

Villas Voice

Countryside Villas Newsletter August 2007

Countryside Villas now under New Management

Ruth Brown (CAMCO) resigned as manager of Countryside Villas, serving her last day July 31st. The Villas are now under new management: **Professional HOA Managers (ProHOA)**. **Effective August 1st all correspondence and payments are to be mailed to ProHOA.** If you've already mailed your payment, don't worry, CAMCO will forward it to Pro HOA. Everyone will receive an introduction letter this week from Paul Gready of ProHOA, and all are encouraged to attend the next Board meeting to meet them. If not, you can also catch Paul every 3rd Saturday on the HOA law radio program 790 AM (see page 2). In the meantime, **ProHOA's contact info is listed on page 4 of this newsletter.**

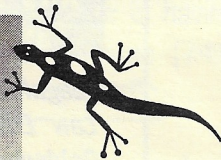
It's the Board's responsibility to employ a manager.¹ President Gene Fanning consulted the Countryside Community Center (CCCC), other Countryside HOAs in the area, and *The Arizona Management Companies Directory*², and found 10 management companies interested in managing the Villas. The bid process was long and painstaking; over 30+ man-hours went into it. All 10 companies were contacted, interviewed, and the Board secretary called every single reference. A special Board meeting to select a new manager was planned for a Sunday so everyone could attend, but at the last minute the director had to cancel. Although the decision is not up for vote by the membership, Arizona State law^{3,4} guarantees all Board meetings are open to all homeowners. Time was of the essence, but since the CCCC was all booked up and the secretary had to work a night job, the Board had to hold the meeting Friday, July 27th at 10:30am at Gene's house. The Board began by eliminating the six companies over budget, and then concentrated on the remaining four within budget, until finally narrowing it down to one. *Continued Next page*

...Meet ProHOA Managers at the next meeting!

Next Meeting: Aug. 20th

Contents:

New HOA Management	1-2
HOA-Law Radio Show	2
Tree & Ivy Trimming	3
Outdoor Light Fixtures	3
Rental Amendment Reminder ...	3
Acts of Kindness	4
Dog Rattlesnake Bites	4
Home Repair Helpers	4
Contacts-HOA Board	4
Board Meeting Schedule	4
ProHOA Contact Info	4



The Board selected ProHOA by unanimous vote of all Board members present at the meeting, and feels they are a management company the association can be confident and proud of. Here's a brief summary of the process that went into that decision:

After determining the **monthly budget @ < \$653** (based on what the association had been paying CAMCO for the past 10 months), the Board went through the process of elimination. Each company submitted cost quotes for full service homeowner association management (which means doing all financials, taxes, banking, and reports; attending meetings, taking minutes, preparing Board packages, securing contract bids, new HOA law updates—basically everything CAMCO did). There are two different ways each company handles their monthly charges: #1) Flat rate with NO office expense, except postage and printing; or #2) Flat rate WITH office expense AND postage and printing in ADDITION to that. This "office expense" is an undetermined amount that can be anything from administrative costs, typing, office supplies. However, both types charge for postage and printing. ProHOA is Type #1 and does not charge extra for office expense, only postage and printing.

Four of the companies' costs met budget and were LOWER than CAMCO. The other factors involved in the elimination process were: *Experience*, how many years, how many properties have they managed; *References* (HOAs currently managed or in the past, terminations, etc.); *Professionalism*, objective, & unintrusive; *Legal knowledge & resources*, DCC&R enforcement; and *Technical skills*, accounting, writing, computer. They were all very personable, but the Board decided "*professionally strong*" vs. "*personally strong*" was key; and kept in mind that "cheapest is not always best."

BUDGET = \$653 (CAMCO's flat rate @ \$472+office expense=\$653
Based on average last 10 months, Sept 2006 to June 2007)

1. \$1,000 +office expense..... Ash Mgt.
2. \$1,000 +office expense..... Stratford Mgt.
3. \$750 +office expense..... Lewis Mgt.
4. \$720 Platinum Mgt.
5. \$700 +office expense..... Cadden Comm. Mgt.
6. \$675 Y-Cross Mgt.
7. **\$576** **ProHOA**
8. \$520 Cardinal Pro Mgt.
9. \$504 MPM Mgt.
10. \$432 +office expense..... Pinehurst Prop.

Article References:

+ = charges extra for office expenses and office supplies in ADDITION to postage and printing

¹ Countryside Villas Bylaws Article VII. Section 1.E " Powers and Duties of the Board of Directors

² Arizona Management Companies Directory: www.condobiz.com/arizona/management

³ ARS 33-1804 Open Meetings; Exceptions: <http://www.azleg.gov/FormatDocument.asp?inDoc=/ars/33/01804.htm&Title=33&DocType=ARS>

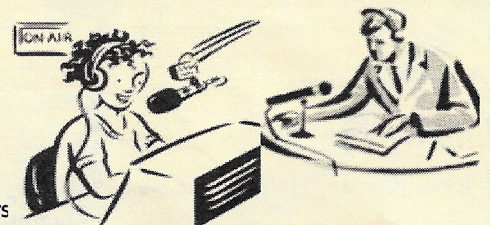
⁴ Arizona's Open Meeting Law--Ask the Expert , Carolyn B. Goldschmidt, Esq.: <http://www.goldschmidtlawfirm.com/aoml.html>

KNST SATURDAY 790 AM



**HOA Law Call-in Radio Program
Airs 3rd Saturday of the Month
at 8 a.m. on 790 AM RADIO**

"Legal Hotline, Community Association Law Edition." Tucson attorney, **Carolyn Goldschmidt**, with 2 decades experience in HOA litigation, and **Paul Gready** of ProHOA, host this hour long call-in radio program on homeowner associations.

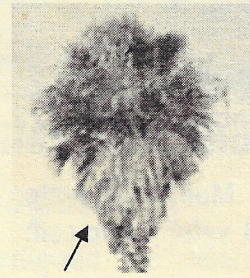


Neighborhood Reminders

TIME TO TRIM TREES & IVY

Please take a moment to walk around your property and look for overgrown trees, ivy, or shrubs that are growing over your neighbor's wall or into their yards. Look for branches that might come into contact with the roof or exterior siding. During high winds, branches can hit against a house with significant force, causing mechanical damage. Branches can rub on the roof and cause accelerated wear to the roof coverings. While it is lawful for a homeowner to cut or trim vegetation intruding into their yard, it is not expected, and considered a nuisance to do so. **If you have overgrown vegetation please have it trimmed ASAP.**

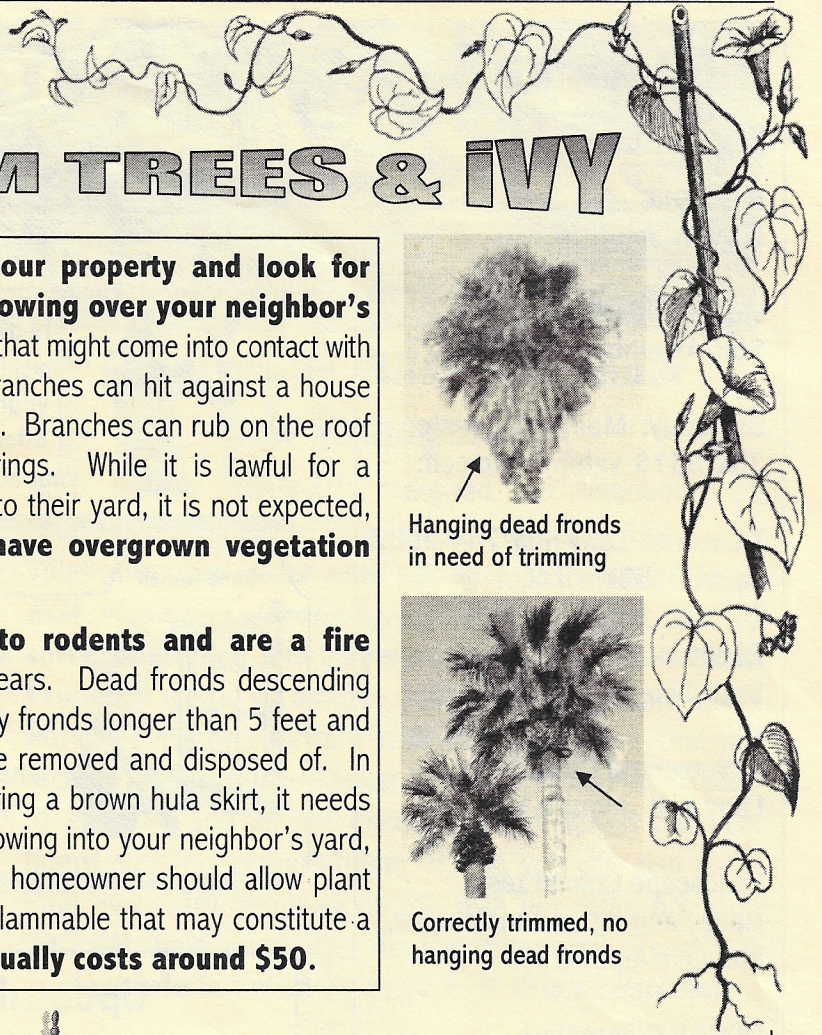
Overgrown palm trees provide a haven to rodents and are a fire hazard. Palms should be trimmed every 3 years. Dead fronds descending downward from the base more than 8 feet; or dry fronds longer than 5 feet and closer than eight 8 feet to the ground, should be removed and disposed of. In other words, if your palm tree looks like it's wearing a brown hula skirt, it needs trimming. Dead fronds fall off and can end up blowing into your neighbor's yard, unfairly forcing them to clean up the debris. No homeowner should allow plant growth which is dead or so dry as to be readily flammable that may constitute a fire hazard. **To have a palm tree trimmed usually costs around \$50.**



Hanging dead fronds in need of trimming



Correctly trimmed, no hanging dead fronds



OUTDOOR LIGHT FIXTURES



Most everyone has painted their faded outdoor light fixtures, they really look great—however, there are still 20 homes not done yet. If anyone is having difficulty in getting this done call Monique (744-8376); she'll do it for free.

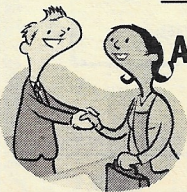
Rental Limit Amendment Ballot due by Sept. 10th. Remember to get your vote in!

If you misplaced your ballot please call Gene for a new one (579-1671). Please bring to next meeting, drop in HOA box at 4879 Doria, or mail to ProHOA (address on page 4).



Safety advisory from the Arizona Poison & Drug Information Center: BEWARE OF SNAKES.

Channel 13 News reported throughout the month of July the Veterinary Specialty Center of Tucson treated at least one dog every day for snake bites. You can be bitten by a snake without having seen or heard it; baby snakes don't have rattlers. If you see symptoms such as Swollen face, Swollen limbs, & Bite marks call 24 hr Emergency Vet SCT: 795-9955



An act of kindness goes a long way!

There are really a lot of great neighbors in the Villas. One of our disabled neighbors called to say how nice it was when a neighbor stopped his car and asked if she needed assistance. Another neighbor helps keep the Villas clean by picking up trash along the way while she walks her dog. Some help return lost pets, keys and items left at the mailboxes; and some help out with maintenance, and more. So please keep sharing that cheerful attitude and know it's noticed and appreciated.

Contacts:

HOA BOARD:

President:

Gene Fanning 579-1671

Vice President:

Stan Astemborski 572-1723

Secretary: Monique Alponete

744-8376 ygfs@yahoo.com

Treasurer: Larry Hull 744-2582

LarryD3653@aol.com

Director:

Betty Shapiro 299-6612

Architectural Committee:

Larry Hull, Monica Medina

Landscape Committee:

Gene Fanning, Jo Ann Fanning,
Monique Alponete

DCC&R Committee:

Stan Astemborski, Loretta
Jones, Loretta Poggione, Fran
Colyer, Sharon Shorr

Social & Welcome

Monique Alponete, Fran Colyer,
Loretta Poggione, Sharon Shorr

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Home Décor

MakeoverMadam eInteriorDecorating



Tasteful, creative—
Finishing Touches for
your room and cost
effective staging of
your home. 744-4692

Tree Trimming



Perfect Landscaping
Maintenance, Irrigation &
Tree Services
Marvin: 867-1902

Home Repair



- *Painting*
- *Flooring*
- *Repairs*

The FiX iT CHiC
744-7854


DISCLAIMER: These services were submitted by homeowners in the Villas. Per ARS 33-1811 these listings in no way benefit any member of the board of directors or any person who is a parent, grandparent, spouse, child or sibling of a member of the board of directors or a parent or spouse of any of those persons, nor does the association endorse these services.

Upcoming Board Meetings!

Monday, Aug 20th @ 7pm

Monday, Sept 17th @ 7pm

Monday, Oct 15th @ 7pm



Meetings are held the 3rd Monday of each month at:
Countryside Community Center
9151 N. Bald Eagle Ave, Tucson AZ 85742

All Homeowners in the Villas are welcome to come.

Note: If you already mailed your payment, it's ok—CAMCO will be forwarding all mail to ProHOA for the next 30 days.

HOA Mailbox:
4879 Doria



Newsletter Submissions:
Email to: ygfs@yahoo.com
or drop in HOA mailbox
September Deadline: Aug 23

