WEST COVINA USD

WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

DSA BACKCHECK

10/02/2023

OWNER

WEST COVINA USD
1717 W. Merced Avenue
West Covina, CA 91790
t: 626-939-4600
Contact: Jose D. Gomez

ARCHITECT

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t: 909.987.0909
Contact: Gilbert Baez

MEP, FIRE ALARM & TECHNOLOGY ENGINEER

LEAF ENGINEERS
8163 ROCHESTER AVENUE,
RANCHO CUCAMONGA, CA
91730
t: 909-987-0909
Contact: Rex Wang

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E Vine Ave,
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

Architect
LICENSED ARCHITECT
Yong Yao
No. C-31162
REN. 10-31-2023
STATE OF CALIFORNIA

COVER SHEET

G0.00

G0.01 - SHEET INDEX, DRAWING CONVENTIONS, AND LOCATION MAP

0" 1"

DRAWING CONVENTIONS

PROPERTY LINE

AREA DRAIN

EXISTING ELEVATION

FINISH GRADE ELEVATION

NORTH SYMBOL

COLUMN LINE

FLOOR LINE

MATCH LINE

SECTION CALLOUT SYMBOL

EXTERIOR ELEVATION SYMBOL

INTERIOR ELEVATION SYMBOL

DOOR DESIGNATION

WINDOW DESIGNATION

PARTITION TYPE

EXISTING PARTITION

NEW PARTITION

REVISION NUMBER

DETAIL ENLARGED

PLAN OR DETAIL ENLARGED

DETAIL SECTIONS AND VERTICAL SECTIONS

DIMENSIONS

NOTE: all dimensions to face of wall unless otherwise noted

SPOT ELEVATION

SPOT COORDINATE

MATCH LINE
SEE XX/X-XXX
SHEET NUMBER ON WHICH CONTINUATION IS FOUND

FENCING (WITH POSTS)

BREAK LINE

KEY NOTE

Room name
101
150 SF
ROOM NAME AND NUMBER

FIRE HOSE CABINET (RECESSED AND SURFACE MOUNTED)

FIRE EXTINGUISHER CABINET (RECESSED AND SURFACE MOUNTED)

EQUIPMENT DESIGNATION

TOILET ACCESSORY SYMBOL

SHOWER HEAD

FLOOR SINK

FLOOR DRAIN

OVERFLOW DRAIN AND ROOF DRAIN

ROOF TOP UNIT
REFER TO MECHANICAL FOR TYPE

GRAPHIC SCALE
SCALE: 1" = 4'-0"

ABBREVIATIONS

A.D.	AREA DRAIN	EQUIP	EQUIPMENT	MEP	MECHANICAL, ELECTRICAL AND PLUMBING	S.D.	SOAP DISPENSER
A.D.A.	AMERICANS WITH DISABILITIES ACT	EXIST	EXISTING	MEZZ.	MEZZANINE	SCHED	SCHEDULE
A.F.F.	ABOVE FINISH FLOOR	EXP	EXPANSION	MFR.	MANUFACTURE (R)	SCPL	SOLID CORE PLASTIC LAMINATE
A.F.G.	ABOVE FINISH GRADE	EXT	EXTERIOR	MH.	MANHOLE	SECT	SECTION
A.H.J.	ATHORITY HAVING JURISDICTION	F.E.	FIRE EXTINGUISHER	MIN.	MINIMUM	SHT	SHEET
A/C	AIR CONDITIONING	F.E.C.	FIRE EXTINGUISHER CABINET	MISC.	MISCELLANEOUS	SIM	SIMILAR
ACP.	ACOUSTICAL PANEL	F.H.C.	FIRE HOSE CABINET	MOD	MODULAR	SPC	SPECIAL COATING SYSTEM
ACT.	ACOUSTICAL TILE	FB.	FACE BRICK	MTL	METAL	SPEC	SPECIFICATION (S)
ADJ.	ABADJUSTABLE	FD.	FLOOR DRAIN	MTP.	METAL TOILET PARTITION	SQ.	SQUARE
ALT.	ALTERNATE	FIN.	FINISH (ED)			SS.	SOUND STRIP
ALUM.	ALUMINUM	FIXT.	FIXTURE	N.D.	NAPKIN DISPOSAL	SS. STL.	STAINLESS STEEL
ASPH.	ASPHALT	FLR.	FLOOR (ING)	N.I.C.	NOT IN CONTRACT	STD	STANDARD
	ANGLE	FLSHG.	FLASHING	N.R.	NOT RATED	STL	STEEL
		FLUOR	FLUORESCENT	N.T.S.	NOT TO SCALE	STRUC	STRUCTURAL
B.U.R.	BUILT-UP ROOF			N.V.	NAPKIN VENDOR	SUSP	SUSPENDED
BD.	BOARD	G.B.	GRAB BAR	NO.	NUMBER	SVDF	SHEET VINYL DANCE FLOORING
BLDG.	BUILDING	G.I.	GALVANIZED IRON	O.C.	ON CENTER (S)	SYS	SYSTEM
BLK.	BLOCK	GA.	GAUGE	O.C.E.W.	ON CENTER EACH WAY		
BM.	BEAM	GALV.	GALVANIZED	O.D.	OUTSIDE DIAMETER	T.B.	TACK BOARD
		GCMU	GLAZED CONCRETE MASONRY UNIT	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	T.D.R.	TOWEL DISPENSER AND RECEPTACL
C	CHANNEL	GEN.	GENERAL	O.H.	OPPOSITE HAND	T.O.	TOP OF
C.J.	CONTROL JOINT	GEN.	GENERAL	OPNG.	OPENING	T.O.B.	TOP OF (WOOD) BLOCKING
C.M.U.	CONCRETE MASONRY UNIT	GL.	GLASS / GLAZING	OPP.	OPPOSITE	T.O.M.	TOP OF MASONRY
C.W.	COLD WATER	GL.	GLASS			T.O.R.	TOP OF RANGE
CAB. CABT	CABINET	GR.	GRADE	P. LAM.	PLASTIC LAMINATE	T.T.D.	TOILET TISSUE DISPENSER
CFMF	COLD FORMED METAL FRAMING	GTP.	GLAZED TILE PAVER	P.C.	PRECAST	TCNA	TILE COUNCIL OF NORTH AMERICA
		GYP.	GYPSUM DRYWALL	P.H.	PAPER HOLDER		
CL	CENTERLINE			P.L.	PROPERTY LINE	TEL	TELEPHONE
CLG.	CEILING	H.W.	HOT WATER	P.P.	POWER POLE	TERR	TERRAZZO
CLR	CLEAR	HM	HOLLOW METAL FRAME	P.W.B.	PREFINISHED WALL BOARD	THK	THICK (NESS)
COL.	COLUMN	HORIZ.	HORIZONTAL	PL.	PLATE	TYP	TYPICAL
COMP.	COMPRESSIBLE	HT.	HEIGHT	PLUMB.	PLUMBING		
CONC.	CONCRETE			PLYWD.	PLYWOOD	U.N.O.	UNLESS NOTED OTHERWISE
COND.	CONDITION	I.D.	INSIDE DIAMETER	POL.	POLISHED	UR.	URINAL
CORR.	CORRIDOR	I.P.S.	IRON PIPE SIZE	PR.	PAIR		
CPT.	CARPET (ED)	INSUL	INSULATE (ED), (ION)	PREFIN.	PRE-FINISHED	V	VENT
CT.	CERAMIC TILE	INT.	INTERIOR	PT.	POINT	V.C.T.	VINYL COMPOSITION TILE
CTG	CLEAR TEMPERED GLAZING	ISA	INTERNATIONL SYMBOL OF ACCESSIBILITY	PTD.	PAINTED	V.I.F.	VERIFY IN FIELD
CTSK.	COUNTER SINK					VENT.	VENTILATING, VENTILATED
		JT.	JOINT	Q.T.	QUARRY TILE	VER.	VERIFY
D	DRYER					VERT.	VERTICAL
D.F.	DRINKING FOUNTAIN	L.P.	LIGHT POLE	R / RAD	RADIUS	VGB	(PREFINISHED) VINYL CLAD GYPSUM BOARD
D.P.	DAMPPROOFING	LAM.	LAMINATE (D)	RD	ROOF DRAIN	VWC	VINYL WALL COVERING
D.S.	DOWN SPOUT	LAV.	LAVATORY	RE. , REF.	REFER TO / REFERENCE / SEE		
DIA.	DIAMETER	LT.	LIGHT	RECP.	RECEPTACLE	W	WASHING MACHINE
DIM.	DIMENSION	LT. WT.	LIGHTWEIGHT	REINF.	REINFORCE (D), (ING)	W.P.	WATER PROOFING
DTL.	DETAIL			REQD.	REQUIRED	W.S.	WEATHERSTRIP
DWG.	DRAWING	M.O.	MASONRY OPENING	RES.	RESILIENT	W.W.	WATER WELL
		MAS.	MASONRY	REV.	REVISION (S), REVISED	W.W.F	WELDED WIRE FABRIC
E.J.	EXPANSION JOINT	MATL.	MATERIAL (S)	RF	RECREATIONAL RESILIENT FLOORING	W/	WITH
E.Q.	EQUAL	MAX.	MAXIMUM			WC	WATER CLOSET
EA.	EACH	MB.	MARKER BOARD	RPG.	RELOCATABLE PAINTED GYPSUM BOARD	WD	WOOD
EDF	ELECTRIC DRINKING FOUNTAIN	MECH.	MECHANICAL			WDW	WINDOW
EL.	ELEVATION (HEIGHT)	MEM	MEMBRANE	RSS.	ROD STOCK AND SEALANT	WT	WEIGHT
ELECT.	ELECTRICAL	MEM. WP.	MEMBRANE WATERPROOFING	S.C.	SEALED CONCRETE		
ELEV	ELEVATION (DRAWING)						

STATEMENT OF GENERAL CONFORMANCE

FOR ARCHITECTS/ENGINEERS WHO UTILIZE PLANS, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PREPARED BY OTHER LICENSED DESIGN PROFESSIONALS AND/OR CONSULTANTS
(Application No. 03-123048 File No. 19-110)

☒ The drawings or sheets listed on the cover or index sheet (see asterisk *)
☐ This drawing, page of specifications/calculations

have been prepared by other design professionals or consultants who are licensed and/or authorized to prepare such drawings in this state. It has been examined by me for:

1) design intent and appears to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications prepared by me, and
2) coordination with my plans and specifications and is acceptable for incorporation into the construction of this project.

The Statement of General Conformance "shall not be construed as relieving me of my rights, duties, and responsibilities under Sections 17302 and 81138 of the Education Code and Sections 4-336, 4-341 and 4-344" of Title 24, Part 1. *(Title 24, Part 1, Section 4-317 (b))*

I certify that: ☒ The drawings or sheets listed on the cover or index ☐ This drawing or page

☒ is/are in general conformance and	☐ is/are in general conformance and
☒ have been coordinated	☐ have been coordinated
Signature — Date: 10 - 02 - 2023	Signature — Date
Architect or Engineer designated to be in general responsible charge	Architect or Engineer deligated responsibility for this portion of the work
YONG YOO	Print Name
Print Name	
NO. C-31162 — Expiration Date: 10 - 31 - 2023	License Number — Expiration Date
License Number	

GENERAL NOTES

1. CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT.
2. THE CONSTRUCTION DOCUMENT DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.
3. PERFORMANCE BY THE CONSTRUCTION TEAM SHALL BE CONSISTENT WITH THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AS NECESSARY TO DELIVER THE INDICATED RESULTS OF THE DESIGN INTENT.
4. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS AND LAWS.
5. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS AND SCAFFOLDING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
7. ENACT ALL MEASURES TO PROTECT AND SAFEGUARD ALL EXISTING ELEMENTS TO REMAIN FROM BEING DAMAGED. REPLACE OR REPAIR EXISTING ELEMENTS DAMAGED BY THE EXECUTION OF THIS CONTRACT TO EQUAL OR BETTER CONDITION.
8. CUTTING, BORING, SAWCUTTING OR DRILLING THROUGH THE EXISTING OR NEW STRUCTURAL ELEMENTS SHALL NOT BE STARTED UNTIL THE DETAILS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT, AND STRUCTURAL ENGINEER OF RECORD.
9. VERIFY DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
10. REFLECTED CEILING PLAN DIMENSIONS ARE REFERENCED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR TO FINISHED CEILING HEIGHT.
11. DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
12. DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF CLARIFICATION IS REQUIRED IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS, CONTACT THE ARCHITECT.
13. NOTES OR DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO SITUATIONS THAT ARE THE SAME OR SIMILAR.
14. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
15. ALL SPACES WITH FLOOR DRAINS TO HAVE FINISHED FLOORS SLOPED TO DRAIN NOT TO EXCEED ONE IN FIFTY.
16. ALL FLOORS FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH CHANGES SHALL HAVE THRESHOLDS OR REDUCER STRIPS.
17. COORDINATE HOUSEKEEPING PAD DIMENSIONS AND LOCATIONS WITH EQUIPMENT TO BE INSTALLED.
18. ALL DOORS IN INTERIOR GYP. BD STUD WALLS SHALL BE SET 4" OFF THE PERP. ADJ. WALL ON THE HINGE SIDE OF THE DOOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IF ANY CONFLICTS OCCUR.
19. ALUM. THRESHOLDS TO BE SET IN FULL BED OF SEALANT AT ALL EXT. DOORS.
20. COORDINATE ROOF DRAIN LEADER LOCATIONS WITH FLOOR PLAN PRIOR TO SLAB CONSTRUCTION.
21. PROVIDE VINYL REDUCER AT ALL DISSIMILAR FLOOR MATERIALS UNLESS OTHERWISE NOTED.
22. UNLESS OTHERWISE NOTED, ALL ELECTRICAL AND MECHANICAL OPERABLE DEVICES SHALL BE MOUNTED WITH THE HIGHEST OPERABLE CONTROL AT MAX. OF 40" AFF.
23. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE DSA APPROVED DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CONSTRUCTION CHANGE DOCUMENT, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE REPAIR WORK, PER CAC, 2013, 4-317(c)
24. ALL ITEMS ARE "NEW", UNLESS NOTED AS EXISTING, TYPICAL
25. NO DEMOLITION WORK SHALL BEGIN UNTIL PLANS, INCLUDING THE DEMOLITION WORK HAVE BEEN APPROVED
26. THE CALIFORNIA ENERGY CODE SECTION 10-103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TEST IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.
27. LIGHTING CONTROLS ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS ACCEPTANCE TEST TECHNICIAN (ATT).
28. MECHANICAL SYSTEM ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED MECHANICAL ATT FOR PROJECTS SUBMITTED ON OR AFTER OCTOBER 1, 2021.
29. ENVELOPE AND PROCESS EQUIPMENT ACCEPTANCE TESTS SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR, ENGINEER/ARCHITECT OF RECORD OR THE OWNER'S AGENT.
30. A LISTING OF CERTIFIED ATT CAN BE FOUND AT: HTTPS://WWW.ENERGY.CA.GOV/PROGRAMS-AND-TOPICS/PROGRAMS/ACCEPTANCE-TEST-TECHNICIAN-CERTIFICATION-PROVIDER-PROGRAM/ACCEPTANCE.
31. THE ACCEPTANCE TESTING PROCEDURES MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION/INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA.
32. PROJECT INSPECTORS WILL COLLECT THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.

SCOPE OF WORK

MODERNIZATION OF 3 SCIENCE CLASSROOMS, STUDENT RESTROOMS IN BUILDING 7 AND RESTROOM UPGRADES IN GENDER NEUTRAL RESTROOM IN THE ADMINISTRATION BUILDING.

MODERNIZATION INCLUDES, BUT IS NOT LIMITED TO ADDITIONAL STUDENT SINKS, TEACHER DEMONSTRATION TABLE WITH SINK, ELECTRICAL, TECHNOLOGY AND VOICE EVACUATION SYSTEMS PER CBC 907. NEW FINISHES. ACCESSIBILITY UPGRADES TO STUDENT RESTROOMS & REPLACING DRINKING FOUNTAIN WITH NEW HIGH-LOW WITH BOTTLE FILLING STATION

PATH OF TRAVEL UPGRADES TO VISITOR PARKING, ACCESSIBILITY UPGRADES IN GENDER NEUTRAL RESTROOMS IN THE ADMINISTRATION BLDG. REPLACING DRINKING FOUNTAIN WITH NEW HIGH-LOW WITH BOTTLE FILLING STATION AND (2) ADDITIONAL BOTTLE FILLING STATIONS IN MPR BUILDING

PROJECT DATA

PROJECT ADDRESS: 614 E VINE AVE, WEST COVINA CA 19790

DEFERRED APPROVAL ITEMS

N/A

DSA NOTES

1. ALL WORK SHALL CONFORM TO 2022 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)
2. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24, CCR
3. A PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-333.1, PART 1, TITLE 24, CCR; CLASS 3.
4. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRCT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
5. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON COVERED BY THE CONTACT DOCUMENTS WHERE IN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(c), PART 1, TITLE 24, CCR)
5. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES
6. FIRE SAFETY DURING DEMOLITION AND CONSTRUCTION SHALL COMPLY WITH CBC CHAPTER 33 AND CFC CHAPTER 33.*
7. THE ACCEPTANCE TESTING PROCEDURES MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION/INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA.

CODES & STANDARDS

PARTIAL LIST OF APPLICABLE CODES

2022 California Administrative Code (CAC)	(Part 1, Title 24, CCR)
2022 California Building Code (CBC)	(Part 2, Title 24, CCR)
2022 California Electrical Code (CEC)	(Part 3, Title 24, CCR)
2022 California Mechanical Code (CMC)	(Part 4, Title 24, CCR)
2022 California Plumbing Code (CPC)	(Part 5, Title 24, CCR)
2022 California Energy Code (CEC)	(Part 6, Title 24, CCR)
2022 California Fire Code (CFC)	(Part 9, Title 24, CCR)
2022 California Existing Building Code (CEBC)	(Part 10, Title 24, CCR)
2022 California Green Building Standards Code (CAL Green)	(Part 11, Title 24, CCR)
2022 California Referenced Standards Code	(Part 12, Title 24, CCR)
Title 19 CCR, Public Safety, State Fire Marshall Regulations	
2019 ASME A17.1/CSA B44-13 Safety Code For Elevators and Escalators (per 2022 CBC Part 2, Ch 35)	

Note: Cal/OSHA Elevator Unit enforces CCR Title 8 and uses the 2004 ASME A17.1 by adoption

PARTIAL LIST OF APPLICABLE STANDARDS

NFPA 10 Standard for Portable Fire Extinguishers	(2022 Edition)
NFPA 72 National Fire Alarm & Signaling Code (CA amended)	(2022 Edition)
UL 300 Fire Testing of Fire Extinguishing Sys for Protection of Restaurant Cooking Areas	2005 (R2010)
UL 464 Audible Signal Appliances	(2003 Edition)
UL 521 Heat Detectors for Fire Protective Signaling Systems	(1999 Edition)

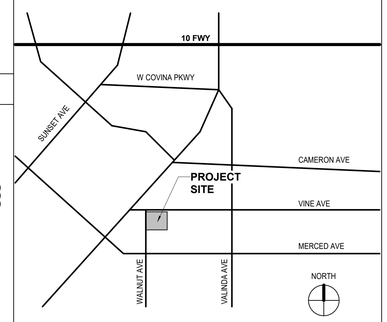
For a complete list of applicable NFPA standards refer to 2022 CBC (SFM) Chapter 35 and California Fire Code Chapter 80

See California Building Code Chapter 35 for State of California amendments to the NFPA Standards.

DRAWING INDEX

TOTAL SHEETS: 47

VICINITY MAP



SHEET NUMBERING

A2.01A
- BUILDING AREA
- SEQUENCE (.01 - .99.....etc.)
- SHEET DISCIPLINE TYPE

DISCIPLINE

G - GENERAL (Cover, A0 Sheets)	0 - GENERAL
C - CIVIL	1 - SITE PLANS & DETAILS
L - LANDSCAPE	2 - FLOOR PLANS (Note: Flip Sheets are Schedules)
D - DEMO	3 - ROOF
A - ARCHITECTURAL	4 - ADA & ENLARGED PLANS
S - STRUCTURAL	5 - PLAN DETAILS
I - INTERIORS	6 - EXTERIOR/INTERIOR ELEVATIONS
M - MECHANICAL	7 - PARTITION TYPES & WALL SECTIONS
E - ELECTRICAL	8 - CASEWORK ELEVATIONS
P - PLUMBING	9 - WINDOWS, DOORS, FRAME ELEVATIONS & DETAILS
T - TECHNOLOGY	10 - REFLECTED CEILING PLANS & DETAILS

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

ARCHITECT PBK Architects, Inc.
PBK.com
RANCHO CUCAMONGA
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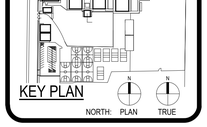
California 91730
P 909-987-0909

WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS: 614 E Vine Ave, West Covina, CA 91790
DSA BACKCHECK
DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



Consultant

Architect
LICENSED ARCHITECT Yong Yoo No. C-31162 RENEW 10-31-2023 STATE OF CALIFORNIA

CLIENT
WEST COVINA USD
DATE 05/09/2023 PROJECT NUMBER 220117

REVISIONS

No.	Description	Date

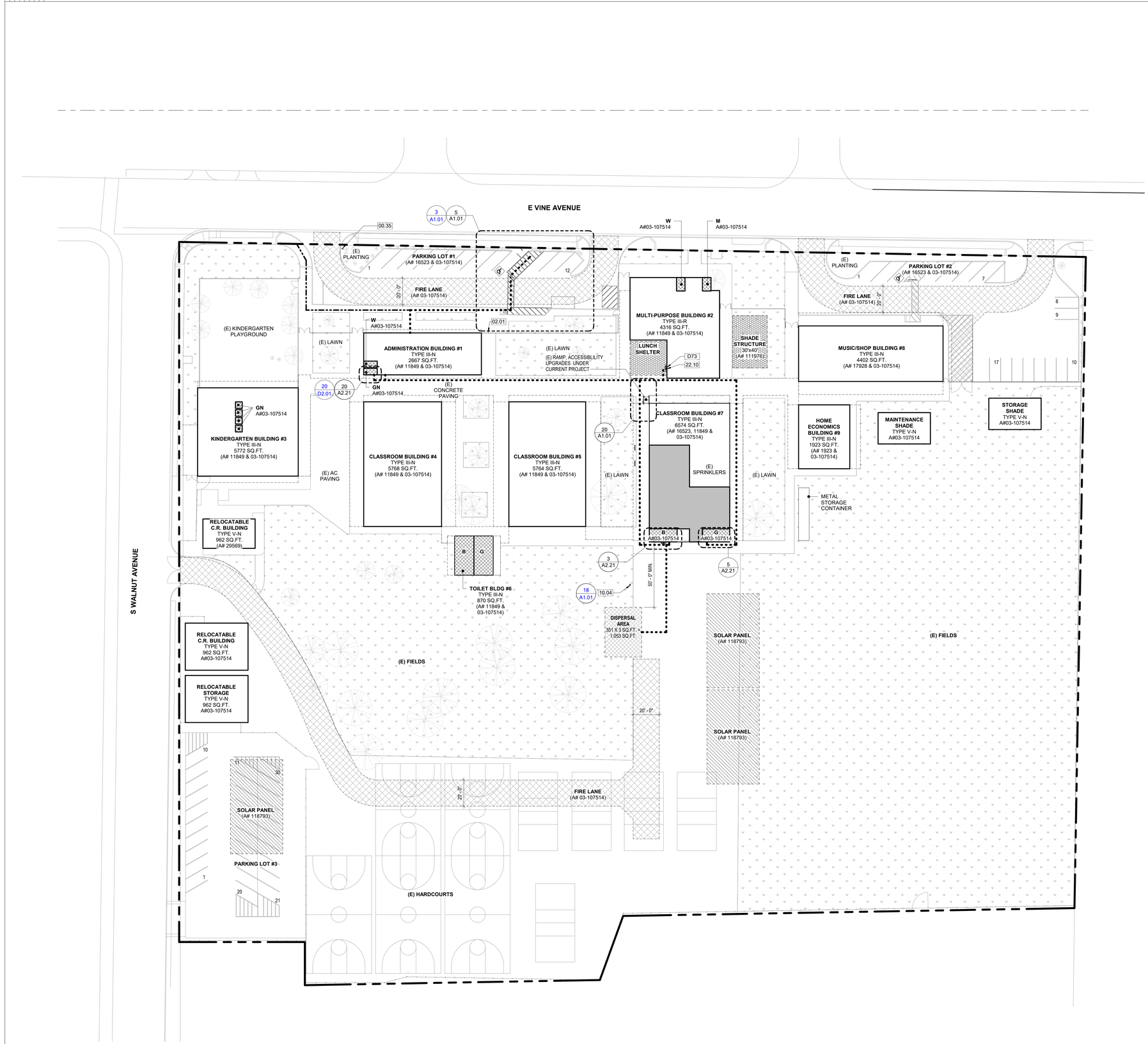
DSA BACKCHECK

SHEET INDEX, DRAWING CONVENTIONS, AND LOCATION MAP

G0.01

G0.02 - ACCESSABLE SITE PLAN

0" 1"



ACCESSIBILITY KEYED NOTES

#	Description
00.35	(E) SITE ACCESS SIGN PER A#03-107514, PROTECT IN PLACE
02.01	(E) METAL FENCE
10.04	SAFE DISPERSAL SIGN PER DETAIL 18/A1.01
22.10	ACCESSABLE HI-LOW CHILLED DRINKING FOUNTAIN WITH BOTTLE FILLER AND STEEL PIPE RAILS AND FOOTINGS. REPAIR CONC. AS NEEDED

DEMOLITION KEYED NOTES

#	Description
D73	DEMOLISH (E) DRINKING FOUNTAIN AND PIPE RAILS, SAWCUT SLAB IN PREPARATION FOR NEW PIPE RAILS

ACCESSIBILITY LEGEND

- PATH OF TRAVEL UNER CURRENT PROJECT
- (E) PATH OF TRAVEL (A#03 107514)
- PROPERTY LINE
- AREA IN SCOPE OF WORK
- (E) BUILDING NOT IN SCOPE
- (E) LUNCH SHELTER / E) SHADE STRUCTURE
- (E) SOLAR PANELS
- (E) ACCESSIBLE RESTROOM
- (E) BOYS RESTROOM
- (E) GIRLS RESTROOM
- (E) MEN RESTROOM
- (E) WOMEN RESTROOM
- (E) GENDER NEUTRAL RESTROOM
- (E) FIRE LANE

DSA PROJECT STATUS

DSA PROJECT STATUS AS OF 2/22/2023
DSA#'S ASSOCIATED IN WITH AREA OF SCOPE OF WORK

APP ID	PROJECT NAME	CERTIFIED LETTER TYPE	DATE
1923	----	CLOSED	
11849	----	CLOSED	
16523	----	CLOSED	
17928	----	CLOSED	
29569	----	CLOSED	
03-107514	CORONADO ALTERNATIVE SCHOOL Alterations to 1-Admin. Bldg 1; C.R. Bldgs 4, 5, 7; M.P. Bldg 2; K.G. Bldg 3; Toilet Bldg 6; Music/Shop Bldg 8; Home Economic Bldg 9 (A#1849, A#16523, A#17928); (1) C.R. Bldg.(Relocatable) (A#29569); Site Work	##2-CERTIFICATION & CLOSE OF FILE PER EDU	1/8/2019
03-111976	WALNUT GROVE MIDDLE SCHOOL CONSTRUCTION OF 1 - SHADE STRUCTURE/S (30'X40')	#1-CERTIFICATION & CLOSE OF FILE	6/21/211
03 118793	WALNUT GROVE INTERMEDIATE CONSTRUCTION OF 3-SOLAR PANEL STRUCTURES PC 04-115627, RELATED SITE WORK.	DSA 301P NOTIFICATION OF REQUIREMENT FOR CERTIFICATION	1/20/2021

PATH OF TRAVEL

PATH OF TRAVEL
PATH OF TRAVEL (P.O.T.) AS INDICATED MEETS THE FOLLOWING REQUIREMENTS:
1. IS A BARRIER-FREE ACCESSIBLE ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT A SLOPE NOT STEEPER THAN 1:2 EXCEPT THAT LEVEL CHANGES ARE 1/4" MAX. VERTICAL & IS AT LEAST 48" WIDE.
2. SURFACE SHALL BE STABLE, FIRM AND SLIP RESISTANT.
3. CROSS-SLOPE SHALL NOT BE STEEPER THAN 1:48 AND RUNNING SLOPE SHALL NOT BE STEEPER THAN 1:20 UNLESS OTHERWISE INDICATED (CBC 11B-403.3)
4. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (CBC 11B-307.4) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL SURFACE BETWEEN 27" AND 80" ABOVE FINISH FLOOR OR GROUND (CBC 11B-307.2)
5. PROVIDE FLUSH TRANSITIONS AT ANY ADJOINING JOINTS BETWEEN DIFFERENT WALK SURFACES IN P.O.T.
6. ARCHITECT TO VERIFY THERE ARE NO BARRIERS IN THE P.O.T. AND ALL P.O.T. COMPLY WITH CBC 11B-206.

"DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:
THE POT INDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR **PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS.** AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT."

PARKING CALCULATION

(E) PARKING LOT 1 (A# 16523 & 03-107514):
- STANDARD STALLS 12
- VAN ACCESSIBLE STALLS 1
- STD ACCESSIBLE STALLS 0

TOTAL P-LOT 1 STALLS **13**

(E) PARKING LOT 2 VISITOR (A# 16523 & 03-107514):
- STANDARD STALLS 16
- VAN ACCESSIBLE STALLS 1
- STD ACCESSIBLE STALLS 0

TOTAL P-LOT 2 STALLS **17**

(E) PARKING LOT 3 (STAFF):
- STANDARD STALLS 30
- VAN ACCESSIBLE STALLS 0
- STD ACCESSIBLE STALLS 0

TOTAL P-LOT 3 STALLS **30**

TOTAL STALLS ON SITE **60**

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

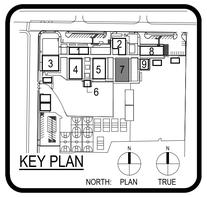
PBK

ARCHITECT PBK Architects, Inc.
PBK.com
RANCHO CUCAMONGA
8163 Rochestser Avenue, Suite 100
Rancho Cucamonga
California 91730
P 909-987-0909

WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS: 614 E.Vine Ave. West Covina, CA 91790
DSA BACKCHECK
DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



Consultant

Architect

LICENSED ARCHITECT Yong Yoo No. C-31162 REN 10-31-2023 STATE OF CALIFORNIA

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
05/09/2023	220117

REVISIONS

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DSA BACKCHECK

ACCESSABLE SITE PLAN

G0.02

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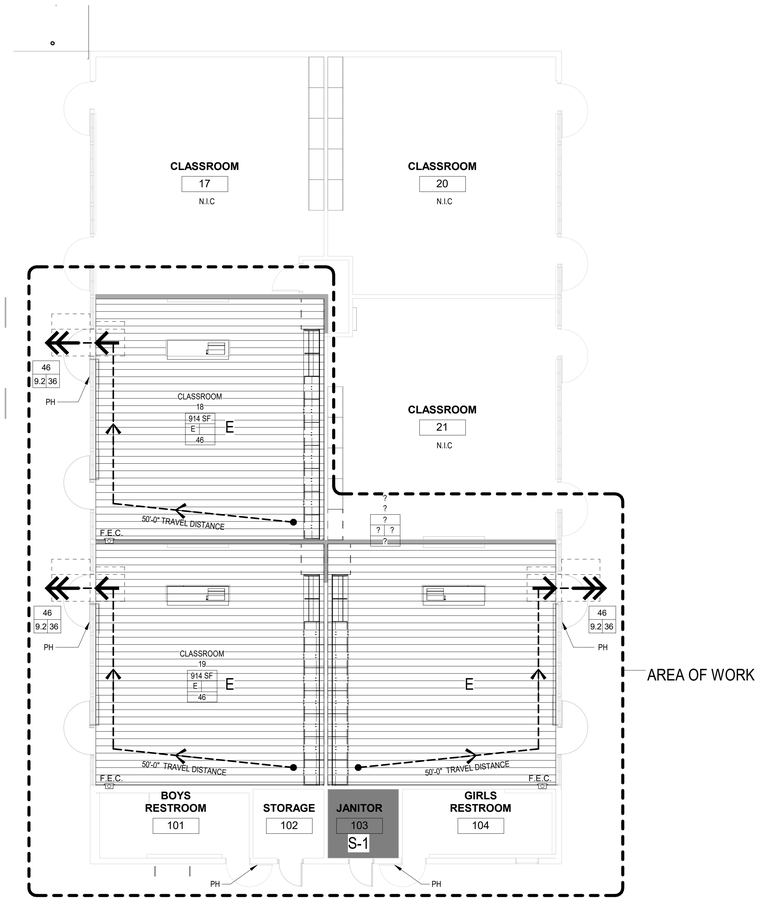
6 ACCESSABLE SITE PLAN
1" = 30'-0"

G0.021 - LIFE SAFETY EGRESS PLAN

0" 1"

24 NOT USED

22 NOT USED



CODE PLAN LEGEND

- N.I.C
- E - EDUCATIONAL
- S-1: MODERATE HAZARD STORAGE
- TRAVEL DISTANCE
- EXIT
- EXIT DISCHARGE / EXIT ROUTE
- PH — PANIC HARDWARE
- OL#60 — OCCUPANT LOAD NUMBER INDICATED ON OCCUPANT LOAD SIGNAGE
- E — OCCUPANCY GROUP
- F.E.C. — FIRE EXTINGUISHER CABINET
- ILLUMINATED EXIT SIGN, REFER TO ELECTRICAL
- 1551 SF — ROOM AREA (SQ. FT.)
- 20 — OCCUPANT LOAD FACTOR (2022 CBC TABLE 100.4.5)
- 78 — OCCUPANT LOAD
- OCCUPANCY GROUP
- 33 — OCCUPANT LOAD EXITING THU DOOR OPENING
- 6.6 36 — PROVIDED EXIT WIDTH (INCHES)
- REQUIRED EXIT WIDTH (INCHES) (2019 CBC SECTION 1005.3.2)

6 NOT USED

4 LIFE SAFETY PLAN
1/8" = 1'-0"

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WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

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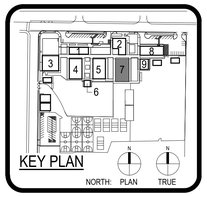
WEST COVINA Unified School District



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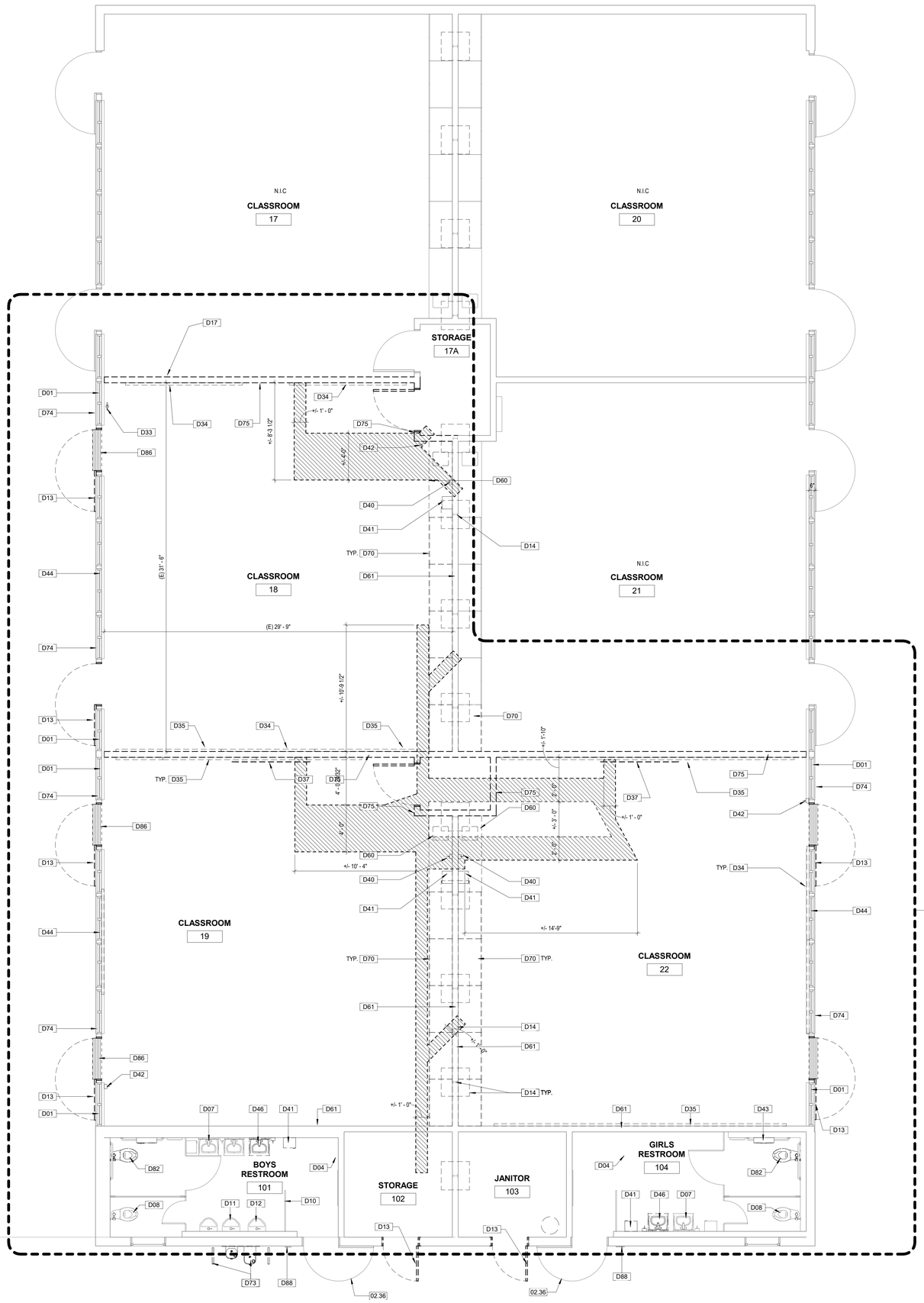
LIFE SAFETY EGRESS PLAN

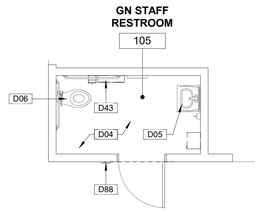
G0.021

0" 1"



DEMOLITION LEGEND

- (E) NO-RATED WALL PARTITION
- ELEMENT TO BE DEMOLISHED AS NOTED IN PLAN
- CONCRETE SLAB TO BE SAWCUT AND DEMOLISHED. REFER TO PLUMBING PLANS FOR ADDITIONAL INFORMATION
- REMOVE (E) WINDOW & FRAME IN IT'S ENTIRETY
- DEMOLISH (E) DOOR & HARDWARE - (E) DOOR FRAME TO REMAIN (UNO)



20 DEMO. FLOOR PLAN - GN RESTRM
1/4" = 1'-0"

DEMOLITION KEYED NOTES

#	Description
D01	EXISTING WINDOWS TO REMAIN, PROTECT IN PLACE
D04	(E) FLOOR FINISH TO REMAIN, PROTECT IN PLACE
D05	(E) ACCESSIBLE LAVATORY TO REMAIN, PROTECT IN PLACE
D06	(E) FLOOR MOUNTED ACCESSIBLE WATER CLOSET, PROTECT IN PLACE
D07	(E) NON-ACCESSIBLE LAVATORY TO REMAIN, PROTECT IN PLACE
D08	(E) FLOOR MOUNTED NON-ACCESSIBLE WATER CLOSET, PROTECT IN PLACE
D10	(E) URINAL SCREEN TO REMAIN, PROTECT IN PLACE
D11	(E) URINAL TO REMAIN, PROTECT IN PLACE
D12	(E) ACCESSIBLE URINAL TO REMAIN, PROTECT IN PLACE
D13	(E) DOOR TO BE REMOVE AND DOOR FRAME TO PROTECT IN PLACE
D14	(E) STRUCTURE COLUMN AND FOOTING TO REMAIN, PROTECT IN PLACE
D17	(E) CARPET TO BE TEMPORARILY PULLED BACK FOR RE-FRAMING OF WALL
D33	REMOVE (E) FIRE EXTINGUISHER.(RETURN TO DISTRICT)
D34	REMOVE (E) MARKERBOARD, RETURN TO DISTRICT
D35	REMOVE (E) TACKBOARD, RETURN TO DISTRICT
D37	REMOVE (E) TV AND MOUNT, (RETURN TO DISTRICT)
D40	REMOVE (E) SOAP DISPENSER, RETURN TO THE DISTRICT
D41	REMOVE (E) PAPER TOWEL DISPENSER, RETURN TO THE DISTRICT
D42	REMOVE (E) HAND SANITIZER DISPENSER, RETURN TO THE DISTRICT
D43	REMOVE (E) NONCOMPLIANT TOILET PAPER DISPENSER, RETURN TO THE DISTRICT
D44	REMOVE (E) GLAZING OF BOTTOM 3 ROWS IN THE (E) WINDOWS FRAMES BETWEEN THE TWO EXTERIOR DOORS (E) GLAZING ON OP ROW TO PROTECT IN PLACE. PREPARE (E) WINDOW FRAME TO ACCEPT NEW GLAZING. REFER TO DETAIL 20/A9.1
D46	EXISTING ACCESSIBLE LAVATORY TO BE REMOVE, SALVAGE TO DISTRICT FOR REINSTALL PER MOUNTAIN HEIGHT
D60	DEMOLISH (E) COUNTERTOP, INTEGRAL SINKS, & CASEWORK
D61	(E) PLASTER WALL, STRIP WALL DOWN TO STUD TO PROVIDE NEW GYP. BD
D70	DEMOLISH (E) TALL STORAGE CABINETS
D73	DEMOLISH (E) DRINKING FOUNTAIN AND PIPE RAILS, SAWCUT SLAB IN PREPARATION FOR NEW PIPE RAILS
D74	REMOVE (E) NON-COMPLIANT ROOM ID SIGN
D75	DEMOLISH EXISTING WALL, DOOR AND FRAME
D82	DEMOLISH (E) WATER CLOSET
D86	REMOVE (E) THRESHOLDS
D88	REMOVE (E) NON COMPLIANT WALL RESTROOM SIGN

BUILDING DEMOLITION NOTES

1. THE DEMOLITION PLAN OUTLINES SOME OF THE SCOPE OF THE WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMO SCOPE
2. CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMERCIAL DEMOLITION ACTIVITIES. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
3. AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
4. CONTRACTOR WILL BE REQUIRED TO REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND/OR PARKING AREAS DISTURBED BY DEMOLITION.
5. CONTRACTOR WILL BE REQUIRED TO REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
6. ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
7. REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE. TO MATCH EXISTING/ADJACENT CONSTRUCTION.
8. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
9. CONTRACTOR SHALL REMOVE DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
10. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND/OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST)
11. NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD CONDITION.
12. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
13. MAINTAIN THE INTEGRITY OF ALL EXISTING RATED WALLS, FIRE SEAL ANY PENETRATIONS WITH U.L. APPROVED ASSEMBLY.
14. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
15. PROTECT EXISTING SITE IMPROVEMENTS AND LANDSCAPING TO REMAIN. INCLUDING BUT NOT LIMITED TO EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
16. CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AND AS REQUIRED BY GOVERNING AUTHORITIES.
17. DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
18. WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
19. CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
20. CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
21. REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PIPING INSTALLATION.
22. EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
23. NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LINTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
24. WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEP DRAWINGS
25. REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
26. PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
27. WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING
28. NOTIFY ARCHITECT & OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK; PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
29. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
30. CONTRACTOR TO PROVIDE ALL NECESSARY SHORING FOR PROTECTION OF EXISTING STRUCTURE AND FOUNDATION TO REMAIN.
31. ALL DASHED LINES ARE DEMOLITION LINES UNLESS NOTED OTHERWISE.

32. ALL DEMOLITION SHALL COMPLY WITH CH. 33 & ARTICLE 33 CBC

6 DIMOLITION FLOOR PLAN - BLDG 7
1/4" = 1'-0"

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WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

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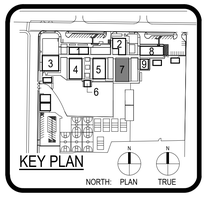

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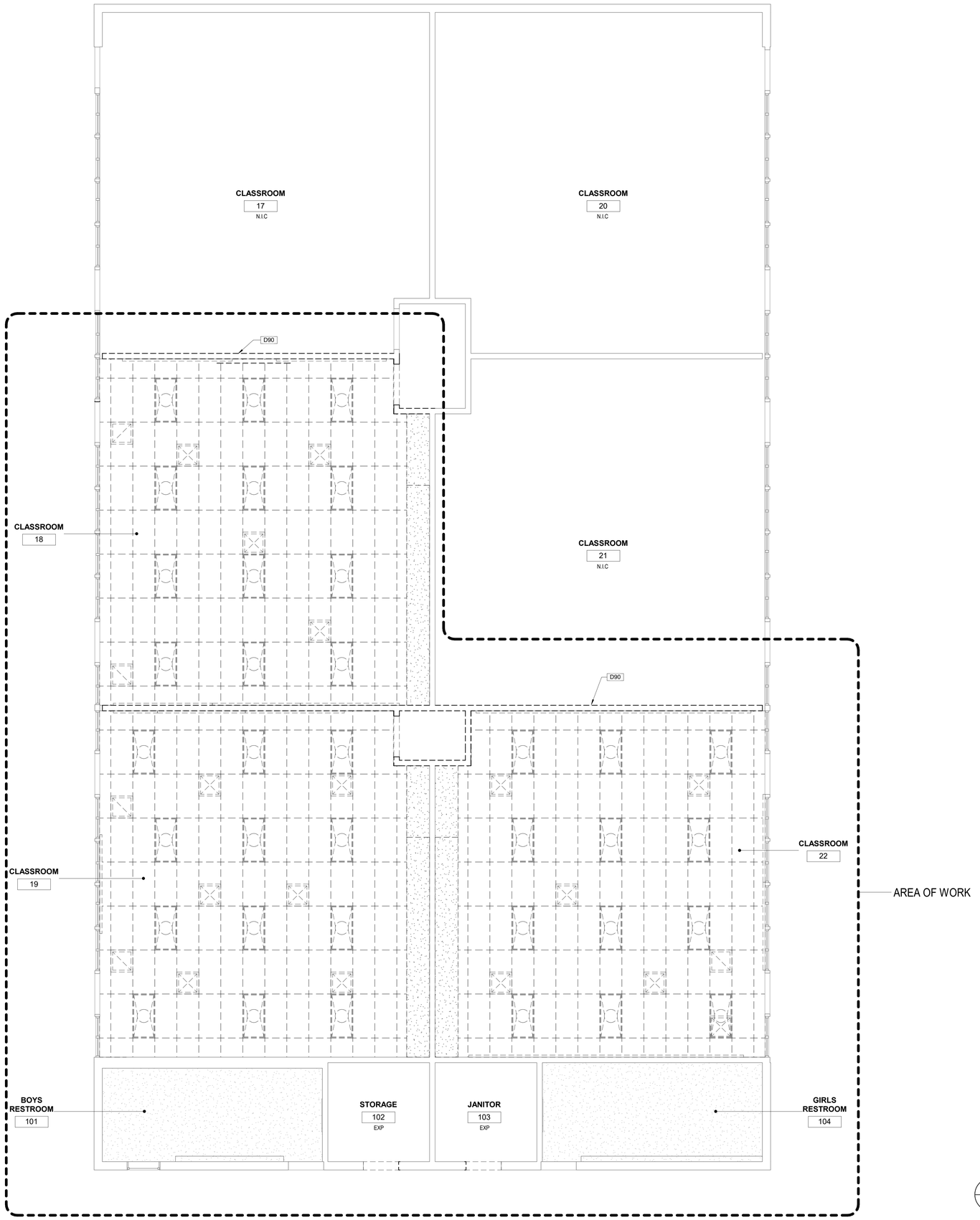
DEMOLITION FLOOR PLAN - BLDG 7

D2.01

0" 1"



DEMOLITION KEYED NOTES

#	Description
D90	TEMPORARILY DETACH SUSPENDED CEILING PROTECT SUSPENDED CEILING IN PLACE

DEMOLITION REFLECTED CEILING PLAN LEGEND

- EXISTING T-BAR CEILING GRID AND ACT PANELS TO BE DEMOLISHED
- LIGHT FIXTURES, REFER TO ELECTRICAL DRAWINGS. REMOVE WHEN SHOWN DASHED
- MECHANICAL GRILLES, REFER TO MECHANICAL DRAWINGS. REMOVE WHEN SHOWN DASHED
- MECHANICAL DIFFUSERS, REFER TO MECHANICAL DRAWINGS. REMOVE WHEN SHOWN DASHED
- EXISTING GYP. BD. SOFFIT AND FRAMING TO BE DEMOLISHED
- EXISTING GYP. BD. CEILING TO REMIAN AND PROTECT IN PLACE
- EXP — EXISTING EXPOSED CEILING TO REMIAN AND PROTECT IN PLACE
- EXISTING GYP BOARD CEILING TO REMAIN
- EXISTING NON-RATED WALL PARTITION

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17. DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
18. WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
19. CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT WITH ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
20. CONTRACTOR TO RE-LOCATE UTILITIES & EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL & PLUMBING REQUIREMENTS FOR NEW RENOVATION WORK.
21. REFER TO DEMOLITION PLUMBING PLANS FOR EXTENT OF CONCRETE SLAB TO BE REMOVED AND REPLACED FOR UNDER FLOOR PIPING INSTALLATION.
22. EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
23. NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LINTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS.
24. WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEP SYSTEMS BACK TO PANEL OR MECHANICAL ROOM OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION, REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEP DRAWINGS
25. REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND/OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBS THE EXTENT OF ALL DEMOLITION WORK.
26. PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
27. WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE SURFACE TO RECEIVE NEW FLOORING
28. NOTIFY ARCHITECT & OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK, PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
29. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
30. CONTRACTOR TO PROVIDE ALL NECESSARY SHORING FOR PROTECTION OF EXISTING STRUCTURE AND FOUNDATION TO REMAIN.
31. ALL DASHED LINES ARE DEMOLITION LINES UNLESS NOTED OTHERWISE.

32. ALL DEMOLITION SHALL COMPLY WITH CH. 33 & ARTICLE 33 CBC

6 DEMOLIITON REFLECTED CEILING PLAN - BLDG 7
1/4" = 1'-0"

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
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DATE: 10/05/2023

PBK

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WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E Vine Ave.
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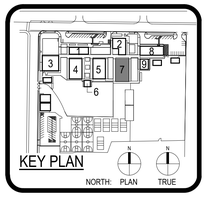
DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



Consultant

Architect

LICENSED ARCHITECT Yong Yoo No. C-31162 REN. 10-31-2023 STATE OF CALIFORNIA

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WEST COVINA USD

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DEMOLITION REFLECTED CEILING PLAN - BLDG 7

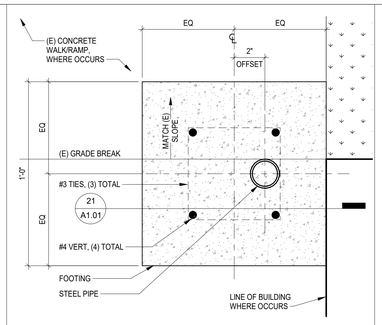
D3.01

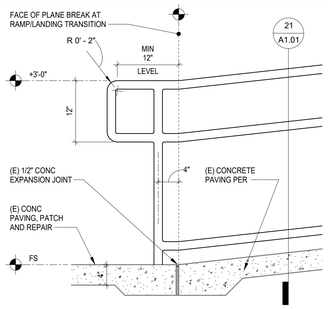
0" 1"

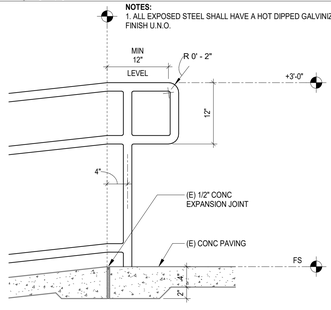
30 NOT USED

29 NOT USED

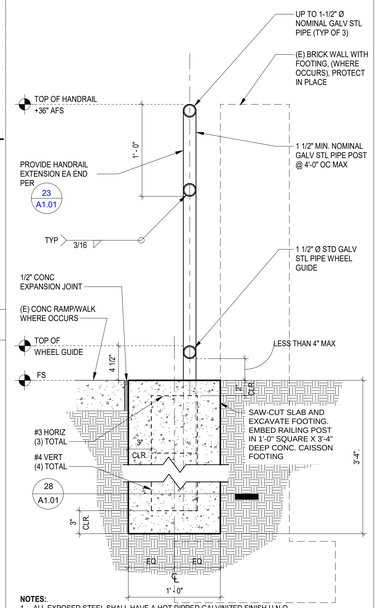
28 HANDRAIL ANCHORAGE
3" = 1'-0"



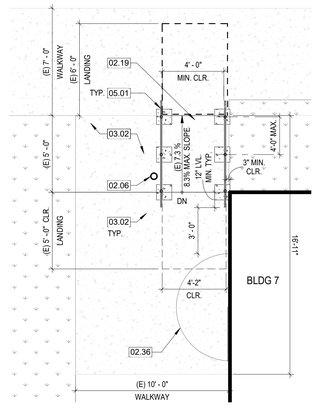




055200.25-S CBC 2019 - Rev 09/19



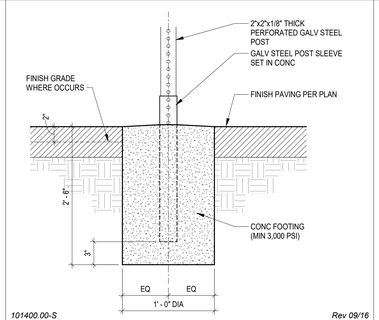
052200.26-S CBC 2019 - Rev 09/19



24 NOT USED

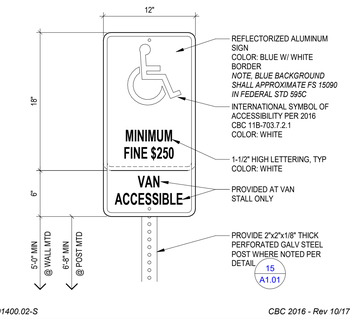
23 FREESTANDING HANDRAIL AT RAMP -ELEVATION
1" = 1'-0"

21 FREESTANDING HANDRAIL AT RAMP
1 1/2" = 1'-0"



101400.00-S Rev 09/16

20 ENLARGED RAMP
1/4" = 1'-0"



101400.02-S CBC 2016 - Rev 10/17

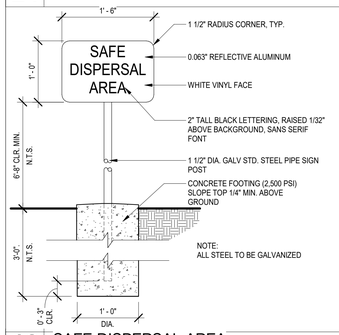
DEMOLITION KEYED NOTES

#	Description
D79	DEMOLISH (E) ACCESSIBLE VAN PARKING SIGN
D80	REMOVE (E) BLUE PARKING STRIPES PATCH AND REPAIR ASPHALT
D84	REMOVE (E) TRUNCATED DOMES
D85	(E) PLANTING TO BE REMOVED & PREPARE FOR NEW ASPHALT PAVING. CONTRACTOR SHALL REMOVE HEADS AND CAP LATERAL LINE IN AREAS AFFECTED BY NEW WORK FOR EXISTING IRRIGATION IN THIS AREA

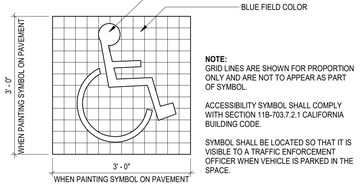
REMODEL KEYED NOTES

#	Description
02.06	(E) CANOPY POST TO REMAIN, PROTECT IN PLACE
02.09	(E) PLANTING AREA
02.15	(E) CURB CUT TO REMAIN, PROTECT IN PLACE
02.16	(E) ACCESSIBLE PASSENGER LOADING ZONE PER A#03-107514 TO REMAIN, PROTECT IN PLACE
02.17	(E) DROP-OFF AREA PER A#03-107514
02.18	(E) CONCRETE WALKWAY TO REMAIN
02.19	(E) 7.3% SLOPED CONCRETE WALKWAY
02.36	(E) DOOR TO REMAIN, PROTECT IN PLACE
03.02	PATCH AND REPAIR EXISTING CONCRETE PAVING
05.01	FREESTANDING HANDRAIL PER DETAIL 23/A1.01
32.01	ACCESSIBLE VAN PARKING SIGN
32.02	4" PARKING STRIPS, PAINT WITH BLUE TRAFFIC PAINT FOR ACCESSIBLE PARKING STALLS & CROSSWALK
32.03	12" HIGH "NO PARKING" BLOCK LETTERS (3" WIDE) PAINTED WITH WHITE TRAFFIC PAINT
32.04	TRUNCATED DOMES, REFER 6/A1.01

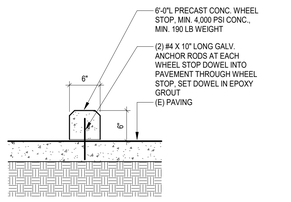
18 SAFE DISPERSAL AREA
1" = 1'-0"

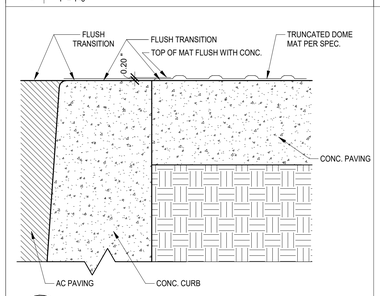


17 ACCESSIBLE PARKING SYMBOL
3/4" = 1'-0"

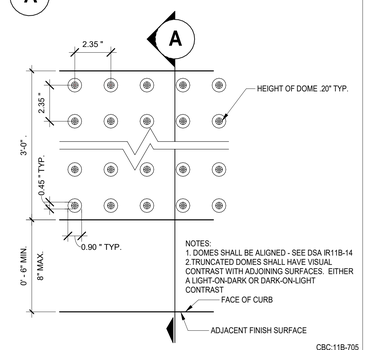


16 PARKING BUMPER
1" = 1'-0"





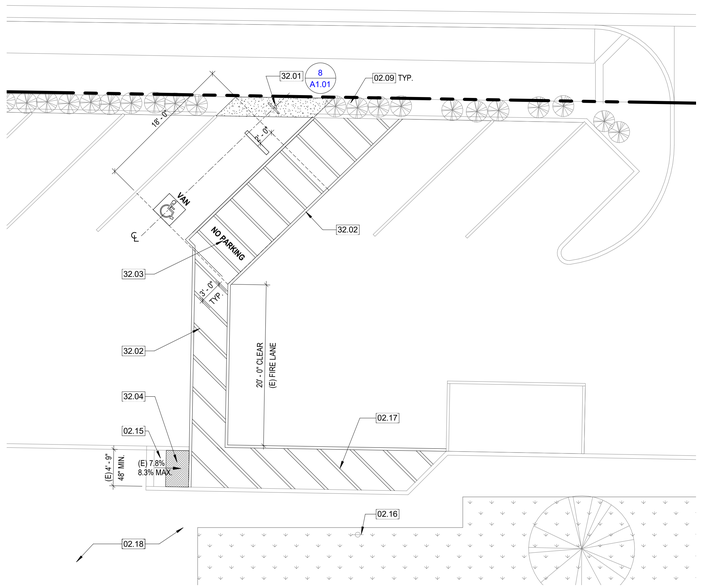
A SECTION



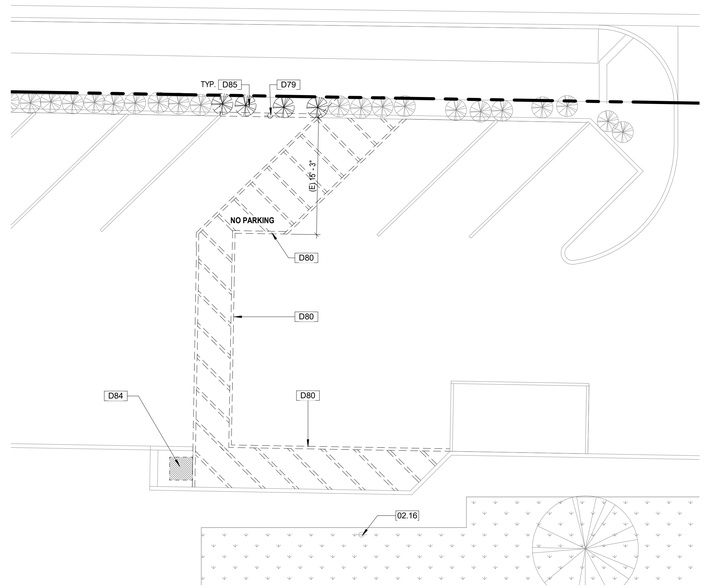
CBC:11B-705

321623.02-S Rev 12/15/17

6 TRUNCATED DOME DETAIL
3" = 1'-0"



5 ENLARGED PARTIAL REMODEL PARKING LOT #1
1/8" = 1'-0"



3 ENLARGED PARTIAL DEMO. PARKING LOT #1
1/8" = 1'-0"

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WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

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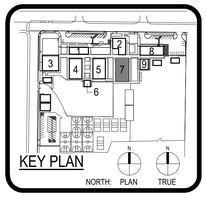
WEST COVINA Unified School District



Consultant

Architect

LICENSED ARCHITECT Tong Yoo No. C-31162 REN. 10-31-2023 STATE OF CALIFORNIA

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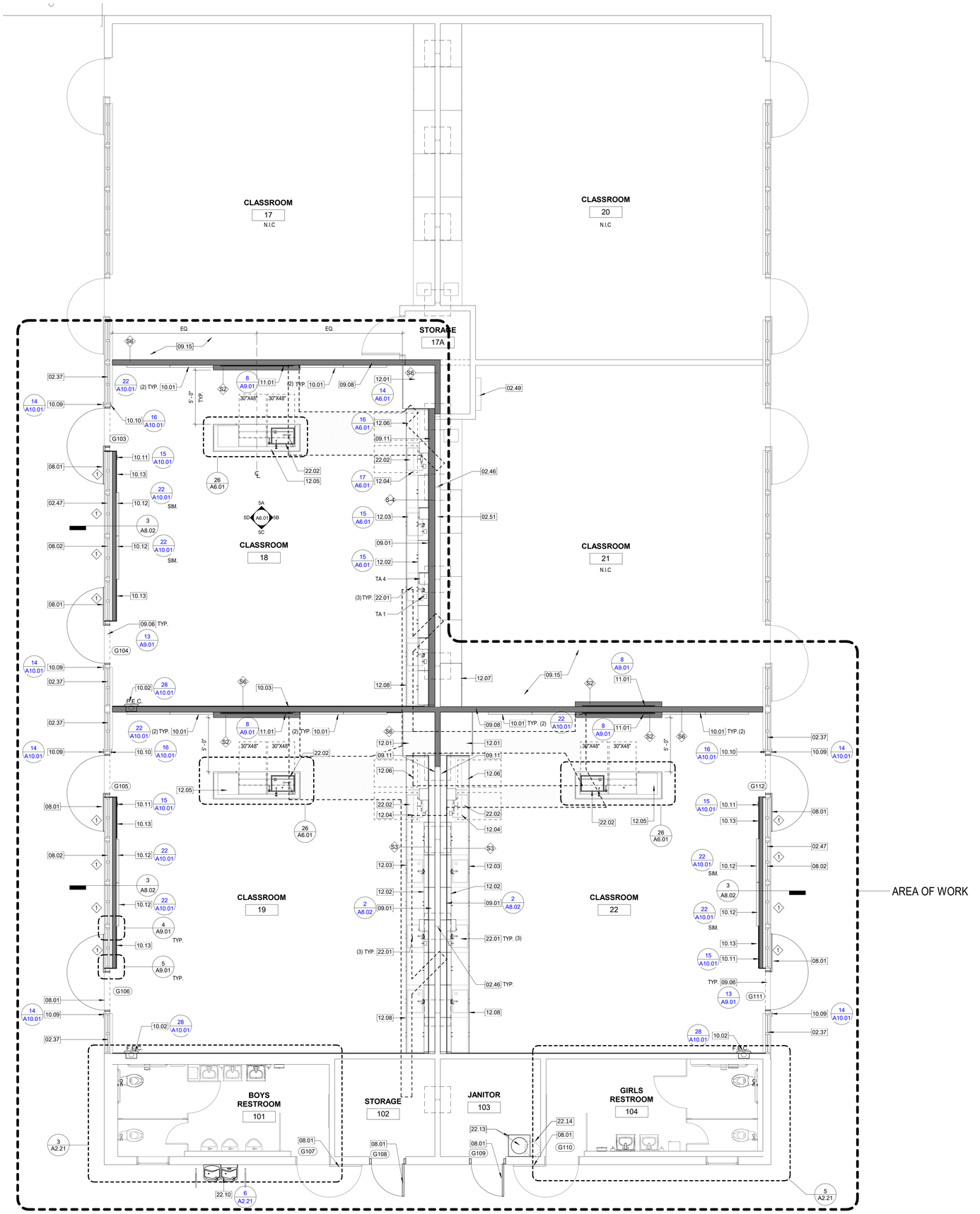
ENLARGED SITE PLAN & SITE DETAILS

A1.01

A2.01 - OVER ALL REMODEL FLOOR PLAN - BLDG. 7

0" 1"



6 OVER ALL REMODEL FLOOR PLAN - BUILDING 7

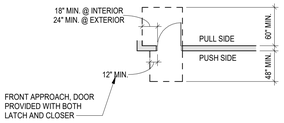
1/4" = 1'-0"

REMODEL KEYED NOTES

#	Description
02.37	(E) WINDOW TO REMAIN, PROTECT IN PLACE
02.46	(E) STRUCTURE COLUMN AND FOOTING TO REMAIN, PROTECT IN PLACE
02.47	(E) TOP ROW GLASS TO REMAIN, PROTECT IN PLACE
02.49	(E) ELECTRICAL PANEL, PROTECT IN PLACE
02.51	(E) WALL TO REMAIN, PROTECT IN PLACE
08.01	DOOR PER DOOR SCHEDULE
08.02	SPANDREL GLASS AT (E) WINDOW
09.01	CHASE WALL WITH POWER/DATA OUTLETS
09.06	THRESHOLD
09.08	GYPBPOARD - PAINTED U.N.O (COLOR: TO BE APPROVED BY DISTRICT)
09.11	STUB OUT FROM UNDERCOUNTER TO ABOVE CEILING FOR TECH, REFER TECH. DRAWINGS
09.15	REINSTALL (E) CARPET TO ITS ORIGINAL CONDITION
10.01	4'-0" WIDE, CUSTOM HEIGHT MAGNATIZED MARKERBOARD
10.02	SEMI-RECESSED FIRE EXTINGUISHER & CABINET - 22/A10.01
10.03	FULL-HEIGHT TACKABLE WALL COVERING. SEE TYP. INTERIOR ELEVATIONS
10.09	ROOM IDENTIFICATION SIGN
10.10	EXIT SIGN
10.11	ASSISTIVE LISTENING SIGN
10.12	4'-0" WIDE, CUSTOM HEIGHT WHITE BOARD. V.I.F. SEE TYP. INTERIOR ELEVATIONS
10.13	CUSTOM HEIGHT TACKABLE BOARD. SEE TYP. INTERIOR ELEVATIONS
11.01	TV DISPLAY AND WALL MOUNT (OFCI), CONTRACTOR TO PROVIDE BACKING, REF: ELECTRICAL & TELECOM DWGS - 8/A9.01
12.01	TALL CASEWORK
12.02	UPPER CASEWORK
12.03	BASE CASEWORK
12.04	ACCESSIBLE STUDENT STATION
12.05	DEMONSTRATION TABLE, SINK WITH HOT/COLD WATER. PROVIDE A.V. CONTROLS AND POWER/DATA OUTLETS, NO SECONDARY CONTROLS REQUIRED
12.06	ACCESSIBLE STUDENT STATION
12.07	TALL CASEWORK MATCH (E) ADJACENT IN HEIGHT, WIDTH, DEPTH, AND FINISH
12.08	EPOXY COUNTERTOP W/ BACKSPLASH
22.01	SINKS (ALUMINUM) W/ GOOSENECK FAUCET. COLD WATER ONLY, REFER PLUMBING
22.02	SINKS (ALUMINUM) W/ GOOSENECK FAUCET AND EYEWASH. HOT & COLD WATER, REFER PLUMBING
22.10	ACCESSABLE HI-LOW CHILLED DRINKING FOUNTAIN WITH BOTTLE FILLER AND STEEL PIPE RAILS AND FOOTINGS. REPAIR CONC. AS NEEDED
22.13	WATER HEATER PER PLUMBING, CONCRETE PAD - 10/A.9.01
22.14	WATER HEATER EXPENSION TANK PER PLUMBING

REMODEL PLAN LEGEND

- NEW NON-RATED WALL - REF WALL TYPE
- EXISTING WALL - NON-RATED TO REMAIN
- INFILL CONCRETE SLAB PER DETAIL & PLUMBING DRAWINGS DETAIL — 9/A9.01, 2/P6.01
- 101 DOOR DESIGNATION - SEE DOOR SCHED ON 27/A9.01
- S6A-R WALL PARTITION TAG SEE SHEET ..... -/A7.01
  - "R" DESIGNATES RATED CONDITION - WHERE OCCURS
  - LETTER INDICATES PARTITION TYPE
  - # INDICATES CORE WIDTH
  - LETTER INDICATES CORE TYPE (S=STUD)
- F.E. WALL-MOUNTED FIRE EXTINGUISHER PER TITLE 19 CLR, DIVISION 1, CH 1 & 3



GENERAL CONSTRUCTION NOTES

1. VERIFY DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
2. REFLECTED CEILING PLAN DIMENSIONS ARE REFERENCED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR TO FINISHED CEILING HEIGHT.
3. DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
4. DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF CLARIFICATION IS REQUIRED IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS, CONTACT THE ARCHITECT.
5. NOTES OR DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO SITUATIONS THAT ARE THE SAME OR SIMILAR.
6. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
7. ALL FLOORS FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH CHANGES SHALL HAVE THRESHOLDS OR REDUCER STRIPS.
8. PATCH AND REPAIR FINISHES AFFECTED BY DEMOLITION AND INSTALLATION OF NEW WORK, MATCH EDJACENT FINISH, COLOS AND WALL ASSEMBLIES

NOTE:

1. REFER TO FINISH PLAN FOR FINISHES (RENUMBER THE REST)
2. REFER TO MECHANICAL PLANS FOR DUCT PENETRATIONS THROUGH EXISTING WALLS. COORDINATE
3. 5% MINIMUM ACCESS COMPLIANT FURNISHINGS SHALL BE PROVIDED BY THE DISTRICT, N.I.C.
4. PROVIDE INSULATION AS FOLLOWS (AT NEW WALLS ONLY - OR AS OTHERWISE NOTED)
   - A. EXTERIOR STUD WALLS: R-19 BATT - MIN
   - B. INTERIOR STUD PARTITIONS: ACOUSTICAL BATT (FULL HT)
   - C. FLOORS: R-19 BATT - MIN.
5. FOR TYPICAL SYMBOLS AND ABBREVIATIONS, REFER TO SHEET G0.01
6. REFER TO MECHANICAL, ELELCTRICAL, FIRE ALARM AND TECHNOLOGY DRAWINGS FOR ADDITIONAL REMODEL REQUIREMENTS. TYPICAL
7. FOR TYPICAL TOILET ACCESSORY MOUNTING HEIGHTS & DIMENSIONS SEE 5/A10.01

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WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

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WEST COVINA Unified School District

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OVER ALL REMODEL FLOOR PLAN - BLDG. 7

A2.01

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0" 1"

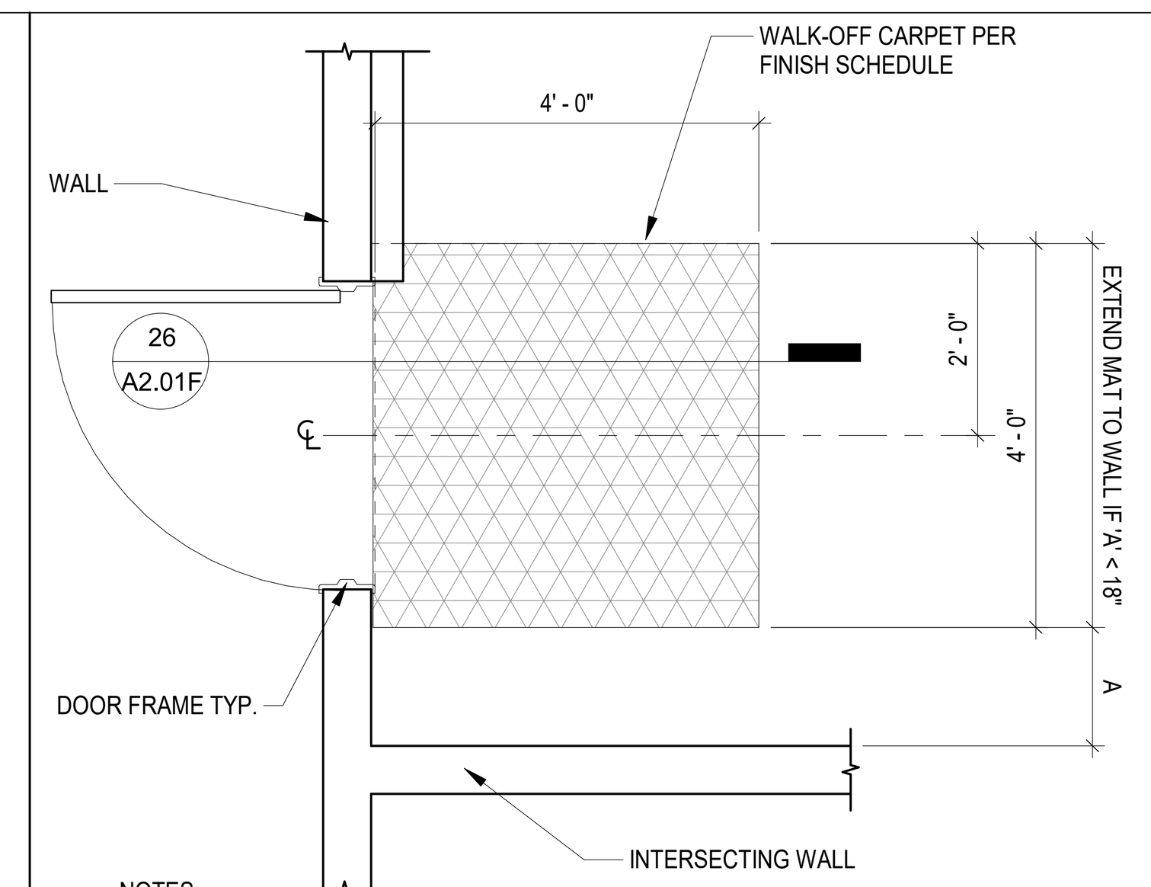
30 NOT USED

FINISH SCHEDULE - BLDG 7

ROOM NUMBER	ROOM NAME	FLOOR	WALLS NORTH FINISH	WALLS EAST FINISH	WALLS SOUTH FINISH	WALLS WEST FINISH	BASE	CEILING	Comments
17	CLASSROOM		N.I.C.	N.I.C.	P1	N.I.C.	RB	(E)	PATCH AND REPAIR CEILING, BASE PER PLAN
17A	STORAGE		(E)	(E)	P1	P1	RB	GYP	PATCH AND REPAIR CEILING
18	CLASSROOM	LVT1 /CPT-6	P1	P1	P1	P1	RB	ACP1	
19	CLASSROOM	LVT1 /CPT-6	P1	P1	P1	P1	RB	ACP1	
20	CLASSROOM	(E)	N.I.C.	N.I.C.	N.I.C.	N.I.C.	N.I.C.	N.I.C.	
21	CLASSROOM	(E)	N.I.C.	N.I.C.	P1	N.I.C.	RB	(E)	PATCH AND REPAIR CEILING, BASE PER PLAN
22	CLASSROOM	LVT1 /CPT-6	P1	P1	P1	P1	RB	ACP1	
101	BOYS RESTROOM	(E)	(E)	(E)	(E)	(E)	-	(E)	PATCH AND REPAIR TO MATCH (E) TERAZZO
102	STORAGE	(E)	P1	P1	P1	P1	RB	(E)	PATCH AND REPAIR TO MATCH (E) CONC.
103	JANITOR	(E)	P1	P1	P1	P1	RB	(E)	PATCH AND REPAIR TO MATCH (E) CONC.
104	GIRLS RESTROOM	(E)	(E)	(E)	(E)	(E)	-	(E)	PATCH AND REPAIR TO MATCH (E) TERAZZO
105	GN STAFF RESTROOM	(E)	(E)	(E)	(E)	(E)	-	(E)	PATCH AND REPAIR TO MATCH (E) TILE

NOTES:
(*) REFER TO INTERIOR ELEVATIONS FOR WALLS TO RECEIVE TACKABLE WALL COVERING

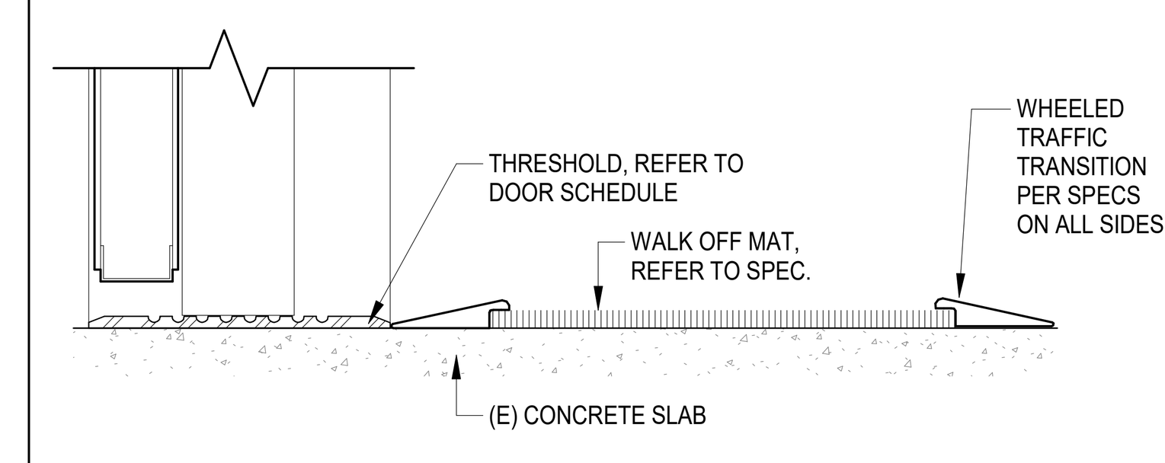
29 FINISH SCHEDULE



NOTES:
1. AT DOUBLE DOORS, SIZE OF MAT SHALL EQUAL OPENING WIDTH X 7'-6", CENTERED WITHIN OPENING.
2. EXTEND WALK-OFF MAT TO ADJACENT CASEWORK, WHERE OCCURS.

27 ENTRY MAT SYSTEM

1/2" = 1'-0"



26 ENTRY MAT SECTION

3" = 1'-0"

REMODEL KEYED NOTES

#	Description
09.09	4-0" X 4'-0" CARPET WALK-OFF MAT, TYP.
09.12	SEAL AND TEXTURE (E) CONCRETE

FINISH ABBREVIATIONS

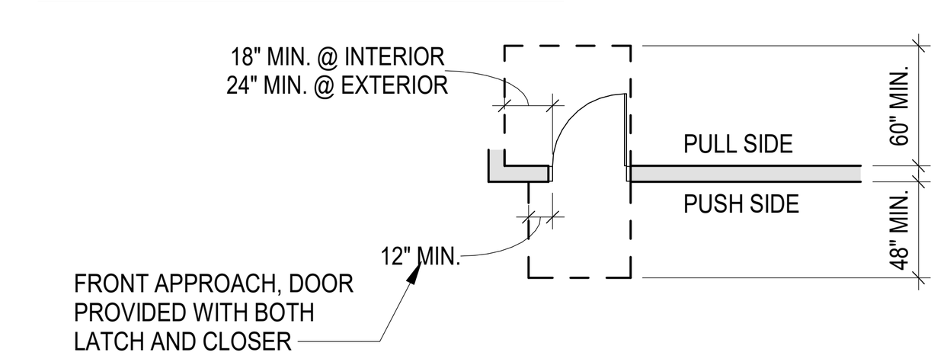
ACP	ACOUSTICAL CEILING PANEL
ALUM	ALUMINUM
SC	SEALED CONCRETE
GYP	GYPSUM BOARD
N/A	NOT APPLICABLE
P	PAINT FINISH
RB	RESILIENT BASE
EP	EPOXY FINISH

NOTES:
1. ALL FINISH MATERIALS MUST MEET THE FLAME SPREAD RATINGS PER 2016 CBC, CHAPT 8. INCLUDING INTERIOR FINISHES, ROLLER SHADES, CEILING CLOUDS, AND TECTUM WALL PANELS.
2. REFER TO INTERIOR ELEVATIONS FOR SPECIFIC MATERIAL LOCATIONS.
3. PAINT ALL EXPOSED DUCTWORK, CONDUIT, ELECTRICAL EQUIPMENT, ETC TO MATCH ADJACENT SURFACES, UNO.
4. PAINT ALL NON-FACTORY FINISHED EXPOSED METAL.
5. REFER TO TYPICAL FLOORING TRANSITION DETAILS FOR ALL FLOORING MATERIALS.
6. FLOORING TRANSITIONS AT DOORS SHOULD BE LOCATED UNDER, AND CONCELED BY THE DOOR IN THE CLOSED POSITION, UNO.
7. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
8. PROVIDE BULLNOSE TRIM AT TRANSITIONS FROM CERAMIC WALL TILE TO OTHER MATERIAL, UNO.
9. REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
10. ALL ELECTRICAL DEVICE COVERS ARE TO BE WHITE, UNO.
11. CARPET PATTERNS TO RUN PARALLEL TO CORRIDOR AND/OR PARALLEL TO THE LONG DIMENSION OF A ROOM OR SPACE, UNO.
12. ALL HOLLOW METAL DOOR FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR, UNO.
13. ALL FINISH MATERIALS SHALL COMPLY WITH CBC, CRC, & TITLE 19CCR. INCLUDING INTERIOR FINISHES, ROLLER SHADES, CEILING CLOUDS, AND TECTUM WALL PANELS.

HATCH INDICATES:
WALK-OFF CARPET SYSTEM - RE: CARPET
REFER TO DETAIL .... 27 / A2.01F

EXISTING ROOMS - NOT IN CONTRACT
(LIMITED SCOPE, REFER TO PLANS, TYP.)

ACCESSBILE DOOR CLEARANCE REQUIREMENTS



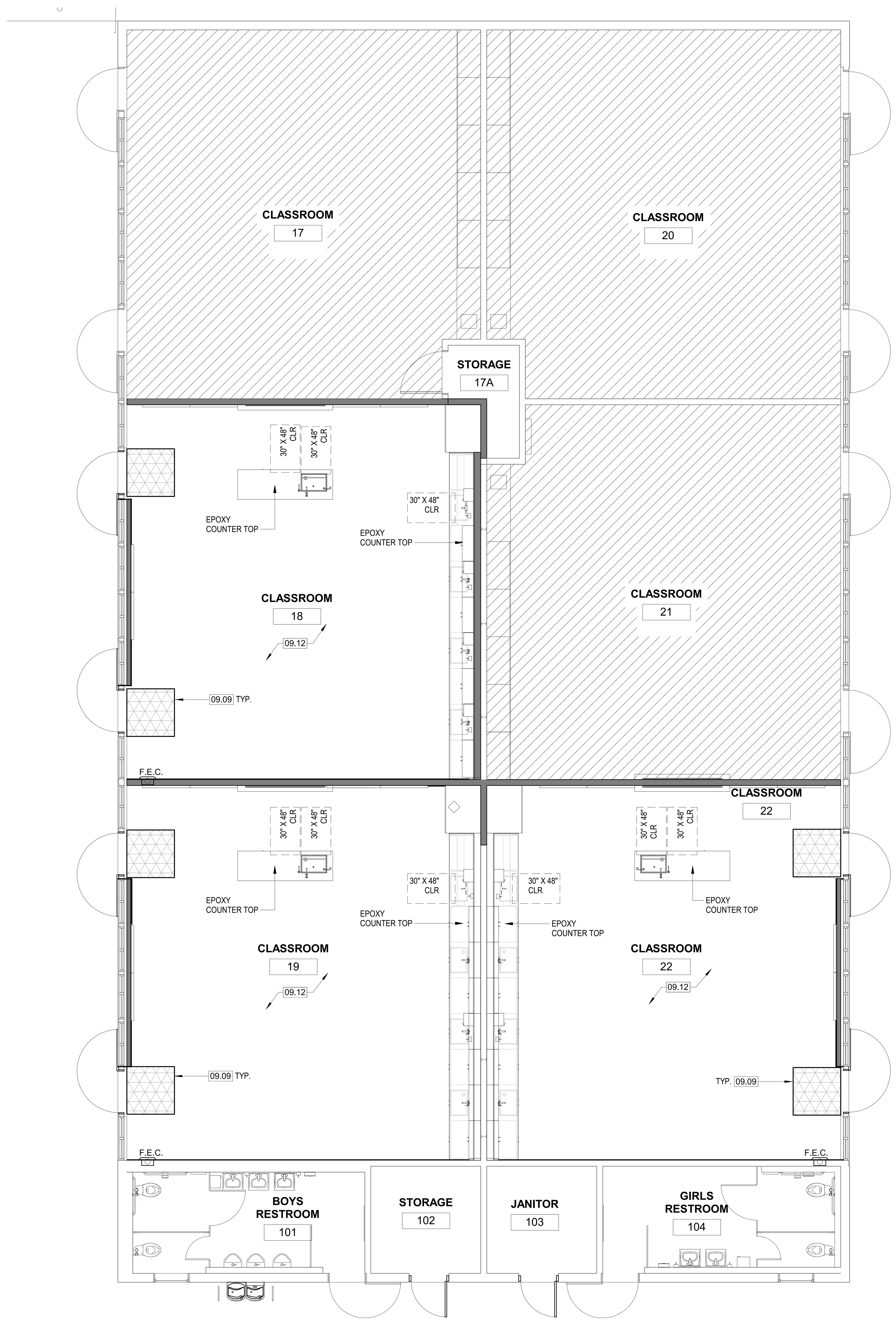
NOTE:
DOOR CLEARANCE MUST BE LEVELED, 2% IN ALL DIRECTIONS

BUILDING FINISHES - INTERIOR

ITEM	B.O.D. MANUFACTURER	PRODUCT LINE	COLOR	SIZE	NOTES
CARPET (WALK-OFF)					
CPT6	TARKETT COMPANY	ABRASIVE ACTION II	BLACK	4' X 4'	REFER TO SPEC.
LVT FLOORING					
LVT1	BENTLY MILLS	COLONNADE	TBD	18" X 36"'	REFER TO SPEC.
RESILENT BASE					
RB1	JOHNSITE, (TARKETT GROUP)	BASEWORKS, TYPE TS	BLACK	4" HIGH	REFER TO SPEC.
INTERIOR PAINT					
P1	SHERWIN WILLIAMS		EIDER WHITE SW 7014		REFER TO SPEC.
EPOXY RESIN COUTERTOPS					
EPX1	DURCON	CLASSIC TOP	BLACK ONYX	1" THICK	REFER TO SPEC.
RESTROOM PARTITIONS					
PAR	SCANTRON PRODUCTS	HINI HIDERS - (HDPE)	BLACK	1" THICK	REFER TO SPEC.
ACCOUSTICAL CEILING PANELS					
ACP1	ARMSTRONG	PRELUDE XL	WHITE	2' X 4'	REFER TO SPEC.

1 DIVISION 9 FINISHES - INTERIOR

12" = 1'-0"



4 FINISH FLOOR PLAN - BUILDING 7

3/16" = 1'-0"

6 NOT USED

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

ARCHITECT PBK Architects, Inc.
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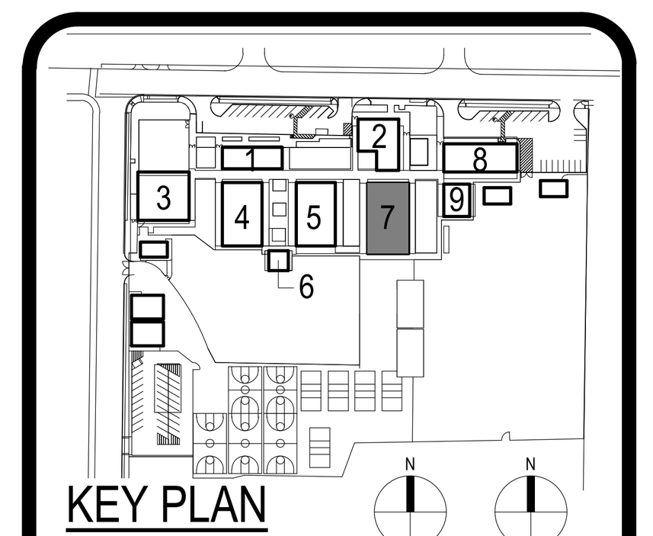
WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E Vine Ave.
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



KEY PLAN
NORTH: PLAN TRUE

Consultant

Architect

LICENSED ARCHITECT
Yong Yoo
No. C-31162
REN. 10-31-2023
STATE OF CALIFORNIA

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
05/09/2023	220117

REVISIONS

No.	Description	Date

DSA BACKCHECK

FINISH FLOOR PLAN - BLDG. 7

A2.01F

A2.21 - ENLARGED PLANS & INTERIOR ELEVATIONS

0" 1"

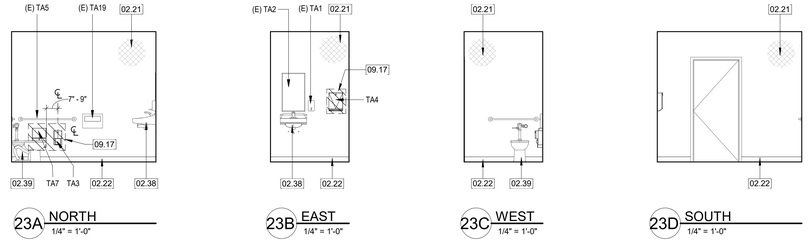
30 NOT USED

29 NOT USED

28 NOT USED

REMODEL KEYED NOTES

#	Description
02.04	(E) FLOOR FINISH TO REMAIN, PROTECT IN PLACE
02.21	(E) WALL FINISH TO REMAIN, PROTECT IN PLACE
02.22	(E) WALL BASE TO REMAIN, PROTECT IN PLACE
02.38	(E) ACCESSIBLE LAVATORY TO REMAIN, PROTECT IN PLACE
02.39	(E) FLOOR MOUNTED ACCESSIBLE WATER CLOSET, PROTECT IN PLACE
02.40	(E) TOILET PARTITION TO REMAIN, PROTECT IN PLACE
02.41	(E) URINAL SCREEN TO REMAIN, PROTECT IN PLACE
02.42	(E) URINAL TO REMAIN, PROTECT IN PLACE, TYP.
02.43	(E) ACCESSIBLE URINAL TO REMAIN, PROTECT IN PLACE
02.44	(E) FLOOR MOUNTED NON-ACCESSIBLE WATER CLOSET, PROTECT IN PLACE
02.45	(E) NON-ACCESSIBLE LAVATORY TO REMAIN, PROTECT IN PLACE
02.48	(E) FURRED WALL PROTECT IN PLACE
08.01	DOOR PER DOOR SCHEDULE
09.17	PATCH AND REPAIR AS NEEDED TO MATCH ADJACENT FINISH, COLOR AND TEXTURE
10.06	WALL RESTROOM SIGN
10.07	DOOR RESTROOM SIGN
22.04	(E) ACCESSIBLE LAVATORY TO BE REMOVE AND REINSTALL PER MOUNTAIN HEIGHT
22.10	ACCESSABLE HI-LOW CHILLED DRINKING FOUNTAIN WITH BOTTLE FILLER AND STEEL PIPE RAILS AND FOOTINGS. REPAIR CONC. AS NEEDED
22.11	FLOOR MOUNTED ACCESSABLE WATER CLOSET, RE: PLUMBING DWGS



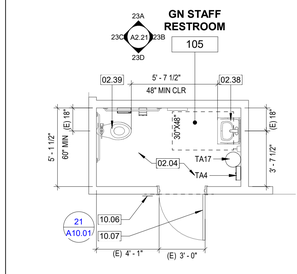
23A NORTH 1/4" = 1'-0"

23B EAST 1/4" = 1'-0"

23C WEST 1/4" = 1'-0"

23D SOUTH 1/4" = 1'-0"

23 INTERIOR ELEVATIONS - GN STAFF RESTROOM
1/4" = 1'-0"

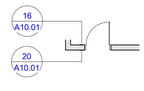


20 ENLARGED FLOOR PLAN - GN RESTROOM
1/4" = 1'-0"

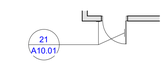
REMODEL PLAN LEGEND

EXISTING WALL TO REMAIN

ROOM ID SIGNAGE REQUIREMENTS



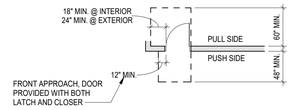
RESTROOM DOOR SIGNAGE REQUIREMENTS

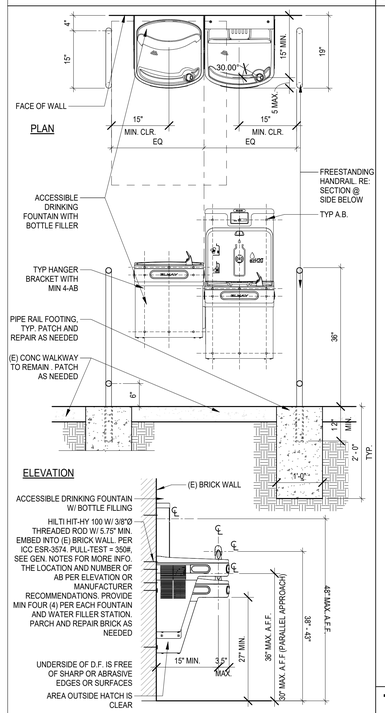


NOTES:

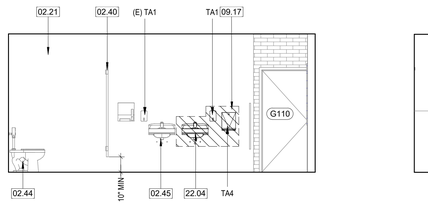
1. DIMENSIONS INDICATED BY ASTERISK(*) SHALL BE 17" MIN - 18" MAX FROM CENTERLINE OF FIXTURE TO FINISH FACE OF WALL.
2. FOR ALL TOILET FIXTURE AND TOILET ACCESSORY (TA) MOUNTING HEIGHTS, AND CLEARANCE: REFER TO DETAIL..... 5 A10.01
3. FOR TYPICAL WALL TILE PATTERS REFER TO DETIAL.....

ACCESSBILE DOOR CLEARANCE REQUIREMENTS

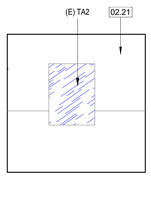




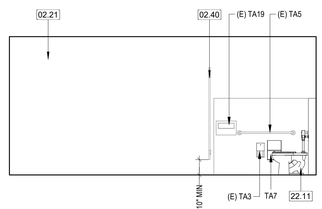
6 ACCESSIBLE DRINKING FOUNTAIN1
3/4" = 1'-0"



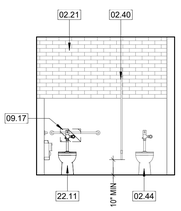
11C SOUTH 1/4" = 1'-0"



11D WEST 1/4" = 1'-0"

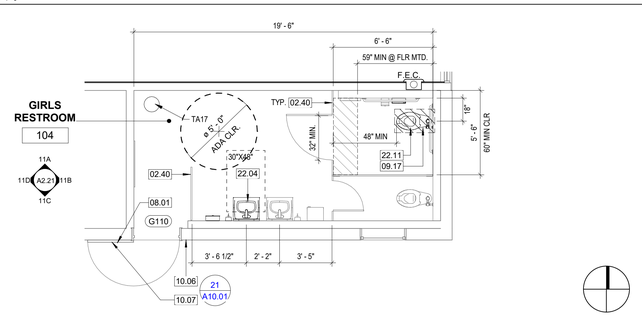


11A NORTH 1/4" = 1'-0"

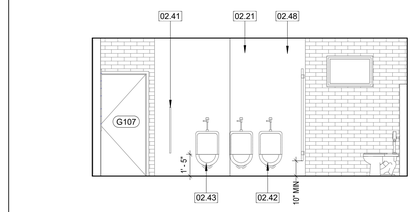


11B EAST 1/4" = 1'-0"

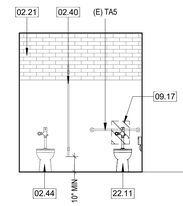
11 INTERIOR ELEVATIONS - BOYS RESTROOM 104
1/4" = 1'-0"



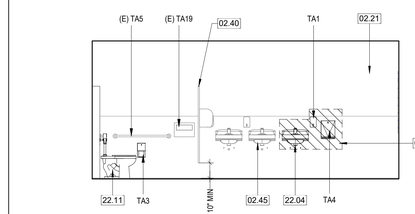
5 ENLARGED REMODELED FLOOR PLAN - GIRLS RESTROOM 104
1/4" = 1'-0"



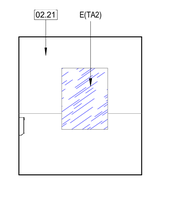
9C SOUTH 1/4" = 1'-0"



9D WEST 1/4" = 1'-0"

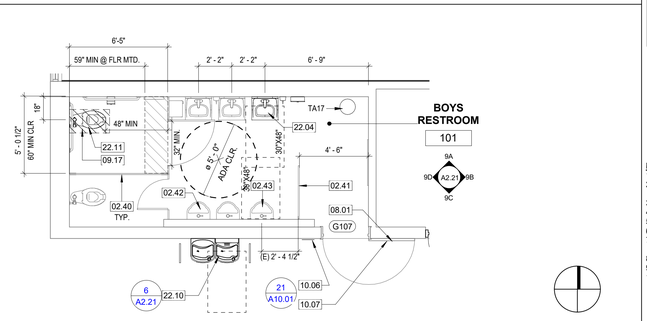


9A NORTH 1/4" = 1'-0"



9B EAST 1/4" = 1'-0"

9 INTERIOR ELEVATIONS - BOYS RESTROOM 101
1/4" = 1'-0"



3 ENLARGED REMODELED FLOOR PLAN - BOYS RESTROOM 101
1/4" = 1'-0"

TOILET ACCESSORIES

LABEL	DESCRIPTION	REMARKS
TA1	SOAP DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING: SURFACE (4" MAX. PROJECTION) 3. MODEL #: B-2111 4. LOCATION: REFER TO DRAWINGS
(E)TA2	MIRRORS	1. PRODUCT: BOBRICK 2. MOUNTING: SURFACE (4" MAX. PROJECTION) 3. MODEL #: B-290 4. LOCATION: REFER TO DRAWINGS
TA3	TOILET PAPER DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING: SURFACE MOUNTED 3. MODEL #: B-3888 4. LOCATION: NON-ACCESSIBLE STALLS
TA4	PAPER TOWEL DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING: SURFACE (4" MAX. PROJECTION) 3. MODEL #: B-262 4. LOCATION: REFER TO DRAWINGS
(E) TA5	GRAB BARS	1. PRODUCT: BOBRICK 2. MOUNTING: MOUNT PARALLEL TO FLOOR 3. MODEL #: B-6897 4. LOCATION: REFER TO DRAWINGS
TA7	SANITARY NAPKIN DISPOSAL	1. PRODUCT: BOBRICK 2. MOUNTING: 4" MAX PROJECTION 3. MODEL #: B-270 4. LOCATION: AT WOMENS RR - REF PLANS
TA17	TRASH RECEPTACLE	1. OWNER PROVIDED - 12" ROUND
(E)TA19	SEAT COVER DISPENSER	1. PRODUCT: BOBRICK 2. MOUNTING: SURFACE 3. MODEL #: B-221 4. LOCATION: ALL WATER CLOSETS & TOILET STALLS
	UNDERLAVATORY GUARD	1. PRODUCT: TRUEBRO LAVSHIELD PROTECTIVE LAVATORY ENCLOSURE 2. MATERIAL AND FINISH: ANTIMICROBIAL, MOLDED PLASTIC, WHITE 3. LOCATION: ALL LAVATORIES

NOTES:

1. PATCH AND REPAIR EXISTING FLOOR, WALL & CEILING TO MATCH EXISTING ADJACENT
2. ALL TOILET ACCESSORIES SHALL BE CONTRACTOR FURNISHED AND INSTALLED UNLESS NOTED OTHERWISE
3. COORDINATE FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION
4. CONTRACTOR IS TO VERIFY ALL HEIGHTS OF ACCESSORIES TO COMPLY WITH ADA
5. REFER TO ALL FINISHES AND COLORS IN FINISH SCHEDULE.VERIFY ALL PATTERNS WITH ARCHITECT
6. ALIGN MIRROR ON CENTER OF LAVATORY U.N.O.
7. ONE HOOK INSIDE DOOR AT EACH TOILET PARTITION. ONE HOOK INSIDE DOOR AT SINGLE TOILET ROOMS AND ONE HOOK AT EACH SHOWER, MOUNTED AT 40" MAX AFF
8. FLUSH CONTROL AT ACCESSIBLE WATERCLOSET TO BE LOCATED ON THE OPEN SIDE
9. FOR TYPICAL TOILET ACCESSORY MOUNTING HEIGHTS & DIMENSIONS SEE
10. PATCH AND REPAIR EXISTING WALL AFTER INSTALLING PLUMBING FIXTURES TO MATCH EXISTING ADJACENT 5 A10.01

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IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

ARCHITECT PBK Architects, Inc.
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RANCHO CUCAMONGA
8163 Rochester Avenue, Suite 100
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P 909-987-0909

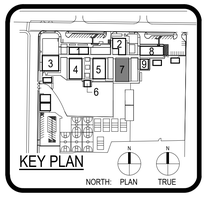
WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E Vine Ave.
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



KEY PLAN
NORTH: PLAN TRUE

Consultant

Architect
LICENSED ARCHITECT
Yong Yoo
No. C-31162
REN 10-31-2023
STATE OF CALIFORNIA

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
05/09/2023	220117

REVISIONS

No.	Description	Date

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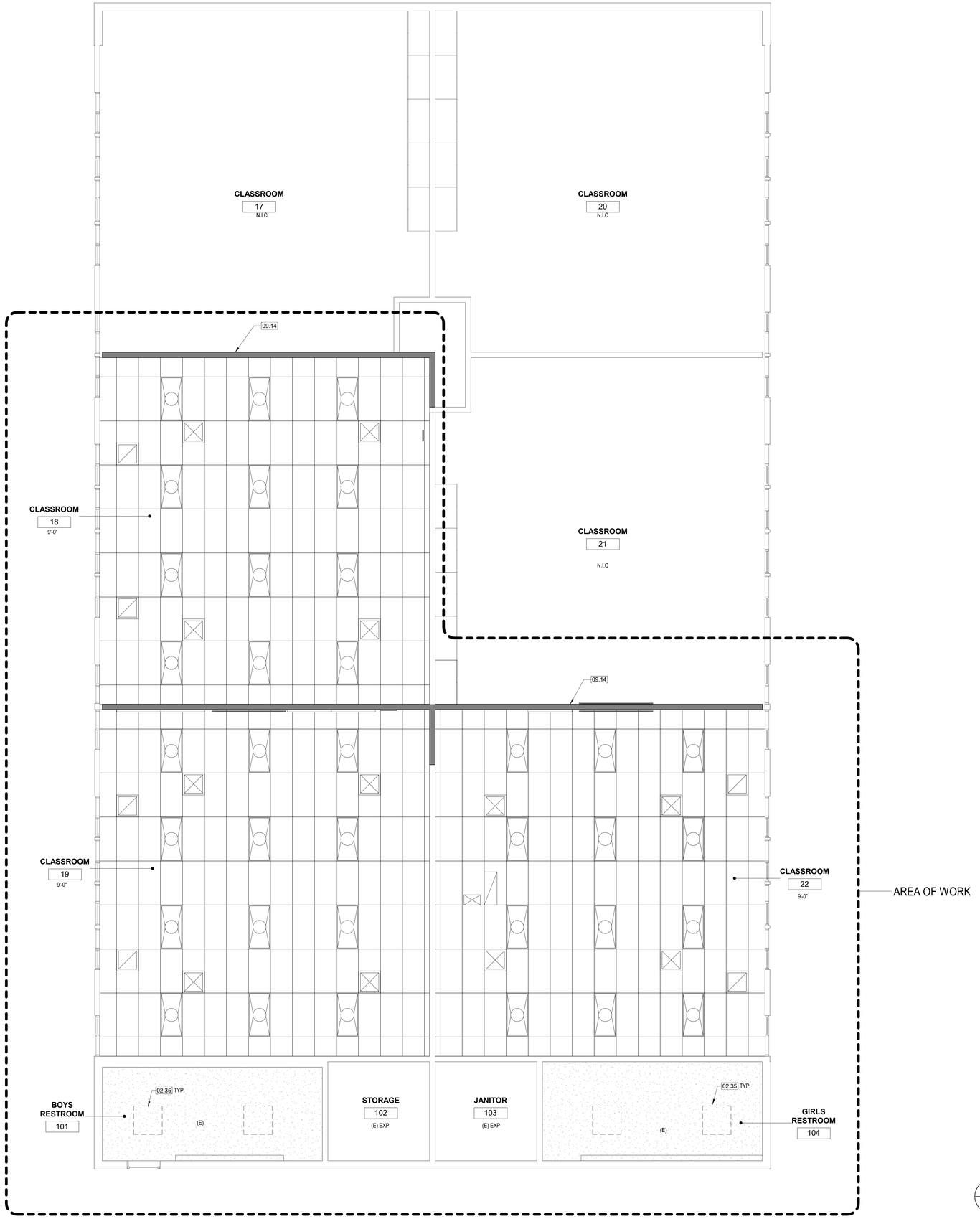
ENLARGED PLANS & INTERIOR ELEVATIONS

A2.21

0" 1"



REMODEL KEYED NOTES

#	Description
02.35	(E) VETED SKYDOME ABOVE TO REMAIN, PROTECT IN PLACE
09.14	REINSTALL (E) SUSPENDED CEILING TO (N) WALL PER DETAIL 2/A10.02

REFLECTED CEILING PLAN LEGEND

- NEW NON-RATED WALL
- EXISTING WALL - NON-RATED TO REMAIN
- 2'x4' SUSPENDED CEILING TO BE PROVIDED REFER TO DETAIL - APC..... 1 / A10.02
- EXISTING GYP. BD. CEILING TO REMIAN AND PROTECT IN PLACE
- EXP — EXISTING EXPOSED CEILING TO REMIAN AND PROTECT IN PLACE
- LIGHT FIXTURE(S), REFER TO ELECTRICAL DRAWINGS FOR ATTACHMENT SEE..... 3 / E5.01
- MECHANICAL GRILLES, REFER TO MECH (UNLESS NOTED AS EXISTING TO REMAIN) REFER TO DETAIL..... 20 / A10.02

NOTES:
1. FOR TYPICAL SYMBOLS AND ABBREVIATIONS, REFER TO SHEET G0.01
2. LIGHT FIXTURES & CEILING DIFFUSERS ARE SHOWN FOR LOCATION PURPOSES ONLY. REFER TO ELEC & MECH DRAWINGS FOR ADDITIONAL INFORMATION
3. ALL ROOMS WITH A SINGLE LIGHT FIXTURE CEILING MOUNTED WILL BE CENTERED UNO.
4. FIXTURES ARE TO BE PROVIDED NEW, U.N.O
5. REFER TO MECHANICAL, PLUMBING, ELECTRICAL, TECHNOLOGY, AND FIRE ALARM DRAWINGS FOR ADDITIONAL INFORMATION

6 REMODEL REFLECTED CEILING PLAN - BLDG 7
1/4" = 1'-0"

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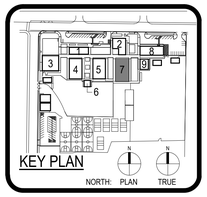

Consultant

Architect

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DATE	PROJECT NUMBER
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REVISIONS

No.	Description	Date

DSA BACKCHECK

REMODEL REFLECTED CEILING PLAN - BLDG 7

A3.01

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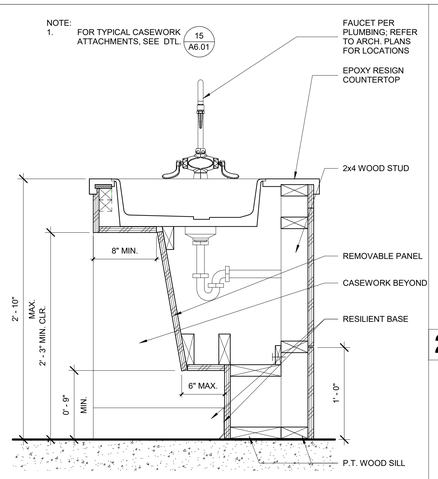
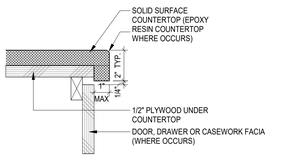
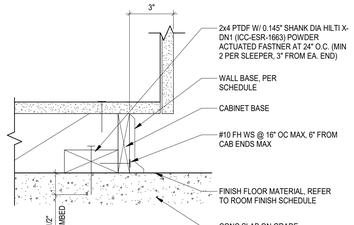
0" 1"



30 CASEWORK SECTION @ ACCESSIBLE SINK
1 1/2" = 1'-0"



24 BASE CABINET DRIP EDGE
3" = 1'-0"



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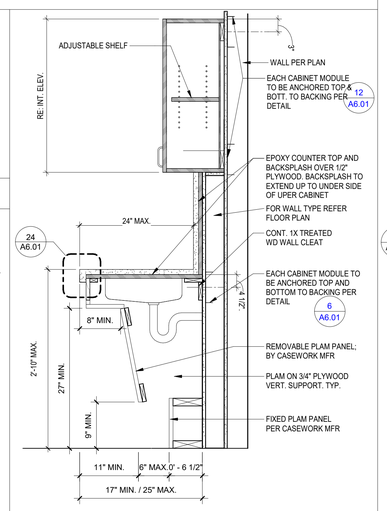
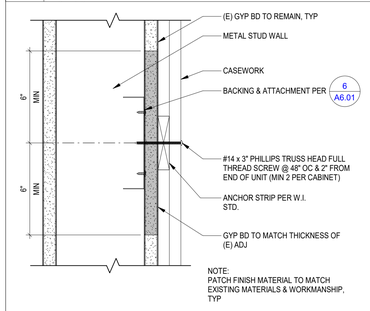
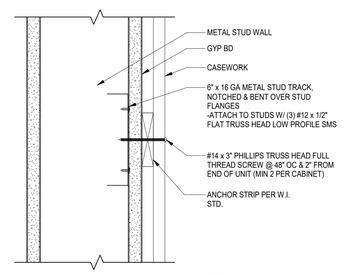


18 BASE CABINET ANCHORAGE
3" = 1'-0"



054000.01-S Rev 04/17

12 CASEWORK BACKING @ (E) MTL STUD WALL
3" = 1'-0"



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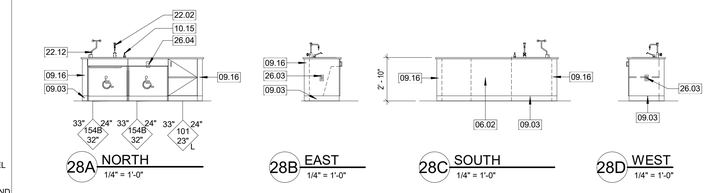
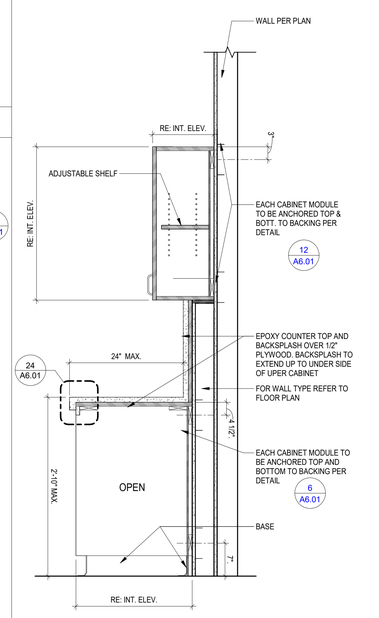
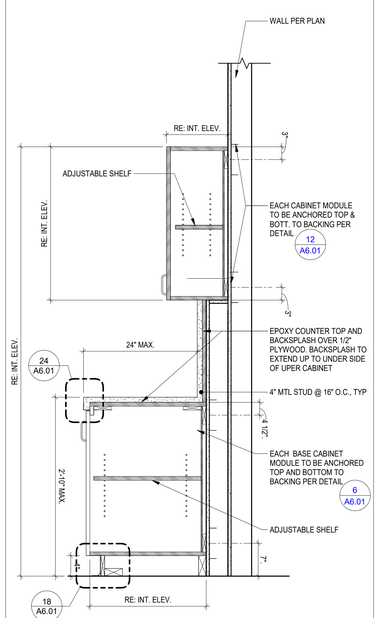
6 CASEWORK BACKING @ MTL STUD WALL
3" = 1'-0"



28 DEMONSTRATION TABLE ELEVATIONS
1/4" = 1'-0"





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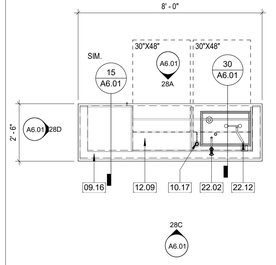
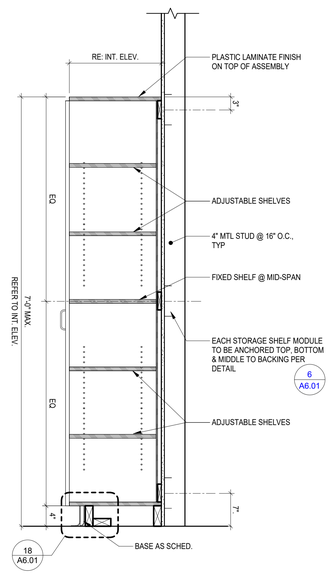
26 DEMONSTRATION TABLE PLAN
3/8" = 1'-0"





064116.11-S Rev 04/17

14 TALL STORAGE CABINET
1" = 1'-0"

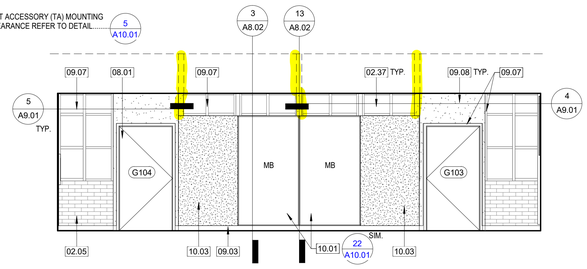
17 BASE SINK CABINET STATION
1" = 1'-0"

16 BASE ACCESSIBLE CABINET STATION
1" = 1'-0"

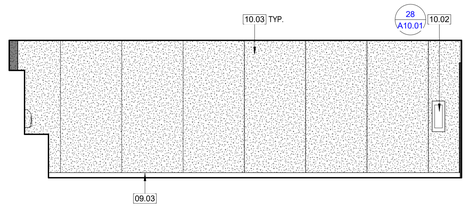
15 BASE & UPPER CABINET, TYP
1" = 1'-0"

5 CLASSROOM INTERIOR ELEVATIONS
1/4" = 1'-0"

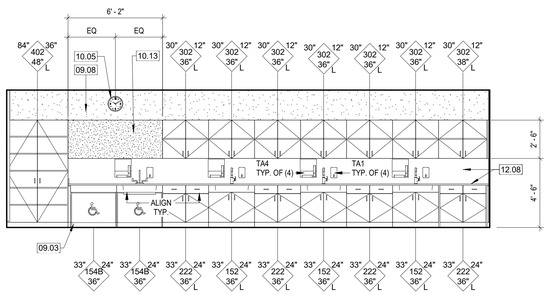
NOTE:
FOR ALL TOILET ACCESSORY (TA) MOUNTING HEIGHTS & CLEARANCE REFER TO DETAIL 5 A10.01



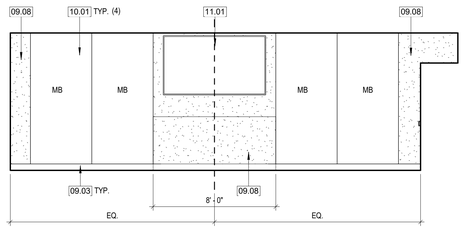
5D CLASSROOM INTERIOR WEST ELEVATION
1/4" = 1'-0"



5C CLASSROOM INTERIOR SOUTH ELEVATION
1/4" = 1'-0"



5B CLASSROOM INTERIOR EAST ELEVATION
1/4" = 1'-0"



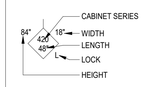
5A CLASSROOM INTERIOR NORTH ELEVATION
1/4" = 1'-0"

REMODEL KEYED NOTES

#	Description
02.05	(E) BRICK TO REMAIN, PROTECT IN PLACE, REFER TO FINISH SCHEDULE FOR FINISH.
02.37	(E) WINDOW TO REMAIN, PROTECT IN PLACE
06.02	PLASTIC LAMINATE FINISH
08.01	DOOR PER DOOR SCHEDULE
09.03	4" RESILIENT BASE
09.07	PAINT (E) DOOR/DOOR FRAME, WINDOW MULLIONS AND WINDOW FRAMES-COLOR: COLOR TO BE APPROVED BY DISTRICT 09
09.08	GYPBOARD - PAINTED U.N.O (COLOR: TO BE APPROVED BY DISTRICT)
09.16	FURRING FOR OUTLETS AND OTHER UTILITIES
10.01	4'-0" WIDE, CUSTOM HEIGHT MAGNATIZED MARKERBOARD
10.02	SEMI-RECESSED FIRE EXTINGUISHER & CABINET - 22A10.01
10.03	FULL-HEIGHT TACKABLE WALL COVERING. SEE TYP. INTERIOR ELEVATIONS
10.05	REINSTALL (E) BATTERY OPERATED CLOCK
10.08	6'-0" X 4'-0" WHITE BOARD
10.13	CUSTOM HEIGHT TACKABLE BOARD. SEE TYP. INTERIOR ELEVATIONS
10.15	SOAP DISPENSER, REF: 6/G0.04 FOR MOUNTING HEIGHT
10.17	COUNTER MOUNTED SOAP DISPENSER
11.01	TV DISPLAY AND WALL MOUNT (OFCI), CONTRACTOR TO PROVIDE BACKING, REF: ELECTRICAL & TELECOM DWGS - 8/A9.01
12.08	EPOXY COUNTERTOP W/ BACKSPLASH
12.09	EPOXY COUNTERTOP
22.02	SINKS (ALUMINUM) W/ GOOSENECK FAUCET AND EYEWASH. HOT & COLD WATER, REFER PLUMBING
22.12	EYE WASH, RE: PLUMBING DWGS
26.03	POWER OUTLET SEE ELECTRICAL DWGS
26.04	DATA OUTLET PER TECHNOLOGY DWGS

ELEVATION LEGEND

WI CASEWORK SYMBOL:



FINISH NOTES

NOTES:
1. ALL ITEMS NOT IDENTIFIED AS (E) ARE TO BE PROVIDED NEW.
2. ALL FINISH MATERIALS MUST MEET THE FLAME SPREAD RATINGS PER 2016 CBC, CHAPT 8.
3. REFER TO INTERIOR ELEVATIONS FOR SPECIFIC MATERIAL LOCATIONS.
4. PAINT ALL EXPOSED DUCTWORK, CONDUIT, ELECTRICAL EQUIPMENT, ETC TO MATCH ADJACENT SURFACES, UNO.
5. PAINT ALL NON-FACTORY FINISHED EXPOSED METAL.
6. REFER TO TYPICAL FLOORING TRANSITION DETAILS FOR ALL FLOORING MATERIALS.
7. FLOORING TRANSITIONS AT DOORS SHOULD BE LOCATED UNDER, AND CONCELED BY THE DOOR IN THE CLOSED POSITION, UNO.
8. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
9. PROVIDE BULLNOSE TRIM AT TRANSITIONS FROM CERAMIC WALL TILE TO OTHER MATERIAL, UNO.
10. REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
11. ALL ELECTRICAL DEVICE COVERS ARE TO BE WHITE, UNO.
12. CARPET PATTERNS TO RUN PARALLEL TO CORRIDOR AND/OR PARALLEL TO THE LONG DIMENSION OF A ROOM OR SPACE, UNO.
13. ALL HOLLOW METAL DOOR FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR, UNO.

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IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

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WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E Vine Ave
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District

Consultant

Architect

LICENSED ARCHITECT Tong Yoo No. C-31162 REN. 10-31-2023 STATE OF CALIFORNIA

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
05/09/2023	220117

REVISIONS

No.	Description	Date

DSA BACKCHECK

INTERIOR ELEVATIONS

A6.01

STRUCTURAL STEEL AND MISCELLANEOUS METAL

1. ALL PORTIONS OF WORK PERTAINING TO STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM TO TITLE 24, PART 2, CHAPTER 22A.
2. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A–992, UNLESS NOTED OTHERWISE.
3. ROUND HOLLOW STRUCTURAL SECTION (HSS) SHALL CONFORM TO ASTM A–500, GRADE C.
4. SQUARE AND RECTANGULAR HOLLOW STRUCTURAL SECTIONS (HSS) SHALL CONFORM TO ASTM A–500, GRADE C.
5. CHANNELS, ANGLES AND PLATES SHALL CONFORM TO ASTM A–36, UNLESS NOTED OTHERWISE.
6. ALL BOLTS SHALL CONFORM TO THE FOLLOWING, UNLESS NOTED OTHERWISE:
   - ANCHOR BOLTS: ASTM F1554, GRADE 36 U.N.O.
   - TYPICAL STEEL CONNECTIONS: ASTM F3125, GRADE A325N OR F1852 (NON–SLIP–CRITICAL)
   - MOMENT AND DRAG CONNECTIONS: ASTM F3125, GRADE A325SC OR F1852 (SLIP–CRITICAL)
   - MISCELLANEOUS CONNECTIONS NOT NOTED OTHERWISE: ASTM A–307
7. HIGH STRENGTH BOLTS SHALL CONFORM TO THE FOLLOWING, UNLESS NOTED OTHERWISE:
   - JOINT ASSEMBLIES USING HIGH–STRENGTH BOLTS SHALL BE IN ACCORDANCE WITH SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS, BY THE RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS.
   - ALL HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM F3125, GRADE A325 OR F1852 TWIST OFF TYPE, NUTS SHALL CONFORM TO ASTM A–563, AND WASHERS SHALL CONFORM TO ASTM F–436.
   - PAINT SHALL NOT BE PERMITTED ON CONTACT SURFACES UNLESS NOTED OTHERWISE. CONTACT SURFACES OF BOLTED PARTS SHALL BE DESCALED AND FREE OF DIRT, OIL, BURRS, PITS, AND OTHER DEFECTS WHICH PREVENT SOLID SEATING OF PARTS.
   - SLIP–CRITICAL JOINT ASSEMBLIES SHALL BE FULLY PRE–TENSIONED BY TURN–OF–NUT TIGHTENING, CALIBRATED WRENCH TIGHTENING, INSTALLATION OF ALTERNATE DESIGN BOLTS OR BY DIRECT TENSION INDICATOR TIGHTENING.
8. ALL BOLTS CONNECTING STEEL FRAMING MEMBERS SHALL BE FULLY PRETENSIONED AND INSPECTED PER AISC. TWIST OFF TYPE TENSION CONTROL BOLTS ARE ACCEPTABLE.
9. STRUCTURAL STEEL IN SFRS LINES SHALL BE CONNECTED IN SLIP–CRITICAL JOINTS COMPLYING WITH AISC 341–16, SECTION D.2.2, CLASS A FAYING SURFACE.
10. ANCHOR BOLTS SHALL BE HEX HEADED. BENT BAR ANCHORS SHALL NOT BE USED.
11. STRUCTURAL STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
12. ALL WELDING SHALL CONFORM TO THE STRUCTURAL WELDING CODE – STEEL, AWS D1.1 AND SUPPLEMENT AWS D1.8, BY THE AMERICAN WELDING SOCIETY. WELDING RODS SHALL BE E70XX.
13. ALL WELDING IN SFRS LINES SHALL COMPLY WITH AWS D1.8 AND AISC 341–16 SECTION A3.4A.
14. THE FILLER METAL FOR ALL WELDING SHALL HAVE A NOTCH TOUGHNESS OF NOT LESS THAN 20 FT–LBS AT 0 DEGREES F, AS MEASURED BY A STANDARD CHARPY V–NOTCH TEST, ASTM E23, IN ACCORDANCE WITH THE APPLICABLE FILLER METAL SPECIFICATION REFERENCED IN AWS D1.1 AND SEISMIC SUPPLEMENT AWS D1.8.
15. ALL DEMAND CRITICAL WELDS SHALL HAVE A NOTCH TOUGHNESS OF NOT LESS THAN 40 FT–LBS AT 70 DEGREES F, AS MEASURED BY STANDARD CHARPY V–NOTCH TEST, ASTM E23, IN ACCORDANCE WITH THE APPLICABLE FILLER METAL SPECIFICATION REFERENCED IN AWS D1.1 AND SEISMIC SUPPLEMENT AWS D1.8.
16. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS.
17. ALL WELDS NOT SPECIFIED SHALL BE CONTINUOUS FILLET WELDS. SIZE OF WELDS SHALL BE BASED ON AWS D1.1 FOR THICKER PART JOINED.
18. BOLT HOLES SHALL BE 1/16" LARGER IN DIAMETER THAN NOMINAL SIZE OF BOLT USED, UNLESS NOTED OTHERWISE. BOLT HOLES AT COLUMN BASEPLATES MAY BE 3/16" MAXIMUM LARGER IN DIAMETER THAN NOMINAL SIZE OF ANCHOR BOLT USED, UNLESS NOTED OTHERWISE.
19. DO NOT PAINT STRUCTURAL STEEL SURFACES THAT ARE TO RECEIVE SPRAY–APPLIED FIREPROOFING OR TO BE ENCASED IN CONCRETE OR MASONRY.
20. ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL ITEMS, INCLUDING CONNECTORS, EXPOSED TO THE WEATHER SHALL BE HOT–DIPPED GALVANIZED, AFTER FABRICATION.
21. STRUCTURAL STEEL SHALL BE DELIVERED TO THE JOB SITE FREE OF EXCESSIVE RUST, MILL SCALE, GREASE, ETC.
22. OPENINGS SHALL NOT BE PLACED IN STEEL MEMBERS UNLESS SPECIFICALLY DETAILED.
23. THE CONTRACTOR SHALL IDENTIFY THE PROTECTED ZONES USING ANY SUITABLE NON–DESTRUCTIVE MEANS (SUCH AS YELLOW PAINT).
24. ONCE THE STEEL DECKING IS IN PLACE, THE CONTRACTOR SHALL USE ANY SUITABLE NON–DESTRUCTIVE MEANS TO IDENTIFY THE PROTECTED ZONES PRIOR TO THE INSTALLATION OF SHEAR STUDS, DECK ATTACHMENTS.
25. AFTER SPRAYED ON FIRE–RESISTIVE MATERIAL HAS BEEN APPLIED, THE CONTRACTOR SHALL USE ANY SUITABLE NON–DESTRUCTIVE MEANS TO IDENTIFY THE PROTECTED ZONES FOR OTHER DISCIPLINES TO PRECLUDE UNAUTHORIZED ATTACHMENTS.

COLD-FORMED STEEL FRAMING

1. ALL PORTIONS OF WORK PERTAINING TO COLD–FORMED STEEL CONSTRUCTION SHALL CONFORM TO TITLE 24, PART 2, CHAPTER 22A.
2. ALL LIGHT GAUGE METAL FRAMING SHALL BE GALVANIZED AND SHALL CONFORM TO ASTM A–653 SS, GRADE 50, CLASS 1, WITH A MINIMUM YIELD STRENGTH OF 50 KSI FOR 16 GAUGE AND HEAVIER FRAMING, AND ASTM A–653 SS, GRADE 33, WITH A MINIMUM YIELD STRENGTH OF 33 KSI FOR 18 GAUGE AND LIGHTER FRAMING.
3. DIMENSIONS, PROPERTIES AND TYPES NOTED ARE BASED ON METAL STUDS AND TRACKS BY STEEL STUD MANUFACTURERS ASSOCIATION, ICC NO. ESR–3064P, UNLESS NOTED OTHERWISE.
4. ALL STUDS AT JAMBS OF DOOR AND WINDOW OPENINGS SHALL BE 16 GAUGE, UNLESS NOTED OTHERWISE.
5. WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE – SHEET STEEL, AWS D1.3, BY THE AMERICAN WELDING SOCIETY.
6. ALL SHEET METAL SCREWS SHALL PROTRUDE 3 EXPOSED THREADS MINIMUM THROUGH BASE METAL FRAMING.
7. ALL METAL STUDS SHALL HAVE STIFFENED FLANGES.
8. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR SIZE AND GAUGE OF STUDS.
9. THE FOLLOWING ITEMS ARE EXEMPT FROM DSA 103 TEST & INSPECTION WELDING REQUIREMENTS:
   - NON–STRUCTURAL INTERIOR STUDS LESS THAN 15'–0" IN HT.
   - SOFFIT/CEILING JOISTS LESS THAN 15'–0" IN LENGTH AND LESS THAN 20'–0" ABOVE FINISHED GRADE/FLOOR BELOW.

AUTOMATIC END WELDED STUDS

1. AUTOMATIC END WELDED STUDS SHALL BE NELSON GRANULAR FLUX–FILLED SHEAR CONNECTORS OR ANCHOR STUDS OR AN APPROVED EQUAL.
2. STUDS SHALL BE MANUFACTURED OF COLD ROLLED STEEL, WHICH CONFORMS TO ASTM SPECIFICATION A–108, GRADES C–1010 THRU C–1020.
3. STUDS SHALL BE AUTOMATICALLY END WELDED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS IN SUCH A MANNER AS TO PROVIDE COMPLETE FUSION BETWEEN THE END OF THE STUD AND THE PLATE. THERE SHOULD BE NO POROSITY OR EVIDENCE OF LACK OF FUSION BETWEEN THE WELDED END OF THE STUD AND THE PLATE. THE STUD SHALL DECREASE IN LENGTH DURING WELDING APPROXIMATELY 1/8" FOR 5/8" DIAMETER STUDS AND SMALLER, AND 3/16" FOR STUDS LARGER THAN 5/8" DIAMETER. WELDING SHALL BE DONE ONLY BY QUALIFIED WELDERS APPROVED BY THE WELDING INSPECTOR.

POWDER DRIVEN CONCRETE FASTENERS

1. THE USE OF POWDER DRIVEN FASTENERS FOR TENSION LOADS IS LIMITED TO SUPPORT OF MINOR LOADS, SUCH AS ACOUSTICAL CEILINGS, DUCTWORK, CONDUIT, ETC. POWDER DRIVEN CONCRETE FASTENERS MAY NOT BE USED IN CURBS.
2. ALLOWABLE TENSION LOADS SHALL BE LIMITED TO 90 POUNDS, OR 80% OF ICC APPROVED VALUES, WHICHEVER IS LESS. QUALIFICATION FOR USE OF ALL POWER ACTUATED TOOLS MUST MEET ANSI A10.3 STANDARD AS REQUIRED BY THE MANUFACTURER AND ALL OSHA REQUIREMENTS.
3. THE OPERATOR, TOOL, AND FASTENERS SHALL BE PREQUALIFIED BY THE PROJECT INSPECTOR. HE SHALL OBSERVE THE TESTING OF THE FIRST TEN FASTENER INSTALLATIONS. A "PULL–OUT" TEST LOAD OF 200 LBS. SHALL BE APPLIED TO THE PIN IN SUCH A MANNER AS NOT TO RESIST THE SPALLING TENDENCY OF THE CONCRETE SURROUNDING THE PIN. THEREAFTER, RANDOM TESTS, UNDER THE PROJECT INSPECTOR'S SUPERVISION, SHALL BE MADE OF APPROXIMATELY ONE IN TEN PINS. IF ANY PIN FAILS TESTING, TEST ALL PINS OF THE SAME CATEGORY NOT PREVIOUSLY TESTED UNTIL TWENTY CONSECUTIVE PASS, THEN RESUME THE INITIAL TESTING FREQUENCY.
4. FASTENERS SHALL HAVE ICC APPROVAL FOR THE TYPE OF CONCRETE INTO WHICH THE FASTENERS ARE INSTALLED.
5. POWDER DRIVEN CONCRETE FASTENERS ARE NOT PERMITTED IN PRESTRESSED CONCRETE MEMBERS.
6. WHEN INSTALLING DRILLED–IN ANCHORS AND/OR POWDER DRIVEN PINS IN NON–PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGE TO THE REINFORCING BARS. MAINTAIN A MINIMUM CLEARANCE OF ONE INCH BETWEEN THE REINFORCEMENT AND DRILLED–IN ANCHOR AND/OR PIN.

ANCHORS AND/OR DOWELS INSTALLED WITH ADHESIVE

1. ANCHORS AND/OR DOWELS SHALL BE INSTALLED WITH ADHESIVE ONLY WHERE INDICATED ON DRAWINGS.
2. ANCHORS AND/OR DOWELS SHALL BE INSTALLED IN CONCRETE USING ONE OF THE FOLLOWING PRODUCTS IN ACCORDANCE WITH THE APPLICABLE ICC/IAPMO REPORT:
   - HILTI HIT–HY 200 ADHESIVE — ICC NO. ESR–3187
   - SIMPSON SET–XP ADHESIVE — ICC NO. ESR–2508
   - DEWALT PURE110+ ADHESIVE — ICC NO. ESR–3298
3. ANCHORS AND/OR DOWELS SHALL BE INSTALLED IN GROUTED MASONRY USING ONE OF THE FOLLOWING PRODUCTS IN ACCORDANCE WITH THE APPLICABLE ICC REPORT:
   - HILTI HIT–HY 200 ADHESIVE — ICC NO. ESR–3963
   - SIMPSON SET–XP ADHESIVE — IAPMO NO. ER–265
4. ADHESIVE SYSTEMS OTHER THAN THOSE SPECIFIED SHALL BE SUBMITTED AS A SUBSTITUTION, AND ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE ENFORCEMENT AGENCY, THE ARCHITECT, AND THE STRUCTURAL ENGINEER.
5. HOLES SHALL BE DRILLED WITH NON–REBAR–CUTTING DRILL BITS.
6. HOLES SHALL BE CLEAN OF CONCRETE DUST AND DEBRIS USING A STEEL WIRE BRUSH AND OIL–FREE COMPRESSED AIR. HOLES SHALL ALSO BE FREE OF STANDING WATER.
7. PROJECT INSPECTOR SHALL VERIFY INSTALLATION OF ANCHORS OR DOWELS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, INCLUDING CLEANLINESS OF DRILL HOLES AND PROPER EMBEDMENT.
8. ANCHORS SET IN CONCRETE AND GROUTED MASONRY SHALL BE TESTED TO 2 TIMES THE ASD ALLOWABLE TENSION LOAD, 1.25 TIMES THE LRFD STRENGTH CAPACITY, OR 80% OF THE YIELD STRENGTH OF THE BOLT FOR THE SPECIFIC LOCATION OF THE ANCHOR TO BE TESTED, WHICHEVER IS LESS. TORQUE TESTING IS NOT PERMITTED. SEE DETAILS FOR TEST LOADS.
9. ADHESIVE ANCHORS INSTALLED IN HORIZONTAL TO VERTICALLY OVERHEAD ORIENTATION TO SUPPORT SUSTAINED TENSION LOADS SHALL BE DONE BY A CERTIFIED ADHESIVE ANCHOR INSTALLER (AAI) AS CERTIFIED THROUGH ACI/CRSI (ACI 318–14 17.8.2.2). PROOF OF CURENT CERTIFICATION SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF INSTALLATION.
10. ADHESIVE ANCHORS MUST BE INSTALLED IN CONCRETE AGED A MINIMUM OF 21 DAYS.

REINFORCING STEEL

1. ALL PORTIONS OF WORK PERTAINING TO FABRICATION AND PLACEMENT OF REINFORCING STEEL SHALL CONFORM TO TITLE 24, PART 2, CHAPTER 19A.
2. REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60, EXCEPT #3 BARS MAY BE GRADE 40. REINFORCING BARS THAT ARE TO BE WELDED SHALL CONFORM TO ASTM A-706, GRADE 60.
3. WELDING OF REINFORCEMENT SHALL BE WITH LOW HYDROGEN ELECTRODES AND SHALL CONFORM TO STRUCTURAL WELDING CODE - REINFORCING STEEL, AWS D1.4, BY THE AMERICAN WELDING SOCIETY AND SEC. 1903A.8. WELDING RODS USED FOR THE WELDING OF REINFORCING SHALL BE E80XX. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS.
4. ALL REINFORCING BAR BENDS SHALL BE MADE COLD. ALL #5 OR LARGER REINFORCING BARS SHALL NOT BE RE-BENT.
5. FUSION WELDED REINFORCING STEEL ASSEMBLIES SHALL CONFORM TO SEC. 1903A.8. TIES/STIRRUP BARS IN FUSION WELDED ASSEMBLIES SHALL CONFORM TO ASTM A-706, AND LONGITUDINAL HOLDING WIRES SHALL CONFORM TO ASTM A-1064.
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, AND SHALL BE LAPPED 11/2 SPACES AND 12" MINIMUM.
7. DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL BE THE SAME GRADE, SIZE, SPACING AND NUMBER AS THE VERTICAL REINFORCEMENT, RESPECTIVELY.
8. REINFORCING SPLICES SHALL BE MADE AS INDICATED ON THE DRAWINGS.
9. ALL VERTICAL REINFORCING SHALL BE CONTINUOUS BETWEEN TWO DIAPHRAGM LEVELS, UNLESS NOTED OTHERWISE.
10. D ANY BURIED STRUCTURES, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC., BE FOUND.

POST-INSTALLED ANCHORS

1. ACCEPTABLE EQUIVALENT MANUFACTURERS OF POST–INSTALLED EXPANSION ANCHORS AND SCREW ANCHORS SHALL BE HILTI INC., SIMPSON STRONG–TIE COMPANY INC., OR DEWALT, UNO.
2. TESTS FOR POST–INSTALLED ANCHORS IN HARDENED CONCRETE SHALL CONFORM TO TITLE 24, PART 2, CHAPTER 19A, SECTION 1910A.5.
3. POST–INSTALLED ANCHOR INSTALLATION SHALL BE INSPECTED BY A SPECIAL INSPECTOR SPECIFICALLY APPROVED BY THE ENFORCEMENT AGENCY FOR THAT PURPOSE.
4. POST–INSTALLED ANCHOR TESTING SHALL BE DONE IN THE PRESENCE OF THE PROJECT INSPECTOR.
5. TEST QUANTITY OF POST–INSTALLED ANCHORS AS NOTED BELOW:

APPLICATION	QUANTITY
SILL PLATES	10% OF BOLTS
STRUCTURAL	100% OF BOLTS
NON–STRUCTURAL (EQUIP. ANCHORAGE, ETC.)	50% OF BOLTS

6. IF ANY ANCHOR FAILS TESTING, TEST ALL ANCHORS OF THE SAME CATEGORY NOT PREVIOUSLY TESTED UNTIL TWENTY (20) CONSECUTIVE ANCHORS PASS, THEN RESUME INITIAL TESTING FREQUENCY.
7. TORQUE TESTING SHALL BE APPLIED BY CALIBRATED WRENCH. TENSION TESTING (WHERE INDICATED) SHALL BE APPLIED BY HYDRAULIC JACK OR CALIBRATED SPRING LOADING DEVICE.
8. THE FOLLOWING CRITERIA SHALL APPLY FOR THE ACCEPTANCE OF INSTALLED POST–INSTALLED ANCHORS:
   A. TORQUE WRENCH METHOD: THE APPLICABLE TEST TORQUE MUST BE ATTAINED WITHIN ONE–HALF (1/2) TURN OF THE NUT. SLEEVE ANCHORS 3/8 INCH DIAMETER OR LESS MUST ATTAIN THE SPECIFIED TEST TORQUE WITHIN ONE–QUARTER (1/4) TURN OF THE NUT, AND THREADED ANCHORS MUST ATTAIN THE SPECIFIED TEST TORQUE WITHIN ONE–QUARTER (1/4) TURN OF THE SCREW AFTER INITIAL SEATING OF THE SCREW HEAD.
   B. HYDRAULIC RAM METHOD: (FOR TENSION TESTING WHERE INDICATED) ANCHORS SHALL MAINTAIN THE TENSION TEST LOAD FOR A MINIMUM OF 15 SECONDS AND SHALL EXHIBIT NO DISCERNABLE MOVEMENT DURING THE TENSION TEST. (AN EXAMPLE OF DISCERNABLE MOVEMENT WOULD BE LOOSENING OF THE WASHER UNDER THE NUT).
9. TEST LOADS (1)(2)(3)

TORQUE TEST VALUES – EXPANSION ANCHORS
NORMAL WEIGHT CONCRETE

ANCHOR DIAMETER (INCH)	ANCHOR DEPTH (INCHES)	REQ'D. ANCHOR DEPTH (INCHES NOMINAL)	TORQUE (FT–LBF)
3/8	2	2 1/2	30
1/2	2	2 1/2	50
	3 1/4	3 3/4	50
5/8	3 1/4	3 3/4	40
	4	4 1/2	40
3/4	3 3/4	4 1/2	110
	4 3/4	5 1/2	110

(1) TEST VALUES ARE BASED ON KWIK BOLT TZ2 (KB–TZ2) EXPANSION ANCHORS BY HILTI, INC. (ICC EVALUATION REPORT NUMBER ESR–4266).

(2) TEST VALUES ARE BASED ON CARBON STEEL ANCHORS.

(3) VERIFY TORQUE VALUES WITH MANUFACTURER FOR SIMPSON STRONG–BOLT 2 (ICC ESR–3037) OR DEWALT POWER–STUD+SD2 (ICC ESR–2502)

TORQUE TEST VALUES – SCREW ANCHORS
NORMAL WEIGHT CONCRETE

ANCHOR DIAMETER (INCH)	ANCHOR DEPTH (INCHES)	TORQUE (FT–LBF)
1/4	1 5/8"	24
	2 1/2"	24
3/8	2 3/4	50
	3 1/2	50
1/2	3 3/4	65
	4 1/2	65
5/8	4 1/2	100
	6	100
3/4	6	150
	6 3/4	150

(1) TEST VALUES ARE BASED ON TITEN HD SCREW ANCHORS BY SIMPSON STRONG–TIE, (ICC EVALUATION REPORT NUMBER ESR–2713).

(3) VERIFY TORQUE VALUES WITH MANUFACTURER FOR HILTI KWIK HUS–EZ SCREW ANCHORS (ICC ESR–3027) OR DEWALT SCREW–BOLT+SCREW ANCHOR (ICC ESR–3889)

PROJECT DESIGN CRITERIA

1. BASIC DESIGN LIVE LOADS:

ROOF: 20 PSF (REDUCIBLE)

2. WIND LOADS

RISK CATEGORY: III
EXPOSURE CATEGORY: C
BASIC DESIGN WIND SPEED (3–SECOND GUST), V = 102 MPH
ALLOWABLE STRESS DESIGN WIND SPEED, V_{ASD} = 79 MPH
VELOCITY PRESSURE EXPOSURE COEFFICIENT, K_Z = VARIES
TOPOGRAPHIC FACTOR, K_{Zt} = 1.0
WIND DIRECTIONALITY FACTOR, K_d = 0.85
GROUND ELEVATION FACTOR, Ke = 1.00
GUST EFFECT FACTOR, G = 0.85

A. COMPONENTS & CLADDING (ASCE 7–16, CH. 30)

$q_h = 0.00256\ K_Z\ K_{Zt}\ K_d\ V_{ULT}^2$

$P = q_h\ [(GC_P) - (GC_{PI})]$

EXTERNAL PRESSURE COEFFICIENT, (G_{CP}) = [FIG. 30.3–1 THRU 30.3–7]
INTERNAL PRESSURE COEFFICIENT, (GC_{PI}) = TABLE 26.13–1

3. EARTHQUAKE LOADS

SEISMIC DESIGN CRITERIA
(BASES ON ATC HAZARD SEISMIC DESIGN SERVICE)

S_S = 1.672
S_1 = 0.603
SITE CLASS: D
F_A = 1.2
F_V = 1.7
S_{DS} = 1.337
RISK CATEGORY: III
SEISMIC DESIGN CATEGORY: D

WOOD

1. ALL PORTIONS OF WORK PERTAINING TO WOOD CONSTRUCTION SHALL CONFORM TO TITLE 24, PART 2, CHAPTER 23, INCLUDING ADDITIONAL REQUIREMENTS AND EXCEPTIONS, AS APPLICABLE.
2. LUMBER SHALL BE GRADED IN ACCORDANCE WITH THE STANDARD GRADING RULES NO. 17 OF THE WEST COAST LUMBER INSPECTION BUREAU, OR THE STANDARD GRADING RULES OF THE WESTERN WOOD PRODUCTS ASSOCIATION.
3. DIMENSION LUMBER SHALL BE DOUGLAS FIR–LARCH, NO. 1 AND BETTER GRADE, UNLESS NOTED OTHERWISE. TIMBERS SHALL BE DOUGLAS FIR LARCH, NO. 1 GRADE, UNLESS NOTED OTHERWISE. MOISTURE CONTENT AT TIME OF INSTALLATION SHALL BE 19% OR LESS.
4. ALL PLYWOOD SHALL BE STRUCTURAL 1 AND COMPLY WITH PRODUCT STANDARD PS–1. USE PLYWOOD NAILS SAME GAUGE AS COMMON WIRE NAILS WITH LENGTHS AT LEAST EQUAL TO PLYWOOD THICKNESS PLUS REQUIRED PENETRATION IN ACCORDANCE WITH CBC SECTIONS 2306.2 (AWC SDPWS TABLE 4.2A) OR 2306.3 (AWC SDPWS TABLE 4.3A), AS APPLICABLE.
5. EXPOSED MEMBERS SHALL BE SELECT STRUCTURAL GRADE, FREE OF HEART CENTER (WHERE SIZE PERMITS), AND SELECTED FOR APPEARANCE AND STRAIGHTNESS.
6. BOLT HOLES SHALL BE A MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER DIAMETER THAN NOMINAL SIZE OF BOLT USED. RETIGHTEN ALL NUTS PRIOR TO CLOSING IN.
7. STANDARD CUT WASHERS SHALL BE USED UNDER BOLT HEADS AND NUTS AGAINST WOOD. USE HEAVY PLATE OR MALLEABLE IRON WASHERS WHERE NOTED.
8. DO NOT BORE OR NOTCH MEMBERS, EXCEPT WHERE SHOWN IN DETAILS. OBTAIN ENFORCEMENT AGENCY AND STRUCTURAL ENGINEER'S APPROVAL FOR ANY HOLES OR NOTCHES NOT DETAILED.
9. METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE SIMPSON "STRONG–TIE", KC METALS, OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. PRODUCT CALLOUT ON PLANS REFERS TO SIMPSON "STRONG TIE" MODEL NUMBER AND KC METALS PRODUCT REFERENCE NUMBER. FILL ALL ROUND AND TRIANGLE HOLES WITH THE SPECIFIED NAILS, SCREWS, OR BOLTS AS REQUIRED PER THE MANUFACTURER CATALOG. APPROVED EQUALS MAY ONLY BE USED WITH PRIOR APPROVAL FROM ENFORCEMENT AGENCY AND THE STRUCTURAL ENGINEER.
10. ALL SILL PLATES WHICH REST ON FOUNDATION OR SLAB ON GRADE SHALL BE PRESERVATIVE–TREATED IN ACCORDANCE WITH CBC SEC. 2303.1.9, AND SHALL BEAR THE QUALITY MARK OF AN APPROVED INSPECTION AGENCY THAT MAINTAINS CONTINUING SUPERVISION, TESTING AND INSPECTION OVER THE QUALITY OF PRESERVATIVE–TREATED WOOD. CUTS AND HOLES SHALL BE RETREATED.
11. JOISTS MORE THAN 8–INCH DEPTH SHALL BE CONTINUOUSLY BRIDGED BY SOLID BLOCKING, 2 INCHES THICK AND THE FULL DEPTH OF THE JOIST, SPACED AT 8 FEET ON CENTER.
12. ALL NAILING SHALL CONFORM TO CBC TABLE 2304.10.1 – FASTENING SCHEDULE, USING COMMON WIRE NAILS. PREDRILL ALL NAILS 20D AND LARGER AND WHERE REQUIRED TO PREVENT SPLITTING. FASTENERS IN CONTACT WITH PRESERVATIVE–TREATED WOOD SHALL BE OF HOT–DIPPED ZINC–COATED GALVANIZED STEEL.
13. LAG SCREWS SHALL HAVE LEAD HOLES BORED BEFORE INSTALLING. HOLE DIAMETERS SHALL BE AS FOLLOWS:
    A. SHANK PORTION — SAME DIAMETER AND LENGTH OF SHANK.
    B. THREADED PORTION — 0.40 TO 0.70 DIAMETER OF SHANK AND SAME LENGTH AS THREADED PORTION.

CONCRETE

1. ALL PORTIONS OF WORK PERTAINING TO CONCRETE CONSTRUCTION SHALL CONFORM TO TITLE 24, PART 2, CHAPTER 19A.
2. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY. MIX DESIGNS SHALL CONFORM TO ACI 318, SEC. 26.4, CBC SEC.1903A AND 1904A. MIX DESIGNS SHALL INCORPORATE THE FOLLOWING CRITERIA:
   - MINIMUM OF 5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE. MAXIMUM OF 7 SACKS OF CEMENT PER YARD OF CONCRETE.
   - MAXIMUM WATER/CEMENT RATIO (BY WEIGHT) OF CONCRETE IN CONTACT WITH SOIL SHALL BE 0.45.
   - MAXIMUM SLUMP SHALL NOT EXCEED 3" ± 1" FOR FOOTINGS, SLABS ON GRADE, AND MASS CONCRETE; AND 4" ± 1" FOR OTHER CONCRETE. SLUMP LIMITATIONS NOTED SHALL APPLY TO CONCRETE MIX PRIOR TO THE ADDITION OF ANY WATER-REDUCING ADMIXTURES OR SUPER-PLASTICIZERS. MAXIMUM SLUMP MAY BE INCREASED TO 5 +/- 1" FOR MIX INCLUDING WATER-REDUCING ADMIXTURES OR SUPER-PLASTICIZERS.
   - CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDE(S) SHALL NOT BE USED.
3. SCHEDULE OF STRUCTURAL CONCRETE 28 DAY MINIMUM STRENGTHS AND TYPES:
   - SLABS ON GRADE 145 PCF, f'c = 3000 PSI (NOTE: 2,500 PSI USED FOR DESIGN)
   - ELSEWHERE UNLESS NOTED 145 PCF, f'c = 3000 PSI
4. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE II. CEMENT USED FOR CONCRETE IN CONTACT WITH SOIL SHALL CONFORM TO ASTM C-150, TYPE V.
5. AGGREGATE FOR NORMALWEIGHT CONCRETE SHALL CONFORM TO ASTM C-33. COMBINED AGGREGATE GRADATION OF 3/8" MAXIMUM (PEA GRAVEL) SHALL NOT BE USED.
6. READY MIXED CONCRETE SHALL CONFORM TO ASTM C-94.
7. PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 304. CLEAN AND ROUGHEN TO 1/4" AMPLITUDE ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED.
8. ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING CONCRETE.
9. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING IN CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN. NOTIFY THE STRUCTURAL ENGINEER, IN ADVANCE, OF CONDITIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
10. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

    CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH .... 3"

    CONCRETE EXPOSED TO EARTH OR WEATHER:
    #6 THROUGH #18 BARS .... 2"
    #5 BARS, W31 OR D31 WIRE, AND SMALLER .... 11/2"

    CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
    SLABS, WALLS, JOISTS:
    #14 AND #18 BARS .... 11/2"
    #11 BAR AND SMALLER .... 3/4"
    BEAMS, COLUMNS:
    PRIMARY REINFORCEMENT STIRRUPS, TIES, SPIRALS........ 11/2"
11. CONDUITS OR PIPES SHALL NOT BE EMBEDDED WITHIN A SLAB, WALL, BEAM, OR COLUMN, UNLESS SPECIFICALLY DETAILED.
12. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL MOLDS, GROOVES, REVEALS, ORNAMENTS AND GROUNDS TO BE CAST IN CONCRETE.
13. DRYPACK WHERE NOTED ON DRAWINGS SHALL CONSIST OF 1 PART PORTLAND CEMENT AND 21/2 PARTS OF FINE AGGREGATE CONFORMING TO ASTM C-33 WITH ENOUGH WATER TO FORM A BALL WHEN SQUEEZED IN THE HAND. THE SPACE BETWEEN TWO SURFACES REQUIRING DRYPACK SHALL BE PACKED WITH THE DRYPACK MATERIAL BY TAMPING OR RAMMING WITH A BAR OR ROD UNTIL THE VOIDS ARE COMPLETELY FILLED.
14. NON-SHRINK GROUT WHERE NOTED ON DRAWINGS SHALL BE A PRE-MIXED COMPOUND CONSISTING OF NON-METALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 8,000 PSI AT 28 DAYS. WHERE APPLICATION THICKNESS EXCEEDS MANUFACTURER'S LIMITATIONS, EXTEND WITH 3/8" (GRAVEL) AGGREGATE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
15. CONCRETE FOR SLAB ON GRADE DOES NOT REQUIRE BATCH PLANT INSPECTION. A MINIMUM OF ONE SET OF CYLINDERS SHALL BE TAKEN AND TESTED FOR EACH 50 CUBIC YARDS OF CONCRETE OR FRACTION THEREOF.

1 STRUCTURAL GENERAL NOTES
12" = 1'-0"

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

ARCHITECT PBK Architects, Inc.
PBK.com
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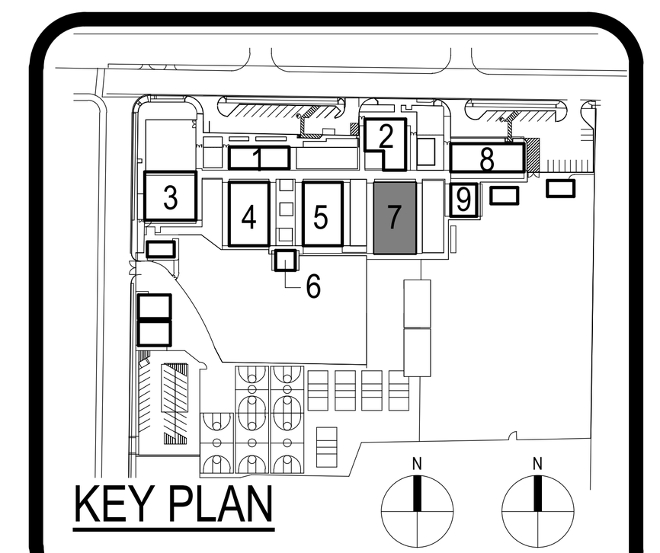
Rancho Cucamonga
California 91730
P 909-987-0909

WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E Vine Ave.
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110



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Architect
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STATE OF CALIFORNIA

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
05/09/2023	220117

REVISIONS

No.	Description	Date

DSA BACKCHECK

STRUCTURAL GENERAL NOTES

A8.01

A8.01 - STRUCTURAL GENERAL NOTES

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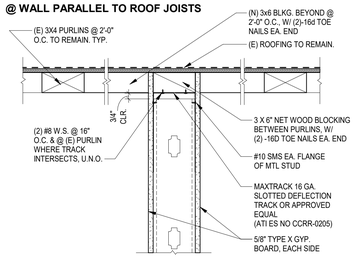
A8.02 - WALL TYPES

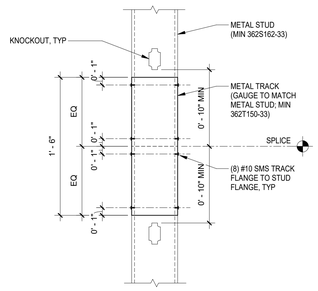
0" 1"

@ WALL PARALLEL TO ROOF JOISTS



NOTE:
ALL ITEMS NOT IDENTIFIED AS (E) ARE TO BE PROVIDED NEW TYP.

30 MTL STUD WALL ANCHOR TO (E) STRUCT.
1 1/2" = 1'-0"



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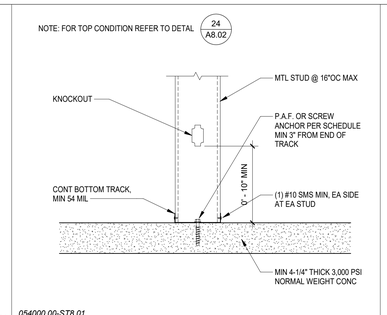
29 METAL STUD SPLICE
1 1/2" = 1'-0"



054000.00-ST8.01 OPD NO. ST8.01 - 10/07/14

28 METAL STUD BOTTOM TRACK
1 1/2" = 1'-0"

WALLS NOT SUPPORTING CABINETS OR EQUIP ON EITHER SIDE

MAX WALL HEIGHT	P.A.F. MAX SPACING	P.A.F. MIN EMBED	P.A.F. MIN EDGE DISTANCE	3/8" SCREW ANCHOR MAX SPACING	3/8" SCREW ANCHOR MIN EMBED	3/8" SCREW ANCHOR MIN EDGE DISTANCE
9'-0"	16"	1-1/4"	4"	32"	2-1/2"	3-3/4"
12'-0"	16"	1-1/4"	4"	32"	2-1/2"	3-3/4"
16'-0"	8"	1-1/4"	4"	32"	2-1/2"	3-3/4"

ALL OTHERS (SUPPORTING LOADS UP TO 285 PLF)

MAX WALL HEIGHT	P.A.F. MAX SPACING	P.A.F. MIN EMBED	P.A.F. MIN EDGE DISTANCE	3/8" SCREW ANCHOR MAX SPACING	3/8" SCREW ANCHOR MIN EMBED	3/8" SCREW ANCHOR MIN EDGE DISTANCE
9'-0"	N/A	-	-	32"	2-1/2"	3-3/4"
12'-0"	N/A	-	-	32"	2-1/2"	3-3/4"
16'-0"	N/A	-	-	24"	2-1/2"	3-3/4"

NOTES:
1. Sds = 1.337g VALUE
2. P.A.F. = POWER/POWDER ACTUATED FASTENER; HILTI X-U (ICC-ES ESR 2269), OR EQUAL
3. SCREW ANCHOR SHALL BE SIMPSON TITEN HD (ICC-ES ESR 2713), OR EQUAL

OPD NO. ST8.01 - 10/07/14

BRACING PLAN REQUIREMENTS (INTERIOR WALLS ONLY)

BRACE FRAMING FOR 3 5/8" STUDS

STUD TYPE	STUD PROP.	SPACING	MAX. LENGTH	
SJ 20 (40 KSI) (20 GA.)	1X = 0.541 IN^4	4'-0" O.C.	14'-0"	BRACE AT MID-POINT FOR LENGTHS OVER 14'-0"
	rx = 1.429 IN			
	A = 0.2136 IN^2			
	Sx = 0.273 IN^3			

BRACE FRAMING FOR 6" STUDS

STUD TYPE	STUD PROP.	SPACING	MAX. LENGTH	
SJ 20 (40 KSI) (20 GA.)	1X = 1.787 IN^4	4'-0" O.C.	20'-0"	BRACE AT MID-POINT FOR LENGTHS OVER 20'-0"
	rx = 2.253 IN			
	A = 0.2148 IN^2			
	Sx = 0.539 IN^3			

LIMITING HEIGHT OF METAL STUDS

STUD SIZE	SPACING	25 GA.	20 GA.
2 1/2"	16"	11'-3"	12'-10"
3 5/8"	16"	14'-4"	16'-5"
6"	16"	19'-9"	24'-6"

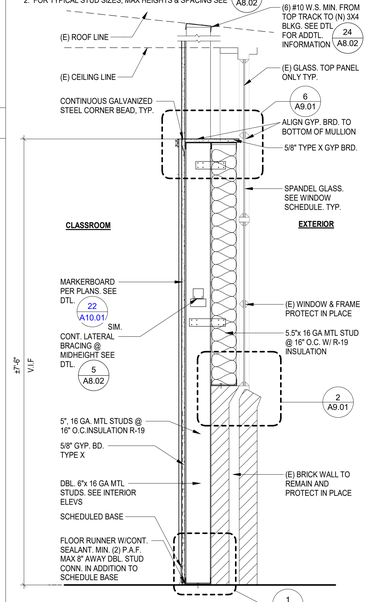
NOTE: THE TABLE INDICATED ABOVE IS BASED ON "DIETRICH" LIMITING HEIGHT CHART AND IS TO BE USED AS A GUIDE FOR INTERIOR WALL CONSTRUCTION. THE TABLE IS BASED WITH SHEATHING BOARD ON BOTH SIDES OF PARTITION.

GYPSUM WALLBOARD PARTITION NOTES:

1. SET ALL FLOOR PLATES ON A CONTINUOUS RIBBON OF SEALANT.
2. AT PARTITIONS DESIGNATED TO HAVE SOUND ATTENUATION BLANKETS:
   - A. PROVIDE 3-1/2" OR 6" THICK (MATCH STUD SIZE) SOUND ATTENUATION BLANKETS OR BATTS FULL HEIGHT OF PARTITION, UNLESS NOTED OTHERWISE.
   - B. SEAL PARTITION PERIMETER AND ALL PENETRATIONS WITH ACOUSTICAL SEALANT.
   - C. TAPE AND BED OR CAULK ALL JOINTS BETWEEN FIRST AND SECOND LAYERS OF GYPSUM BOARD AND AT ALL SOUND RATED WALLS TAKEN THROUGH THE CEILING.
   - D. PROVIDE CONTINUOUS ACOUSTICAL SEALANT AT BOTTOM OF PARTITION ON BOTH SIDES AT NON-RATED PARTITIONS AND PROVIDE CONTINUOUS FIRE RATED SEALANT AT FIRE-RATED PARTITIONS.
3. PROVIDE TILE GLASS-MAT WATER RESISTANT GYPSUM BACKER BOARD ON WALLS BEHIND AND ADJACENT TO PLUMBING FIXTURES, AND BEHIND ALL CERAMIC TILE AT ALL DAMP LOCATIONS AT GYPSUM BOARD PARTITIONS.
4. RIGIDLY BRACE ALL DOOR JAMBS AT THE HEAD, HINGE AND STRIKE SIDES AND WINDOW AT THE HEAD, SILL AND JAMBS.
5. LOCATE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AS FOLLOWS:
   - A. PARTITIONS OR FURRING RUNS EXCEEDING 30'-0"
   - B. WHERE A PARTITION ABUTS A STRUCTURAL ELEMENT OR DISSIMILAR WALL
   - C. CONSTRUCTION CHANGES WITHIN PLANE OF PARTITION
   - D. AT EXPANSION OR CONTROL JOINTS THROUGHOUT THE BUILDING
   - E. AT BOTH JAMBS OF INTERIOR AND EXTERIOR DOOR AND WINDOW FRAMES, ABOVE AND BELOW FULL HEIGHT OF WALL.
6. FIRE RATED PARTITIONS:
   - A. PROVIDE TYPE "X" FIRE RESISTIVE GYPSUM BOARD, 5/8" THICK UNLESS NOTED OTHERWISE
   - B. FILL ALL VOIDS AT DECK WITH FOAM FIRESTOP SEALANT
   - C. SEAL PARTITION PERIMETER AND ALL PENETRATIONS WITH RATED SEALANT
   - D. REFER TO UL MANUAL FOR RATED PARTITION DESCRIPTIONS AND DETAILED CONSTRUCTION NOTES.
7. EXTEND GYPSUM BOARD ABOVE ADJACENT FINISHED CEILING MINIMUM OF SIX INCHES (6").

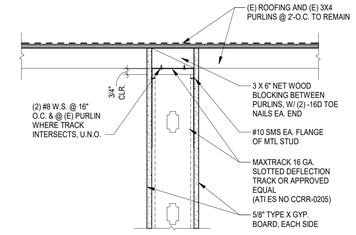
25 PARTITION TYPE - TYP. NOTES

NOTE:
1. REFER TO REMODEL FLOOR PLAN FOR LOCATIONS
2. FOR TYPICAL STUD SIZES, MAX HEIGHTS & SPACING SEE 23 A8.02



24 MTL STUD WALL ANCHOR TO (E) STRUCT.
1 1/2" = 1'-0"

@ WALL PERPENDICULAR TO ROOF JOISTS



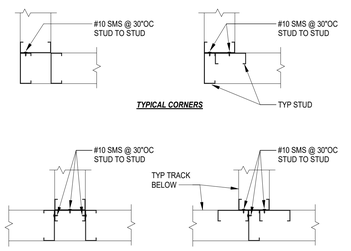
NOTE:
ALL ITEMS NOT IDENTIFIED AS (E) ARE TO BE PROVIDED NEW TYP.

23 STD PARTITION WALL SCHEDULE
12" = 1'-0"

SCHEDULE:

	MATERIAL ID	SPACING (in) OC	MAXIMUM WALL HEIGHT
3-5/8" WALLS	362S162-43	12	19'-0"
		16	17'-0"
		24	15'-0"
4" WALLS	400S162-43	12	20'-0"
		16	18'-0"
		24	16'-0"
6" WALLS	600S162-43	12	28'-0"
		16	26'-0"
		24	22'-0"
8" WALLS	800S162-43	12	36'-0"
		16	33'-0"
		24	28'-0"

NOTES:
1. INFORMATION IN THIS SCHEDULE CONFORMS WITH THE MAXIMUM ALLOWABLE LIMITS DEFINED IN THE STEEL STUD MANUFACTURERS [SSMA] PRODUCT TECHNICAL GUIDE (ICC-ES ESR #3064-P) FOR INTERIOR NON-BEARING PARTITIONS BRACED AT 48"OC
2. PARTITION WALL STUDS SHALL BE PLACED AT 16"OC UNLESS OTHERWISE NOTED IN THE PLANS.
3. STUDS SHALL BE 18 GAUGE MIN, UNLESS NOTED OTHERWISE
4. MAXIMUM HEIGHTS NOTED ARE BASED ON A DEFLECTION LIMIT OF L/240 AND MAXIMUM LATERAL LOAD OF 5 PSF.
5. WHERE NEW WALLS ARE TO ALIGN WITH EXISTING, MATCH EXISTING STUD WIDTH WITHIN THE LIMITS DEFINED IN THIS SCHEDULE UNLESS DETAILED OTHERWISE.
6. WHERE EXISTING OPENINGS ARE TO BE INFILLED, MATCH EXISTING STUD WIDTH.
5. FOR METAL STUD MATERIAL IDENTIFICATION, SEE 15 A8.02



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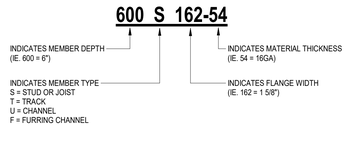
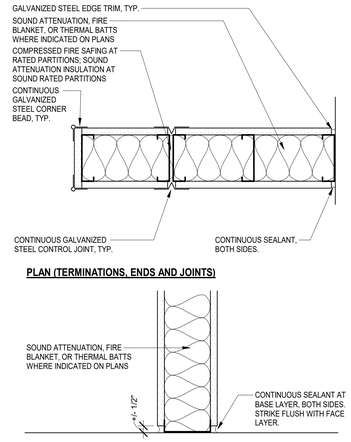
21 TYP METAL STUD INTERSECTIONS
1 1/2" = 1'-0"



20 PARTITION TYPES-BRACING CHART
12" = 1'-0"

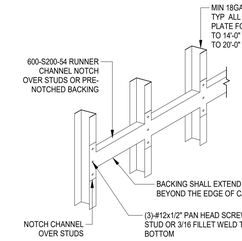
BRACING PLAN REQUIREMENTS



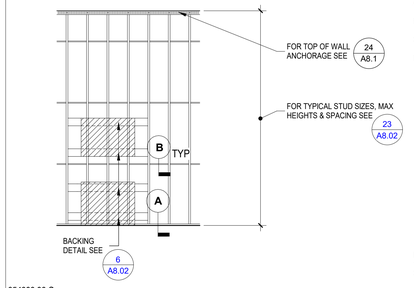
PLAN (TERMINATIONS, ENDS AND JOINTS)

BASE TERMINATION

17 TYP MTL STUD ELEVATION
1/4" = 1'-0"



6 METAL STUD BACKING
1/4" = 1'-0"



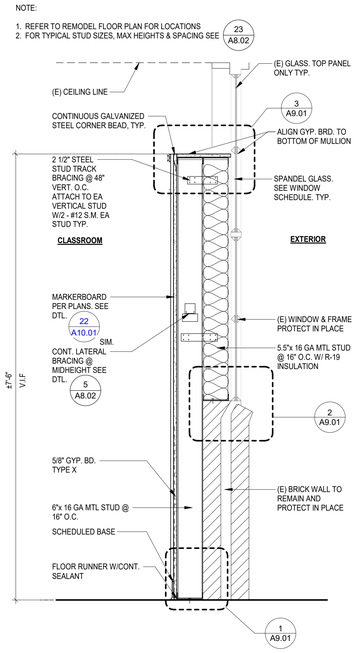
A. SILL PER 28 A8.02
B. LATERAL BRACING PER 5 A8.02
C. TYPICAL METAL STUD FRAMING INTERSECTION PER 21 A8.02
D. TYPICAL METAL STUD SPLICE PER 29 A8.02

NOTES:
1. LATERAL BRACING NOT REQUIRED WHERE SHEATHING OCCURS ON BOTH SIDES OF PARTITION WALL

054000.00-S Rev 10/21

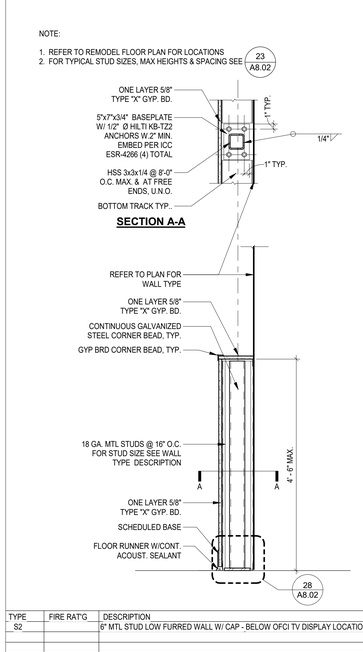
15 METAL STUD IDENTIFICATION
1 1/2" = 1'-0"

NOTE:
1. REFER TO REMODEL FLOOR PLAN FOR LOCATIONS
2. FOR TYPICAL STUD SIZES, MAX HEIGHTS & SPACING SEE 23 A8.02



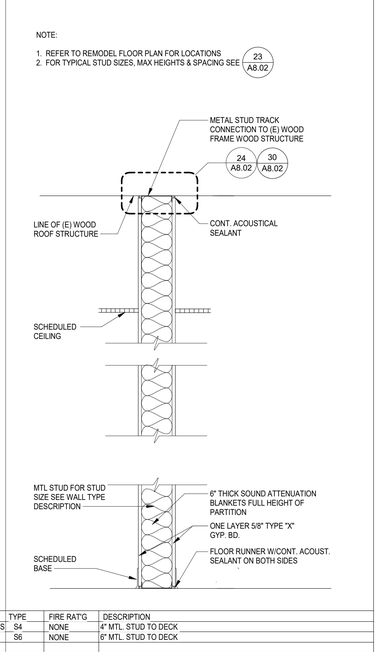
14 PARTITION TYPES-TYPICAL DETAILS
12" = 1'-0"

NOTE:
1. REFER TO REMODEL FLOOR PLAN FOR LOCATIONS
2. FOR TYPICAL STUD SIZES, MAX HEIGHTS & SPACING SEE 23 A8.02

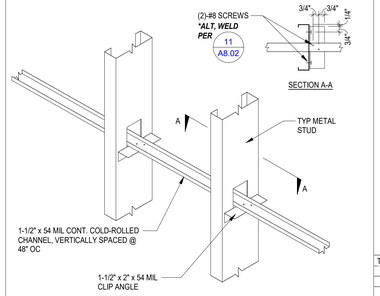


13 FURRING WALL @ EXT.BRICK WALL @ ROOF
1" = 1'-0"

NOTE:
1. REFER TO REMODEL FLOOR PLAN FOR LOCATIONS
2. FOR TYPICAL STUD SIZES, MAX HEIGHTS & SPACING SEE 23 A8.02

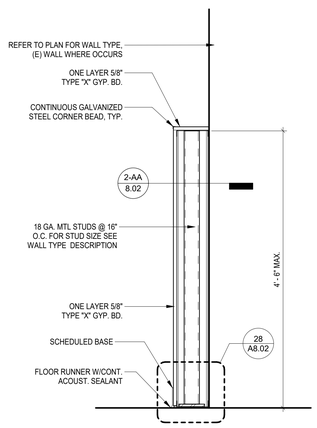


11 METAL STUD LATERAL BRACING, ALT
1 1/2" = 1'-0"



054000.00-ST4.00-ALT OPD NO. ST4.00 - 10/07/14

NOTE:
1. REFER TO REMODEL FLOOR PLAN FOR LOCATIONS
2. FOR TYPICAL STUD SIZES, MAX HEIGHTS & SPACING SEE 23 A8.02



054000.00-ST4.00 OPD NO. ST4.00 - 10/07/14

TYPE	FIRE RAT'G	DESCRIPTION	HEIGHT
S3		6" MTL STUD LOW FURRED WALL W/ CAP	TO UNDERSIDE OF UPPER CASEWORK

4 PARTITION TYPE S3
1" = 1'-0"

TYPE	FIRE RAT'G	DESCRIPTION
S2		6" MTL STUD LOW FURRED WALL W/ CAP - BELOW OFCI TV DISPLAY LOCATIONS

2 PARTITION TYPE S2
1" = 1'-0"

TYPE	FIRE RAT'G	DESCRIPTION
S4	NONE	4" MTL. STUD TO DECK
S6	NONE	6" MTL. STUD TO DECK

1 PARTITION TYPE S6
1" = 1'-0"

3 FURRING WALL @ EXT.BRICK WALL @ WIN.
1" = 1'-0"

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

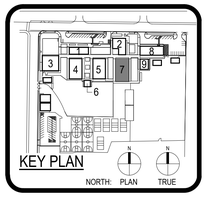
PBK

ARCHITECT PBK Architects, Inc. PBK.com
RANCHO CUCAMONGA
8163 Rochester Avenue, Suite 100
Rancho Cucamonga
California 91730
P 909-987-0909

WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS: 614 E Vine Ave, West Covina, CA 91790
DSA BACKCHECK
DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

West Covina Unified School District



Consultant

Architect
LICENSED ARCHITECT Yong Yoo No. C-31162 REN. 10-31-2024 STATE OF CALIFORNIA

CLIENT
WEST COVINA USD
DATE 05/09/2023
PROJECT NUMBER 220117

REVISIONS

No.	Description	Date

DSA BACKCHECK

WALL TYPES

A8.02

FILE PATH: Z:\Projects\...
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A9.01 - DOOR SCHEDULE AND MISCELLANEOUS DETAILS

0" 1"

DOOR SCHEDULE - BLDG 7

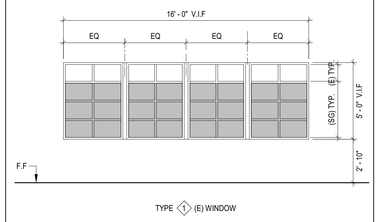
DOOR #	PANEL TYPE	DOOR SIZE WXH WIDTH	DOOR SIZE WXH HEIGHT	DOOR THICKNESS	DOOR CONSTRUCTION	DOOR FINISH	FRAME CONSTRUCTION	FRAME FINISH	DETAILS THRESHOLD	DETAILS JAMB	DETAILS HEAD	HARDWARE SET	PANIC HARDWARE	FIRE RATING	REMARKS
G103	F	3' - 6"	6' - 10"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	13/A9.01	5/A9.01	14/A9.01	001	Yes	N/A	
G104	F	3' - 6"	6' - 10"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	13/A9.01	5/A9.01	14/A9.01	004		N/A	
G105	F	3' - 6"	6' - 10"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	13/A9.01	5/A9.01	14/A9.01	001	Yes	N/A	
G106	F	3' - 6"	6' - 10"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	13/A9.01	5/A9.01	14/A9.01	004		N/A	
G107	F	3' - 0"	6' - 8"	0' - 1 3/4"	(E)	PAINT	(E)	PANT	(E)	5/A9.01	14/A9.01	002R	Yes	N/A	(E) P.H. PROTECT IN PLACE
G108	F	3' - 0"	6' - 8"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	(E)	5/A9.01	14/A9.01	003		N/A	
G109	F	3' - 0"	6' - 8"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	(E)	5/A9.01	14/A9.01	003		N/A	
G110	F	3' - 0"	6' - 8"	0' - 1 3/4"	(E)	PAINT	(E)	PANT	(E)	5/A9.01	14/A9.01	002R	Yes	N/A	(E) P.H. PROTECT IN PLACE
G111	F	3' - 6"	6' - 10"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	13/A9.01	5/A9.01	14/A9.01	004		N/A	
G112	F	3' - 6"	6' - 10"	0' - 1 3/4"	(N)	PAINT	(E)	PANT	13/A9.01	5/A9.01	14/A9.01	001	Yes	N/A	

30 NOT USED

29 NOT USED

28 NOT USED

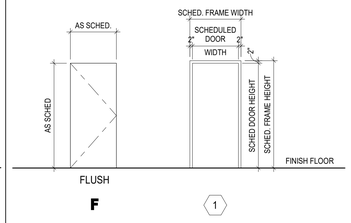
27 FINISH SCHEDULE



TYPE 1 (E) WINDOW

ABBREVIATION:

SG SPANDREL GLASS



24 NOT USED

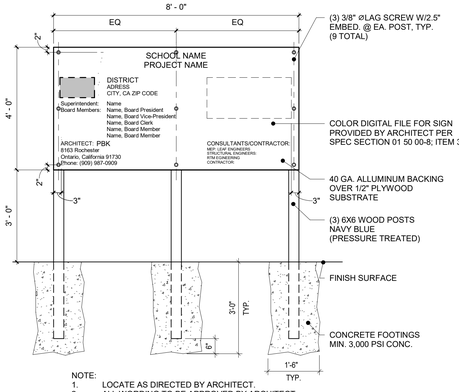
23 NOT USED

22 NOT USED

21 NOT USED

20 (E) WINDOW ELEVATION
1/4" = 1'-0"

DOOR PANEL AND (E) FRAME TYPES
1/4" = 1'-0"



(3) 3/8" ØLAG SCREW W/2.5" EMBED. @ EA. POST, TYP. (9 TOTAL)

COLOR DIGITAL FILE FOR SIGN PROVIDED BY ARCHITECT PER SPEC SECTION 01 50 00-8; ITEM 3.5

40 GA. ALLUMINUM BACKING OVER 1/2" PLYWOOD SUBSTRATE

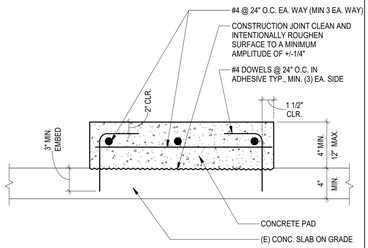
(3) 6X6 WOOD POSTS NAVY BLUE (PRESSURE TREATED)

FINISH SURFACE

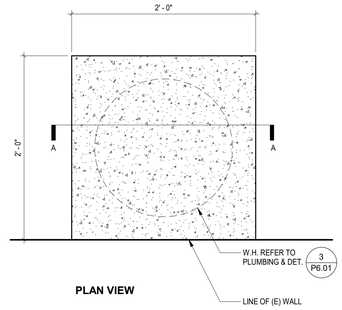
CONCRETE FOOTINGS MIN. 3,000 PSI CONC.

NOTE:
1. LOCATE AS DIRECTED BY ARCHITECT.
2. ALL WORDING TO BE APPROVED BY ARCHITECT BEFORE FABRICATION OR INSTALLATION.
3. SIGN AND POSTS TO BE REMOVED AT COMPLETION OF WORK, RESTORE LANDSCAPING

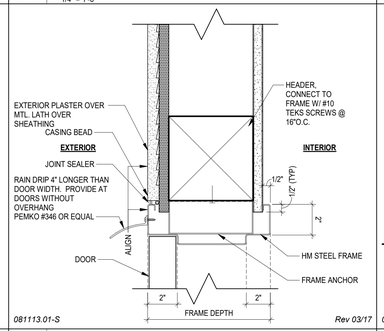
NOTES:
REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION



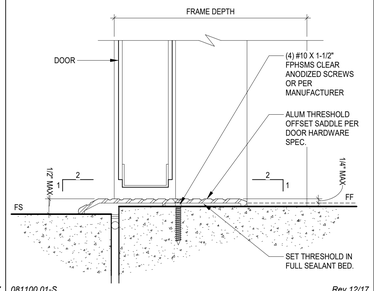
SECTION A-A



PLAN VIEW



081113.01-S Rev 03/17



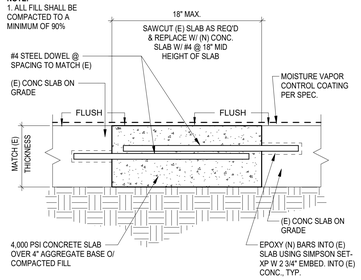
081100.01-S Rev 12/17

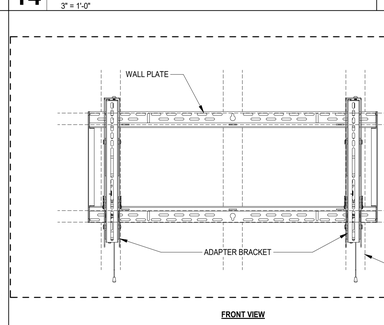
15 NOT USED

14 HM DOOR FRAME EXT HEAD
3" = 1'-0"

13 EXT SILL @ HM DOOR
6" = 1'-0"

NOTE:
1. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90%



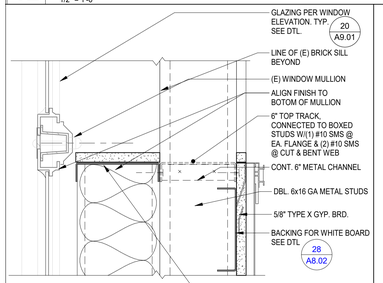


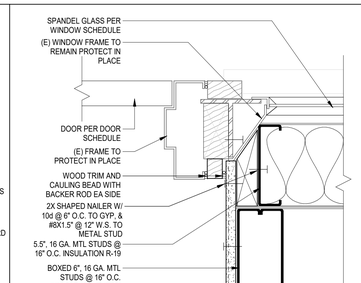
12 CONSTRUCTION SIGN
1/2" = 1'-0"

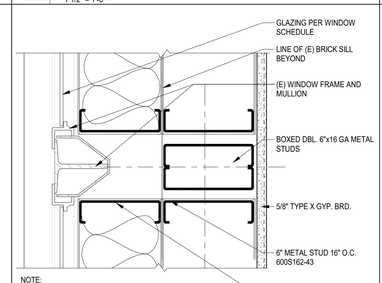
10 CONC. PAD - WATER HEATER
1 1/2" = 1'-0"

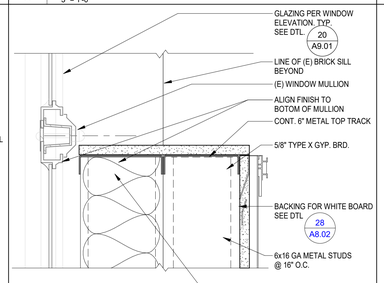
9 CONC. INFILL @ SLAB SAW CUT
3" = 1'-0"

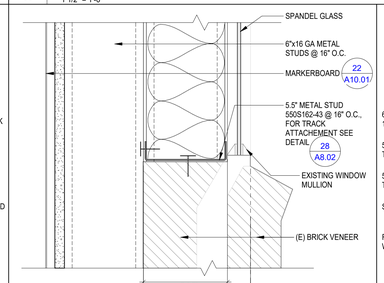
8 LCD ON FIXED WALL MOUNT
1 1/2" = 1'-0"

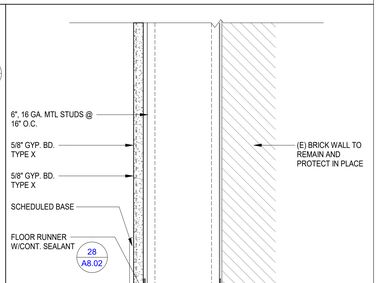












6 FURRED WALL - SECTION @ DBL. STUD
3" = 1'-0"

5 FURRING WALL @ EXT.BRICK DOOR JAMB
3" = 1'-0"

4 FURRED WALL - PLAN
3" = 1'-0"

3 FURRED WALL - SECTION
3" = 1'-0"

2 FURRING WALL @ WINDOW SILL
3" = 1'-0"

1 FURRING WALL @ EXT. BRICK WALL
3" = 1'-0"

FILE PATH: Z:\Projects\...
10/2/2023 5:17:09 PM

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

ARCHITECT PBK Architects, Inc.
PBK.com
RANCHO CUCAMONGA
8163 Rochester Avenue, Suite 100
Rancho Cucamonga
California 91730
P 909-987-0909

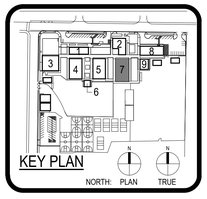
WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E Vine Ave.
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

West Covina Unified School District



Consultant

Architect

LICENSED ARCHITECT
Yong Yoo
No. C-31162
REN. 10-31-2023
STATE OF CALIFORNIA

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
05/09/2023	220117

REVISIONS

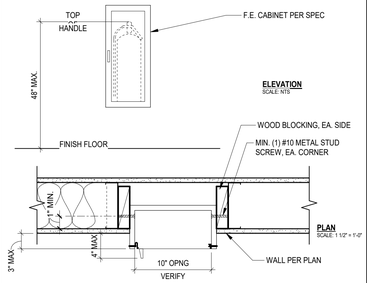
No.	Description	Date

DSA BACKCHECK

DOOR SCHEDULE AND MISCELLANEOUS DETAILS

A9.01

0" 1"



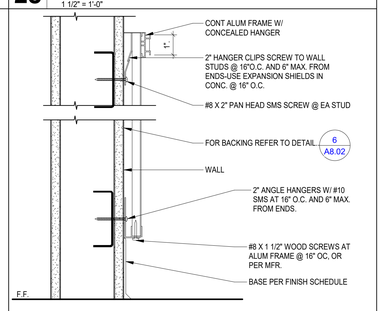
104413.01-S CBC 2019 - Rev 10/17

30 NOT USED

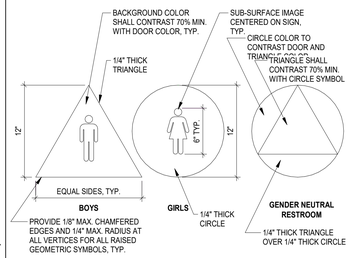
29 NOT USED

28 FIRE EXTINGUISHER CABINET

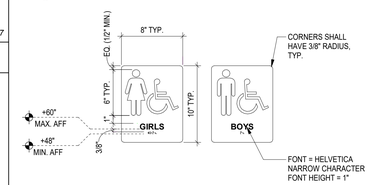
1 1/2" = 1'-0"



101116.01-S CBC 2019 - Rev 09/17



B DOOR SIGNAGE

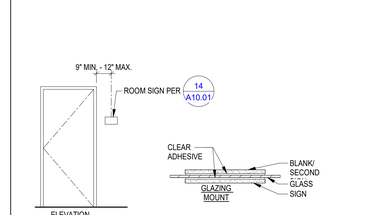


A WALL SIGNAGE

* 60" MAX A.F.F. TO THE BASE LINE OF THE HIGHEST TEXT & 48" MIN. A.F.F. TO THE BASE LINE OF THE LOWEST BRAILLE CELLS

NOTE:
FOR CHARACTER TYPE AND BRAILLE REQUIREMENTS SEE DETAILS ON THIS SHEET. 19 A10.01 13 A10.01

101400.05-S CBC 2019 - Rev 10/16



NOTES:

1. FOR CHARACTER TYPE & BRAILLE, SEE ALSO DETAIL 19 A10.01 13 A10.01
2. SIGN MATERIAL SHALL BE PAINTED, 1/8" THICK ES PLASTIC USING GRAPHIC PROCESS SAND-CARVED W/ 3/32" RAISED GRAPHIC AND LETTERS. PROVIDE MECHANICAL MOUNTING W/ COUNTERSUNK. VANDAL RESISTANT #8 FASTENERS. MOUNT ON GLAZING WITH CLEAR SILICONE ADHESIVE AND A SECOND SIGN OR BLANK ALIGNED ON THE OTHER SIDE OF GLAZING TO MASK THE ADHESIVE.
3. PROVIDE ONE SIGN WHERE INDICATED ON PLANS OR SCHEDULE.

101400.08-S CBC 2019 - Rev 09/29/16

CHARACTER REQUIREMENTS:

A. CHARACTER REQUIREMENTS FOR ALL SIGNS PER 2019 CBC 11B-703:

1. 3 CHARACTERS SHALL BE UPPERCASE.
2. CHARACTERS SHALL BE SANS SERIF. CHARTERS SHALL NOT BE ITALLIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE, OR OF OTHER UNUSUAL FORMS.
3. CHARACTER SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I".
4. SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF RAISED CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT MINIMUM AND 170 PERCENT MAXIMUM OF THE CHARACTER HEIGHT.
5. TEXT SHALL BE IN HORIZONTAL FORMAT.
6. CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH AND CONTRAST WITH ONE ANOTHER

B. RAISED CHARACTER REQUIREMENTS FOR SIGNS WITH BRAILLE PER 2019 CBC 11B-703.2:

1. RAISED CHARACTERS SHALL COMPLY WITH REQUIREMENTS NOTED IN PARAGRAPH 'A' ABOVE
2. RAISED CHARACTERS SHALL BE 1/32 INCH MIN ABOVE BACKGROUND.
3. RAISED CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH MINIMUM AND 2 INCHES MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER 'I'.
4. STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 10 PERCENT MINIMUM AND 15 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER.
5. CHARACTER SPACING BETWEEN INDIVIDUAL RAISED LETTERS SHALL BE 1/8 INCH MINIMUM AND FOUR (4) TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM.
6. ALL EDGES ON GEOMETRIC SYMBOLS SHALL BE EASED OR ROUNDED AT 1/16 INCH MINIMUM. VERTICES SHALL BE RADIUSED BETWEEN 1/8" INCH MINIMUM AND 1/4 INCH

C. VISUAL CHARACTER REQUIREMENTS FOR SIGNS WITHOUT BRAILLE PER 2019 CBC 11B-703.5:

1. VISUAL CHARACTERS SHALL COMPLY WITH REQUIREMENTS NOTED IN PARAGRAPH 'A' ABOVE
2. MINIMUM CHARACTER HEIGHT SHALL CONFORM TO 2019 CBC TABLE 11B-703.5.5 BUT IN NO CASE SHALL BE LESS THAN 5/8 INCH.
3. HEIGHT FROM FINISH FLOOR SHALL BE NO LESS THAN 40 INCHES.
4. STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 10 PERCENT MINIMUM AND 20 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER.
5. SPACING BETWEEN INDIVIDUAL CHARACTERS SHALL BE 10 PERCENT MINIMUM AND 35 PERCENT MAXIMUM OF CHARACTER HEIGHT.

CHARACTER AND STROKE WIDTH TO HEIGHT PROPORTIONS.

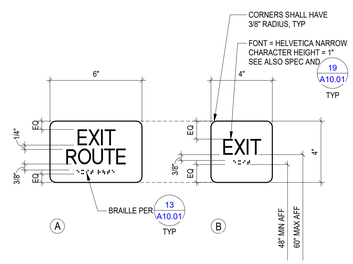
101400.10-S CBC 2019 - Rev 10/17

24 NOT USED

23 NOT USED

22 MARKERBOARD SECTION

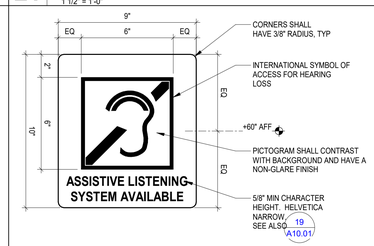
3" = 1'-0"



101400.12-S CBC 2019 - Rev 10/17

21 RESTROOM DOOR & WALL SIGNS

1 1/2" = 1'-0"

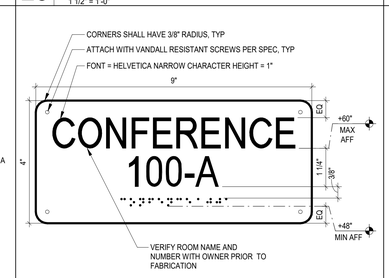


NOTES:
1. SIGN MATERIAL SHALL BE 1/4" THICK PLASTIC W/ 1/32" RAISED LETTERS
2. MOUNT W/ VANDAL RESISTANT FASTENERS

101400.13-S CBC 2019 - Rev 3/17

20 ROOM IDENTIFICATION SIGNAGE

1 1/2" = 1'-0"



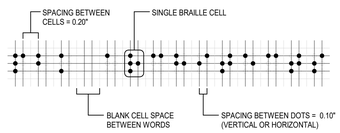
101400.11-S CBC 2019 - Rev 09/17

19 CHARACTER REQMNTS FOR SIGNAGE

1" = 1'-0"

BRAILLE REQUIREMENTS PER 2019 CBC 11B-703.3:

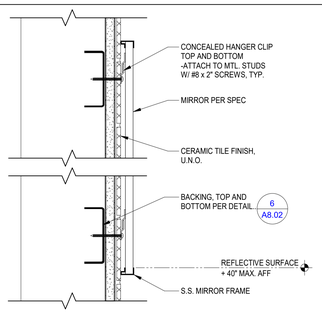
1. CONTRACTED CALIFORNIA GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED
2. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE
3. DOT BASE DIAMETER = 0.059 TO 0.063 INCHES
4. DOT HEIGHT = 0.025 TO 0.037 INCHES
5. SPACING BETWEEN DOTS AND CELLS PER BELOW...



101400.09-S CBC 2019 - Rev 04/17

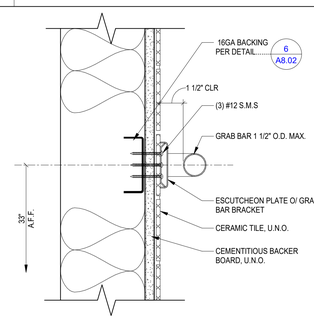
18 NOT USED

17 NOT USED



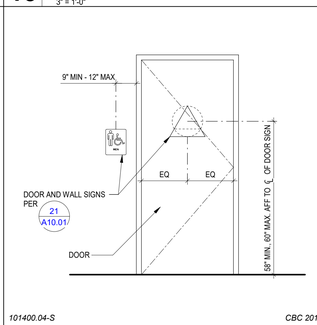
12 TOILET ROOM MIRROR MOUNTING

3" = 1'-0"



11 GRAB BAR MOUNT

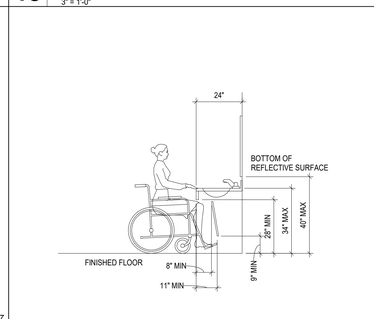
3" = 1'-0"



101400.04-S CBC 2019 - Rev 10/17

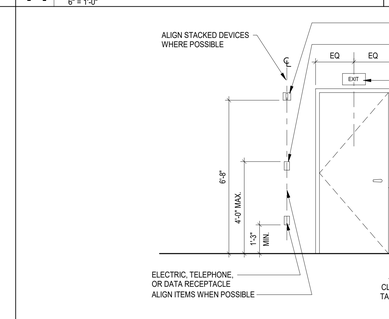
10 RESTROOM SIGNAGE

1/2" = 1'-0"



9 ACCESSIBLE VANITY

3/8" = 1'-0"



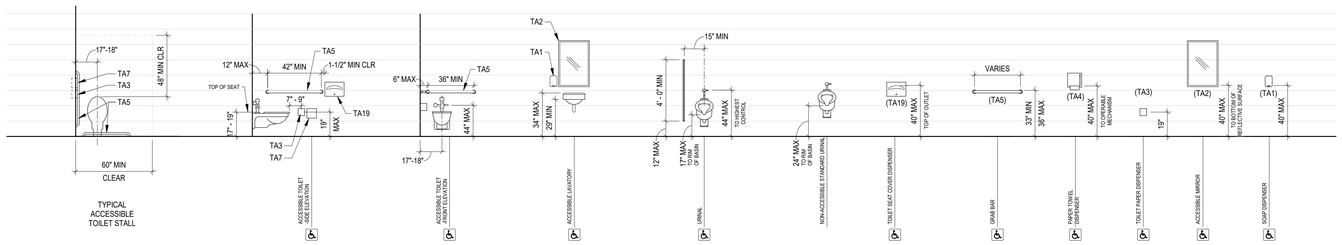
8 MISC. MOUNTING HEIGHTS

3/8" = 1'-0"

6 NOT USED

5 ADA STANDARDS - GRADES 9-12 AND ADULT

1/4" = 1'-0"



LABEL	DESCRIPTION	REMARKS
TA1	SOAP DISPENSER	
(E)TA2	MIRROR (24"x36" U.N.O.)	NOTE 5
TA3	TOILET PAPER DISPENSER	
TA4	PAPER TOWEL DISPENSER	
(E)TA5	GRAB BARS AT TYPICAL ACCESSIBLE TOILET STALLS	
TA7	SANITARY NAPKIN DISPOSAL	
TA17	TRASH RECEPTACLE	
(E)TA19	TOILET SEAT COVER DISPENSER	

NOTES:

1. ALL TOILET ACCESSORIES SHALL BE CONTRACTOR FURNISHED AND INSTALLED UNLESS NOTED OTHERWISE
2. COORDINATE FINAL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
3. CONTRACTOR IS TO VERIFY ALL HEIGHTS OF ACCESSORIES TO COMPLY WITH ADA.
4. REFER TO ALL FINISHES AND COLORS IN FINISH SCHEDULE.VERIFY ALL PATTERNS WITH ARCHITECT.
5. ALIGN MIRROR ON CENTER OF LAVATORY U.N.O.

1 TOILET ACCESSORIES TYPES

1/2" = 1'-0"

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IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

ARCHITECT PBK Architects, Inc.
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RANCHO CUCAMONGA
8163 Rochester Avenue, Suite 100
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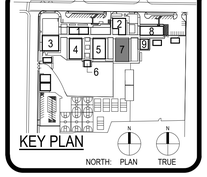
WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS:
614 E.Vine Ave.
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



Consultant

Architect

LICENSED ARCHITECT Yong Yoo No. C-31162 REN. 10-31-2023 STATE OF CALIFORNIA

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
05/09/2023	220117

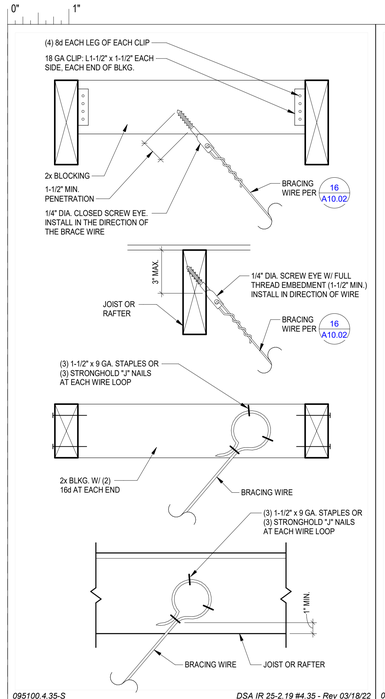
REVISIONS

No.	Description	Date

DSA BACKCHECK

ACCESSIBILITY DETAILS

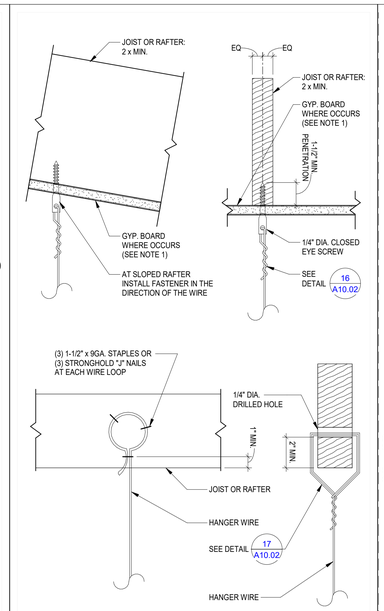
A10.01



095100.4.35-S DSA IR 25-2.19 #4.35 - Rev 03/18/22

24 BRACING WIRE TO WOOD

3" = 1'-0"



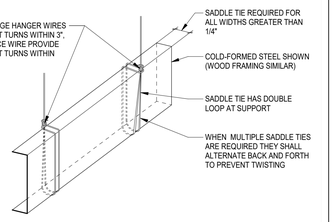
NOTES:

1. WHEN FIRE RATED GYP. BOARD IS INSTALLED ON THE BOTTOM FLANGES, USE SCREW EYES W/ SUFFICIENT LENGTH TO AVOID DAMAGING THE FIRE RATED GYP. BOARD AND MEET MIN. PENETRATION.

095100.4.25-S DSA IR 25-2.19 #4.25 - Rev 03/18/22

23 HANGER WIRE TO WOOD

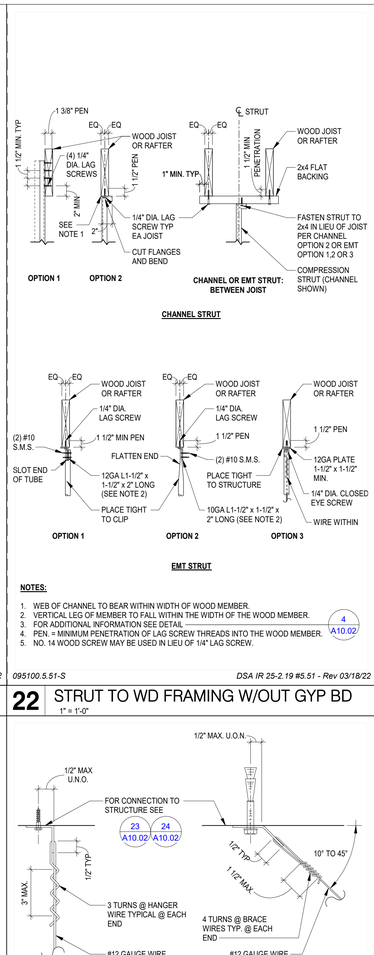
3" = 1'-0"



095100.4.29-S DSA IR 25-2.19 #4.29 - Rev 03/18/22

22 STRUT TO WD FRAMING W/OUT GYP BD

1" = 1'-0"



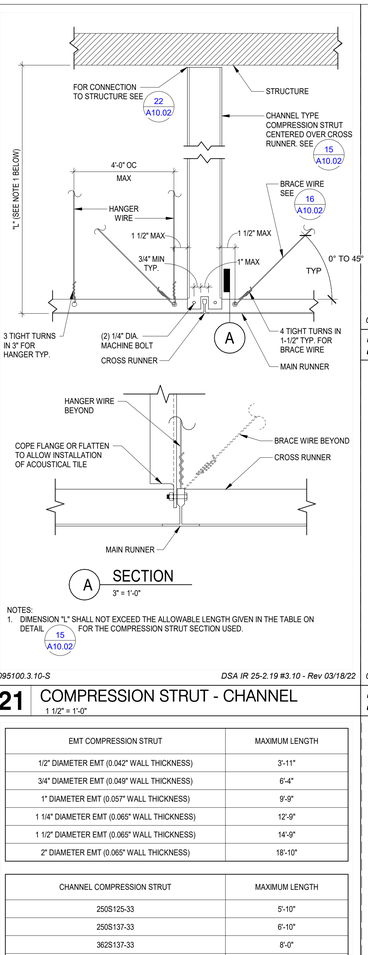
NOTES:

1. WEB OF CHANNEL TO BEAR WITHIN WIDTH OF WOOD MEMBER.
2. VERTICAL LEG OF MEMBER TO FALL WITHIN THE WIDTH OF THE WOOD MEMBER.
3. FOR ADDITIONAL INFORMATION SEE DETAIL 4 A10.02
4. PEN. = MINIMUM PENETRATION OF LAG SCREW THREADS INTO THE WOOD MEMBER.
5. NO. 14 WOOD SCREW MAY BE USED IN LIEU OF 1/4" LAG SCREW.

095100.5.51-S DSA IR 25-2.19 #5.51 - Rev 03/18/22

21 COMPRESSION STRUT - CHANNEL

1 1/2" = 1'-0"



NOTES:

1. DIMENSION "L" SHALL NOT EXCEED THE ALLOWABLE LENGTH GIVEN IN THE TABLE ON DETAIL 15 A10.02 FOR THE COMPRESSION STRUT SECTION USED.

095100.3.10-S DSA IR 25-2.19 #3.10 - Rev 03/18/22

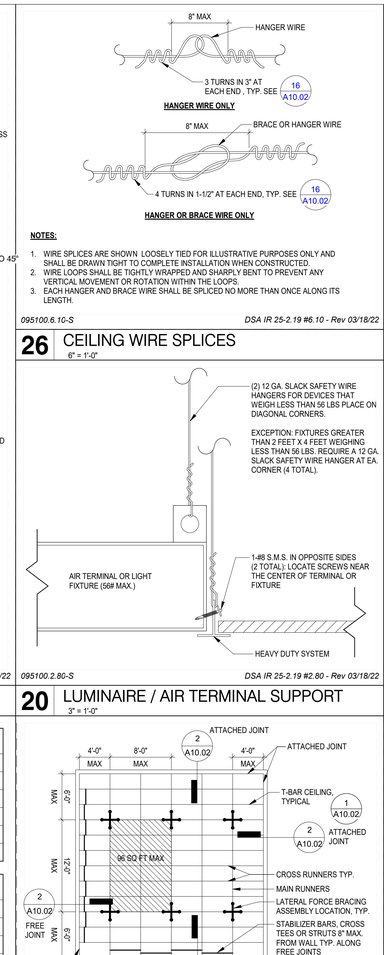
EMT COMPRESSION STRUT	MAXIMUM LENGTH
1/2" DIAMETER EMT (0.042" WALL THICKNESS)	3'-11"
3/4" DIAMETER EMT (0.049" WALL THICKNESS)	6'-4"
1" DIAMETER EMT (0.057" WALL THICKNESS)	9'-9"
1 1/4" DIAMETER EMT (0.065" WALL THICKNESS)	12'-9"
1 1/2" DIAMETER EMT (0.065" WALL THICKNESS)	14'-9"
2" DIAMETER EMT (0.065" WALL THICKNESS)	18'-10"

CHANNEL COMPRESSION STRUT	MAXIMUM LENGTH
250S125-33	5'-10"
250S137-33	6'-10"
362S137-33	8'-0"
250137-43	8'-10"
400S137-43	10'-10"

095100.3.21-S DSA IR 25-2.19 #3.21 - Rev 03/18/22

20 LUMINAIRE / AIR TERMINAL SUPPORT

3" = 1'-0"



NOTES:

1. WIRE SPLICES ARE SHOWN LOOSELY TIED FOR ILLUSTRATIVE PURPOSES ONLY AND SHALL BE DRAWN TIGHT TO COMPLETE INSTALLATION WHEN CONSTRUCTED.
2. WIRE LOOPS SHALL BE TIGHTLY WRAPPED AND SHARPLY BENT TO PREVENT ANY VERTICAL MOVEMENT OR ROTATION WITHIN THE LOOPS.
3. EACH HANGER AND BRACE WIRE SHALL BE SPLICED NO MORE THAN ONCE ALONG ITS LENGTH.

095100.6.10-S DSA IR 25-2.19 #6.10 - Rev 03/18/22

26 CEILING WIRE SPLICES

6" = 1'-0"

095100.2.80-S DSA IR 25-2.19 #2.80 - Rev 03/18/22

19 NOT USED

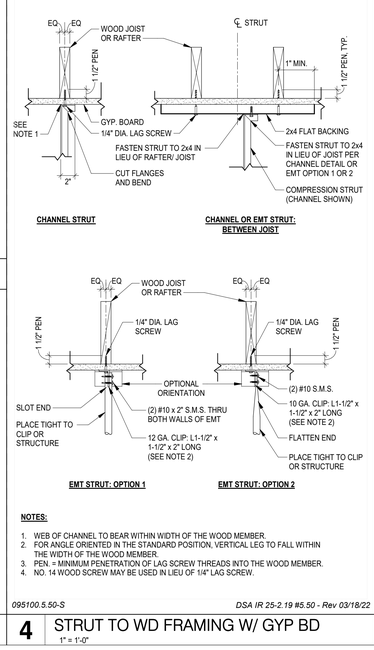
18 NOT USED

17 TYP SADDLE TIE DETAIL

1 1/2" = 1'-0"

16 HANGER AND BRACING WIRE TYP CXN

3" = 1'-0"



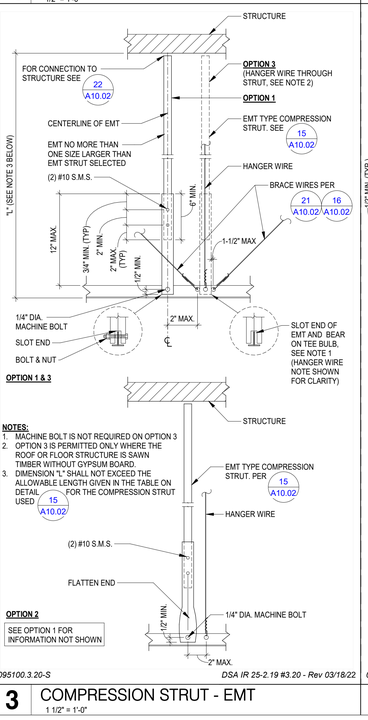
NOTES:

1. WEB OF CHANNEL TO BEAR WITHIN WIDTH OF THE WOOD MEMBER.
2. FOR ANGLE ORIENTED IN THE STANDARD POSITION, VERTICAL LEG TO FALL WITHIN THE WIDTH OF THE WOOD MEMBER.
3. PEN. = MINIMUM PENETRATION OF LAG SCREW THREADS INTO THE WOOD MEMBER.
4. NO. 14 WOOD SCREW MAY BE USED IN LIEU OF 1/4" LAG SCREW.

095100.5.50-S DSA IR 25-2.19 #5.50 - Rev 03/18/22

15 COMPRESSION STRUT TABLE

1/2" = 1'-0"



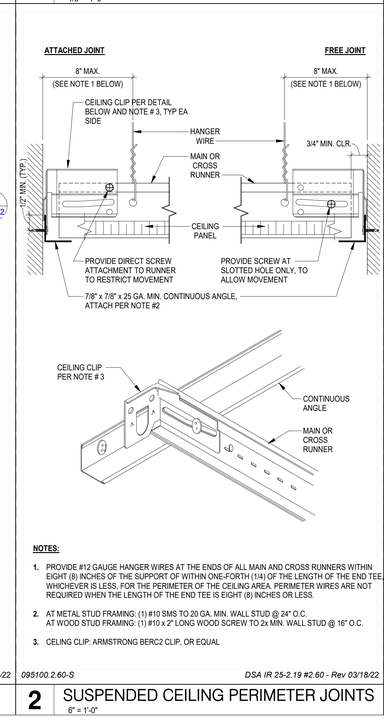
NOTES:

1. MACHINE BOLT IS NOT REQUIRED ON OPTION 3
2. OPTION 3 IS PERMITTED ONLY WHERE THE ROOF OR FLOOR STRUCTURE IS SAWN TIMBER WITHOUT GYPSUM BOARD.
3. DIMENSION "L" SHALL NOT EXCEED THE ALLOWABLE LENGTH GIVEN IN THE TABLE ON DETAIL 15 A10.02 FOR THE COMPRESSION STRUT USED

095100.3.20-S DSA IR 25-2.19 #3.20 - Rev 03/18/22

14 TYP CEILING PLAN

1/8" = 1'-0"



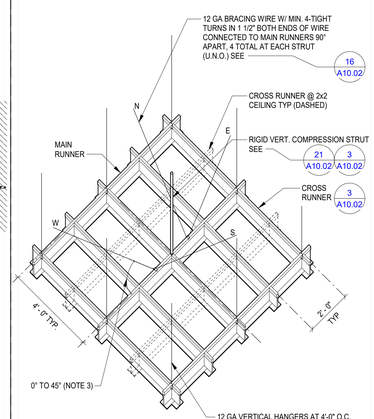
NOTES:

1. PROVIDE #12 GAUGE HANGER WIRES AT THE ENDS OF ALL MAIN AND CROSS RUNNERS WITHIN EIGHT (8) INCHES OF THE SUPPORT OF WITHIN ONE-FORTH (1/4) OF THE LENGTH OF THE END TEE. WHICHEVER IS LESS, FOR THE PERIMETER OF THE CEILING AREA. PERIMETER WIRES ARE NOT REQUIRED WHEN THE LENGTH OF THE END TEE IS EIGHT (8) INCHES OR LESS.
2. AT METAL STUD FRAMING: (1) #10 SMS TO 20 GA. MIN. WALL STUD @ 24" O.C. AT WOOD STUD FRAMING: (1) #10 x 2" LONG WOOD SCREW TO 2x MIN. WALL STUD @ 16" O.C.
3. CELING CLIP: ARMSTRONG BERC2 CLIP, OR EQUAL

095100.2.60-S DSA IR 25-2.19 #2.60 - Rev 03/18/22

13 SUSPENDED CEILING NOTES

1/2" = 1'-0"



NOTES:

1. SUSPENDED CEILING SHALL COMPLY WITH DSA IR 25-2 19
2. STRUTS SHALL NOT REPLACE HANGER WIRES
3. THE MINIMUM ACCEPTABLE ANGLE IS DETERMINED SUCH THAT THE WIRES DO NOT INTERFERE WITH THE RUNNERS, LIGHT FIXTURES, ETC. AND REMAIN STRAIGHT AND UNOBSTRUCTED. 13 A10.02
4. FOR TYPICAL SUSPENDED CEILING NOTES, SEE
5. FOR TYPICAL CEILING PLAN & COMPRESSION STRUT LAYOUT, SEE -
6. FOR HANGER AND/OR BRACING WIRE SPLICING, SEE 26 A10.02

095100.2.35-S DSA IR 25-2.19 #2.35 - Rev 03/18/22

12 NOT USED

11 NOT USED

10 NOT USED

9 NOT USED

8 NOT USED

7 NOT USED

6 NOT USED

5 NOT USED

4 STRUT TO WD FRAMING W/ GYP BD

1" = 1'-0"

3 COMPRESSION STRUT - EMT

1 1/2" = 1'-0"

2 SUSPENDED CEILING PERIMETER JOINTS

6" = 1'-0"

1 SUSPENDED CEILING SYSTEM

3/8" = 1'-0"

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IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

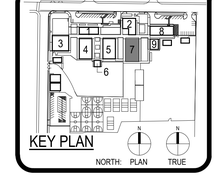
PBK

ARCHITECT PBK Architects, Inc.
RANCHO CUCAMONGA PBK.com
8163 Rochester Avenue, Suite 100
Rancho Cucamonga
California 91730
P 909-987-0909

WALNUT GROVE I.S - SCIENCE CLASSROOM MODERNIZATION

PROJECT ADDRESS: 614 E Vine Ave, West Covina, CA 91790
DSA BACKCHECK
DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



Consultant

Architect

LICENSED ARCHITECT Yong Yoo No. C-31162 REN. 10-31-2023 STATE OF CALIFORNIA

CLIENT
WEST COVINA USD
DATE 05/09/2023
PROJECT NUMBER 220117

REVISIONS

No.	Description	Date

DSA BACKCHECK

CEILING DETAILS

A10.02

0" 1"

TITLE 24 NOTES

THE FOLLOWING SHALL BE REQUIRED WHETHER OR NOT SPECIFICALLY SHOWN OR MENTIONED IN DRAWINGS AND/OR SPECIFICATIONS:

1. EQUIPMENT SHALL MEET EFFICIENTY REQUIREMENTS OF TABLES 110.2-A THROUGH 110.2-K.
2. ALL AIR-COOLED, UNITARY, DX UNITS (PACKAGED, SPLIT-SYSTEM, HEAT PUMPS AND VRF) WITH ECONOMIZERS SHALL BE EQUIPPED WITH FAULT DETECTION AND DIAGNOSTICS SYSTEMS.
3. PIPE INSULATION FOR SPACE CONDITIONING AND SERVICE WATER-HEATING WITH FLUID TEMPERATURES LISTED IN TABLE 120.3-A SHALL HAVE INSULATION LEVELS AS SPECIFIED IN SUBSECTION (A) AND (B).
4. MECHANICAL HEATING AND COOLING EQUIPMENT SHALL BE THE SMALLEST SIZE, WITHIN THE AVAILABLE OPTIONS OF THE DESIRED EQUIPMENT LINE, NECESSARY TO MEET THE DESIGN HEATING AND COOLING LOADS OF THE BUILDING, AS CALCULATED ACCORDING TO THE REQUIREMENTS OF SECTION 140.4(B).
5. HVAC MOTORS FOR FANS THAT ARE LESS THAN 1 HP AND 1/12 HP OR GREATER SHALL BE ECM OR HAVE A MINIMUM MOTOR EFFICIENCY OF 70%. MOTORS SHALL ALSO HAVE MEANS TO ADJUST MOTOR SPEED FOR BALANCING OR REMOTE CONTROL.
6. ELECTRIC RESISTANCE HEATING SYSTEMS ARE NOT PROVIDED FOR SPACE HEATING.
7. IN DRIER CLIMATES AND WHEN LARGE OUTDOOR AIR FRACTIONS ARE REQUIRED, EVAPORATIVE PRE-COOLING PACKAGES WERE EVALUATED TO PRE-COOL OUTSIDE AIR AND COOL THE AIR FLOWING OVER THE DX CONDENSING UNIT.
8. ZONE EACH AIR HANDLER TO SERVE ONLY AREAS WITH COMMON LOADS TO ALLOW MORE AGGRESSIVE CONTROL STRATEGIES AND IMPROVE COMFORT. HAVE DIFFERENT AHU'S SERVING CORE VS. PERIMETER AREAS.
9. THE DESIGN ACCOMMODATES PARTIAL OCCUPANCY ENERGY SAVINGS WHEN THE OWNER'S REQUIREMENTS OR NARRATIVE DESCRIBE ANY POSSIBLITY OF PARTIAL OCCUPANCY, BY ZONING AIR HANDLERS BY FLOOR OR BY PART OF A FLOOR, OR BY INCORPORATING CONTROLLED FLOOR DAMPERS, OR VAV AIR TERMINALS GOING TOTALLY SHUT WHEN NOT OCCUPIED, ETC.
10. EACH ZONE IS CONTROLLED BY AN INDIVIDUAL THERMOSTATIC CONTROL. CONTROLS SHALL BE CAPABLE OF SETTING TEMPERATURES TO 55 DEG F FOR HEATING AND 85 DEG F FOR COOLING AND PROVIDE A TEMPERATURE DEADBAND OF AT LEAST 5 DEG F IF CONTROLLING BOTH HEATING AND COOLING.
11. EACH SPACE CONDITIONING SYSTEM SHALL BE EQUIPPED WITH CONTROLS TO SHUT THE SYSTEM OFF DURING PERIODS OF NONUSE AND WILL TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN SETBACK AND SETUP TEMPERATURES WHILE KEEPING VENTILATION DAMPERS CLOSED.
12. SYSTEMS SERVING MULTIPURPOSE ROOMS LESS THAN 100 SF AND CLASSROOMS, CONFERENCE, AUDITORIUM OR MEETING CENTER ROOMS GREATER THAN 750 SF SHALL HAVE OCCUPANCY SENSORS THAT INTERFACE WITH HVAC CONTROLS TO AUTOMATICALLY SETUP THE COOLING SETPOINT BY 2F OR MORE AND AUTOMATICALLY RESET THE MINIMUM REQUIRED VENTILATION RATE. THESE OCCUPANT SENSOR VENTILATION CONTROL DEVICES MUST MEET THE REQUIREMENTS OF SECTION 120.1(C)5.
13. OUTDOOR AIR SUPPLY AND EXHAUST EQUIPMENT SHALL BE INSTALLED WITH DAMPERS THAT AUTOMATICALLY CLOSE UPON EF FAN SHUTDOWN.
14. HVAC SYSTEMS WITH DDC TO THE ZONE LEVEL SHALL BE PROGRAMMED TO ALLOW CENTRALIZED DEMAND SHED FOR NON-CRITICAL ZONES.
15. ZONE CONTROLS PREVENT REHEATING, RECOOLING AND SIMULTANEOUS PROVISIONS OF HEATING AND COOLING TO THE SAME ZONE.
16. EACH WALL MOUNTED THRMOSTAT SHALL BE LOCATED AWAY FROM POTENTIAL SOURCES THAT WOULD ADVERSELY AFFECT THE READING (CLOSE TO COPIERS, DIRECT SUNLIGHT, BELOW OR ABOVE A SUPPLY AIR DIFFUSER OR CONVECTOR, ETC.). ANY THERMOSTATS MOUNTED ON EXTERIOR WALLS SHALL BE INSTALLED IN SEALED AND INSULATED JUNCTION BOXES.
17. CORNER OFFICE SHALL ALWAYS HAVE THEIR OWN THERMOSTATS, AIR TERMINAL BOXES OR FIN-TUBE RADIATORS.
18. CONTROL SEQUENCES SHALL BE LISTED FOR EQUIPMENT OPERATED BY STAND-ALONE PACKAGED CONTROLS. UNOCCUPIED SEQUENCES SHALL BE INCLUDED.
19. CONTROL SEQUENCES SHALL BE PROVIDED FOR EACH PIECE OF EQUIPMENT LISTED IN THE EQUIPMENT SCHEDULE THAT IS MONITORED OR CONTROLLED BY THE BUILDING AUTOMATION SYSTEM (BAS). UNOCCUPIED SEQUENCES SHALL BE INCLUDED.
20. OUTSIDE AIR TEMPERATURE SENSORS SHALL BE IN A COMMERCIALLY DESIGNED SOLAR SHIELD LOCATED ON A NORTH WALL OR SOME OTHER LOCATION OUT OF DIRECT SUNLIGHT AND AWAY FROM BUILDING EXHAUST OR HEAT REJECTION EQUIPMENT.
21. THE OUTDOOR AIR-VENTILATION RATE AND AIR-DISTRIBUTION ASSUMPTIONS MADE IN THE DESIGN OF THE VENTILATING SYSTEM ARE CLEARLY IDENTIFIED ON THE PLANS.
22. EACH SPACE IS DESIGNED TO HAVE NATURAL VENTILATION OR MECHANICAL VENTILATION THAT IS NO LESS THAN THE LARGER OF CONDITIONED FLOOR AREA TIMES THE REQUIREMENTS IN TABLE 120.1-A OR 15 CFM TIMES THE EXPECTED NUMBER OF OCCUPANTS.
23. THE MINIMUM AND MAXIMUM OUTDOOR AIR RATES FOR EACH AIR HANDLER ARE LISTED ON THE EQUIPMENT SCHEDULES.
24. THE OUTDOOR AIR-VENTILATION RATES ARE BASED ON PLANNED OWNER OCCUPANCY AS DEFINED IN OWNER'S DESIGN INTENT AND ARE NOT BASED ON MAXIMUM EGRESS OCCUPANCY RATES.
25. HVAC SYSTEMS THAT HAVE AN ECONOMIZER, SERVE A SPACE WITH A DESIGN OCCUPANT DENSITY GREATER THAN OR EQUAL TO 25 PEOPLE PER 1000 SF, AND ARE EITHER A SINGLE ZONE SYSTEM WITH ANY CONTROLS OR MULTIPLE ZONE SYSTEM WITH DDC CONTROLS TO THE ZONE LEVEL MUST HAVE DEMAND CONTROL VENTILATION CONTROLS. THE FOLLOWING MUST BE MET:
   A. CO2 SENSORS INSTALLED IN EACH ROOM SERVED BY SYSTEMS WITH DCV CONTROLS.
   B. CO2 SENSORS ARE LOCATED BETWEEN 3 FT AND 6 FT ABOVE THE FLOOR.
   C. CO2 CONCENTRATIONS MAINTAINED AT LESS THAN OR EQUAL TO 600 PPM PLUS OUTDOOR PPM.
   D. DURING HOURS OF EXPECTED OCCUPANCY, CONTROLS MAINTAIN THE SYSTEM VENTILATION RATE.
26. EACH COOLING FAN SYSTEM THAT HAS A DESIGN MECHANICAL COOLING CAPACITY OVER 54,000 BTU/H SHALL HAVE AN AIR ECONOMIZER OR A WATER ECONOMIZER. AIR ECONOMIZERS MUST COMPLY WITH THE HIGH LIMIT SHUTOFF CONTROLS SHOWN IN TABLE 140.4-B.
27. INTEGRATED ECONOMIZER CONTROLS SHALL BE SET UP SUCH THAT PARTIAL COOLING IS PROVIDED BY THE ECONOMIZER EVEN WHEN ADDITIONAL MECHANICAL COOLING ID REQUIRED.
28. ECONOMIZER DAMPERS SHALL BE DRIVEN BY DIRECT DRIVE ACTUATORS RATHER THAN ROD LINKAGES, WHICH CAN BE A MAJOR CAUSE OF ECONOMIZER MALFUNCTION.
29. BAROMETRIC RELIEF IS USED, IF POSSIBLE. IF NOT, RELIEF FANS (RATHER THAN RETURN FANS) SHALL BE USED IN MOST CASES.
30. OUTDOOR AND RETURN AIR SENSORS SHALL BE PROPERLY SELECTED, PROPERLY LOCATED TO PROVIDE ACCURATE AND REPEATABLE MEASUREMENTS FOR CONTROLLING ECONOMIZER OPERATION. AVERAGING SENSORS COVER THE ENTIRE DUCT OR COIL FACE AREAS.
31. ALL AIR DISTRIBUTION SYSTEM DUCTS AND PLENUMS MUST BE INSTALLED, SEALED AND INSULATED AS REQUIRED BY 120.4(A).
32. DUCT SEALING LEAKAGE RATES SHALL BE NO MORE THAN 6% OF AIR FLOW FOR NEW DUCT SYSTEMS AND NO MORE THAN 15% OF AIR FLOW FOR ALTERED EXISTING DUCT SYSTEMS.
33. DUCT SHALL UTILIZE LOW STATIC PRESSURE DESIGN. IDENTIFY THE MOST RESTRICTIVE BRANCH FROM THE FAN TO THE LAST AIR TERMINAL UNIT. IDENTIFY POSSIBLE MEANS OF SIGNIFICANTLY REDUCING THE PRESSURE DROP. BRANCH DUCT SYSTEMS SHALL DESIGNED FOR EQUAL PRESSURE DROP, WHEN POSSIBLE.
34. DUCT BRANCHES WITH SIGNIFICANTLY DIFFERING STATIC PRESSURE REQUIREMENTS SHALL HAVE VOLUME CONTROL STRATEGICALLY PLACED TO AID IN TAB WORK.
35. FAN SHALL DISCHARGE INTO DUCT SECTIONS THAT REMAIN STRAIGHT FOR AS LONG AS POSSIBLE (IDEALLY 10 DUCT DIAMETERS) TO REDUCE FAN INEFFICIENCIES FROM SYSTEM EFFECTS.
36. DUCT VELOCITIES SHALL GENERALLY BE BELOW 2,000 FPM FOR DUCTS IN CEILING PLENUMS, 1500 FPM FOR EXPOSED DUCTS AND 3500 FPM IN MECHANICAL ROOMS AND NON-NOISE SENSITIVE SHAFTS AND DO NOT REDUCE ANY DUCT SIZES LISTED ON PLANS.
37. DUCT FRICTION RATES SHALL GENERALLY BE LESS THAN O.25" WC PER 100 LINEAL FEET NEARER THE FAN, 0.15 TO 0.20" IN THE MAIN DUCTS AND 0.08 TO 0.12" WC/100' NEARER THE END OF THE SYSTEM. DESIGNS OVER THESE RATES SHALL BE QUESTIONED. VERY ENERGY EFFICIENT DESIGN CAN LOWER THESE VALUES BY UP TO 40%.
38. CONTRACTOR SHOP DRAWINGS SHALL BE SUFFICIENTLY DETAILED TO ENSURE THAT DISTRIBUTION SYSTEM DESIGN INTENT IS ADEQUATELY CONVEYED TO MATCH PLANS. IF SUFFICIENT DETAIL IS NOT INCLUDED IN DRAWINGS, INSTALLATIONS MAY RESULT IN SIGNIFICANTLY HIGHER PRESSURE DROPS AND HENCE HIGHER ENERGY CONSUMPTION AND OTHER OPERATING ISSUES.
39. ACCEPTANCE REQUIREMENTS ARE CLEARLY IDENTIFIED IN CONSTRUCTION DOCUMENTS.
40. COMMISSIONING MEASURES OR REQUIREMENTS ARE REFLECTED IN THE CONSTRUCTION DOCUMENTS.
41. REQUIREMENTS FOR FUNCTIONAL PERFORMANCE TESTS ARE REFLECTED IN THE CONSTRUCTION DOCUMENTS.
42. COOLING SYSTEMS IDENTIFIED IN TABLE 140.4-D SHALL HAVE FAN CONTROLS TO VARY THE INDOOR FAN AIRFLOW AS A FUNCTION OF LOAD:
   A. DX AND CHILLED WATER COOLING SYSTEMS THAT CONTROL CAPACITY BASED ON OCCUPIED SPACE TEMPERATURE SHALL HAVE A MINIMUM OF 2 STAGES OF CONTROL.
   B. SYSTEMS THAT CONTROL SPACE TEMPERATURE BY MODULATING AIRFLOW TO THE SPACE SHALL HAVE PROPORTIONAL FAN CONTROL.
   C. SYSTEMS WITH AIR SIDE ECONOMIZER SHALL HAVE A MINIMUM OF 2 SPEEDS OF FAN CONTROL DURING ECONOMIZER OPERATION.
43. FAN CABINET ENCLOSURE AND INTERNAL COMPONENTS SHALL BE ELECTED TO MINIMIZE PRESSURE DROP, E.G. FACE VELOCITY IS LESS THAN 500 FPM, LOW PRESSURE DROP COILS, FILTERS, ETC.
44. FAN WHEEL SHALL BE SELECTED FOR EFFICIENT OPERATION, E.G. LARGER DIAMETER ROTATING AT LOWER SPEED.
45. SYSTEMS THAT SERVE MULTIPLE ZONES SHALL HAVE CONTROLS THAT AUTOMATICALLY RESET SUPPLY AIR TEMPERATURE. ZONES WITH HIGH INTERNAL LOADS WITH NEAR CONSTANT AIRFLOW SHALL BE DESIGNED FOR THE ELEVATED RESET SUPPLY AIR TEMPERATURE. RESET CONTROLS SHALL BE IN RESPONSE TO BUILDING LOADS OR TO OUTDOOR AIT TEMPERATURE AND SHALL BE AT LEAST 25% OF THE DIFFERENCE BETWEEN SUPPLY AIR AND DESIGN ROOM AIR TEMPERATURE. CONTROL SEQUENCES ARE IDENTIFIED IN CONSTRUCTION DOCUMENTS.
46. SAT RESET SHALL BE ESTABLISHED WITH AN AGGRESSIVE RESET SCHEDULE OF 10F, E.G. 55F DURING WARM WEATHER AND 65F DURING COOL WEATHER.

GENERAL NOTES

1. ALL WORK SHALL IN COMFORMANCE WITH TITLE 24, 2022 CALIFORNIA CODE OF REGULATIONS (CCR), 2022 CALIFORNIA BUILDING CODE, PART 2, TITLE 24 CCR, CALIFORNIA MECHANICAL CODE, PART 4, TITLE 24 CCR, ALL OTHER APPLICABLE CODE AND REGULATIONS, SMACNA AND ASHRAE GUIDELINES, AND LOCAL CODES.
2. ALL HVAC EQUIPMENT SHALL BE COMPLIANT WITH EFFICIENCY STANDARDS PER TITLE-24, PART 6.
3. ALL FRESH AIR INTAKES SHALL BE AT LEAST 10 FEET IN A HORIZONTAL DIRECTION FROM ALL EXHAUST, FLUE, FUEL BURNING APPLIANCE AND PLUMBING VENT OUTLETS. FOR GAS/ELECTRIC AIR CONDITIONING UNITS WHERE THE CODE REQUIRED CLEARANCES ARE NOT MET, A FACTORY FLUE GAS DEFLECTOR AND EXTENSION SHALL BE USED TO MINIMIZE THESE CLEARANCES. CONTRACTOR SHALL DETERMINE LOCATIONS WHERE REQUIRED PRIOR TO BID. THIS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
4. AIR FILTERS SHALL BE STATE FIRE MARSHAL APPROVED AND LISTED. PREFORMED FILTERS HAVING COMBUSTIBLE FRAMING SHALL BE TESTED AS A COMPLETE ASSEMBLY. AIR FILTERS IN ALL OCCUPANCIES SHALL BE PER TITLE-24 PART 6 AND APPLICABLE ASHRAE REQUIREMENTS. FILTERS SHALL BE ACCESSIBLE
5. REVIEW THESE PLANS AND SPECIFICATIONS PRIOR TO BID. REVIEW PLANS AND SPECIFICATIONS OF OTHER RELATED TRADES INCLUDING ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND FIRE PROTECTION.
6. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AS THESE ARE PART OF THE CONTRACT DOCUMENTS. WHERE A CONFLICT OCCURS BETWEEN THIS SPECIFICATION AND OTHER SPECIFICATIONS ISSUED AS A PART OF THE CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENT SUPERCEDES.
7. THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND NOT INTENDED TO INDICATE ALL REQUIRED OFFSETS, BENDS, ELBOWS, TRANSITIONS, FITTINGS AS REQUIRED TO CONFORM TO THE BUILDING STRUCTURE, CLEARANCE INSIDE CEILINGS, AVOIDANCE OF OBSTRUCTIONS, AND MAINTAINING HEAD CLEARANCE.
8. COORDINATE INSTALLATION WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF EQUIPMENT OR MATERIALS, INCLUDING BUT NOT LIMITED TO, STRUCTURAL, ARCHITECTURAL, ELECTRICAL, AND PLUMBING.
9. COORDINATE THE LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS, AND GRILLES WITH THE ARCHITECTURAL REFLECTIVE CEILING PLANS, ELECTRICAL LIGHTING LAYOUT, AND ARCHITECTURAL ROOM ELEVATIONS. THE ARCHITECT AND ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY CONFLICTS PRIOR TO FABRICATION AND INSTALLATION.
10. COORDINATE THE LOCATION OF ALL ROOF OPENINGS AND THE LOCATIONS OF ALL ROOF MOUNTED EQUIPMENT WITH THE STRUCTURAL AND ARCHITECTURAL WEIGHTS FOR PLATFORM AND CURB SIZES, FOR ROOF AND WALL PENETRATION DETAILS AND REQUIREMENTS, SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS. REQUIRED PLATFORMS AND FLASHINGS FOR MECHANICAL EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS, UNLESS NOTED OTHERWISE.
11. HIRE A TEST AND BALANCE AGENCY TO PERFORM THE TESTING PROCEDURES, REQUIRED BY THE MECH-2A THROUGH MECH-11A CERTIFICATE OF ACCEPTANCE FORMS, AS APPLICABLE FOR ALL NEWLY INSTALLED HEATING AND COOLING SYSTEMS. THE CONTRACTOR AND TEST AND BALANCE AGENCY ARE RESPONSIBLE FOR OBTAINING THE CERTIFICATE OF ACCEPTANCE FORMS REQUIRED BY THE IOR. THE TEST AND BALANCE AGENCY SHALL BE WELL VERSED WITH ALL THE REQUIREMENTS OF THESE CERTIFICATE OF ACCEPTANCE FORMS, AND SHALL COORDINATE AND WORK WITH THE EQUIPMENT AND CONTROLS INSTALLERS TO COMPLY WITH THESE REQUIREMENTS IN A TIMELY MANNER WITHIN THE PROJECT SCHEDULE. THE AIR BALANCE CONTRACTOR SHALL BE A MEMBER OF AABC (ASSOCIATED AIR BALANCE COUNCIL).
12. PAINT ALL EXPOSED DUCTWORK, DUCT SUPPORTS, ACCESSORIES, REGISTERS, GRILLES, DIFFUSERS, AND APPURTENANCES, WHETHER OR NOT COLORS ARE DESIGNATED IN SCHEDULES, EXCEPT WHERE A SURFACE OR MATERIAL IS SPECIFICALLY INDICATED NOT TO BE PAINTED OR IS TO REMAIN NATURAL. WHERE AN ITEM OR SURFACE IS NOT SPECIFICALLY MENTIONED, PAINT THE SAME AS SIMILAR ADJACENT MATERIALS OR SURFACES. IF COLOR OR FINISH IS NOT DESIGNATED, THE ARCHITECT WILL SELECT FROM STANDARD COLORS OR FINISHES AVAILABLE. PAINTING INCLUDES FIELD PAINTING EXPOSED BARE AND COVERED PIPES AND DUCTS (INCLUDING COLOR CODING), HANGERS, EXPOSED STEEL AND IRON WORK, AND PRIMED METAL SURFACES OF MECHANICAL EQUIPMENT.
13. PROVIDE ALL LABOR, MATERIAL, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, AND OTHER WORK AS REQUIRED. FOR A COMPLETE AND PROPERLY OPERATING MECHANICAL SYSTEM.
14. ALL MATERIALS SHALL BE NEW AND OF THE SAME MANUFACTURER FOR EACH CLASS OR GROUP OF EQUIPMENT. EQUIPMENT SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORIES, AND SHALL BEAR THE INSPECTION LABEL WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH THE APPROVAL OF THE GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY THE LATEST EDITION OF CMC, CBC U.L., SMACNA AND ASHRAE GUIDELINES. INSTALL PER MANUFACTURERS' RECOMMENDATIONS, AND INSTALLATION INSTRUCTIONS.
15. OBTAIN AND PAY FOR ALL NECESSARY BUILDING PERMITS AND VARIANCES. COORDINATE TEMPORARY CONSTRUCTION REQUIREMENTS WITH ALL TRADES PRIOR TO CONSTRUCTION. INCLUDE ALL COSTS IN THE BID.
16. IF THE CONTRACTOR PROPOSES ALTERNATE EQUIPMENT OR MATERIAL, THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL DSA APPROVALS, PAY ALL RELATED FEES AND OBTAIN APPROVAL FROM OWNER & ENGINEER OF RECORD. PROVIDE TITLE-24 COMPLIANCE CERTIFICATION AND ALL ASSOCIATED FEES REQUIRED. COORDINATE SUBMITTED EQUIPMENT WITH OTHER TRADES. INCLUDE IN THE SHOP DRAWINGS THE EQUIPMENT SUBMITTED FOR APPROVAL WITH A DIFFERENT PHYSICAL SIZE OR ARRANGEMENT FROM THAT SHOWN.
17. PROVIDE SHOP DRAWINGS PER PROJECT SCHEDULE, SEE 23 00 00 SPECIFICATIONS FOR REQUIREMENTS. IF SHOP DRAWINGS ARE NOT PROVIDED TO THE ENGINEER FOR REVIEW, AND ANY CONFLICTS OCCUR BETWEEN TRADES, DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO RESOLVE THE CONFLICT AND BEAR ALL COSTS INCURRED FOR ALL REVISIONS, AT NO ADDITIONAL COST TO THE DISTRICT. THE DISTRICT AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY PRIOR TO FABRICATION AND INSTALLATION OF ALL WORK THAT CAUSES CONFLICTS BETWEEN TRADES.
18. PROVIDE ALL MANUFACTURER'S PRODUCT DATA CLEARLY INDICATING MODEL NUMBERS, CAPACITIES, CONSTRUCTION, ELECTRICAL INFORMATION, AND OPTIONAL ACCESSORIES, PER PROJECT SCHEDULE AND PRIOR TO THE START OF WORK. THESE SHALL BE REVIEWED BY THE MECHANICAL ENGINEER PRIOR TO PURCHASING.
19. SUBMIT TO THE OWNER ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, "AS-BUILTS", ETC. AT THE COMPLETION OF THE JOB. PROVIDE THE OWNER WITH COMPLETE MECHANICAL "AS-BUILTS" INDICATING FINAL EQUIPMENT LOCATIONS, DUCTWORK AND PIPE ROUTING, ETC.
20. OBTAIN APPROVAL FROM THE OWNER ON ALL ADDENDA AND CONSTRUCTION CHANGE DOCUMENT (CCD) PRIOR TO DOING THE WORK.
21. INSTALL ALL EQUIPMENT, ACCESSORIES, AND MATERIAL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
22. PROVIDE FIRESTOPPING FOR PIPE AND DUCT PENETRATIONS THROUGH RATED WALLS. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AS NECESSARY PRIOR TO INSTALLATION.
23. ANY MATERIAL EXPOSED WITHIN A PLENUM OR DUCT MUST HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25, AND A SMOKE DEVELOPED RATING OF NOT MORE THAN 50, AND A MOLD/HUMIDITY RESISTANCE PER U.L. 181.
24. ALL EQUIPMENT, DUCTS, PIPING, AND OTHER DEVICES AND MATERIALS OUTSIDE OF THE BUILDING OR OTHERWISE EXPOSED TO THE WEATHER SHALL BE COMPLETELY WEATHERPROOFED.
25. LOCATE ALL EQUIPMENT SUCH THAT CODE REQUIRED ACCESS IS MAINTAINED, INCLUDING N.E.C. REQUIREMENTS. ACCESS PANELS WHERE REQUIRED, SHALL BE COORDINATED WITH ARCHITECT, AND PROVIDED BY FACTORY OR BE FIELD-PROVIDED. FOR ATTIC EQUIPMENT, G.C. TO PROVIDE A CATWALK & LIGHT PER CMC FOR ATTIC EQUIPMENT.
26. FOR INACCESSIBLE AREAS THE CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL DAMPERS, EQUIPMENT, SMOKE DETECTORS, AND CONTROL DEVICES. THESE PANELS SHALL MATCH THE RATING OF THE WALL AND/OR CEILING WHERE THEY ARE LOCATED IN. MINIMUM ACCESS PANEL SIZES SHALL BE AS FOLLOWS:
   1) HAND ACCESS: 12"x12" MIN.
   2) BODY ACCESS: 30"x30" MIN.
27. ALL EQUIPMENT WITH MOVING PARTS SHALL BE PROVIDED WITH FLEXIBLE DUCT AND PIPE CONNECTIONS.
28. LABEL ALL EQUIPMENT AS TO THE SPACE IT SERVES. SEE SPECIFICATIONS FOR IDENTIFICATION STANDARDS. LABEL DUCT SMOKE DETECTOR LOCATIONS (AT CEILING) AS TO THE EQUIPMENT IT SERVES.
29. A/C UNITS PROVIDED WITH ECONOMIZER CYCLE DAMPERS SHALL HAVE OSA DAMPERS SET UP TO CLOSE AUTOMATICALLY ON FAN SHUT DOWN.
30. PROVIDE MANUAL VOLUME DAMPERS AND BACKDRAFT DAMPERS FOR FRESH AIR INTAKES ON ALL AIR HANDLING EQUIPMENT AND EXHAUST FANS SERVING CONDITIONED SPACES. EXCEPTION: EQUIPMENT WITH FACTORY-ECONOMIZERS.
31. DRAWINGS ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITION PRIOR TO BID DATE.
32. OWNER RETAINS SALVAGE RIGHTS, PROVIDE A MINIMUM OF 72 HOURS NOTICE PRIOR TO REMOVAL OF ROOF TOP UNITS AND EXHAUST FANS.
33. PATCH AND SEAL ALL SLAB, ROOF AND WALL OPENINGS WITH LIKE MATERIAL WHERE MECHANICAL EQUIPMENT ONCE PENETRATED.
34. REMOVE EXISTING AND PROVIDE ALL NEW DUCT AND PIPE HANGER SUPPORTS WHERE DUCT AND PIPE IS BEING REPLACED.
35. PROVIDE ALL NEW PIPE SUPPORTS WHERE PIPING IS SCHEDULED TO BE REPLACED.
36. OUTDOOR REFRIGERANT PIPING TO BE INSULATED AND ALUMINUM WRAPPED.
37. CONTRACTOR IS RESPONSIBLE FOR COMPLETE AND OPERABLE SYSTEM.
38. ALL MECHANICAL EQUIPMENTS, PIPES AND DUCTS SHALL BE SUPPORTED AND BRACED PER THE CURRENT CALIFORNIA BUILDING CODE. ALL MECHANICAL COMPONENTS SHALL BE ABLE TO RESIST THE EFFECTS OF SEISMIC FORCES.
39. MECHANICAL WORK SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.
40. CONTRACTOR SHALL PROTECT EXISTING BUILDING INFRASTRUCTURE DURING CONSTRUCTION FROM OUTDOOR ELEMENT. IF DAMAGED, CONTRACTOR SHALL REPLACE DAMAGED BUILDING COMPONENTS WITH NEW AT NO ADDITIONAL COST TO THE OWNER.
41. ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA LOW PRESSURE DUCT CONSTRUCTION STANDARDS.
42. ALL DUCT JOINTS SHALL BE MADE WITH MASTIC SEALANT, SHEET METAL SCREWS AND TAPED AIR TIGHT WITH HARDCAST OR EQUIV., MINIMUM 2-1/2" WIDTH.
43. WHERE BRACING DETAILS ARE NOT SHOWN ON THE DRAWINGS OR IN THE GUIDELINES, THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT, MECHANICAL ENGINEER AND DSA FIELD ENGINEER.
44. A COPY OF THE GUIDELINES PUBLISHED BY SMACNA AND APPROVED BY DSA SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON THE JOB AT ALL TIMES.
45. CONTRACTOR SHALL COORDINATE ALL DUCTWORK ROUTING WITH WORK OF OTHER TRADES AND MAKE ANY OFFSET AS REQUIRED TO AVOID CONFLICT WITH PIPING, LIGHT FIXTURES, TRUSSES, ETC.
46. COORDINATE ALL EQUIPMENT VOLTAGES WITH ELECTRICAL PRIOR TO ORDERING ANY EQUIPMENT.

MEP COMPONENT ANCHORAGE NOTE

ALL MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS SHALL BE ANCHORED AND INSTALLED PER THE DETAILS ON THE DSA APPROVED CONSTRUCTION DOCUMENTS. THE FOLLOWING COMPONENTS SHALL BE ANCHORED OR BRACED TO MEET THE FORCE AND DISPLACEMENT REQUIREMENTS PRESCRIBED IN THE 2022 CBC, SECTIONS 1617A.1.18 THROUGH 1617A.1.26 AND ASCE 7-16 CHAPTER 13, 26 AND 30:

1. ALL PERMANENT EQUIPMENT AND COMPONENTS.
2. TEMPORARY, MOVABLE OR MOBILE EQUIPMENT THAT IS PERMANENTLY ATTACHED (e.g. HARD WIRED) TO THE BUILDING UTILITY SERVICES SUCH AS ELECTRIC, GAS OR WATER. "PERMANENTLY ATTACHED" SHALL INCLUDE ALL ELECTRICAL CONNECTIONS EXCEPT PLUGS FOR 110/220 VOLT RECEPTACLES HAVING A FLEXIBLE CABLE.
3. TEMPORARY, MOVABLE OR MOBILE EQUIPMENT WHICH IS HEAVIER THAN 400 POUNDS OR HAS A CENTER OF MASS LOCATED 4 FEET OR MORE ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT IS REQUIRED TO BE RESTRAINED IN A MANNER APPROVED BY DSA.

THE FOLLOWING MECHANICAL AND ELECTRICAL COMPONENTS SHALL BE POSITIVELY ATTACHED TO THE STRUCTURE BUT NEED NOT DEMONSTRATE DESIGN COMPLIANCE WITH THE REFERENCES NOTED ABOVE. THESE COMPONENTS SHALL HAVE FLEXIBLE CONNECTIONS PROVIDED BETWEEN THE COMPONENT AND ASSOCIATED DUCTWORK, PIPING, AND CONDUIT. FLEXIBLE CONNECTIONS MUST ALLOW MOVEMENT IN BOTH TRANSVERSE AND LONGITUDINAL DIRECTIONS:

1. COMPONENTS WEIGHING LESS THAN 400 POUNDS AND HAVE A CENTER OF MASS LOCATED 4 FEET OR LESS ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT.
2. COMPONENTS WEIGHING LESS THAN 20 POUNDS, OR IN THE CASE OF DISTRIBUTED SYSTEMS, LESS THAN 5 POUND PER FOOT, WHICH ARE SUSPENDED FROM A ROOF OR FLOOR OR HUNG FROM A WALL.

THE ANCHORAGE OF ALL MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS SHALL BE SUBJECT TO THE APPROVAL OF THE DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE OR STRUCTURAL ENGINEER DELEGATED RESPONSIBILITY AND ACCEPTANCE BY DSA. THE PROJECT INSPECTOR WILL VERIFY THAT ALL COMPONENTS AND EQUIPMENT HAVE BEEN ANCHORED IN ACCORDANCE WITH ABOVE REQUIREMENTS.

PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEM BRACING NOTE

PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS SHALL BE BRACED TO COMPLY WITH THE FORCES AND DISPLACEMENTS PRESCRIBED IN ASCE 7-16 SECTION 13.3 AS DEFINED IN ASCE 7-16 SECTION 13.6.5, 13.6.6, 13.6.7, 13.6.8; AND 2022 CBC, SECTION 1617A.1.24, 1617A.1.25, AND 1617A.1.26.

THE METHOD OF SHOWING BRACING AND ATTACHMENTS TO THE STRUCTURE FOR THE IDENTIFIED DISTRIBUTION SYSTEM ARE AS NOTED BELOW. WHEN BRACING AND ATTACHMENTS ARE BASED ON A PREAPPROVED INSTALLATION GUIDE (E.G., OSHPD OPM FOR 2022 CBC OR LATER), COPIES OF THE BRACING SYSTEM INSTALLATION GUIDE OR MANUAL SHALL BE AVAILABLE ON THE JOBSITE PRIOR TO START OF AND DURING THE HANGING AND BRACING OF DISTRIBUTION SYSTEMS. THE STRUCTURAL ENGINEER OF RECORD SHALL VERIFY ADEQUACY OF THE STRUCTURE TO SUPPORT THE HANGER AND BRACE LOADS.

MECHANICAL PIPING (MP), MECHANICAL DUCTS (MD), PLUMBING PIPING (PP), ELECTRICAL DISTRIBUTION SYSTEMS (E):

MP ☒ MD ☒ PP ☐ E ☐ OPTION 1: DETAILED ON THE APPROVED DRAWINGS WITH PROJECT SPECIFIC NOTES & DETAILS.

MP ☐ MD ☐ PP ☐ E ☐ OPTION 2: SHALL COMPLY WITH THE APPLICABLE OSHPD PRE-APPROVAL (OPM #) # 0203-13.

CAL GREEN NOTES

1. TESTING AND ADJUSTING. TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR NEW BUILDING LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 303.1
2. SYSTEMS. DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT:
   A. HVAC SYSTEMS AND CONTROLS.
   B. INDOOR AND OUTDOOR LIGHTING AND CONTROLS.
   C. WATER HEATING SYSTEMS.
   D. RENEWABLE ENERGY SYSTEMS.
   E. LANDSCAPE IRRIGATION SYSTEMS.
   F. WATER REUSE SYSTEMS.
3. PROCEDURES. PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.
   A. HVAC BALANCING. IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS; THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS; ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.
4. REPORTING. AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.
5. OPERATION AND MAINTENANCE (O & M) MANUAL. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/WARRANTIES FOR EACH SYSTEM. O & M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.
   A. INSPECTIONS AND REPORTS. INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.
6. TEMPORARY VENTILATION. THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM REPORTING VALUE (MERV 13) OF 13, BASED ON ASHRAE 52.2-1999 OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATIONS, AT THE CONCLUSION OF CONSTRUCTION.
7. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH WRAP, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.
8. FILTERS. IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY THAT PROVIDE AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV 13) OF 13. MERV 13 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

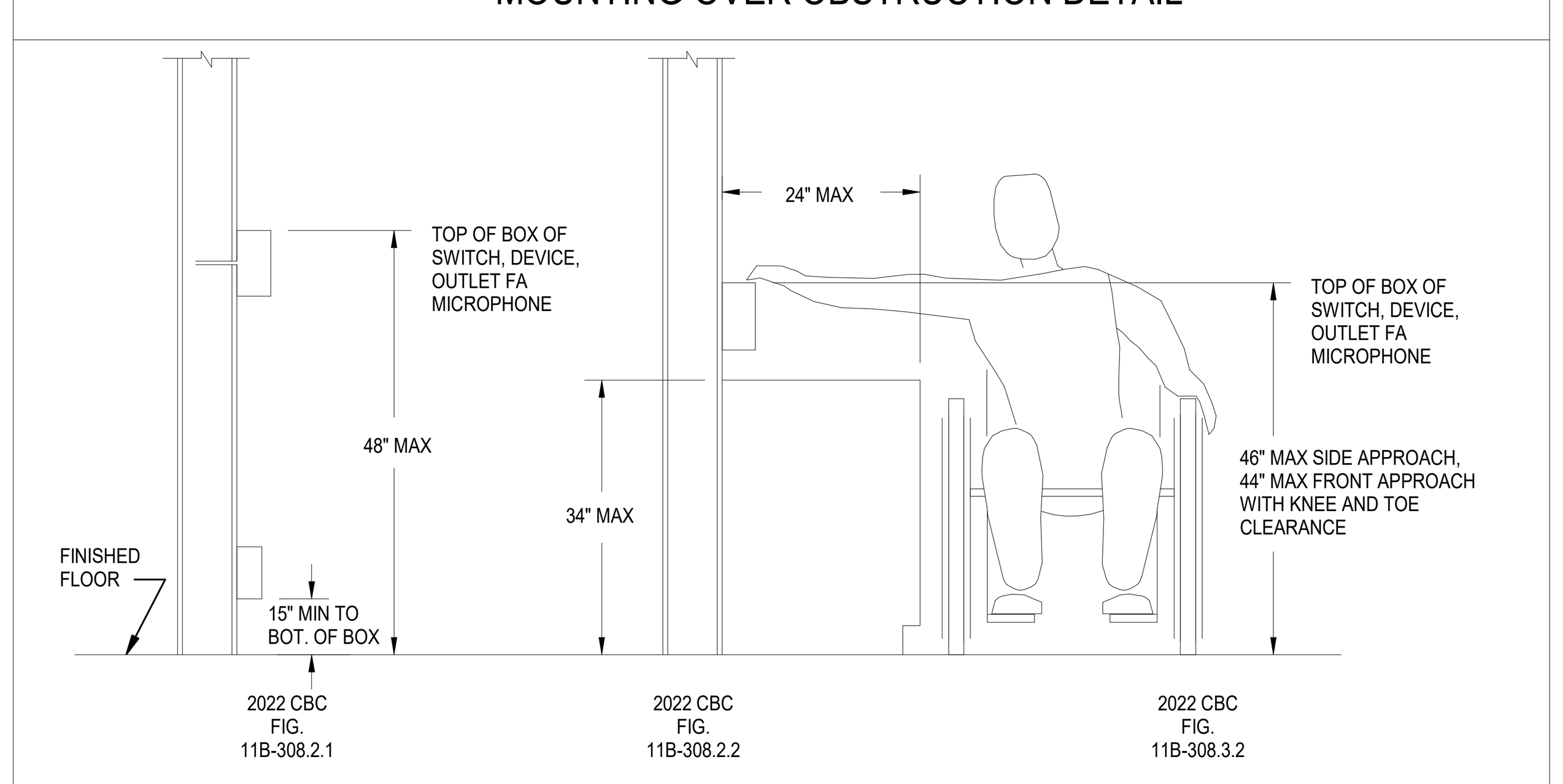
   EXCEPTIONS:
   A. AN ASHRAE 10-PERCENT TO 15-PERCENT EFFICIENCY FILTER SHALL BE PERMITTED FOR AN HVAC UNIT MEETING THE 2019 CALIFORNIA ENERGY CODE HAVING 60,000 BTU/H OR LESS CAPACITY PER FAN COIL, IF THE ENERGY USE OF THE AIR DELIVERY SYSTEM IS 0.4 W/CFM OR LESS AT DESIGN AIR FLOW.
   B. EXISTING MECHANICAL EQUIPMENT.
9. OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS. INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH SECTIONS 5.508.1.1 AND 5.508.1.2.
   A. CHLOROFLOUROCARBONS (CFCS). INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN CFCS.
   B. HALONS. INSTALL HVAC REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.
10. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1.

MECHANICAL LEGEND

SYMBOL	DESCRIPTION
	KEY NOTES
	DEMOLITION KEY NOTES
01 / M-2	DETAIL DESIGNATION DETAIL NUMBER SHEET NO. WHERE SHOWN
AC / 1	EQUIPMENT DESIGNATION UNIT ABBREVIATION NUMBER
10X10-3 / 120 F/S	GRILLE DESIGNATION NECK SIZE & BLOW FIRE/SMOKE DAMPER WHERE REQ'D CFM
	SECTION CALLOUT
	POINT OF CONNECTION
	POINT OF DISCONNECTION
	NEW LINEWORK
	EXISTING LINEWORK
	DEMOLITION LINEWORK
16"x12"	SHEET METAL DUCT
16"x12"	HIDDEN SHEET METAL DUCT
16"x12"	INTERNALLY INSULATED SHEET METAL DUCT
	DIRECTION OF FLOW
	STANDARD BRANCH FOR SUPPLY AND RETURN
	ROUND ELBOW DOWN
	ROUND ELBOW UP
	RECTANGULAR TO ROUND TRANSITION
8"	FLEXIBLE DUCT
FC	FLEX CONNECTION
BDD	BACK DRAFT DAMPER
FD	FIRE DAMPER
F/S	COMBINATION FIRE AND SMOKE DAMPER
M	MOTORIZED DAMPER
	SUPPLY DIFFUSER: 2-WAY/3-WAY/4-WAY
	GRILLE: RETURN/EXHAUST
	1'x2' RETURN AIR GRILLE
	2'x2' RETURN AIR GRILLE
UP / DN	SUPPLY AIR DUCT SECTION
UP / DN	RETURN AIR DUCT SECTION
UP / DN	EXHAUST AIR DUCT SECTION
	POWER OR GRAVITY ROOF VENTILATOR - EXHAUST
	POWER OR GRAVITY ROOF VENTILATOR - SUPPLY
UC	UNDERCUT DOOR
TG	TRANSFER GRILLE OR LOUVER
DG	DOOR GRILLE OR LOUVER

SYMBOL	DESCRIPTION
D / X	DX COOLING COIL
H / C	HEATING COIL
	DAMPER, OPPOSED BLADE
	DAMPER, PARALLEL BLADE
	FILTER
	HUMIDIFIER
	LOUVER
AD	ACCESS DOOR OR ACCESS PANEL (AP) IN DUCTWORK
1" 2"	STATIC PRESSURE CHANGE TAG
2"	STATIC PRESSURE TAG
	TURNING VANES (RECTANGULAR)
	DRAIN, FUNNEL
	CENTRIFUGAL FAN
	ANALOG SIGNAL
	DIGITAL SIGNAL
	ELECTRIC LEAD
	INSTRUMENT CAPILLARY TUBING
	ELECTRONIC 3-WAY VALVE
	ELECTRONIC 2-WAY VALVE
	DDC INPUT
	DDC OUTPUT
	LOCALLY MOUNTED INSTRUMENT
C02	CARBON DIOXIDE SENSOR
DPS	DIFFERENTIAL PRESSURE SENSOR
FM	FLOW METER
FS	AIRFLOW SENSOR
HS	RELATIVE HUMIDITY SENSOR
TS	TEMPERATURE SENSOR
TS	AVERAGING TEMPERATURE SENSOR
	METAL DUCT
R	EMS CO2 SENSOR
T	THERMOSTAT
PS	PRESSURE SWITCH
SD	SMOKE DETECTOR
SP	STATIC PRESSURE SENSOR
RS	REFRIGERANT SENSOR
D	DEW POINT SENSOR
H	SPACE HUMIDITY SENSOR
S	SWITCH
▲	FIRE WALL PENETRATION
(E)	EXISTING
(N)	NEW

MOUNTING OVER OBSTRUCTION DETAIL



NOTE:
1. THIS DETAIL APPLIES TO MOUNTING OF ANY MECHANICAL AND ELECTRICAL DEVICE WHICH CONTAINS AN OPERABLE PART THAT IS ADJUSTABLE BY THE OCCUPANT. THIS DOES NOT APPLY TO SENSORS OR CONTROLS THAT ARE ONLY ADJUSTABLE THROUGH THE BUILDING AUTOMATION SYSTEM (IE: TEMPERATURE AND HUMIDITY SENSORS).

DRAWING INDEX

ABBREVIATIONS

ABBREVIATION	DESCRIPTION
AAV	AUTOMATIC AIR VENT
ABV	ABOVE
AC	AIR CONDITIONING UNIT
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
AI	ANALOG INPUT
ALUM	ALUMINUM
AO	ANALOG OUTPUT
AP	ACCESS PANEL
B	BOILER
BDD	BACK DRAFT DAMPER
BEL	BELOW
BFC	BELOW FINISHED CEILING
BFP	BACK FLOW PREVENTER
BG	BLAST GATE
BHP	BREAK HORSEPOWER
BLDG	BUILDING
BOB	BOTTOM OF BEAM
BOP	BOTTOM OF PIPE
BSMT	BASEMENT
BTU	BRITISH THERMAL UNIT
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
CI	CAST IRON
CL	CENTER LINE
CLG	CEILING
CO	CLEANOUT
COL	COLUMN
CP	CONDENSATE PUMP
CT	COOLING TOWER
CU	CONDENSING UNIT
CV	CONSTANT VOLUME BOX
D	DRAIN
DB	DRY BULB
DEG	DEGREES
DI	DIGITAL INPUT
DIA	DIAMETER
DL	DOOR LOUVER
DN	DOWN
DO	DIGITAL OUTPUT
DP	DIFFERENATIAL PRESSURE
DS	DUCT SILENCER
DX	DIRECT EXPANSION
EA	EACH
EAT	ENTERING AIR TEMPERATURE
EC	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN
EFF	EFFICIENCY
EGC	EGGCRATE GRILLE
EJ	EXPANSION JOINT
EL	ELEVATION
EQ	EQUAL
ER	EXHAUST REGISTER
ESP	EXTERNAL STATIC PRESSURE
ET	EXPANSION TANK
EWC	ELECTRIC WATER COOLER
EXIST / (E)	EXISTING
°F	DEGREES FAHRENHEIT
FA	FREE AREA
FC	FAN COIL UNIT
FD	FIRE DAMPER
FG	FILTER GRILLE
FLA	FULL LOAD AMPS
FLR	FLOOR
FOB	FLAT ON BOTTOM
FOT	FLAT ON TOP
FP	FIRE PUMP
FPI	FINS PER INCH
FPM	FEET PER MINUTE
FS	FLOW SWITCH
FT	FEET / FOOT
FX	FLEXIBLE CONNECTION
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HB	HOSE BIBB
HD	HEAD
HOA	HANDS OFF AUTO
HP	HEAT PUMP
HP	HORSEPOWER
HT	HEIGHT
HV	HEATING AND VENTILATING UNIT
HWC	HOT WATER CONVERTER
HWP	HEATING HOT WATER RETURN
HWR	HOT WATER PUMP
HWS	HEATING HOT WATER SUPPLY
HZ	HERTZ
IC	MOTOR STATUS
ICW	INDUSTRIAL COLD WATER
ID	INSIDE DIAMETER
IN	INCHES
IW	INDIRECT WASTE

ABBREVIATION	DESCRIPTION
KW	KILOWATTS
LAT	LEAVING AIR TEMPERATURE
LBS	POUNDS
LD	LINEAR DIFFUSER
LF	LINEAR FEET
LWT	LEAVING WATER TEMPERATURE
MAX	MAXIMUM
MBH	THOUSAND BTU PER HOUR
MC	MECHANICAL CONTRACTOR
MCA	MINIMUM CIRCUIT AMPS
MH	MANHOLE
MIN	MINIMUM
MOCP	MAXIMUM OVERLOAD CIRCUIT PROTECTION
MOD	MOTOR OPERATED DAMPER
MTD	MOUNTED
MUA	MAKE-UP AIR UNIT
(N)	NEW
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NO	NORMALLY OPEN
OAT	OUTSIDE AIR TEMPERATURE
OBD	OPPOSED BLADE DAMPER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OSA	OUTSIDE AIR
PBD	PARALLEL BLADE DAMPER
PD	PRESSURE DROP
PERF	PERFORATED
PH	PHASE
PR	PRESSURE RELIEF
PS	PRESSURE SWITCH
PSID	POUNDS PER SQUARE INCH DIFFERENTIAL
PSIG	POUNDS PER SQUARE INCH GAUGE
PT	PRESSURE TRANSMITTER
PTAC	PACKAGED TERMINAL AIR CONDITIONER
PVC	POLYVINYL CHLORIDE
RA	RETURN AIR
RAR	RETURN AIR REGISTER
RD	ROOF DRAIN
RF	RETURN FAN
RG	RETURN AIR GRILLE
RH	RELATIVE HUMIDITY
RHC	REHEAT COIL
RLA	RATED LOAD AMPS
RPM	REVOLUTIONS PER MINUTE
SA	SUPPLY AIR
SAR	SUPPLY AIR REGISTER
SAV	STAGED AIR VOLUME
SD	SMOKE DAMPER
SF	SUPPLY FAN
SI	SPEED INDICATOR
SK	SPEED CONTROL
SMBH	SENSIBLE MBH
SP	STATIC PRESSURE
SPEC	SPECIFICATION
SS	STAINLESS STEEL
STD	STANDARD
TAD	TRANSFER AIR DUCT
TEFC	TOTALLY ENCLOSED FAN COOLED
TEMP	TEMPERATURE
TG	TRANSFER GRILLE
TI	TEMPERATURE INDICATOR
TMBH	TOTAL MBH
TSP	TOTAL STATIC PRESSURE
TYP	TYPICAL
UC	UNDERCUT
UH	UNIT HEATER
UON	UNLESS OTHERWISE NOTED
UTR	UP THROUGH ROOF
V	VOLTS
VA	DAMPER/VALVE ACTUATOR
VAV	VARIABLE AIR VOLUME UNIT
VD	VOLUME DAMPER
VFD	VARIABLE FREQUENCY DRIVE
VP	VELOCITY PRESSURE
VTR	VENT THROUGH ROOF
W/	WITH
W/O	WITHOUT
WB	WET BULB
WC	WATER COLUMN
WG	WATER GAUGE
WT	WEIGHT

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WALNUT GROVE I.S. - SCIENCE LAB MOD.

PROJECT ADDRESS:
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West Covina, CA 91790

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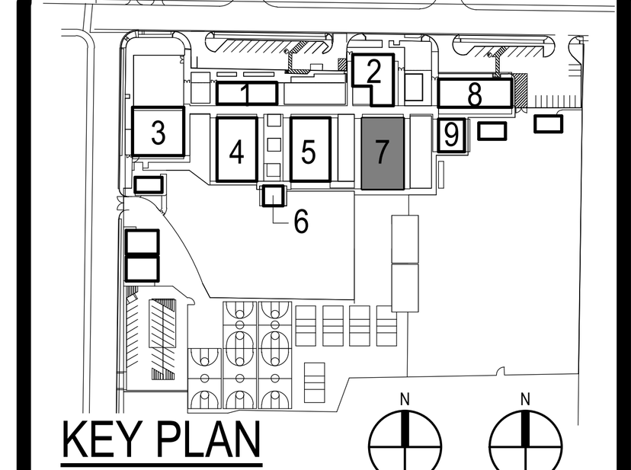

KEY PLAN
NORTH: PLAN TRUE

Consultant
REGISTERED PROFESSIONAL ENGINEER REX DAVID WANG No.M36155 Exp.09-30-2024 MECHANICAL STATE OF CALIFORNIA

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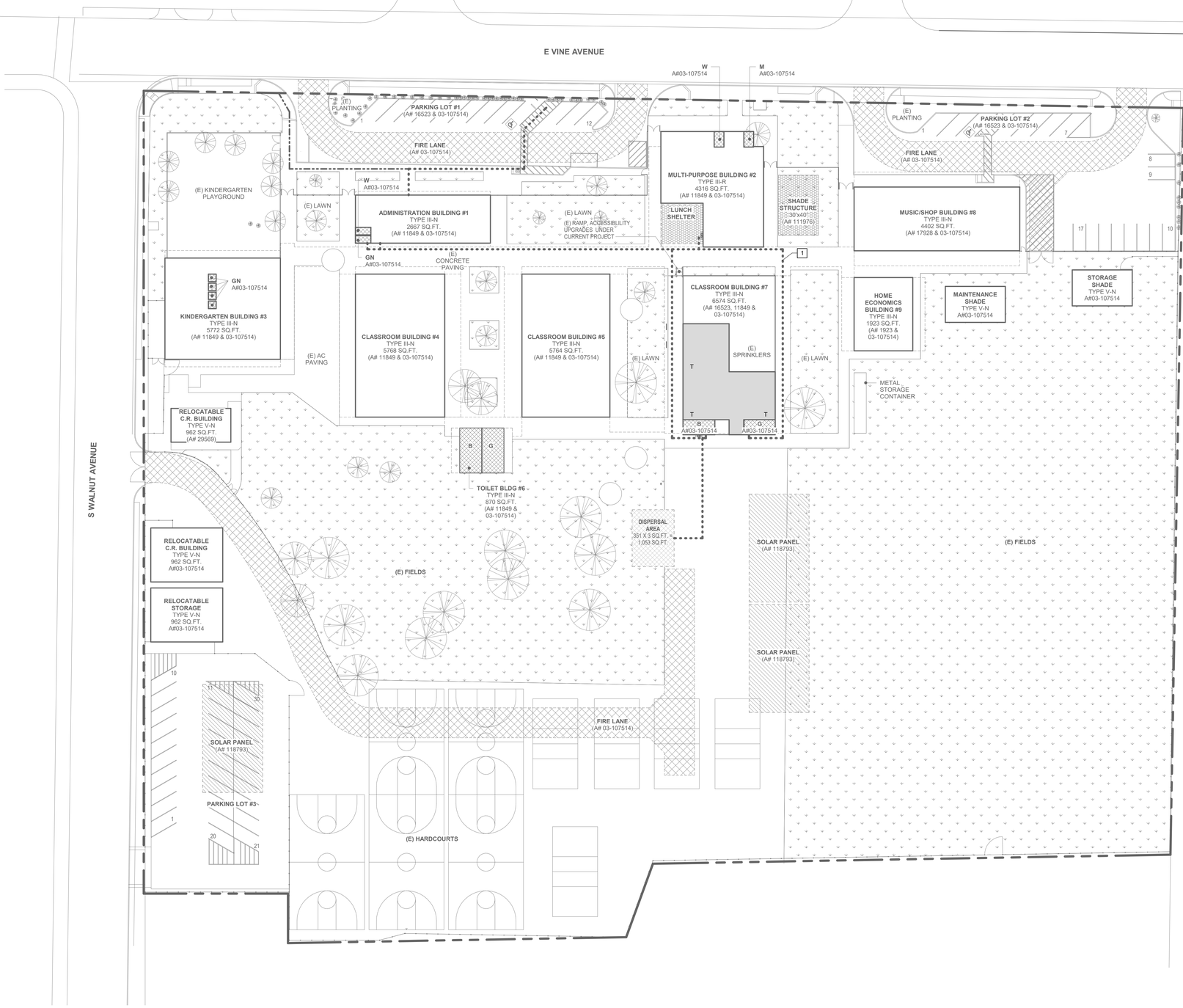
MECHANICAL SHEET INDEX, LEGEND, AND NOTES

M0.00

M1.01 - MECHANICAL SITE PLAN

0" 1"



KEY NOTES

1 AREA OF WORK.

1 MECHANICAL SITE PLAN
1" = 30'-0"

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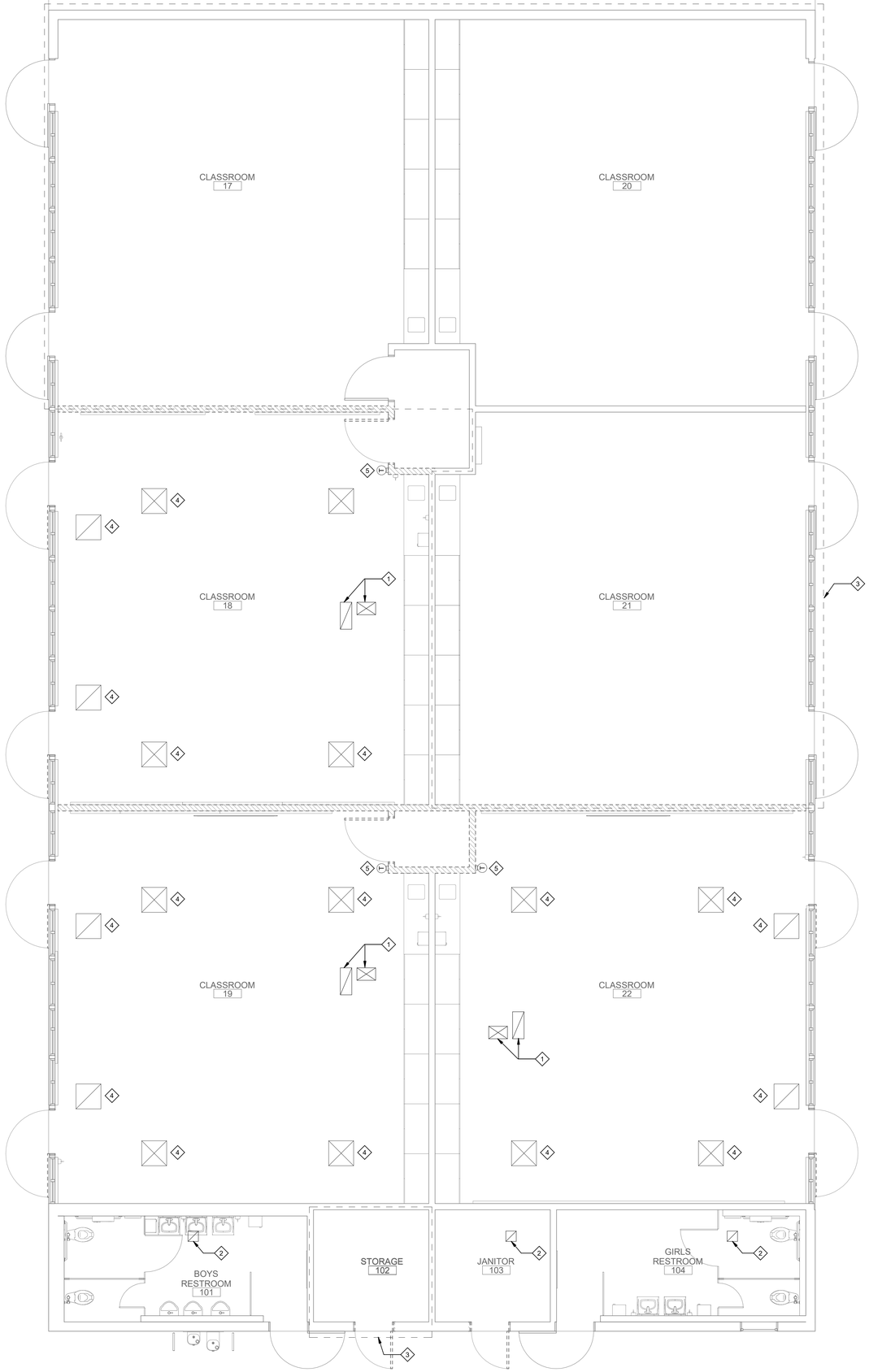
MECHANICAL SITE PLAN

M1.01

M2.01 - MECHANICAL DEMOLITION FLOOR PLAN - BLDG 7

0" 1"



SCOPE NOTES

1. REMOVE AND REPLACE (E) SA & RA DIFFUSERS/REGISTERS WITH FLEX DUCTS.
2. RECONNECT NEW SA & RA DIFFUSERS/REGISTERS TO (E) DUCTS.
3. ALL EXISTING DUCTS ARE TO REMAIN.
4. CLEAN ALL EXISTING DUCTS PER SPECIFICATION SECTION 23 00 01.
5. ALL EXISTING HVAC UNITS ARE TO REMAIN.
6. ALL THERMOSTATS ARE TO BE RELOCATED.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CODITIONS (EQUIPMENT, DUCTS, DAMPERS, THERMOSTAT, WIRING, ACCESSORIES, ETC. BEFORE COMMENCING ANY WORK.
2. CONTRACTOR SHALL TAKE READINGS OF ALL EXISTING AIR FLOW QUANTITIES (CFM) OF ALL DIFFUSERS/REGISTERS AND DOCUMENT THEM FOR LATER USE.
3. CONTRACTOR SHALL BALANCE ALL NEW DIFFUSERS/REGISTERS FOR AIR QUANTITIES (CFM) DOCUMENTED (SEE GENERAL NOTE #2).
4. CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING TO REMAIN EQUIPMENT, DUCT, THERMOSTAT, DAMPER, ETC.
5. ALL RELOCATED THERMOSTATS SHALL BE STORED IN SAFE PLACE AND PROTECTED BEFORE REINSTALLATION.

KEY NOTES

1. (E) SA & RA DUCT UTR TO REMAIN.
2. (E) EA REGISTER WITH EA DUCT UTR TO REMAIN.
3. AREA NOT IN SCOPE OF WORK.
4. (E) DIFFUSER/REGISTER TO BE DEMOLISHED WITH (E) FLEX DUCT. DISCONNECT (E) DUCT AT THE TRANSITION BETWEEN (E) DUCT AND (E) FLEX DUCT. LOCATIONS OF (E) DIFFUSER/REGISTGER IS APPROXIMATE.
5. (E) THERMOSTAT TO BE RELOCATED. DISCONNECT WIRING ABOVE CEILING AND PREPARE FOR RECONNECTION, SEE NEW PLAN SHEET M2.02 FOR NEW LOCATION OF THERMOSTAT.

1 MECHANICAL DEMOLITION FLOOR PLAN - BLDG 7
1/4" = 1'-0"

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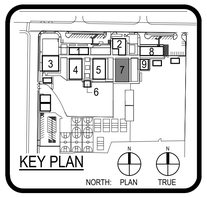

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MECHANICAL DEMOLITION FLOOR PLAN - BLDG 7

M2.01

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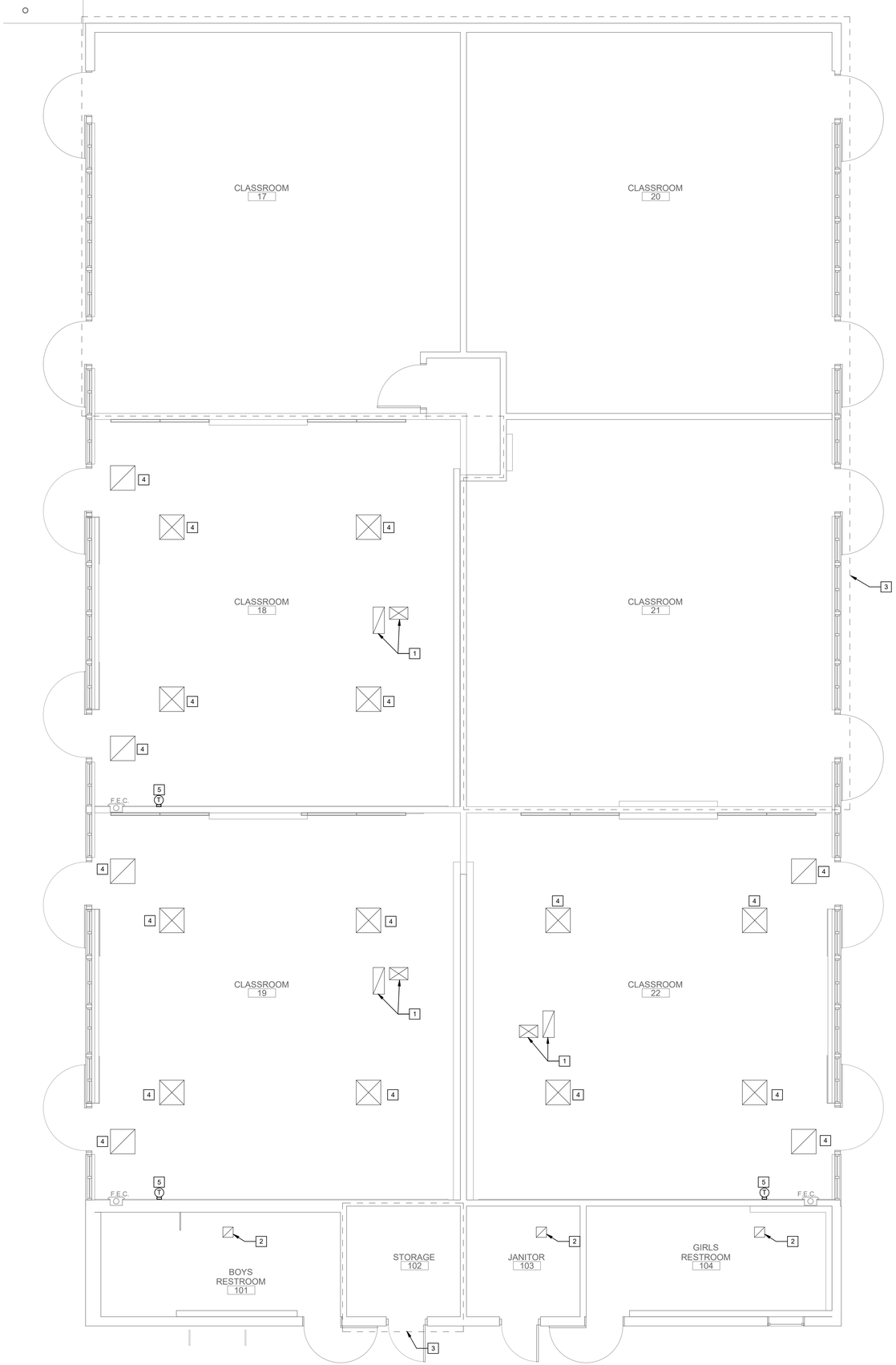
M2.02 - MECHANICAL NEW FLOOR PLAN - BLDG 7

0" 1"



SCOPE NOTES

1. REMOVE AND REPLACE (E) SA & RA DIFFUSERS/REGISTERS WITH FLEX DUCTS.
2. RECONNECT NEW SA & RA DIFFUSERS/REGISTERS TO (E) DUCTS.
3. ALL EXISTING DUCTS ARE TO REMAIN.
4. CLEAN ALL EXISTING DUCTS PER SPECIFICATION SECTION 23 00 01.
5. ALL EXISTING HVAC UNITS ARE TO REMAIN.
6. ALL THERMOSTATS ARE TO BE RELOCATED.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS (EQUIPMENT, DUCTS, DAMPERS, THERMOSTAT, WIRING, ACCESSORIES, ETC. BEFORE COMMENCING ANY WORK.
2. CONTRACTOR SHALL TAKE READINGS OF ALL EXISTING AIR FLOW QUANTITIES (CFM) OF ALL DIFFUSERS/REGISTERS AND DOCUMENT THEM FOR LATER USE.
3. CONTRACTOR SHALL BALANCE ALL NEW DIFFUSERS/REGISTERS FOR AIR QUANTITIES (CFM) DOCUMENTED (SEE GENERAL NOTE #2).
4. CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING TO REMAIN EQUIPMENT, DUCT, THERMOSTAT, DAMPER, ETC.
5. ALL RELOCATED THERMOSTATS SHALL BE STORED IN SAFE PLACE AND PROTECTED BEFORE REINSTALLATION.

KEY NOTES

1. (E) SA & RA DUCT UTR TO REMAIN.
2. (E) EA REGISTER WITH EA DUCT UTR TO REMAIN.
3. AREA NOT IN SCOPE OF WORK.
4. PROVIDE NEW DIFFUSER/REGISTER WITH FLEX DUCT. RUN FLEX DUCT AND CONNECT TO (E) DUCT. EXTEND (E) BRANCH DUCT WITH NEW, IF REQUIRED.
5. RELOCATED THERMOSTAT. RUN NEW WIRES AND CONNECT TO (E) WIRING.

1 MECHANICAL NEW FLOOR PLAN - BLDG 7
1/4" = 1'-0"

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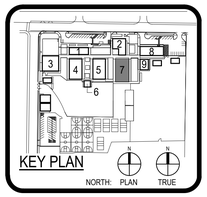

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MECHANICAL NEW FLOOR PLAN - BLDG 7

M2.02

EXISTING ROOFTOP AIR CONDITIONING (GAS HEATNG/ELECTRIC COOLING) UNIT SCHEDULE (SAME EXISTING LOCATION)

UNIT	MANUFACTURER & MODEL NO.	LOCATION SERVING	DISCHARGE TYPE	CFM	ESP (IN. WG)	COOLING CAP (MBH)		ENTERING OUTDOOR AIR TEMPERATURE		EDB TEMP (°F)	EWB. TEMP. (°F)	LDB TEMP (°F)	LWB. TEMP (°F)	SEER/ EER	HTG. CAP.		AFUE	INDOOR FAN			COMPRESSOR			ELECTRICAL						FILTERS (QTY) L x W x H (INCHES)	EXISTING UNIT OPERATING WEIGHT (LBS)	OSA CFM	REMARKS
						TOTAL	SENS.	EDB. (°F)	EWB (°F)						INPUT MBH	OUTPUT MBH		NO.	RPM	HP	NO.	RLA	LRA	OFM (FLA)	UNIT (FLA)	V	PHASE	HZ	UNIT MCA	UNIT MCOP				
(E)AC 27	CARRIER 48HJD005	BUILDING "7" CLASSROOM 18	VERTICAL	1,575	0.5	48.0	36.0	-	-	-	-	-	-	13.0/ 11.2	50.0/72.0	40.0/57.1	0.82	-	-	-	-	-	-	-	16.9	460	3	60	11.9	-	-	850	325	EXISTING UNIT IN SAME EXISTING LOCATION, NO CHANGE.
(E)AC 28	CARRIER 48HJD005	BUILDING "7" CLASSROOM 19	VERTICAL	1,575	0.5	48.0	36.0	-	-	-	-	-	-	13.0/ 11.2	50.0/72.0	40.0/57.1	0.82	-	-	-	-	-	-	-	16.9	460	3	60	11.9	-	-	850	325	EXISTING UNIT IN SAME EXISTING LOCATION, NO CHANGE.
(E)AC 30	CARRIER 48HJD005	BUILDING "7" CLASSROOM 22	VERTICAL	1,575	0.5	48.0	36.0	-	-	-	-	-	-	13.0/ 11.2	50.0/72.0	40.0/57.1	0.82	-	-	-	-	-	-	-	16.9	460	3	60	11.9	-	-	850	325	EXISTING UNIT IN SAME EXISTING LOCATION, NO CHANGE.

EXISTING EXHAUST FANS SCHEDULE (SAME EXISTING LOCATION)

UNIT	MANUFACTURER & MODEL NO.	SERVICE	TYPE	CFM	SP (IN. W.G.)	FAN RPM	MOTOR				SONES	OPER WT. (LBS)	REMARKS
							HP	VOLT	PH	HZ			
(E)EF 3	COOK ACEB 80C2B	BUILDING "7" BOYS RESTROOM E-37	ROOF MOUNTED	300	0.25	1026	1/6	120	1	60	3.9	70	EXISTING UNIT IN SAME EXISTING LOCATION, NO CHANGE.
(E)EF 4	COOK ACEB 80C2B	BUILDING "7" GIRLS RESTROOM E-34	ROOF MOUNTED	300	0.25	1026	1/6	120	1	60	3.9	70	EXISTING UNIT IN SAME EXISTING LOCATION, NO CHANGE.
(E)EF 9	COOK ACEB 100C2B	BUILDING "7" JANITOR E-35	ROOF MOUNTED	450	0.25	1086	1/6	120	1	60	4.7	70	EXISTING UNIT IN SAME EXISTING LOCATION, NO CHANGE.

AIR DISTRIBUTION SCHEDULE

SYMBOL	TYPE	MAKE & MODEL	DESCRIPTION
A	CEILING SUPPLY	TITUS MODEL MCD	MODULAR CORE DIFFUSER WITH FRAME FOR LAY-IN T-BAR CEILING, FLUSH FACE MOUNTING.
B	CEILING RETURN	TITUS MODEL PAR	PERFORATED FACE DIFFUSER WITH FRAME FOR LAY-IN T-BAR CEILING, FLUSH FACE MOUNTING.
C	CEILING SUPPLY	TITUS MODEL MCD	MODULAR CORE DIFFUSER WITH RAPID MOUNT FRAME MODEL TRM FOR SURFACE MOUNTING.
D	CEILING RETURN/EXHASUT	TITUS MODEL 50F	EGG CRATE GRILLE REGISTER WITH RAPID MOUNT FRAME TRM FOR SURFACE MOUNTING.
E	SIDEWALL SUPPLY	TITUS MODEL 1700	DOUBLE DEFLECTION HORIZONTAL 5° DOWN FRONT GRILLE WITH 1/2" BLADE SPACING, FRAME FOR WALL MOUNTING.
F	CEILING SUPPLY	TITUS MODEL MIL-38-2B	ALUMINUM LINEAR SLOT DIFFUSER, 3/4" SLOT,4-SLOT, PATTERN CONTROLLER, FLANGED BORDER FOR SURFACE MOUNTING, OPTIONAL PLENUM IN 2,3,4 OR 5 FOOT SECTIONS PER PLANS, COLOR PER ARCHITECT.

NOTES:
1. REFER TO THE FLOOR PLANS FOR NECK SIZE, CFM, AIR DIFFUSION PATTERN AND FIRE/DAMPER, IF REQUIRED.
2. PROVIDE AIR CONTROL GRID FOR ALL CEILING SUPPLY DIFFUSERS SET AT 90°.

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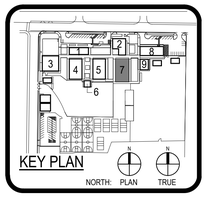

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REVISIONS

No.	Description	Date

DSA BACKCHECK

MECHANICAL SCHEDULE

M5.01

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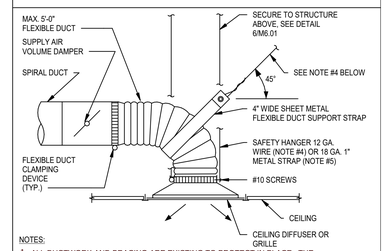

NOTES:

1. ALL DUCTWORK AND BRACING ARE EXISTING TO PROTECT IN PLACE. THE SUSPENDED CEILING SYSTEM IS NEW. FOR SUSPENDED CEILING SYSTEM REFER TO ARCHITECTURA.L DRAWINGS. RECONNECT DUCT TO NEW GRILLES.

19 LAY IN DIFFUSER CONNECTION DETAIL
NOT TO SCALE

DIMENSION OF LONGEST SIDE, INCHES	SHEET METAL GAGE (ALL FOUR SIDES)	TRANSVERSE REINFORCING (1)					
		MINIMUM REINFORCING ANGLE SIZE AND MAXIMUM LONGITUDINAL SPACING BETWEEN TRANSVERSE JOINTS &/OR INTERMEDIATE REINFORCING	AT JOINTS				
			MIN. HT. IN.	DRIVE SLIP / PLAIN S SLIP	HEMMED S SLIP	ALTERNT BAR SLIP	REINFORCED BAR SLIP
				RECOM-MENDED GAGE	RECOM-MENDED GAGE	RECOM-MENDED GAGE	RECOM-MENDED GAGE
UP THRU 12	26	NONE REQUIRED	1	26	26	24	24
13 - 18	24	NONE REQUIRED	1	24	24	24	24
19 - 30	24	1" X 1" X 1/8" @ 60 IN.	1		24	24	24
31 - 42	22	1" X 1" X 1/8" @ 60 IN.	1			22	22
43 - 60	20	1" X 1" X 1/8" @ 60 IN.	1				20
61 & ABOVE	18	1" X 1" X 1/8" @ 60 IN.	1				18

(1) TRANSVERSE REINFORCING SIZE IS DETERMINED BY DIMENSION OF SIDE TO WHICH ANGLE IS APPLIED.

2 DUCT CONSTRUCTION STANDARDS
NOT TO SCALE

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

PBK

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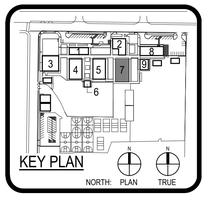
WALNUT GROVE I.S. - SCIENCE LAB MOD.

PROJECT ADDRESS:
614 E. Vine Ave.
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



Consultant

REGISTERED PROFESSIONAL ENGINEER
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No.M38155
Exp.09-30-2024
MECHANICAL
STATE OF CALIFORNIA

Architect

CLIENT
WEST COVINA USD

DATE	PROJECT NUMBER
02/22/2023	220117

REVISIONS

No.	Description	Date

DSA BACKCHECK

MECHANICAL DETAILS

M6.01

0" 1"

PLUMBING LEGEND

NOTE: NOT ALL SYMBOLS TABULATED BELOW ARE NECESSARILY USED ON THE DRAWINGS.

SYMBOL	ITEM	ABBR.
S / 1	FIXTURE DESIGNATION UNIT ABBREVIATION NUMBER	
01 / P-1	DETAIL DESIGNATION DETAIL NUMBER SHEET NO. WHERE SHOWN	
	DOMESTIC COLD WATER	CW
	DOMESTIC HOT WATER	HW
	DOMESTIC HW RETURN	HWR
	EXISTING PIPING	
X	POINT OF CONNECTION	POC
C	CONDENSATE DRAIN	
	SHUT-OFF VALVE IN BOX	SOV
	PIPING RISE	
	PIPING DROP	
S W	SOIL OR WASTE	S OR W
V	VENT	V
	VENT THRU ROOF	VTR
FCO	FLOOR CLEANOUT	FCO
COTG	CLEANOUT TO GRADE	COTG
	WALL CLEANOUT	WCO
	HOSE BIBB	HB
RD	ROOF DRAIN	RD
OD	OVERFLOW DRAIN	OD
	DOWN SPOUT	DS
	UNDERGROUND	UG
TP	TRAP PRIMER	TP
SD	STORM DRAIN	SD
(E)	EXISTING	EXIST.
(N)	NEW	NEW
	UNDERFLOOR	UF
	OVERHEAD	OH
R	RELIEF	
D	DRAIN	
	CONDENSATE DRAIN CLEAN OUT	CO
SC	SECONDARY CONDENSATE DRAIN	
FC	FURNACE CONDENSATE	
	GAS SHUT OFF VALVE	GSOV
	CONDENSATE DRAIN TRAP	CDT
LPG	LIQUIFIED PETROLEUM GAS	LPG
G	NATURAL GAS	G
	FIRE SPRINKLER RISER	FSR
FSL	FIRE SPRINKLER LINE	FSL
	FIRE DEPARTMENT CONNECTION	FDC
	FINISHED FLOOR	FF
	FLOW LINE	FL
▲	FIRE RATED PENETRATION	
	POINT OF DISCONNECTION	POD
	POINT OF CONNECTION	POC

CALIFORNIA GREEN BUILDING STANDARDS

THE FOLLOWING SHALL BE REQUIRED WHETHER OR NOT SPECIFICALLY SHOWN OR MENTIONED IN DRAWINGS AND/OR SPECIFICATIONS:

5.303.1 METERS: SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR USES DESCRIBED IN SECTIONS 5.303.1.1 AND 5.303.1.2.

5.303.1.1 NEW BUILDINGS OR ADDITIONS IN EXCESS OF 50,000 SQUARE FEET:
1. FOR EACH INDIVIDUAL LEASED, RENTED, OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTEED TO CONSUME MORE THAN 100 GAL/DAY, INCLUDING, BUT NOT LIMITED TO, SPACES USED FOR LAUNDRY OR CLEANERS, RESTAURANT OR FOOD SERVICE, MEDICAL OR DENTAL OFFICE, LABORATORY, OR BEAUTY SALON OR BARBER SHOP.
2. WHERE SEPARATE SUBMETERS FOR INDIVIDUAL BUILDING TENANTS ARE UNFEASIBLE, FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS:
   a. MAKE-UP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER THAN 500 GPM.
   b. MAKE-UP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6 GPM.
   c. STEAM AND HOT-WATER BOILERS WITH ENERGY INPUT MORE THAN 500,000 BTUH/H.

5.303.1.2 EXCESS CONSUMPTION: A SEPARATE SUBMETER OR BE PROVIDED FOR ANY TENANT WITHIN A NEW BUILDING OR WITHIN AN ADDITION THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GAL/DAY.

5.303.2 RESERVED

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS: PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

5.303.3.1 WATER CLOSETS: THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

5.303.3.2 URINALS:

5.303.3.2.1 WALL-MOUNTED URINALS: THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH.

5.303.3.2.2 FLOOR-MOUNTED URINALS: THE EFFECTIVE FLUSH VOLUME OF FLOOR-MOUNTED URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

5.303.3.2.1 WALL-MOUNTED URINALS: THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH.

5.303.3.2.2 FLOOR-MOUNTED URINALS: THE EFFECTIVE FLUSH VOLUME OF FLOOR-MOUNTED URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

5.303.3.3 SHOWERHEADS:

5.303.3.3.1 SINGLE SHOWERHEAD: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

5.303.3.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER: WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

5.303.3.4 FAUCETS AND FOUNTAINS:

5.303.3.4.1 NONRESIDENTIAL LAVATORY FAUCETS: LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.2 KITCHEN FAUCETS: KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.3 WASH FOUNTAINS: WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE/20 [RIM SPACE (INCHES) AT 60 PSI].

5.303.3.4.4 METERING FAUCETS: METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS PER CYCLE.

5.303.3.4.5 METERING FAUCETS FOR WASH FOUNTAINS: METERING FAUCETS FOR WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.20 GALLONS PER CYCLE/20 [RIM SPACE (INCHES) AT 60 PSI]. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

PLUMBING TESTING

1. ALL EQUIPMENT AND/OR SYSTEMS NOTED ON THE DRAWINGS "TO REMAIN" SHALL BE INSPECTED AND TESTED ON SITE TO CERTIFY WORKING CONDITION. A WRITTEN REPORT ON THE CONDITION OF ALL EQUIPMENT TO REMAIN, INCLUDING A COPY OF THE TEST RESULTS AND RECOMMENDED REMEDIAL ACTIONS AND COSTS SHALL BE MADE BY THIS CONTRACTOR TO THE ARCHITECT/ENGINEER FOR REVIEW.
2. PIPE COVER AND BACKFILLING:
   A. AFTER HYDROSTATIC TEST, EVENLY BACKFILL ENTIRE TRENCH WIDTH BY HAND PLACING BACKFILL MATERIAL AND HAND TAMPING IN FOUR (4) ICHES COMPACTED LAYERS TO 12 INCHES MINIMUM COVER OVER TOP OF JACKET. COMPACT TO 95 PERCENT MAXIMUM DENSITY.
   B. EVENLY AND CONTINUOUSLY BACKFILL REMAINING TRENCH DEPTH IN
   C. UNIFORM LAYERS WITH BACKFILL MATERIAL.
   D. DO NOT USE WHEELED OR TRACKED VEHICLES FOR TAMPING.
3. PRESSURE TEST ALL DOMESTIC WATER PIPING. AFTER INSTALLATION AND PRIOR TO BACKFILL OR COVER-UP, RINSE PIPING SYSTEM OF PARTICULATE CONTAMINANTS, CAP AND SUBJECT TO STATIC WATER PRESSURE OF 125 PSIG FOR FOUR (4) HOURS. REPAIR LEAKS AND DEFECTS AND RE-TEST ANY PORTION OF PIPING SYSTEM THAT FAILS. PROVIDE WRITTEN TEST REPORT INCLUDING DATE AND TIME OF TEST, PASS OR FAIL INDICATION, SUMMARY OF REMEDIAL WORK REQUIRED AND DATE AND TIME OF EACH RE-TEST.
4. PRIOR TO COVER UP, WATER PIPE, SANITARY PIPE, AND GAS PIPING SHALL BE PRESSURE TESTED. TESTS SHALL BE WITNESSED BY CONSULTANT AND OWNER. NOTIFY OWNER 48 HOURS PRIOR TO TEST. TEST SHALL BEWITNESSED BY CLIENT PLUMBING TECHNICIAN.
5. UPON COMPLETION OF THE SANITARY PIPING SYSTEM, THE CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER TO OBSERVE A SMOKE TEST OF THE SYSTEM. SMOKE TESTING SHALL BE PERFORMED ON SANITARY PIPING SYSTEM TWICE DURING CONSTRUCTION.
6. PRESSURE TEST NATURAL GAS PIPING IN ACCORDANCE WITH NFPA 54. CA PLUMBING CODE SECTION 1213

GENERAL PLUMBING NOTES

1. ALL BRACING OF PIPING SHALL BE INSTALLED IN ACCORDANCE WITH HAZARD LEVEL 'A'.
2. WHERE BRACING DETAILS ARE NOT SHOWN ON THE DRAWINGS OR IN THE GUIDELINES, THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT, MECHANICAL ENGINEER AND FIELD INSPECTOR.
3. SUPPORT AND BRACING OF ALL PIPING SHALL BE IN ACCORDANCE FOR SEISMIC RESTRAINTS OF PLUMBING PIPING SYSTEMS", OR THE "SUPERSTRUT SEISMIC RESTRAINT SYSTEM" FOR PIPING ONLY.
4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY EXISTING CONDITIONS WHICH CONFLICT WITH INFORMATION PROVIDED IN CONSTRUCTION DOCUMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL PIPE ROUTING WITH WORK OF OTHER TRADES AND MAKE ANY OFFSETS AS REQUIRED TO AVOID CONFLICT WITH DUCTWORK, LIGHT FIXTURES, SKYLIGHTS, ETC.
6. PLUMBING CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL CONDENSATE DRAIN CONNECTIONS TO MECHANICAL EQUIPMENT.
7. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PLUMBING CONDITIONS PRIOR TO PROCEEDING WITH INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT/ ENGINEER OF ANY EXISTING CONDITIONS WHICH CONFLICT WITH INFORMATION PROVIDED IN CONSTRUCTION DOCUMENTS.
8. FOR PLUMBING FIXTURE MOUNTING HEIGHTS AND LOCATIONS, REFER TO THE ARCHITECTURAL DRAWINGS.
9. ALL PLUMBING CONVEYING OR DISPENSING WATER FOR HUMAN CONSUMPTION SHALL COMPLY WITH AB 1953 FOR LEAD CONTENT.
10. REFER TO ARCHITECTURAL DRAWING FOR EXACT LOCATIONS OF FIXTURES, EQUIPMENT, ETC. DO NOT SCALE FROM PLUMBING DRAWINGS.
11. ALL WALL CLEAN-OUTS SHALL BE ACCESSIBLE BY AN ACCESS PANEL.
12. PROVIDE A DOUBLE EXTERIOR CLEAN-OUT (DFCO) ON ALL SANITARY LINES EXITING THE BUILDING.
13. ALL FLOOR DRAINS AND FLOOR SINKS SHALL BE PROVIDED WITH A TRAP PRIMER.
14. FIXTURES DESIGNATED AS ADA ACCESSIBLE BY ARCHITECT SHALL BE INSTALLED AT ADA ACCESSIBLE HEIGHT PER ARCHITECTURAL DETAILS.
15. ALL DOMESTIC COLD AND HOT WATER TAKE-OFFS SHALL HAVE AN ISOLATION SHUT-OFF VALVE.
16. CONTRACTOR SHALL DEWATER ANY AREA AT OR BELOW GRADE PRIOR TO SETTING EQUIPMENT.
17. ANY AND ALL WATER PIPING EXPOSED TO OUTSIDE ELEMENTS SHALL BE INSULATED TO PREVENT FREEZING.
18. ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE INSPECTION AUTHORITY. NOTHING IN THESE PLANS IS TO BE CONSTUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR OTHER APPLICABLE PROJECT SPECIFICATIONS:
    A. CALIFORNIA BUILDING CODE - 2022
    B. CALIFORNIA PLUMBING CODE - 2022
    C. CALIFORNIA MECHANICAL CODE - 2022
    D. CALIFORNIA ELECTRICAL CODE - 2022
    E. CALIFORNIA GREEN CODE - 2022
    F. NATIONAL FIRE PROTECTION ASSOCIATION
    G. OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE FACILITY, UTILITIES AND APPURTENANCE CAUSED BY THE WORK IN THEIR SCOPE. CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGE AT NO ADDITIONAL COST TO THE OWNERS BY INSTALLATION THE FACILITY OF NEW WORK.

MEP COMPONENT ANCHORAGE NOTES:

ALL MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS SHALL BE ANCHORED AND INSTALLED PER THE DETAILS ON THE DSA APPROVED CONSTRUCTION DOCUMENTS. THE FOLLOWING COMPONENTS SHALL BE ANCHORED OR BRACED TO MEET THE FORCE AND DISPLACEMENT REQUIREMENTS PRESCRIBED IN THE 2022 CBC, SECTIONS 1617A.1.18 THROUGH 1617A.1.26 AND ASCE 7-16 CHAPTER 13, 26 AND 30:

1. ALL PERMANENT EQUIPMENT AND COMPONENTS.
2. TEMPORARY, MOVABLE OR MOBILE EQUIPMENT THAT IS PERMANENTLY ATTACHED (e.g. HARD WIRED) TO THE BUILDING UTILITY SERVICES SUCH AS ELECTRIC, GAS OR WATER. "PERMANENTLY ATTACHED" SHALL INCLUDE ALL ELECTRICAL CONNECTIONS EXCEPT PLUGS FOR 110/220 VOLT RECEPTACLES HAVING A FLEXIBLE CABLE.
3. TEMPORARY, MOVABLE OR MOBILE EQUIPMENT WHICH IS HEAVIER THAN 400 POUNDS OR HAS A CENTER OF MASS LOCATED 4 FEET OR MORE ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT IS REQUIRED TO BE RESTRAINED IN A MANNER APPROVED BY DSA.

THE FOLLOWING MECHANICAL AND ELECTRICAL COMPONENTS SHALL BE POSITIVELY ATTACHED TO THE STRUCTURE BUT NEED NOT DEMONSTRATE DESIGN COMPLIANCE WITH THE REFERENCES NOTED ABOVE. THESE COMPONENTS SHALL HAVE FLEXIBLE CONNECTIONS PROVIDED BETWEEN THE COMPONENT AND ASSOCIATED DUCTWORK, PIPING, AND CONDUIT. FLEXIBLE CONNECTIONS MUST ALLOW MOVEMENT IN BOTH TRANSVERSE AND LONGITUDINAL DIRECTIONS:

1. COMPONENTS WEIGHING LESS THAN 400 POUNDS AND HAVE A CENTER OF MASS LOCATED 4 FEET OR LESS ABOVE THE ADJACENT FLOOR OR ROOF LEVEL THAT DIRECTLY SUPPORT THE COMPONENT.
2. COMPONENTS WEIGHING LESS THAN 20 POUNDS, OR IN THE CASE OF DISTRIBUTED SYSTEMS, LESS THAN 5 POUND PER FOOT, WHICH ARE SUSPENDED FROM A ROOF OR FLOOR OR HUNG FROM A WALL.

THE ANCHORAGE OF ALL MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS SHALL BE SUBJECT TO THE APPROVAL OF THE DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE OR STRUCTURAL ENGINEER DELEGATED RESPONSIBILITY AND ACCEPTANCE BY DSA. THE PROJECT INSPECTOR WILL VERIFY THAT ALL COMPONENTS AND EQUIPMENT HAVE BEEN ANCHORED IN ACCORDANCE WITH ABOVE REQUIREMENTS.

PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEM BRACING NOTE

PIPING, DUCTWORK, AND ELECTRICAL DISTRIBUTION SYSTEMS SHALL BE BRACED TO COMPLY WITH THE FORCES AND DISPLACEMENTS PRESCRIBED IN ASCE 7-16 SECTION 13.3 AS DEFINED IN ASCE 7-16 SECTION 13.6.5, 13.6.6, 13.6.7, 13.6.8; AND 2022 CBC, SECTION 1617A.1.24, 1617A.1.25, AND 1617A.1.26.

THE METHOD OF SHOWING BRACING AND ATTACHMENTS TO THE STRUCTURE FOR THE IDENTIFIED DISTRIBUTION SYSTEM ARE AS NOTED BELOW. WHEN BRACING AND ATTACHMENTS ARE BASED ON A PREAPPROVED INSTALLATION GUIDE (E.G., OSHPD OPM FOR2013 CBC OR LATER), COPIES OF THE BRACING SYSTEM INSTALLATION GUIDE OR MANUAL SHALL BE AVAILABLE ON THE JOBSITE PRIOR TO START OF AND DURING THE HANGING AND BRACING OF DISTRIBUTION SYSTEMS. THE STRUCTURAL ENGINEER OF RECORD SHALL VERIFY ADEQUACY OF THE STRUCTURE TO SUPPORT THE HANGER AND BRACE LOADS.

MECHANICAL PIPING (MP), MECHANICAL DUCTS (MD), PLUMBING PIPING (PP), ELECTRICAL DISTRIBUTION SYSTEMS (E):

MP ☐ MD ☐ PP ☒ E ☐ OPTION 1: DETAILED ON THE APPROVED DRAWINGS WITH PROJECT SPECIFIC NOTES & DETAILS.

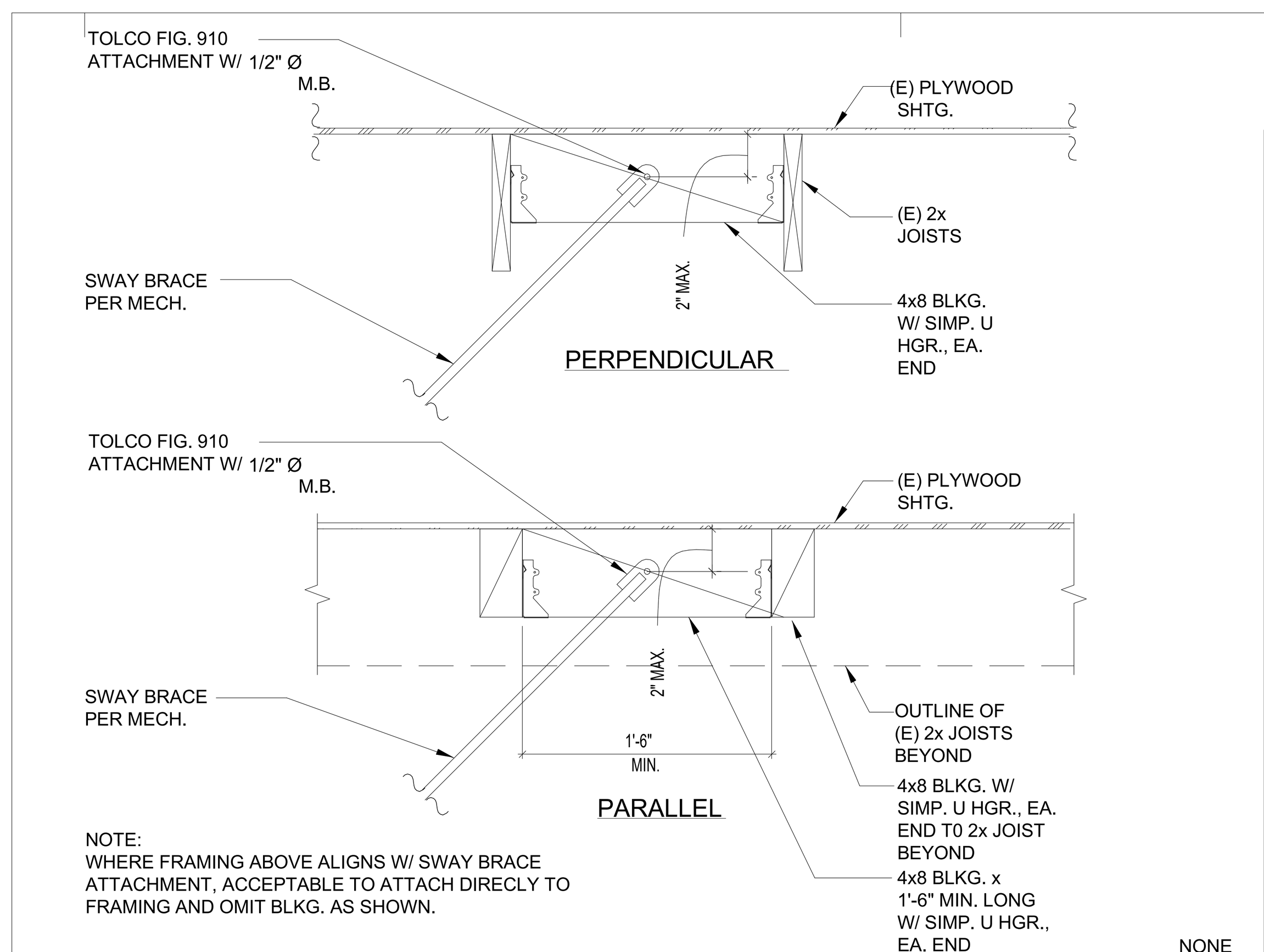
MP ☐ MD ☐ PP ☐ E ☐ OPTION 2: SHALL COMPLY WITH THE APPLICABLE OSHPD PRE-APPROVAL (OPM #) #____________.

DRAWING INDEX

ABBREVIATIONS

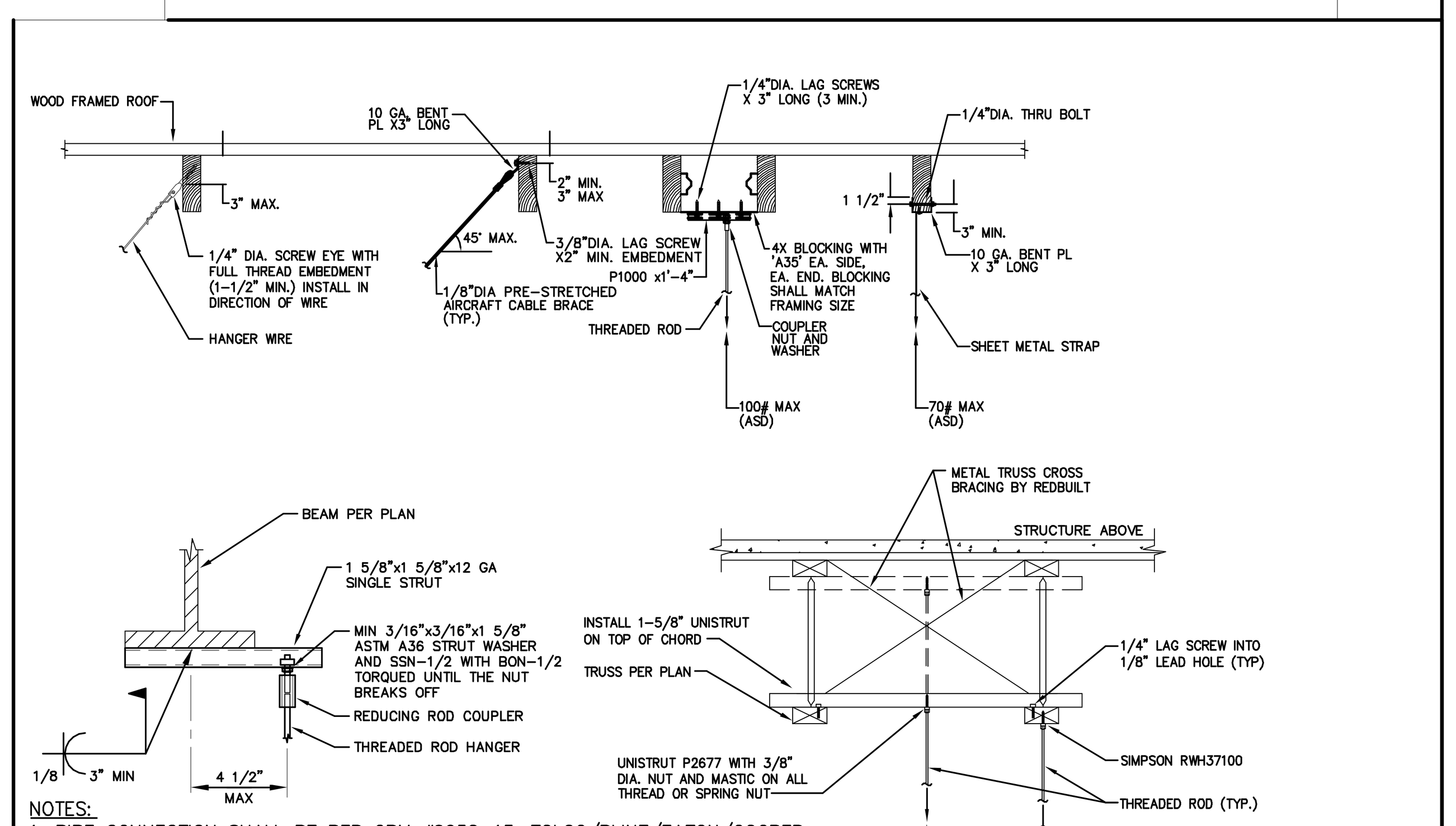
NOTE: 1. ALL ABBREVIATIONS MAY NOT BE USED ON THESE DRAWINGS.

AAP	AREA ALARM PANEL	MH	MANHOLE
AAV	AUTOMATIC AIR VENT	MS	MOP SINK
A.F.F.	ABOVE FINISHED FLOOR	N.C.	NORMALLY CLOSED
AP	ACCESS PANEL	NIC	NOT IN CONTRACT
B.F.F.	BELOW FINISHED FLOOR	N.O.	NORMALLY OPEN
BFP	BACKFLOW PREVENTER	O.F./C.I.	OWNER FURNISHED/CONTRACTOR INSTALLED
BOB	BOTTOM OF BEAM	O.F./O.I.	OWNER FURNISHED/OWNER INSTALLED
BOP	BOTTOM OF PIPE	OFD	OVERFLOW DRAIN
BTUH	BRITISH THERMAL UNITS PER HOUR	PH	PHASE
CA	COMPRESSED AIR	PIV	POST INDICATOR VALVE
C/C	CUT AND CAP	PRV	PRESSURE REDUCING VALVE
CFH	CUBIC FEET PER HOUR	RD	ROOF DRAIN
CFS	CUBIC FEET PER SECOND	RE:	REFER TO
CI	CAST IRON	R.I.C.	ROUGH-IN AND CONNECT
CLG	CEILING	RO	REVERSE OSMOSIS
CO	CLEANOUT	RPBFP	REDUCED PRESSURE BACKFLOW PREVENTER
CONN	CONNECTION	RPM	REVOLUTIONS PER MINUTE
CONT.	CONTINUATION	RVB	REFRIGERATOR VALVE BOX
DF	DRINKING FOUNTAIN	SD	STORM DRAIN
DPV	DRY PIPE VALVE	S.F.	SQUARE FEET
DWG.	DRAWING	SIA.	SIAMESE
EA	EACH	SK	SINK
EL.	ELEVATION	T.O.P.	TOP OF PIPE
EDF	ELECTRIC DRINKING FOUNTAIN	TP	TRAP PRIMER
FCO	FLOOR CLEANOUT	TYP	TYPICAL
FD	FLOOR DRAIN	U	URINAL
FDV	FIRE DEPARTMENT VALVE	U/F	UNDERFLOOR
F.F.	FINISHED FLOOR	U/S	UNDERSLAB
FHC	FIRE HOSE CABINET	VAC. BRKR.	VACUUM BREAKER
F.L.	FLOW LINE	VIF	VERIFY IN FIELD
FS	FLOOR SINK	VTR	VENT THRU ROOF
FT	FEET	WC	WATER CLOSET
FU	FIXTURE UNITS	WCO	WALL CLEANOUT
GC	GENERAL CONTRACTOR	WH	WALL HYDRANT
GPH	GALLONS PER HOUR	WMB	WASHING MACHINE BOX
GPM	GALLONS PER MINUTE	YH	YARD HYDRANT
HB	HOSE BIBB	ZV	ZONE VALVE
HP	HORSEPOWER	(A)	ITEM NOTED TO BE ABANDONED
I.E.	INVERT ELEVATION	(D)	ITEM NOTED TO BE DEMOLISHED
KW	KILOWATTS	(E)	EXISTING ITEM
LAV	LAVATORY	(N)	NEW ITEM
MAP	MASTER ALARM PANEL	(R)	ZFITEM NOTED TO RELOCATED
MECH	MECHANICAL		



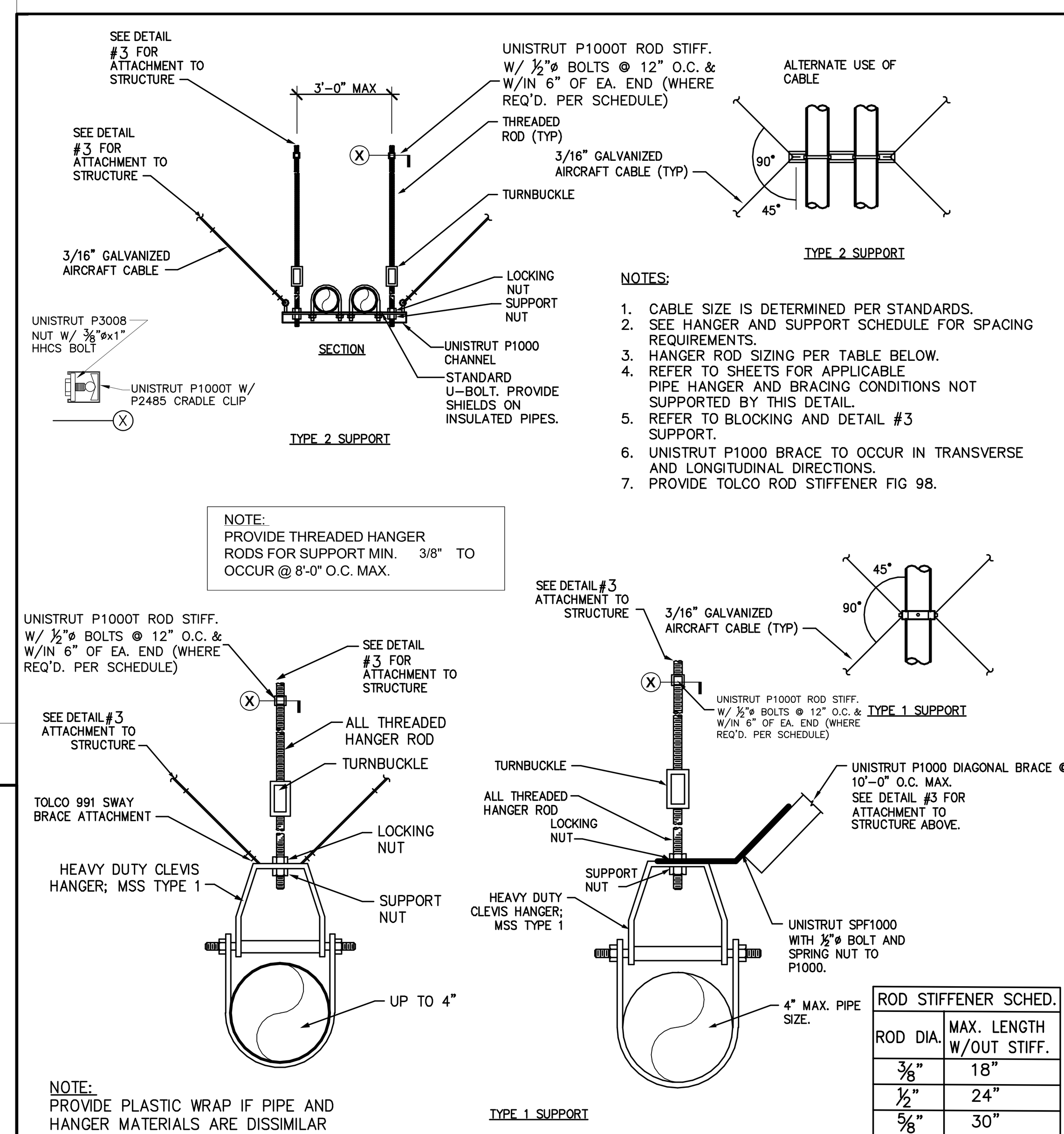
NONE

SWAY BRACE CONN. TO ROOF — 3



NOTES:
1. PIPE CONNECTION SHALL BE PER OPM #0052-13, TOLCO/BLINE/EATON/COOPER INDUSTRIES.
2. REFER TO DETAILS #1,3 ROD SUPPORT DETAILS.
3. WHERE SUPPORT IS AT BOTTOM TRUSS CHORD, PROVIDE METAL TRUSS CROSS BRACING AT EACH BOTTOM CHORD PANEL ON EITHER SIDE OF THE UNISTRUT SUPPORT. REFER TO REDBUILT TRUSS DRAWINGS, SHEET 3 OF 23.

PIPE CONNECTION DETAILS — 2



ROD STIFFENER SCHED.

ROD DIA.	MAX. LENGTH W/OUT STIFF.
⅜"	18"
½"	24"
⅝"	30"

2022 CPC, TABLE 313.3
HANGERS AND SUPPORT

PIPE MATERIAL	TYPE OF JOINTS	HORIZONTAL	VERTICAL
CAST-IRON HUBLESS	SHIEDED COUPLING	EVERY OTHER JOINT, UNLESS OVER 4 FEET THEN SUPPORT EACH JOINT[1,2,3,4]	BASE AND EACH FLOOR A MAXIMUM OF 15 FEET
COPPER TUBE AND PIPE	SOLDERED OR BRAZED	1-1/2" AND SMALLER, 6 FEET; 2" AND LARGER, 10 FEET	EACH FLOOR NOT TO EXCEED 10 FEET
STEEL PIPE FOR GAS	THREADED OR WELDED	1/2", 6 FEET; 3/4" AND 1", 8 FEET; 1 1/4" AND LARGER, 10 FEET	1/2", 6 FEET; 3/4" AND 1", 8 FEET; 1 1/4" AND LARGER, EVERY FLOOR

NOTES:
1. SUPPORT ADAJACENT TO JOINT, NOT TO EXCEED 18 INCHES (457 mm).
2. BRACE NOT TO EXCEED 40 FEET (12,192 mm) INTERVALS TO PREVENT HORIZONTAL MOVEMENT.
3. SUPPORT AT EACH HORIZONTAL BRANCH CONNECTIONS.
4. HANGERS SHALL NOT BE PLACED ON THE COUPLING.
5. VERTICAL WATER LINES SHALL BE PERMITTED TO BE SUPPORTED IN ACCORDANCE WITH RECONIZED ENGINEERING PRINCIPLES WITH REGARD TO EXPANSION AND CONTRACTION, WHERE FIRST APPROVED BY THE AUTHORITY HAVING JURISDICTION.
6. LATERAL AND LONGITUDINAL MOVEMENTS SHALL BE PER SEISMIC RESTRAINT MANUAL.

2022 CPC, TABLE 313.6
HANGER ROD SIZES

PIPE & TUBE SIZE (INCHES)	ROD SIZE (INCHES)
1/2 - 4	3/8
5 - 8	1/2
10 - 12	5/8

NOTES:
1. PROVIDE ROD SIZE FROM THIS CHART IN ACCORDANCE 2022 CPC TABLE 313.6.

PIPE SUPPORT DETAILS — 1

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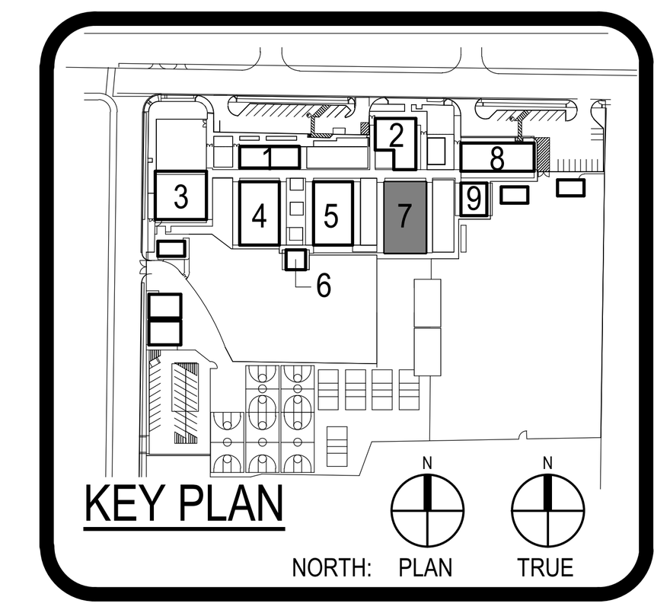
WALNUT GROVE I.S. - SCIENCE LAB MOD.

PROJECT ADDRESS:
614 E Vine Ave.
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

WEST COVINA Unified School District



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Architect

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DATE	PROJECT NUMBER
02/22/2023	220117

REVISIONS

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PLUMBING SHEET INDEX, LEGEND, AND NOTES

P0.00

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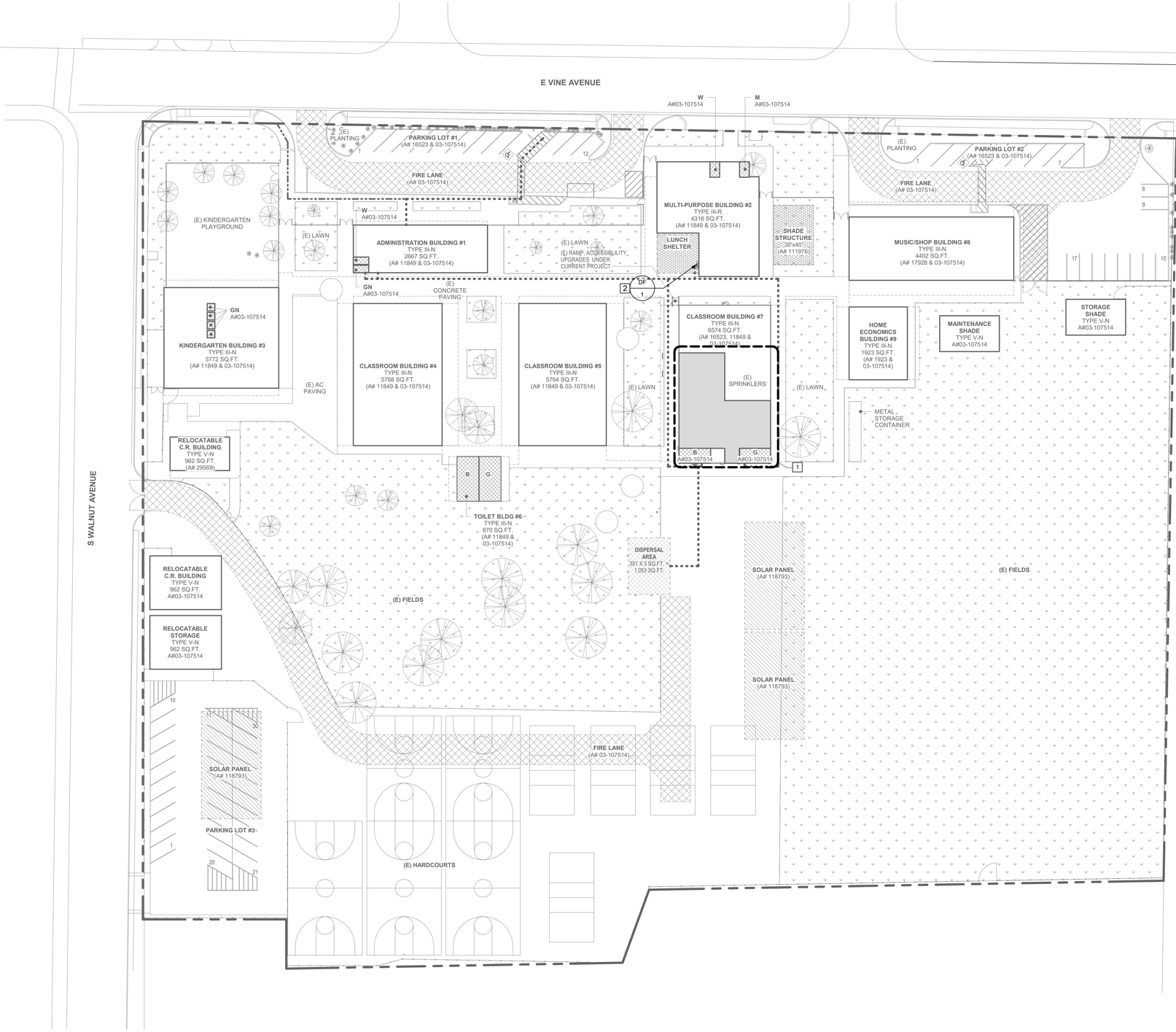
P1.01 - PLUMBING SITE PLAN

0" 1"



NORTH

KEY NOTES

1 AREA OF WORK.

2 ROUGH-IN, EXTEND AND CONNECT 2" WASTE TO EXISTING PIPING BELOW FLOOR; 1-1/2" VENT AND 3/4" COLD WATER FROM THE EXISTING PIPING OVERHEAD IN NEAR PROXIMITY OF THE ADDITIONAL DRINKING FOUNTAIN. COORDINATE POWER REQUIREMENT QUAD-RECEPTACLE WITH ELECTRICAL CONTRACTOR. PATCH TO MATCH FINISH.

1 PLUMBING SITE PLAN
1" = 30'-0"

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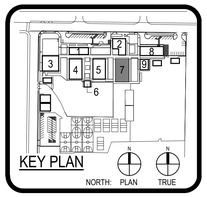

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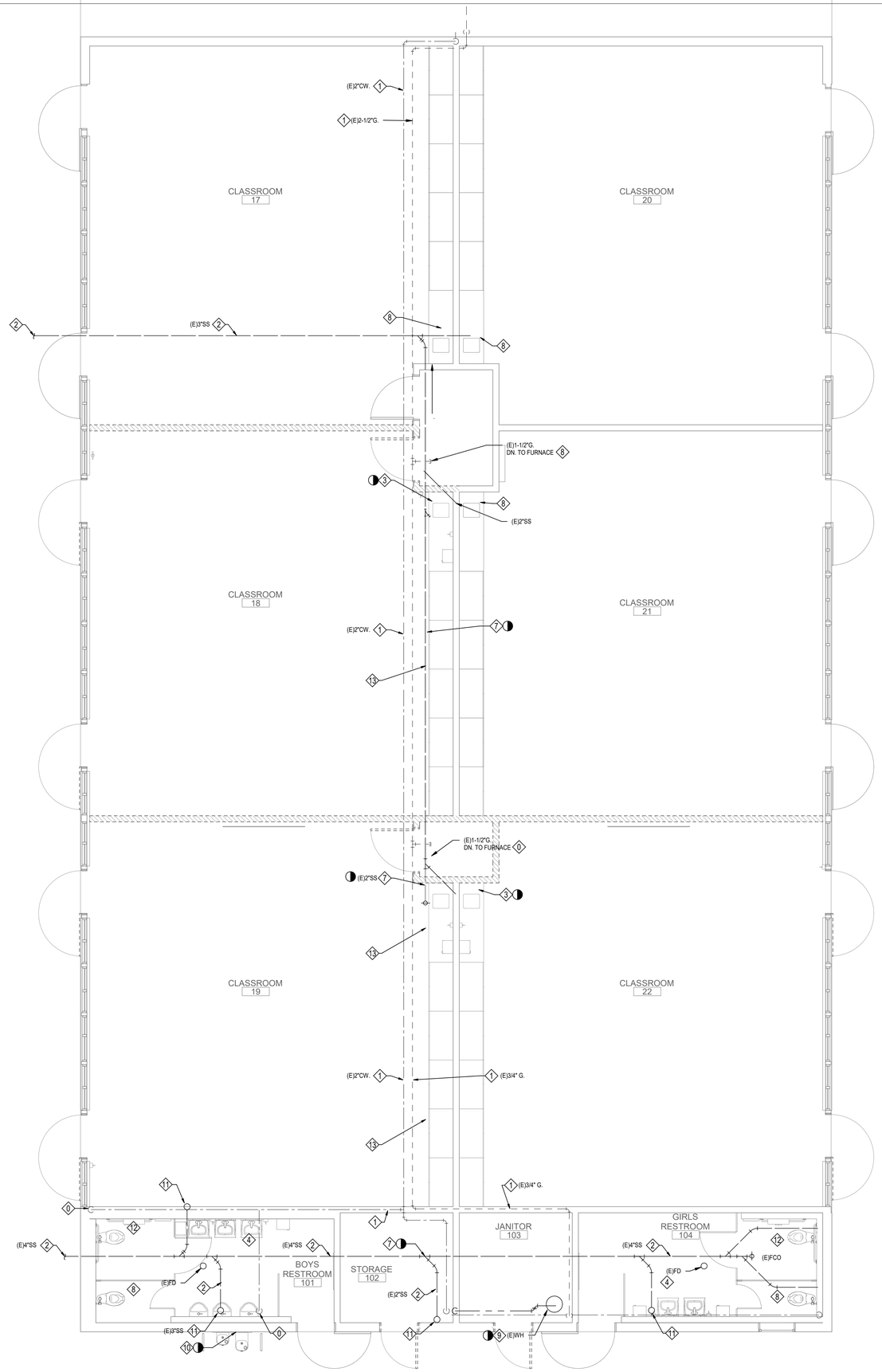
PLUMBING SITE PLAN

P1.01

P2.01 - PLUMBING DEMOLITION FLOOR PLAN - BLDG 7

0" 1"



1 PLUMBING DEMOLITION FLOOR PLAN - BLDG 7
1/4" = 1'-0"

DEMOLITION KEY NOTES

1. EXISTING PIPING ABOVE IN CEILING SPACE TO REMAIN
2. EXISTING PIPING BELOW GRADE TO BE REMAIN .
3. REMOVE EXISTING CLASSROOM SINK. CAP EXISTING SEWER AND VENT AND WATER PIPING WITHIN THE WALL. WHERE PLANS INDICATE NEW FIXTURES OR EQUIPMENT CONNECTING TO EXISTING SERVICES, PLUMBING CONTRACTOR SHALL MODIFY AND/OR EXTEND EXISTING PIPING OR ROUGH-INS AS REQUIRED TO SUIT THE NEW FIXTURE.
4. REMOVE AND REPLACE EXISTING , LAVATORY . TEMPORARILY CAP EXISTING SEWER AND VENT AND WATER PIPING WITHIN THE WALL. . WHERE PLANS INDICATE NEW FIXTURES OR EQUIPMENT CONNECTING TO EXISTING SERVICES, PLUMBING CONTRACTOR SHALL MODIFY AND/OR EXTEND EXISTING PIPING OR ROUGH-INS AS REQUIRED TO SUIT THE NEW FIXTURE.
5. EXISTING 2" CW SUPPLY INTO BUILDING .
6. EXISTING VTR TO REMAIN
7. HATCH REPRESENTS AREA OF REMOVAL OF PIPING . REMOVE ALL PIPING IN WALL. CAP SEWER LINE BELOW GRADE AS REQUIRED. SAWCUT AND TRENCHING REQUIRED. PATCH AND SEAL AS REQUIRED.
8. EXISTING PLUMBING FIXTURE TO REMAIN
9. EXISTING WATER HEATER TO BE REMOVED AND REPLACED. REMOVE ALL APPURTENANCES. CAP EXISTING WATER SUPPLY TEMPORARILY. UTILIZE EXISTING FLUE THRU ROOF OPENING FOR NEW REPLACEMENT.
10. EXISTING DRINKING FOUNTAIN TO BE REMOVED AND REPLACED. TEMPORARILY CAP EXISTING SEWER , VENT AND WATER PIPING WITHIN THE WALL .
11. EXISTING PIPING WITHIN THE WALL TO REMAIN.
12. REMOVE AND REPLACE EXISTING , WATER CLOSET . TEMPORARILY CAP EXISTING SEWER AND VENT AND WATER PIPING WITHIN THE WALL . WHERE PLANS INDICATE NEW FIXTURES OR EQUIPMENT CONNECTING TO EXISTING SERVICES, PLUMBING CONTRACTOR SHALL MODIFY AND/OR EXTEND EXISTING PIPING OR ROUGH-INS AS REQUIRED TO SUIT THE NEW FIXTURE.
13. REMOVE AND PREPARE AREA FOR TRENCHING; REFER TO ARCHITECTURAL PLANS SHEET A2.01. FOR LOCATION, DEPTH, WIDTH SEE DETAIL 2 / P6.01

CONSTRUCTION NOTES

1. FOR CONTINUATION OF ALL UTILITIES SEE BUILDING AS-BUILTS
2. BEFORE COMMENCEMENT OF WORK , THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF ALL UTILITIES AND PIPING BY PHYSICAL EXCAVATION AND SHALL IMMEDIATLEY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND POINTS OF CONNECTIONS PRIOR TO BIDDING THE PROJECT.
4. WHERE PLANS INDICATE NEW FIXTURES OR EQUIPMENT CONNECTING TO EXISTING SERVICES, PLUMBING CONTRACTOR SHALL MODIFY AND OR EXTEND EXISTING PIPING OR ROUGH INS AS REQUIRED TO SUIT THE NEW FIXTURE.
5. THE PLUMBING CONTRACTOR SHALL RUN ALL SERVICE LINES, ROUGH IN AND MAKE FINAL CONNECTIONS TO ALL FIXTURES AND EQUIPMENT. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL TRIMS, TAILPIECES, STRAINERS, P-TRAPS, ARMS, HOT AND COLD WATER STOPS AND FAUCETS AS REQUIRED.
6. ALL SLEEVES THRU MASONRY WALLS & FOOTINGS SHALL BE MIN. TWO PIPE SIZES LARGER THAN THE PIPE GOING THRU IT. PROVIDE ALL SLEEVES.

NORTH

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WALNUT GROVE I.S. - SCIENCE LAB MOD.

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DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110

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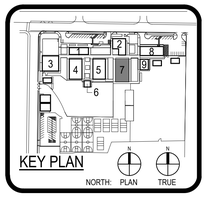

Consultant

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PLUMBING DEMOLITION FLOOR PLAN - BLDG 7

P2.01

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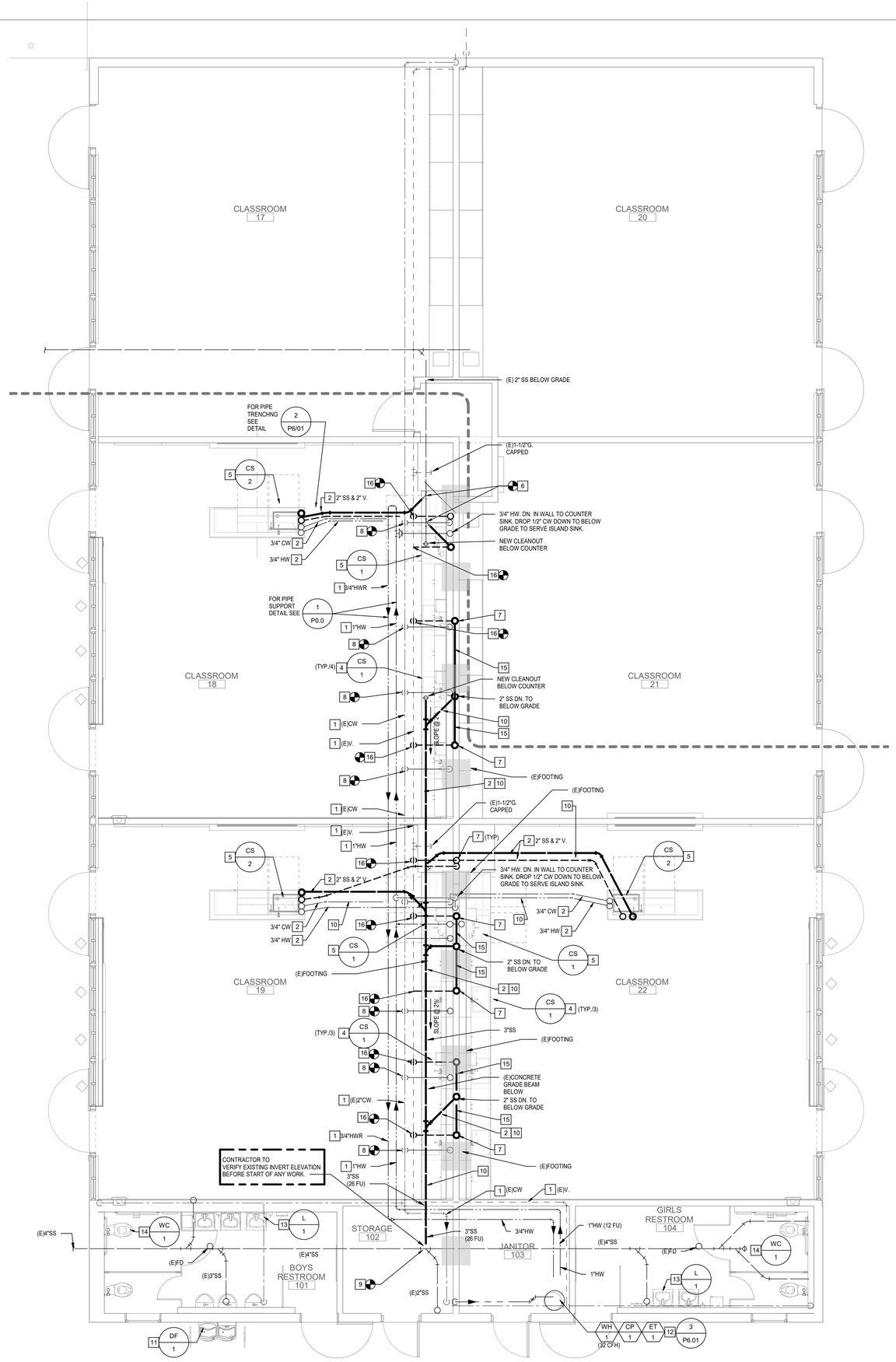
0" 1"



KEY NOTES

1. PIPING ABOVE IN CEILING SPACE
2. PIPING BELOW FLOOR / GRADE
3. PROVIDE 1-1/4" CW , 4" SANITARY SEWER AND 2" VENT TO WATER CLOSET.
4. CLASSROOM SINK AND FAUCET TO BE INSTALLED ADA COMPLIANT. PLUMBING CONTRACTOR TO SUPPLY & INSTALL NEW ANGLE STOP, SINK SUPPLY, COMPLETE WITH LOOSE KEY, CHROME ESCUTCHEON PLATE COMPRESSION INLET, HEAVY DUTY OUTLET RISER. PROVIDE 2" SANITARY SEWER , 1-1/2" VENT AND 1/2" CW
5. CLASSROOM SINK AND FAUCET TO BE INSTALLED ADA COMPLIANT. PLUMBING CONTRACTOR TO SUPPLY & INSTALL NEW ANGLE STOP, SINK SUPPLY, COMPLETE WITH LOOSE KEY, CHROME ESCUTCHEON PLATE COMPRESSION INLET, HEAVY DUTY OUTLET RISER. PROVIDE 2" SANITARY SEWER , 1-1/2" VENT AND 1/2" HOT AND CW
6. POINT OF CONNECTION TO EXISTING 2" SEWER BELOW GRADE
7. 2" VENT RISE UP IN WALL, POINT OF CONNECTION TO EXISTING VENT ABOVE IN CEILING SPACE
8. POINT OF CONNECTION TO EXISTING 2" CW ABOVE IN CEILING SPACE
9. POINT OF CONNECTION TO EXISTING 4" SEWER ABOVE IN CEILING SPACE
10. FOR TRENCHING AND HATCH AREAS REFER TO ARCHITECTURAL PLANS SHEET A2.01
11. DRINKING FOUNTAIN INSTALLED AT ACCESSIBLE HEIGHT ; REFER TO ARCHITECTURAL PLANS FOR DETAILS. PLUMBING CONTRACTOR TO SUPPLY & INSTALL NEW ROUGH-IN, ANGLE STOP, SUPPLY LINE, EXTEND AND PROVIDE 2" SANITARY SEWER , 1-1/2" VENT AND 1/2" CW. PREPARE FOR RECONNECTION UNDER REMODEL PHASE. PATCH TO MATCH FINISH.
12. PROVIDE NEW WATER HEATER. RE-CONNECT TO EXISTING COLD WATER LINE. PROVIDE 1" HOT WATER LINE, 3/4" HWR LINE W/SOV'S. RECONNECT TO EXISTING GAS LINE. EXTEND AND MODIFY AS REQUIRED. POC TO EXISTING FLUE OPENING. PREPARE FOR RECONNECTION UNDER REMODEL PHASE. PATCH TO MATCH FINISIH.
13. LAVATORY SINK AND FAUCET TO BE INSTALLED ADA COMPLIANT. PLUMBING CONTRACTOR TO SUPPLY & INSTALL NEW ANGLE STOP, SINK SUPPLY, COMPLETE WITH LOOSE KEY, CHROME ESCUTCHEON PLATE COMPRESSION INLET, HEAVY DUTY OUTLET RISER. PROVIDE 2" SANITARY SEWER , 1-1/2" VENT AND 1/2" CW
14. PROVIDE NEW WATER CLOSET. EXTEND AND RE-CONNECT TO EXISTING 4" SANITARY SEWER , 1-1/4" VENT AND 1 1/2" CW. PREPARE FOR RECONNECTION UNDER REMODEL PHASE. PATCH TO MATCH FINISIH.
15. 2" SS ABOVE GRADE IN FURRED OUT WALL. SLOPE @ 2%
16. POC TO (E) VENT ABOVE IN CEILING SPACE

CONSTRUCTION NOTES

1. FOR CONTINUATION OF ALL UTILITIES SEE BUILDING AS-BUILTS
2. BEFORE COMMENCEMENT OF WORK , THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS, ELEVATIONS AND CHARACTERISTICS OF ALL UTILITIES AND PIPING BY PHYSICAL EXCAVATION AND SHALL IMMEDIATLEY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES
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6. ALL SLEEVES THRU MASONRY WALLS & FOOTINGS SHALL BE MIN. TWO PIPE SIZES LARGER THAN THE PIPE GOING THRU IT, PROVIDE ALL SLEEVES.

NORTH

1 PLUMBING NEW FLOOR PLAN - BLDG 7
1/4" = 1'-0"

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WALNUT GROVE I.S. - SCIENCE LAB MOD.

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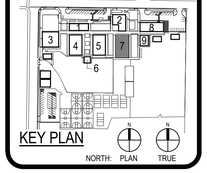

Consultant

REGISTERED PROFESSIONAL ENGINEER REX DAVID WANG No.M36155 Exp.09-30-2024 STATE OF CALIFORNIA

Architect

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DATE	PROJECT NUMBER
02/22/2023	220117

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No.	Description	Date

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PLUMBING NEW FLOOR PLAN - BLDG 7

P2.02

GAS WATER HEATER SCHEDULE

NO.	SERVICE	LOCATION	MANUFACTURER MODEL	TANK CAPACITY	STORAGE	OPER. WT.(LBS.)	BTUH	TEMP. RISE @°F	DIMENSIONS	REMARKS
WH 1	GAS WATER HEATER	CUSTODIAL RM.	A.O. SMITH GCR - 30R	30	29	385	32,000	65	60-1/2"H 18" DIA.	3/4" WATER CONNECTION, 1/2" GAS SUPPLY , 4" DIA. FLUE, EXTERNAL HEAT TRAPS, GLASS LINED. CSA CERTIFIED, ASME RATED,T&P RELIEF VALVE.

CIRCULATOR PUMP SCHEDULE

NO.	SERVICE	LOCATION	MANUFACTURER MODEL	TYPE	EFFICIENCY	GPM	TDH	WATTS	RPM	VOLT/PH/HZ	OPER. WT.(LBS.)	REMARKS
CP 1	DOM. HOT WATER	CUSTODIAL RM.	BELL & GOSSETT NBF-12	VERTICAL, IN-LINE	74%	5	7	39	2800	115/1/60	9.0	

EXPANSION TANK SCHEDULE

NO.	SERVICE	LOCATION	MANUFACTURER MODEL	QUANTITY	TOTAL VOL.(GAL)	HEIGHT	DIAM.	OPER. WT.(LBS.)	REMARKS
ET 1	DOMESTIC HOT WATER	CUSTODIAL RM.	AMTROL INC THERM-X-TROL MODEL ST-5C	1	2.1	19 15/16"	16 1/4"	14	

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	S or W	V	CW	HW	DESCRIPTION
WC 1	WATER CLOSET	4"	2"	1-1/2"	---	AMERICAN STANDARD MADERA FLOWISE # 2854.128 FLOOR MOUNTED TOILET SYSTEM WITH SLOAN ROYAL 111-1.28 MANUAL FLUSH VALVE WITH METAL COVER AND 5901.100 HEAVY DUTY OPEN FRONT ADJUSTABLE SEAT. FLUSH VALVE HANDLE TO BE MOUNTED ON WIDE SIDE OF STALL : (ACCESSIBLE) CBC COMPLIANT
CS 1	CLASSROOM SINK	2"	2"	1/2"	-	JUST CRA-ADA-1725-A-GR-VRL-CT, 18 GA STAINLESS STEEL, 2 HOLE SINGLE COMPARTMENT 17" X 25" X 6-1/2, WITH GOOSENECK FAUCET W/VANDAL PROOF 2-3/8", LEVER HANDLE W/ VANDAL RESISTANT AERATOR FAUCET (1.5 GPM). PUSH BUTTON BUBBLER, DRAIN J-ADA-35-FS OFFSET FLAT STRAINER, SPEEDWAY COMPRESSION, P-TRAP, DEARBORN #760 LA PATTERN, WRAP, PLUMBEREX # 2004, TRAP, 2 SUPPLY - ANGLE STOP, & FAUCET COVER, ANGLE STOP, CHICAGO #1006ABCP, SUPPLY, BRASSCRAFT # S1-** A F STAINLESS STEEL BRAIDED FLEC. CBC COMPLIANT FOR ACCESS. (OR EQUAL)
CS 2	INSTRUCTOR CLASSROOM SINK	2"	2"	1/2"	1/2"	JUST SL-ADA-17519-A-GR, 18 GA STAINLESS STEEL, SINGLE COMPARTMENT, 14"X18"X4-1/2, 1-HOLE CENTERED WITH CHICAGO 350 SINGLE LEVER HANDLE FAUCET WITH 1.5 GPM FLOW RESTRICTOR, J-35-FS PERFORATED GRID DRAIN, SPEEDWAY COMPRESSION WALL STOPS & SUPPLY, P-TRAP. CBC COMPLIANT FOR ACCESS. (OR EQUAL) (PROVIDE GUARDIAN EYEWASH MODEL # GBF1849LH-L)
DF 1	DRINKING FOUNTAIN	2"	2"	3/4"	---	ELKAY NO. VRCTLBWSK WATER COOLERS, WALL MOUNTED. VANDAL-RESISTANT BOTTLE-FILLING STATION WITH BI-LEVEL COOLER FILTERED REFRIGERATED STAINLESS CONTROLLED BY TRANSFORMER 115 / 60HZ / 4.2 FLA 14 GAUGE STAINLESS STEEL MOUNTING BRACKET (L) VRCTL8, COMPLETE WITH VANDAL PROOF BOTTOM CHICAGO NO. 45LKABCP ANGLE STOP W/ 1/2" FEMALE INLET & OUTLET. MOUNT AT ADA-COMPLIANT / ACCESSIBLE HEIGHT.
L 1	LAVATORY	2"	1-1/2"	1/2"	-	AMERICAN STANDARD NO. 0355.012 "LUCERNE WALL HUNG LAVATORY" 20"X18" WALL HUNG, COMPLETE WITH CHICAGO NO. 2200-64BCP FAUCET WITH 0.5 GPM AERATOR AND VANDAL RESISTANT COVER PLATE. MCGUIRE NO. 155A 1-1/4" OUTLET "OPEN GRID P.O. PLUG" MCGUIRE NO. PW8090NC0 1-1/4" L.A. PATTERN P-TRAP WITH TRAP AND SUPPLYCOVERS, GALVANIZED NIPPLE AND CHROMIUM PLATED BRASS CASING, CHICAGO NO. 1017 -ABCP LOOSE KEY STOPSWITH RIGID SUPPLIES, AND ZURN NO. Z-1231CARRIER WITH STEEL PLATE.

NOTES:

1. ALL PLUMBING FIXTURES, FLUSH VALVES, FAUCETS, FLOOR DRAINS, FLOOR SINKS, DRINKING FOUNTAINS, ETC. SHALL BE VANDAL RESISTANT.
2. ALL PLUMBING FIXTURES SHALL COMPLY WITH CAL GREEN FLOW RATES FOR 20 PERCENT FLOW RATE REDUCTION PER TABLE 5.303.2.3.
3. COORDINATE ALL FIXTURES WITH ARCHITECT

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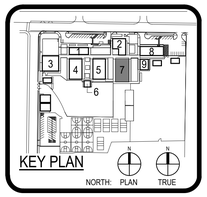

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PLUMBING SCHEDULE

P5.01

STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE			NRCC-PLB-E
This document is used to demonstrate compliance for nonresidential occupancies with requirements in 110.1, 110.3, 120.3, and 140.5, and with requirements in 141.0 for additions and alterations, for domestic water heating scopes using the prescriptive path. For high-rise residential and hotel/motel occupancies compliance is demonstrated with requirements in 110.1, 110.3, 160.4 and 170.2(d), and with requirements 180.1 for additions and 180.2 for alterations.			
Project Name:	WALNUT GROVE I.S. - Science Lab Modernization	**Report Page:**	**(Page 1 of 8)**
Project Address:		**Date Prepared:**	2023-02-27T19:33:14-05:00

A. GENERAL INFORMATION

01	Project Location (city)	Wet Covina	02	Climate Zone	9
03	Occupancy Types Within Project (select all that apply):				
• Classroom					

B. PROJECT SCOPE

This table includes domestic water heating systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive paths outlined in 140./ 170.2(d) and 141.0(a)/ 180.1, or 141.0(b)2N / 180.2 for additions or alterations. Solar water heating systems are documented on the NRCC-SAB compliance document. Combined hydronic water heating systems are documented on the NRCC-MCH compliance document.

01	02	03		
My project consists of (check all that apply):	System Type[1,2]	System Components		
☐ New system (DHW system being installed for the first time in newly constructed building)		☐ Equipment	☐ Distribution	☐ Controls
☒ System Alteration (equipment, distribution or controls)	Central System (serving nonresidential spaces)	☒ Equipment	☒ Distribution	☐ Controls
☒ System Alteration (equipment, distribution or controls)	Central System (serving nonresidential spaces)	☒ Equipment	☒ Distribution	☒ Controls

[1]FOOTNOTES: Point of use water heaters, or other non-central systems used to serve nonresidential spaces, are considered individual systems.
[2] Dwelling units refers to hotel/motel guest rooms and units in a multifamily residential occupancy.
[3] DHW systems serving 2 or more dwelling units are considered "Central Systems" for multifamily occupancies

C. COMPLIANCE RESULTS

Table C will indicate if the project data input into the compliance document is compliant with water heating requirements. If this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D. or the table indicated as not compliant for guidance.

01	02	03	04
Domestic Hot Water Equipment	Distribution Systems	Controls	**Compliance Results**
Table F	Table G	Table H	
Yes	Yes	Yes	COMPLIES

STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE			NRCC-PLB-E
Project Name:	WALNUT GROVE I.S. - Science Lab Modernization	**Report Page:**	**(Page 2 of 8)**
		Date Prepared:	2023-02-27T19:33:14-05:00

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

{General Remarks} REPLACEMENT WATER HEATER EQUIPMENT.

STATE OF CALIFORNIA

Domestic Water Heating System

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE			NRCC-PLB-E
Project Name:	WALNUT GROVE I.S. - Science Lab Modernization	**Report Page:**	**(Page 3 of 8)**
		Date Prepared:	2023-02-27T19:33:14-05:00

F. DOMESTIC HOT WATER EQUIPMENT

This table is used to demonstrate compliance with mandatory equipment requirements in 110.1 and 110.3. Compliance with prescriptive requirements in 140.5(c) / 170.2(d) must also be demonstrated and with 141.0 / 180.1/ 180.2 for addition and alteration scopes.

Equipment Schedule: Water Heating Efficiency and Standby Loss

03		04			05		06		
System Name	WH-1	Exception to 140.5(c)/ 170.2(d)3		Exceptions Do Not Apply	☐	Gas Service Water Heating System >= 1MMBtu/h[1]	Capacity-weighted Average Efficiency %		
07	08	09	10		11	12	13	14	15
Name or Item Tag	Equipment Type	Volume (gal)	Rated Input Capacity (Btu/h)	Max GPM/ First Hour Rating (FHR)	Rated Efficiency	Minimum Efficiency Required	Efficiency Unit	Designed Standby Loss	Maximum Standby Loss
WH-1	Consumer Rated Gas-Fired Storage (<= 75,000 BTUH)	<=30	32,000	0 <= FHR <18	0.6	0.29	UEF	1,690	

[1]FOOTNOTE: In systems >= 1MMBtu/h with multiple units, gas water heaters with input capacity > 100,000 Btu/h may meet 90% Et requirements via an input capacity-weighted average.

Water Heating Equipment All Occupancies

	Yes	No	Not Applicable	Requirement
18	☒	☐	☐	Unfired storage tank insulation shall have Internal + External >=R-16 OR External >=R-3.5. Label required per 110.3(c)3
19	☐	☐	☒	New state buildings 60% of energy for service water heating from site solar energy or recovered energy per 110.3(c)5
20	☐	☐	☒	Isolation valves for instantaneous water heater with input rating >6.8 kBTUH or 2 kW has been specified per 110.3(c)6
21	☐	☐	☒	School buildings < 25,000 ft² and < 4 stories must install a heat pump water heating system per 140.5(a)1. Water heating systems serving an individual bathroom space may be an instantaneous electric water heater.

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G. DOMESTIC HOT WATER DISTRIBUTION SYSTEM

This table is used to demonstrate compliance for nonresidential occupancies with distribution requirements in 120.3 and 140.5. For multifamily and hotel/motel occupancies, compliance is demonstrated with requirements 110.3(c), 160.4, 170.2(d).

Recirculation Loops in Central Systems Serving Dwelling Units or Nonresidential Spaces

	Yes	No	Not Applicable	Requirement
01	●	○	○	Air release valve or vertical pump installation per 110.3(c)4A
02	●	○	○	Check valve or similar located between recirculation pump and water heating equipment to prevent backflow per 110.3(c)4B
03	●	○	○	Hose bibb installed between pump and equipment and isolation valve between hose bibb and equipment per 110.3(c)4C
04	●	○	○	Isolation valves on both sides of the pump per 110.3(c)4D
05	●	○	○	Cold water and recirculation loop piping shall not be connected to the hot water storage tank drain port per 110.3(c)4E
06	●	○	○	Check valve installed on cold water supply between hot water system and next closest tee on cold water supply per 110.3(c)4F
07	○	○	●	DWELLING UNITS ONLY: For central systems serving multiple dwelling units, design includes a recirculation system serving separate dwelling units per 170.2(d) unless building has <=8 dwelling units.
08	○	○	●	DWELLING UNITS ONLY: For heat pump water heating systems, the hot water return from the recirculation loop shall connect to a recirculation loop tank and shall not directly connect to the primary heat pump water heater inlet or the primary thermal storage tanks per 170.2(d)2A.
09	○	○	●	DWELLING UNITS ONLY: For heat pump water heating systems, the fuel source for the recirculation loop tank shall be electricity if auxiliary heating is needed. The recirculation loop heater shall be capable of multi-pass water heating operation per 170.2(d)2B.

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G. DOMESTIC HOT WATER DISTRIBUTION SYSTEM

Mandatory Pipe Insulation All Occupancies

13	☐	For systems serving dwelling units, pipe insulation must meet the minimum insulation requirements in Table 160.4-A (see blow) except: • Piping that penetrates framing members shall not be required to have pipe insulation for the distance of the framing penetration. Piping that penetrates metal framing shall use grommets, plugs, wrapping or other insulating material to assure that no contact is made with the metal framing. Insulation shall abut securely against all framing members • Piping installed in interior or exterior walls shall not be required to have pipe insulation if all of the requirements are met for compliance with Quality Insulation Installation (QII) as specified in the Reference Residential Appendix RA3.5. • Piping surrounded with a minimum of 1 inch of wall insulation, 2 inches of crawlspace insulation, or 4 inches of attic insulation, shall not be required to have pipe insulation.
14	☒	For systems serving nonresidential spaces, pipe insulation for the following applications is specified to comply with Table 120.3-A (see below) per 120.3: • Recirculating system piping, including supply and return piping of the water heater • The first 8 ft of hot and cold outlet piping, including between storage tank and heat trap, for a nonrecirculating storage system • Pipes that are externally heated
15	☒	Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather shall be installed with a cover suitable for outdoor service per 120.3(b) / 160.4(f). Pipe insulation buried below grade must be installed in a water proof and non-crushable casing or sleeve.

TABLE 120.3-A / 160.4-A PIPE INSULATION THICKNESS

Fluid Temperature Range (°F)	Conductivity Range (Btu-in per hour per ft² per °F)	Insulation Mean Rating Temp (°F)	Nominal Pipe Diameter (in)			
			< 1	1 to < 1.5	1.5 to < 4	1.5 to < 4 Multifamily & Hotel/Motel
			Minimum Insulation Required			
105-140	0.22 - 0.28	100	1.0 in or R-7.7	1.5 in or R-12.5	1.5 in or R-11	2.0 in or R-16

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H. DOMESTIC HOT WATER CONTROLS

This table is used to demonstrate compliance with control requirements in 110.3 for all occupancies. For multifamily residential and hotel/motel occupancies, compliance is also demonstrated with requirements in 160.4(e) / 170.2(d).

	Yes	No	Not Applicable	Requirement
01	☒	☐	☐	Construction documents require manufacturer certification that service water-heating systems are equipped with automatic temperature controls capable of adjusting temperature settings per 110.3(a).
02	☐	☐	☒	Systems with capacity > 167,000 BTUH equipped with outlet temperature controls per 110.3(c)1 unless covered by California Plumbing Code 613.0.
03	☒	☐	☐	Controls for circulating pumps or electrical heat trace systems are capable of automatically turning off the system per §110.3(c)2 unless systems serves healthcare facility.
04	☐	☐	☒	For recirculation systems serving multiple dwelling units, design includes automatic pump controls per 170.2(d) or 180.1(b)3 for additions.
05	☐	☐	☒	For recirculation systems serving individual dwelling units, design includes manual on/off controls as specified in Reference Appendix RA4.4.9 per 170.2(d).
06	☐	☐	☒	Combustion air positive shut-off shall be provided per 160.4(3).on all newly installed commercial boilers as follows: • Boilers with input capacity >= 2.5 MMBtu/h, in which the boiler is designed to operate with a nonpositive vent static pressure • Boilers where one stack serves two or more boilers with a total combined input capacity per stack of 2.5 MMBtu/h.
07	☐	☐	☒	Boiler combustion air fans with motor >= 10 hp shall meet one of the following • The fan motor shall be driven by a variable speed drive OR • The fan motor shall include controls that limit the fan motor demand to <=30% of the total design wattage at 50% of the design air volume.
08	☐	☐	☒	Newly installed boilers with an input capacity {d:gte/] 5MMBtu/h and a steady state full-load combustion efficiency < 90% shall maintain excess (stack-gas) oxygen concentrations <= 5% by volume on a dry basis over firing rates of 20-100%. Combustion air volume shall be controlled with respect to firing rate or flue gas oxygen concentration. Use of a common gas and combustion air control linkage or jack shaft is prohibited.

I. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Form/Title
NRCI-PLB-E - Must be submitted for all buildings

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J. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

There are no forms required for this project.

K. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION

There are no forms required for this project.

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CERTIFICATE OF COMPLIANCE			NRCC-PLB-E
Project Name:	WALNUT GROVE I.S. - Science Lab Modernization	**Report Page:**	**(Page 8 of 8)**
Project Address:		**Date Prepared:**	2023-02-27T19:33:14-05:00

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

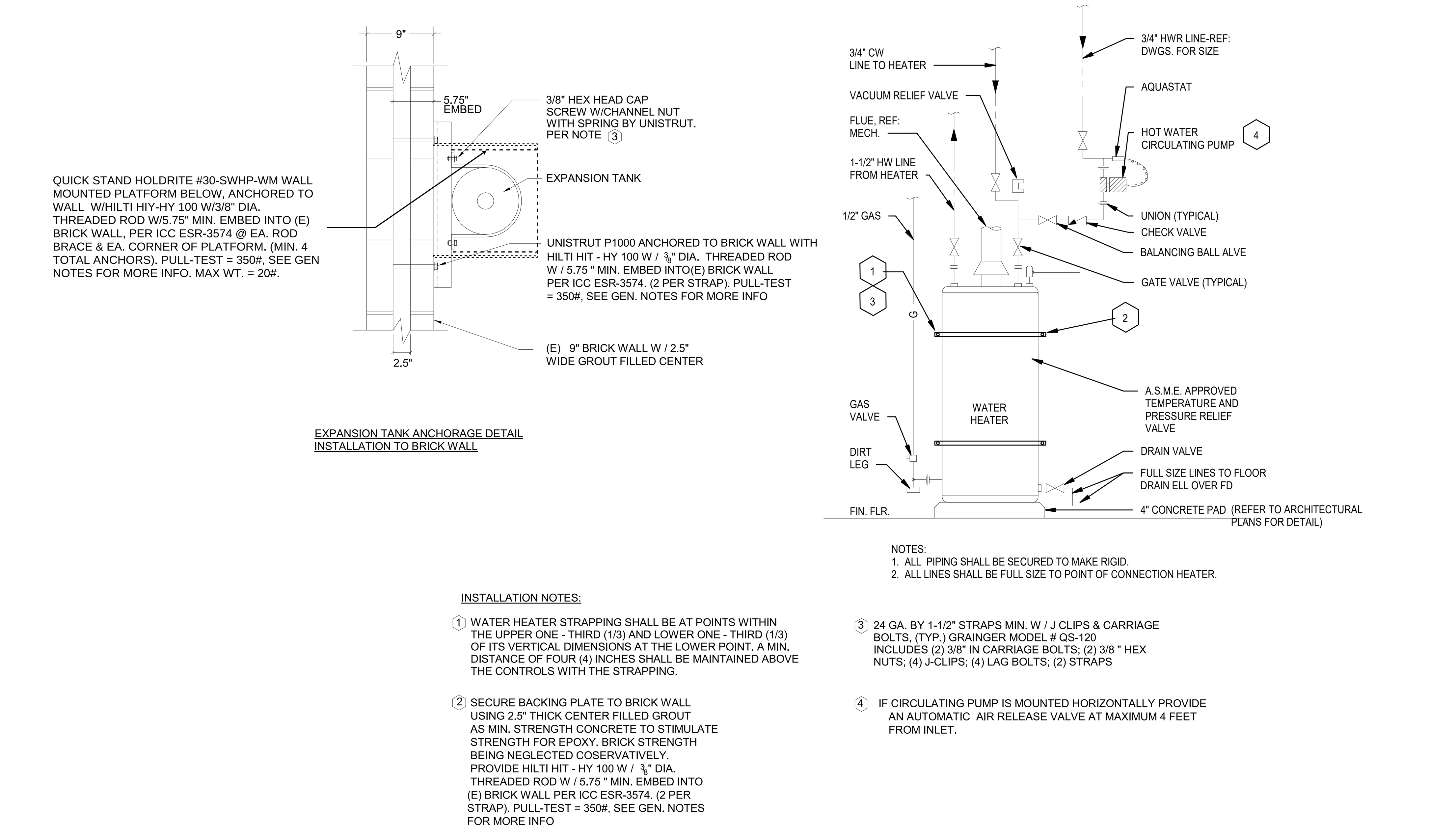
Documentation Author Name: Joel Baldovino	Documentation Author Signature:
Company: LEAF ENGINEERS	Signature Date: 02/27/2023
Address:	CEA/ HERS Certification Identification (if applicable):
City/State/Zip:	Phone:

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Rex Wang	Responsible Designer Signature:
Company: LEAF ENGINEERS	Date Signed: 02/27/2023
Address: 8160 Rochester Avenue	License: M36155
City/State/Zip: Rancho Cucamonga, CA91730	Phone: (909)987-0909

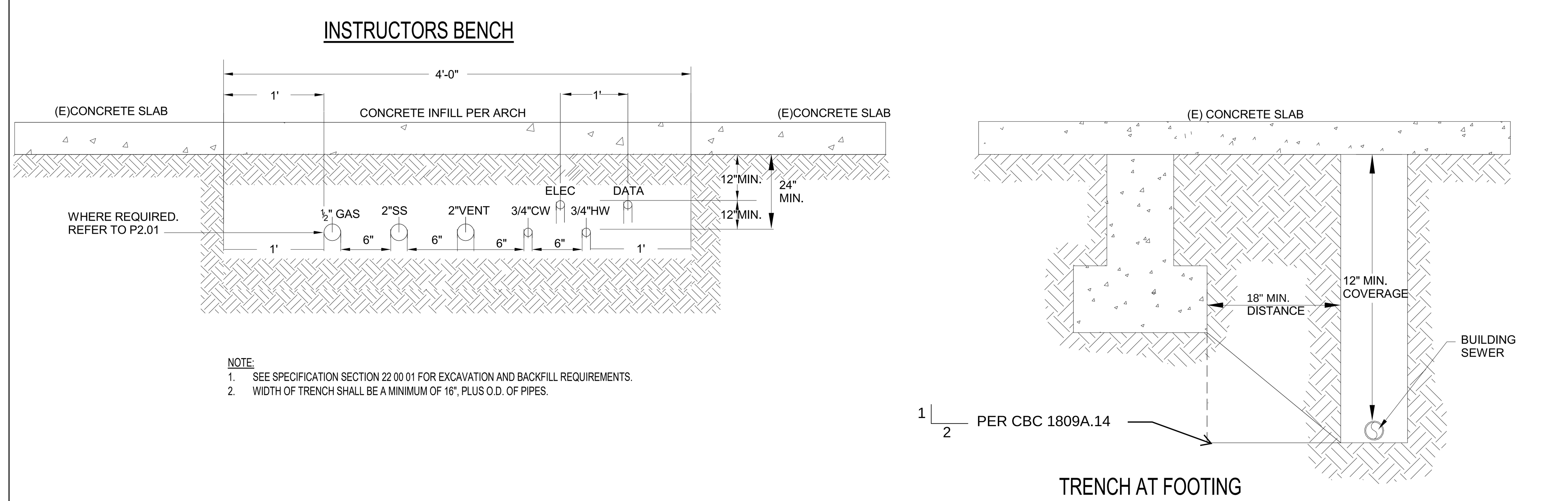


NOTES:
1. ALL PIPING SHALL BE SECURED TO MAKE RIGID.
2. ALL LINES SHALL BE FULL SIZE TO POINT OF CONNECTION HEATER.

INSTALLATION NOTES:

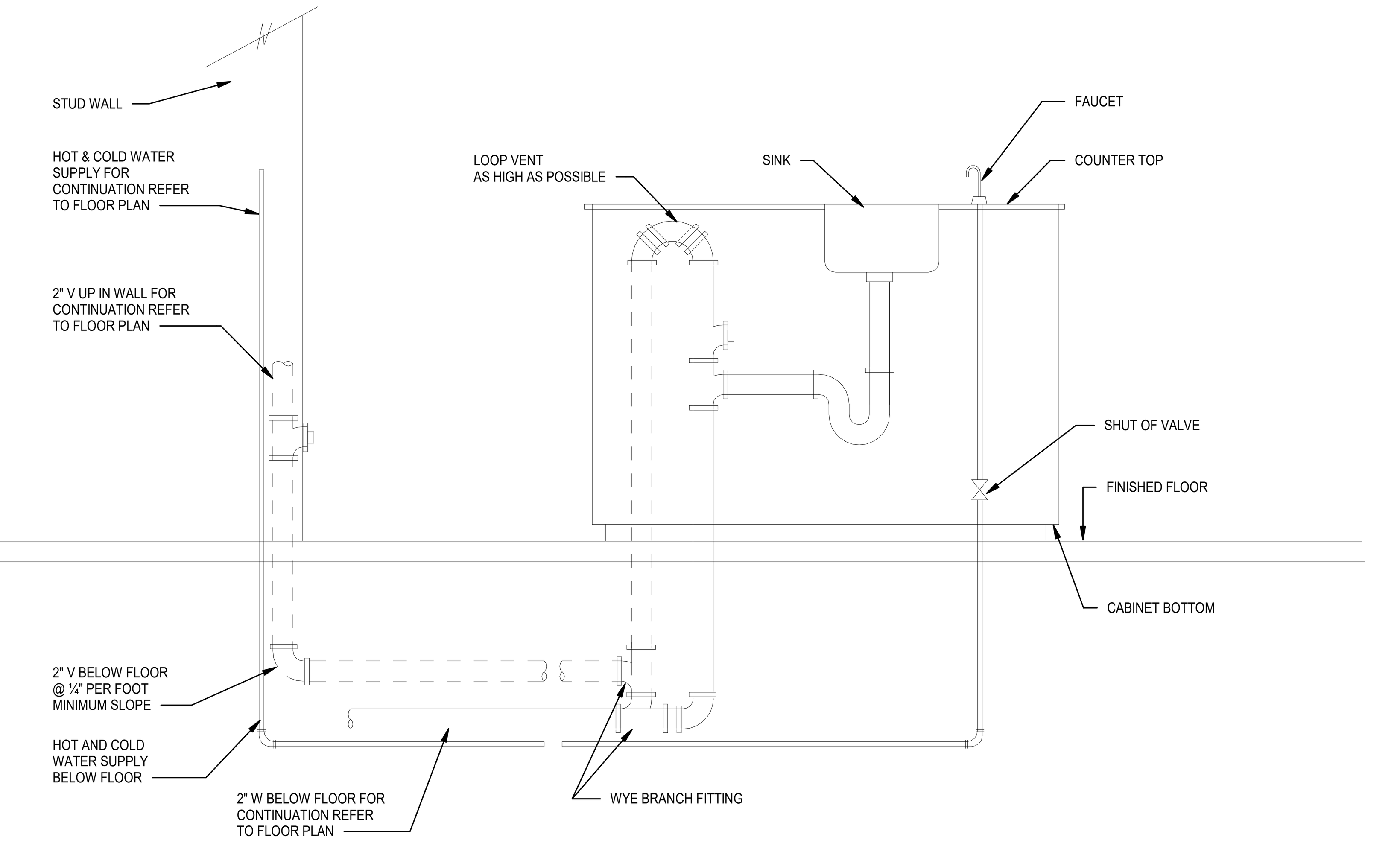
1. WATER HEATER STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE - THIRD (1/3) AND LOWER ONE - THIRD (1/3) OF ITS VERTICAL DIMENSIONS AT THE LOWER POINT. A MIN. DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.
2. SECURE BACKING PLATE TO BRICK WALL USING 2.5" THICK CENTER FILLED GROUT AS MIN. STRENGTH CONCRETE TO STIMULATE STRENGTH FOR EPOXY. BRICK STRENGTH BEING NEGLECTED COSERVATIVELY. PROVIDE HILTI HIT - HY 100 W / 3/8" DIA. THREADED ROD W / 5.75 " MIN. EMBED INTO (E) BRICK WALL PER ICC ESR-3574. (2 PER STRAP). PULL-TEST = 350#, SEE GEN. NOTES FOR MORE INFO
3. 24 GA. BY 1-1/2" STRAPS MIN. W / J CLIPS & CARRIAGE BOLTS, (TYP.) GRAINGER MODEL # QS-120 INCLUDES (2) 3/8" IN CARRIAGE BOLTS; (2) 3/8 " HEX NUTS; (4) J-CLIPS; (4) LAG BOLTS; (2) STRAPS
4. IF CIRCULATING PUMP IS MOUNTED HORIZONTALLY PROVIDE AN AUTOMATIC AIR RELEASE VALVE AT MAXIMUM 4 FEET FROM INLET.

3 GAS FIRED WATER HEATER
N.T.S



NOTE:
1. SEE SPECIFICATION SECTION 22 00 01 FOR EXCAVATION AND BACKFILL REQUIREMENTS.
2. WIDTH OF TRENCH SHALL BE A MINIMUM OF 16", PLUS O.D. OF PIPES.

2 PIPE TRENCH DETAILS
12" = 1'-0"



1 SINK ISLAND VENT DETAIL
12" = 1'-0"

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 03-123048 INC:
REVIEWED FOR
SS ☑ FLS ☑ ACS ☑
DATE: 10/05/2023

ARCHITECT	PBK Architects, Inc.
RANCHO CUCAMONGA 8163 Rochester Avenue, Suite 100 Rancho Cucamonga California 91730 P 909-987-0909	PBK.com

CONSULTANT	LEAF Engineers

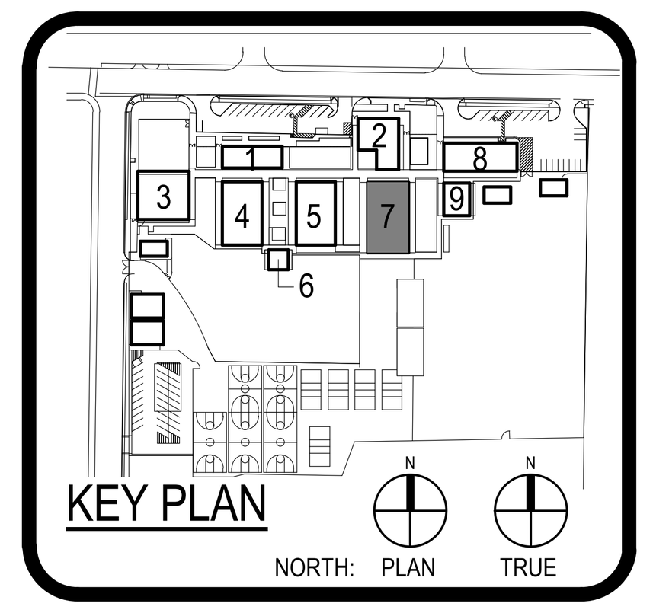
8163 Rochester Avenue, Suite 100
Rancho Cucamonga, CA 91730
909.987-0909
leafengineers.com

WALNUT GROVE I.S. - SCIENCE LAB MOD.

PROJECT ADDRESS:
614 E Vine Ave,
West Covina, CA 91790

DSA BACKCHECK

DSA APPL NO.: 03-123048 DSA FILE NO.: 19-110



Consultant

Architect

CLIENT WEST COVINA USD	
DATE 02/22/2023	PROJECT NUMBER 220117

REVISIONS

No.	Description	Date

DSA BACKCHECK

PLUMBING DETAILS AND TITLE-24 FORMS

P6.01