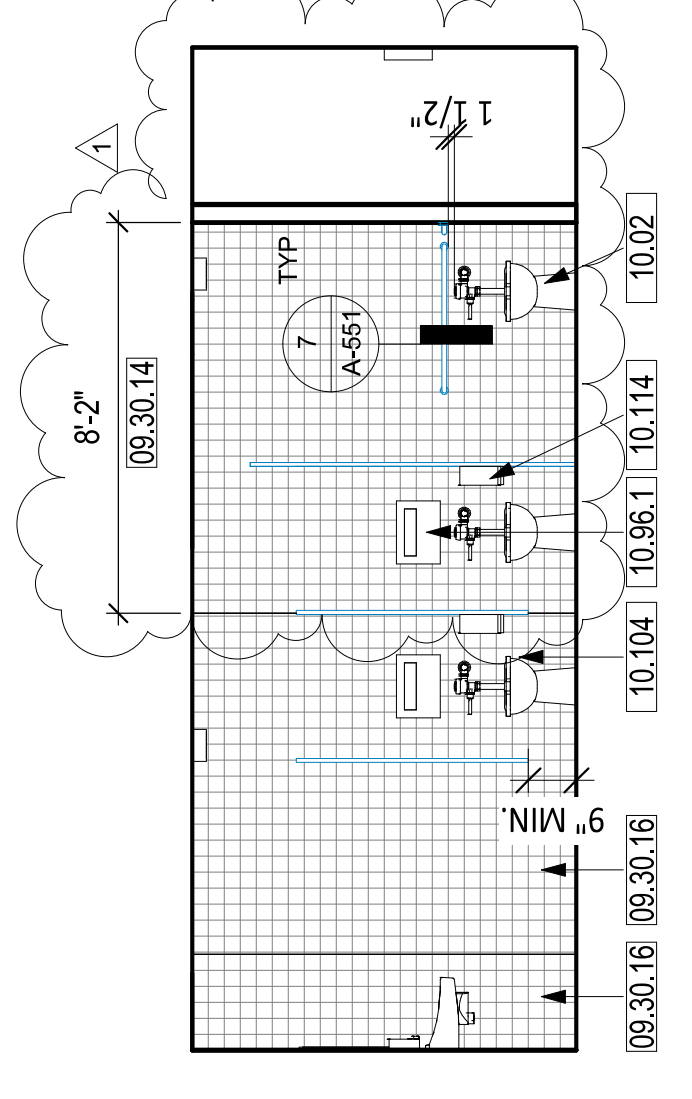
3D PRINTING SHOP RM 3 - WEST
SCALE: 1/4" = 1'-0"



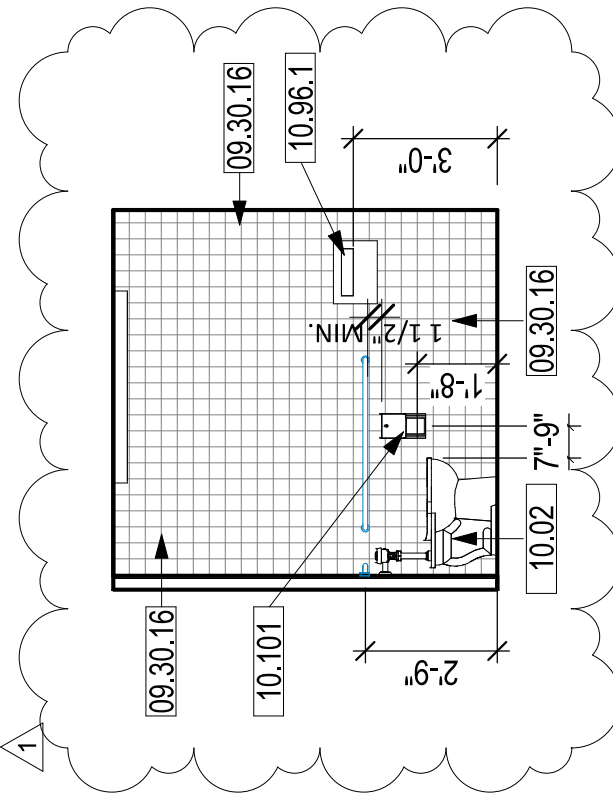
3D PRINTING SHOP RM 3 - NORTH
SCALE: 1/4" = 1'-0"



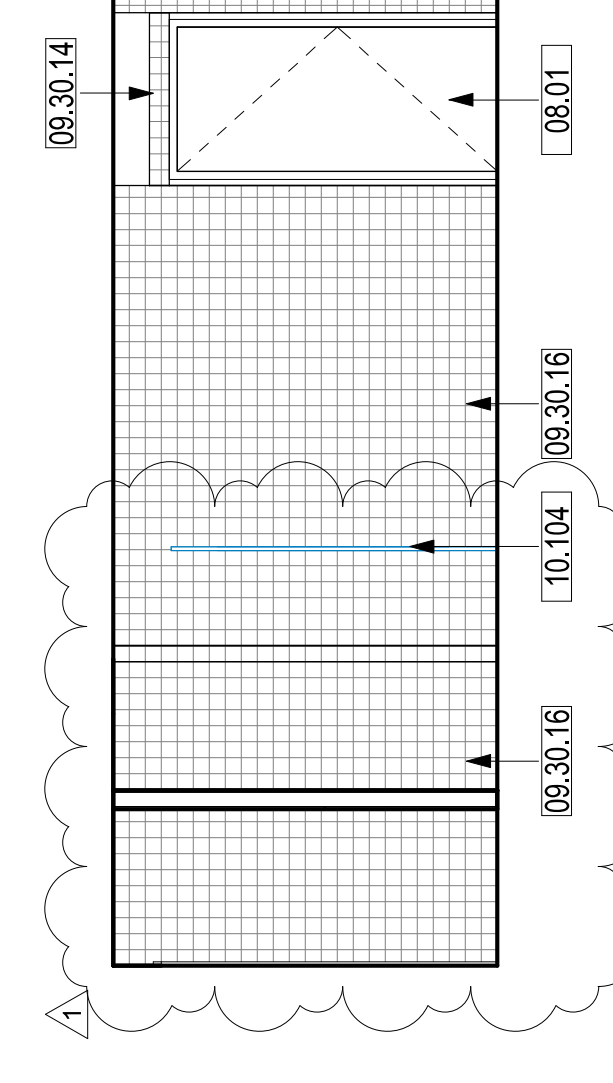
GIRLS TOILET ROOM 9 - EAST
SCALE: 1/4" = 1'-0"



GIRLS TOILET ROOM 9 - SOUTH
SCALE: 1/4" = 1'-0"



GIRLS TOILET ROOM 9 - WEST
SCALE: 1/4" = 1'-0"



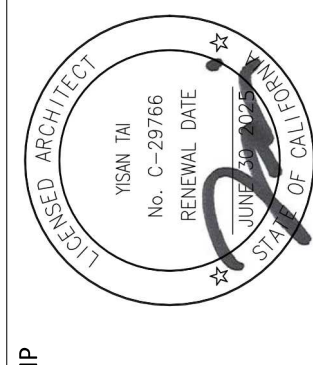
GIRLS TOILET ROOM 9 - NORTH
SCALE: 1/4" = 1'-0"

APPROVED:
DIV. OF THE STATE ARCHITECT
APP: 04-121721 INC.
REVIEWED FOR:
S.S. [] FLS [] ACS []
DATE: 10/31/2023

CSDA DESIGN GROUP

LISTEN COLLABORATE CREATE

889 N. DOUGLAS STREET, SUITE 100
EL SEGUNDO, CA 90245
[T]: 310.821.9200
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CONSULTANT:

CONSULTANT STAMP

PROJECT OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT



2820 Clark Ave, Norco, CA 92860
(951) 736-5000

PROJECT NAME:

**CORONA FUNDAMENTAL
INTERMEDIATE SCHOOL - MPR
RENOVATION**

1230 S Main St, Corona, CA 92882

MARK DATE	DESCRIPTION
12/19/2022	DSA SUBMITTAL
03/10/2023	DSA BACK CHECK
07/17/2023	ADDENDUM 01
10/26/2023	ADDENDUM 01 RESUBMITTAL

PROJECT NO.:

22063.01

SHEET TITLE:

INTERIOR ELEVATIONS

SHEET NO.:

A-441

APPROVED BY DIV. OF THE STATE ARCHITECT

APP: 04-121721 INC. REVIEWED FOR: SS [] FLS [] ACS [] DATE: 10/31/2023

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PROJECT NAME:
CORONA FUNDAMENTAL INTERMEDIATE SCHOOL - MPR RENOVATION

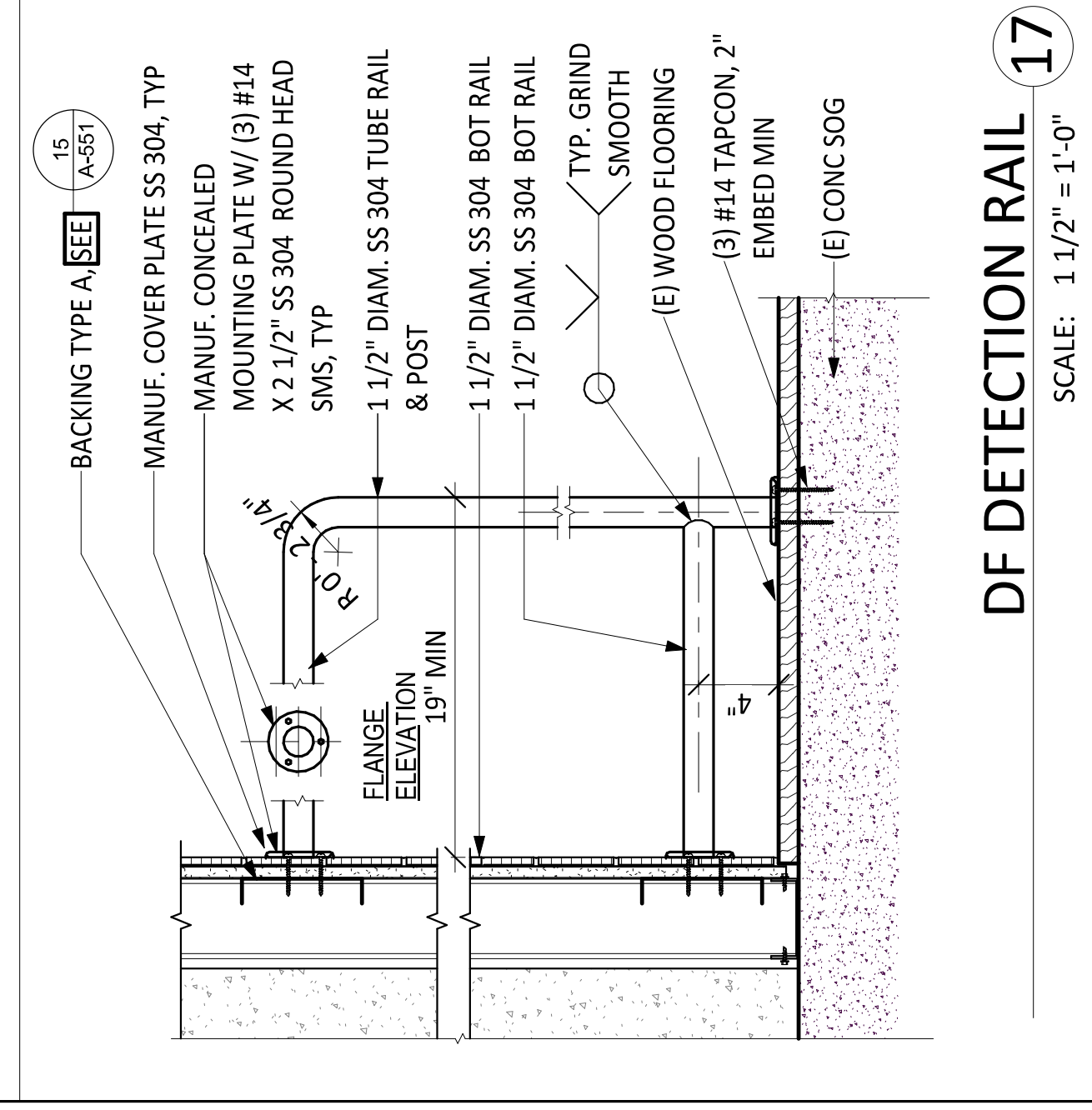
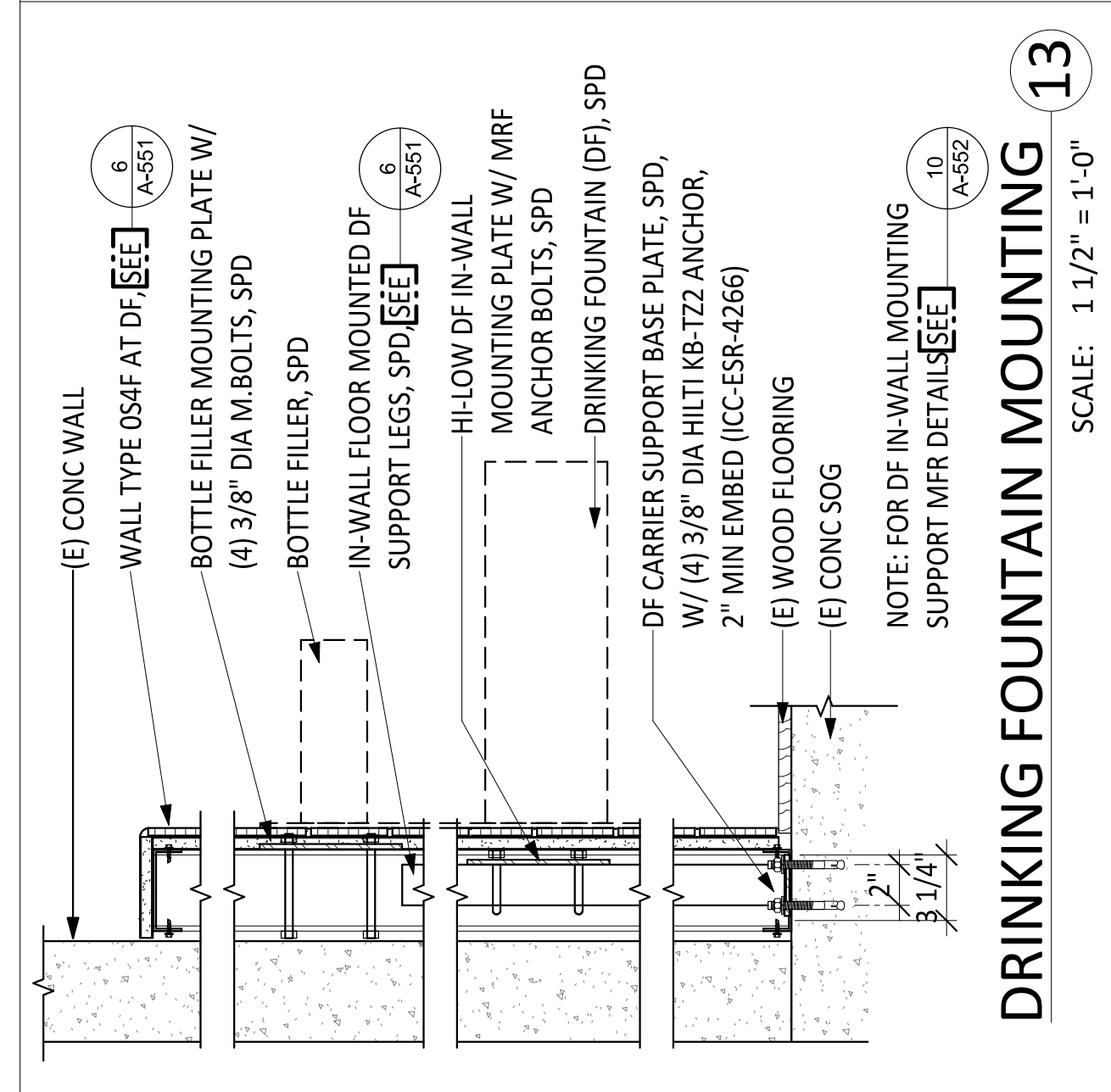
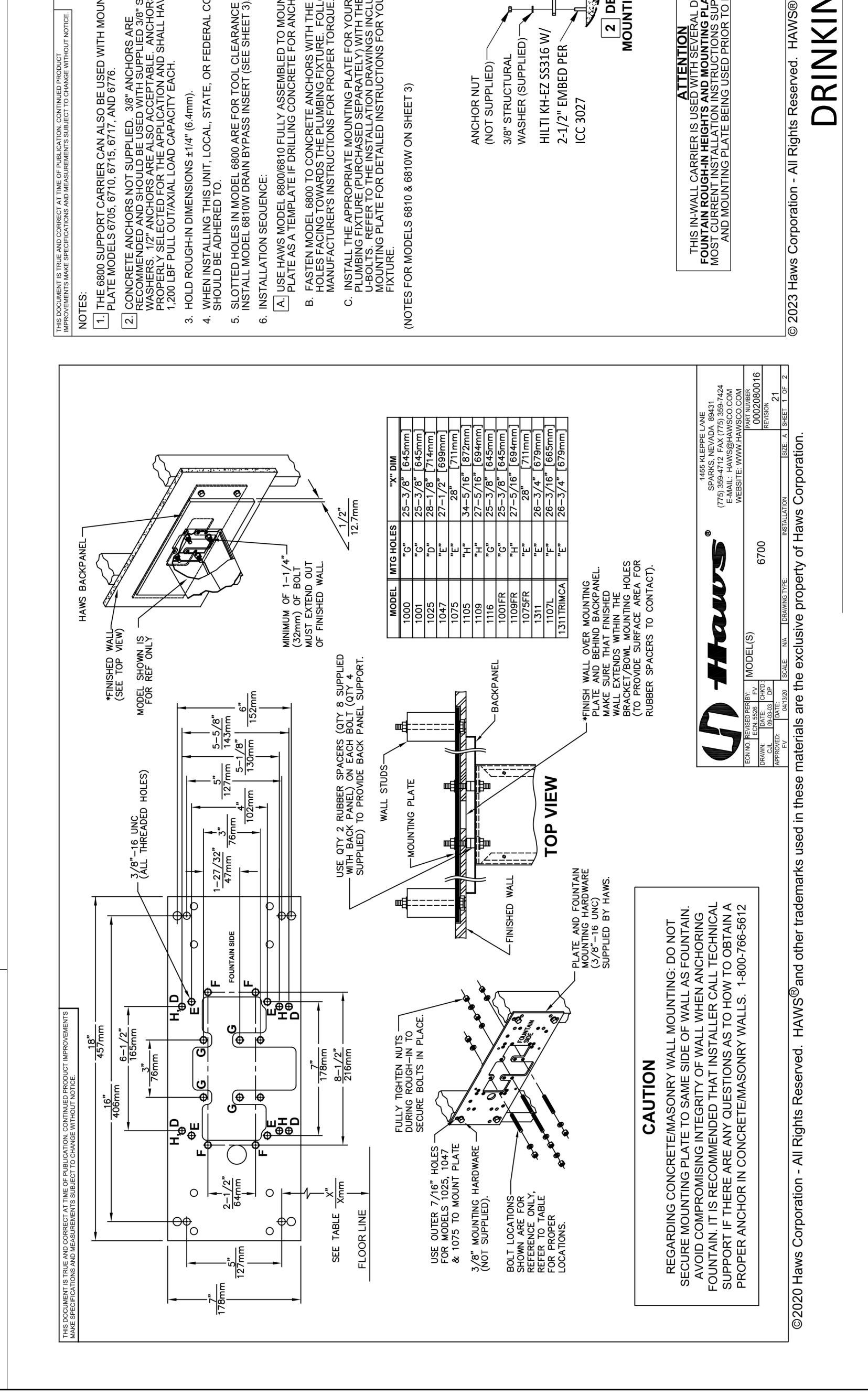
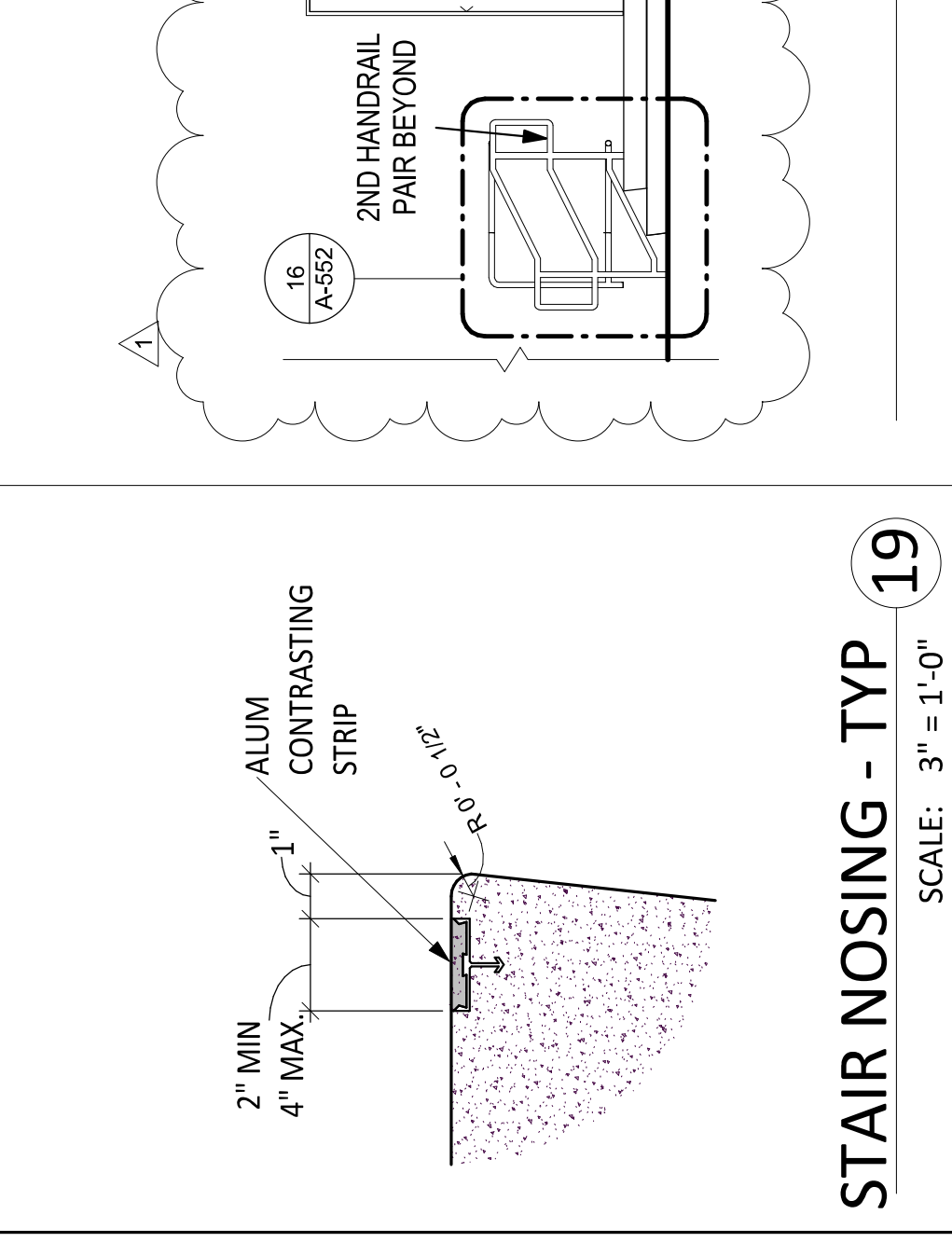
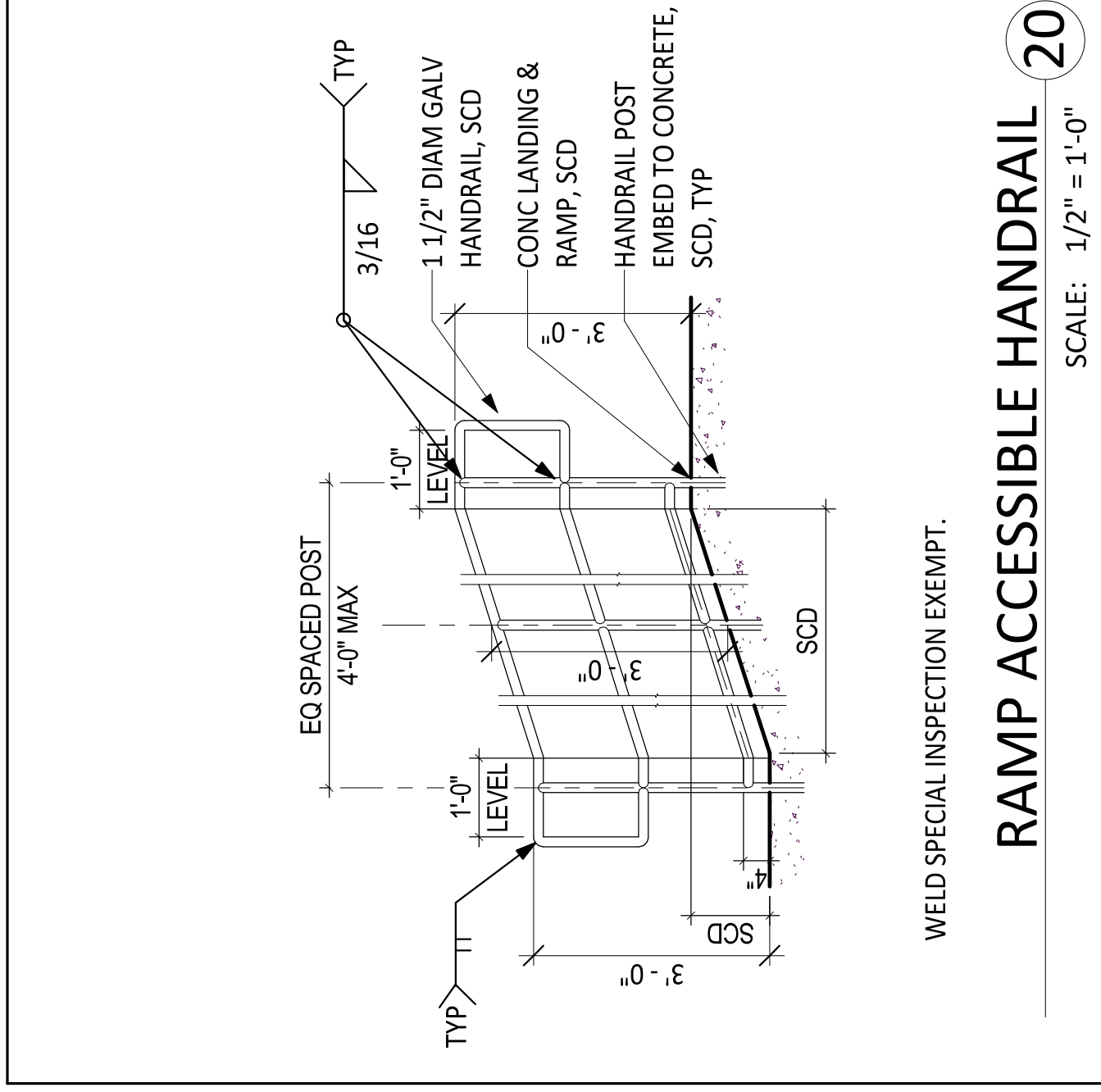
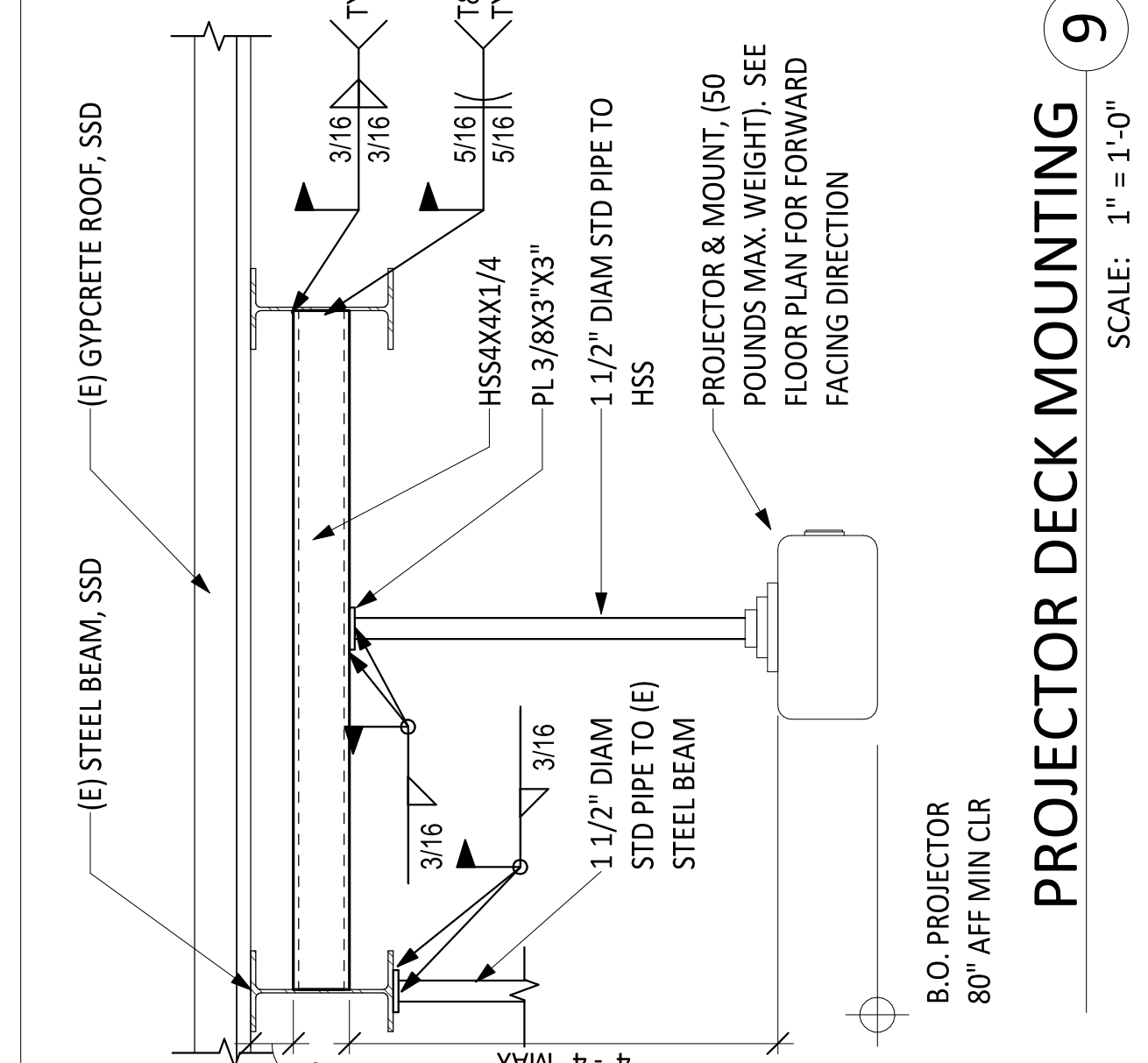
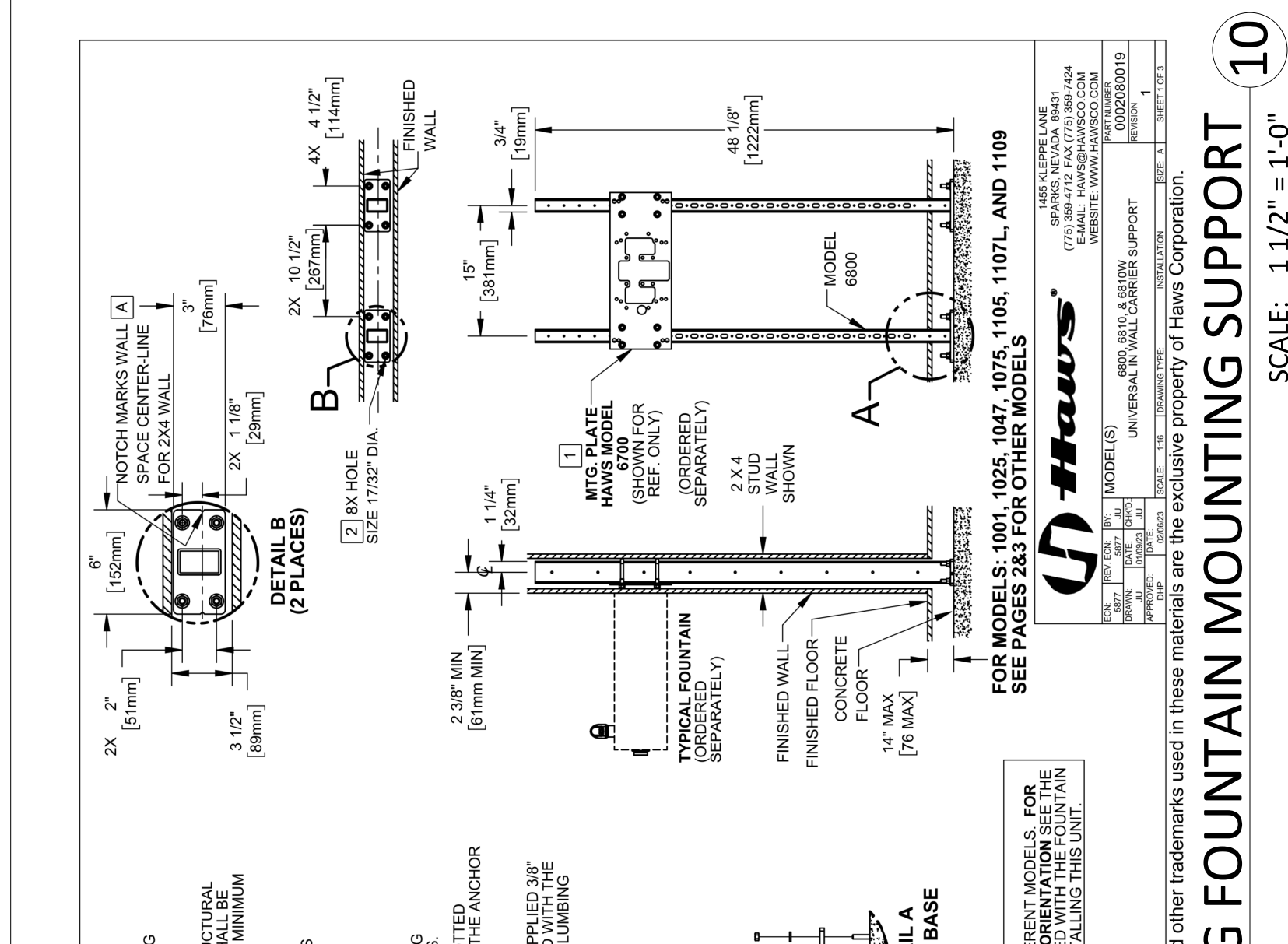
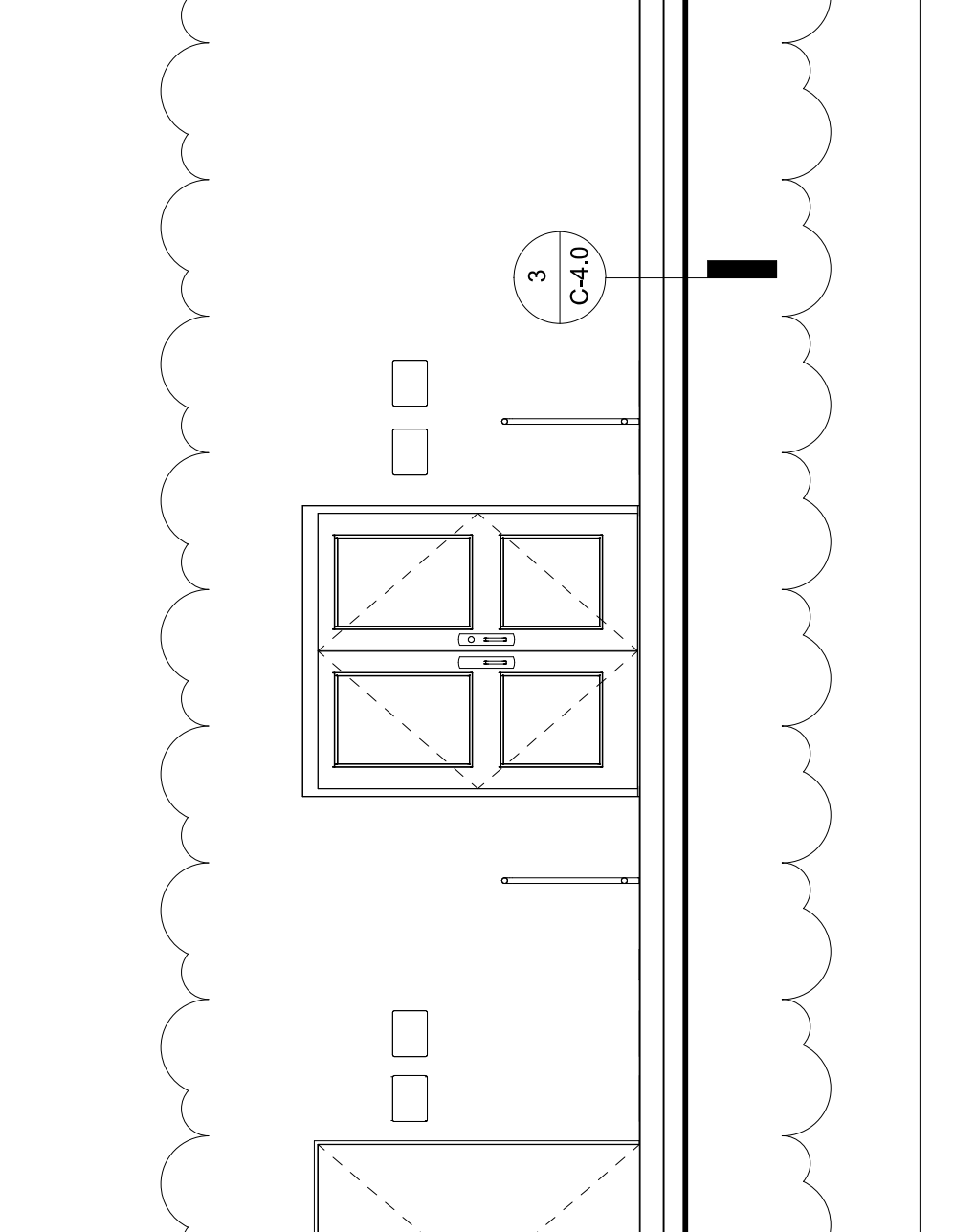
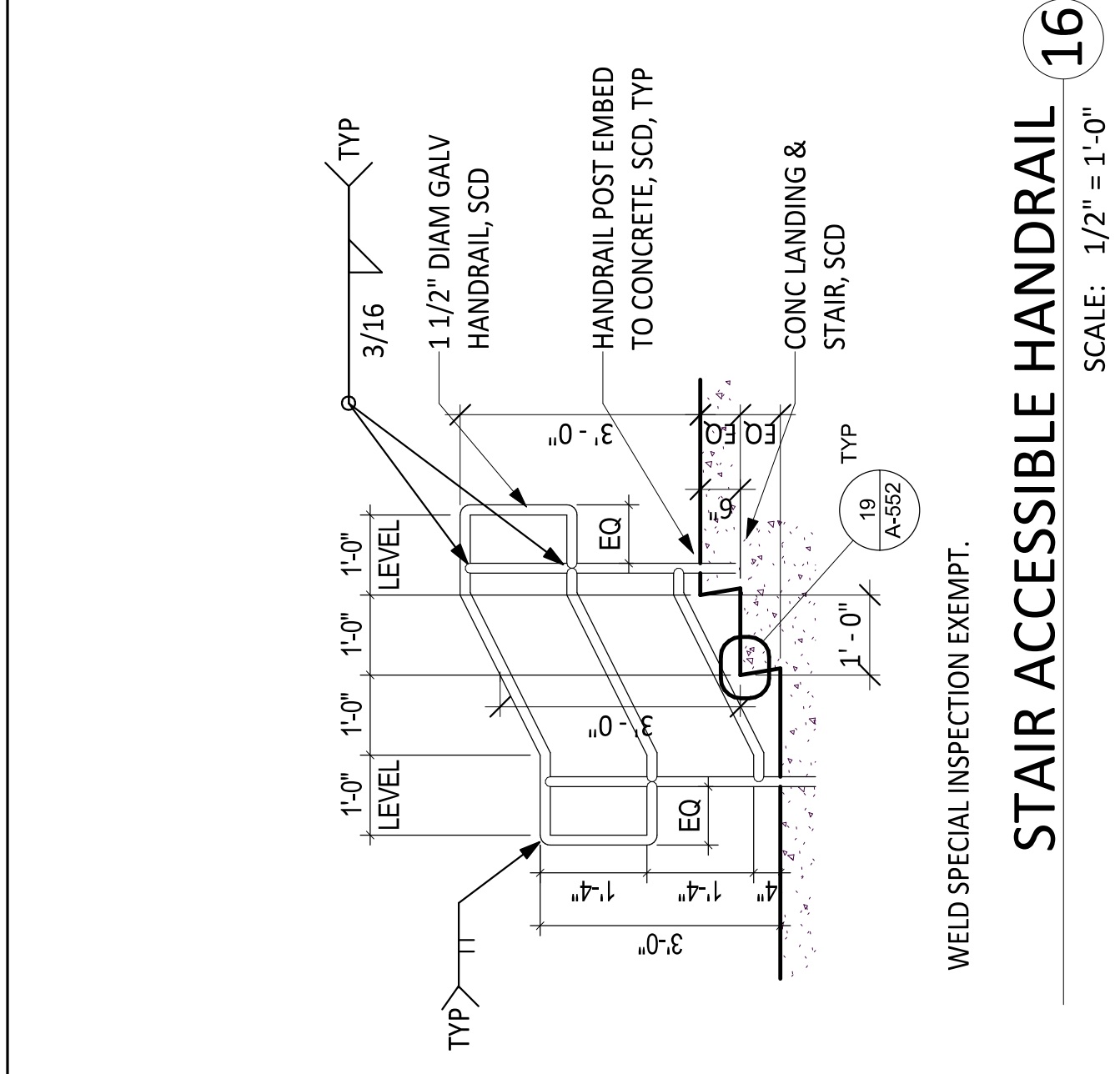
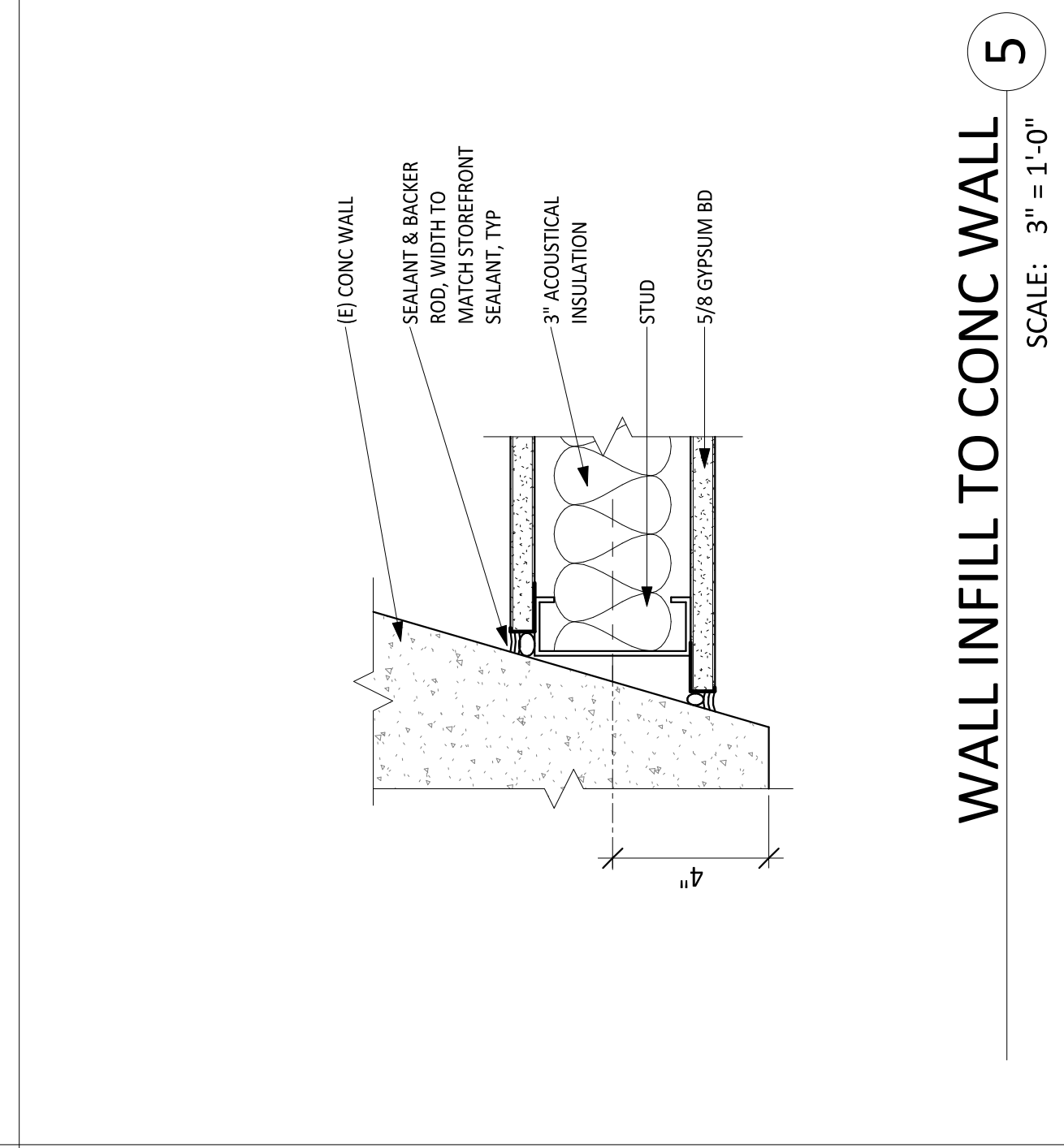
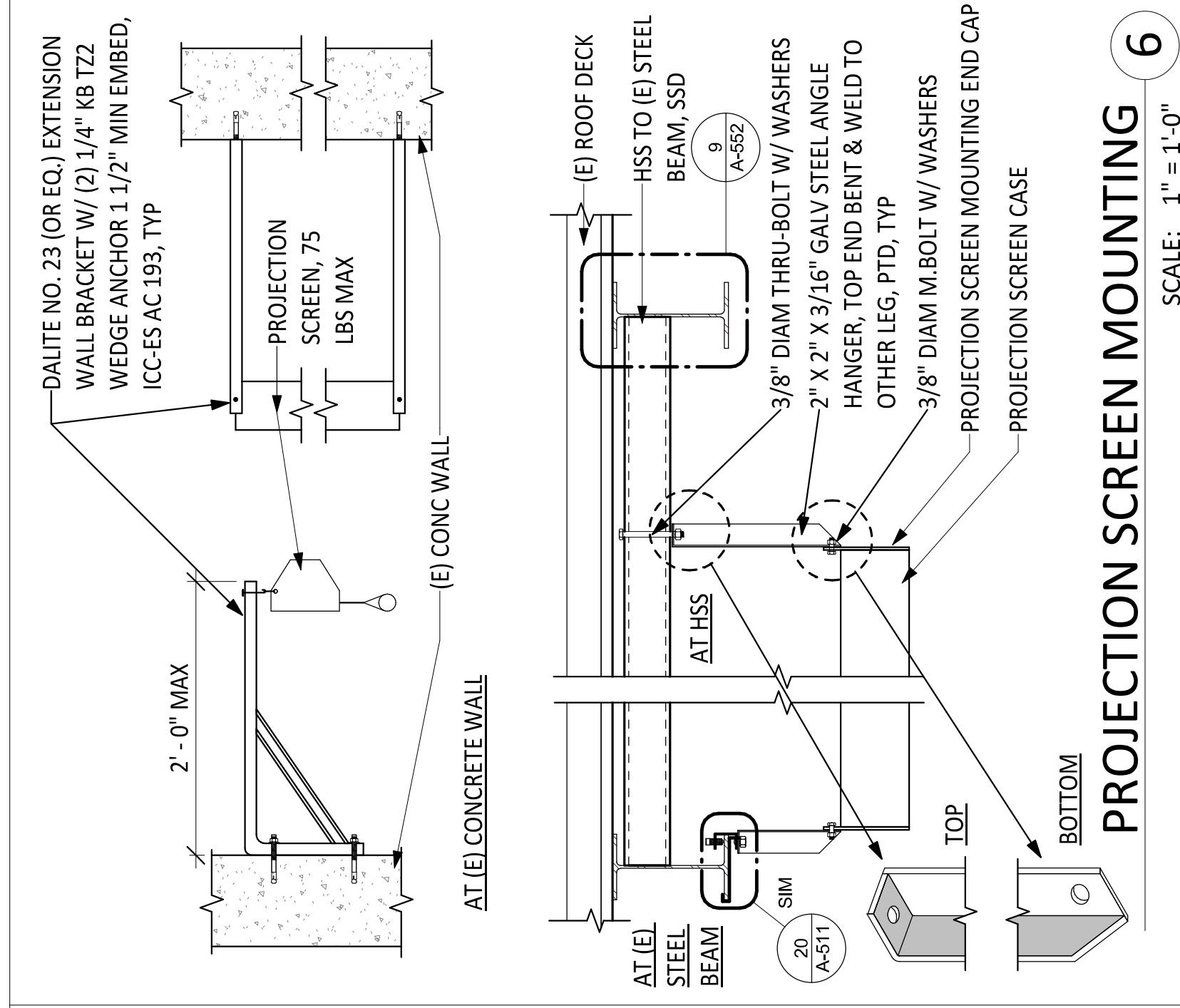
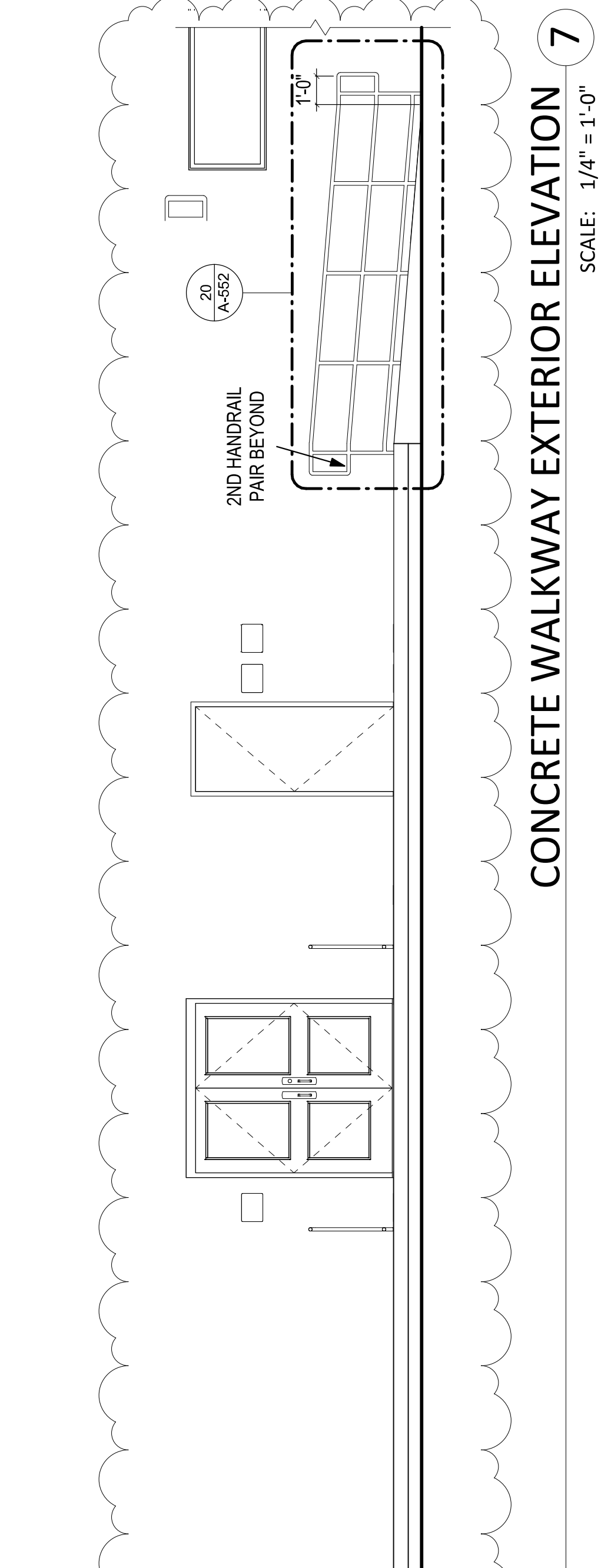
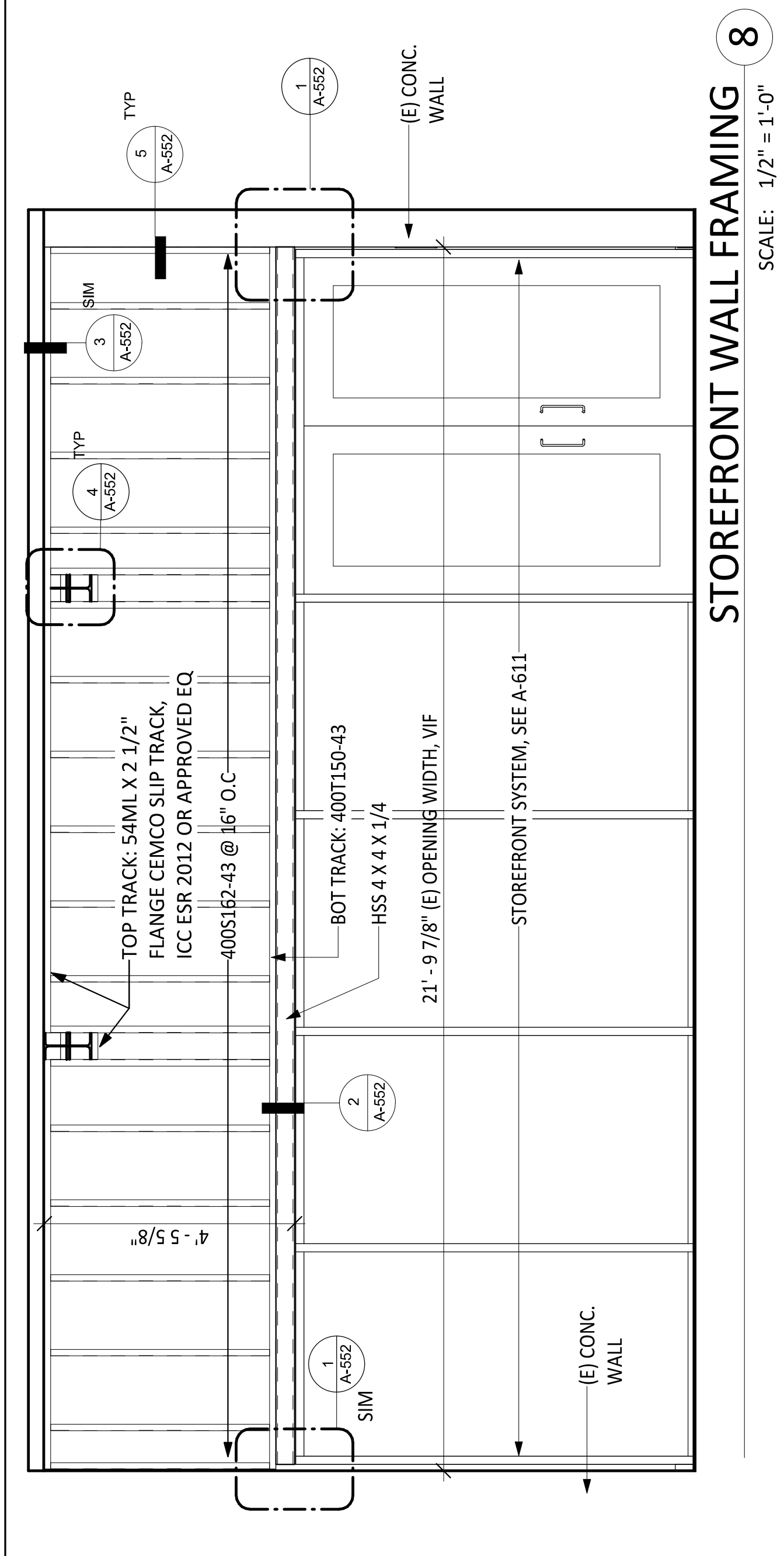
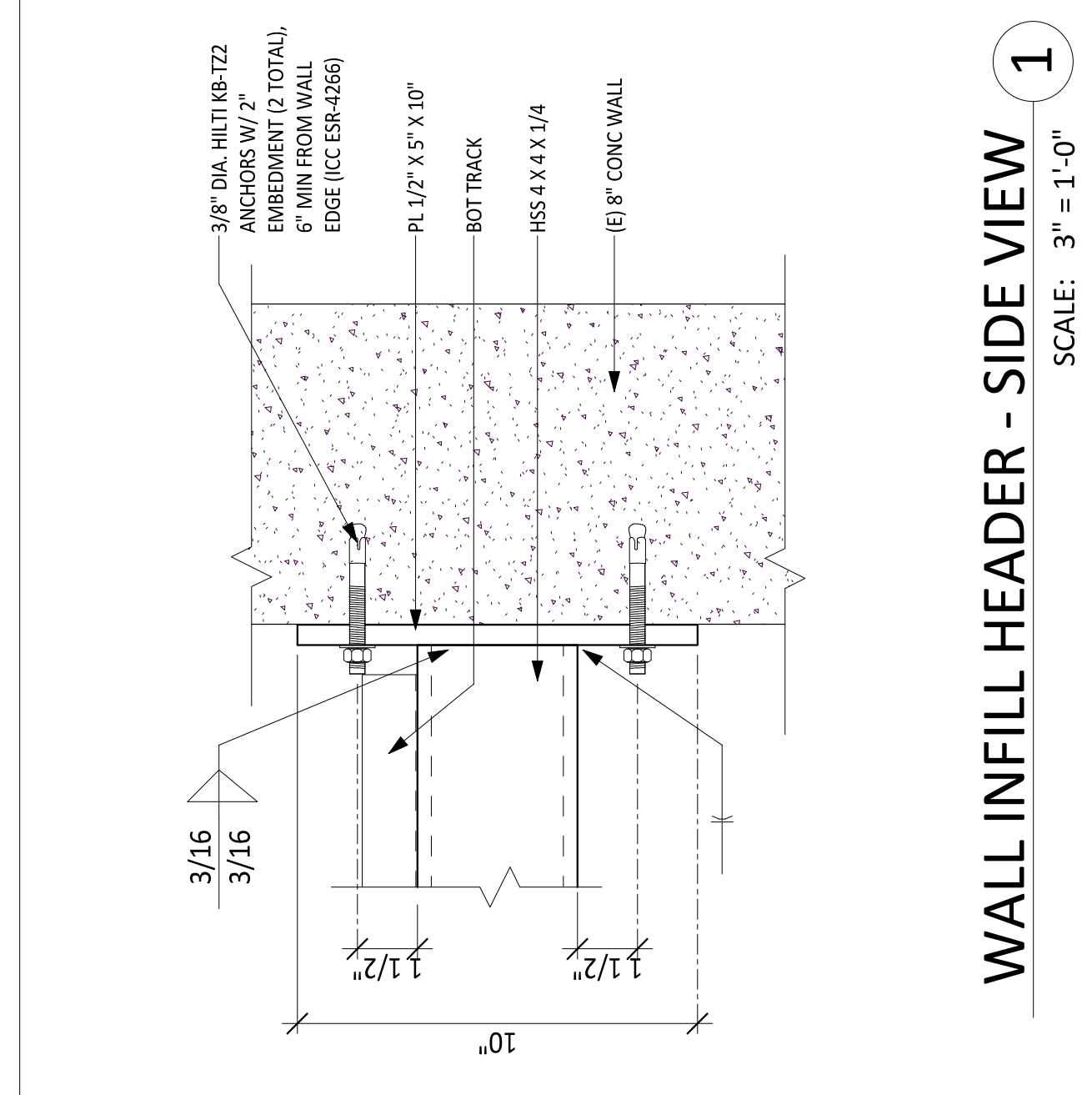
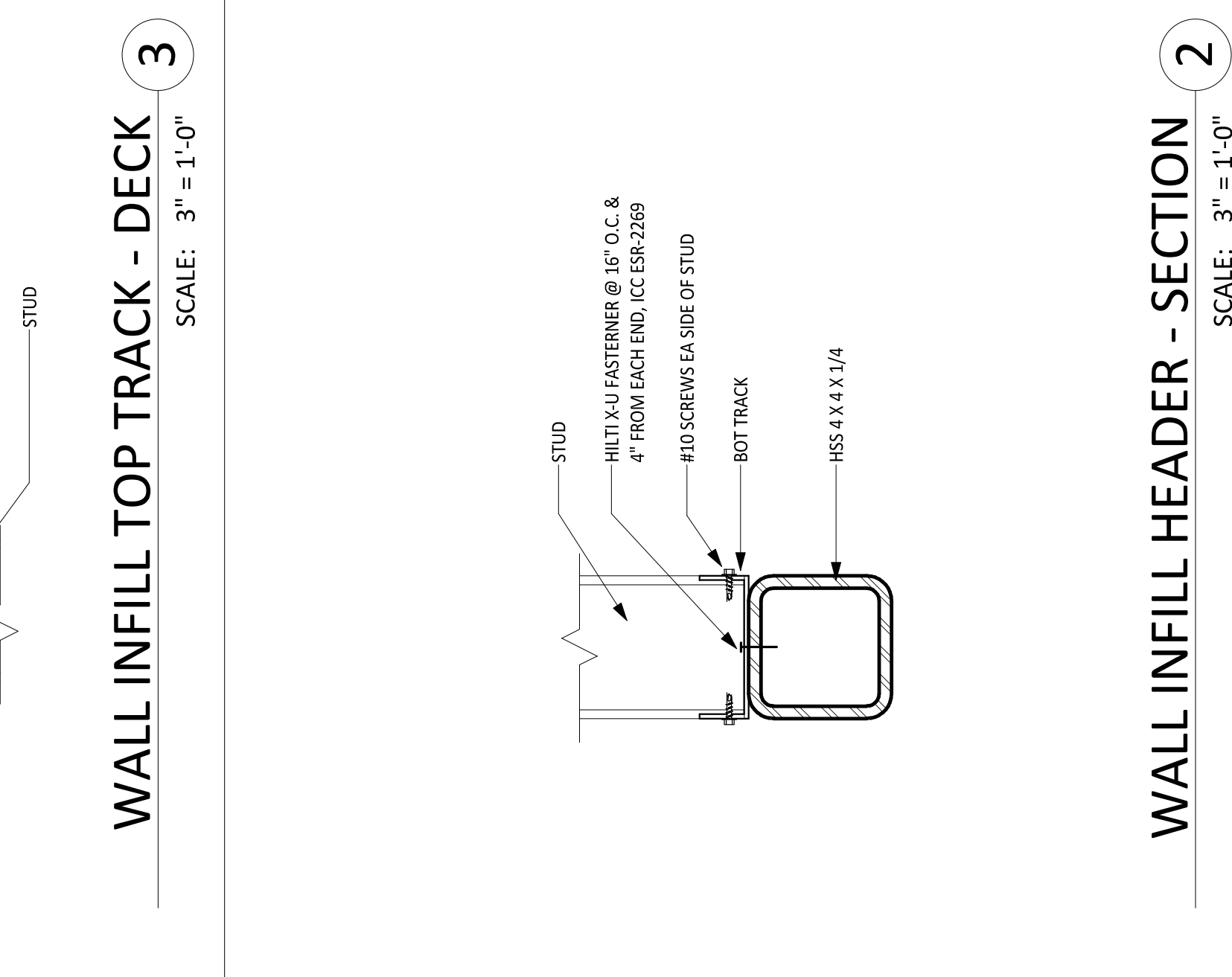
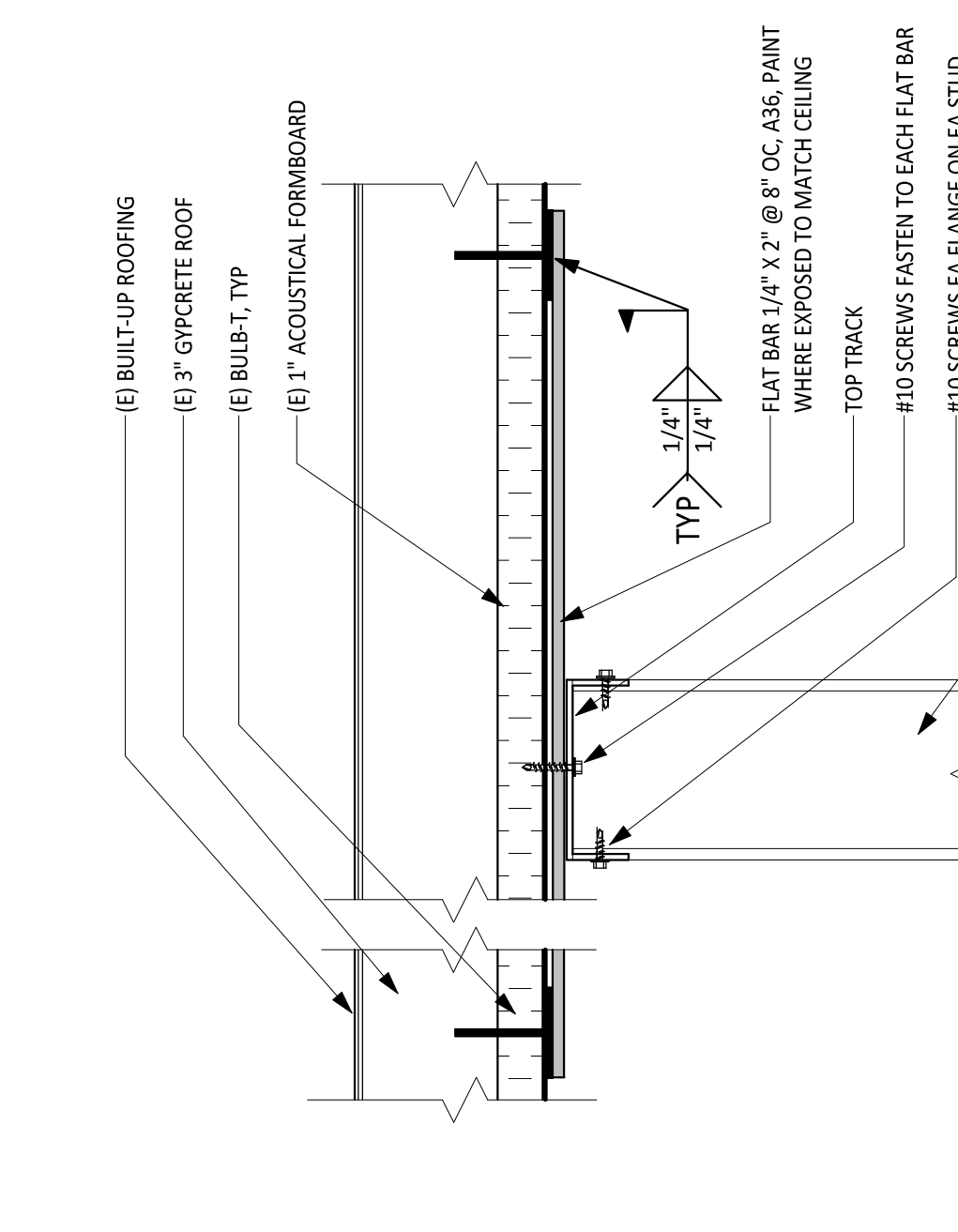
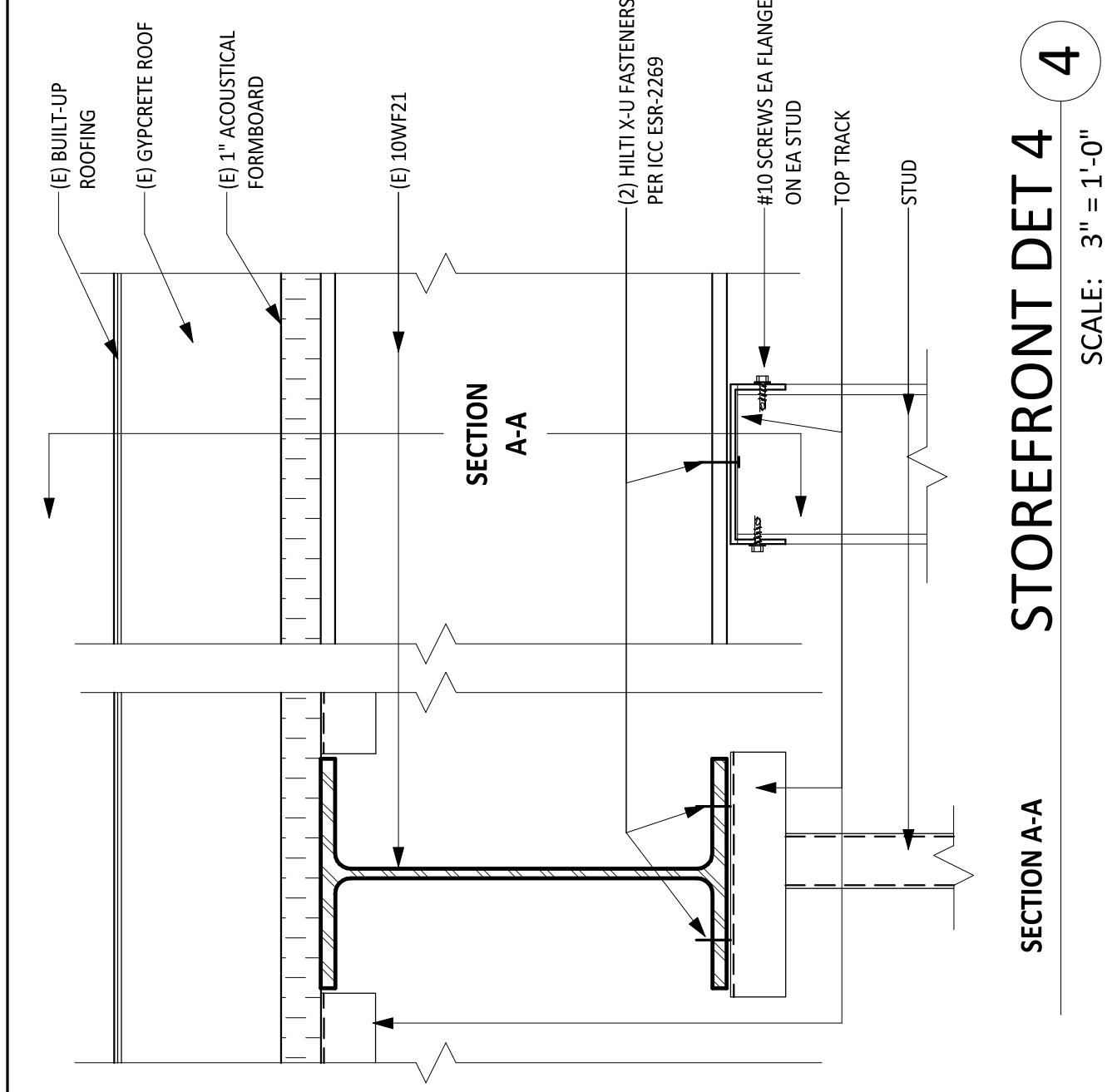
1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
1	12/19/2022	DSA SUBMITTAL
	03/10/2023	DSA BACK CHECK
	07/17/2023	ADDENDUM 01
	10/26/2023	ADDENDUM 02 RESUBMITTAL

PROJECT NO.: **22063.01**

SHEET TITLE: **DETAILS - TYPICAL**

SHEET NO.: **A-552**



FINISH SCHEDULE

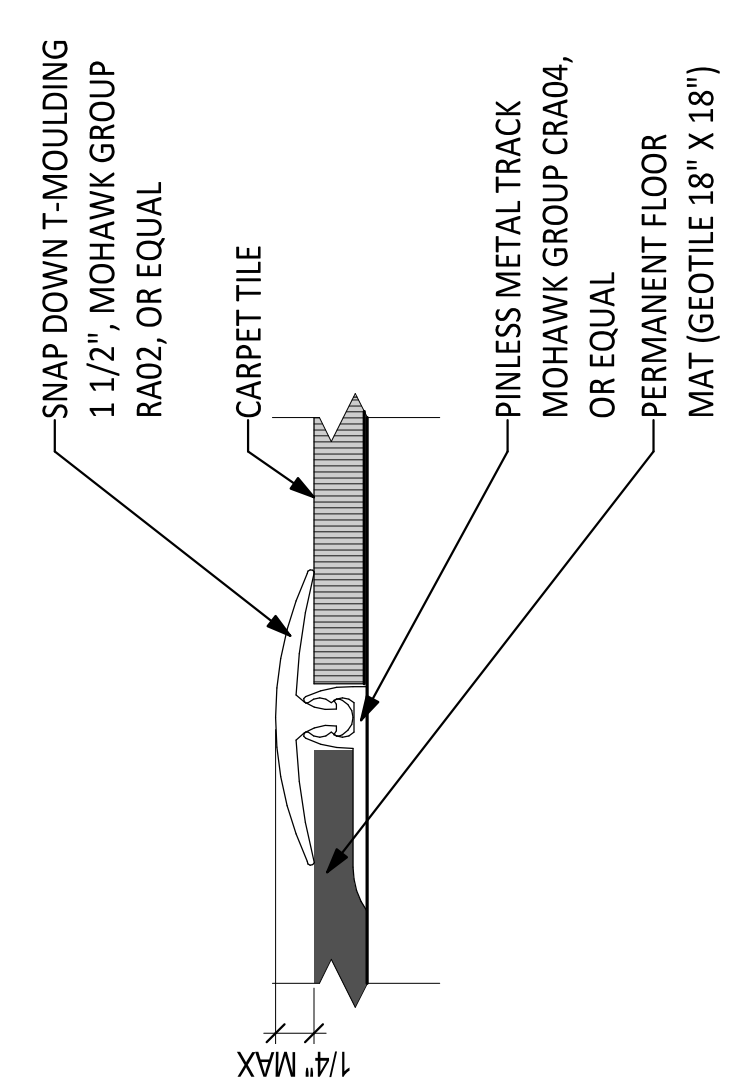
SHEET NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
- PATCH/REPAIR (E) FLOORS, WALLS & CEILINGS WHERE (E) CONSTRUCTION WERE REMOVED, REFINISH TO MATCH (N) OR (E) ADJOINING SURFACES.
- NOT ALL (E) CONSTRUCTION TO REMAIN ARE SHOWN, REMOVE & REINSTALL TO PERFORM (N) WORK, OR PROTECT IN PLACE.
- REPLACE EXTERIOR DOORS (E)12A, E20, E21, AND 2) WITH CLASSROOM INTRUDER LOCK SET (C)3552 NZD 6781), 636, RU. FOR SECURITY FROM THE INSIDE. SHALL COMPLY WITH SPECIFICATION AND REQUIREMENTS PER CBC CH. 10 (REF. 17075 A.B. CAL ED. CODE & CBC 1010.11.

FINISH SCHEDULE - MPR BUILDING

ROOM NO.	ROOM NAME	FLOOR				WEST	CEILING	NOTES
		TYPE	NORTH	EAST	SOUTH			
1ST FLOOR								
1	(E) MULTIPURPOSE ROOM	(E) WOOD	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT (E) EXPOSED STEEL BEAMS; SEE INTERIOR ELEVATIONS FOR TACKBOARD AREAS; PAINT (E) CONDUITS/WIREBUNDLES TO MATCH ADJACENT WALL/TACKBOARD
2	COMPUTER LAB	EPOXY	PAINT	PAINT	PAINT	PAINT	PAINT	PAINT (E) EXPOSED STEEL BEAMS; SEE INTERIOR ELEVATIONS FOR TACKBOARD AREAS; PAINT (E) CONDUITS/WIREBUNDLES TO MATCH ADJACENT WALL/TACKBOARD
3	3D PRINTING SHOP	EPOXY	PAINT	PAINT	PAINT	ACT	ACT	PREPARE CONC FLOOR & WALL SURFACES WHERE TILES WERE REMOVED & WHERE PREVIOUSLY CONCEALED, TO RECEIVE (N) FINISH
4	STORAGE	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) FINISH
5	(E) CUSTODIAN	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) FINISH
6	(E) ELECTRICAL ROOM	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) FINISH
7	(E) STORAGE	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) FINISH
8	STORAGE	EPOXY	PAINT	PAINT	PAINT	PAINT	PAINT	PREPARE CONC FLOOR & WALL SURFACES WHERE TILES WERE REMOVED TO RECEIVE (N) FINISH
9	GIRLS TOILET ROOM	(E) & (N) CER TILE	(E) & (N) CER TILE	(E) & (N) CER TILE	(E) & (N) CER TILE	(E) & (N) GWB / PAINT	(E) & (N) GWB / PAINT	WALL TILE TO MATCH (E) WALL TILE PATTERN; REPLACE DAMAGED/MISSING TILES ON (E) WALL TO REMAIN TO RECEIVE (N) WORK
11	(E) CORRIDOR	EPOXY	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
12	(E) CORRIDOR	EPOXY	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
13	(E) EQUIPMENT STORAGE	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK
14	STORAGE	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK
15	(E) CHAIR AND TABLE STORAGE	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK
16	(E) JANITOR ROOM	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK
17	(E) GENDER NEUTRAL TOILET ROOM	(E)	(E)	(E)	(E)	(E)	(E)	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK
18	(E) GENDER NEUTRAL TOILET ROOM	(E)	(E)	(E)	(E)	(E)	(E)	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK
19	(E) JANITOR ROOM	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
20	CLASSROOM	CARPET TILE	PAINT	PAINT	PAINT	PAINT	(E) ACOUSTICAL FOAM BD	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
21	(E) OFFICE	(E) EPOXY	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
21A	(E) TOILET & SHOWER	(E)	(E)	(E)	(E)	ACT	ACT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
22	(E) BOYS TOILET	(E)	(E)	(E)	(E)	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
23	BREAKOUT SPACE	(E) EPOXY	PAINT	PAINT	(E) & (N) CER TILE (N) GYP / PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) WORK
24	STORAGE	EPOXY	PAINT	PAINT	PAINT	PAINT	PAINT	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E), PREPARE TO RECEIVE (N) FINISH
25	(E) ELECTRICAL ROOM	(E)	PAINT	PAINT	PAINT	PAINT	PAINT	PREPARE CONC FLOOR & WALL SURFACES WHERE TILES WERE REMOVED TO RECEIVE (N) FINISH
26	(E) CONCESSION	(E)	(E)	(E)	(E)	(E)	(E)	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK
33	(E) STORAGE	(E)	(E)	(E)	(E)	(E)	(E)	PATCH /REPAIR FLOOR & WALL SURFACES WHERE (E) CONSTRUCTION WERE REMOVED. MATCH (E) TO RECEIVE (N) WORK

PERMANENT FLOOR MAT (GEOTILE 18" X 18") IN CLASSROOM 20 WHERE CARPET MATERIAL MEETS EAST EXTERIOR DOORWAY. EXTEND MIN 4 1/2" INTO BUILDING AND MIN 3" TO LEFT AND RIGHT OF DOOR FRAME. GEOTILE MATERIAL TO BE CUT NET/NET TO CARPET MATERIAL AND A PERMANENT REDUCER USED AT THRESHOLD POINT. INSTALLATION ADHESIVE PER RECOMMENDATION OF CARPET MANUFACTURER.



CARPET TILE TO FLOOR MAT
SCALE: 12" = 1'-0"

APPROVED BY: DIV. OF THE STATE ARCHITECT
APP: 04-121721 INC.
REVIEWED FOR: FLS [] ACS []
DATE: 10/31/2023

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MARK DAVIDSON
NO. 0-29788
EXPIRES 12/31/2024

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PROJECT NAME:
**CORONA FUNDAMENTAL
INTERMEDIATE SCHOOL - MPR
RENOVATION**
1230 S Main St, Corona, CA 92882

MARK DATE	DESCRIPTION
12/19/2022	DSA SUBMITTAL
03/10/2023	DSA BACK CHECK
07/11/2023	ADDENDUM 01
10/23/2023	ADDENDUM 01 RESUBMITTAL

PROJECT NO.: 22063.01

SHEET TITLE:
**FINISH SCHEDULE &
TYPICAL DETAILS**

SHEET NO.: **A-641**

POWERED BY
THE STATE ARCHITECT
 DIV. OF THE STATE ARCHITECT
 APP: 04-121721 INC.
 REVIEWED FOR: [] FLS [] ACS []
 DATE: 10/31/2023

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PROJECT OWNER:
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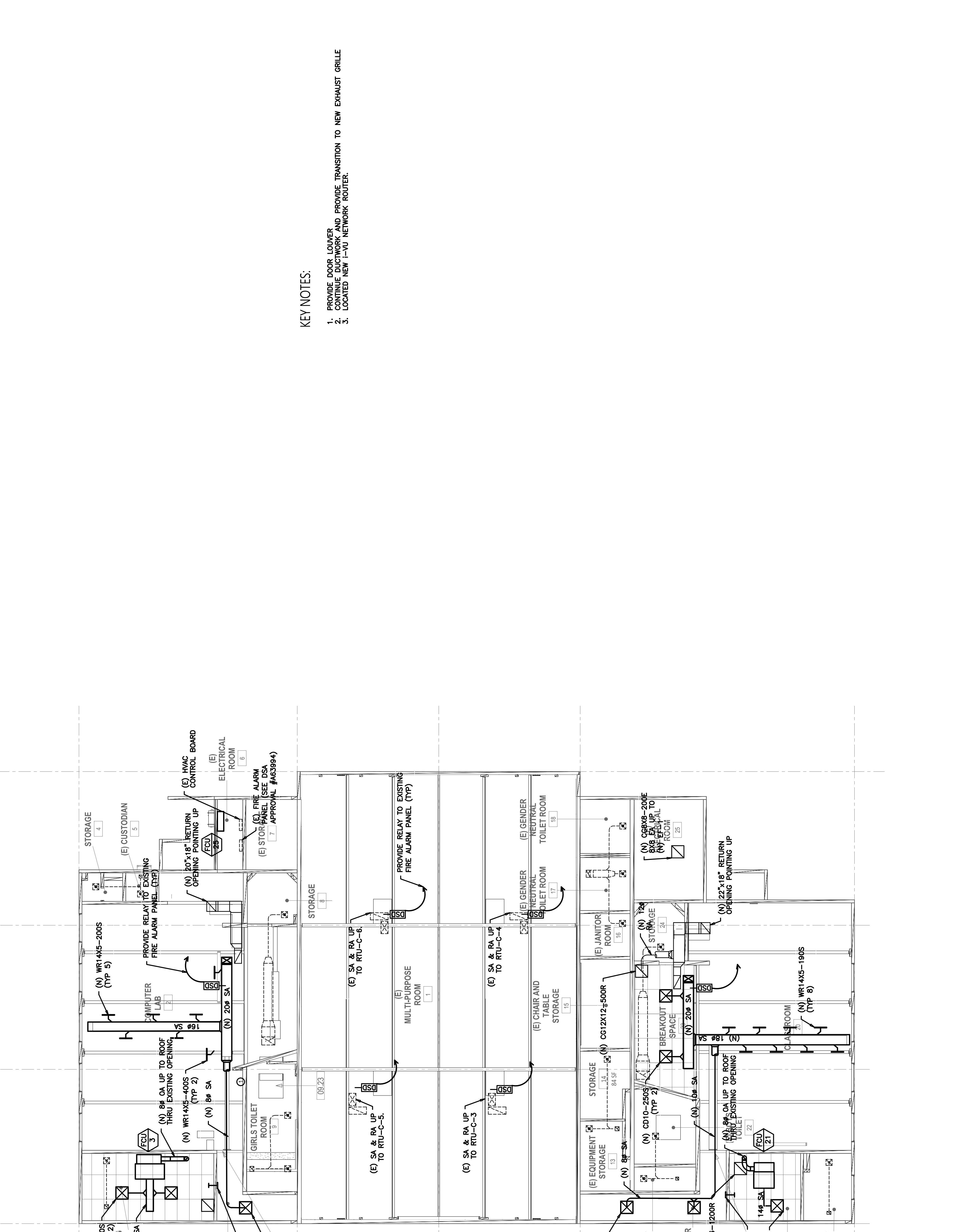
PROJECT NAME:
**CORONA FUNDAMENTAL
 INTERMEDIATE SCHOOL - IMPR
 RENOVATION**
 1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
	12/19/2022	DSA SUBMITTAL
	03/24/2023	DSA BACK-CHECK
1	07/17/2023	ADDENDUM 01
2	08/07/2023	DSA REVISION ADDENDUM

PROJECT NO.: 22063.01
 SHEET TITLE: MECHANICAL FLOOR PLAN
 SHEET NO.: M-111

SHEET NOTES:
 A. PROVIDE DUCT LINER ON EXPOSED DUCTWORK. SEE SPEC FOR DUCT LINER SPECIFICATION.
 B. PROVIDE INSULATED PIPE SEEING PER MANUFACTURER'S RECOMMENDATIONS.
 C. PROVIDE INSULATED DUCT ACCESS DOORS FOR ALL ACCESSORIES INSTALLED INSIDE DUCTWORK.
 D. SEE DETAIL 1/MS01 FOR DUCTED FCU DETAIL.
 E. SEE DETAIL 2/MS01 FOR DUCTED FCU DETAIL.
 F. SEE DETAIL 3/MS01 FOR DUCTED FCU DETAIL.
 G. ALL DUCTWORK TO BE PAINTED, COORDINATE COLOR WITH DISTRICT.

KEYNOTES:
 1. PROVIDE DOOR LOWER CONTINUE DUCTWORK AND PROVIDE TRANSITION TO NEW EXHAUST GRILLE
 2. LOCATED NEW FPO NETWORK ROUTER.



7/17/2023

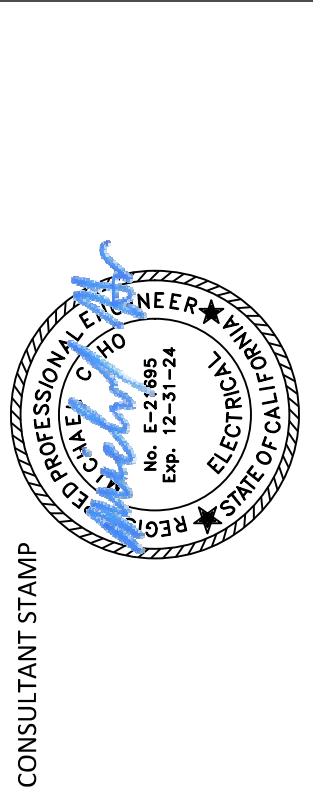
APPROVED BY:
DIV. OF THE STATE ARCHITECT
APP:04-121721 INC.
REVIEWED FOR:
SS FLS ACS
DATE: 10/31/2023

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PROJECT OWNER:
CORONA NORCO UNIFIED SCHOOL DISTRICT
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CNU

PROJECT NAME:
CORONA FUNDAMENTAL
INTERMEDIATE SCHOOL - IMPR
RENOVATION
1230 S Main St, Corona, CA 92882

MARK	DATE	DESCRIPTION
	12/19/2022	DSA SUBMITTAL
	03/24/2023	DSA BAC-CHECK
1	07/17/2023	ADDENDUM 01
2	08/07/2023	DSA REVISION ADDENDUM

PROJECT NO.: 22063.01

SHEET TITLE:
ELECTRICAL
DEMOLITION PLAN

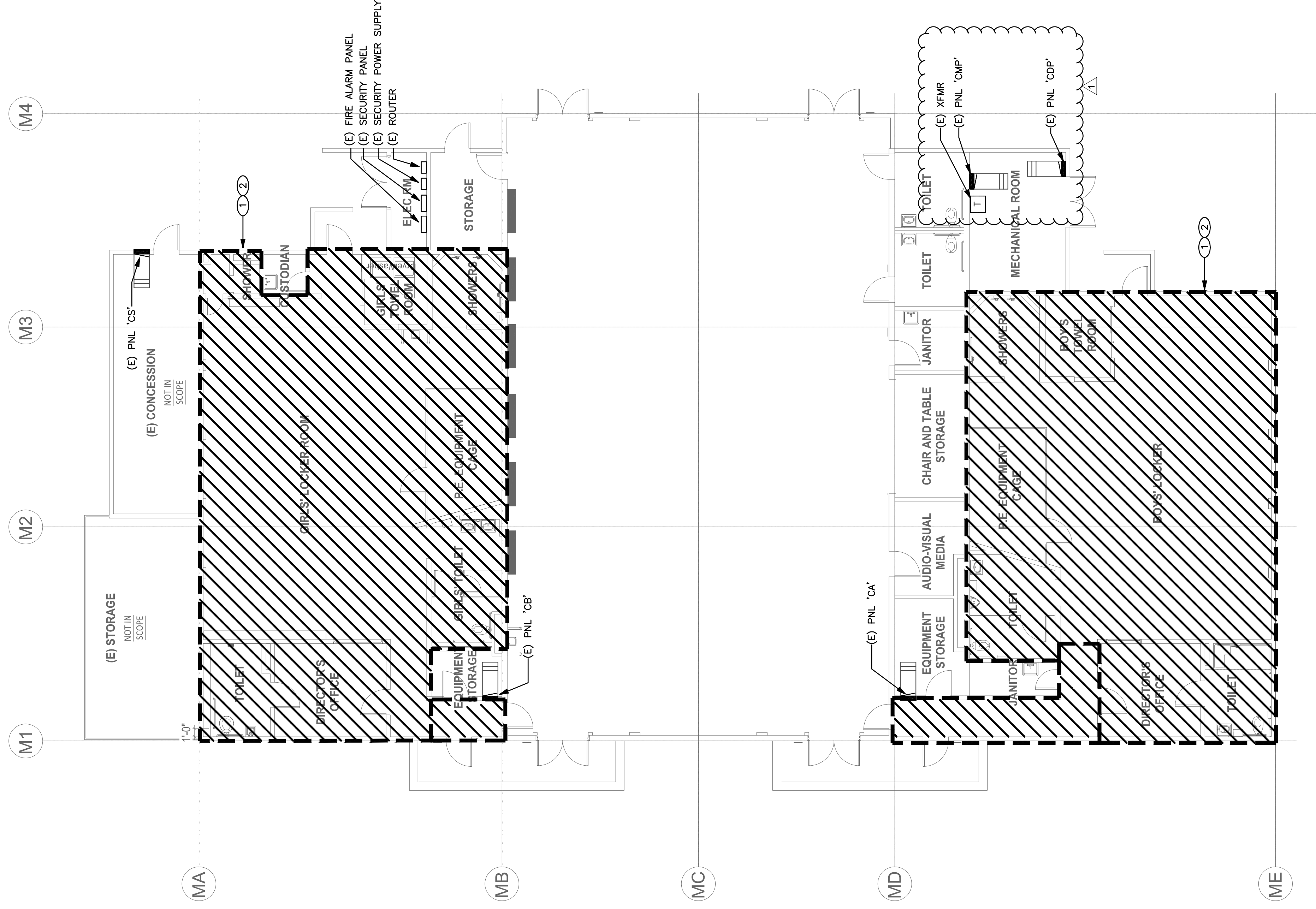
SHEET NO.: **E-101D**

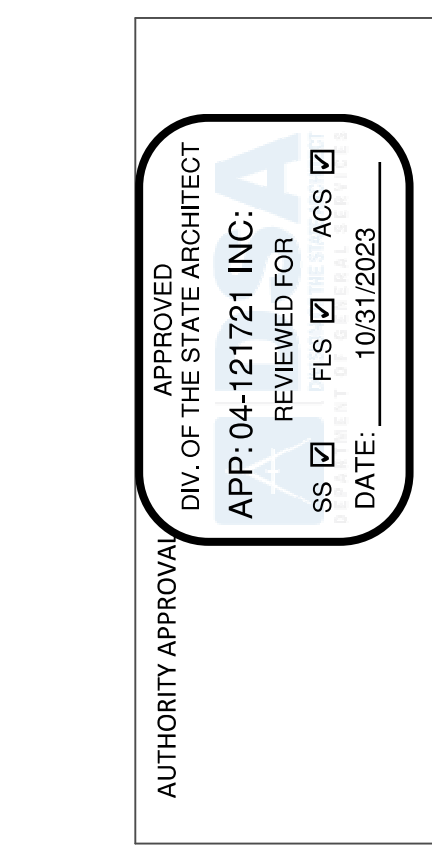
SHEET NOTES

- THESE DEMOLITION NOTES REFER TO ALL ELECTRICAL SHEETS WHERE DEMOLITION WORK IS BEING CARRIED OUT.
- CONTRACTOR SHALL VISIT AND MAKE HIMSELF THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS AND VERIFY THE EXISTING SITE CONDITIONS PRIOR TO BIDDING.
- DEMOLITION DEVICES/EQUIPMENT SHOWN ARE OBTAINED FROM VISUAL INSPECTION OF THE AREAS AND/OR CONSTRUCTION RECORDS. THE CONTRACTOR SHALL VERIFY THE WALL/CEILING/ATTIC SPACES/DUCT (SUPPLY/RETURN) AND REMOVE AS PART OF THE DEMOLITION WORK.
- INFORMATION GIVEN ON THE DRAWINGS ABOUT EXISTING INSTALLATIONS HAS BEEN OBTAINED FROM THE AS-BUILT DRAWINGS BUT CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY THE AS-BUILT DRAWINGS PRIOR TO BIDDING. ANY WORK PROCEEDING WITH ANY NEW WORK THAT MAY BE AFFECTED INCLUDE AS PART OF THE CONTRACT ALL WORK REQUIRED TO PRODUCE THE INDICATED RESULT.
- CHECK PANEL SCHEDULE IDENTIFICATION FOR VALIDITY. RE-IDENTIFY ANY OR ALL CHANGES IN PANEL ON PANEL SCHEDULE CARD (INCLUDING EXISTING CIRCUITRY). WHILE PANEL COVER IS REMOVED, TURN OFF ANY SPARE BREAKERS AND VERIFY SPARES AS INDICATED ON PANEL SCHEDULE CARD.
- UNLESS OTHERWISE NOTED ON DRAWINGS ALL EXISTING WIRING, CONDUITS, RACEWAYS, PULL BOXES AND/OR EQUIPMENT SHALL BE REMOVED PER THE WORK. WORK SHALL BE REMOVED EXCEPT WHEN SUCH ITEMS ARE REQUIRED TO MAINTAIN SERVICES TO OTHER AREAS. FIXTURES OR DEVICES, IN SUCH CASES CONTRACTOR SHALL PROVIDE POWER, CONDUIT AND WIRING WHERE REQUIRED. CONTRACTOR SHALL PROVIDE HOWEVER THE CONTRACTOR'S RESPONSIBILITY IS TO REMOVE ANY EXISTING ITEMS, WHEN SUCH ITEM IS CONCEALED AND DOES NOT INTERFERE WITH NEW WORK. CONTRACTOR TO VERIFY WITH OWNER AND ARCHITECT PRIOR TO WORK COMMENCEMENT. UNLESS OTHERWISE INDICATED TO FIELD VERIFY (E)DEVICES AND REMOVE COMPLETELY.
- PROVIDE CIRCUIT IDENTIFICATION TO EXISTING DEVICES WHICH WILL REMAIN AFTER NEW WORK.
- PROVIDE BULKHEAD COVER PLATES TO REMOVED DEVICES. STAINLESS STEEL OR AS SELECTED BY OWNER, TYPICAL USA.
- ALL WORK REQUIRED TO CHANGE THE EXISTING ELECTRICAL INSTALLATION AS INDICATED SHALL BE PROVIDED.
- REMOVE ALL EXISTING LIGHT FIXTURES, MISCELLANEOUS CONDUIT AND WIRES FROM THE EXISTING ELECTRICAL SYSTEMS AND REMOVE THEM FROM THE CONTRACTOR SHALL INCLUDE ALL COST AS PART OF THE CONTRACT FOR ALL NECESSARY WORK REQUIRED.
- WHEN CEILING SUSPENSION SYSTEMS, EQUIPMENT'S SUPPORT SYSTEM, LIGHTING FIXTURES, PIPING SHALL BE REMOVED PER THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY BROKEN OR DAMAGED ITEMS, INCLUDING PATCHING WALLS AND PAINTING AS REQUIRED, TO BRING THE AREA TO ITS ORIGINAL CONDITION. CONTRACTOR SHALL VERIFY ALL WORK SHALL BE COMPLETED PRIOR TO CEILING TILES DURING CONSTRUCTION. CONTRACTOR TO DOCUMENT EXISTING CONDITIONS WITH DIGITAL PICTURES PRIOR TO START WORK. FAILURE TO DOCUMENT EXISTING CONDITIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO REMOVE DAMAGED CEILING TILES, REPLACED CEILING TILES SHALL MATCH EXISTING BY COLOR/TYPE/STYLE.
- EXISTING CONDUIT MAY BE REUSED FOR NEW WORK WHERE SUITABLE. EXTEND CONDUIT AT NEW DEVICE LOCATIONS AS REQUIRED.
- UNLESS SPECIFICALLY INDICATED OTHERWISE ALL ELECTRICAL MATERIALS AND EQUIPMENT REMOVED FROM THE EXISTING INSTALLATIONS SHALL BE DISPOSED OF OFF SITE.
- ALL ABANDONED WIRING INCLUDING RACEWAYS SHALL BE REMOVED COMPLETELY BACK TO THE SOURCE; CAPPING OFF STUBS THAT MAY REMAIN.
- ASSOCIATED CIRCUITRY IS DEFINED AS ALL WIRES, CONDUIT, JUNCTION BOXES, WIRING DEVICES, DEVICE BOXES, DISCONNECT SWITCH, ETC. ASSOCIATED WITH THE ITEM SCHEDULED FOR REMOVAL.
- ITEM REQUIRING EXTENSION OF CIRCUITRY, SHALL HAVE THEIR WIRE AND CONDUIT ROUTED IN SUCH A MANNER SO AS NOT TO INTERFERE WITH THE USE OR AESTHETICS OF ANY AREA IN WHICH IT IS ROUTED.
- UNLESS OTHERWISE NOTED, ALL ITEMS SCHEDULED FOR DEMOLITION SHALL HAVE ALL ELECTRICAL MATERIALS, EQUIPMENT AND DEVICES TO BE RECONNECTED FOR NEW CIRCUITRY OR BECOME SPARES.
- ANY EXISTING DEVICES, LIGHTING, OR EQUIPMENT THAT IS NOT DOCUMENTED OR IS NOT SHOWN AS BEING DEMOLISHED SHALL BE EXISTING TO REMAIN AND CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL ELECTRICAL FEEDINGS IT.

KEYNOTES

- CONTRACTOR IS TO DEMO WALL RECEPTACLES WITHIN THIS HATCHED AREA. CONTRACTOR IS TO PULL CONDUCTORS BACK TO NEAREST JUNCTION BOX FOR USE AT NEW LOCATION. REFER TO REMODEL PLAN FOR NEW RECEPTACLE LOCATION. ALL POWER SERVICES OUTSIDE OF THIS HATCHED AREA IS TO REMAIN OPERATIONAL.
- CONTRACTOR IS TO DEMO LIGHT FIXTURES AND LIGHT SWITCH WITHIN THIS HATCH AREA FOR USE AT NEW LOCATION. REFER TO REMODEL PLAN FOR NEW LIGHTING LAYOUT AND SWITCH LOCATIONS. ALL LIGHTING FIXTURES ASSOCIATED LIGHT SWITCHES OUTSIDE OF THIS HATCHED AREA IS TO REMAIN OPERATIONAL.





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PROJECT OWNER:

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1230 S Main St, Corona, CA 92882

PROJECT NAME:

MARK	DATE	DESCRIPTION
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4	08/07/2023	DSA REVISION ADDENDUM

PROJECT NO.: 22063.01

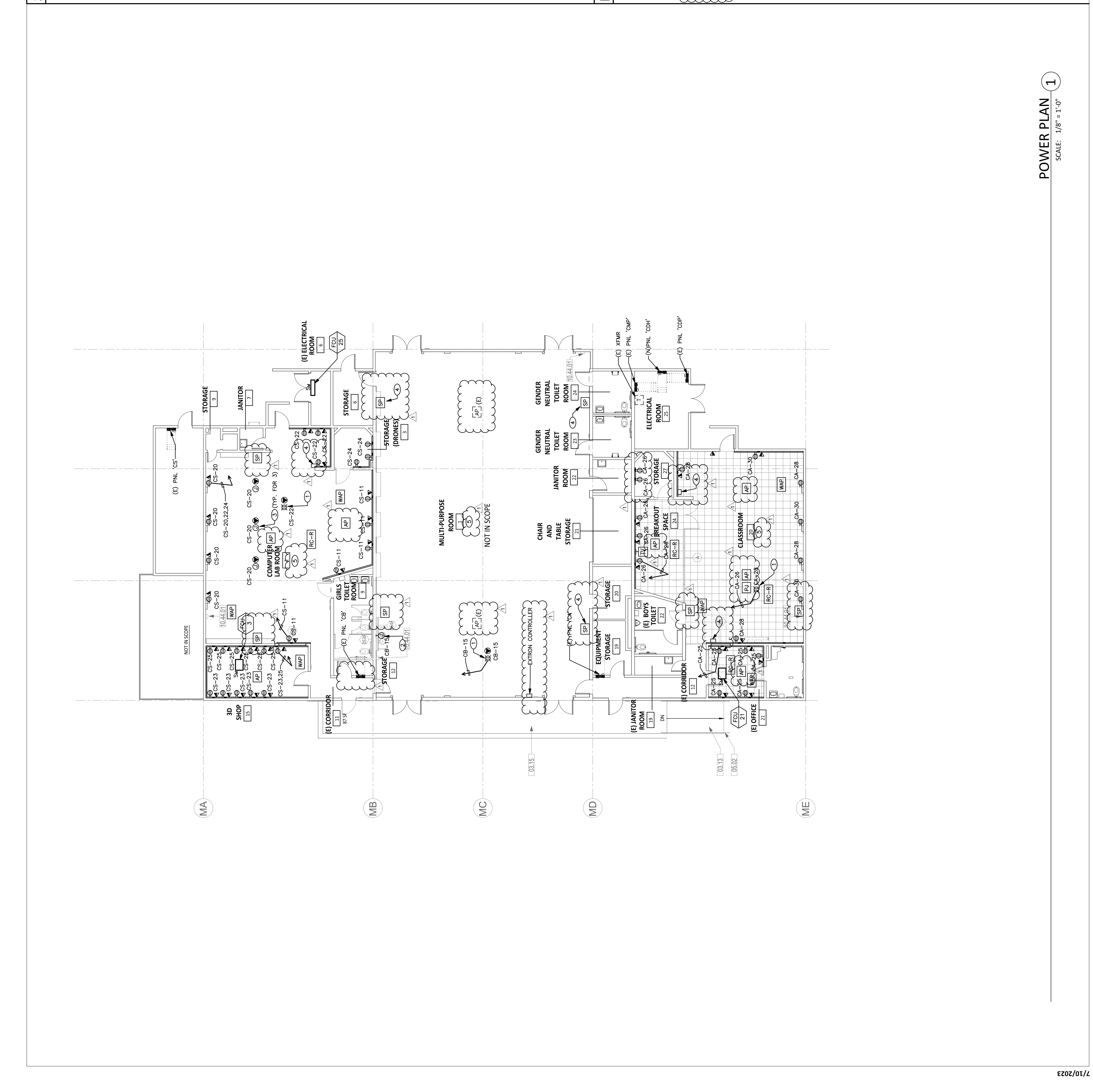
SHEET TITLE: POWER PLAN

SHEET NO.: E-101

- SHEET NOTES**
- EXISTING INFORMATION SHOWN IS BASED ON CURSORY FIELD SURVEY AND IS PROVIDED FOR REFERENCE ONLY. FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
 - COORDINATE WITH OWNER'S REPRESENTATIVE FOR SCHEDULING CONFLICTS, ENERGIZING CONDUITS, IDENTIFYING EXISTING EQUIPMENT, AND DETERMINING THE LOCATION AND DEPTH OF EXISTING UTILITIES. TASKS, SUBMIT METHOD OF PROCEDURES (MOP) FOR OWNER AND ENGINEERS' REVIEW AND APPROVAL (SO) WORKING DAYS PRIOR TO TASK SCHEDULES.
 - CONTRACTOR SHALL MAINTAIN CIRCUIT CONTINUITY TO ALL EXISTING DEVICES AND EQUIPMENT TO REMAIN.
 - REFER TO SINGLE LINE DIAGRAM ON SHEET E-002 FOR ADDITIONAL INFORMATION.
 - ALL EXISTING SWITCHGEAR, ATS, GENERATOR, CIRCUIT BREAKERS, OTHER ELECTRICAL EQUIPMENT, CONDUITS AND WIRING TO REMAIN ARE INDICATED WITH LIGHT LINES. ALL EQUIPMENT TO BE DEMOLISHED ARE INDICATED WITH HATCH MARKS. ALL NEW EQUIPMENT IS SHOWN WITH HEAVY LINES.
 - PROVIDE CAT6A DATA CABLING PER DISTRICT STANDARDS FROM ALL WIRELESS ACCESS POINTS TO EXISTING IT INFRASTRUCTURE.

KEYNOTES

- PROVIDE AND INSTALL CEILING MOUNTED RECEPTACLE FOR CONNECTION TO PROJECTOR. COORDINATE FINAL LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- PROVIDE AND INSTALL JUNCTION BOX FOR CONNECTION TO DRINKING FOUNTAIN. VERIFY EXACT POWER REQUIREMENTS WITH MANUFACTURER.
- PROVIDE AND INSTALL CEILING MOUNTED JUNCTION BOX FOR RETRACTABLE CORDS. VERIFY EXACT POWER REQUIREMENTS WITH MANUFACTURER. COORDINATE FINAL LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- PROVIDE AS OUTLET AND STUB 3/4" C.O. 6" ABOVE CEILING SPACE FOR EXTRON RECEPTACLE. VERIFY EXACT POWER REQUIREMENTS WITH LOW VOLTAGE VENDOR PRIOR TO ROUGH-IN.
- PROVIDE EXTRON SYSTEM PER DISTRICT'S STANDARDS. COORDINATE WITH LOW VOLTAGE CONTRACTOR.



MARK	DATE	DESCRIPTION
1	12/19/2022	DSA SUBMITTAL
1	03/24/2023	DSA BACKCHECK
1	07/17/2023	ADDENDUM 01
2	08/07/2023	DSA REVISION ADDENDUM

PROJECT NO.: 22063.01

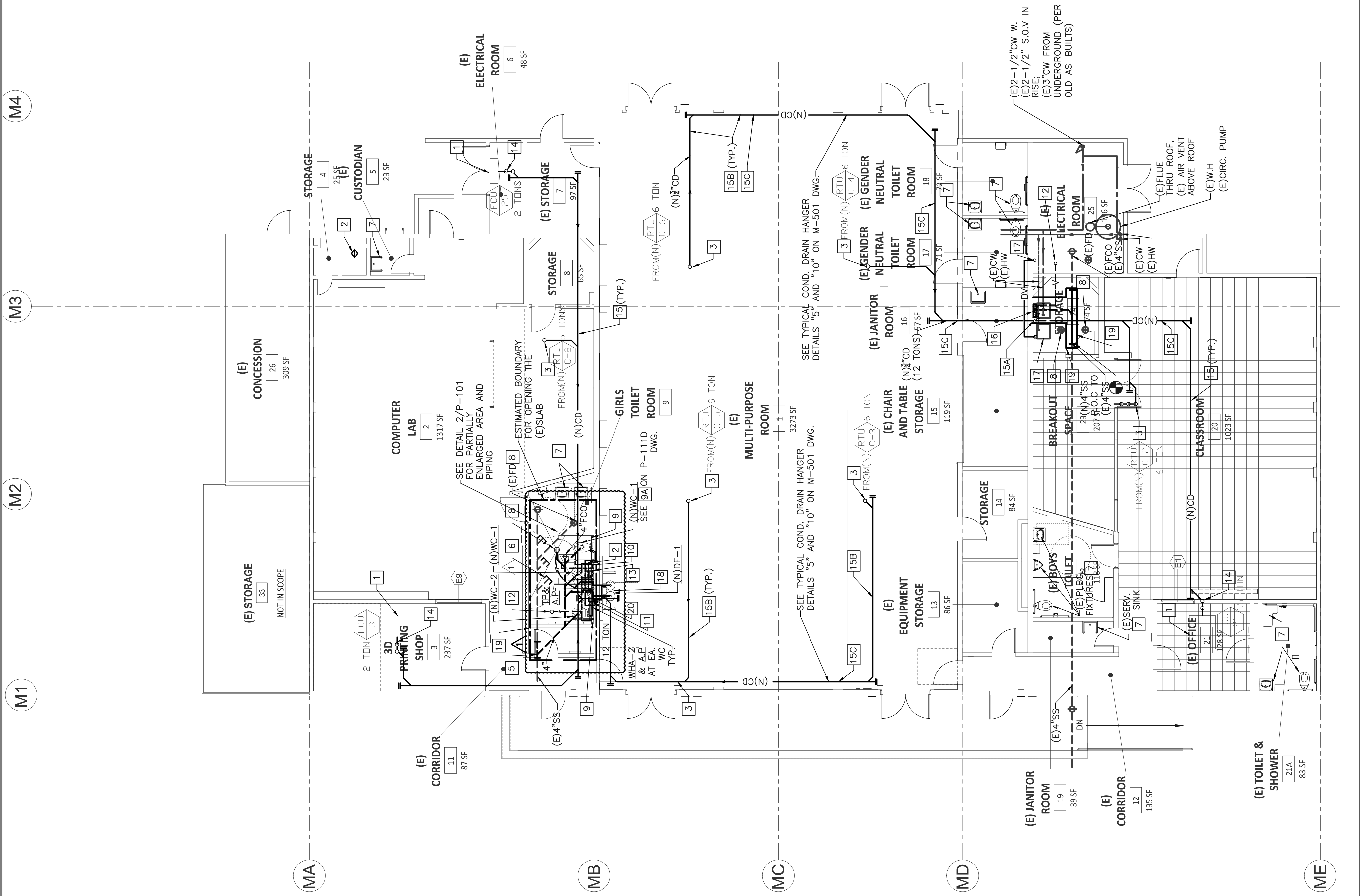
SHEET TITLE:
**PLUMBING NEW
WORK PLAN,
WATER, WASTE &
VENT**

SHEET NO.: **P-101**

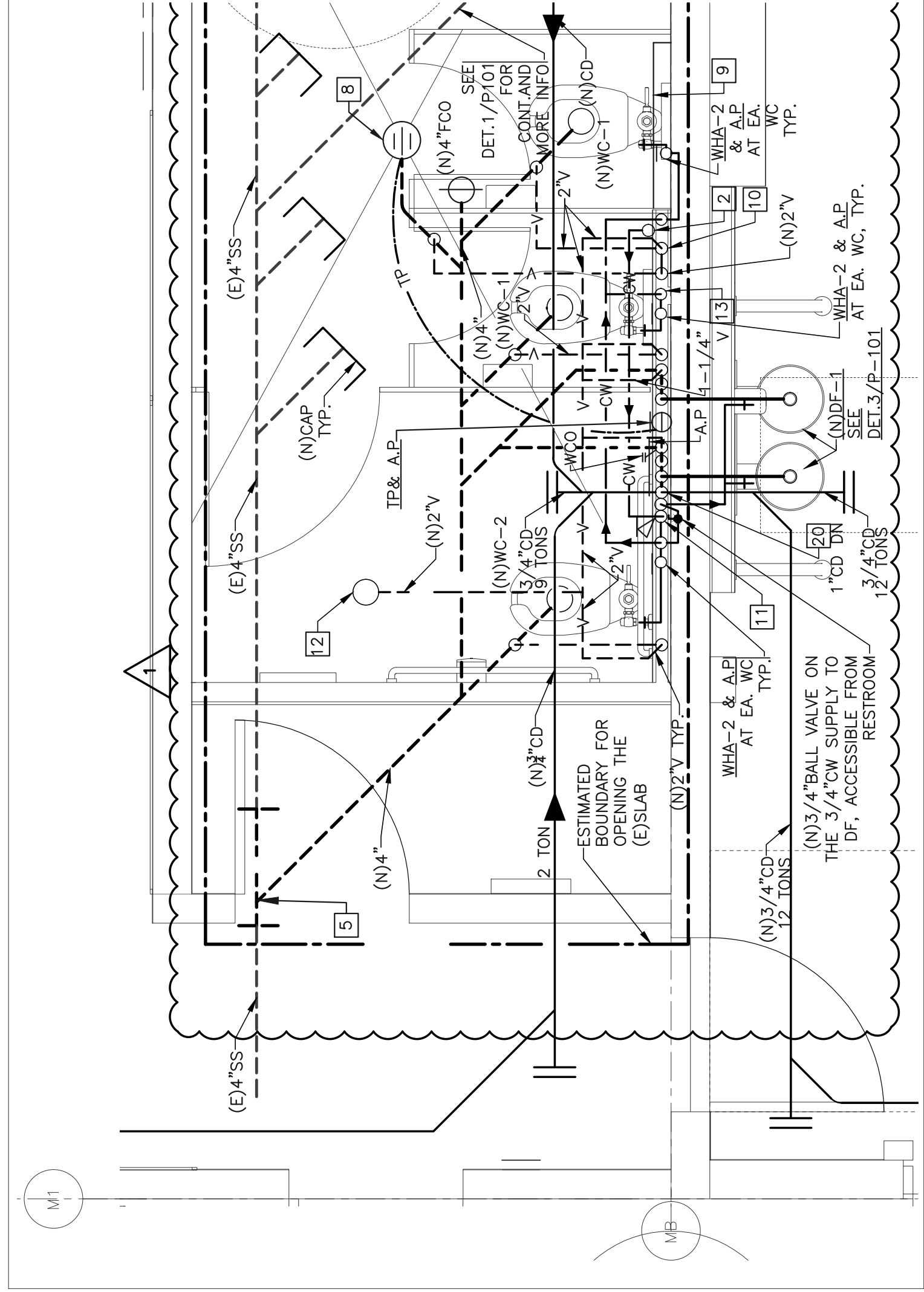
GENERAL NOTE
FOR PIPES HANGERS AND SEISMIC SUPPORTS SEE M-501/DETAIL 5 FOR PIPE SUPPORTS AND DETAILS. 100 PIPES SUPPORTS WITH APPROVED BY A.H.J. THICK FELT OR NON CONDUCTIVE RUBBER BETWEEN DISSIMILAR MATERIALS. PROVIDE DIELECTRIC FITTINGS BETWEEN DISSIMILAR MATERIALS. TYPICAL FOR ALL CONNECTIONS BETWEEN DISSIMILAR MATERIALS.

NEW WORK KEY NOTES

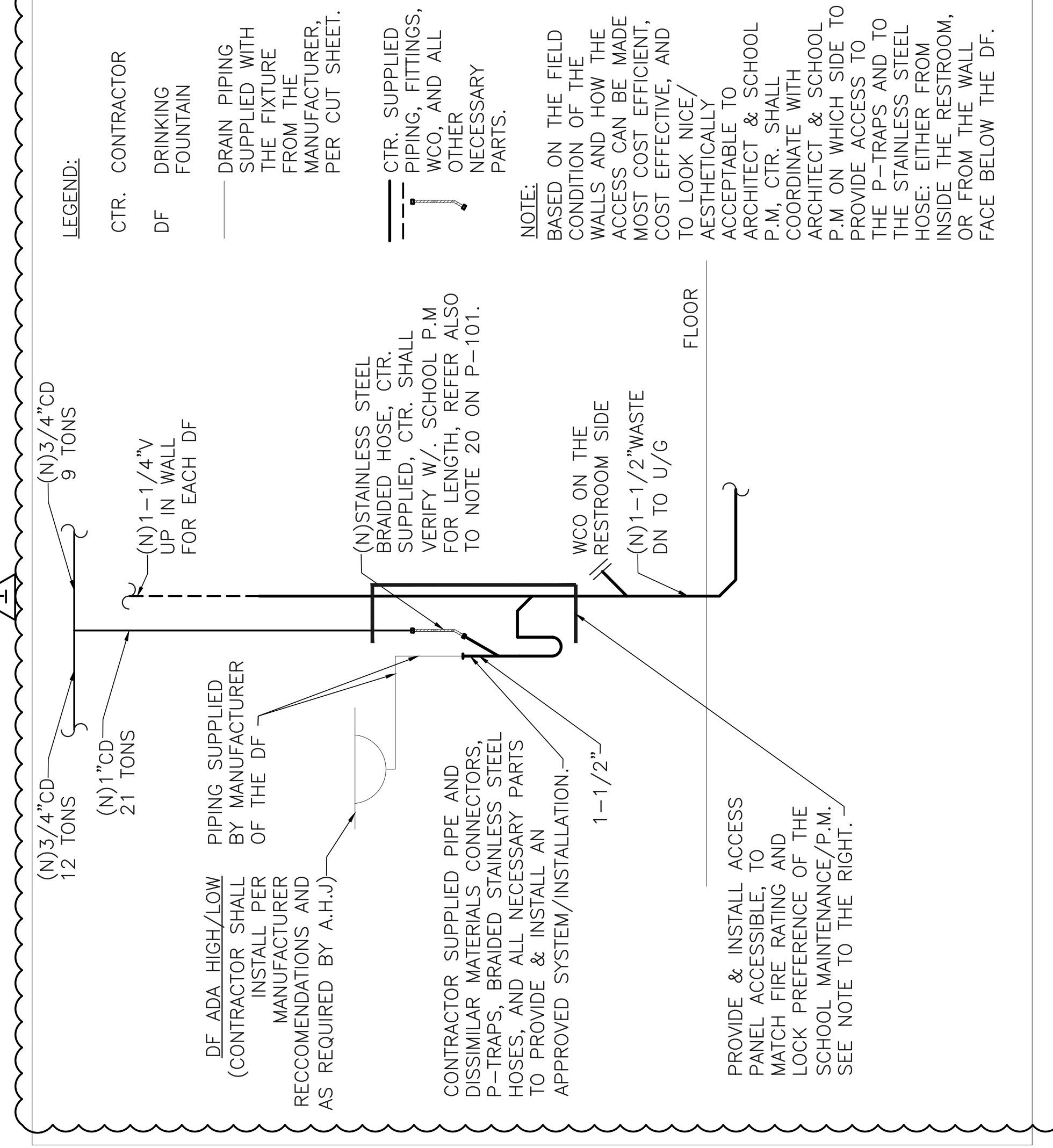
- 1 (N) FAN COIL UNITS ABOVE CLG. CONN. W/ 3/4" CD AND ROUTE TO NEAREST FUTURE TAILPIECE OR SERVICE/FLOOR SINK. (TYP.)
- 2 EXIST. 2" CW MAKE POC ABOVE CLG. DROP IN NEW FURRING AND CONN. ALL NEW PLEG. FIXTURES AS SHOWN. INSTALL BALL VALVE AND ACCESS PANEL AT 6" ABV. FIN. FLOOR.
- 3 (N) 3/4" CONDENSATE DRAIN PIPING FROM ABOVE ROOF. ROUTE ATTACHED TO WALL TO COMMON CD. DROP IN FURRING AND SPILL TO DRINKING FOUNTAIN TAILPIECE. AND AT WASHER BOX DRAIN WITH AIR GAP. CONDENSATE LINES SHALL BE INTO TAILPIECES WITH STAINLESS STEEL TO WASHER DRAIN BOX. FOR MAINTENANCE PURPOSE. PROVIDE DIELECTRIC CONNECTIONS B/W. DISSIMILAR MATERIALS. TYPICAL.
- 4 2" VENT. CONN. ALL NEW FUTURE IN NEW 6" FURRING. MAKE POC TO EXIST. VTR. VERIFY EXACT LOCATION IN FIELD. INSTALL AT MORE THAN 10FT AWAY FROM ANY AIR INTAKE ON THE ROOF.
- 5 MAKE POC TO EXIST. 4" WASTE BELOW SLAB. VERIFY FINAL LOCATION OF EXIST. WASTE. VERIFY EXACT LOCATION IN FIELD. INSTALL AT MORE THAN 10FT AWAY FROM ANY AIR INTAKE ON THE ROOF. IF MORE THEN ONE WASTE SHOULD BE REPLACED. USE SURVEILLANCE CAMERAS TO DETERMINE EXIST. WASTE LOCATION AND ELEVATIONS AS REQUIRED.
- 6 CAP EXIST. UN-USED WASTE PIPING BELOW SLAB. (TYP.)
- 7 EXIST. PLUMBING FIXTURE TO REMAIN.
- 8 EXIST. FLOOR DRAIN TO REMAIN. IF TRAP PRIMER IS ACTIVE AND WORKS. IF NOT, REMOVE EXIST. FLOOR DRAIN AND INSTALL NEW FD-1 AND TRAP PRIMER WHERE FLUSH VALVES ARE LOCATED. VERIFY WITH ARCHITECTURAL AND STRUCTURAL REGARDING SLOPING OF FLOOR WITH THE NEW WATER CLOSETS LOCATION.
- 9 NEW FURRING. SEE ARCH. DWGS. FOR REQUIREMENTS. SEE NOTE ON P-111D; CONTRACTOR SHALL INVESTIGATE EXISTING CONDITION OF THE (E)PIPEING, IN THE (E)WALL, (E)CHARGE, AND UNDER THE FLOOR, IN RELATION TO THE (E)WALL FOUNDATION, AND SHALL PROPOSE NEW PIPING ROUTING PER ARCHITECTURAL AND STRUCTURAL. NEW STALLS, AND NEW PLEG. FIXTURES EXACT LOCATIONS PER ARCHITECTURAL.
- 10 2" VENT FR. BEL. SLAB UP TO ABV. CLG. AND CONN. TO NEW VENT. (TYP.) CONNECT TO EXISTING VENT UP TO ROOF.
- 11 DROP 2" CW IN NEW FURRING. INSTALL SOV AND ACCESS PANEL. ROUTE PIPING TO ABV. CLG. AND DROP AT EACH FIXTURE LOCATION AS REQUIRED.
- 12 MAKE POC TO EXIST. 4" VTR. VERIFY EXACT LOCATION IN FIELD AND THAT THE SIZE IS ADEQUATE FOR THE TOTAL FINAL FIXTURE UNITS.
- 13 3/4" COND. TEMP. MAKE POC TO COND. DRAIN PUMP. ROUTE TO COMMON DRAIN LINE.
- 14 ALL COND. DRAIN LINES TO BE INSULATED 1/2" THICK 25/50/50/64 INSULATION.
- 15 3/4" COND. DRAIN DROP WITH AIR GAP INTO WASHER BOX DRAIN; CONDENSATE LINES SHALL BE INTO TAILPIECES WITH FLEXIBLE BRAIDED PLEG. TO WASHER DRAIN BOX. FOR MAINTENANCE PURPOSE.
- 16 AT WBS. 3/4" COND. DRAIN RUN AS CLOSE AS POSSIBLE TO UNDERSIDE OF ROOF AND BEAMS. TRY TO CONCEAL IN BEAM POCKET AND RUN ON THE WALL AS HIGH AS POSSIBLE TO COMMON LINE AND POINT OF DISCHARGE.
- 17 AS FEASIBLE. RUN 3/4" COND. DRAIN RUN AS CLOSE AS POSSIBLE TO WALLS, TO MINIMIZE APPEARANCE OF THE EXPOSED COND. DRAIN PIPING.
- 18 2" W. 1. 1/2" H. & CW IN WASHER WALL BOX ATTACHED TO EXIST. TILED WALL. COORDINATE FINAL LOCATION IN FIELD.
- 19 EXIST. DRYER RE-LOCATED UNDER ANOTHER SECTION OF THE WORK. INSTALL NEW SIZE W/ VENT UP TO ROOF AS SHOWN. VERIFY EXACT LOCATION IN FIELD. INSTALL THE VTR MORE THAN 10 FT AWAY FROM ANY AIR INTAKE ON THE ROOF.
- 20 DRINKING FOUNTAIN WALL SUPPORT. SEE STRUCTURAL DWGS. FOR DETAILS.
- 21 NEW TRENCH APPROXIMATE BOUNDARY. ESTIMATED EXTENT - SEE STRUCTURAL DWGS. FOR TRENCH DETAILS INCLUDING SLAB & REBAR REPAIR DETAILS.
- 22 NEW 1" COND. DRAIN DN (CONTRACTOR SHALL VERIFY FINAL TONNAGE WITH CODE PRIOR TO BUYING AND INSTALLING) CONN. TO DRINKING FOUNTAIN DRAINAGE PIPING. USE STAINLESS STEEL BRAIDED HOSE FROM WALL OUTLET TO DRAIN CONNECTION B/W. DISSIMILAR MATERIALS. FOR MAINTENANCE PURPOSES.



PLUMBING NEW WORK PLAN-WATER, WASTE, VENT
SCALE: 1/8" = 1'-0"



PLUMBING NEW WORK PARTIAL ENLARGED PLAN-WATER, WASTE, VENT
SCALE: 1/2" = 1'-0"



DIAGRAMMATIC PLUMBING DESIGN INTENT FOR PIPING
THE CONDENSATE DRAIN TO THE DRINKING FOUNTAIN
SCALE: N.T.S.

B. Notify Architect of discrepancies between existing conditions and Drawings before proceeding with selective demolition.

C. Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work.

OMIT

1. Hazardous materials will be removed by Owner before start of the Work.

2. If suspected hazardous materials are encountered, do not disturb; immediately notify Architect and Owner. Hazardous materials will be removed by Owner under a separate contract.

D. Hazardous Materials: Present in buildings and structures to be selectively demolished. A report on the presence of hazardous materials is on file for review and use. Examine report to become aware of locations where hazardous materials are present.

E. Storage or sale of removed items or materials on-site is not permitted.

F. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.

1. Maintain fire-protection facilities in service during selective demolition operations.

1.9 COORDINATION

A. Arrange selective demolition schedule so as not to interfere with Owner's operations.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

A. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.

B. Standards: Comply with ANSI/ASSP A10.6 and NFPA 241.

PART 3 - EXECUTION

3.1 EXAMINATION

A. Verify that utilities have been disconnected and capped before starting selective demolition operations.

B. Perform an engineering survey of condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective building demolition operations.

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DIVISION 27 00 00 - COMMUNICATIONS

27 10 00 – Structured Cabling System

NOTES

1. Provide a fully tested Fiber Optic cable back bone terminated at Patch Panels. Fiber cables shall be 12 strand Single Mode Fiber (SMF) and 12 strand OM4 Multi Mode Fiber (MMF) to every IDF to provide IDF-MDF/backbone connectivity. Patch the fiber into the LIU in a vertical orientation. Fiber to be terminated with SC connections in the LIU.
2. Owner to provide electronics (CISCO routers/switches) after acceptance and prior to beneficial occupancy.
3. Provide data ports at kitchen areas from points of sale to IDF.
4. Provide classroom data drops per Attachment A “Typical Classroom Technology Floor Plan”.
5. Provide power and data to each projector location. See attached equipment product data.
6. WallVault Model WVS 211D, Two Input Digital WallVault, Part #42-311-03. Inputs to be located adjacent to the teacher’s desk/workstation.
7. Connect and terminate Contractor provided Epson projector(s), teacher’s PC to the PVS system in each classroom.
8. Provide necessary cabling and hardware for integration to a wireless microphone (future).
9. Provide Epson PowerLite 685W WXGA 3LCD Presentation Display.
10. Provide inputs at Teacher Desk as follows:
 - i. HDMI x 2, Audio (3.5mm).
 - ii. Provide one (1) data drop to MLC location for network management.

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11. Wireless access equipment (Cisco ceiling-mounted hub) will be OFOI; all remaining scope such as -pathway and cable to be in contract. System will provide one (1) wireless hub with two (2) Cat. 6 data drops centered in the classroom ceiling in every classroom and/or lab
12. –Crown Castle Fiber is the District’s WAN fiber supplier; provide conduit from the street to the MDF. The contact information is: ED MULCAHY, Project Manager T: (951) 278-0400 | M: (951) 264-9953 CROWN CASTLE FIBER 226 North Lincoln Avenue, Corona, CA 92882 CrownCastle.com
13. IDFs are to be enclosed in a security cabinet with an adequate lock, ventilation, water proof where necessary.
14. Specify SC connectors for cable terminations, flush keystones, and Cat. 6 cable. Note: Cat. 6 cable is to be specified for all horizontal Ethernet data cabling including data, VOIP, and Extron applications.
15. IDF & MDF cabinets are to be floor mounted where feasible, are not to be located in offices or classrooms, each MDF shall have one 220V/30A and one 110V/30A circuit, and each IDF shall have two (2) 110V/30A circuits. Evaluate and provide adequate HVAC for MDF/IDF rooms.
16. Provide zoning and dimming for classroom lighting so that the area in front of the teaching wall can be dimmed for easier viewing of the projected image.
17. Refer to attachment Typical IDF Layout for typical IDF configuration.
18. Typical Administration Conference Rooms shall be provided with wall mounted Digital flat screen TV(s), projector(s), projector screen, and Extron system. Confirm with District exact requirements for each school.
19. Typical Conference Rooms shall have two centered floor-mounted utility boxes that include data, power and HDMI/VGA connections. Floor boxes shall be installed so that cables can be routed up the legs of the conference table. Refer to Attachment 23 – Conference Room Table and Electrical Layout.
20. J-Hooks and Ladder Racks are acceptable means of supporting above-ceiling voice and data cabling.

27 30 00 – Voice Communications

SPECIFICATION SECTION	DESCRIPTION	SPECIFIED MFRS	APPROVED MFRS	COMMENTS
	IP Intercom / PA	Rauand-Borg		Telecenter VOIP; Refer to Attachment 22

NOTES

1. Provide CFCI equipment and installation for an operational telephone system. District Standard is Rauland-Borg Telecenter IP System at existing sites with this

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- telephone system. Handsets shall be Cisco Model No. CP-7841. Refer to Attachment 22 - Rauland Telecenter Specification Gateway.
2. Provide CFCI equipment and installation for an operational PA/Intercom System to interface with existing Rauland-Borg System or provide Telecor eSeries system at new campuses.
 2. No master clock feature – specify battery-powered, 12” minimum diameter face, wall hung clocks (LaCrosse Technology WT-3121A Atomic Clocks)
 3. Specify appropriate speaker back box to accept Rauland-Borg/Telecor PA System speakers.
 4. Provide location for horn/driver to project class-pass bells to play fields -typical. For High Schools, locate same at remote/out building(s) to ensure adequate coverage.
 5. For the Cisco VOIP system which is OFOI, however, include in the design the following scope: CAT-6 wiring, jacks, and conduit pathway,. This system is used at new campuses or interfaces with existing campus’ Cisco VOIP telephone system.
 6. Provide two (2) 1” GRC conduits with roof penetrations to 2’0” above finished roof for base radio antenna, above office area. Antenna wire does not require conduit in accessible above ceiling locations.

27 30 10 - Sound Reinforcement System

<i>SPECIFICATION SECTION</i>	<i>DESCRIPTION</i>	<i>COMMENTS</i>
	<ul style="list-style-type: none"> • Biamp Audia SOLO- Digital Audio Platform • Middle Atlantic Products USC-6R AC Power Sequencer • Biamp Accessory- Volume/ Select 8 Control panel • Pair of Electro Voice Speakers SX500+ with Mb500 Wall Mount Brackets • DVD Player • QSC Amplifiers • LCD Projector • Chief RPA Series Mounting Brackets • Rack Unut • Motorized Screen 	MPR Rooms, Gyms. CFCI

NOTES

1. MPR and Gymnasiums shall be provided with facilities to support AV equipment, projection system, and localized PA system as CFCI.
2. Extron System is required in MPR for stage teaching station and also for MPR directed to Stage Platform; provide electrical operated projection screen for Stage Platform.

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3. In MPR rooms, provide two microphone wall receptacles at stages, and two microphone floor jacks, location to be confirmed with the District. Provide two wireless microphone remote antennas at line of sight location near rear of stage.
4. Install ALS FM antenna at line of sight location near rear of stage.