



Addendum No 001 Narrative

March 07, 2024

To Drawings and Specifications dated October 5, 2023

Walnut Grove Intermediate School – Science Classroom Modernization **West Covina Unified School District**

Prepared by: PBK
8363 Rochester Ave
Rancho Cucamonga, CA 91730

PBK Project No.: 202117
DSA A#: A# 03-123048
DSA File No.: 19-110

Notice to Bidders:

- A. Receipt of this addendum shall be acknowledged on the bid form.
- B. This addendum forms part of the contract documents for the above-referenced project and shall be incorporated integrally therewith.
- C. Each bidder shall make necessary adjustments and submit his bid with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original contract documents, this addendum shall govern.

Drawings: (Refer to revision clouds and Delta 1)

1. Item No. AD1-G0.02:
 - A) Keynote 22.10 - Added detail reference 6/A2.21.
2. Item No. AD1-G0.021:
 - B) Populated the empty Occupant Load Room Tag for Classroom 22 and centered it in the room.
3. Item No. AD1-D2.01:
 - A) Fixed spelling on Keynote D46 "Mountain" to "Mounting"
 - B) Classroom 18, East wall - Added "TYP. Of 4" at the end of keynote D14 "(E) Structure column and footing to remain, protect in place."
 - C) Room 19, North wall – Replaced keynote D75 "Demolish existing wall, door, and frame" with keynote D67 "Demolish Wall, (E) Columns to protect in place (Where Occurs)."
 - D) Modified Dimensions on trenching from 4'-0" to 6'-0" and added +/- to trench dimensions.
 - E) Added Demolition note 32, which states "trenching demolition is approximate and needs to be coordinated with actual field conditions and detail requirements. see the remodel plan for additional information.
4. Item No. AD1-A1.01:
 - A) Edited keynote 02.09 to state "(E) Planting area protect in place."
 - B) Edited keynote 02.18 to state "(E) Concrete walkway to remain protect in place."
 - C) Detail 15 – Sign Post Footing – Note 2% slope on top of the footing to divert water away from the sign post.

- D) Added keynote 32.06 which states “Parking Bumper – per detail 16/A1.01”
- E) Added keynote 32.07 which states “Accessible parking symbol – per detail 17/A1.01”
- F) Detail 5 Enlarged Partial Remodel Parking Lot #1 - Added keynote 32.06 and 32.07.

5. Item No. AD1-A2.01:

- A) Wall between rooms 19 and 22 – Added wall tag for a new wall partition.
- B) Modified General construction notes numbering.
- C) Added note 16, which states “trenching demolition is approximate and needs to be coordinated with actual field conditions and detail requirements.”

6. Item No. AD1-A2.21:

- A) Details 3 and 5 - Edited bubble callout view reference on the remodel plan legend to 10/A10.01 instead of 21/A10.01
- B) Details 3 and 5
 - a. Added keynote 02.04 which states “(E) Floor finish to remain, protect in place.”
 - b. Added keynote 02.52 - “(E) Grab bars to be removed and reinstall at accessible height per detail 5/A10.01.
 - c. Added keynote 02.53 - (E) toilet paper dispenser to be removed and relocated per detail 5/A10.01”
- C) Details 9A & 11A – “Added Keynote 2.53, (E) toilet paper dispenser to be removed and relocated per detail 5/A10.01”
- D) Detail 11C - Added keynote 02.48 which states “(E) Furred wall protect in place”.
- E) Details 11, 11A & 11B – added keynote 02.52 which states “(E) Grab bars to be removed and reinstall at accessible height per detail 5/A10.01
- F) Details 9, 9A & 9D – added keynote 02.52 which states “(E) Grab bars to be removed and reinstall at accessible height per detail 5/A10.01.
- G) Fixed spelling on keynote 22.04 to state “Mounting” instead of Mountain.
- H) Edited viewport 11 title to “Interior Elevations – Girls restroom 104.
- I) Added Crosshatch region to Viewports 9A, 9D, 11A, and 11B to indicate areas that will need patch and repair as needed.
- J) Added a dimension from face-to-face wall on viewport 5.
- K) Added note 11 which states “Remove (E) Accessories affected by work” on the notes section.

7. Item No. AD1-A6.01:

- A) Edited details 16 and 17 by removing the upper cabinets from the details.
- B) Added bubble callout view references (14/A6.01, 15/A6.01, 16/A6.01, and 17/A5.01) to viewport 5.

8. Item No. AD1-M6.01:

- A) Detail 19 – Modified note 1 and added note 2
- B) Added Detail 4 - Flexible Ductwork Hanger Detail
- C) Added Detail 6 - Typical Hanger Support Detail.

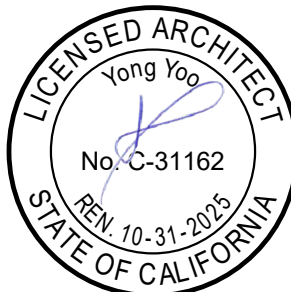
9. Item No. AD1-P6.01:

- A) Detail 2 – Modified detail 2 to separate gas and electrical conduits as needed for trenching.

PBK ARCHITECTS

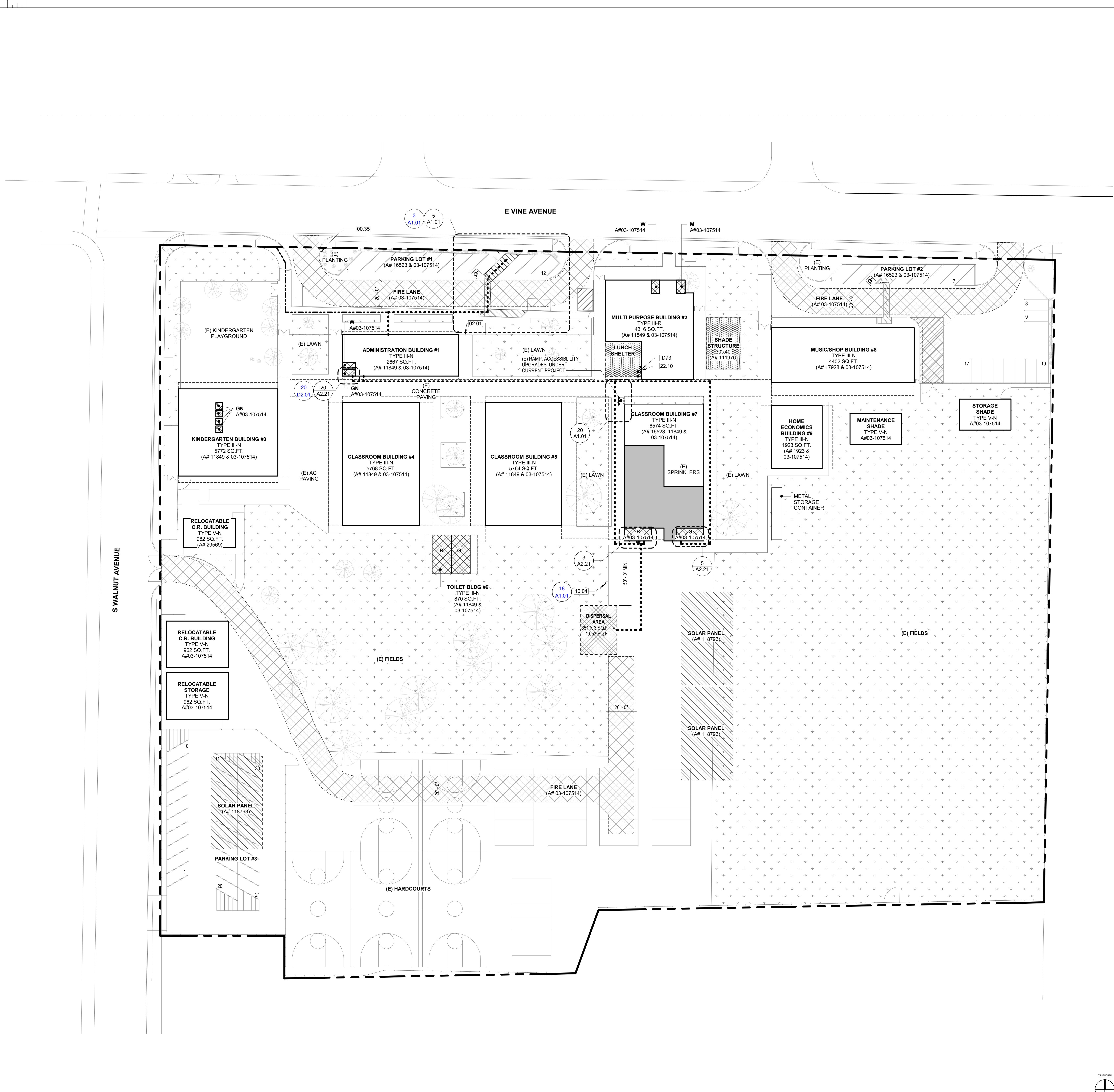
By _____

Yong Yoo, AIA



END OF ADDENDUM NO. 01

Project No. 220117 – Addendum No. 01



ACCESSIBILITY KEYED NOTES

#	Description
00.35	(E) SITE ACCESS SIGN PER A#03-107514, PROTECT IN PLACE
02.01	(E) METAL FENCE
10.04	SAFE DISPERSAL SIGN PER DETAIL, 18/A1.01
22.10	ACCESSIBLE LOW CHILLED DRINKING FOUNTAIN WITH BOTTLE FILLER, SEE DT 6/A2.21 AND STEEL PIPE RAILS AND FOOTINGS. REPAIR CONC. AS NEEDED

DEMOLITION KEYED NOTES

#	Description
D73	DEMOLISH (E) DRINKING FOUNTAIN AND PIPE RAILS, SAWCUT SLAB IN PREPARATION FOR NEW PIPE RAILS

ACCESSIBILITY LEGEND

-----	PATH OF TRAVEL UNDER CURRENT PROJECT
.....	(E) PATH OF TRAVEL (A#03 107514)
---	PROPERTY LINE
■	AREA IN SCOPE OF WORK
□	(E) BUILDING NOT IN SCOPE
▨	(E) LUNCH SHELTER / (E) SHADE STRUCTURE
▩	(E) ACCESSIBLE RESTROOM
▧	(E) BOYS RESTROOM
▦	(E) GIRLS RESTROOM
▤	(E) MEN RESTROOM
▣	(E) WOMEN RESTROOM
▢	(E) GENDER NEUTRAL RESTROOM
▧	(E) FIRE LANE
▨	(E) SOLAR PANELS

DSA PROJECT STATUS

DSA PROJECT STATUS AS OF 2/22/2023
DSA#S ASSOCIATED IN WITH AREA OF SCOPE OF WORK

APP ID	PROJECT NAME	CERTIFIED LETTER TYPE	DATE
1923	---	CLOSED	
11849	---	CLOSED	
16523	---	CLOSED	
17928	---	CLOSED	
29560	---	CLOSED	
03-107514	CORONADO ALTERNATIVE SCHOOL Alterations to 1-Admin, Bldg 1, C.R. Bldg 4, 5, 7, M.P. Bldg 2, K.G. Bldg 3, Toilet Bldg 6, Music/Shop Bldg 8, Home Economic Bldg 9 (A#11849, A#16523, A#17928); (1) C.R. Bldg (Relocatable) (A#29560), Site Work	#2-CERTIFICATION & CLOSE OF FILE PER EDU	1/8/2019
03-111976	WALNUT GROVE MIDDLE SCHOOL CONSTRUCTION OF 1 - SHADE STRUCTURE(S) (307407)	#1-CERTIFICATION & CLOSE OF FILE	6/21/21
03 118793	WALNUT GROVE INTERMEDIATE CONSTRUCTION OF 3-SOLAR PANEL STRUCTURES- PC 04-115627, RELATED SITE WORK.	DSA 301P NOTIFICATION OF REQUIREMENT FOR CERTIFICATION	1/20/2021

PATH OF TRAVEL

PATH OF TRAVEL (P.O.T.) AS INDICATED MEETS THE FOLLOWING REQUIREMENTS:

- IS A BARRIER-FREE ACCESSIBLE ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" SEVERED AT A SLOPE NOT STEEPER THAN 1:2 EXCEPT THAT LEVEL CHANGES ARE 1/4" MAX. VERTICAL & IS AT LEAST 48" WIDE.
- SURFACE SHALL BE STABLE, FIRM AND SLIP RESISTANT.
- CROSS-SLOPE SHALL NOT BE STEEPER THAN 1:48 AND RUNNING SLOPE SHALL NOT BE STEEPER THAN 1:20 UNLESS OTHERWISE INDICATED (CBC 11B-403.3).
- P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (CBC 11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL SURFACE BETWEEN 27" AND 80" ABOVE FINISH FLOOR OR GROUND (CBC 11B-307.2).
- PROVIDE FLUSH TRANSITIONS AT ANY ADJOINING JOINTS BETWEEN DIFFERENT WALK SURFACES IN P.O.T.
- ARCHITECT TO VERIFY THERE ARE NO BARRIERS IN THE P.O.T. AND ALL P.O.T. COMPLY WITH CBC 11B-206.

***DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:**
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECTS WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.*

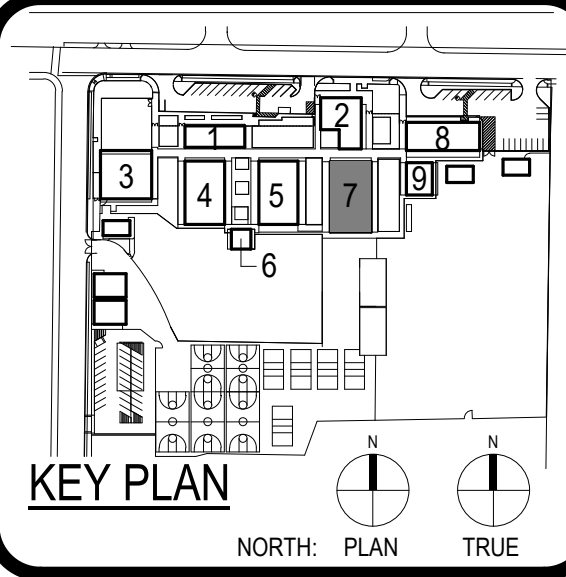
PARKING CALCULATION

(E) PARKING LOT 1 (A# 16523 & 03-107514):	
STANDARD STALLS	12
VAN ACCESSIBLE STALLS	1
STD ACCESSIBLE STALLS	0
TOTAL P-LOT 1 STALLS	13
(E) PARKING LOT 2 VISITOR (A# 16523 & 03-107514):	
STANDARD STALLS	16
VAN ACCESSIBLE STALLS	1
STD ACCESSIBLE STALLS	0
TOTAL P-LOT 2 STALLS	17
(E) PARKING LOT 3 (STAFF):	
STANDARD STALLS	30
VAN ACCESSIBLE STALLS	0
STD ACCESSIBLE STALLS	0
TOTAL P-LOT 3 STALLS	30
TOTAL STALLS ON SITE	60

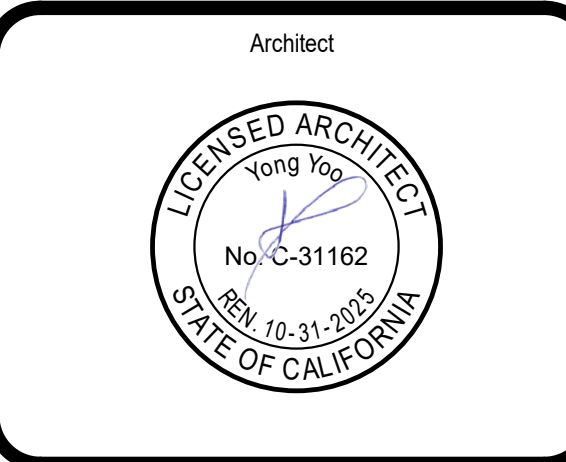


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WALNUT GROVE I.S. - SCIENCE CLASSROOM MODERNIZATION



Consultant



CLIENT		
WEST COVINA USD		
DATE	PROJECT NUMBER	
05/09/2023	220117	
REVISIONS		
No.	Description	Date
1	ADDENDUM 001	03-07-2024

DSA BACKCHECK

ACCESSIBLE SITE PLAN




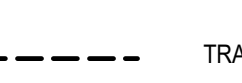





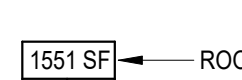
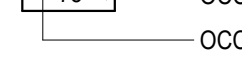
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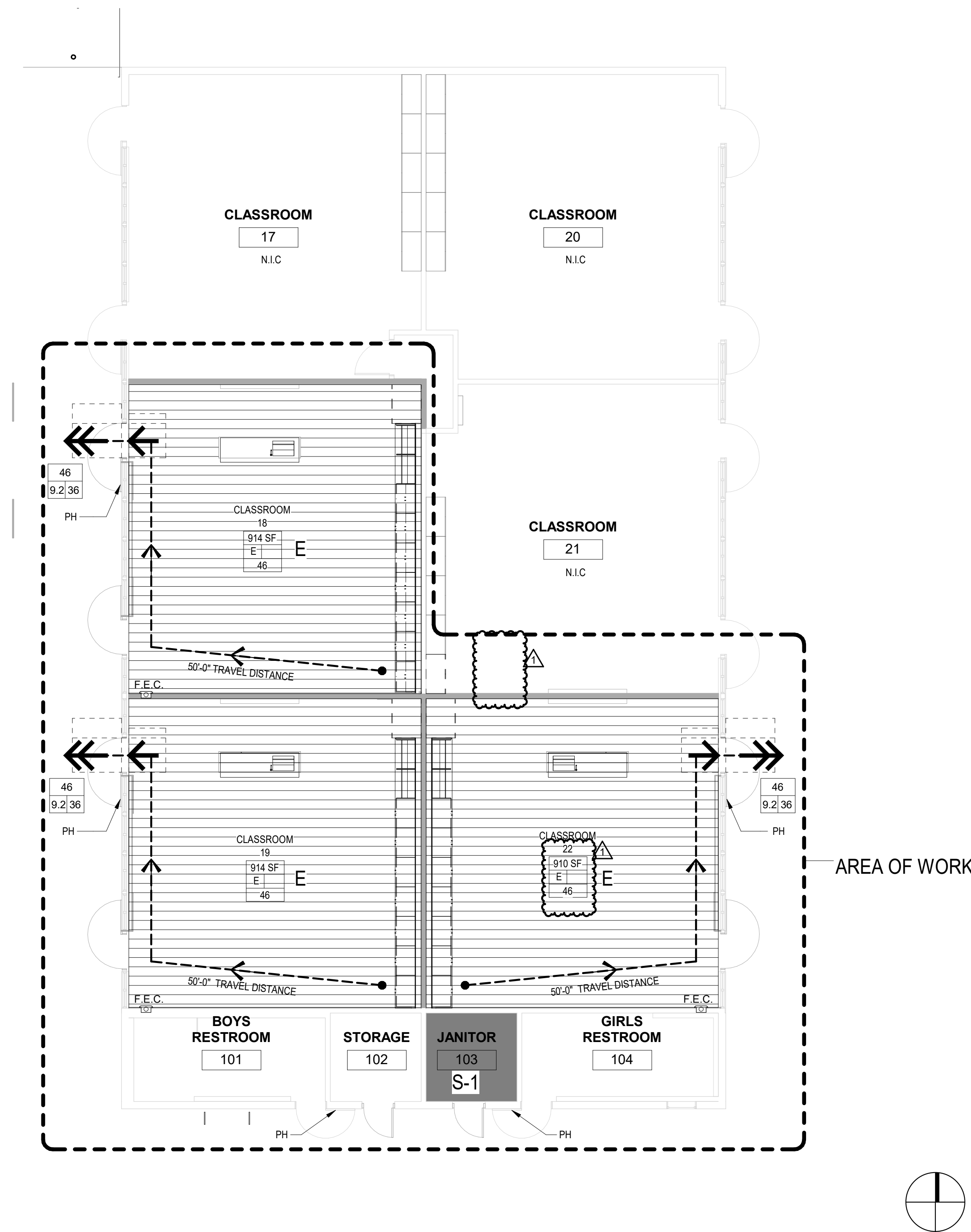
22 NOT USED

6 NOT USED

4 LIFE SAFETY PLAN
1/8" = 1'-0"

CODE PLAN LEGEND

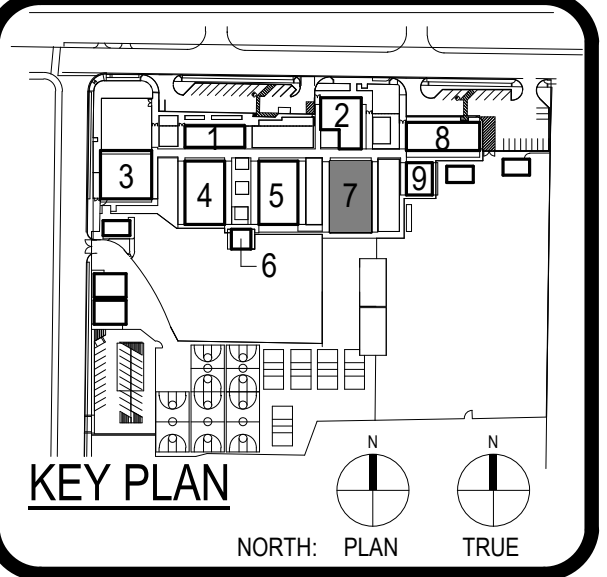
-  N.I.C.
-  E - EDUCATIONAL
-  S-1: MODERATE HAZARD STORAGE
-  TRAVEL DISTANCE
-  EXIT
-  EXIT DISCHARGE / EXIT ROUTE
-  PH PANIC HARDWARE
-  OL#60 OCCUPANT LOAD NUMBER INDICATED ON OCCUPANT LOAD SIGNAGE
-  E OCCUPANCY GROUP
-  F.E.C. FIRE EXTINGUISHER CABINET
-  ILLUMINATED EXIT SIGN, REFER TO ELECTRICAL
- | | |
|---------|---|
| 1561 SF | ROOM AREA (SQ. FT.) |
| 20 | OCCUPANT LOAD FACTOR (2022 CBC TABLE 100.4.5) |
| 78 | OCCUPANT LOAD |
| | OCCUPANCY GROUP |
- | | |
|-----|--|
| 33 | OCCUPANT LOAD EXITING THRU DOOR OPENING |
| 6.6 | PROVIDED EXIT WIDTH (INCHES) |
| 36 | REQUIRED EXIT WIDTH (INCHES) (2019 CBC SECTION 1005.3.2) |



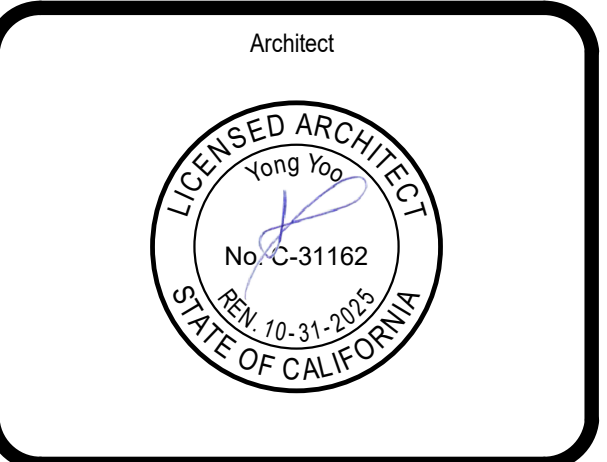
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WALNUT GROVE I.S. - SCIENCE CLASSROOM
MODERNIZATION

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DSA BACKCHECK
DSA APPL. NO. 03-123046 DSA FILE NO. 19-110



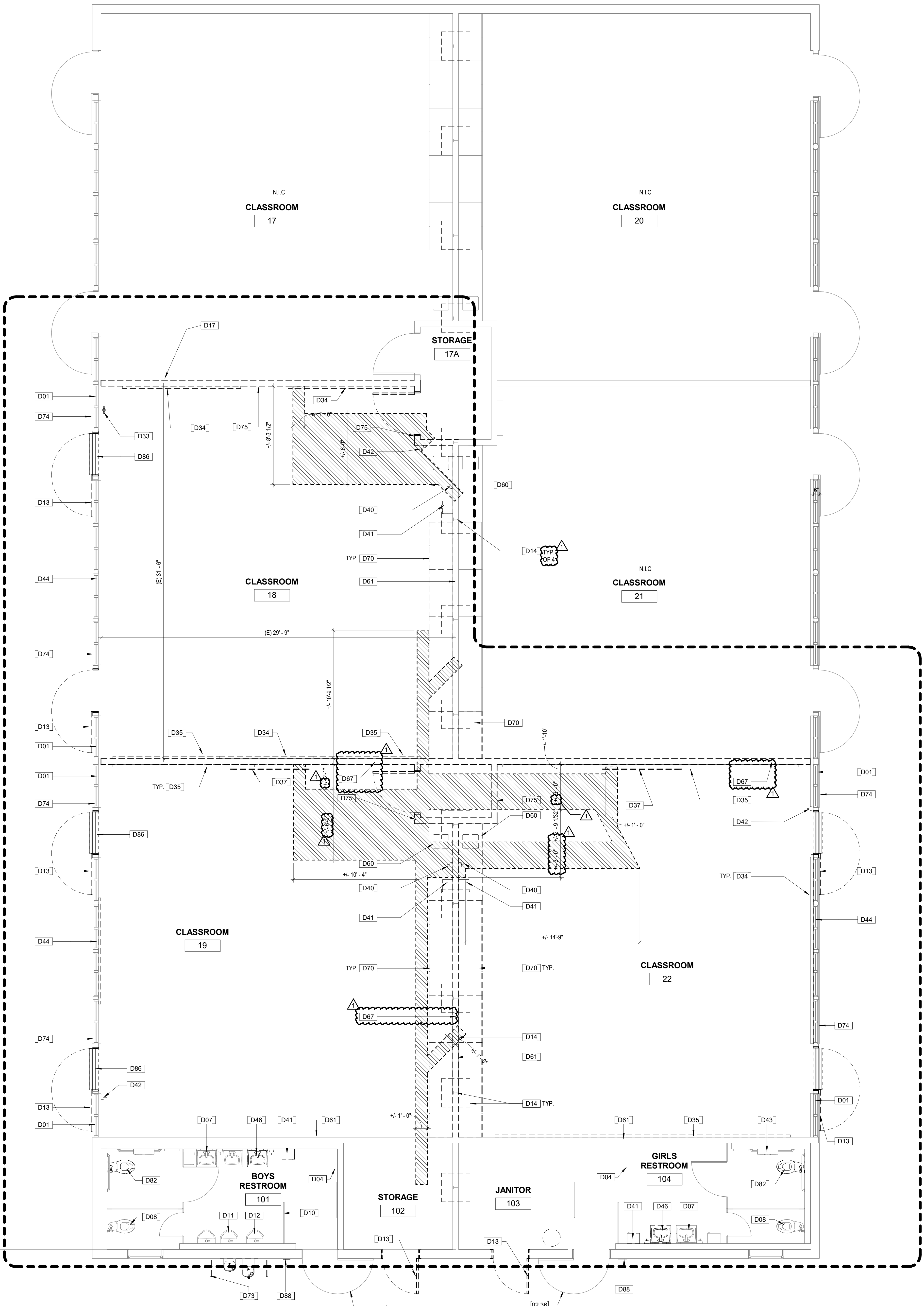
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CLIENT		WEST COVINA USD
DATE	05/09/2023	PROJECT NUMBER
		220117
REVISIONS		
No.	Description	Date
1	ADDENDUM 001	03-07-2024

DSA BACKCHECK
LIFE SAFETY EGRESS PLAN

6 DIMOLITION FLOOR PLAN - BLDG 7
1/4" = 1'-0"



DEMOLITION LEGEND

- (E) NO-RATED WALL PARTITION
- ELEMENT TO BE DEMOLISHED AS NOTED IN PLAN
- CONCRETE SLAB TO BE SAWCUT AND DEMOLISHED, REFER TO PLUMBING PLANS FOR ADDITIONAL INFORMATION
- REMOVE (E) WINDOW & FRAME IN ITS ENTIRETY
- DEMOLISH (E) DOOR & HARDWARE - (E) DOOR FRAME TO REMAIN (UNO)

20 DEMO. FLOOR PLAN - GN RESTRM
1/4" = 1'-0"

DEMOLITION KEYED NOTES

20 DEMO. FLOOR PLAN - GN RESTRM
1/4" = 1'-0"

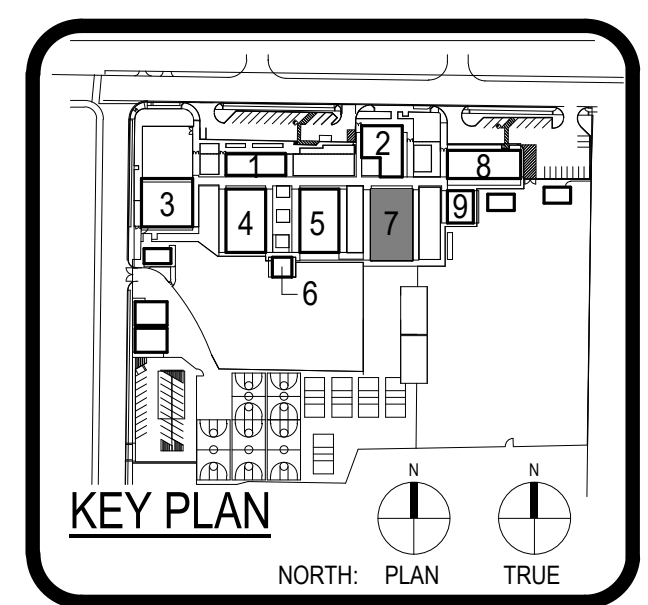
BUILDING DEMOLITION NOTES

- THE DEMOLITION PLAN OUTLINES SOME OF THE SCOPE OF THE WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMO SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMERCIAL DEMOLITION ACTIVITIES. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR WILL BE REQUIRED TO REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND/OR PARKING AREAS DISTURBED BY DEMOLITION.
- CONTRACTOR WILL BE REQUIRED TO REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE, TO MATCH EXISTING ADJACENT CONSTRUCTION.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND/OR SOUND BARRIERS BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- MAINTAIN THE INTEGRITY OF ALL EXISTING RATED WALLS, FIRE SEAL ANY PENETRATIONS WITH U.L. APPROVED ASSEMBLY.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN, INCLUDING BUT NOT LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AND AS REQUIRED BY GOVERNING AUTHORITIES.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
- REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PLUMBING INSTALLATION.
- EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
- NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW UNTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED IN THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
- WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEP DRAWINGS.
- REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS & CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING.
- NOTIFY ARCHITECT & OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS SHORING FOR PROTECTION OF EXISTING STRUCTURE AND FOUNDATION TO REMAIN.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS NOTED OTHERWISE.
- THE REMAINING DEMOLITION IS APPROPRIATE AND NEEDS TO BE COORDINATED WITH THE ACTUAL FIELD CONDITIONS AND DETAIL REQUIREMENTS. SEE THE REMODEL PLAN FOR ADDITIONAL INFORMATION.
- ALL DEMOLITION SHALL COMPLY WITH CH. 33 & ARTICLE 33 C.P.C.

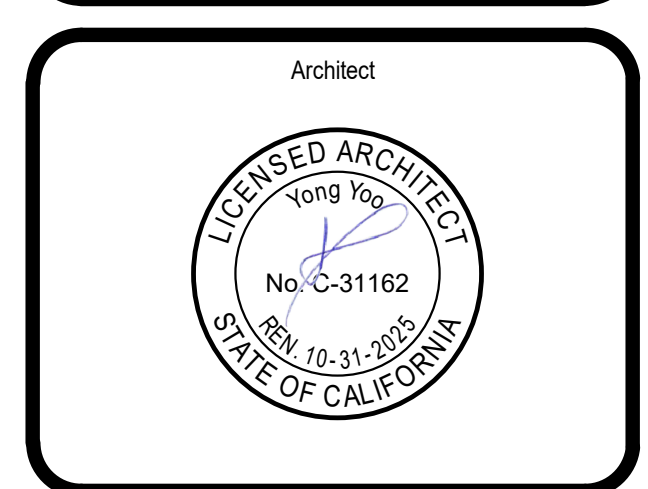


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WALNUT GROVE I.S. - SCIENCE CLASSROOM
MODERNIZATION



Consultant



CLIENT WEST COVINA USD

DATE 05/09/2023 PROJECT NUMBER 220117

REVISIONS	No.	Description	Date
1	ADDENDUM 001		03-07-2024

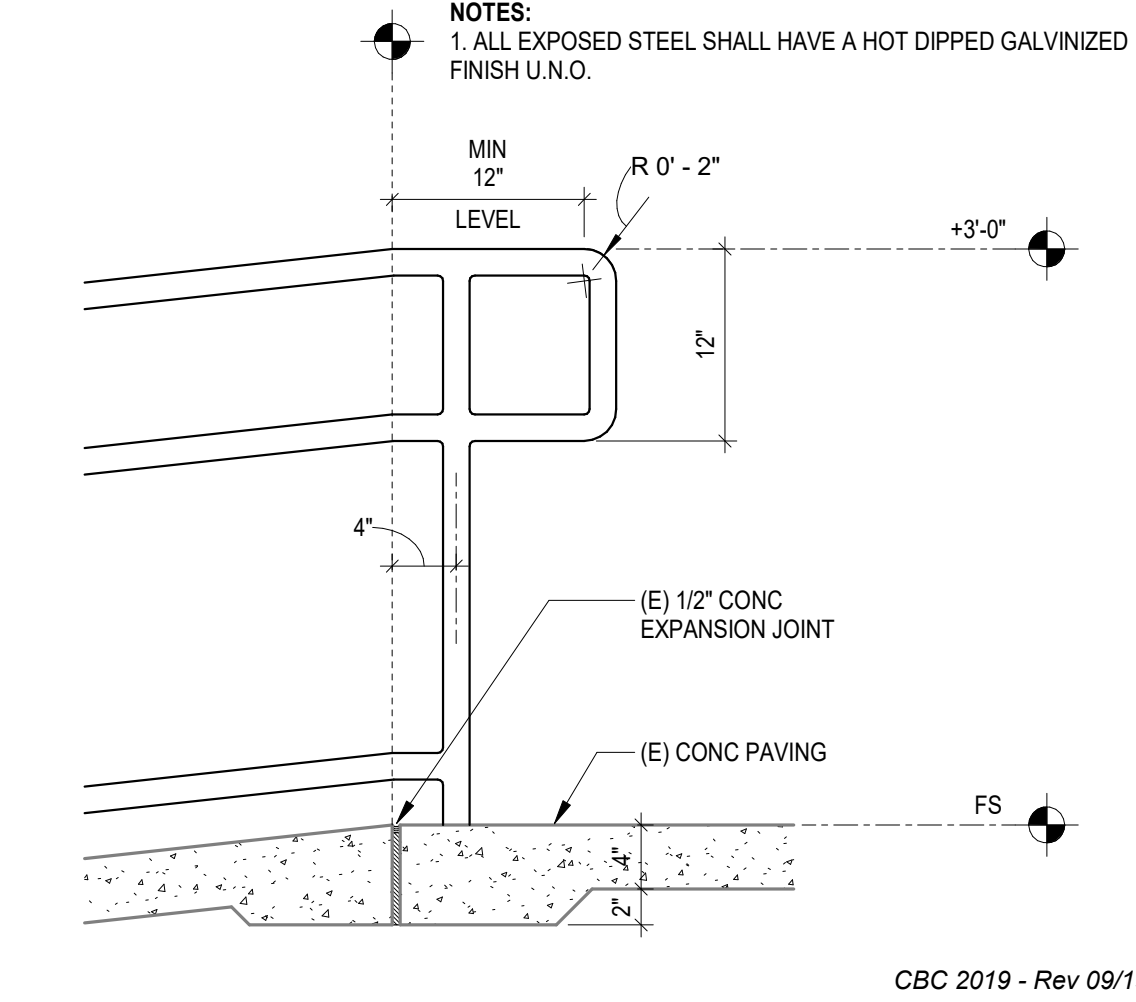
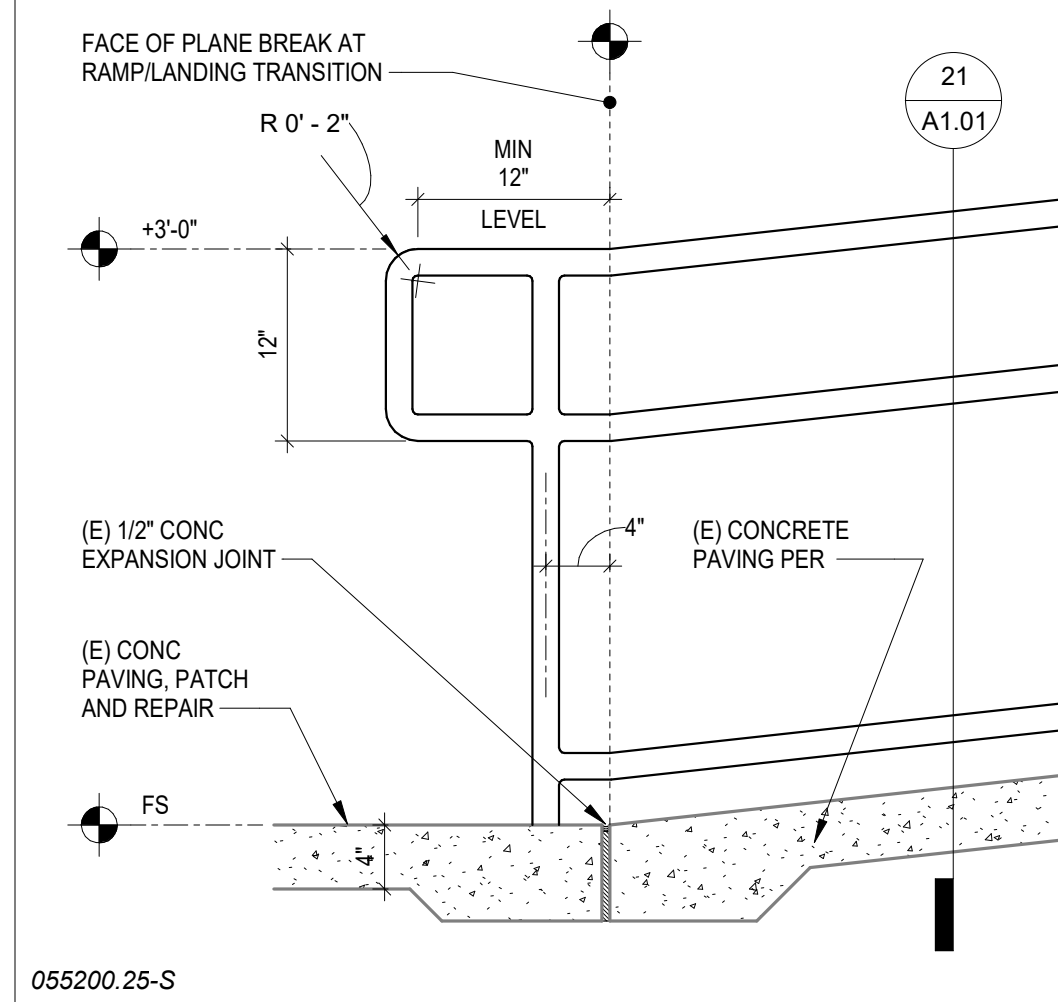
DSA BACKCHECK

DEMOLITION FLOOR PLAN - BLDG 7

30 NOT USED

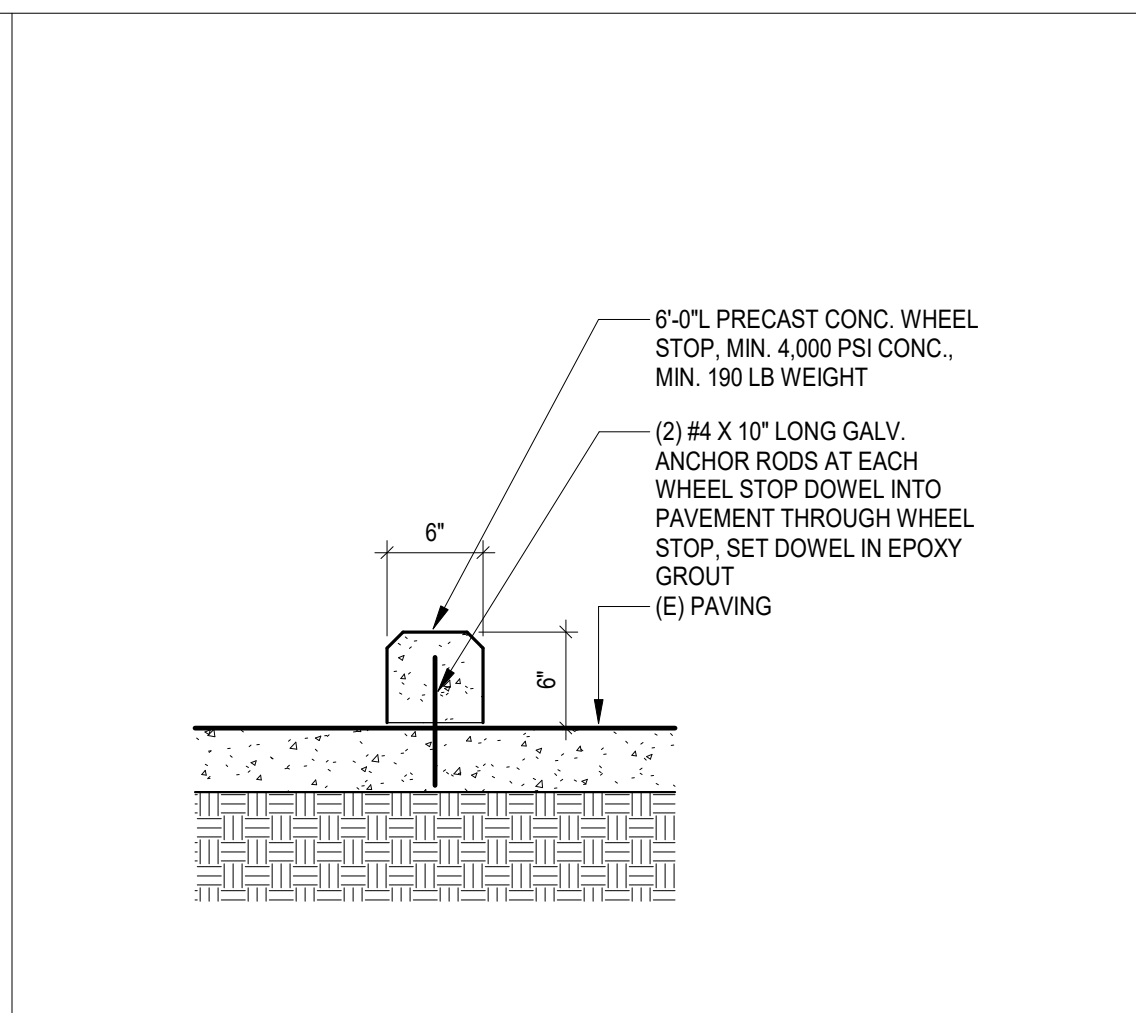
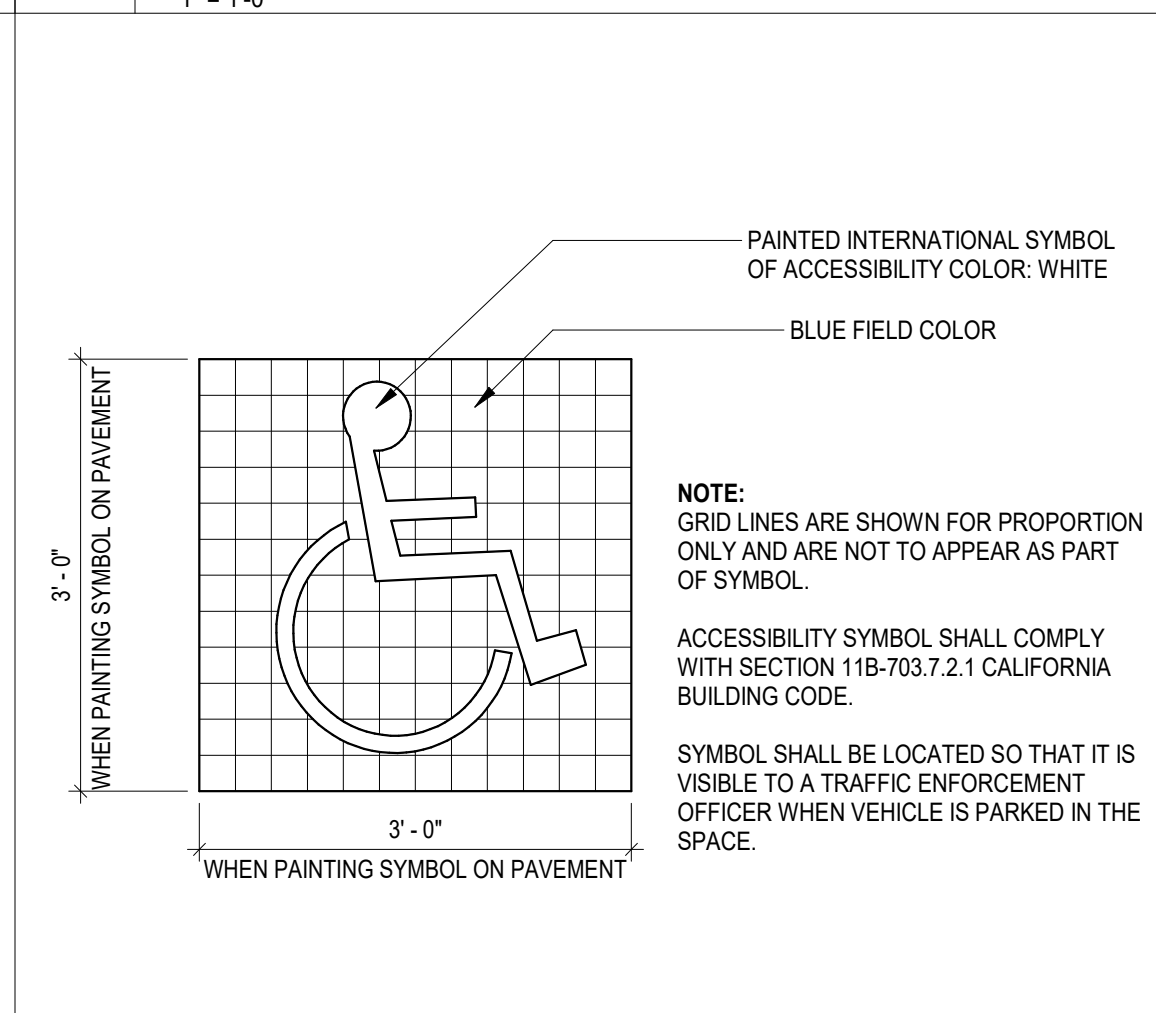
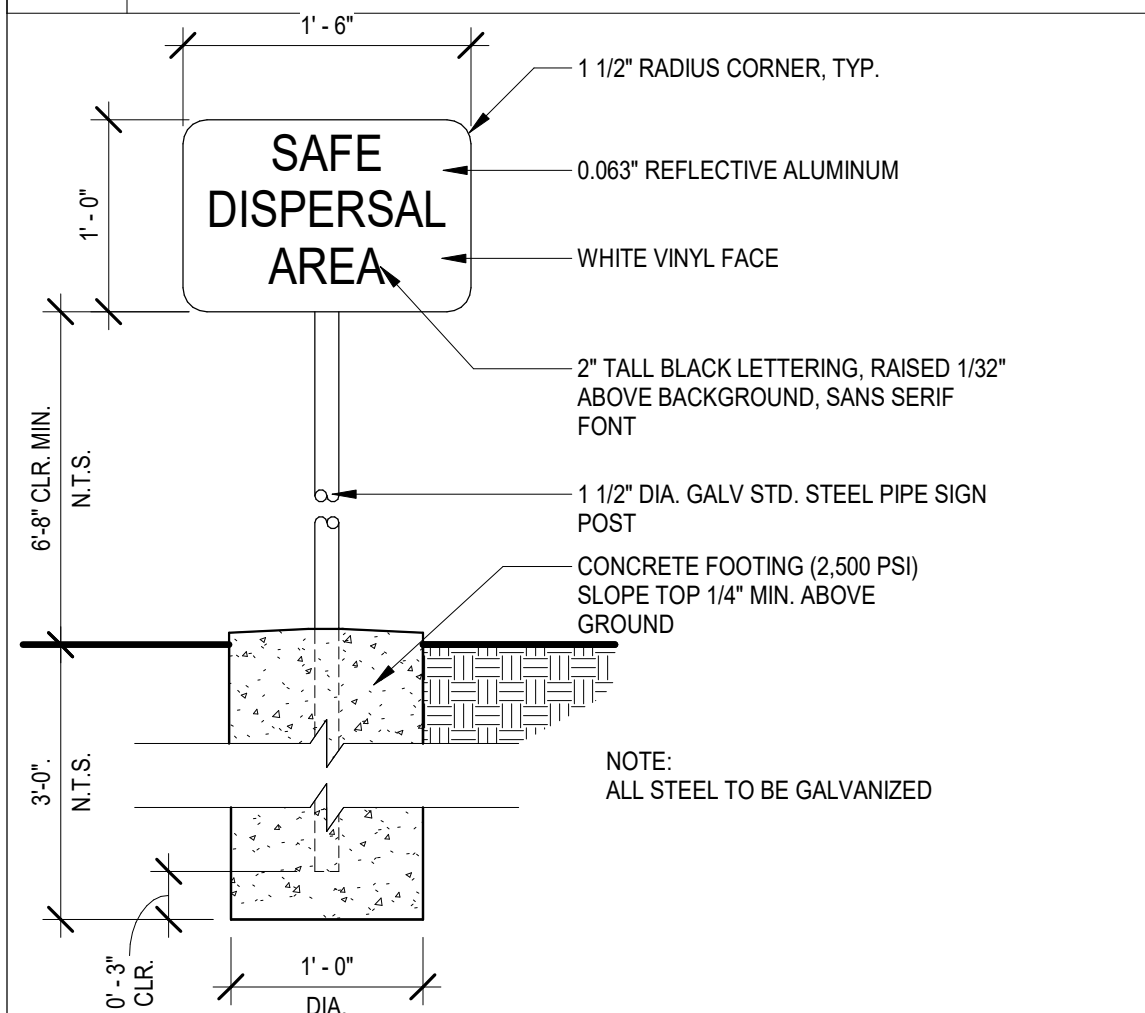
29 NOT USED

28 HANDRAIL ANCHORAGE
3" = 1'-0"



24 NOT USED

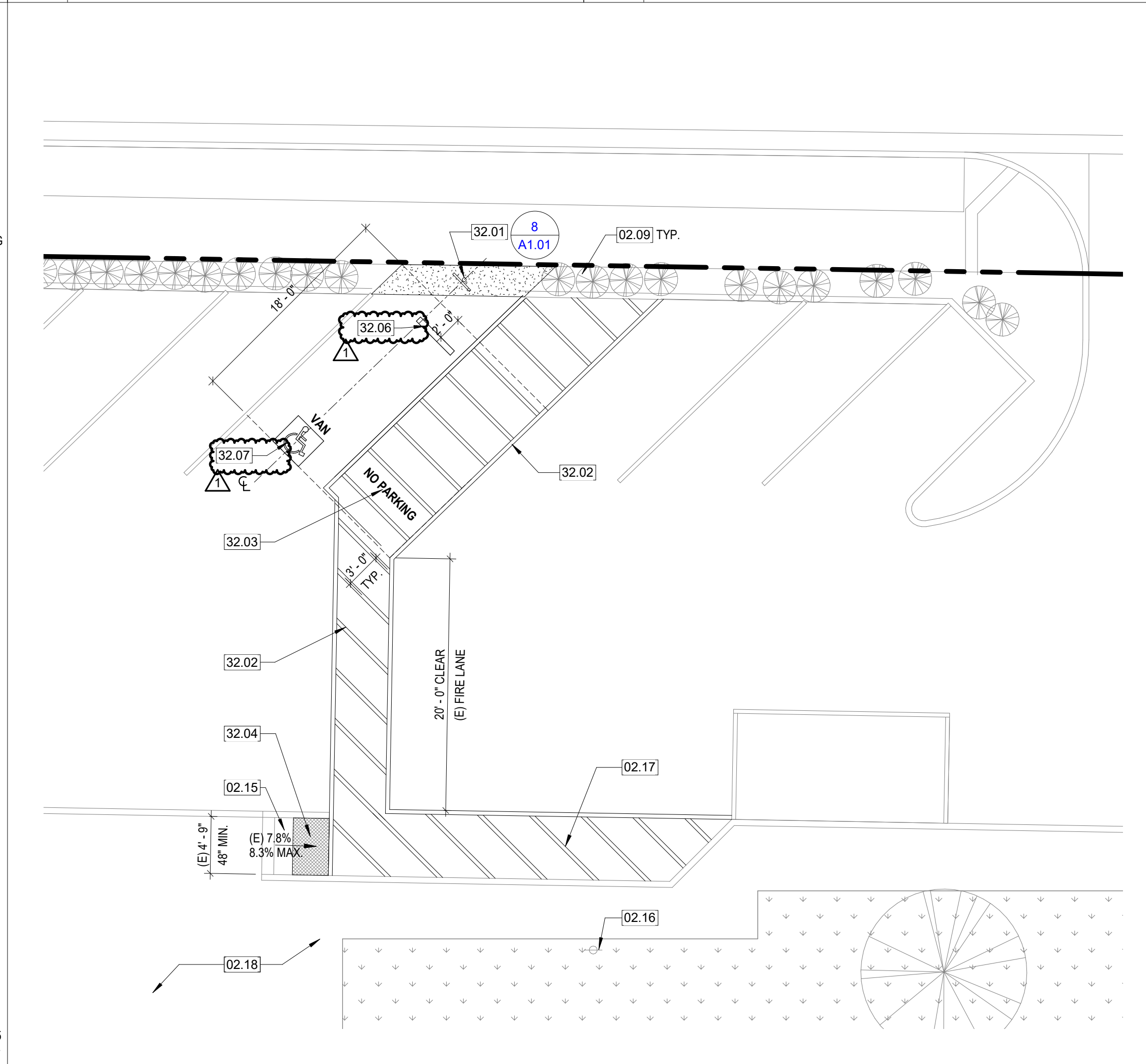
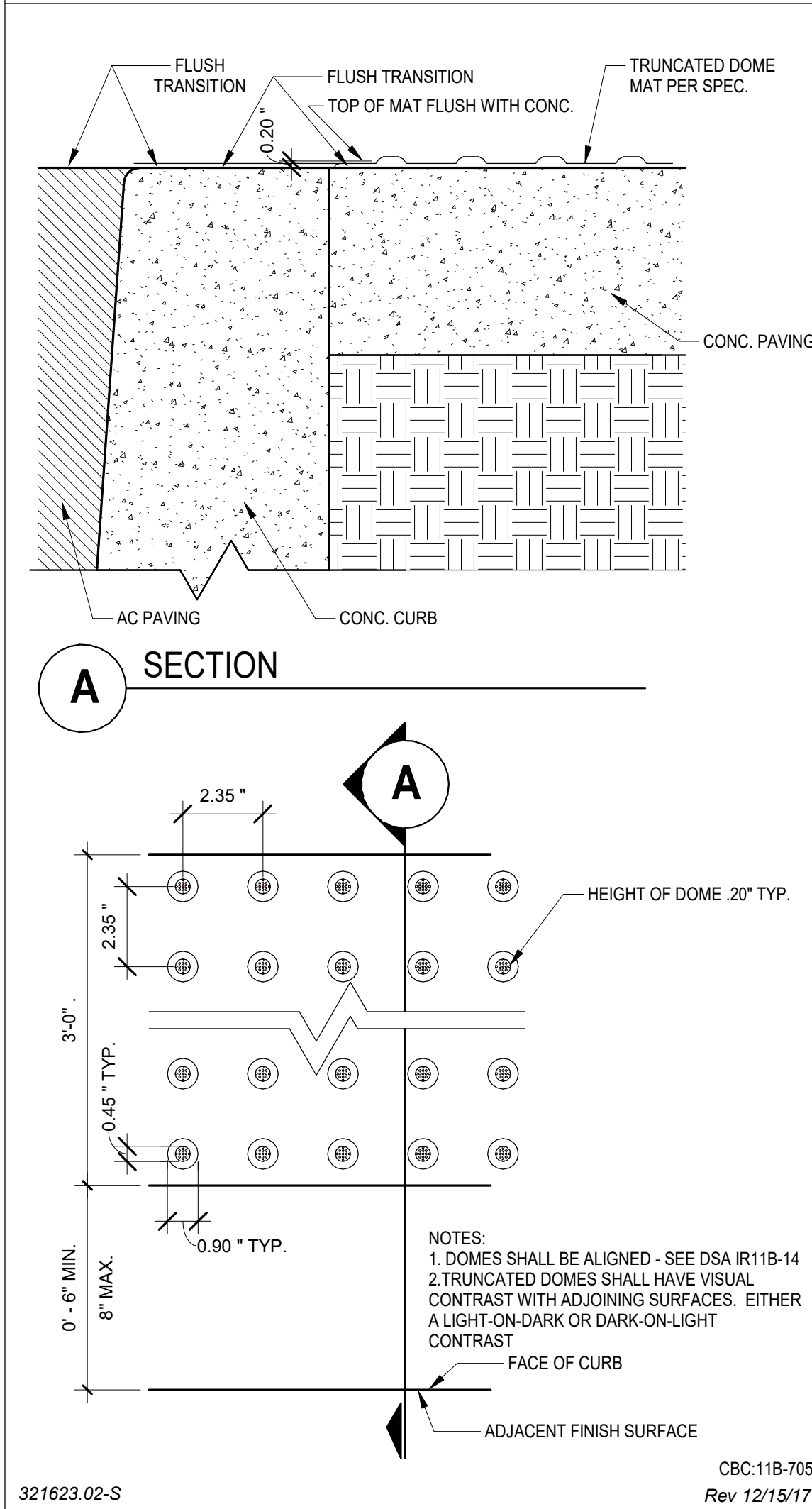
23 FREESTANDING HANDRAIL AT RAMP - ELEVATION
1" = 1'-0"



18 SAFE DISPERSAL AREA
1" = 1'-0"

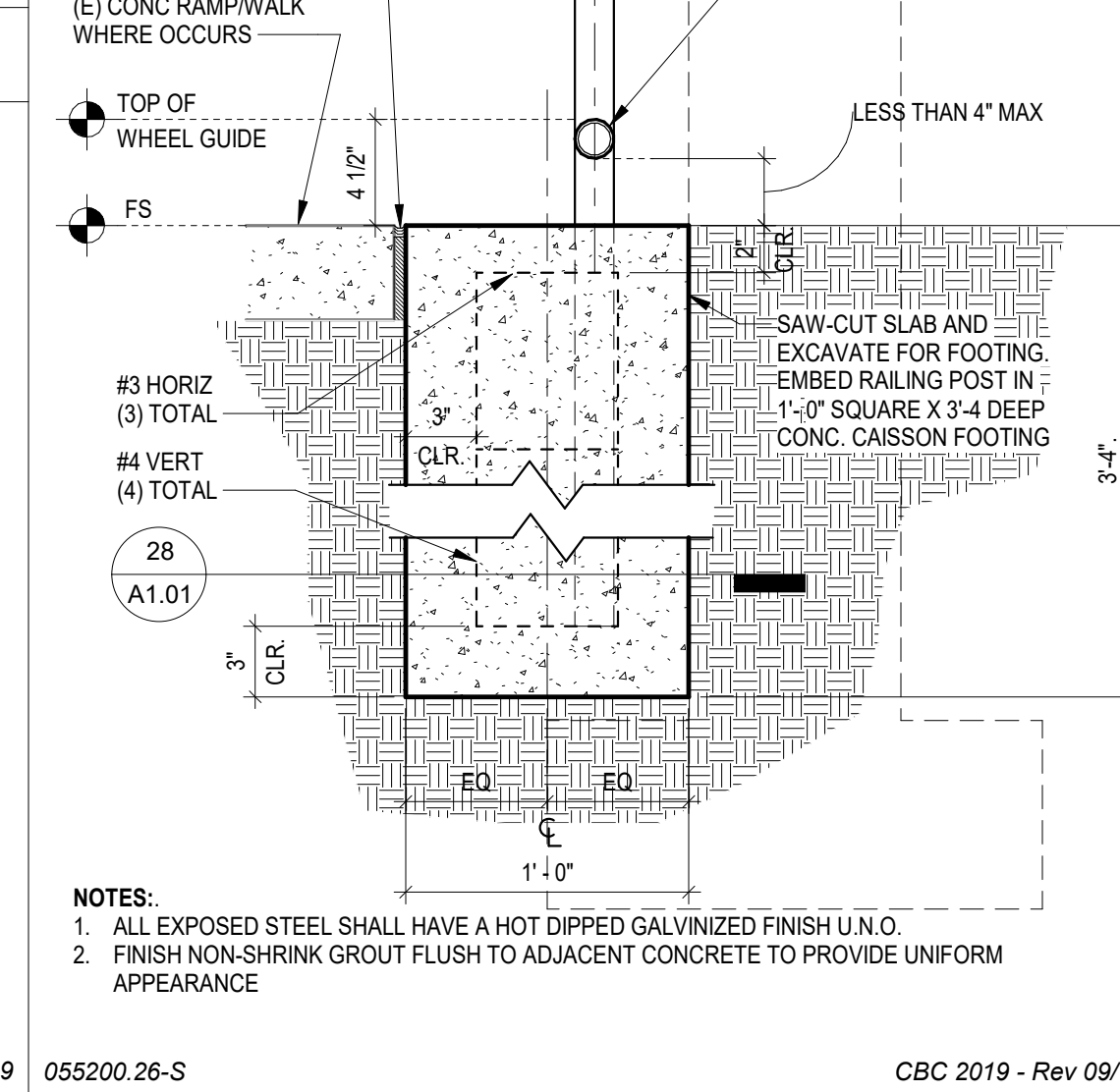
17 ACCESSIBLE PARKING SYMBOL
3/4" = 1'-0"

16 PARKING BUMPER
1" = 1'-0"

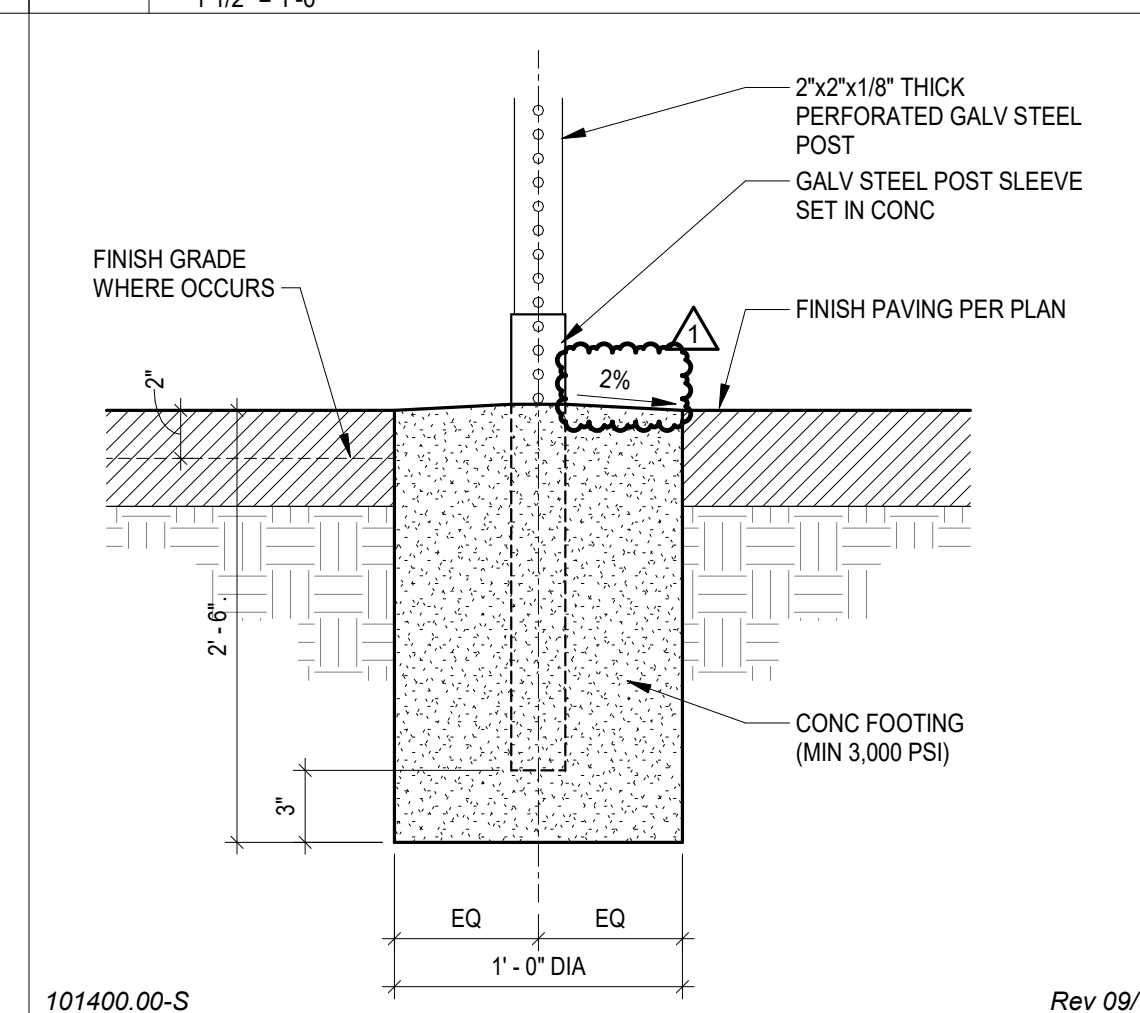


6 TRUNCATED DOME DETAIL
3" = 1'-0"

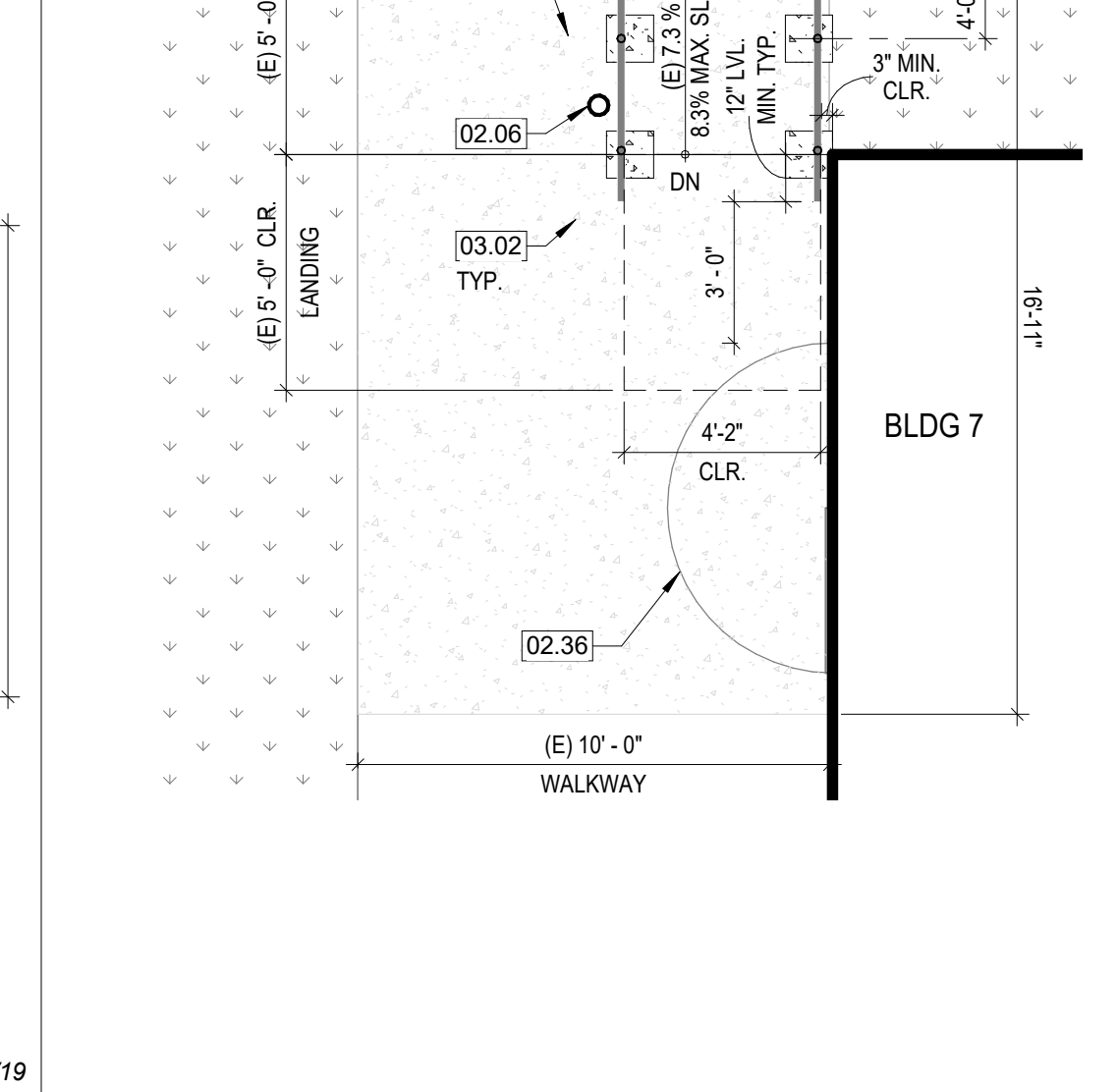
5 ENLARGED PARTIAL REMODEL PARKING LOT #1
1/8" = 1'-0"



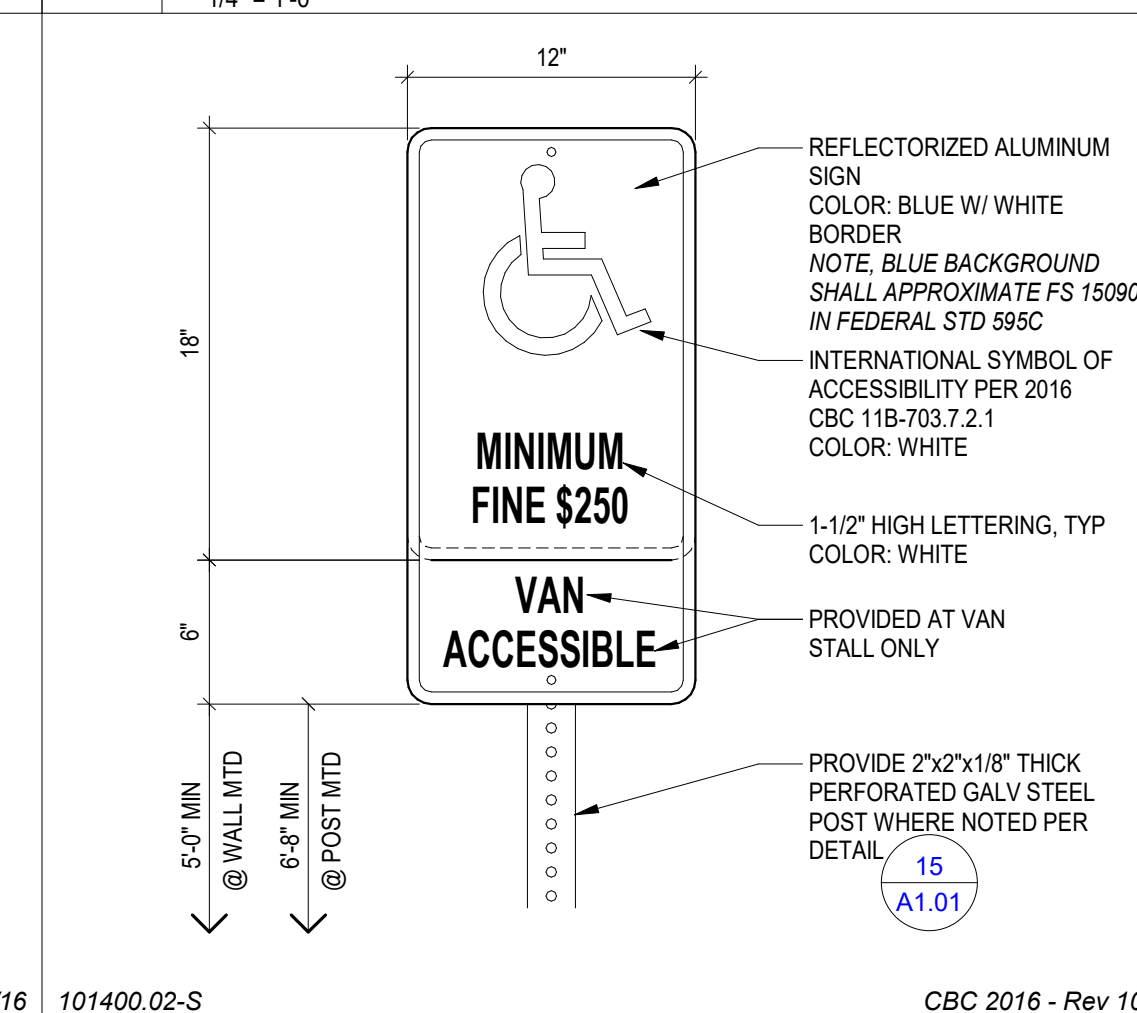
21 FREESTANDING HANDRAIL AT RAMP
1 1/2" = 1'-0"



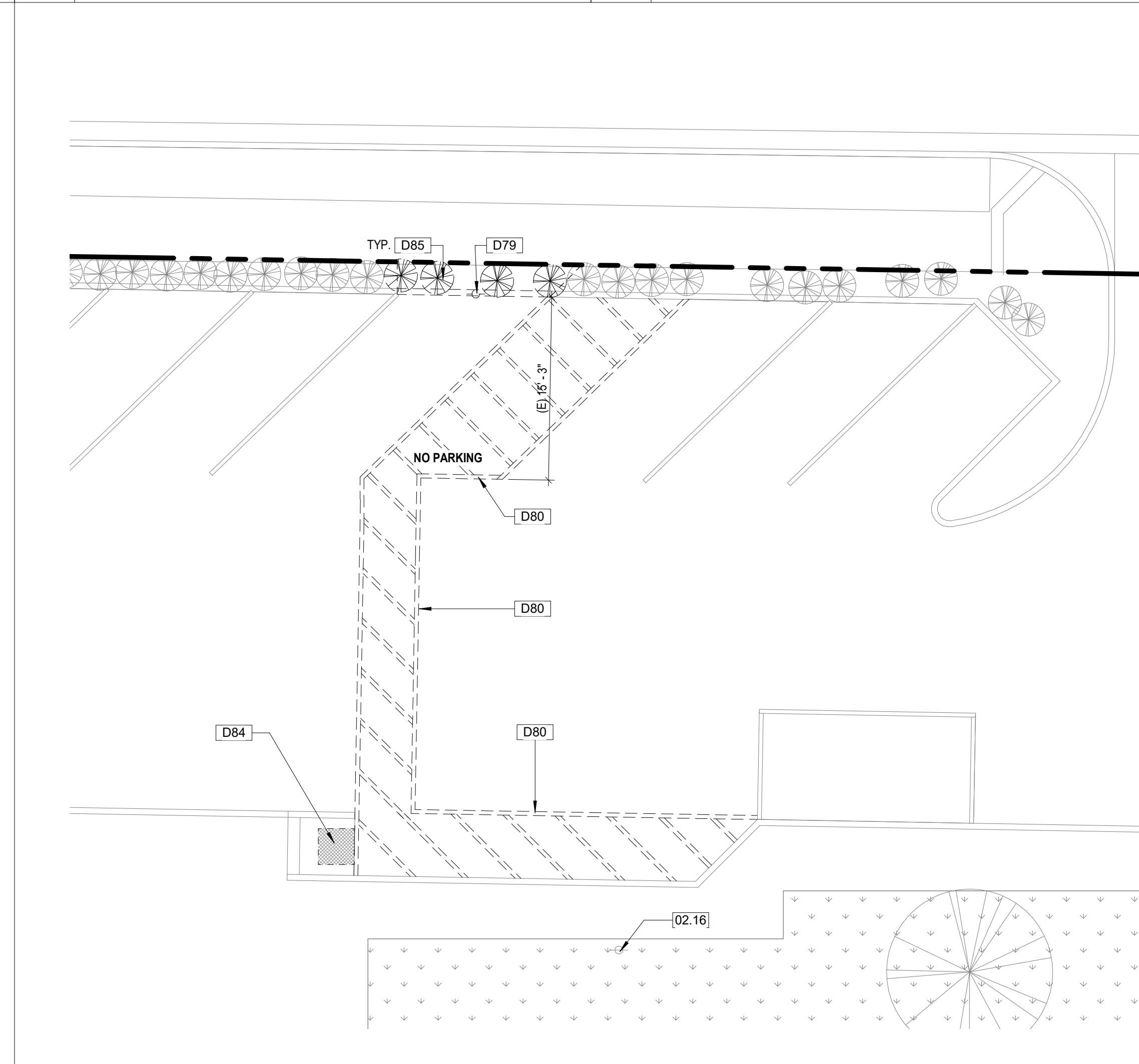
15 SIGN POST FOOTING
1 1/2" = 1'-0"



20 ENLARGED RAMP
1/4" = 1'-0"



8 ACCESSIBLE PARKING SIGN
1 1/2" = 1'-0"



3 ENLARGED PARTIAL DEMO. PARKING LOT #1
1/8" = 1'-0"

DEMOLITION KEYED NOTES

#	Description
D79	DEMOLISH (E) ACCESSIBLE VAN PARKING SIGN
D80	REMOVE (E) BLUE PARKING STRIPES PATCH AND REPAIR ASPHALT
D84	REMOVE (E) TRUNCATED DOMES
D85	(E) PLANTING TO BE REMOVED & PREPARE FOR NEW ASPHALT PAVING. CONTRACTOR SHALL REMOVE HEADS AND CAP LATERAL LINE IN AREAS AFFECTED BY NEW WORK FOR EXISTING IRRIGATION IN THIS AREA

REMODEL KEYED NOTES

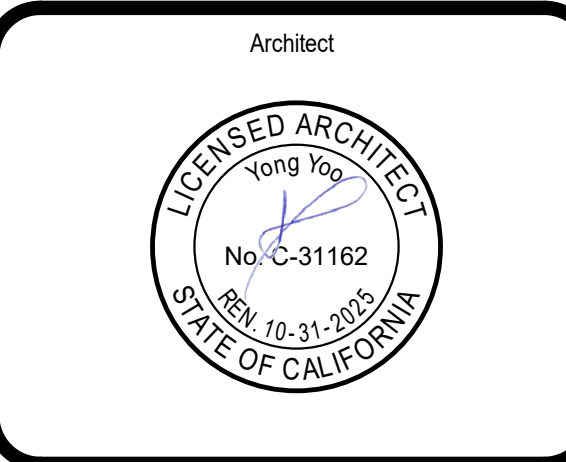
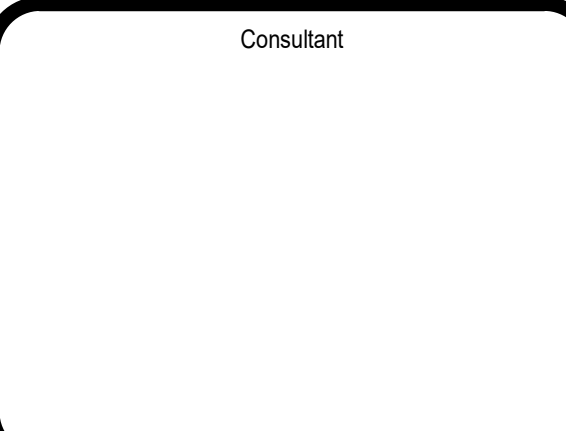
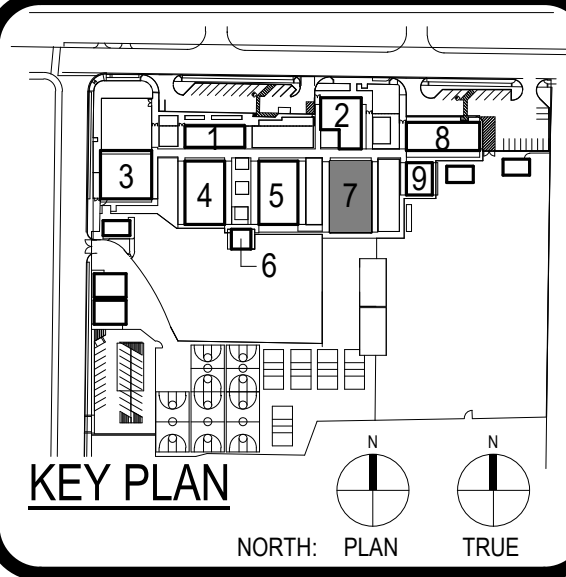
#	Description
02.06	(E) CANOPY POST TO REMAIN. PROTECT IN PLACE
02.09	(E) PLANTING AREA. PROTECT IN PLACE
02.15	(E) CURB CUT TO REMAIN. PROTECT IN PLACE
02.16	(E) ACCESSIBLE PASSENGER LOADING ZONE PER A103-107514 TO REMAIN. PROTECT IN PLACE
02.17	(E) DROP-OFF AREA PER A103-107514
02.18	(E) CONCRETE WALKWAY TO REMAIN. PROTECT IN PLACE
02.19	(E) 7.3% SLOPED CONCRETE WALKWAY
02.36	(E) DOOR TO REMAIN. PROTECT IN PLACE
03.02	PATCH AND REPAIR EXISTING CONCRETE PAVING
05.01	FREESTANDING HANDRAIL PER DETAIL 23/A1.01
32.01	ACCESSIBLE VAN PARKING SIGN
32.02	4" PARKING STRIPS. PAINT WITH BLUE TRAFFIC PAINT FOR ACCESSIBLE PARKING STALLS & CROSSWALK
32.03	12" HIGH "NO PARKING" BLOCK LETTERS (3" WIDE) PAINTED WITH WHITE TRAFFIC PAINT
32.04	TRUNCATED DOMES. REFER R/A1.01
32.06	PARKING BUMPER - PER DETAIL 16/A1.01
32.07	ACCESSIBLE PARKING SYMBOL - PER DETAIL 17/A1.01



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WALNUT GROVE I.S. - SCIENCE CLASSROOM
MODERNIZATION

PROJECT ADDRESS:
614 E. Yuma Ave.
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CLIENT		PROJECT NUMBER	
WEST COVINA USD		220117	
DATE		05/09/2023	

No.	Description	Date
1	ADDENDUM 001	03-07-2024

DSA BACKCHECK

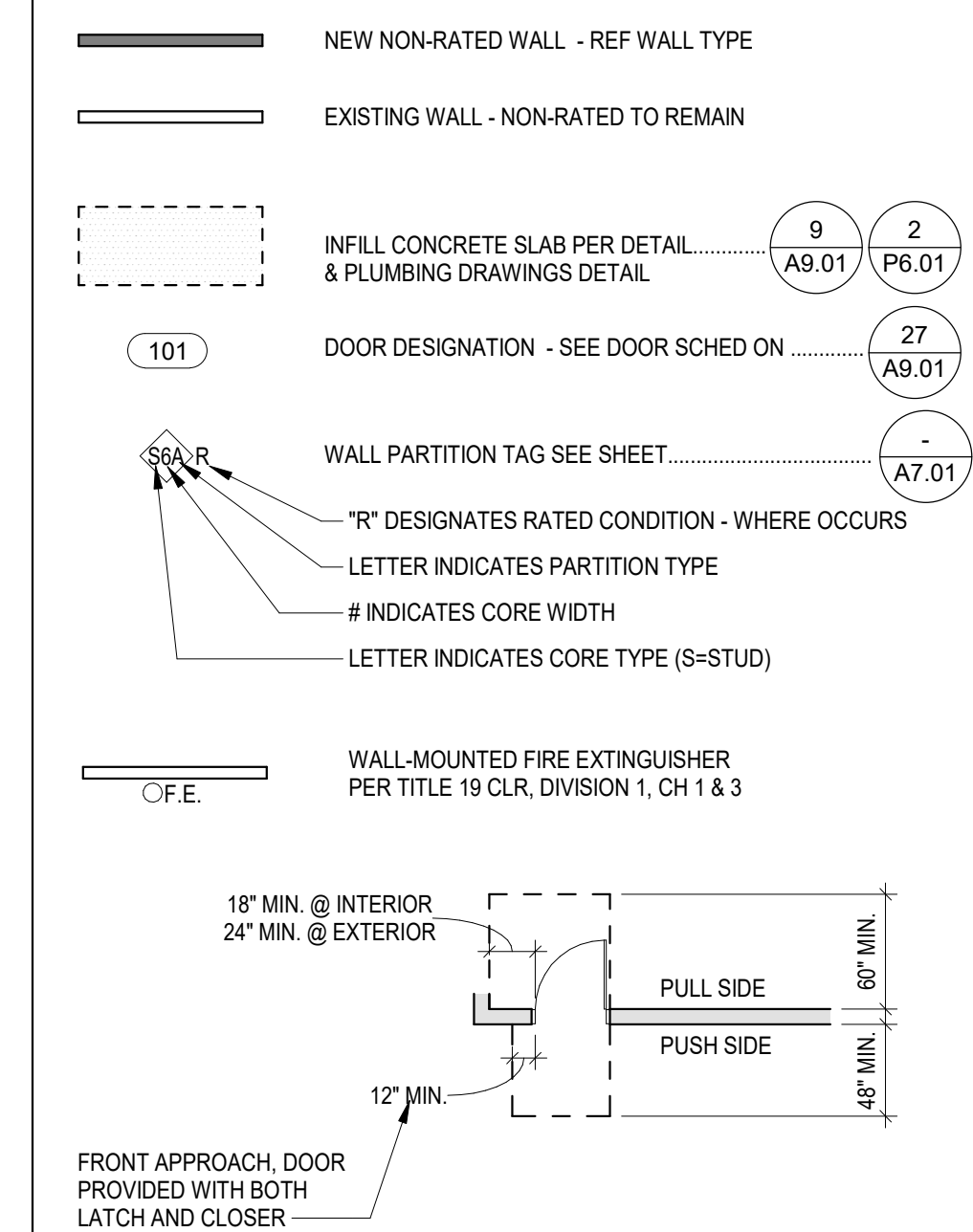
ENLARGED SITE PLAN & SITE DETAILS



REMODEL KEYED NOTES

#	Description
02.37	(E) WINDOW TO REMAIN, PROTECT IN PLACE
02.46	(E) STRUCTURE COLUMN AND FOOTING TO REMAIN, PROTECT IN PLACE
02.47	(E) TOP ROW GLASS TO REMAIN, PROTECT IN PLACE
02.49	(E) ELECTRICAL PANEL, PROTECT IN PLACE
02.51	(E) WALL TO REMAIN, PROTECT IN PLACE
08.01	DOOR PER DOOR SCHEDULE
08.02	SPANDREL GLASS AT (E) WINDOW
09.01	CHASE WALL WITH POWER/DATA OUTLETS
09.06	THRESHOLD
09.08	GYPBOARD - PAINTED U.N.O (COLOR, TO BE APPROVED BY DISTRICT)
09.11	STUB OUT FROM UNDERCOUNTER TO ABOVE CEILING FOR TECH. REFER TECH. DRAWINGS
09.15	REINSTALL (E) CARPET TO ITS ORIGINAL CONDITION
10.01	4'-0" WIDE, CUSTOM HEIGHT MAGNETIZED MARKERBOARD
10.02	SEM-RECESSED FIRE EXTINGUISHER & CABINET - 22A.10.01
10.03	FULL-HEIGHT TACKABLE WALL COVERINGS. SEE TYP. INTERIOR ELEVATIONS
10.09	ROOM IDENTIFICATION SIGN
10.10	EXIT SIGN
10.11	ASSISTIVE LISTENING SIGN
10.12	4'-0" WIDE, CUSTOM HEIGHT WHITE BOARD, V.I.F. SEE TYP. INTERIOR ELEVATIONS
10.13	CUSTOM HEIGHT TACKABLE BOARD. SEE TYP. INTERIOR ELEVATIONS
11.01	TV DISPLAY AND WALL MOUNT (OFC), CONTRACTOR TO PROVIDE BACKING, REF. ELECTRICAL & TELECOM DWGS - 8/A9.01
12.01	TALL CASEWORK
12.02	UPPER CASEWORK
12.03	BASE CASEWORK
12.04	ACCESSIBLE STUDENT STATION
12.05	DEMONSTRATION TABLE, SINK WITH HOT/COLD WATER, PROVIDE A.V. CONTROLS AND POWER/DATA OUTLETS, NO SECONDARY CONTROLS REQUIRED
12.06	ACCESSIBLE STUDENT STATION
12.07	TALL CASEWORK MATCH (E) ADJACENT IN HEIGHT, WIDTH, DEPTH, AND FINISH
12.08	EPOXY COUNTERTOP W/ BACKPLASH
22.01	SINKS (ALUMINUM) W/ GOOSENECK FAUCET, COLD WATER ONLY, REFER PLUMBING
22.02	SINKS (ALUMINUM) W/ GOOSENECK FAUCET AND EYEWASH, HOT & COLD WATER, REFER PLUMBING
22.10	ACCESSIBLE HI-LOW CHILLED DRINKING FOUNTAIN WITH BOTTLE FILLER. SEE DTL 6/A2.21 AND STEEL PIPE RAILS AND FOOTINGS. REPAIR CONC. AS NEEDED
22.13	WATER HEATER PER PLUMBING, CONCRETE PAD - 10/A.9.01

REMODEL PLAN LEGEND



GENERAL CONSTRUCTION NOTES

- VERIFY DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
- REFLECTED CEILING PLAN DIMENSIONS ARE REFERENCED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR TO FINISHED CEILING HEIGHT.
- DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF CLARIFICATION IS REQUIRED IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS, CONTACT THE ARCHITECT.
- NOTES OR DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO SITUATIONS THAT ARE THE SAME OR SIMILAR.
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- ALL FLOORS FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH CHANGES SHALL HAVE THRESHOLDS OR REDUCER STRIPS.
- PATCH AND REPAIR FINISHES AFFECTED BY DEMOLITION AND INSTALLATION OF NEW WORK, MATCH ADJACENT FINISH, COLORS AND WALL ASSEMBLIES.
- REFER TO FINISH PLAN FOR FINISHES (RENUMBER THE REST).
- REFER TO MECHANICAL PLANS FOR DUCT PENETRATIONS THROUGH EXISTING WALLS.
- COORDINATE
- MINIMUM ACCESS COMPLIANT FURNISHINGS SHALL BE PROVIDED BY THE DISTRICT, N.I.C.
- PROVIDE INSULATION AS FOLLOWS (AT NEW WALLS ONLY - OR AS OTHERWISE NOTED)
 - A. EXTERIOR STUD WALLS: R-19 BATT - MIN
 - B. INTERIOR STUD PARTITIONS: ACOUSTICAL BATT (FULL HT)
 - C. FLOORS: R-19 BATT - MIN
- FOR TYPICAL SYMBOLS AND ABBREVIATIONS, REFER TO SHEET 00.01
- REFER TO MECHANICAL ELECTRICAL, FIRE ALARM AND TECHNOLOGY DRAWINGS FOR ADDITIONAL REMODEL REQUIREMENTS, TYPICAL.
- FOR TYPICAL TOILET ACCESSORY MOUNTING HEIGHTS & DIMENSIONS SEE 5/A10.01
- TRENCHING DEMOLITION IS APPROXIMATE AND NEEDS TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS AND DETAIL REQUIREMENTS.

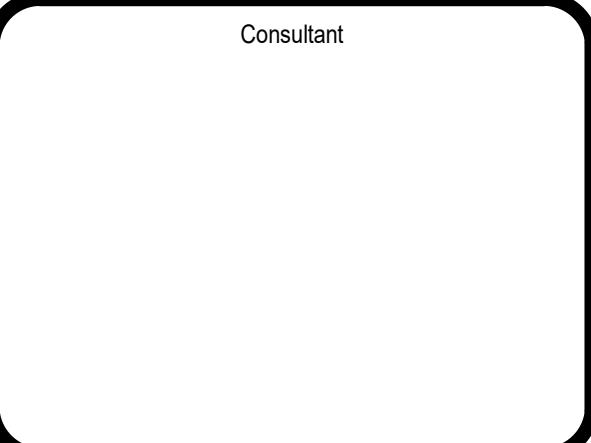
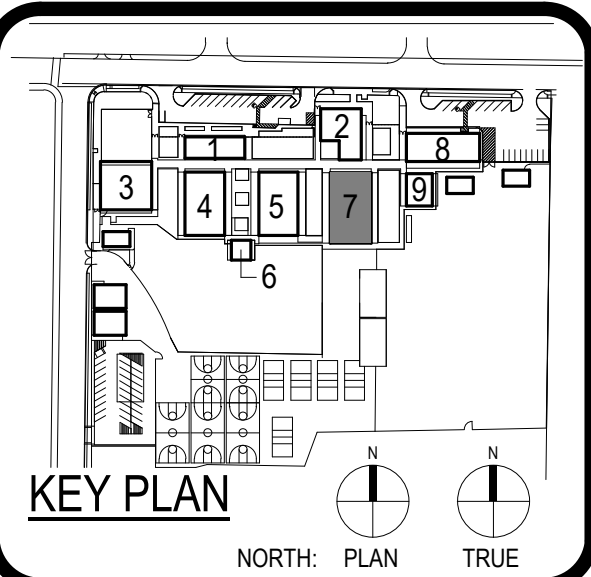


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WALNUT GROVE I.S. - SCIENCE CLASSROOM
MODERNIZATION

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DSA BACKCHECK
DSA APPL. NO. 03-123946 DSA FILE NO. 19-110



CLIENT WEST COVINA USD
DATE 05/09/2023 PROJECT NUMBER 220117

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DSA BACKCHECK

OVER ALL REMODEL
FLOOR PLAN - BLDG. 7

REMODEL KEYED NOTES

#	Description
02.01	(E) FLOOR FINISH TO REMAIN, PROTECT IN PLACE
02.21	(E) WALL FINISH TO REMAIN, PROTECT IN PLACE
02.22	(E) WALL BASE TO REMAIN, PROTECT IN PLACE
02.38	(E) ACCESSIBLE LAVATORY TO REMAIN, PROTECT IN PLACE
02.39	(E) FLOOR MOUNTED ACCESSIBLE WATER CLOSET, PROTECT IN PLACE
02.40	(E) TOILET PARTITION TO REMAIN, PROTECT IN PLACE
02.41	(E) URINAL SCREEN TO REMAIN, PROTECT IN PLACE
02.42	(E) URINAL TO REMAIN, PROTECT IN PLACE, TYP
02.43	(E) ACCESSIBLE URINAL TO REMAIN, PROTECT IN PLACE
02.44	(E) FLOOR MOUNTED NON-ACCESSIBLE WATER CLOSET, PROTECT IN PLACE
02.45	(E) NON-ACCESSIBLE LAVATORY TO REMAIN, PROTECT IN PLACE
02.48	(E) FURRED WALL, PROTECT IN PLACE
02.52	(E) GRAB BARS TO BE REMOVED AND REINSTALL AT ACCESSIBLE HEIGHT PER DETAIL 5A10.01
02.53	(E) TOILET PAPER DISPENSER TO BE REMOVED AND RELOCATED PER DETAIL
08.01	DOOR PER DOOR SCHEDULE
09.17	PATCH AND REPAIR AS NEEDED TO MATCH ADJACENT FINISH, COLOR AND TEXTURE
10.06	WALL RESTROOM SIGN
10.07	DOOR RESTROOM SIGN
22.04	(E) ACCESSIBLE LAVATORY TO BE REMOVE AND REINSTALL PER MOUNTING HEIGHT
22.10	ACCESSIBLE H.L.O.W. CHILLED DRINKING FOUNTAIN WITH BOTTLE FILLER. SEE DTL 6A2.21 AND STEEL PIPE RAILS AND FOOTINGS. REPAIR CONC. AS NEEDED
22.11	FLOOR MOUNTED ACCESSIBLE WATER CLOSET, RE: PLUMBING DWGS

REMODEL PLAN LEGEND

EXISTING WALL TO REMAIN

ROOM ID SIGNAGE REQUIREMENTS

RESTROOM DOOR SIGNAGE REQUIREMENTS

NOTES:

- DIMENSIONS INDICATED BY ASTERISK(*) SHALL BE 17" MIN - 18" MAX FROM CENTERLINE OF FIXTURE TO FINISH FACE OF WALL
- FOR ALL TOILET FIXTURE AND TOILET ACCESSORY (TA) MOUNTING HEIGHTS, AND CLEARANCE, REFER TO DETAIL
- FOR TYPICAL WALL TILE PATTERS REFER TO DETAIL

ACCESSIBLE DOOR CLEARANCE REQUIREMENTS

FRONT APPROACH DOOR PROVIDED WITH BOTH LATCH AND CLOSER

TOILET ACCESSORIES

LABEL	DESCRIPTION	REMARKS
TA1	SOAP DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING SURFACE (4" MAX. PROJECTION) 3. MODEL #: B-211 4. LOCATION: REFER TO DRAWINGS
(E)TA2	MIRRORS	1. PRODUCT: BOBRICK 2. MOUNTING SURFACE (4" MAX. PROJECTION) 3. MODEL #: B-290 4. LOCATION: REFER TO DRAWINGS
TA3	TOILET PAPER DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING SURFACE MOUNTED 3. MODEL #: B-388 4. LOCATION: NON-ACCESSIBLE STALLS
TA4	PAPER TOWEL DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING SURFACE (4" MAX. PROJECTION) 3. MODEL #: B-282 4. LOCATION: REFER TO DRAWINGS
(E)TA5	GRAB BARS	1. PRODUCT: BOBRICK 2. MOUNTING: MOUNT PARALLEL TO FLOOR 3. MODEL #: B-887 4. LOCATION: REFER TO DRAWINGS
TA7	SANITARY NAPKIN DISPOSAL	1. PRODUCT: BOBRICK 2. MOUNTING: 4" MAX. PROJECTION 3. MODEL #: B-270 4. LOCATION: AT WOMEN'S RR - REF PLANS
TA17	TRASH RECEPTACLE	1. OWNER PROVIDED - 12" ROUND
(E)TA19	SEAT COVER DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING SURFACE 3. MODEL #: B-221 4. LOCATION: ALL WATER CLOSETS & TOILET STALLS
	UNDERLAVATORY GUARD	1. PRODUCT: TRUEBRO LAVSHIELD PROTECTIVE LAVATORY ENCLOSURE 2. MATERIAL AND FINISH: ANTIMICROBIAL, MOLDED PLASTIC, WHITE 3. LOCATION: ALL LAVATORIES

NOTES:

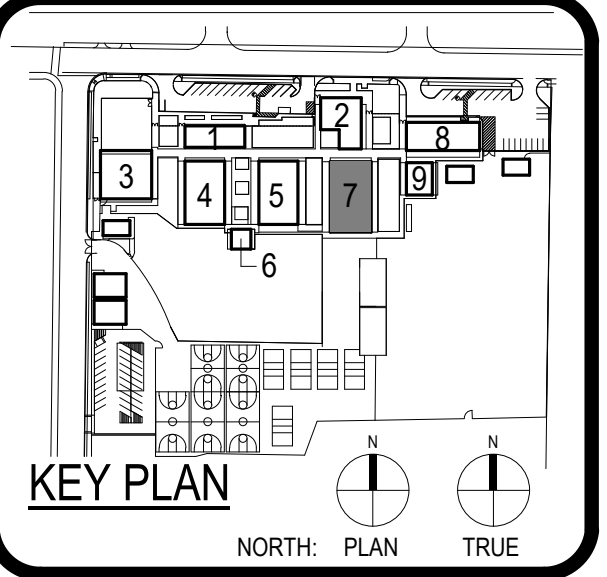
- PATCH AND REPAIR EXISTING FLOOR, WALL & CEILING TO MATCH EXISTING ADJACENT
- ALL TOILET ACCESSORIES SHALL BE CONTRACTOR FURNISHED AND INSTALLED UNLESS NOTED OTHERWISE
- COORDINATE FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION
- CONTRACTOR IS TO VERIFY ALL HEIGHTS OF ACCESSORIES TO COMPLY WITH ADA
- REFER TO ALL FINISHES AND COLORS IN FINISH SCHEDULES VERIFY ALL PATTERNS WITH ARCHITECT
- ALIGN MIRROR ON CENTER OF LAVATORY U.N.O.
- ONE HOOK INSIDE DOOR AT EACH TOILET PARTITION, ONE HOOK INSIDE DOOR AT SINGLE TOILET ROOMS AND ONE HOOK AT EACH SHOWER, MOUNTED AT 40" MAX AFF
- FLUSH CONTROL AT ACCESSIBLE WATERCLOSET TO BE LOCATED ON THE OPEN SIDE
- FOR TYPICAL TOILET ACCESSORY MOUNTING HEIGHTS & DIMENSIONS SEE
- PATCH AND REPAIR EXISTING WALL AFTER INSTALLING PLUMBING FIXTURES TO MATCH EXISTING ADJACENT
- REMOVE TO ACCESSORIES AFFECTED BY SCOPE OF WORK



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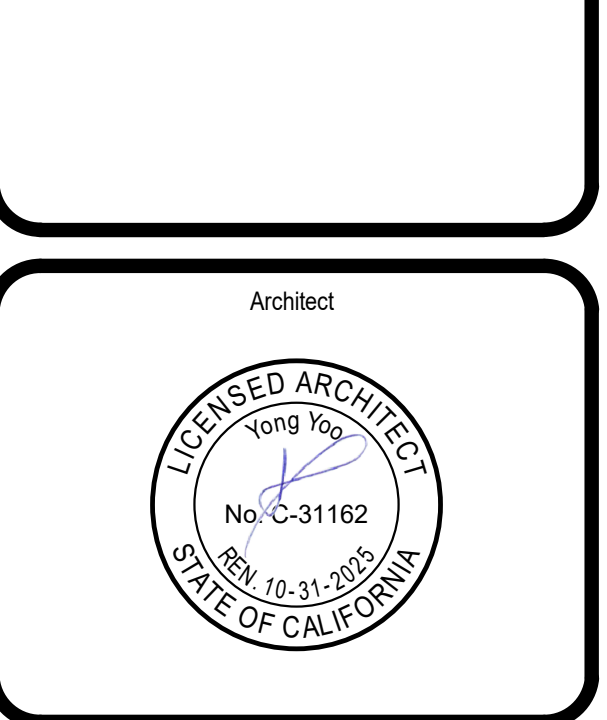
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Consultant

Architect



CLIENT
WEST COVINA USD

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DSA BACKCHECK

ENLARGED PLANS & INTERIOR ELEVATIONS

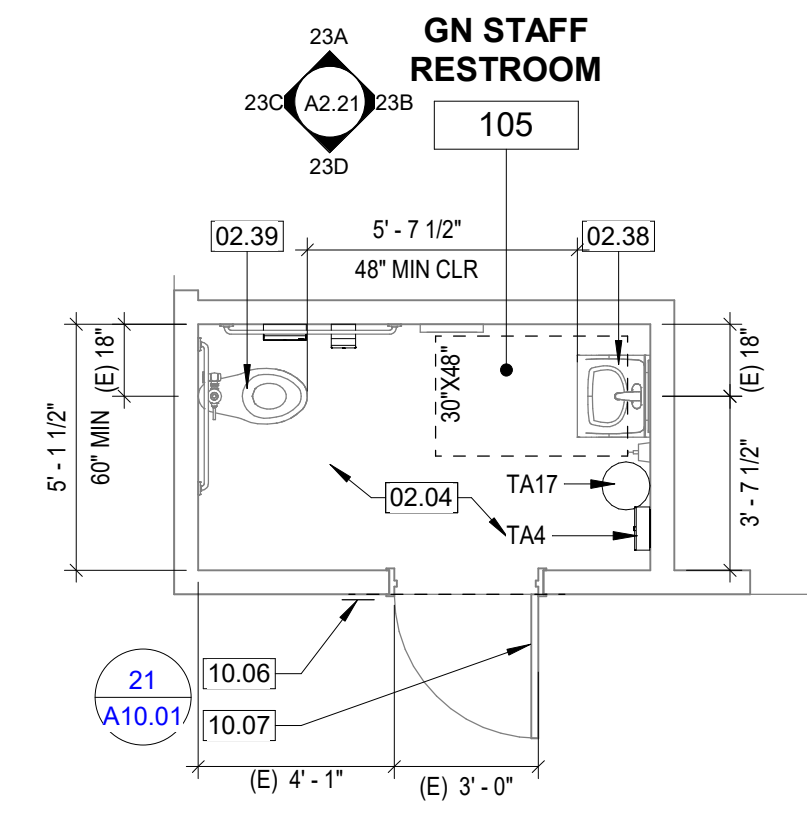
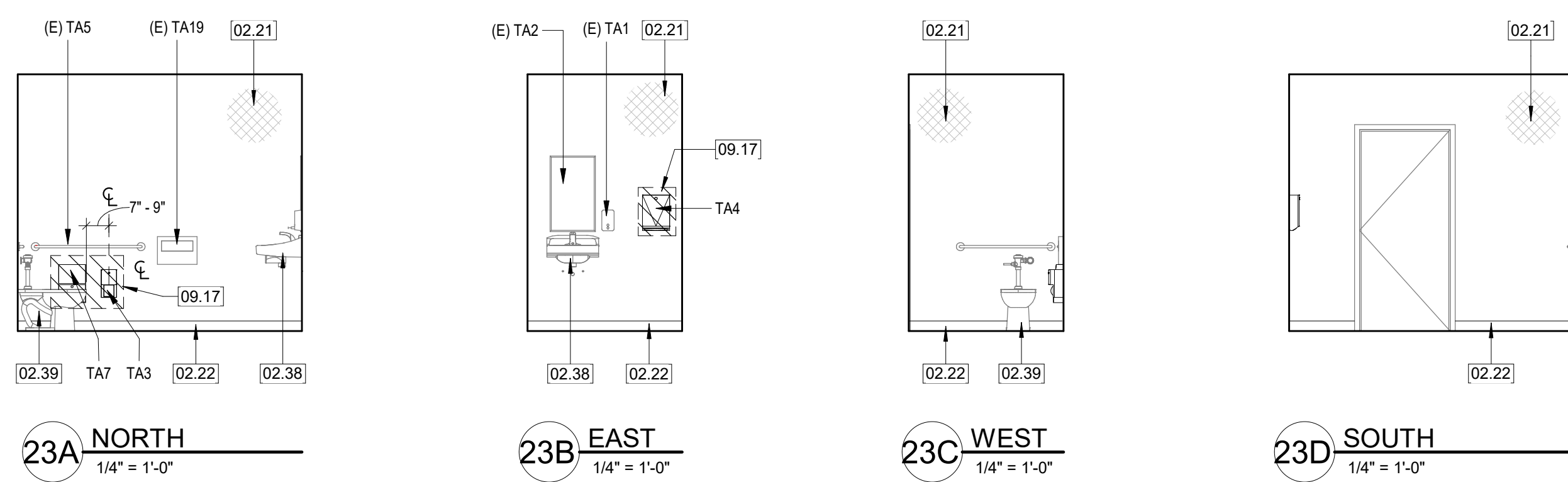
A2.21

30 NOT USED

29 NOT USED

28 NOT USED

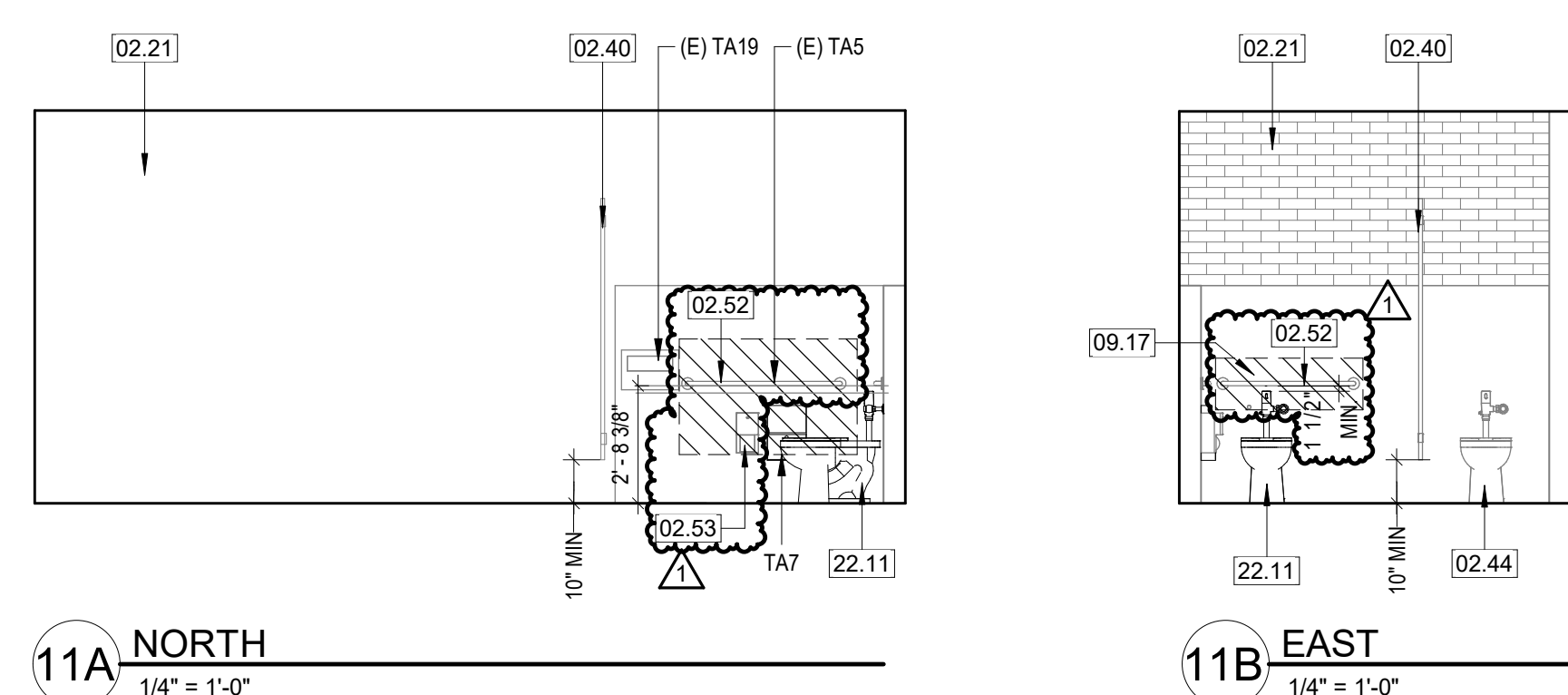
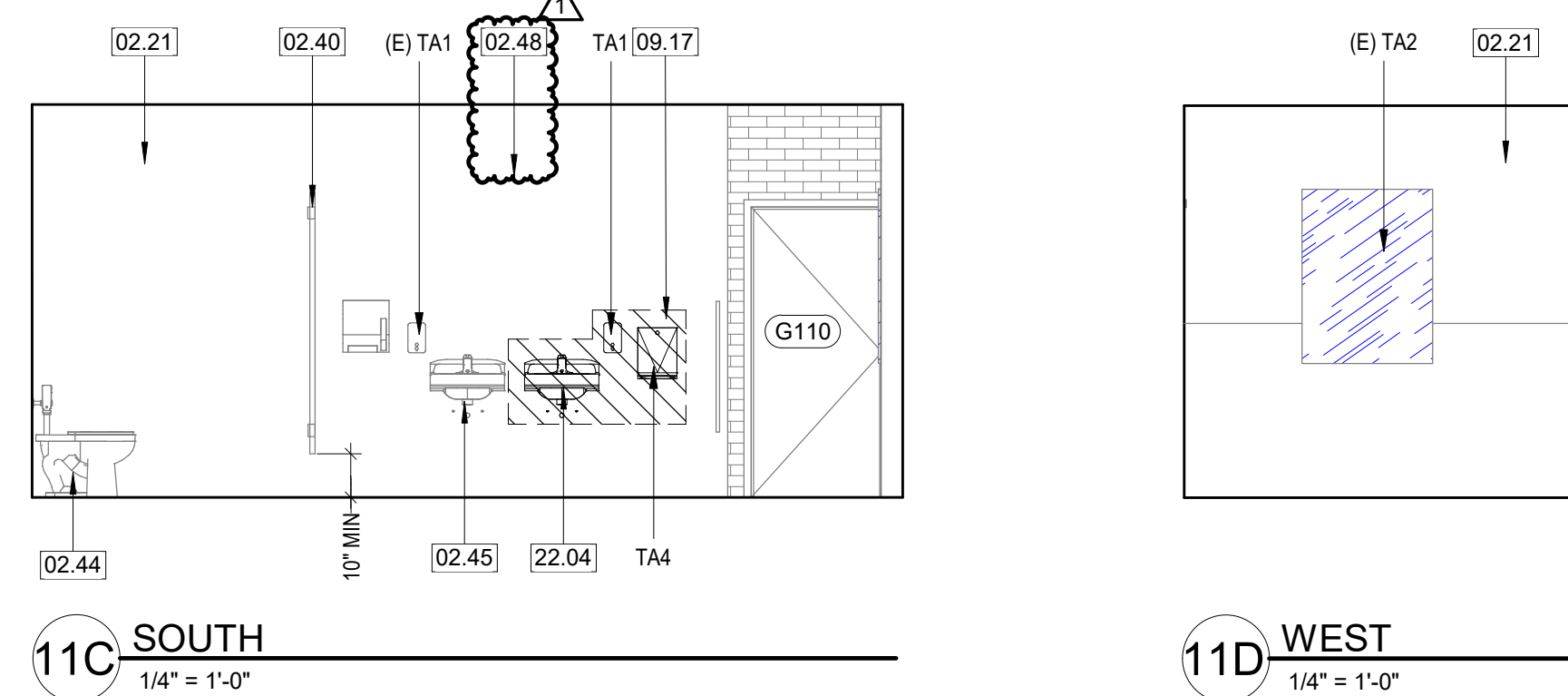
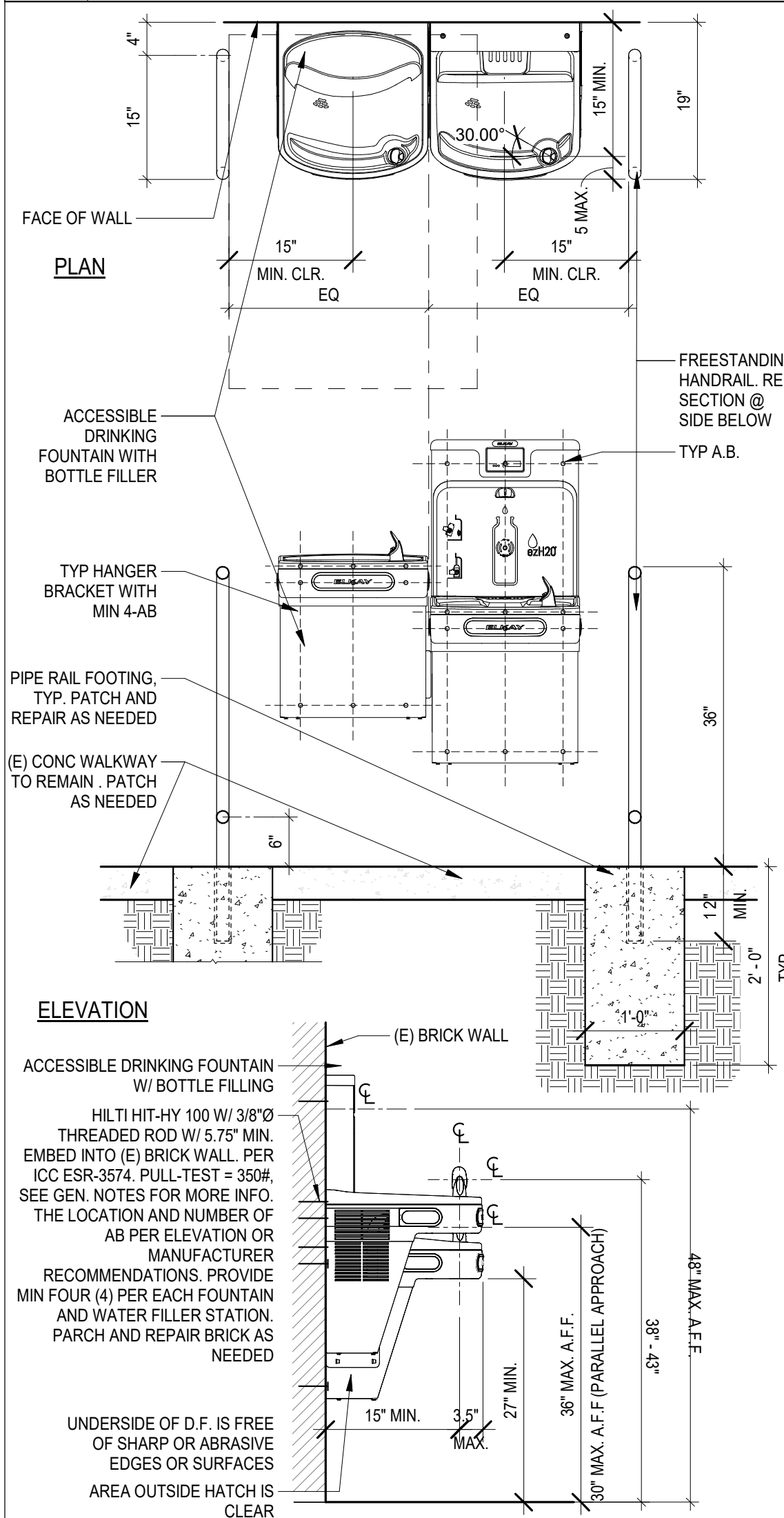
26 NOT USED



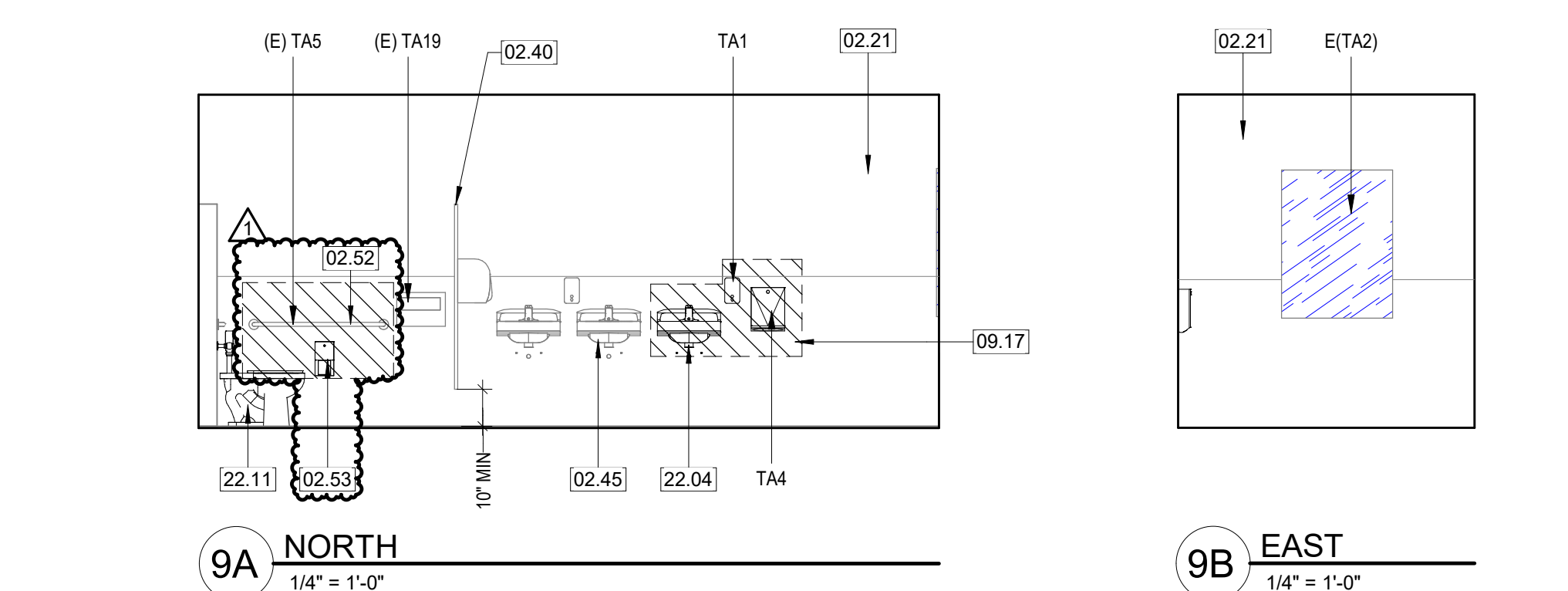
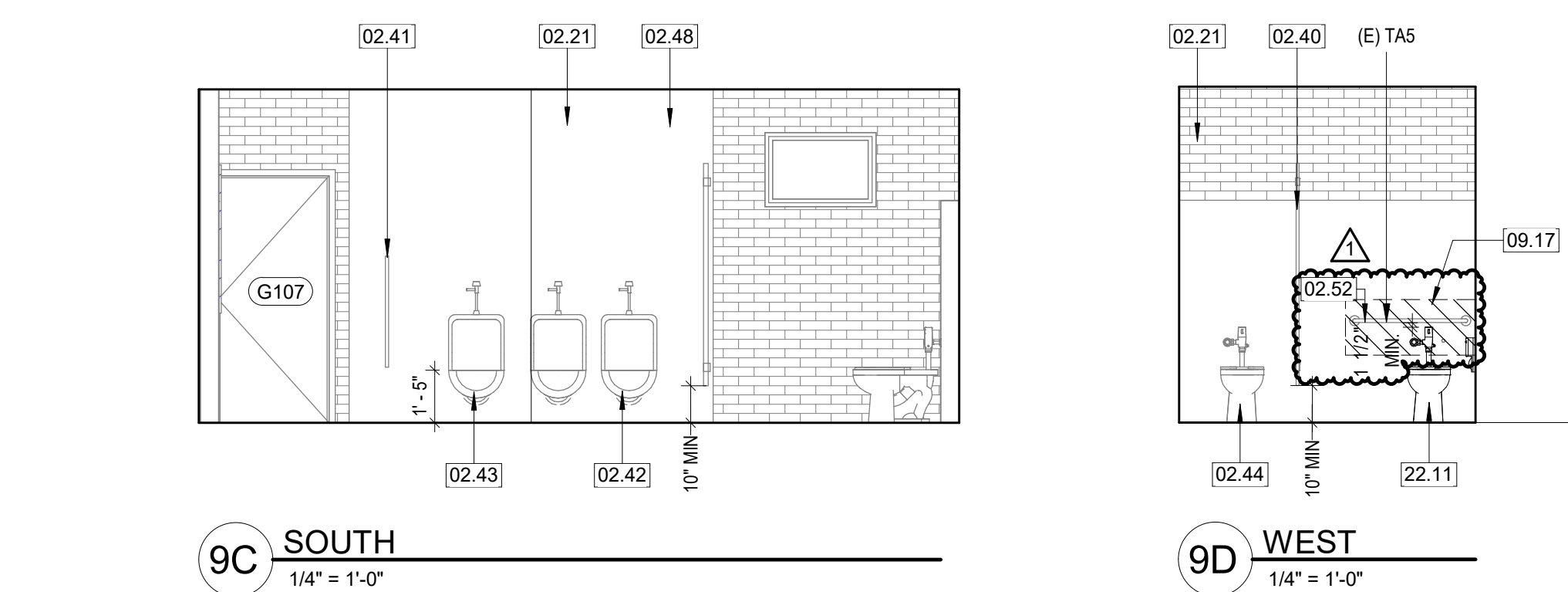
24 NOT USED

23 INTERIOR ELEVATIONS - GN STAFF RESTROOM
1/4" = 1'-0"

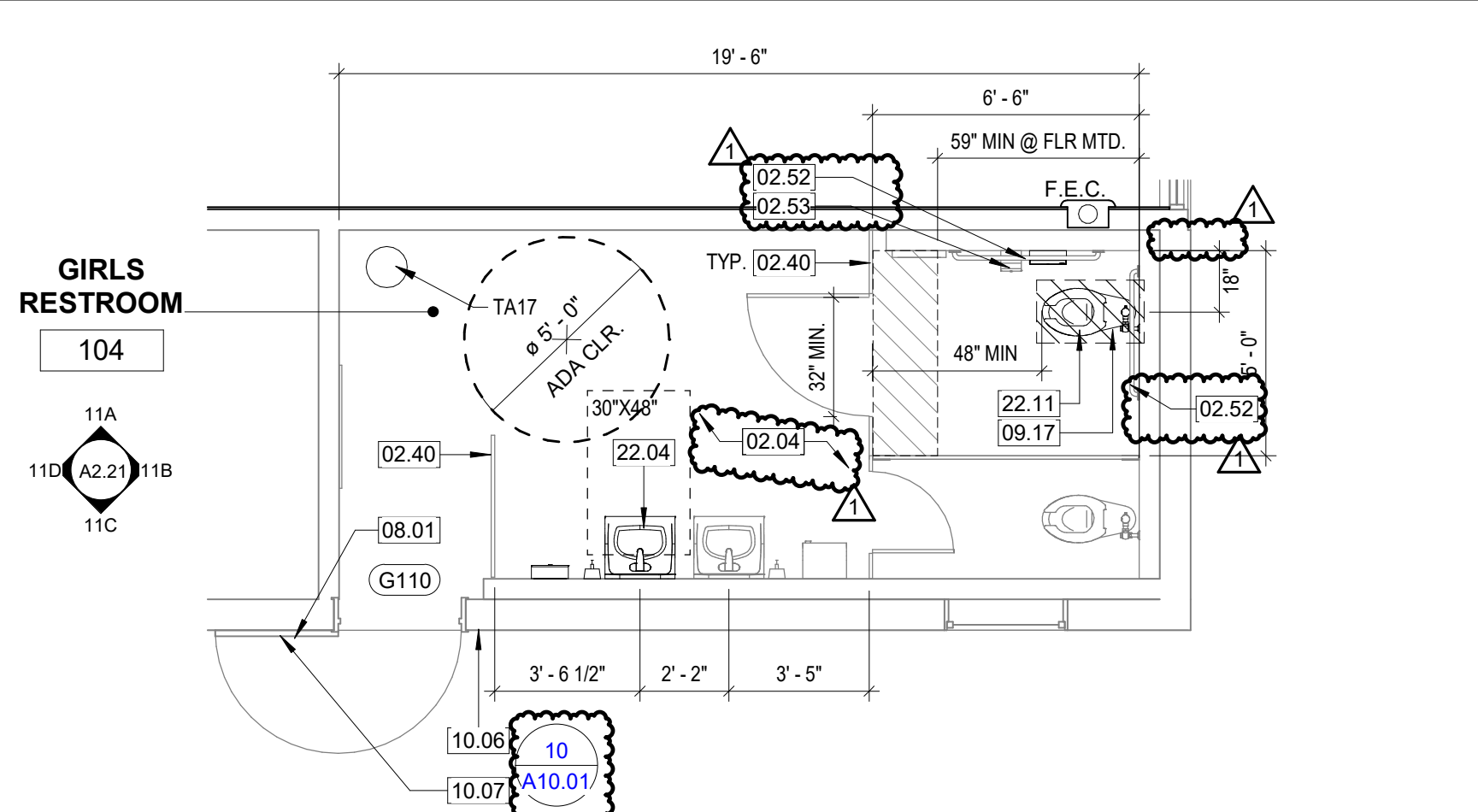
20 ENLARGED FLOOR PLAN - GN RESTROOM
1/4" = 1'-0"



11 INTERIOR ELEVATIONS - GIRLS RESTROOM 104
1/4" = 1'-0"

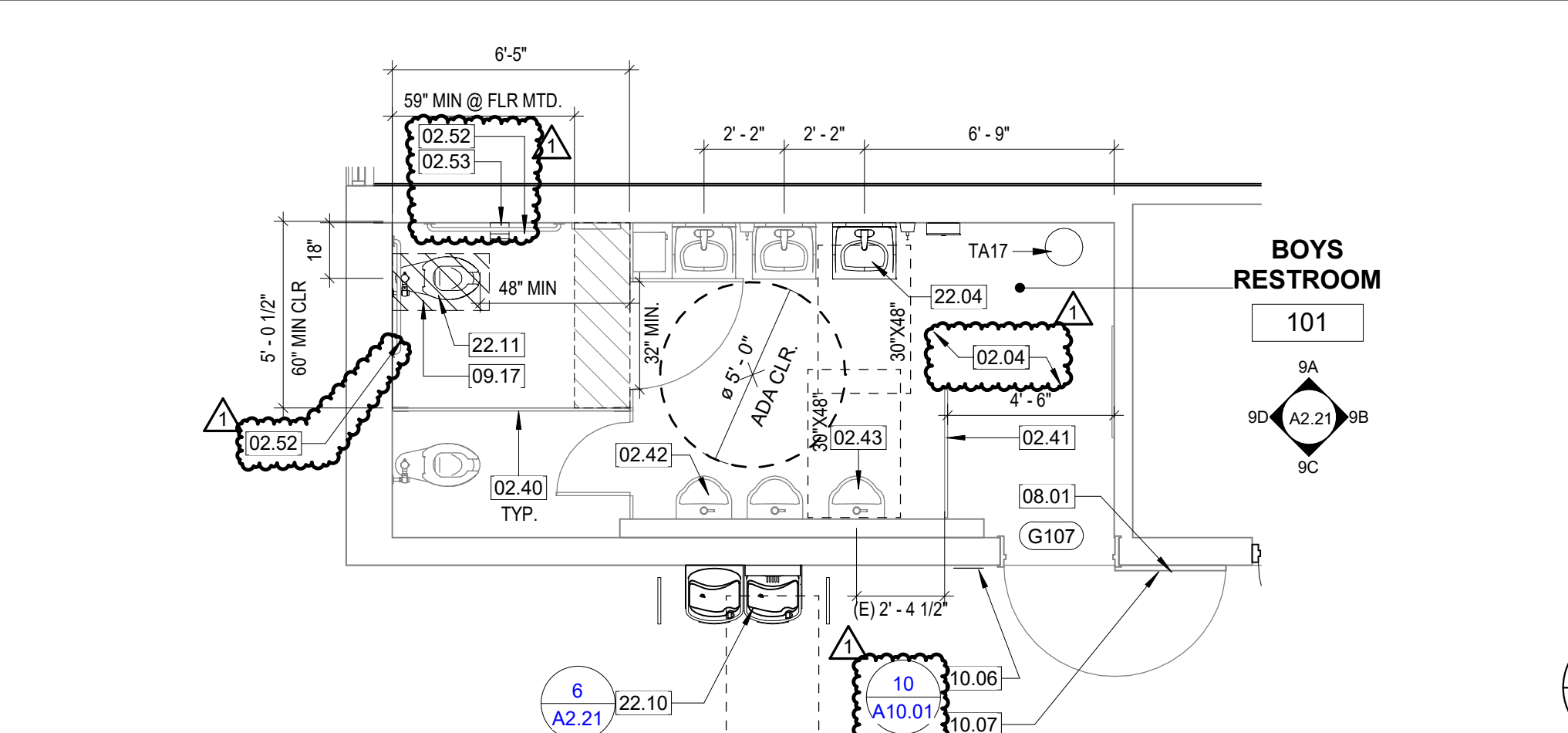


9 INTERIOR ELEVATIONS - BOYS RESTROOM 101
1/4" = 1'-0"

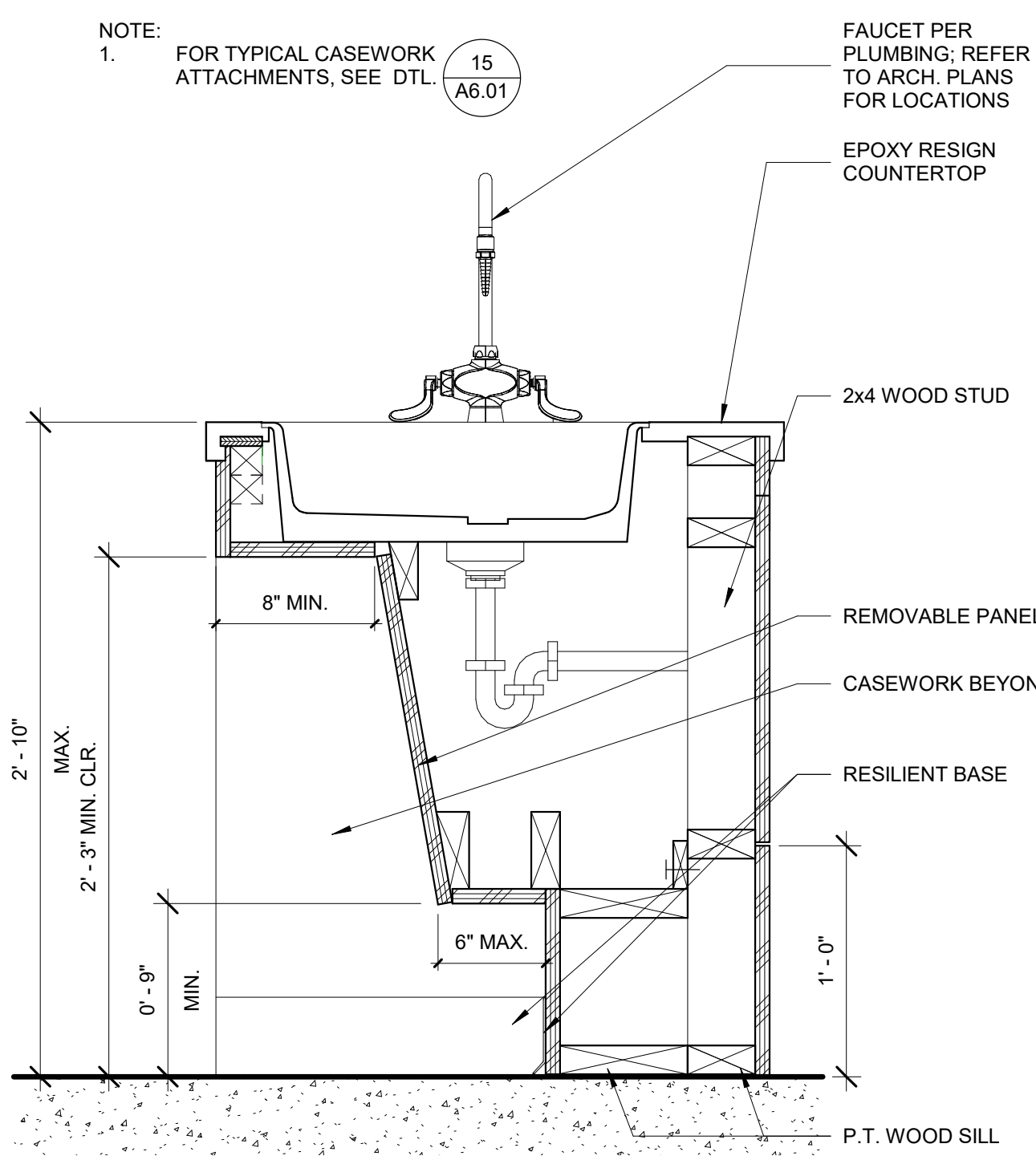


6 ACCESSIBLE DRINKING FOUNTAIN1
3/4" = 1'-0"

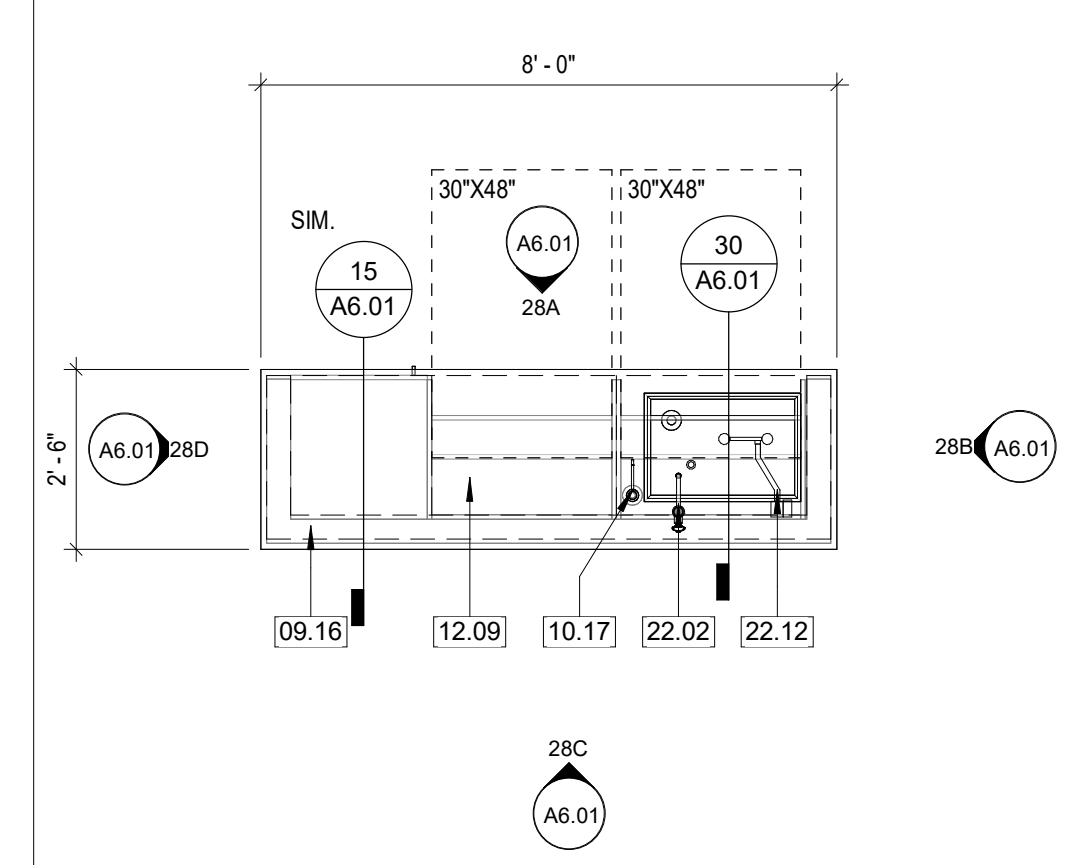
5 ENLARGED REMODELED FLOOR PLAN - GIRLS RESTROOM 104
1/4" = 1'-0"



3 ENLARGED REMODELED FLOOR PLAN - BOYS RESTROOM 101
1/4" = 1'-0"



15 DEMONSTRATION TABLE ELEVATIONS 1/4" = 1'-0"

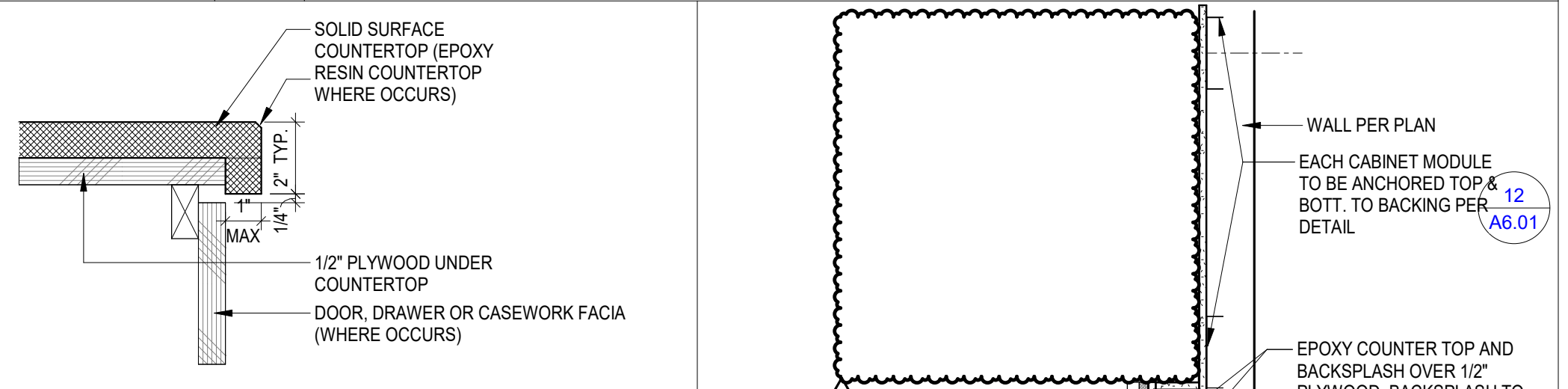


26 DEMONSTRATION TABLE PLAN 3/8" = 1'-0"

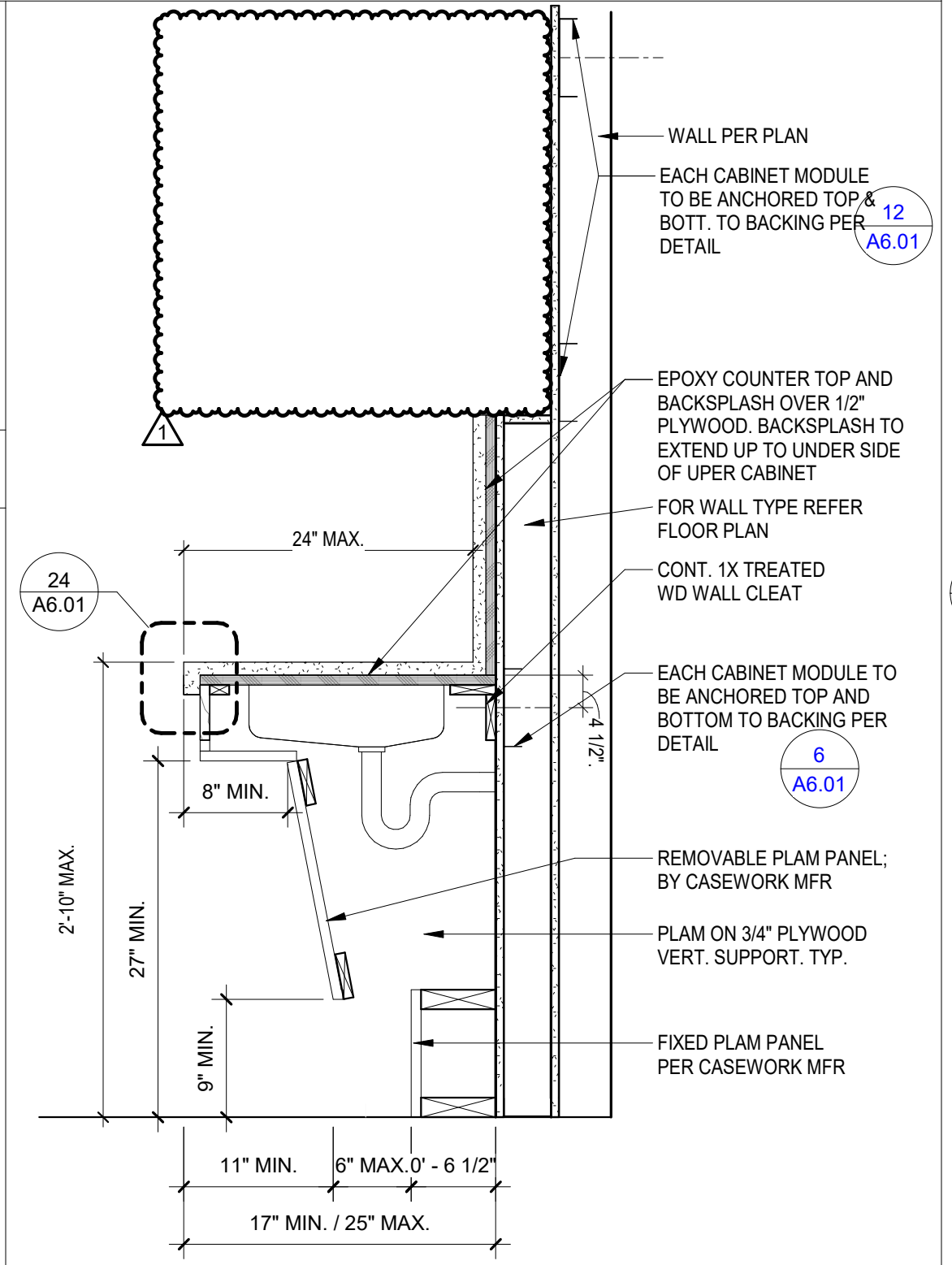
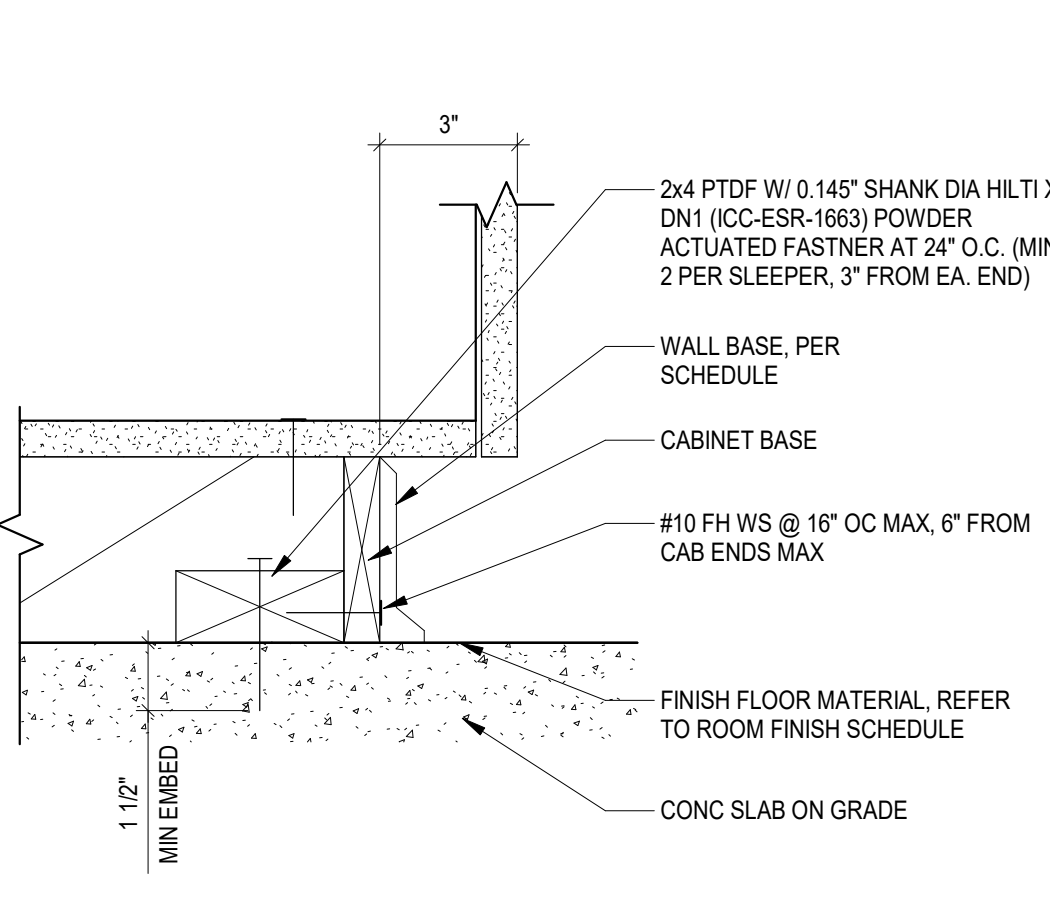
REMODEL KEYED NOTES

- # Description
- 02.05 (E) BRICK TO REMAIN, PROTECT IN PLACE, REFER TO FINISH SCHEDULE FOR FINISH.
- 02.37 (E) WINDOW TO REMAIN, PROTECT IN PLACE
- 06.02 PLASTIC LAMINATE FINISH
- 08.01 DOOR PER DOOR SCHEDULE
- 09.03 4" RESILIENT BASE
- 09.07 PAINT (E) DOOR/DIAPOR FRAME, WINDOW MULLIONS AND WINDOW FRAMES-COLOR, COLOR TO BE APPROVED BY DISTRICT 09
- 09.08 GYPBOARD - PAINTED U.N.O (COLOR, TO BE APPROVED BY DISTRICT)
- 09.16 FURRING FOR OUTLETS AND OTHER UTILITIES
- 10.01 4'-0" WIDE, CUSTOM HEIGHT MAGNIFIED MARKERBOARD
- 10.02 SEMI-RECESSED FIRE EXTINGUISHER & CABINET - 22A10.01
- 10.03 FULL-HEIGHT TACKABLE WALL COVERING. SEE TYP. INTERIOR ELEVATIONS
- 10.05 REINSTALL (E) BATTERY OPERATED CLOCK
- 10.08 6'-0" X 4'-0" WHITE BOARD
- 10.13 CUSTOM HEIGHT TACKABLE BOARD. SEE TYP. INTERIOR ELEVATIONS
- 10.15 SOAP DISPENSER, REF: 61G.04 FOR MOUNTING HEIGHT
- 10.17 COUNTER MOUNTED SOAP DISPENSER
- 11.01 TV DISPLAY AND WALL MOUNT (OFC), CONTRACTOR TO PROVIDE BACKING, REF: ELECTRICAL & TELECOM DWGS - 8/A9.01
- 12.08 EPOXY COUNTERTOP W/ BACKSPLASH
- 12.09 EPOXY COUNTERTOP
- 22.02 SINKS (ALUMINUM) W/ GOOSENECK FAUCET AND EYEWASH, HOT & COLD WATER, REFER PLUMBING
- 22.12 EYE WASH, RE: PLUMBING DWGS
- 26.03 POWER OUTLET SEE ELECTRICAL DWGS
- 26.04 DATA OUTLET PER TECHNOLOGY DWGS

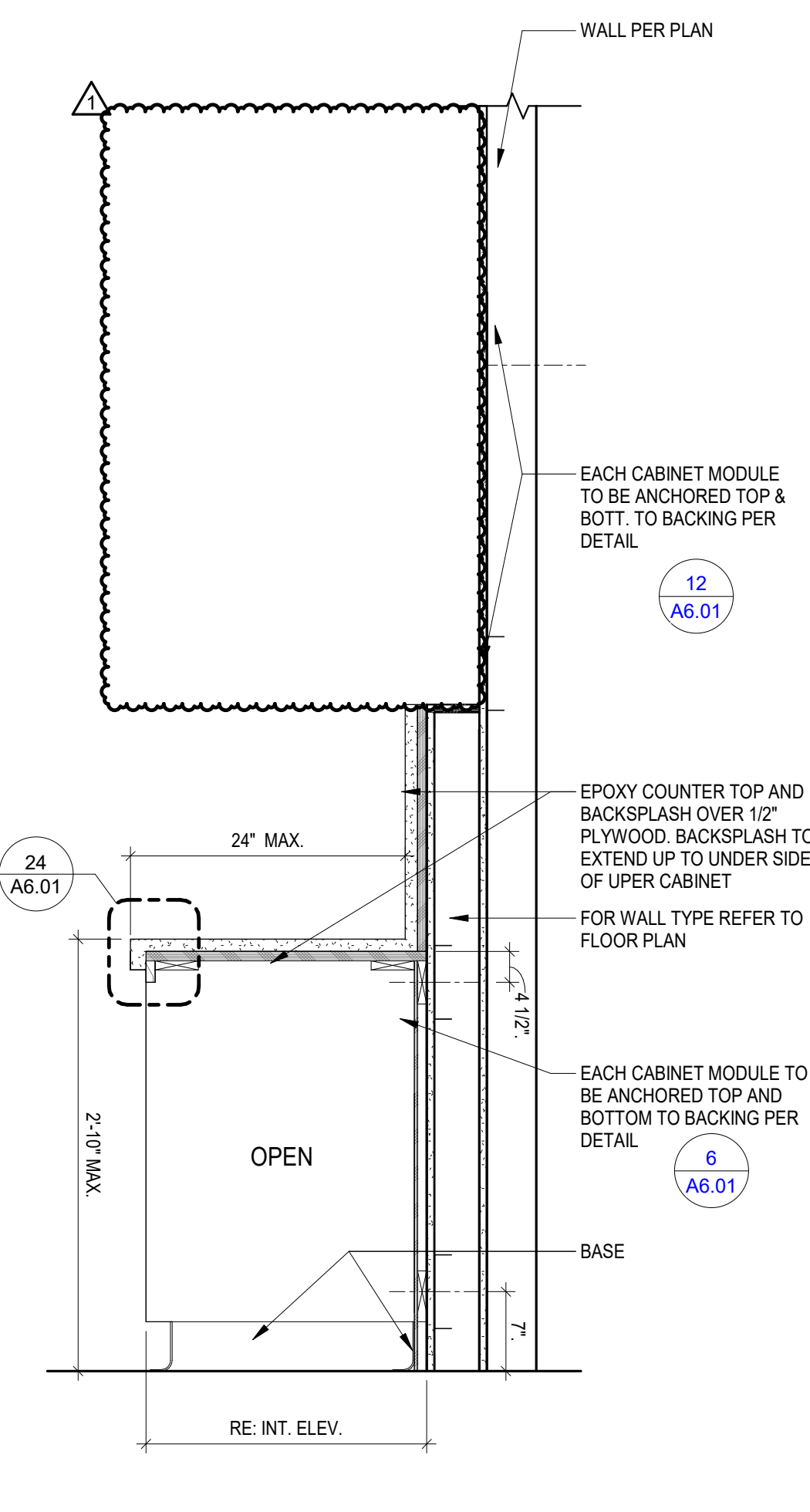
30 CASEWORK SECTION @ ACCESSIBLE SINK 1 1/2" = 1'-0"



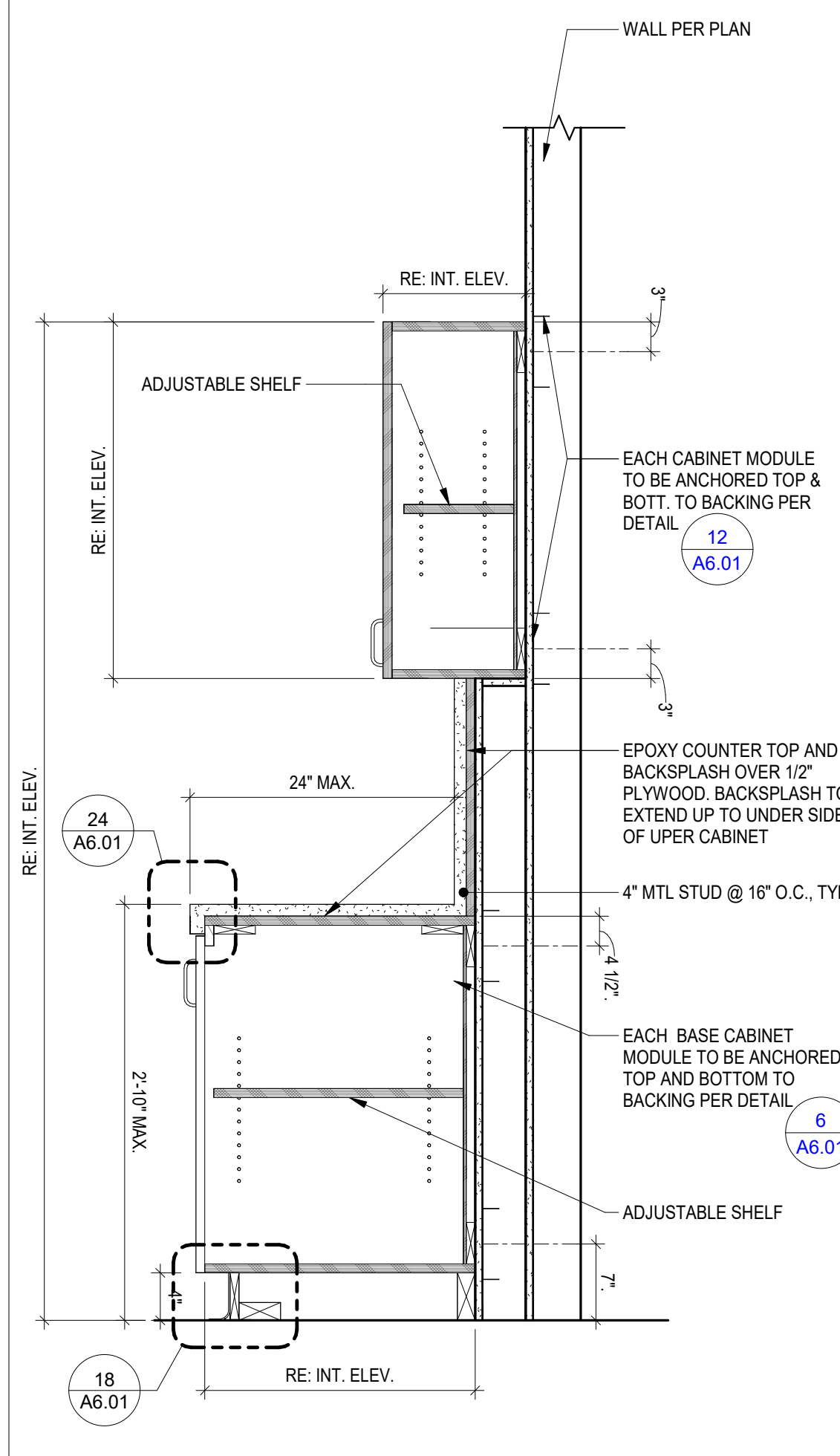
24 BASE CABINET DRIP EDGE 3" = 1'-0"



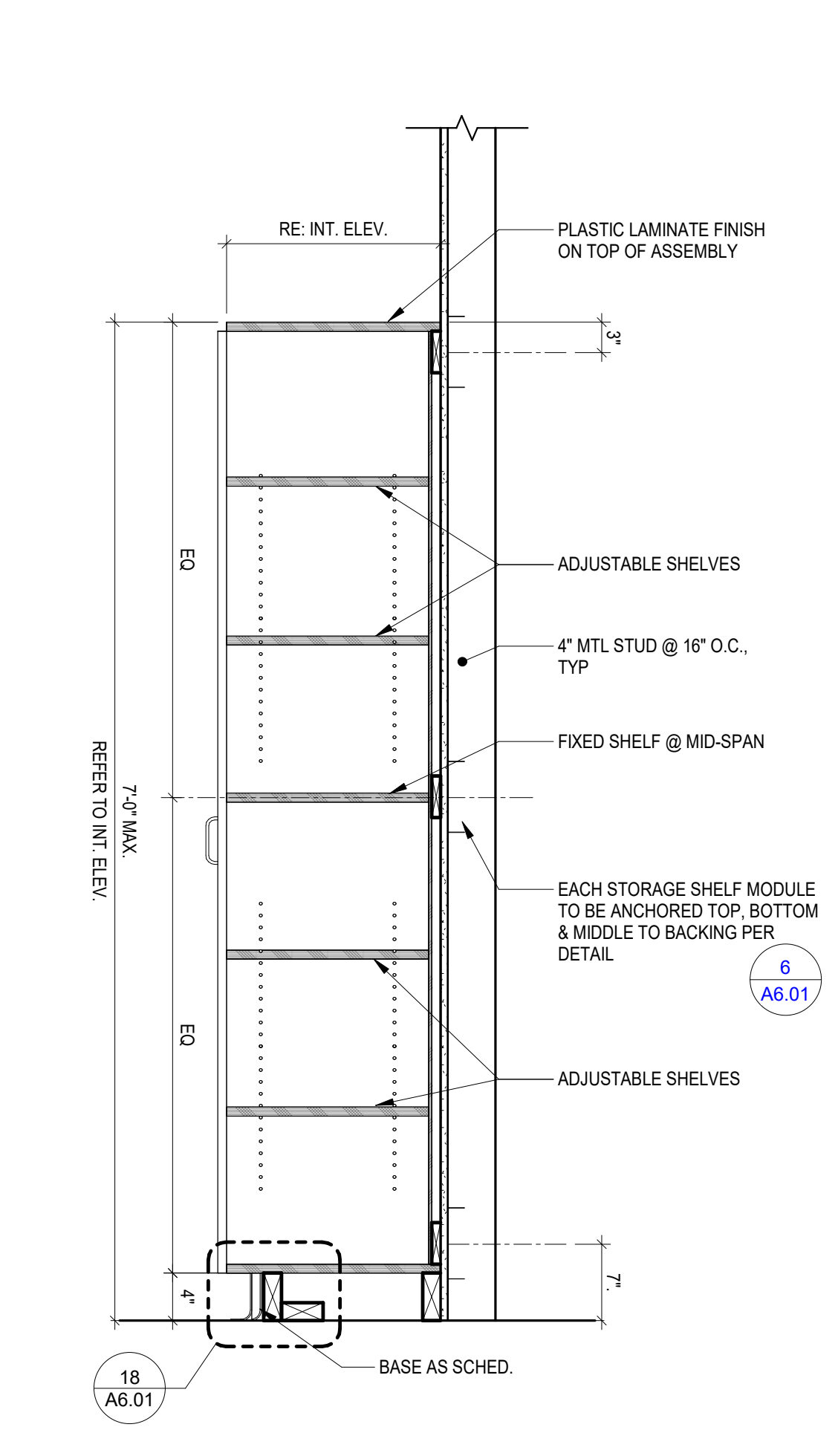
17 BASE SINK CABINET STATION 1" = 1'-0"



16 BASE ACCESSIBLE CABINET STATION 1" = 1'-0"

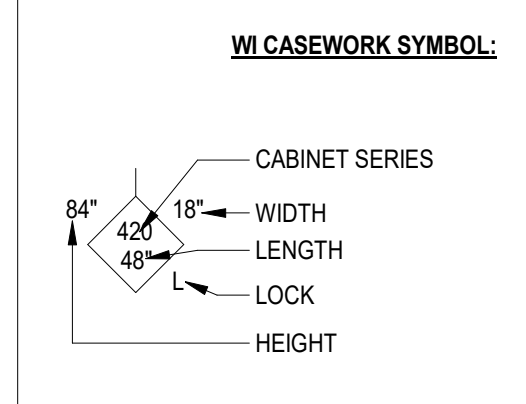


15 BASE & UPPER CABINET, TYP 1" = 1'-0"



14 TALL STORAGE CABINET 1" = 1'-0"

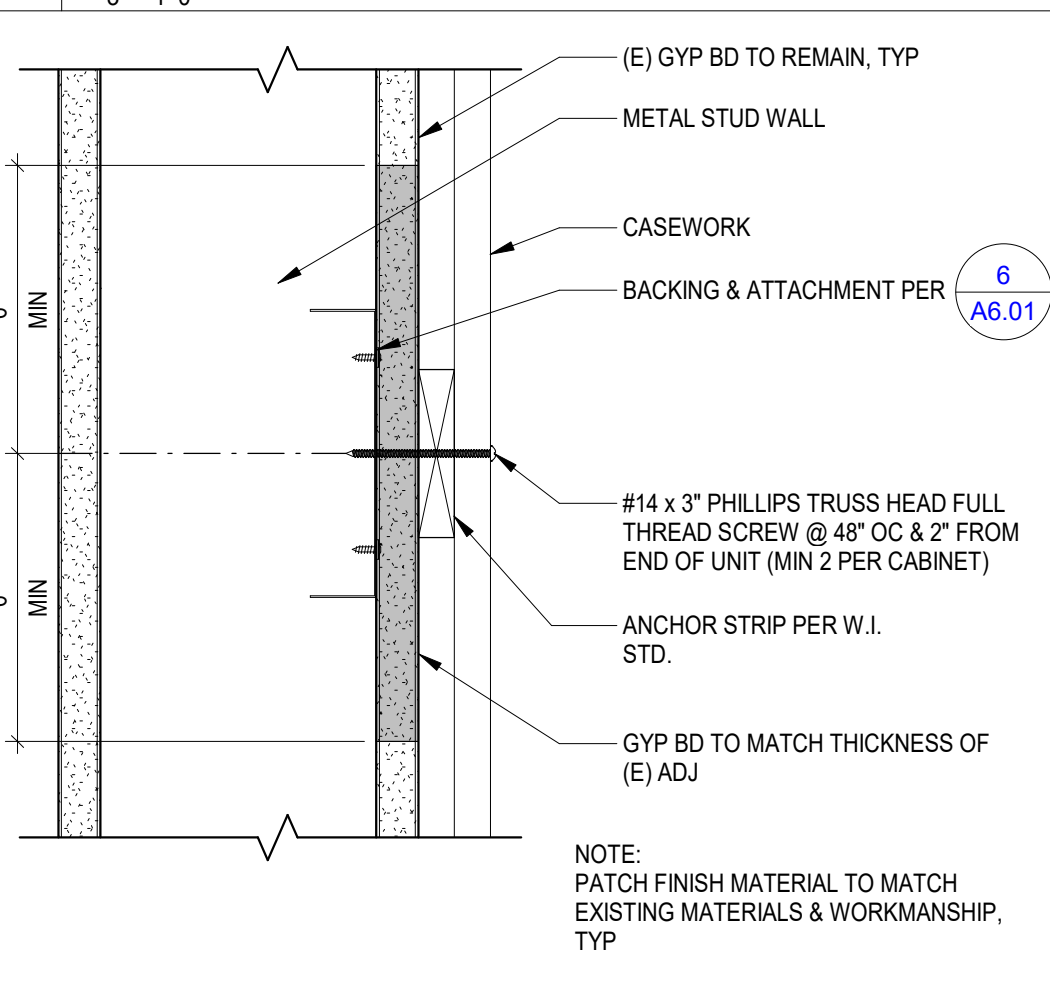
ELEVATION LEGEND



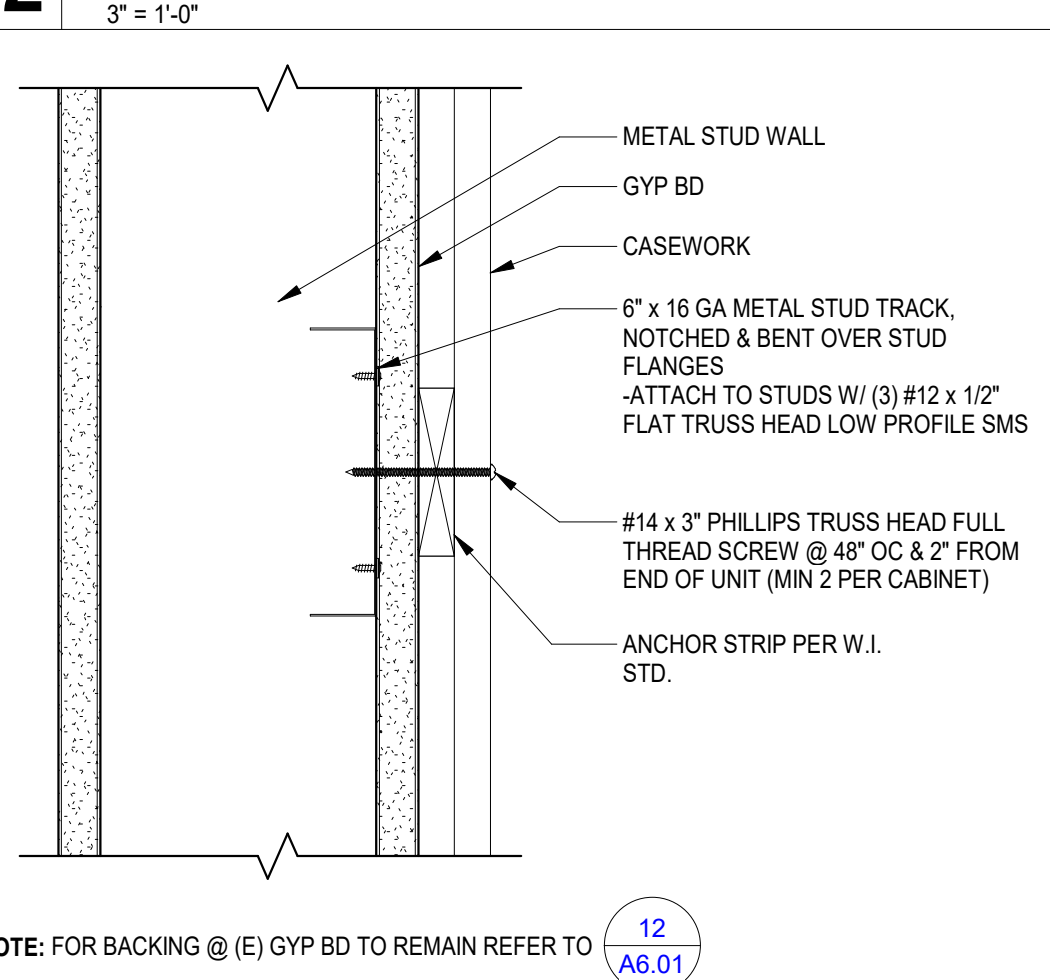
FINISH NOTES

- 1. ALL ITEMS NOT IDENTIFIED AS (E) ARE TO BE PROVIDED NEW.
- 2. ALL FINISH MATERIALS MUST MEET THE FLAME SPREAD RATINGS PER 2016 CBC, CHAPT 8.
- 3. REFER TO INTERIOR ELEVATIONS FOR SPECIFIC MATERIAL LOCATIONS.
- 4. PAINT ALL EXPOSED DUCTWORK, CONDUIT, ELECTRICAL EQUIPMENT, ETC TO MATCH ADJACENT SURFACES, UNO.
- 5. PAINT ALL NON-FACTORY FINISHED EXPOSED METAL.
- 6. REFER TO TYPICAL FLOORING TRANSITION DETAILS FOR ALL FLOORING MATERIALS.
- 7. FLOORING TRANSITIONS AT DOORS SHOULD BE LOCATED UNDER, AND CONCEALED BY THE DOOR IN THE CLOSED POSITION, UNO.
- 8. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
- 9. PROVIDE BULLNOSE TRIM AT TRANSITIONS FROM CERAMIC WALL TILE TO OTHER MATERIAL, UNO.
- 10. REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
- 11. ALL ELECTRICAL DEVICE COVERS ARE TO BE WHITE, UNO.
- 12. CARPET PATTERNS TO RUN PARALLEL TO CORRIDOR AND/OR PARALLEL TO THE LONG DIMENSION OF A ROOM OR SPACE, UNO.
- 13. ALL HOLLOW METAL, DOOR FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR, UNO.

18 BASE CABINET ANCHORAGE 3" = 1'-0"

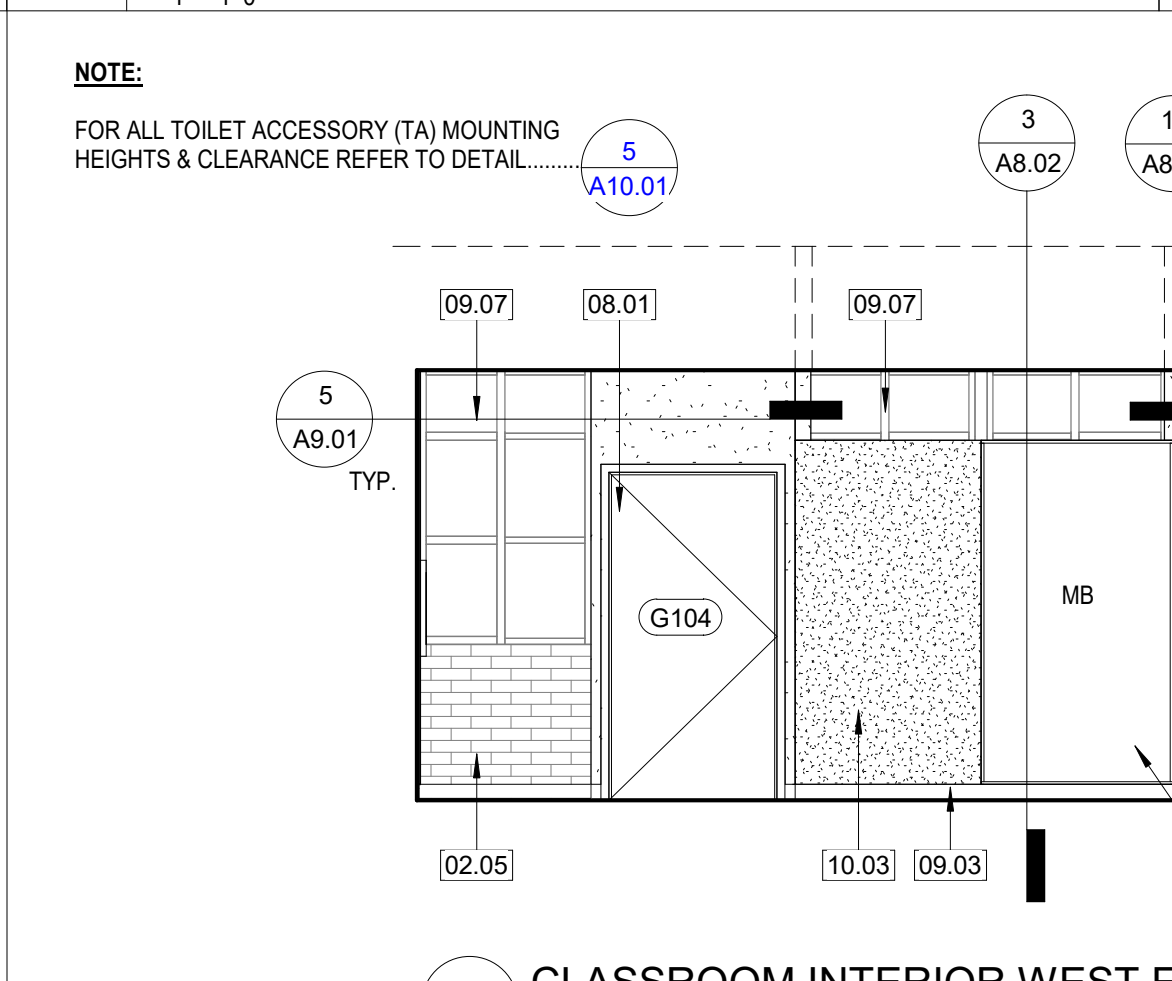


12 CASEWORK BACKING @ (E) MTL STUD WALL 3" = 1'-0"

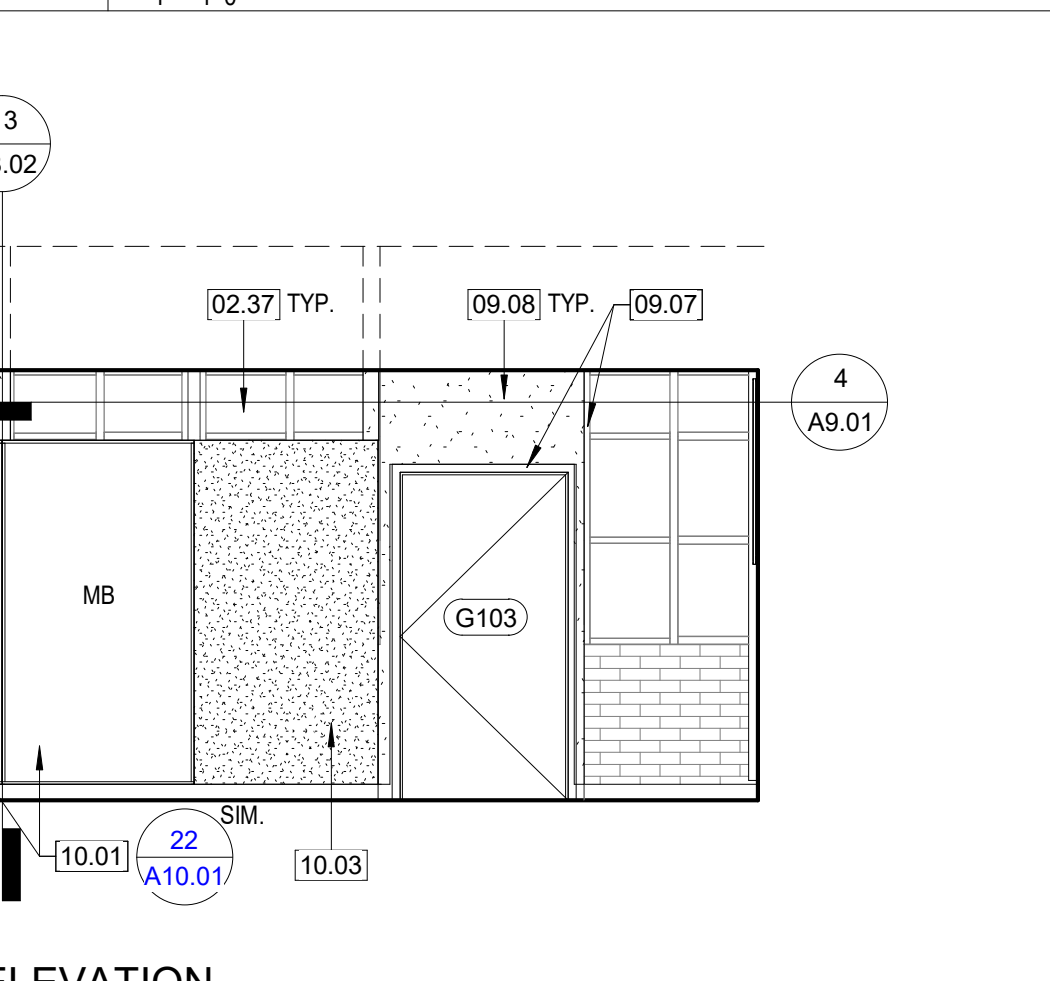


6 CASEWORK BACKING @ MTL STUD WALL 3" = 1'-0"

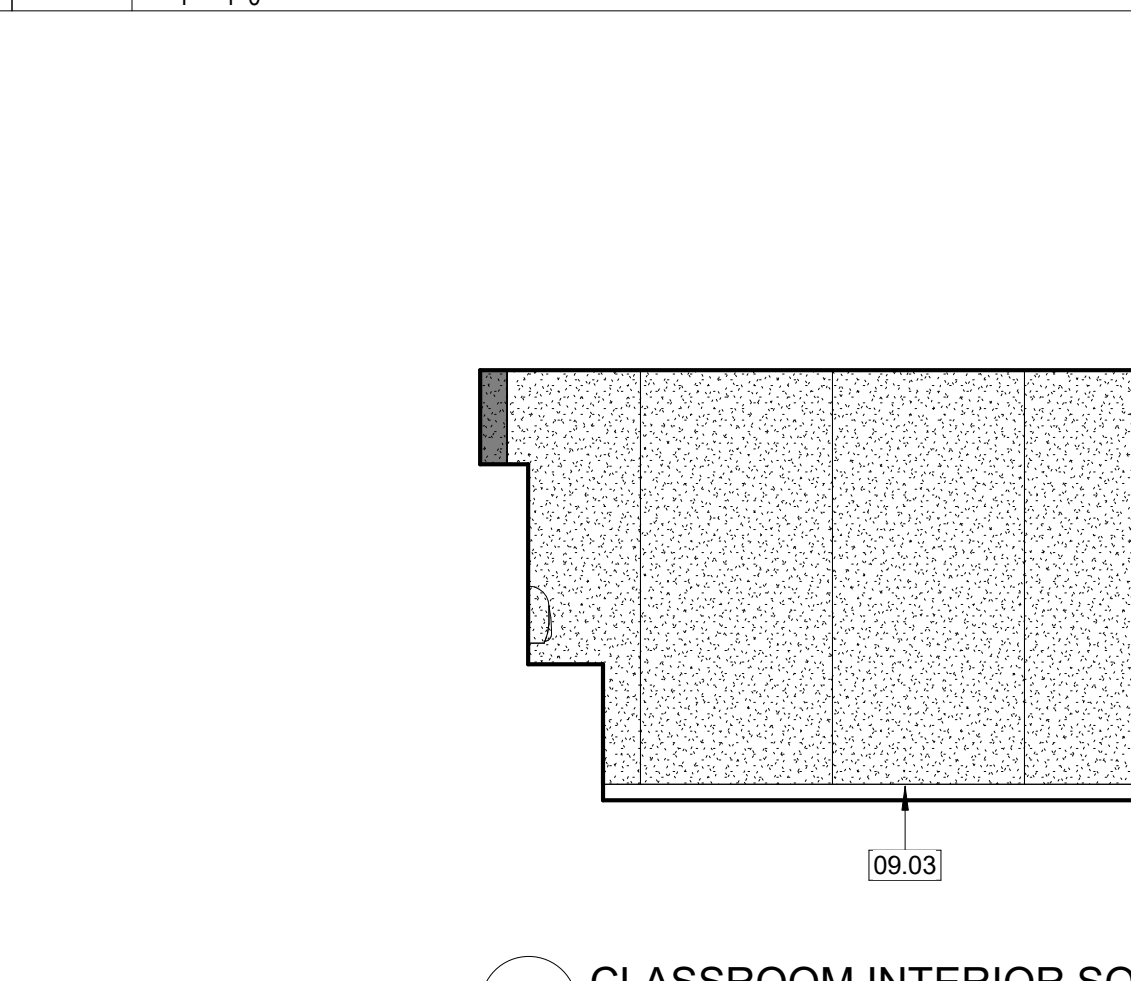
17 BASE SINK CABINET STATION 1" = 1'-0"



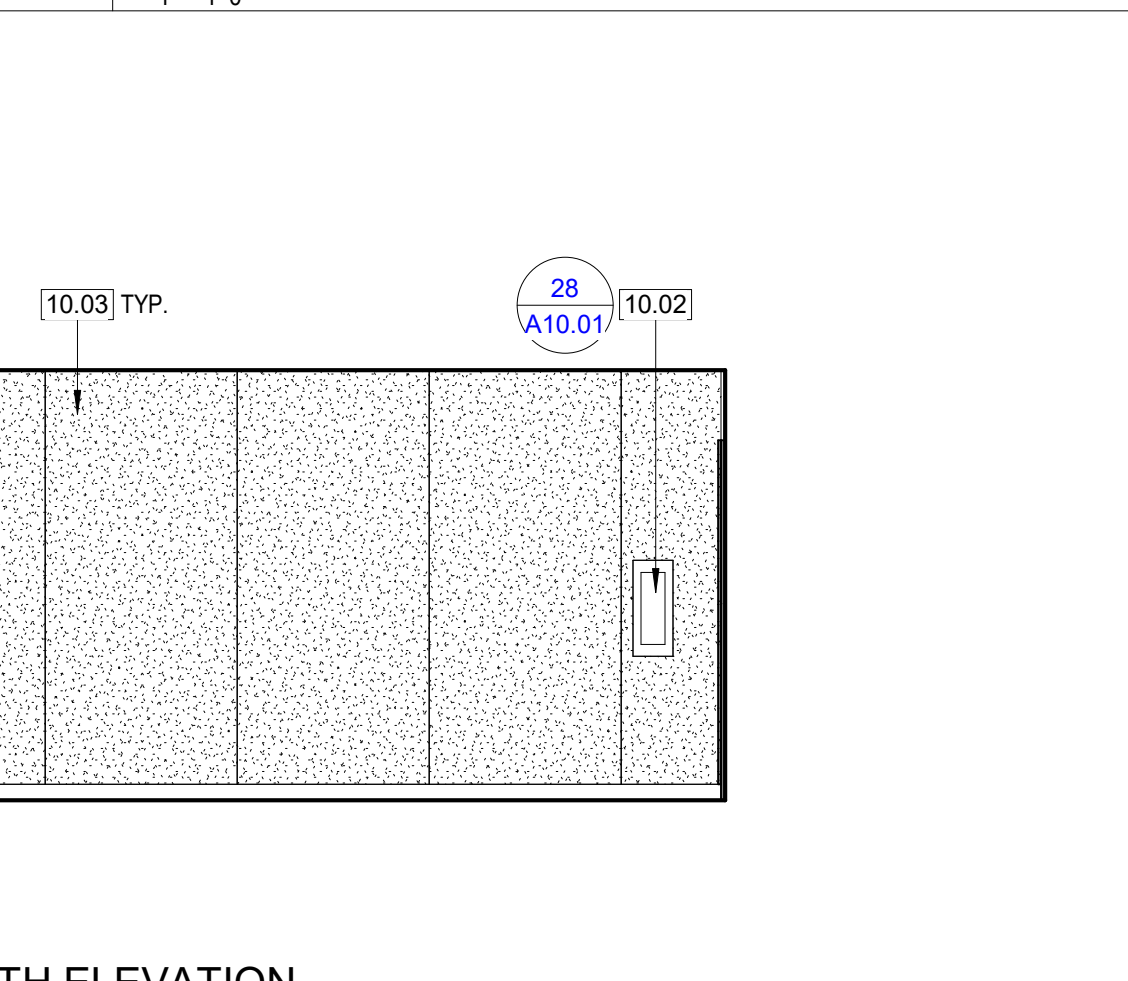
16 BASE ACCESSIBLE CABINET STATION 1" = 1'-0"



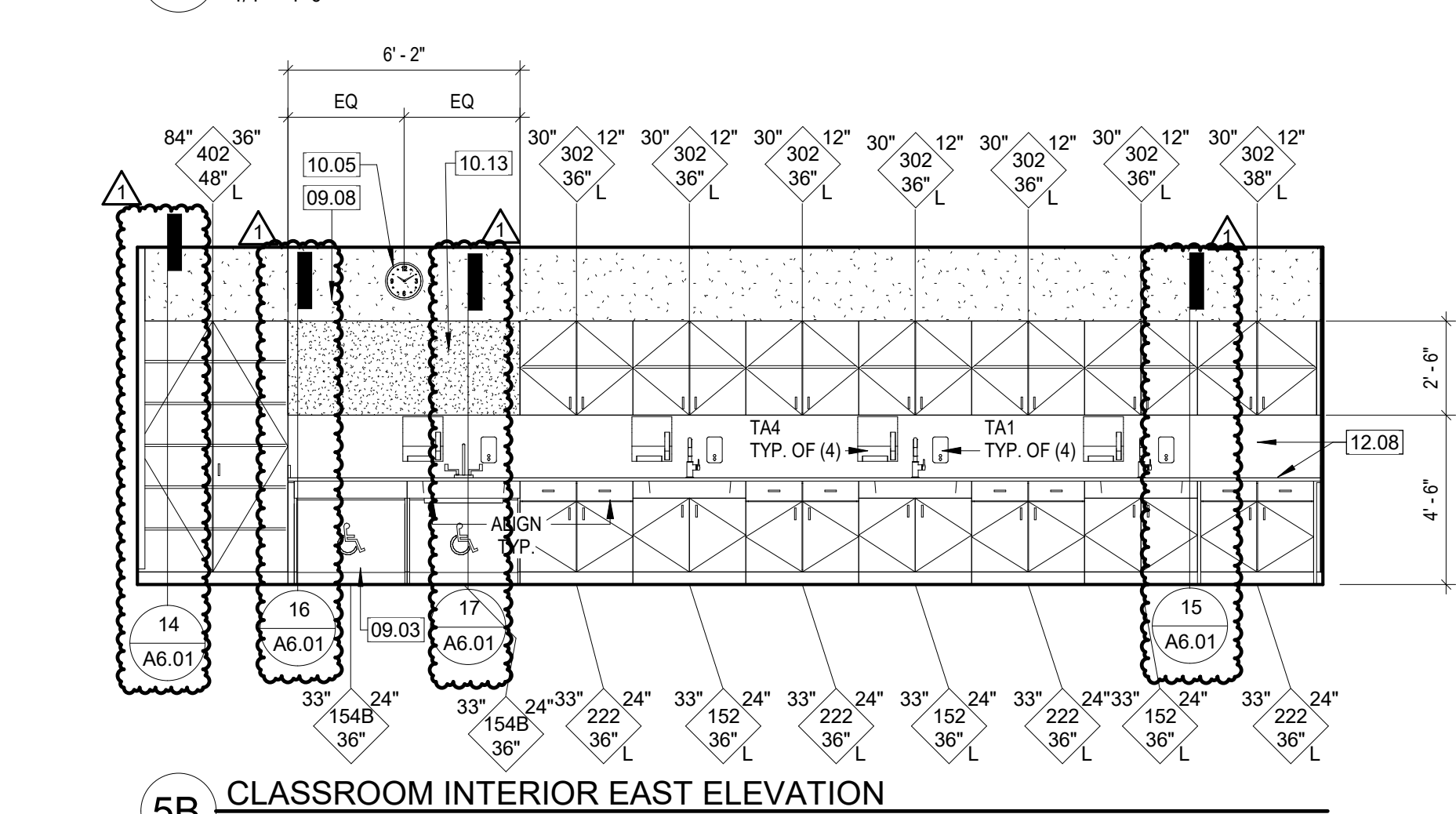
15 BASE & UPPER CABINET, TYP 1" = 1'-0"



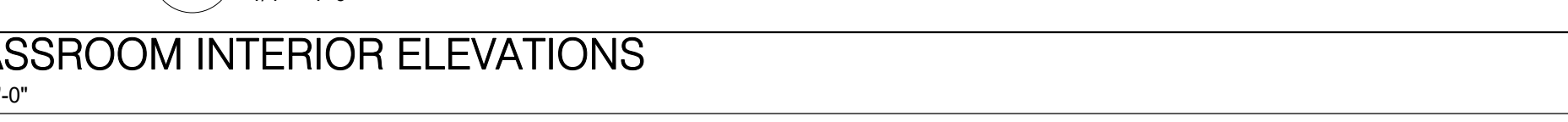
14 TALL STORAGE CABINET 1" = 1'-0"



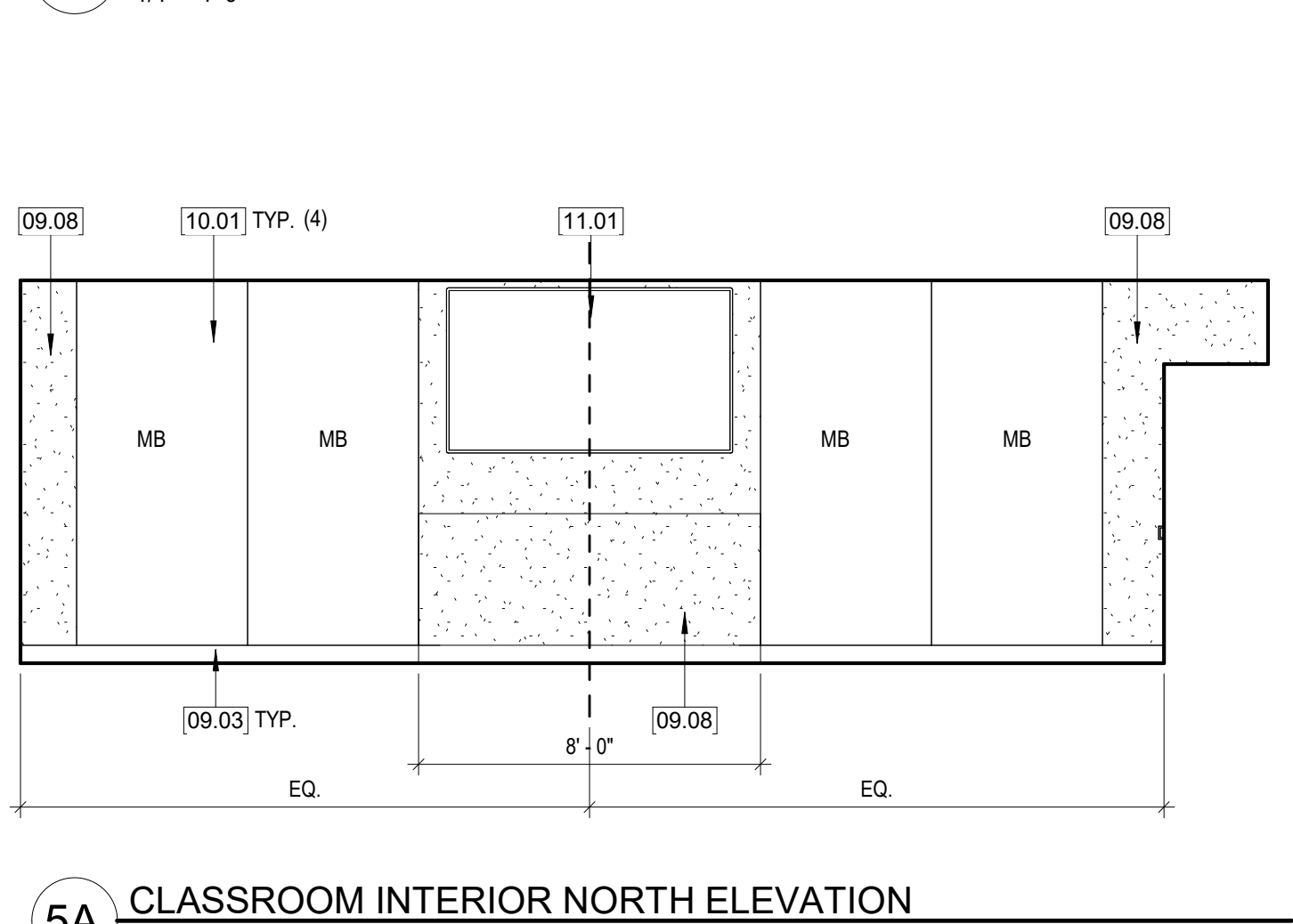
5D CLASSROOM INTERIOR WEST ELEVATION 1/4" = 1'-0"



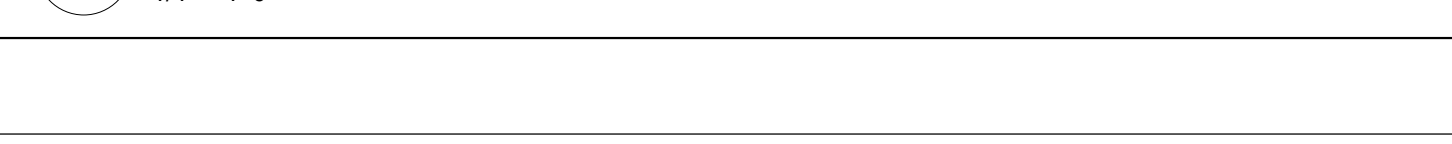
5B CLASSROOM INTERIOR EAST ELEVATION 1/4" = 1'-0"



5C CLASSROOM INTERIOR SOUTH ELEVATION 1/4" = 1'-0"



5A CLASSROOM INTERIOR NORTH ELEVATION 1/4" = 1'-0"

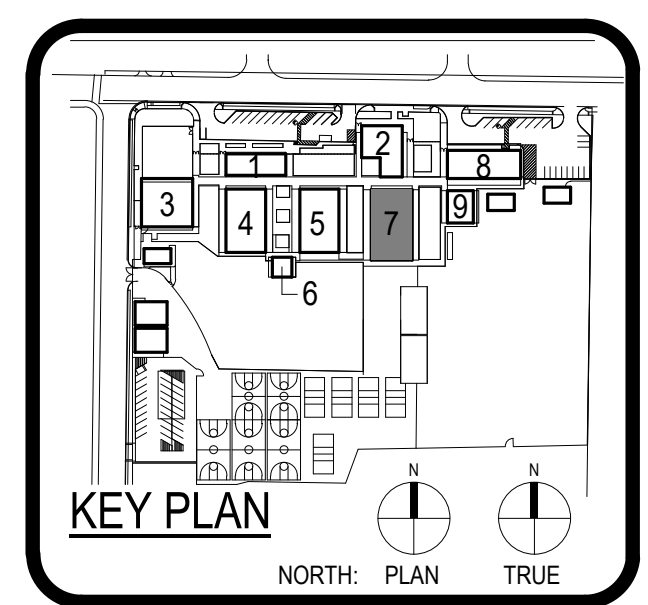


5 CLASSROOM INTERIOR ELEVATIONS 1/4" = 1'-0"

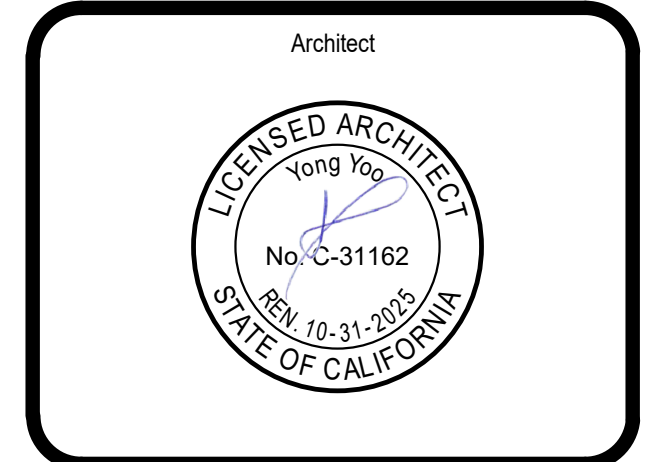


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WALNUT GROVE I.S. - SCIENCE CLASSROOM
 MODERNIZATION



Consultant

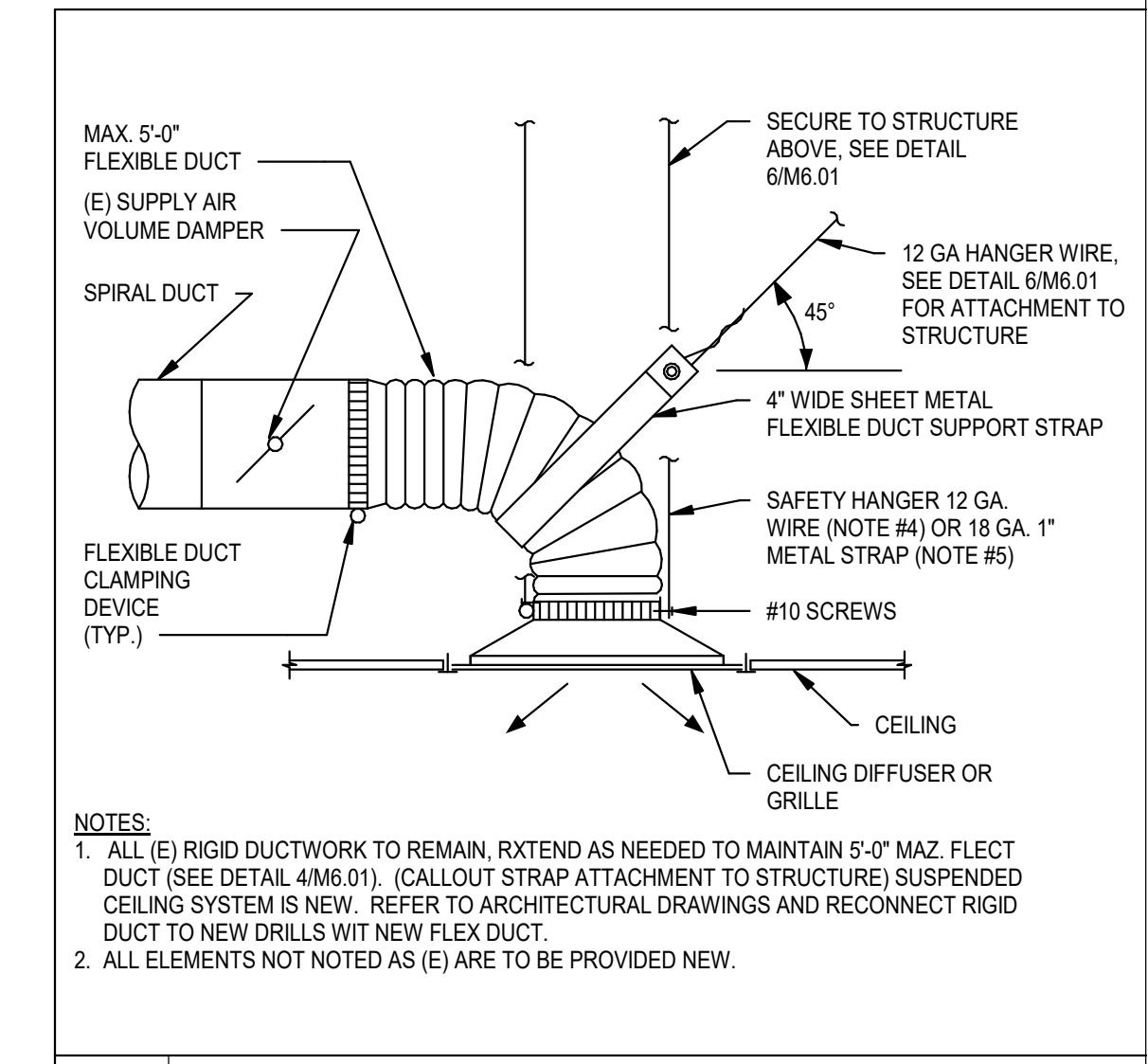


CLIENT		WEST COVINA USD
DATE	05/09/2023	PROJECT NUMBER
		220117

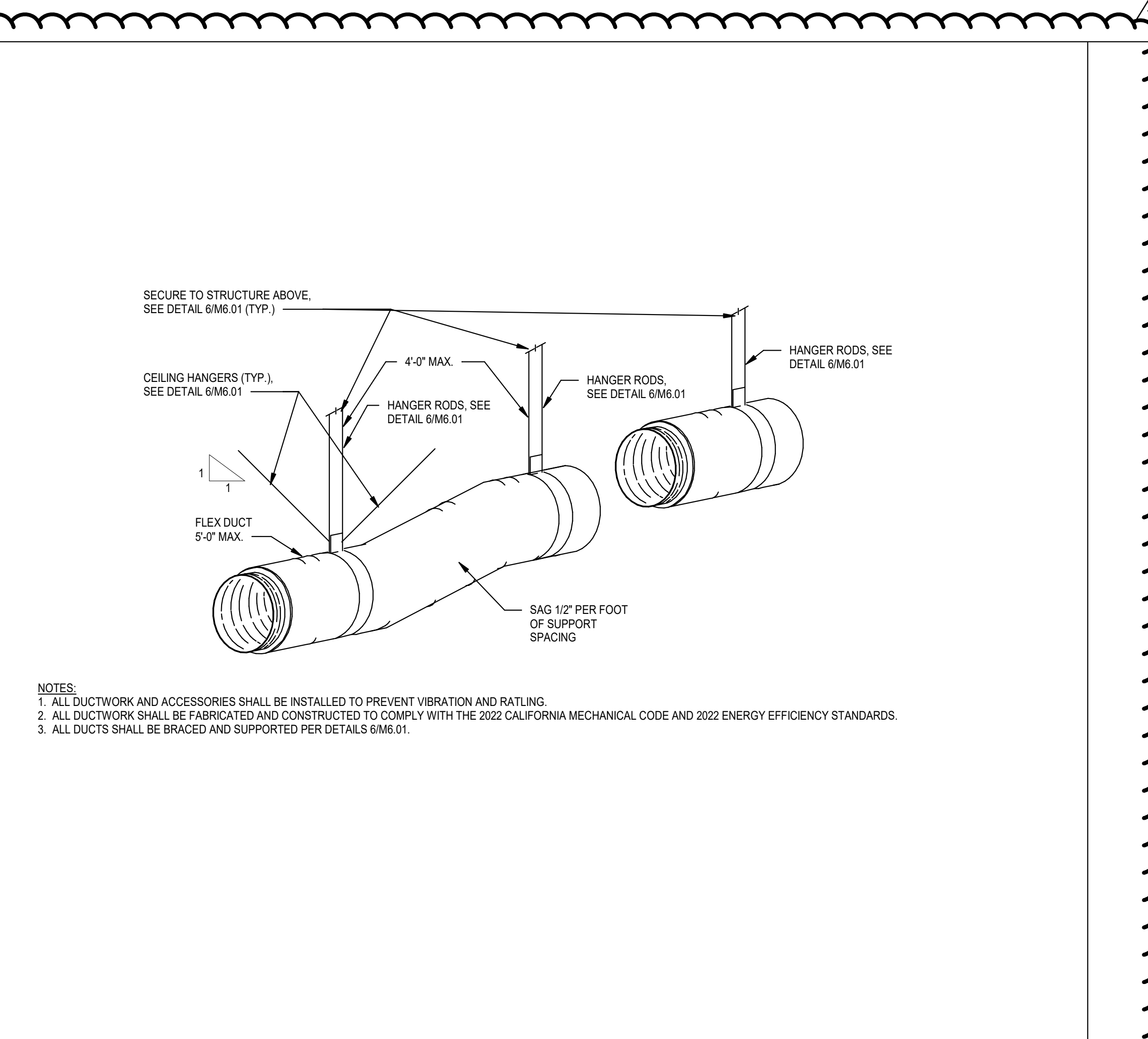
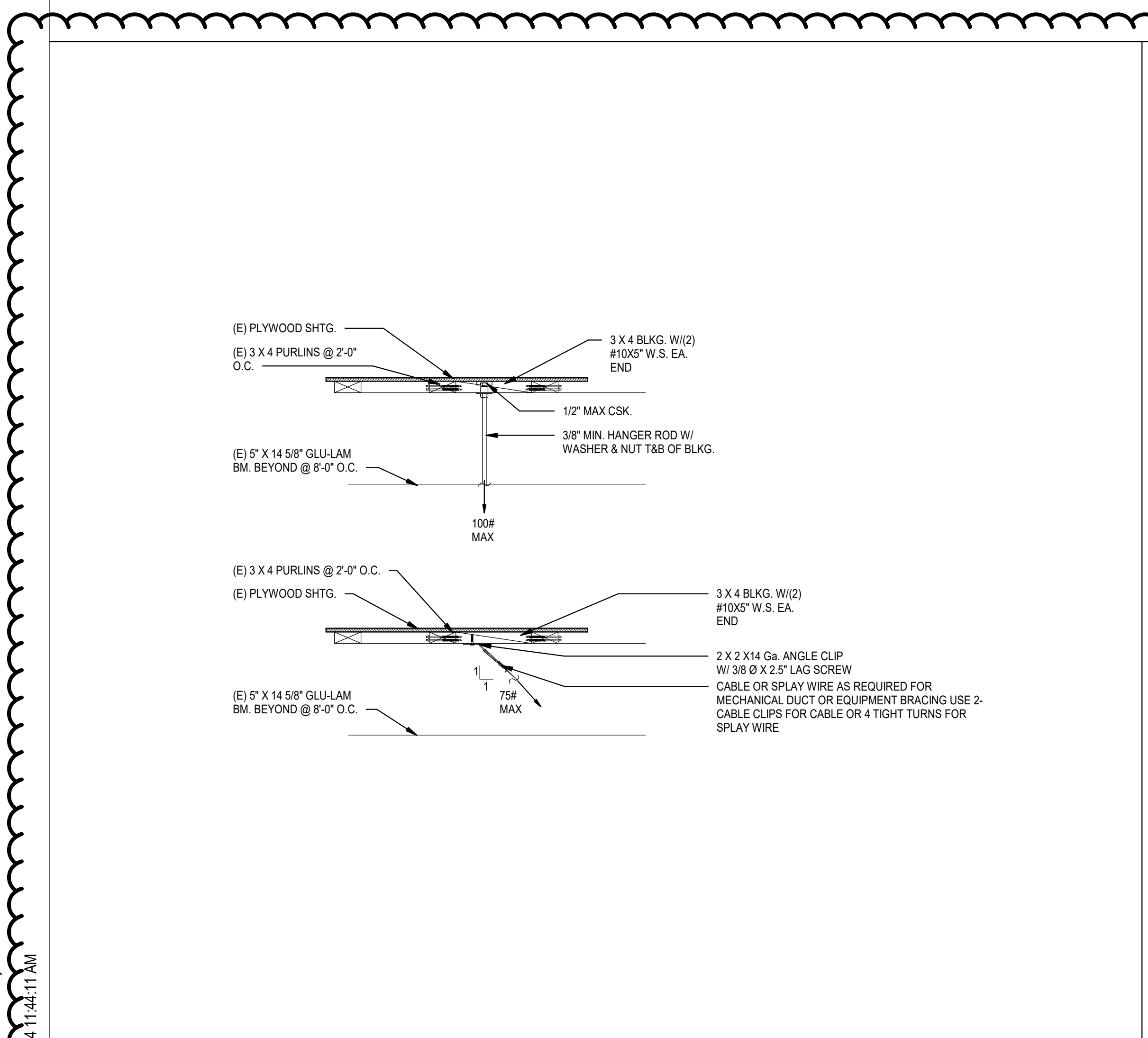
No.	Description	Date
1	ADDENDUM 001	03-07-2024

DSA BACKCHECK

INTERIOR ELEVATIONS



19 LAY IN DIFFUSER CONNECTION DETAIL
 NOT TO SCALE



2 DUCT CONSTRUCTION STANDARDS
 NOT TO SCALE

DIMENSION OF LONGEST SIDE, INCHES	SHEET METAL GAGE (ALL FOUR SIDES)	MINIMUM REINFORCING ANGLE SIZE AND MAXIMUM LONGITUDINAL SPACING BETWEEN TRANSVERSE JOINTS & OR INTERMEDIATE REINFORCING	TRANSVERSE REINFORCING (1)				
			AT JOINTS				
			DRIVE SLIP PLAN S SLIP	HEMMED S SLIP	ALTERN'T BAR SLIP	REINFORCED BAR SLIP	
			MIN. HT. IN.	RECOM-MENDED GAGE	RECOM-MENDED GAGE	RECOM-MENDED GAGE	RECOM-MENDED GAGE
UP THRU 12	26	NONE REQUIRED	1	26	26	24	24
13 - 18	24	NONE REQUIRED	1	24	24	24	24
19 - 30	24	1" X 1" X 1/8" @ 60 IN.	1		24	24	24
31 - 42	22	1" X 1" X 1/8" @ 60 IN.	1			22	22
43 - 60	20	1" X 1" X 1/8" @ 60 IN.	1				20
61 & ABOVE	18	1" X 1" X 1/8" @ 60 IN.	1				18

(1) TRANSVERSE REINFORCING SIZE IS DETERMINED BY DIMENSION OF SIDE TO WHICH ANGLE IS APPLIED.

