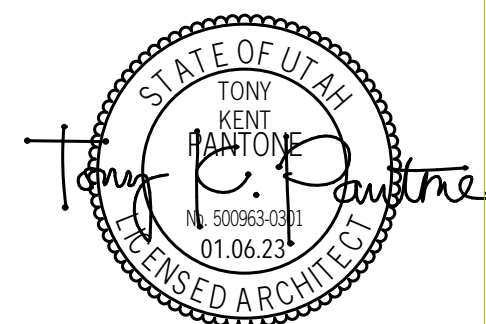


WEST FIELD SR SEMINARY

OGDEN, UT



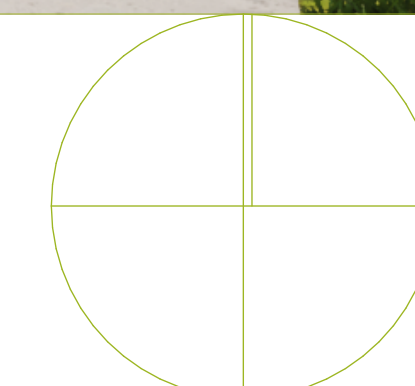
STUDIO 333 ARCHITECTS
 333 24TH STREET
 OGDEN, UT 84401
 801.394.3033



WEST FIELD SR SEMINARY
 4383 W 2200 S, OGDEN, UT

NO.	DATE	DESCRIPTION

CONFORMED SET
 DATE: 04.27.23
 PROJECT NUMBER: 2154
 SCALE: 1:1.57



COVER SHEET

G1.1

ABBREVIATIONS:

@	At	EB	Expansion Bolt	Max	Maximum
ø	Diameter	EIFS	Exterior Insul Fin System	Mech	Mechanical
#	Pound or Number	Exp Jt	Expansion Joint	Mtl	Metal
AB	Anchor Bolt	Elec	Electrical	Mfr	Manufacturer
ACT	Acoustical Tile	Elev	Elevation	Min	Minimum
Adj	Adjustable	Eq	Equal	NIC	Not In Contract
AF	Above Finish Floor	Equip	Equipment	NTS	Not To Scale
Alum	Aluminum	EWC	Elec Water Cooler	O.C.	On Center
Bd	Board	Exist	Existing	PL	Plate
Bldg	Building	Ext	Exterior	PL	Property Line
Bm	Beam	FD	Floor Drain	Plas Lam	Plastic Laminate
Bot	Bottom	Fdn	Foundation	Plywd	Plywood
Brg	Bearing	FECB	Fire Extinguisher Cab	RB	Resilient Base
BUR	Built Up Roofing	Fin Fl	Finish(ed) Floor	Re:	Reference
Cab	Cabinet	Fl	Floor or Feet	Reinf	Reinforce(d) (ing)
CJT	Control Joint	Flg	Flooring	Rig	Roofing
CL	Center Line	Fur	Furring	Rm	Room
Clg	Ceiling	Ga	Gauge	SC	Solid Core
CMU	Concrete Masonry Units	Galv	Galvanized	Sch	Schedule
Col	Column	GC	General Contractor	Sec	Section
Conc	Concrete	Gl	Glass	Sim	Similar
Const	Construction	Gyp Bd	Gypsum Board	Spec	Specification
Const Jt	Construction Joint	HC	Hollow Case	Sq	Square
Cont	Continuous	Hdwd	Hardwood	Stl	Steel
Contr	Contract(or)	Hdw	Hardware	Temp Gl	Tempered Glass
Corr	Corridor	Hdfl	Handrail	Typ	Typical
CT	Ceramic Tile	HM	Hollow Metal	UNO	Unless Noted Otherwise
Det	Detail	ID	Inside Diameter	VCT	Vinyl Composition Tile
Dim	Dimension	Incl	Include(d) (ing)	W/	With
Dn	Down	Insul	Insulation	Wd	Wood
Dr	Door	Int	Interior	Wdw	Window
Ea	Each	Jt	Joint	W/O	Without
				Wsc	Wainscot

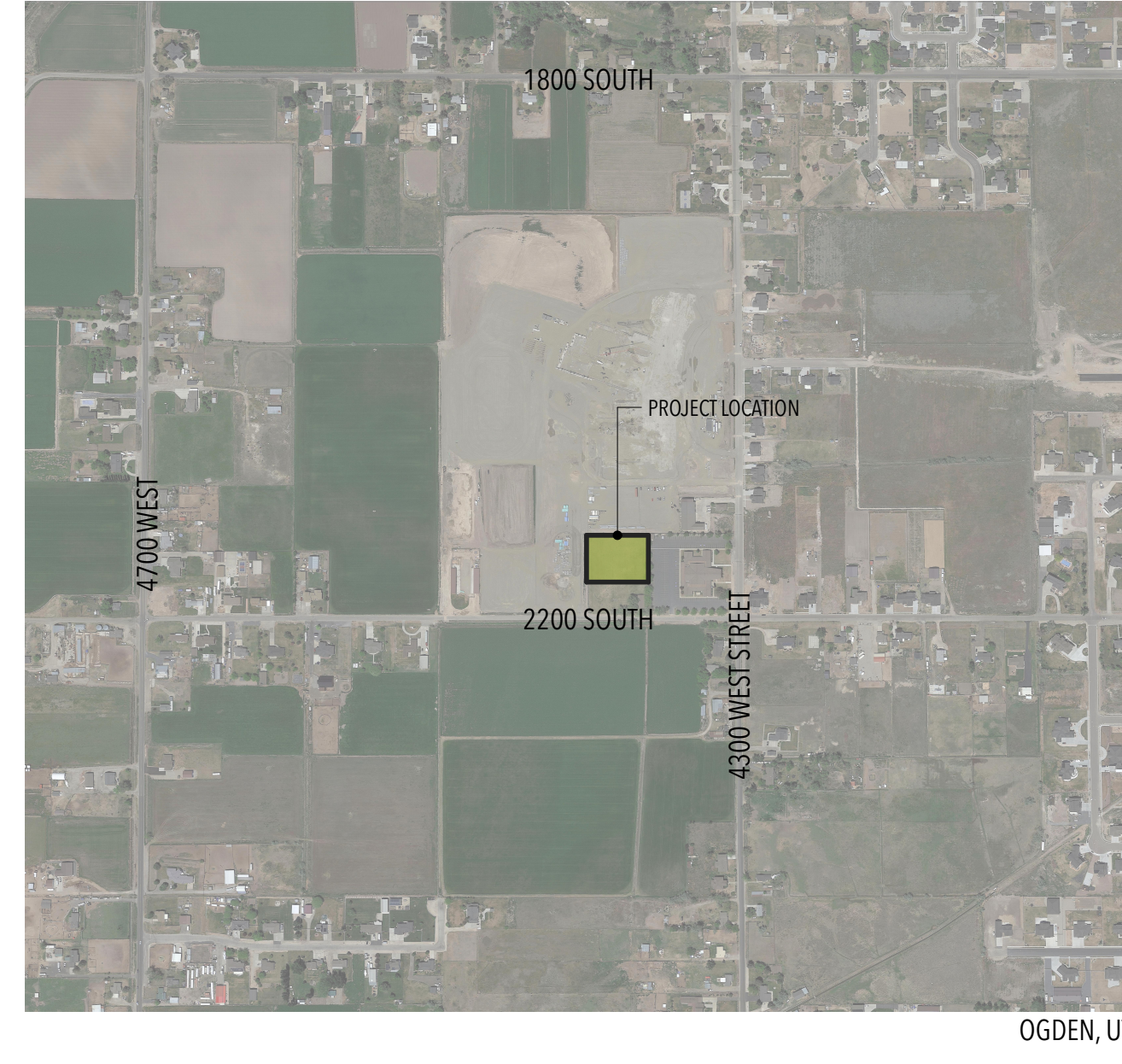
STANDARD SYMBOL LEGEND:

Building/Wall Section Reference	
Sheet Reference	
Elevation Reference	
Detail Reference	
Sheet Reference	
Elevation Marker	
Room Number	
Door Designation	
Window Designation	
Room Title	
Room Number	
Partition Type	
Keyed Note	
Ceiling Type	
Ceiling Elevation	
Finish Label	
Equipment/Sign Label	
Glazing Label	

STANDARD MATERIAL LEGEND:

	Asphalt		Glass (in elevation)
	Batt Insulation		Gravel/ Rock Fill
	Ceramic Tile (in elevation)		Gypsum board
	Concrete		Particle Board, MDF
	Concrete & Plaster (in elevation)		Plywood
	Concrete Masonry Units		Rigid Insulation
	Brick		Spray Foam Insulation
	Structural Fill		Steel
	Earth		Wood Framing (cont. member)
	Finish Lumber		Wood Framing (interrupted member)
	Glass		Metal Studs

VICINITY MAP:



NOTES TO BIDDERS:

- This sheet contains a list of drawings which comprise a full set of drawings for this project. Any Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project shall be responsible for the information contained on any and all sheets of drawings and specifications. If any person, party or entity elects to submit bids for any portion, or all, of this project, that person, party or entity shall be responsible for any and all information contained in these drawings and specifications, including, but not limited to, any subsequent addendums or clarifications that may be issued.
- These documents describe the design intent. It is the Contractor's responsibility to provide everything specified on the drawings regardless of where it shown on the drawings or in the specifications.
- Everything specified in these documents shall be "new" and provided by the Contractor, Subcontractor, Vendor or any other person participating in or bidding on this project unless noted otherwise as "existing" (exist), "not in contract" (nic), or for reference only. Furnishings shown dashed shall be for reference only.

GENERAL NOTES:

- It is the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers with the requirements of the Contract Documents before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the Contract Documents, which might affect the work of that party.
- As part of the Contractor's responsibility to review and coordinate the work of all Subcontractors, Trades and Suppliers, the Contractor shall endeavor to identify and notify the Architect of any conflicts between the work of different parties at the earliest possible date so as to allow reasonable and adequate time for the conflict to be resolved without delaying the work. All deviations from that which is required by the Contract Documents must be approved in advance by the Architect.
- The Architectural drawings establish and coordinate the finished appearance and exact location of all exposed elements of the work of all the trades, including that work which is specified primarily on other drawings are schematic. Unless otherwise noted on drawings of other disciplines but locations shown on other drawings are schematic. Quantities are to be provided as shown on drawings of other disciplines but locations shown on other drawings are schematic. Unless otherwise noted on the architectural drawings, the architectural drawings take precedence for the finished appearance and exact location of all parts of the work.
- Except where noted to place items of work at the approximate location shown, do not scale drawings for dimensional information. All elements of the drawings may not be drawn to exact scale. All dimensions required are shown or may be derived from those shown on the floor plans, enlarged plans, elevations, sections, details, schedules and specifications. If dimensions are not present, the Architect is to be notified so that a clarification can be issued.

DEFERRED SUBMITTALS:

Contractor is responsible to submit deferred submittals in accordance with IBC 107.3.4.1 as part of the submittal process. The Contractor shall submit all ICC ERS reports for items noted:

21 1313	Wet-pipe Sprinkler Systems
28 3101	Fire Alarm

PROJECT TEAM:

OWNER:
 CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 50 E NORTH TEMPLE COB12
 SALT LAKE CITY, UT 84150
 PHONE: 801.450.3475
 CONTACT: BRIAN CHILDS

ARCHITECT:

STUDIO 333 ARCHITECTS
 333 24TH STREET
 OGDEN, UT 84401
 OFFICE PHONE: 801.394.3033
 CONTACT: TONY K. PANTONE, AIA, LEED AP

STRUCTURAL ENGINEER:

ARW ENGINEERS
 1594 WEST PARK CIRCLE
 OGDEN, UT 84404
 PHONE: 801.782.6008
 CONTACT: MATTHEW MCBRIDE

MECHANICAL ENGINEER:

OLSEN & PETERSON ENGINEERS
 14 EAST 2700 SOUTH
 SALT LAKE CITY, UT 84115
 PHONE: 801.699.8549
 CONTACT: PAUL LAIRD

ELECTRICAL ENGINEER:

SPECTRUM ENGINEERS
 324 SOUTH STATE ST SUITE 400
 SALT LAKE CITY, UT 84111
 PHONE: 801.478.7077
 CONTACT: DAVID HINCKLEY

CIVIL ENGINEER:

GARDNER ENGINEERING
 5150 SOUTH 375 EAST
 WASHINGTON TERRACE, UT 84405
 PHONE: 801.476.0202
 CONTACT: TYLER NIELSON

LANDSCAPE ARCHITECT:

E.A. LYMAN
 8188 S HIGHLAND DR. STE D-7
 SANDY, UT 84093
 PHONE: 801.943.6564
 CONTACT: ERIC LYMAN

FIRE DEPARTMENT:

2380 WASHINGTON BLVD SUITE #240
 OGDEN, UT, 84401
 PHONE: 801.399.8374

PUBLIC WORKS DEPARTMENT:

WEBER COUNTY ENGINEERING
 2380 WASHINGTON BLVD SUITE #240
 OGDEN, UT, 84401
 PHONE: 801.399.8374

PLANNING DEPARTMENT:

WEBER COUNTY PLANNING DIVISION
 2380 WASHINGTON BOULEVARD SUITE #240
 OGDEN, UT 84401
 PHONE: 801.399.8371

BUILDING DEPARTMENT:

WEBER COUNTY BUILDING
 2380 WASHINGTON BLVD SUITE #270
 OGDEN, UT 84401
 PHONE: 801.399.8770

PROJECT DESCRIPTION:

A 14,629 S.F. single-story, wood-framed, 8-classroom custom seminary building.

ZONING INFORMATION:

ZONING	APN	15:080:0044
HT. RESTRICTIONS	:	60 FT. MAX.; 25 FT. ACTUAL
BUILDING FLOOR AREA	:	
1ST LEVEL	:	14,629 S.F.
TOTAL FLOOR AREA	:	15,000 S.F.

SITE DEVELOPMENT STATISTICS:

TOTAL LOT SIZE	:	87,159 S.F.
LANDSCAPING AREA	:	33,104 S.F.

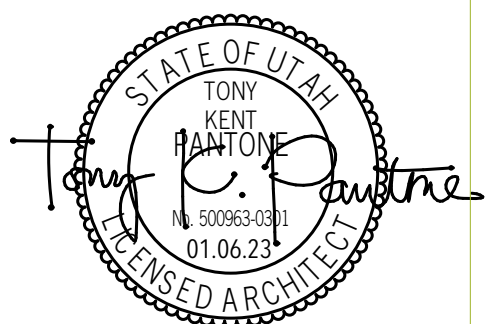
BUILDING DEVELOPMENT STATISTICS:

APPLICABLE CODES	:	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL FUEL GAS CODE 2020 NATIONAL ELECTRICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL EXISTING BUILDING CODE ICC/ANSI A117.1-2009
OCCUPANCY	:	E
BUILDING TYPE	:	TYPE VB
FIRE SPRINKLERS	:	FULLY AUTOMATED FIRE SPRINKLER SYSTEM PROVIDED.

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	G1.2 INDEX SHEET	A9.2 OPENING ELEVATIONS
	G1.3 TYPICAL ANSI ACCESSIBILITY STANDARDS	A9.21 OPENING DETAILS - STOREFRONT (CENTER GLAZED)
	G1.4 TYPICAL ANSI ACCESSIBILITY STANDARDS	A9.51 OPENING DETAILS - INTERIOR GLAZING PARTITIONS
		A9.52 OPENING DETAILS - INTERIOR GLAZING PARTITIONS
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	CE5.2 CIVIL DETAILS	S1.20 2ND LEVEL FRAMING PLAN
	CE5.3 CIVIL DETAILS	S1.30 ROOF FRAMING PLAN
	CE5.4 CIVIL DETAILS	S2.01 TYPICAL DETAILS
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	L201 IRRIGATION PLAN	S2.20 FLOOR AND ROOF FRAMING DETAILS
	L501 IRRIGATION DETAILS	S2.21 FLOOR AND ROOF FRAMING DETAILS
	L502 IRRIGATION DETAILS	S2.22 FLOOR AND ROOF FRAMING DETAILS
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	A1.11 2ND LEVEL DIMENSION PLAN	M6.1 MECHANICAL DETAILS
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	A1.16 CEILING DETAILS	P1.1 FIRST FLOOR PLUMBING PLAN
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	A3.2 BUILDING SECTIONS	EP102 2ND LEVEL POWER PLAN
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	A6.1 MILLWORK DETAILS	TT602 DATA SYSTEM RISER DIAGRAM AND DETAILS
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DOOR & WINDOW SCHEDULES / DETAILS		FP1.2 2ND LEVEL FIRE PROTECTION PLAN
		FP5.1 FIRE PROTECTION DETAILS

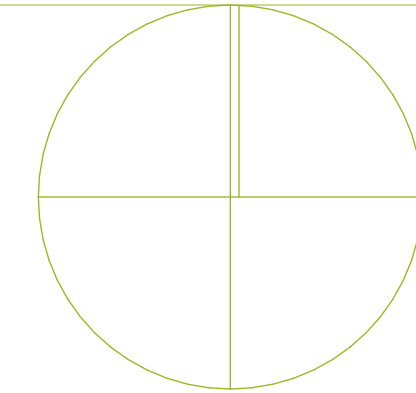
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 333 24TH STREET
 OGDEN, UT 84401
 801.394.3033



WEST FIELD SR SEMINARY
 4383 W 2200 S, OGDEN, UT

NO.	DATE	DESCRIPTION

CONFORMED SET
 DATE: 04.27.23
 PROJECT NUMBER: 2154
 SCALE: 1' = 1'-0"



INDEX SHEET

G1.2

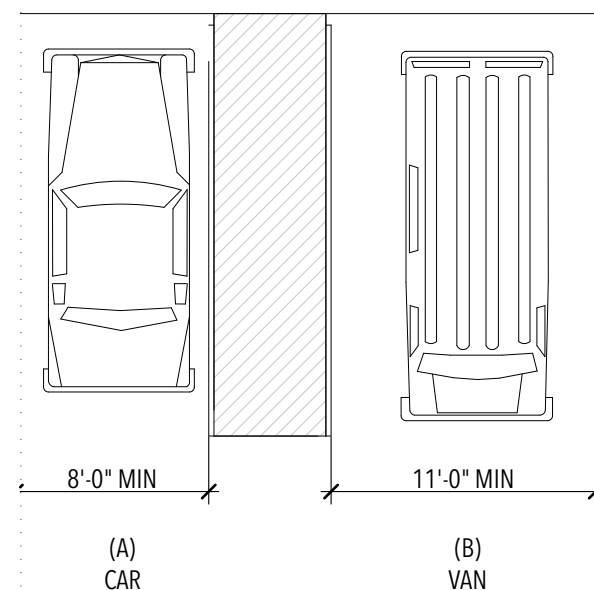


FIGURE 502.2
VEHICLE PARKING SPACES

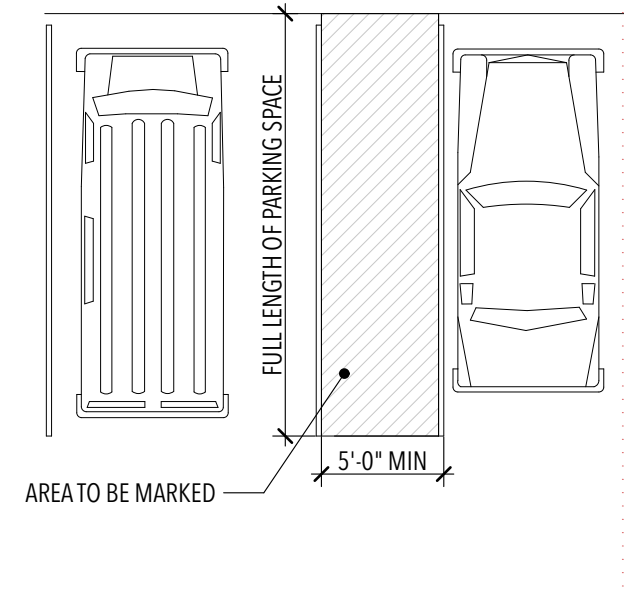


FIGURE 502.4
PARKING SPACE ACCESS AISLE

ACCESSIBLE PARKING SPACES

01

1/4" = 1'-0"

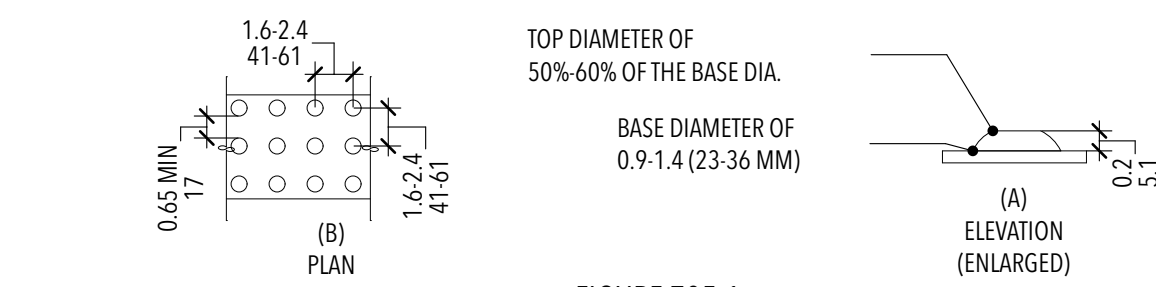


FIGURE 705.1
SIZE AND SPACING OF TRUNCATED DOMES

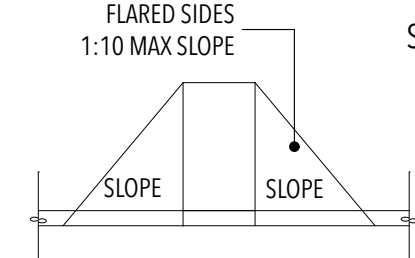


FIGURE 406.3
SIDES OF CURB RAMPS

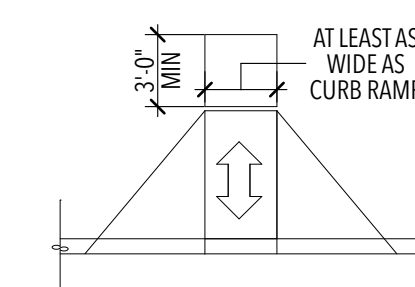


FIGURE 406.4
LANDING AT THE TOP OF CURB RAMPS

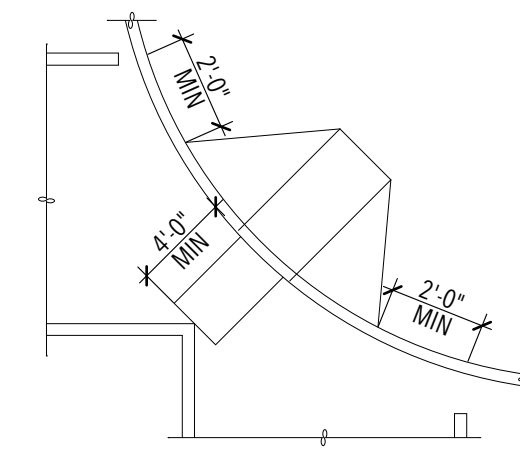


FIGURE 406.6
DIAGONAL OR CORNER TYPE CURB RAMPS

CURB RAMPS

02

1/4" = 1'-0"

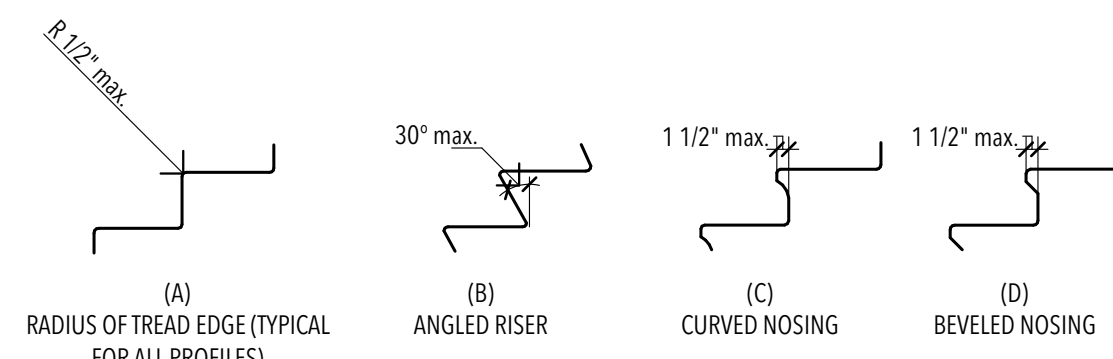


FIGURE 504.5
STAIR NOSING

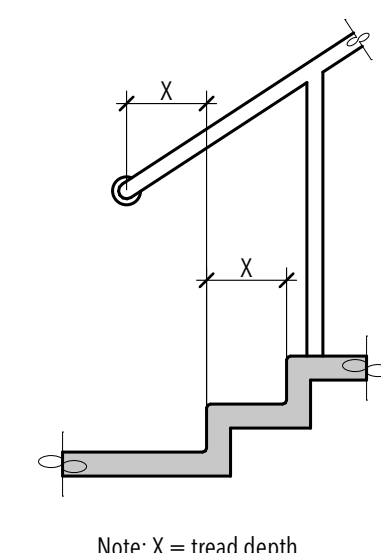


FIGURE 505.10.3
BOTTOM HANDRAIL EXTENSION AT STAIRS

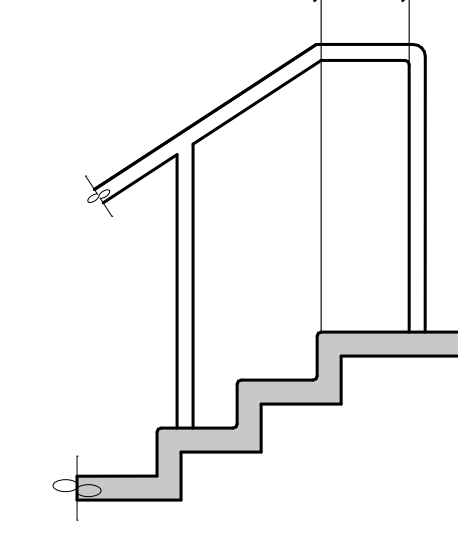


FIGURE 505.10.2
TOP HANDRAIL EXTENSION AT STAIRS

STAIRWAYS

03

1/4" = 1'-0"

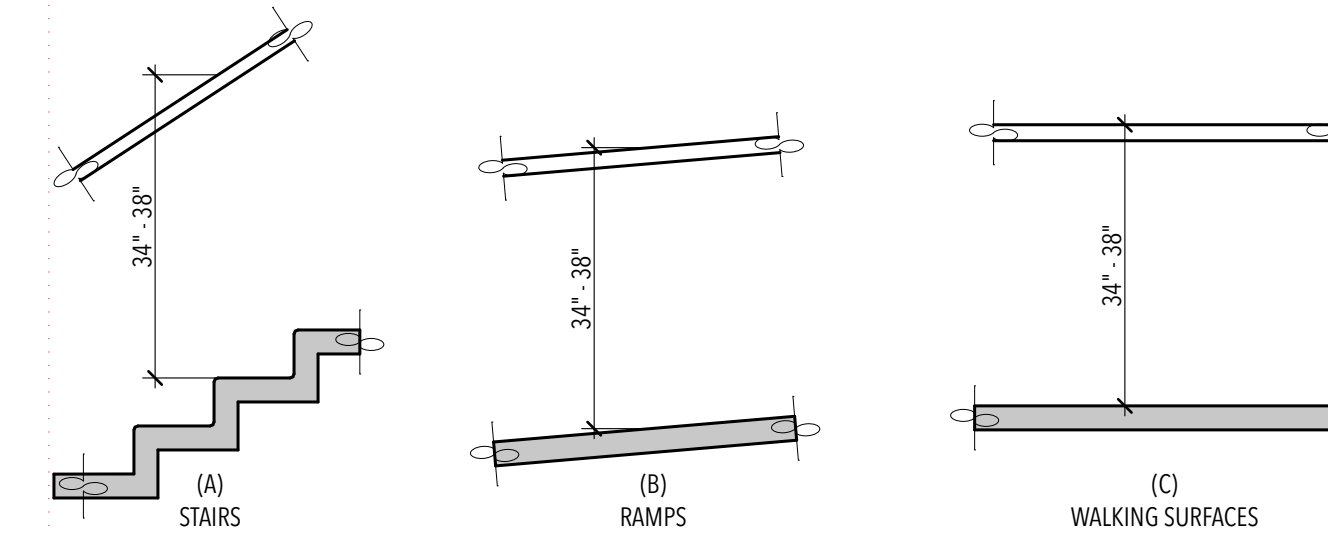


FIGURE 505.4
HANDRAIL HEIGHT

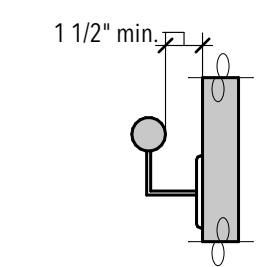


FIGURE 505.5
HANDRAIL CLEARANCE

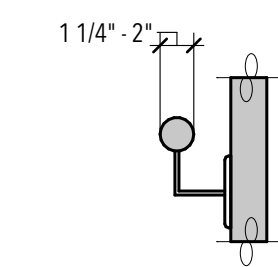


FIGURE 505.7
HANDRAIL CROSS SECTION

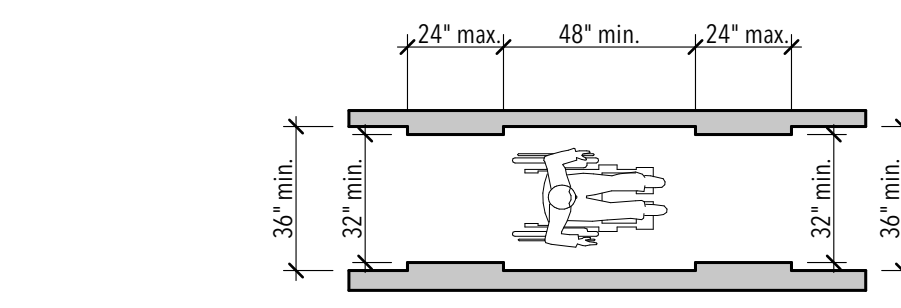


FIGURE 403.5
CLEAR WIDTH OF AN ACCESSIBLE ROUTE

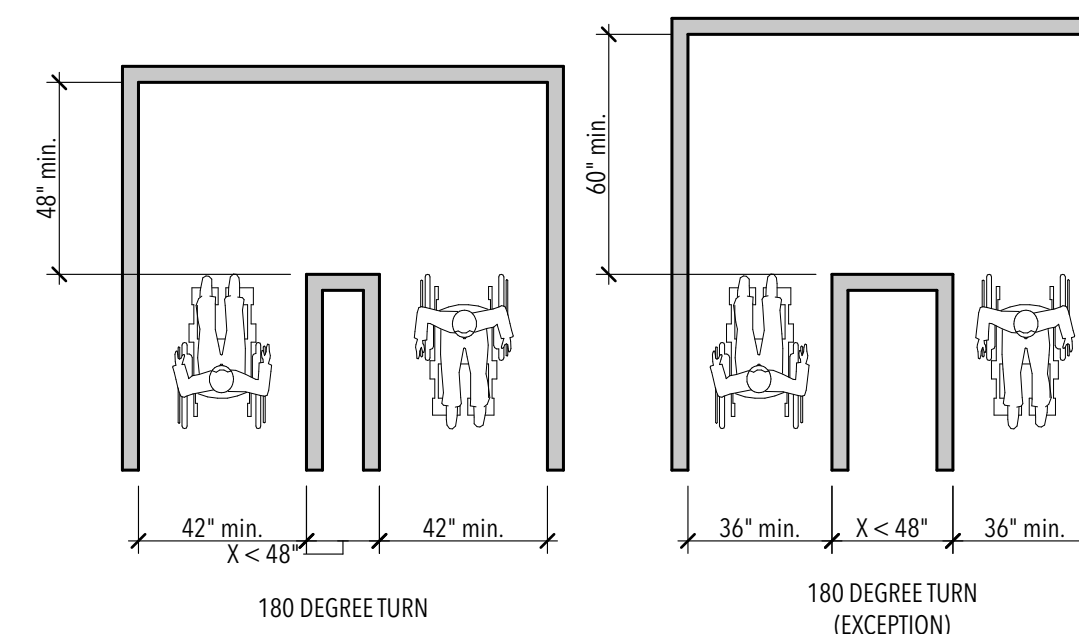


FIGURE 403.5.1
CLEAR WIDTH AT TURN

CLEAR WIDTH OF ACCESSIBLE ROUTE

04

1/4" = 1'-0"

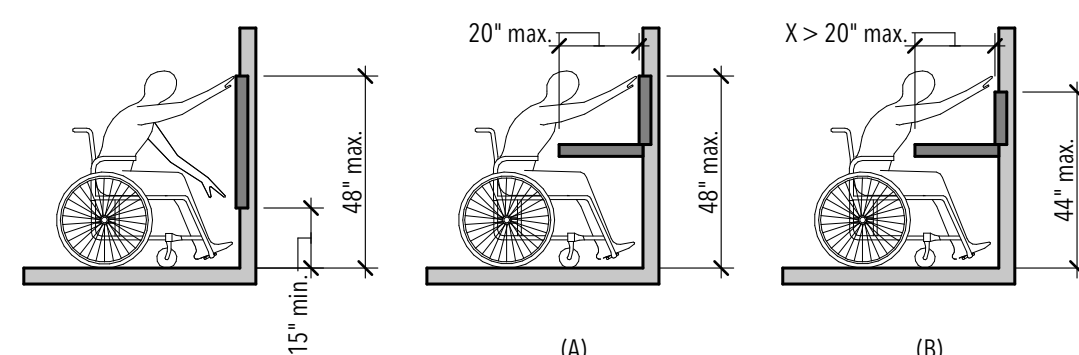


FIGURE 308.2.1
UNOBSTRUCTED FORWARD REACH

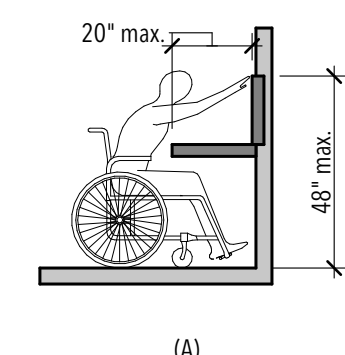


FIGURE 308.2.2
OBSTRUCTED HIGH FORWARD REACH

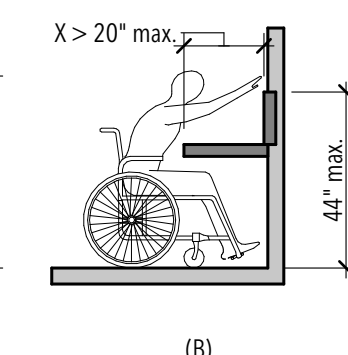


FIGURE 308.3.1
UNOBSTRUCTED SIDE REACH

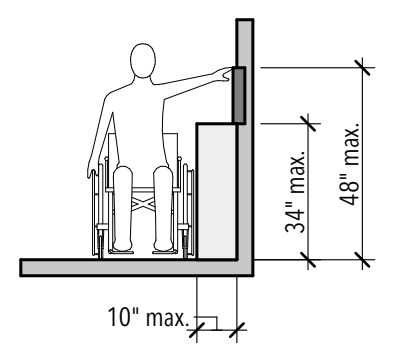


FIGURE 308.3.2
OBSTRUCTED HIGH SIDE REACH

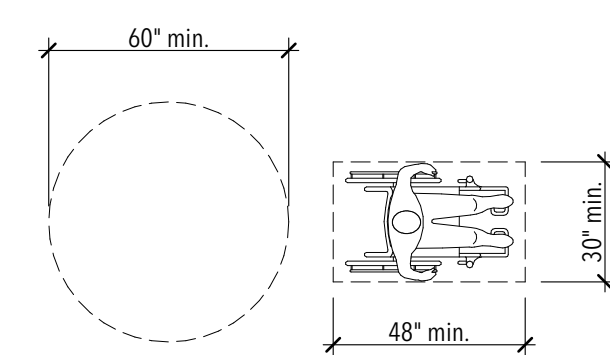


FIGURE 305.3
SIZE OF CLEAR FLOOR SPACE

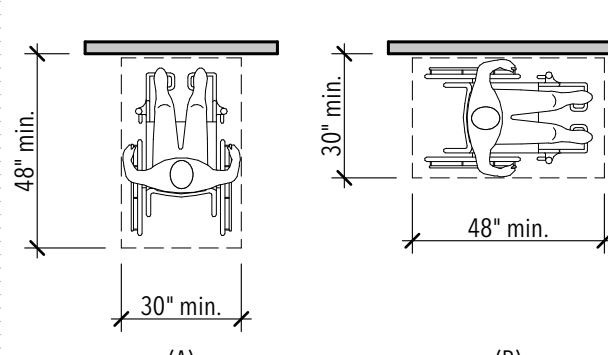


FIGURE 305.5
POSITION OF CLEAR FLOOR SPACE

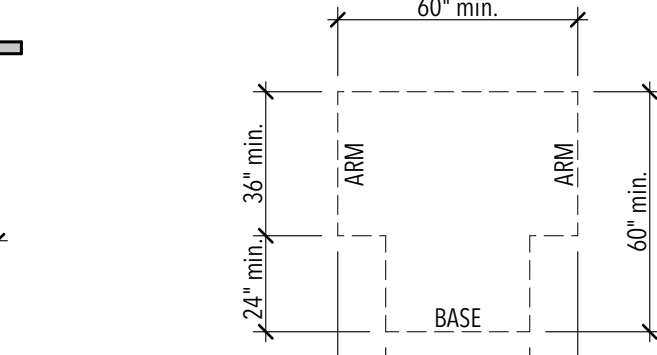


FIGURE 304.3
SIZE OF TURNING SPACE

TURNING SPACE AND CLEAR FLOOR SPACE

05

1/4" = 1'-0"

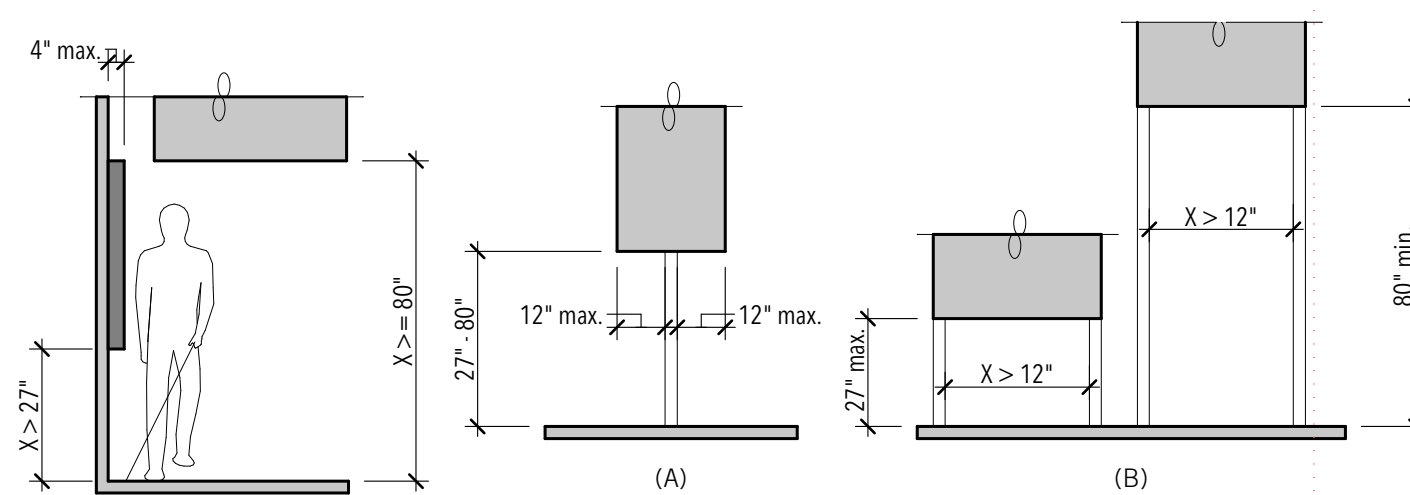


FIGURE 307.2
LIMITS OF PROTRUDING OBJECTS

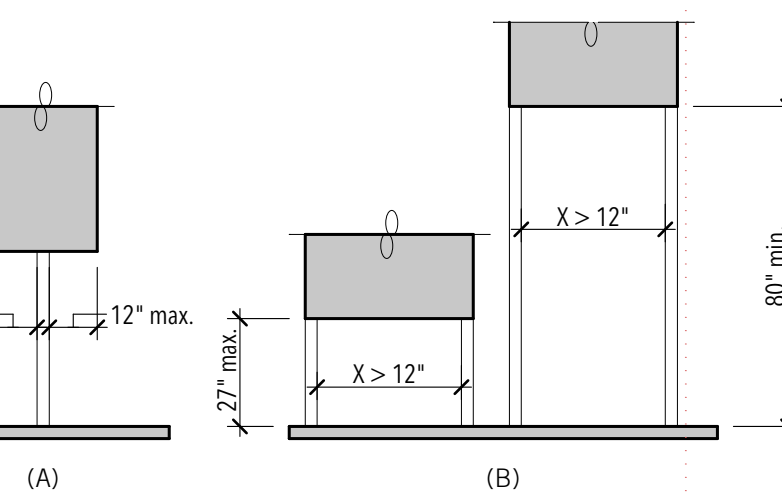


FIGURE 307.3
POST-MOUNTED PROTRUDING OBJECTS

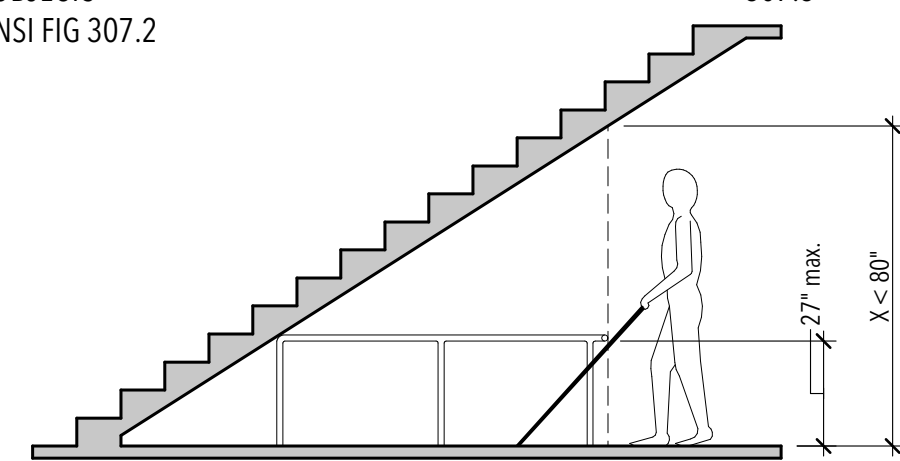


FIGURE 307.4
REDUCED VERTICAL CLEARANCE

PROTRUDING OBJECTS

07

1/4" = 1'-0"

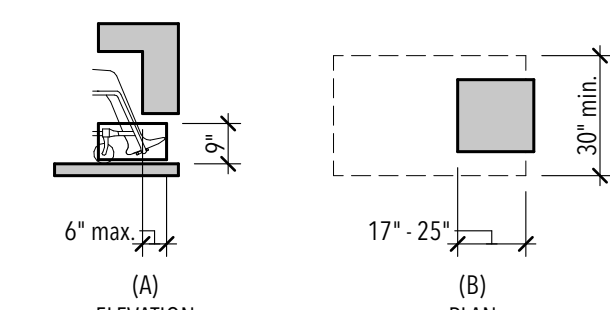


FIGURE 306.2
TOE CLEARANCE

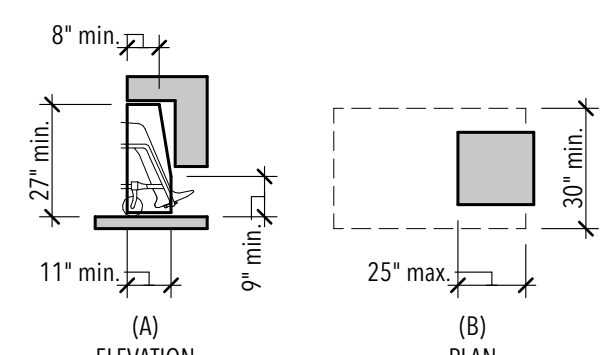


FIGURE 306.3
KNEE CLEARANCE

KNEE AND TOE CLEARANCE

08

1/4" = 1'-0"

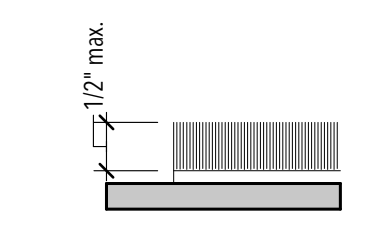


FIGURE 303.2
CARPET ON FLOOR SURFACES

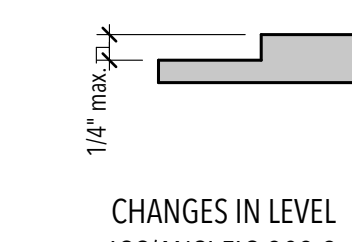


FIGURE 303.2
CHANGES IN LEVEL

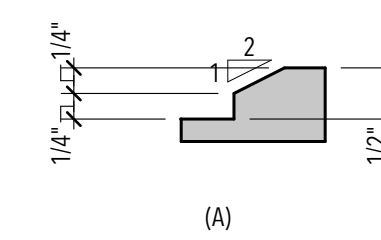


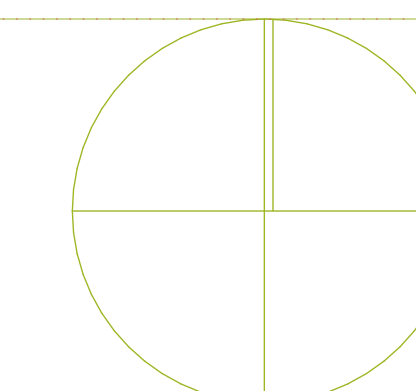
FIGURE 303.3
BEVELED CHANGES IN LEVEL

GROUND AND FLOOR

09

1/4" = 1'-0"

NO.	DATE	DESCRIPTION



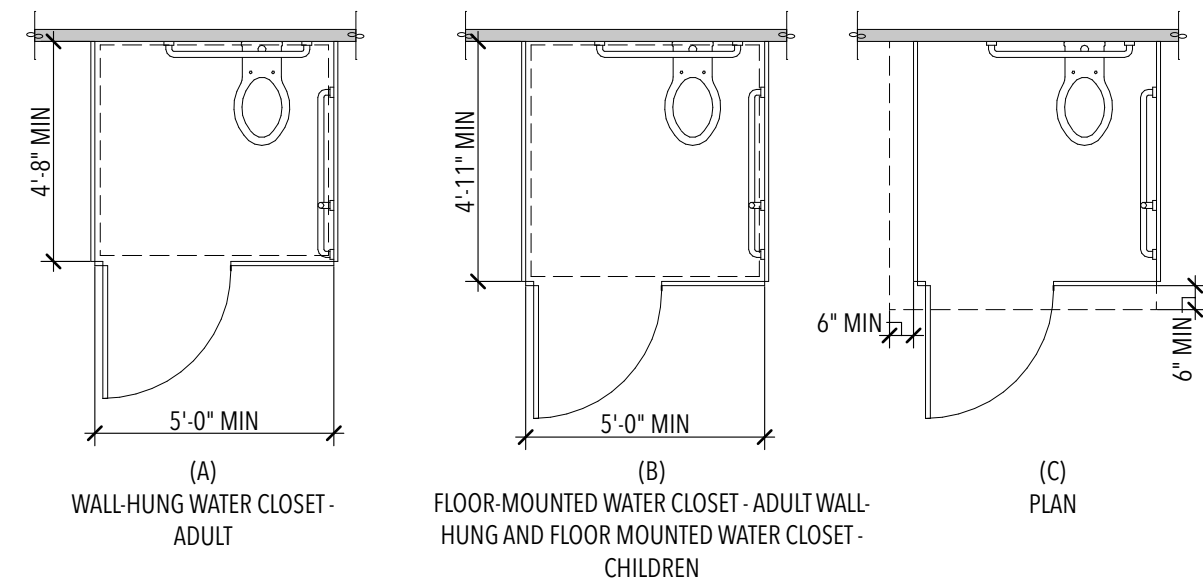


FIGURE 604.9.2
SIZE OF WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT

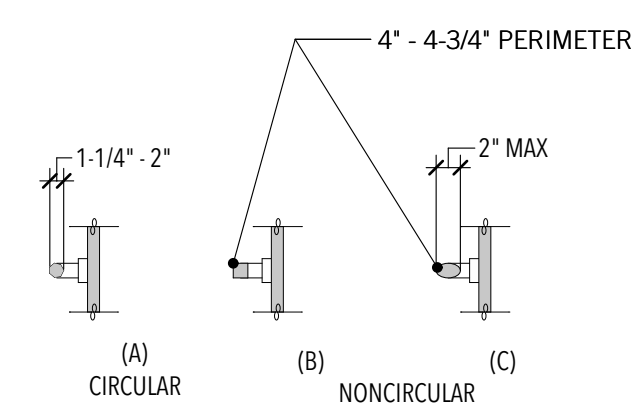


FIGURE 609.2
SIZE OF GRAB BARS

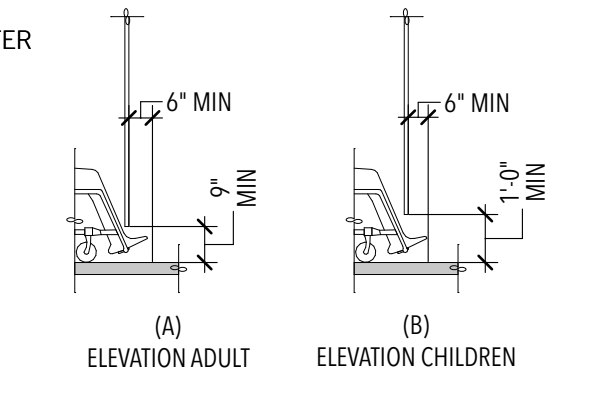


FIGURE 604.9.5
WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TO CLEARANCE

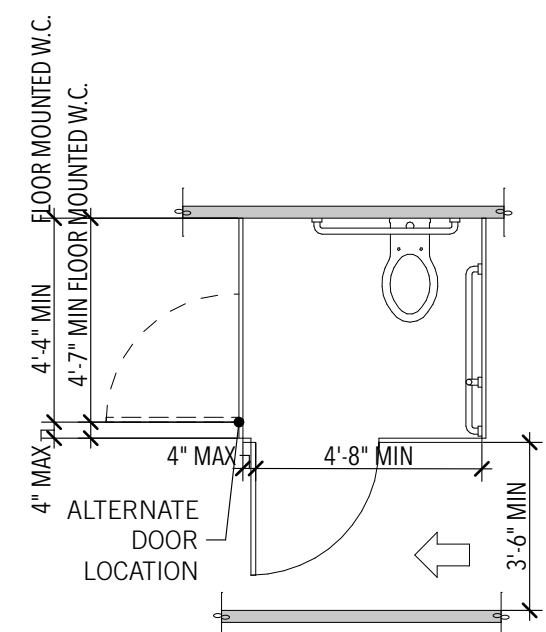


FIGURE 604.9.3.1
WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT DOORS

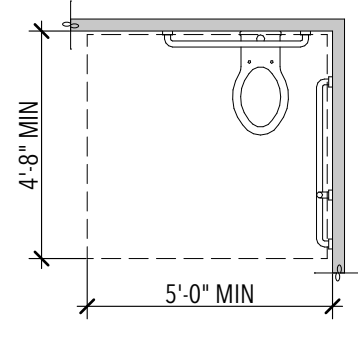


FIGURE 604.3
SIZE OF CLEARANCE AT WATER CLOSETS

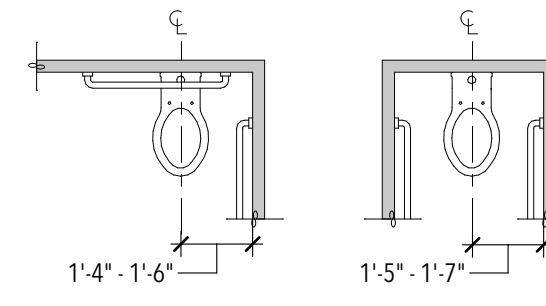


FIGURE 604.2
WATER CLOSET LOCATION

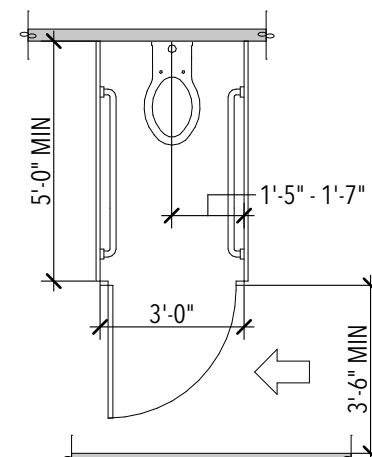


FIGURE 604.10
AMBULATORY ACCESSIBLE TOILET COMPARTMENT

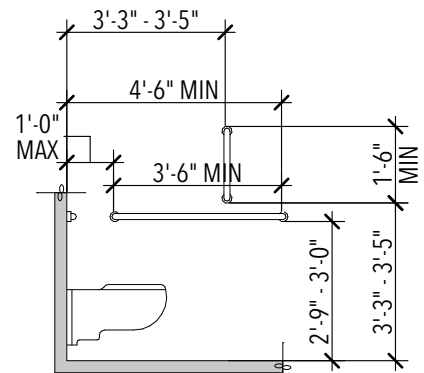
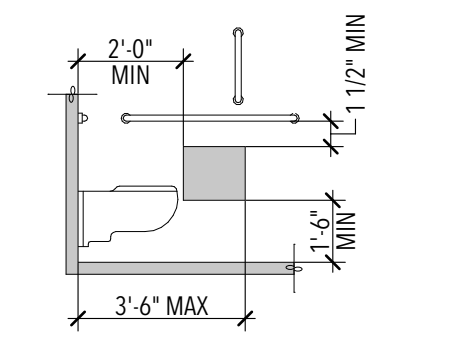
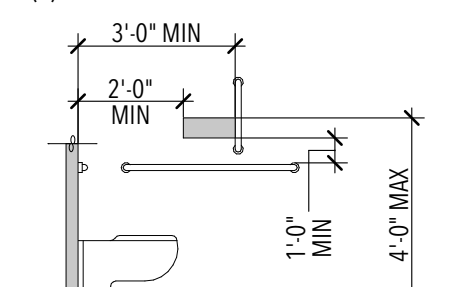


FIGURE 604.5.1
SIDE WALL GRAB BAR AT WATER CLOSETS



(A) PROTRUDING DISPENSER BELOW GRAB BAR



(B) PROTRUDING DISPENSER ABOVE GRAB BAR

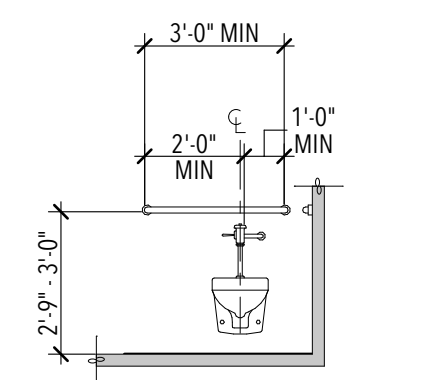
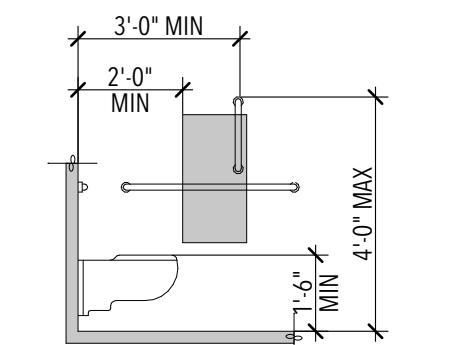


FIGURE 604.5.2
REAR WALL GRAB BAR AT WATER CLOSETS



(C) RECESSED DISPENSER

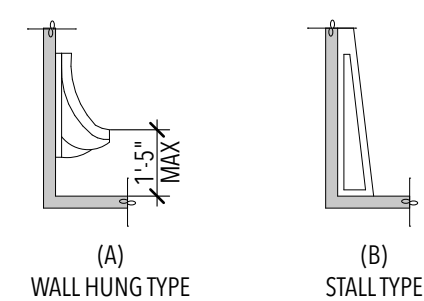
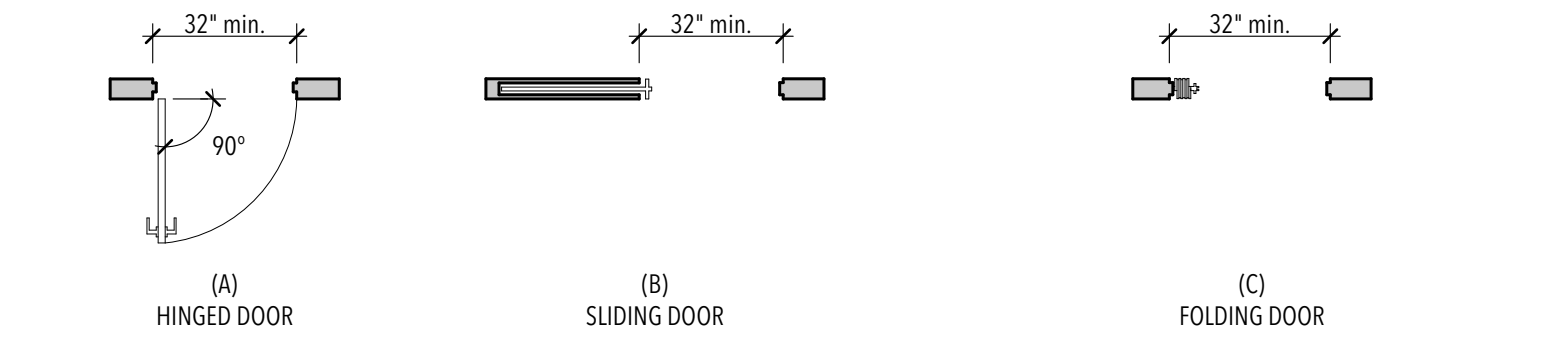
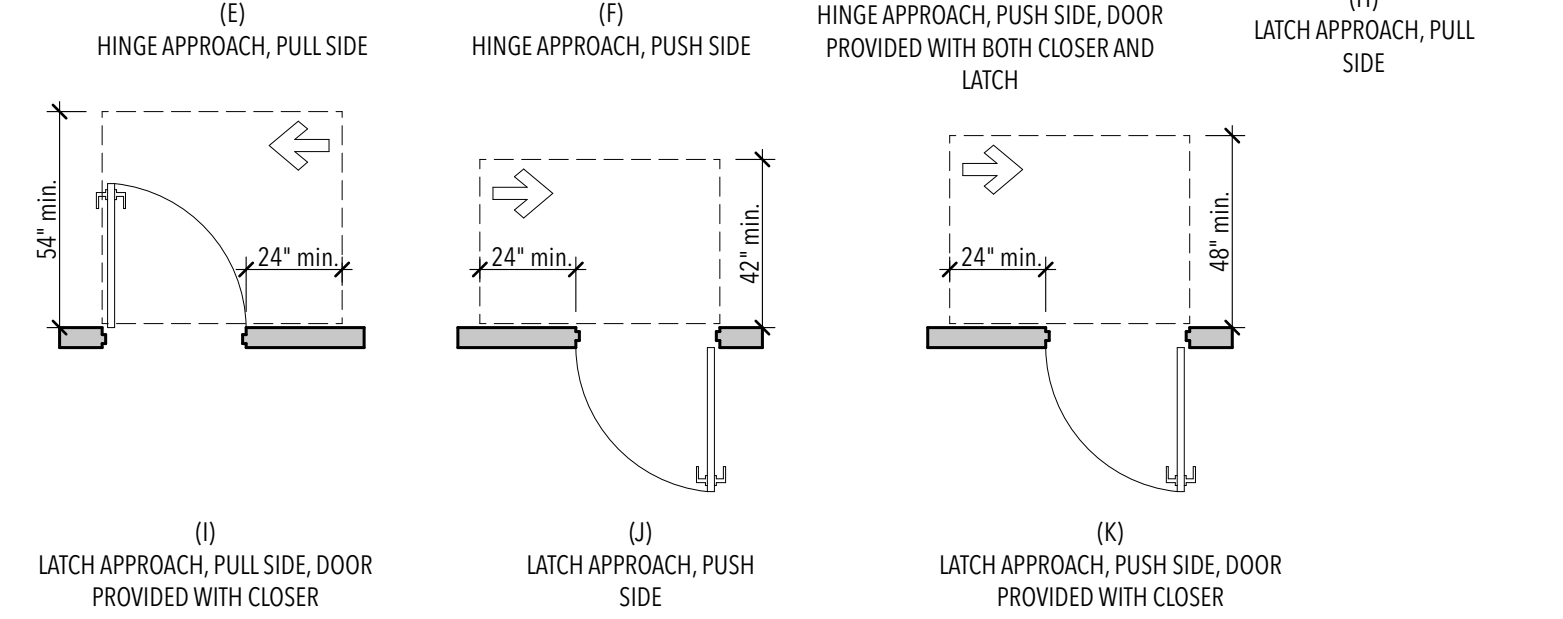
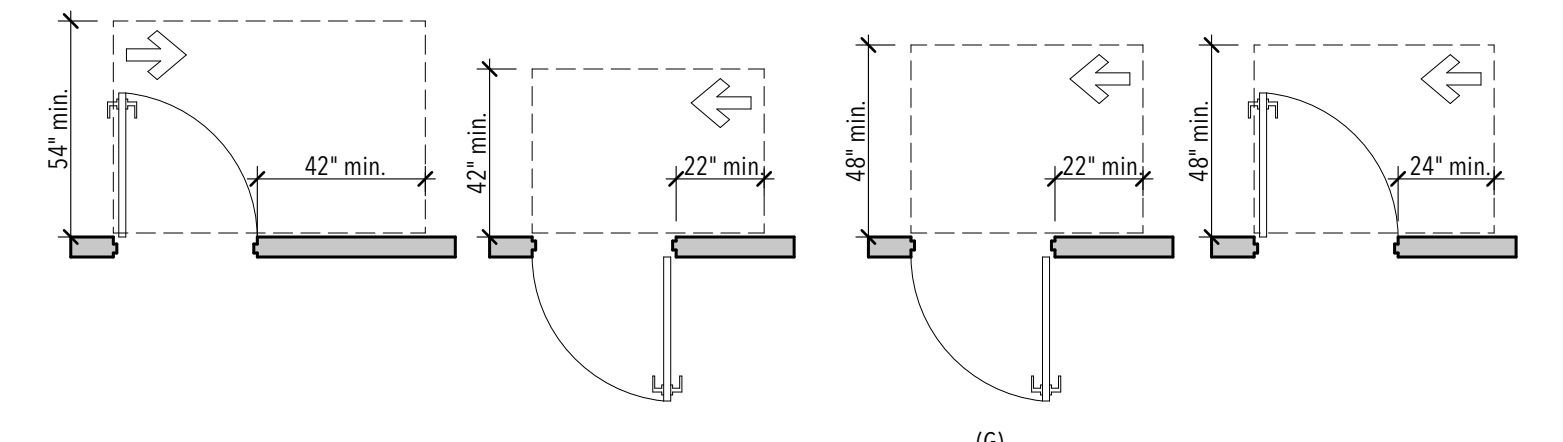
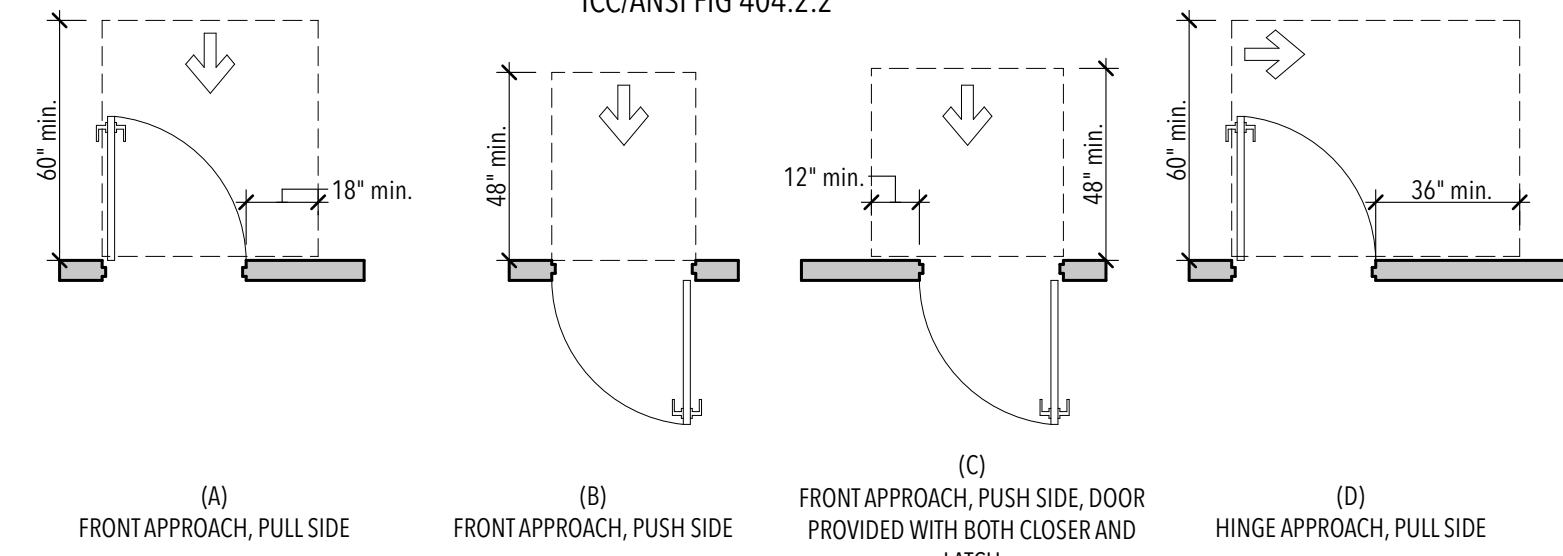


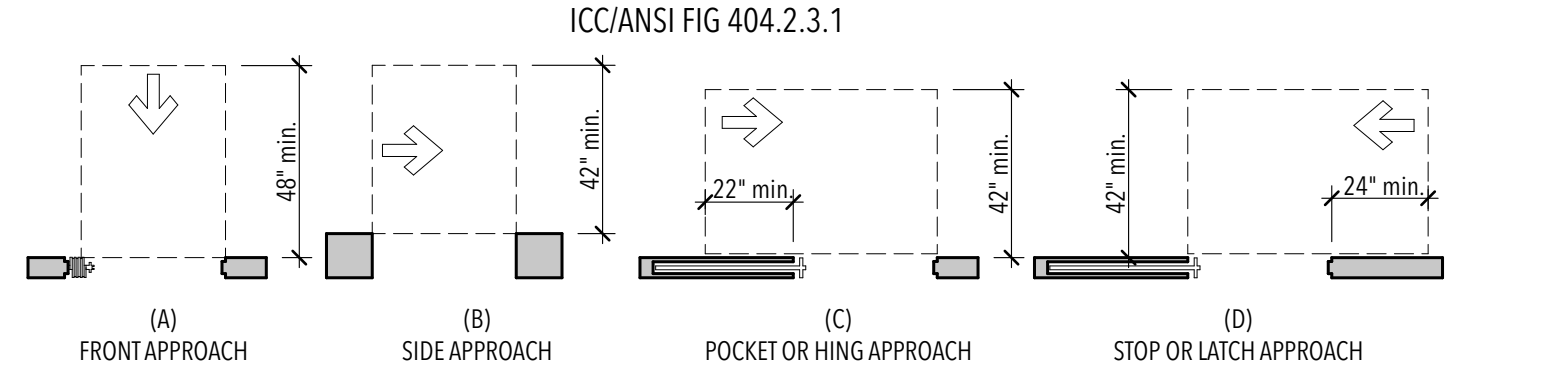
FIGURE 605.2
HEIGHT AND DEPTH OF URINALS
TOILET COMPARTMENTS



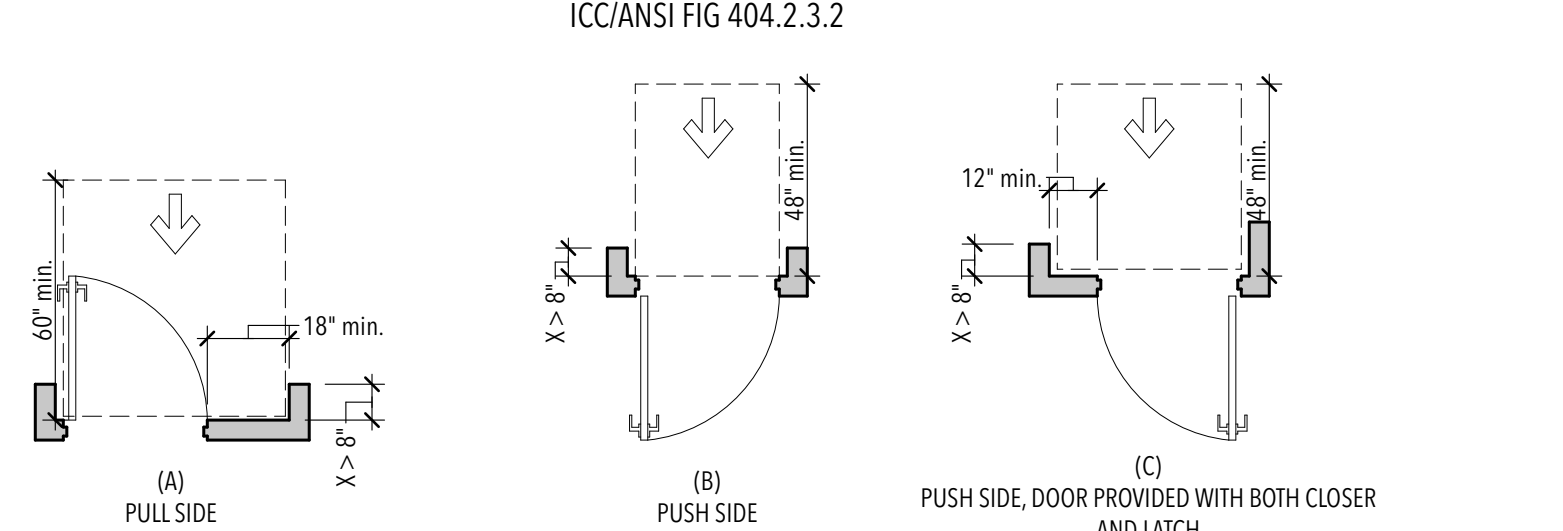
CLEAR WIDTH OF DOORWAYS
ICC/ANSI FIG 404.2.2



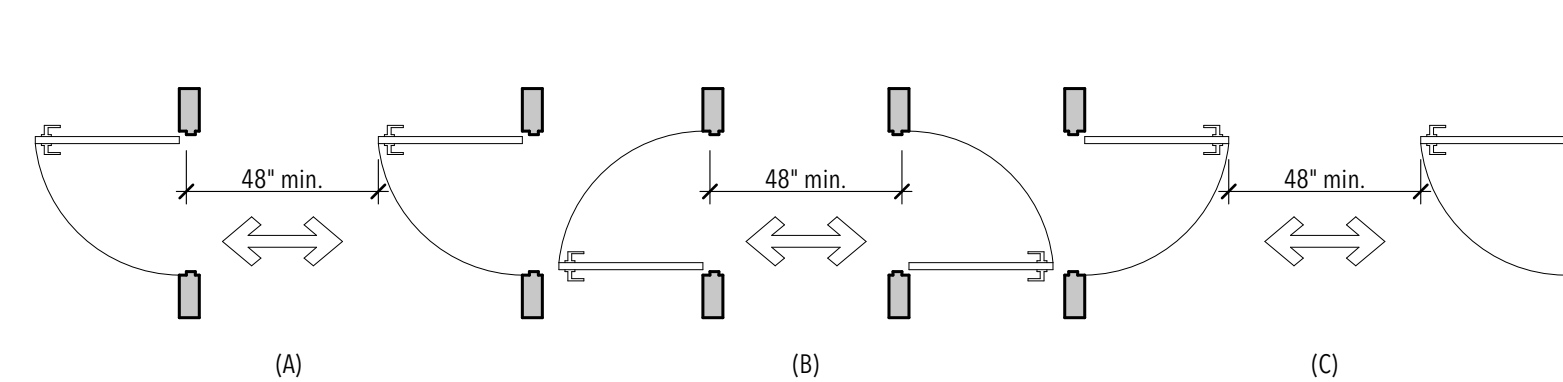
MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS
ICC/ANSI FIG 404.2.3.1



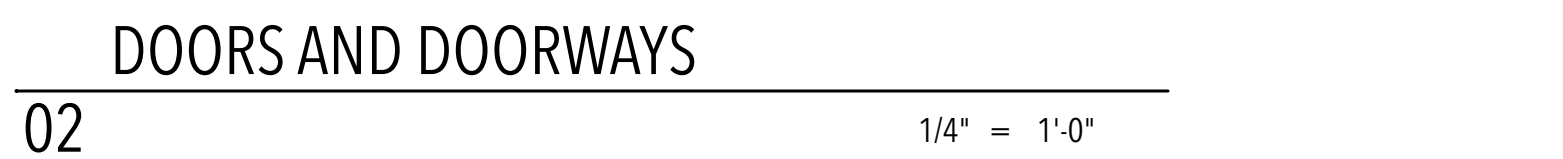
MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS
ICC/ANSI FIG 404.2.3.2



MANEUVERING CLEARANCES AT RECESSED DOORS
ICC/ANSI FIG 404.2.3.4

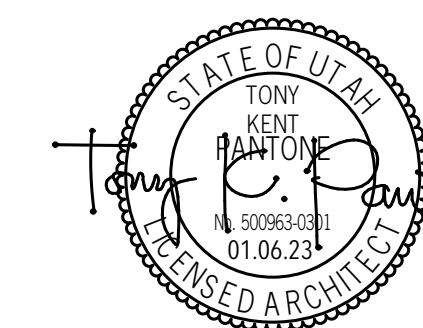


TWO DOORS IN SERIES
ICC/ANSI FIG 404.2.5



DOORS AND DOORWAYS

CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154
SCALE: 1/4" = 1'-0"





- LIFE SAFETY SYMBOL LEGEND:**
- DF : Drinking fountain
 - FE : Fire extinguisher - max. travel distance to reach a fire extinguisher from any point in the building shall not exceed 75 feet. Coordinate final location with Fire Marshall.
 - FDC : Fire department connection
 - DOOR → : Number of occupants through door opening
 - DOOR ← : Max. occupant load thru exit
 - DOOR ← : Min. required exit width
 - DOOR ← : Exit width provided; doors measured between door face and stop.
 - OFFICE ← : Area of room
 - OFFICE ← : S.F. per occupant per IBC 1004.5
 - OFFICE ← : # of occupants in room
 - - - - - : Exit access travel path
 - - - - - : Common path egress

CODE ANALYSIS:

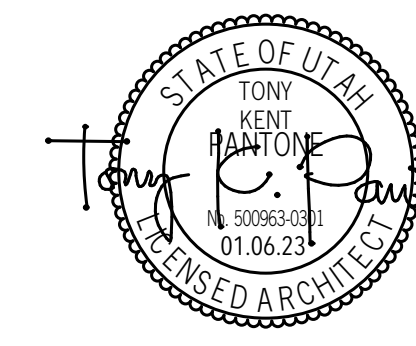
AREAS/TABULATIONS			
1st Level Building Area	14,629 s.f.		
2nd Level Building Area	2,600 s.f.		
Total Building Area	17,229 s.f.		
CIVIL RIGHTS		YEAR	
American Disability Act (ADA)		2010	
Standard for Accessible Design			
APPLICABLE CODES		YEAR	
International Building Code (IBC)		2018	
International Mechanical Code (IMC)		2018	
International Plumbing Code (IPC)		2018	
International Energy Conservation Code (IECC)		2018	
National Electric Code (NEC)		2020	
USE AND OCCUPANCY CLASSIFICATION (Chapter 3):			
Occupancy Classification (302)		E (Educational)	
Other Occupancies		B (Business)	
Occupancy Separations (508.4):		Non-separated uses - No separation required if the most restrictive use requirements are met (508.3.3)	
GENERAL BUILDING HEIGHTS AND AREAS (Chapter 5)			
Allowable Building Height (504.3)		60 ft.	
Actual Building Height		25 ft.	
Allowable Number of Stories above Grade Plane (504.4)		2	
Actual Number of Stories above Grade Plane		1	
TYPES OF CONSTRUCTION (Chapter 6):			
Type of Construction (601)		VB	
Automatic Sprinkler System (Req'd if fire area greater than 12,000 s.f.)		Fully automatic fire sprinkler system provided	
FIRE-RESISTIVE REQUIREMENTS (Hours):		TYPE VB (601)	
Primary Structural Frame		0	
Bearing Walls - Exterior		0	
Bearing Walls - Interior		0	
Nonbearing Walls and Partitions - Exterior		0	
Nonbearing Walls and Partitions - Interior		0	
Floor Construction and Associated Secondary Members		0	
Roof Construction and Associated Secondary Members		0	
FIRE DOOR ASSEMBLIES (Section 716.5):			
1-hour Partition Fire Rating		3/4-hour fire assembly rating	
1/2-hour Partition Fire Rating		1/3-hour fire assembly rating	
FIRE AND SMOKE PROTECTION FEATURES:			
Shaft Enclosures: Shaft enclosures shall have a fire-resistive rating of not less than 1 hour when connecting less than 4 stories (Sec. 713.4)			
AUTOMATIC SPRINKLER SYSTEMS (Chapter 9):			
Automatic sprinkler system provided (Must meet NFPA 13)			
MEANS OF EGRESS:			
Exit Access Travel Distance:		E (Educational) : 250 I.F. with sprinkler system (Table 1017.2)	
Maximum Common Path of Egress Travel Distance:		E (Educational) : 75 I.F. with sprinkler system (Table 1006.3.1)	
BUILDING			
Allowable Area Factor (506.2)		38,000 s.f./Story (A)	
Allowable Area Factor for Non-Sprinkled Building		9,500 s.f. (NS)	
Building Perimeter		565 I.F. (P)	
Building Perimeter with >= 30 ft. clear		565 I.F. (F)	
Width of Public Way		30 ft. Average (W=30)	
Frontage Increase (506.3)			
I = (F/P) * 0.25 / 30			
I = (565/565) * 0.25 / 30			
I = 75			
Allowable Area (Single-Occupancy, One-story Buildings) (506.2.1)			
A _a = [A _s + (N _s x I _f)]			
A _a = [38,000 + (9,500 x 75)]			
A _a = 44,650			
OCCUPANT LOAD (1004):			
FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	ACTUAL AREA	OCCUPANT LOAD
Business	150 gross	2,627 s.f.	18
Classrooms	20 net	7,352 s.f.	368
Storage	300 gross	427 s.f.	1
Storage (Mechanical Rooms)	300 gross	2,600 s.f.	9
Total Occupant Load			396
INTERNATIONAL ENERGY CONSERVATION CODE REQUIREMENTS:			
Climate Zone (C301)		Climate Zone 5B	
Thermal Envelope Insulation Min. Requirements (Table C402.1.3)		All Other: Provided:	
Roofs: Insulation Entirely Above Roof Deck		R-30ci 04 R-30ci	
Walls: Wood Framed, Above Grade		R-13+R-3.8ci 04 R-19+R-7.5ci	
Slab-On-Grade Floors: Unheated Slabs		R-10 for 24" Below 04 R-10 for 24" Below	

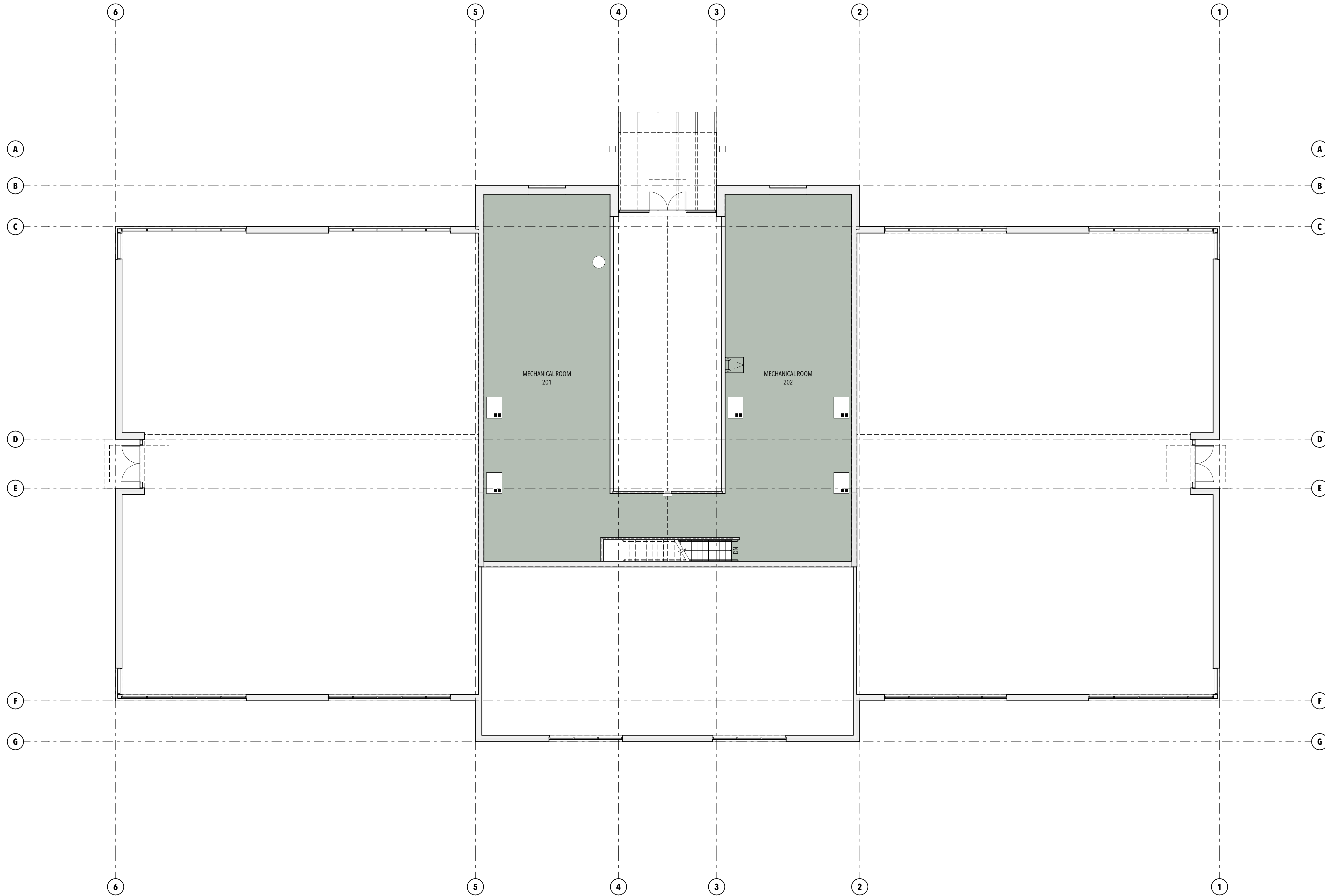
PLUMBING FIXTURE CALCULATIONS:

USE GROUP	DESCRIPTION	WATER CLOSETS	LAVATORIES/DRINKING	OTHER FOUNTAINS
		Male	Female	
E	Educational	1/50	1/50	1/100
	396 occupant load			
	50:50 ratio	198/50	198/50	396/100
	198 males : 198 females			
	Required fixtures:	3.96	3.96	3.96
	Provided:	5	5	4

NO.	DATE	DESCRIPTION
04	03.31.23	PERMIT REVIEW COMMENTS

CONFORMED SET
 DATE: 04.27.23
 PROJECT NUMBER: 2154
 SCALE: 1' = 1'-0", 1/8" = 1'-0"

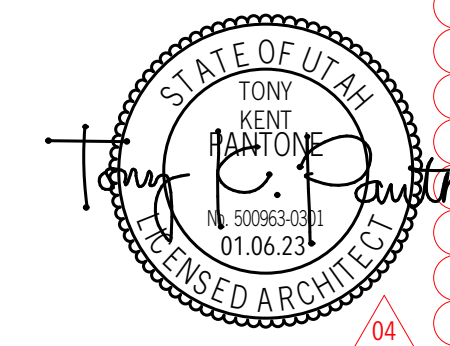




- LIFE SAFETY SYMBOL LEGEND:**
- DF : Drinking fountain
 - FE : Fire extinguisher - max. travel distance to reach a fire extinguisher from any point in the building shall not exceed 75 feet. Coordinate final location with Fire Marshall.
 - FDC : Fire department connection
 - 000 → : Number of occupants through door opening
 - DOOR
200 OCC
0.15 LF
300' F
680' F ← : Max. occupant load thru exit
 - DOOR
200 OCC
0.15 LF
300' F
680' F ← : Min. required exit width
 - DOOR
200 OCC
0.15 LF
300' F
680' F ← : Exit width provided; doors measured between doors measured between door face and stop.
 - DOOR
200 OCC
0.15 LF
300' F
680' F ← : Area of room
 - DOOR
200 OCC
0.15 LF
300' F
680' F ← : S.F. per occupant per IBC 1004.5
 - DOOR
200 OCC
0.15 LF
300' F
680' F ← : # of occupants in room
 - - - - - : Exit access travel path
 - - - - - : Common path egress

NO.	DATE	DESCRIPTION

CONFORMED SET
 DATE: 04.27.23
 PROJECT NUMBER: 2154
 SCALE: 1' = 1'-0", 1/8" = 1'-0"



2ND LEVEL LIFE SAFETY PLAN





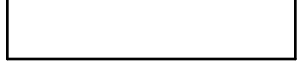


GENERAL SITE PLAN NOTES:

- A. Field verify all dimensions, utilities, improvements, etc.
- B. Re: civil drawings for demolition, grading, utilities, erosion control, etc.
- C. Re: sheet ES1.1 for site lighting and electrical.
- D. Provide construction / expansion joints as shown - re: civil drawings for details.
- E. Provide underground PVC sleeves below concrete site elements as required for irrigation system - re: civil & landscape.
- F. Grading at the building shall have a 5% minimum slope away from the building for a minimum of 10'-0", uno. Concrete shall be sloped 2% away from building.
- G. Top of foundation shall be 8" above finished grade uno - see IBC 1808.7.4.
- H. All utility connections from city streets to the building are to be provided under this contract. Contractor shall verify city standards for road, curb, utility and signage requirements.
- I. All exterior sidewalks, stairs and landings shall have positive drainage, but no more than a maximum of 1/4" slope per foot. All stairs and ramps shall have a landing of 48 inches long at the top and bottom with a maximum slope of 1/4" per foot. All rebar in exterior applications shall be epoxy coated.
- J. All hardscape shall be a minimum of 4" thick concrete over 4" free draining gravel base.
- K. Finish grade of softscape shall be 2" uniformly below paving surfaces uno.
- L. Coordinate location and orientation of fire hydrant outlets with the Fire Marshall's office prior to the final installation of the hydrant assembly.
- M. Contractor shall abide to the Utah Division of Air Quality requirements and call (801) 536.4400 prior to beginning construction on site.
- N. Contractor shall notify Blue Stakes at (800) 662.4111 or <http://www.bluestakes.org> prior to beginning construction on site.

KEYED NOTES:

- 03.09 Architectural concrete bench - re: details and specifications. Coordinate form tie layout with Architect.
- 04.06 Concrete paver system (Belgard; Melville Plank or equivalent; Size: Slim Pavers in 5"x11 13/16"x2 3/8" and 5"x15 3/4"x2 3/8"; Colors: 40%/60% mix of Rio and Scandia Gray) installed over 1" bedding layer over 6" compacted aggregate base over filtration fabric - re: detail 03/SD2.1. Install with tight-fitted joints in Slim Linear Pattern as shown on drawings.
- 04.07 4" thick x 16" wide concrete border installed over 6" minimum compacted gravel base. Provide control joints as shown on plan.
- 06.14 Steel/composite bench system - re: details
- 32.03 Catch basin - re: civil
- 32.04 Concrete walk - re: civil
- 32.10 Concrete mow strip - re: landscape/civil
- 32.11 Light bollard installed on 12"x12"x12" thick concrete pad, or as recommended by manufacturer - re: electrical
- 32.18 Heavy duty concrete sidewalk/drive access - re: civil
- 32.21 Fence at this property line - by others

SITE PLAN LEGEND:

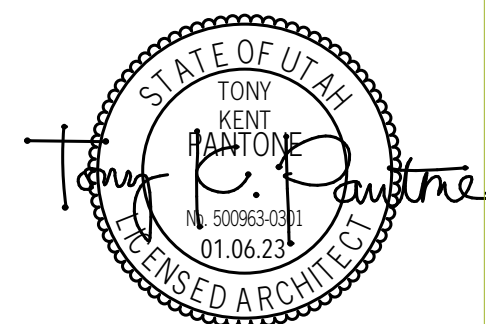
-  : Area of building construction
-  : Landscaping.
-  : Existing landscaping to remain - protect from damage.
-  : Asphalt paving.
-  : Existing asphalt paving to remain - protect from damage.
-  : Concrete paving.
-  : Existing concrete paving to remain - protect from damage.



ENLARGED ARCHITECTURAL SITE PLAN

A 1" = 10'

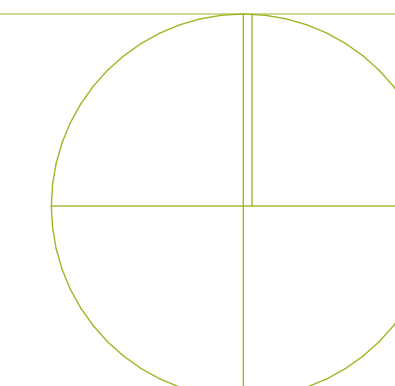
STUDIO 333 ARCHITECTS
 333 24TH STREET
 OGDEN, UT 84401
 801.394.3033



WEST FIELD SR SEMINARY
 4383 W 2200 S, OGDEN, UT

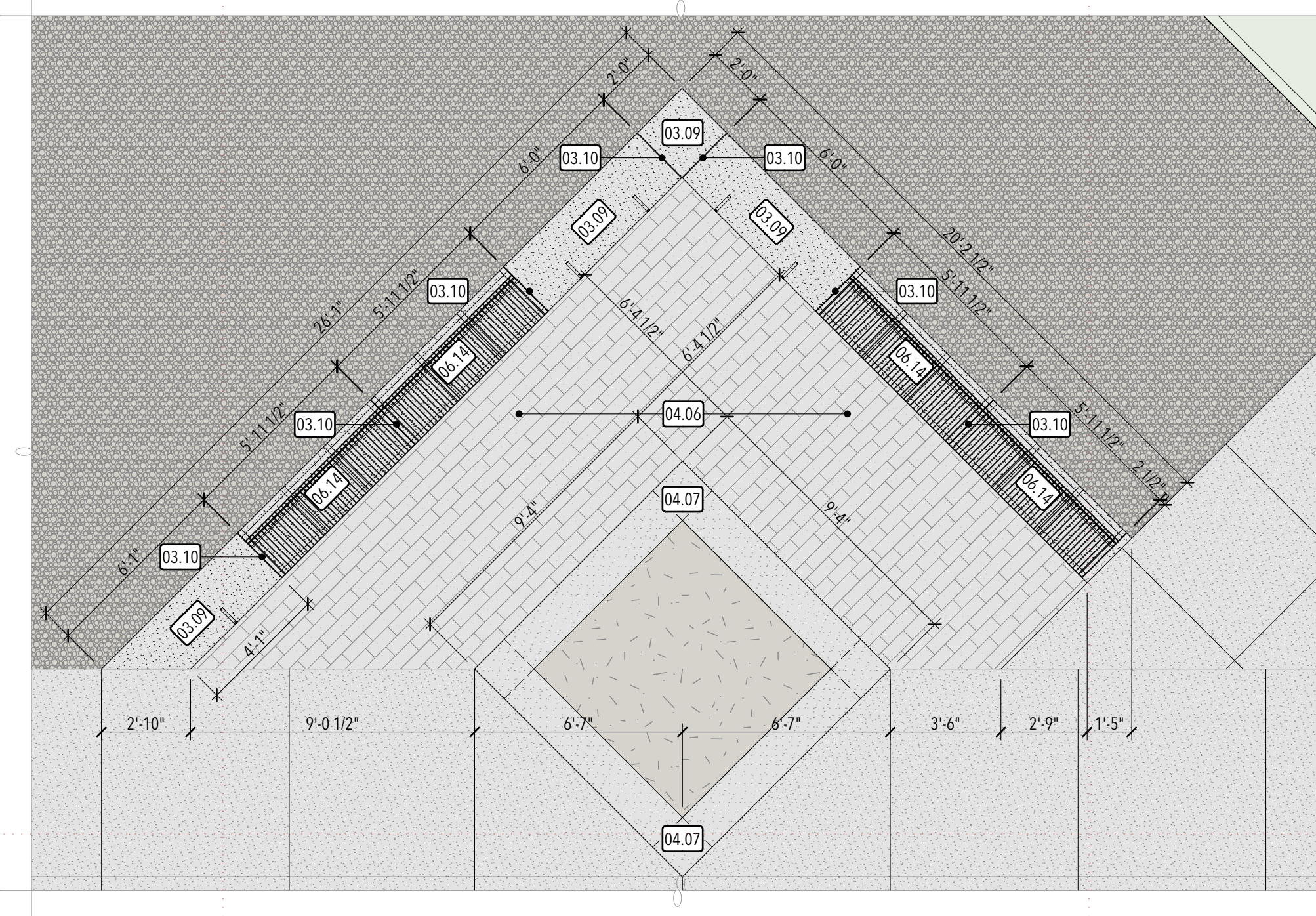
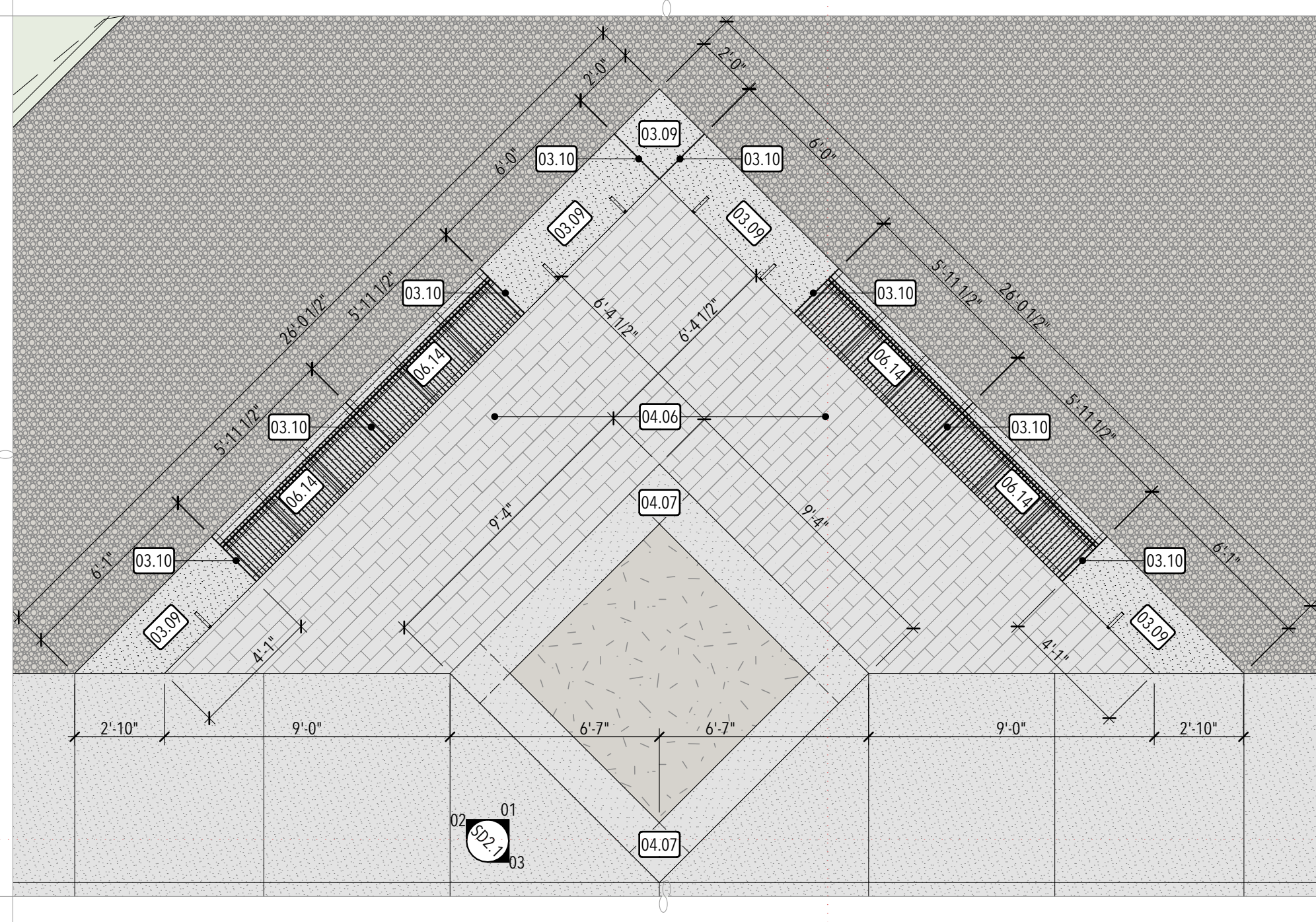
NO.	DATE	DESCRIPTION

CONFORMED SET
 DATE: 04.27.23
 PROJECT NUMBER: 2154
 SCALE: 1" = 1'-0", 1" = 10'



ENLARGED ARCHITECTURAL SITE PLAN

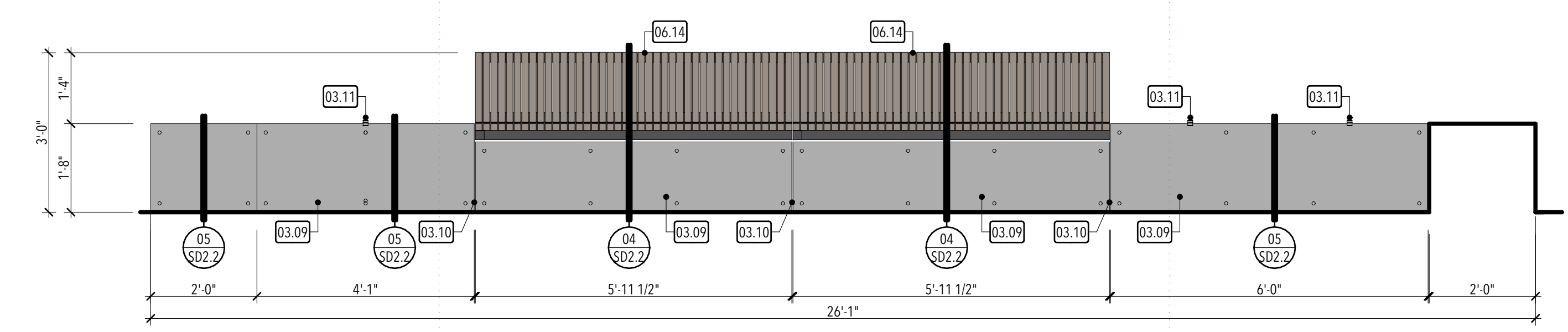
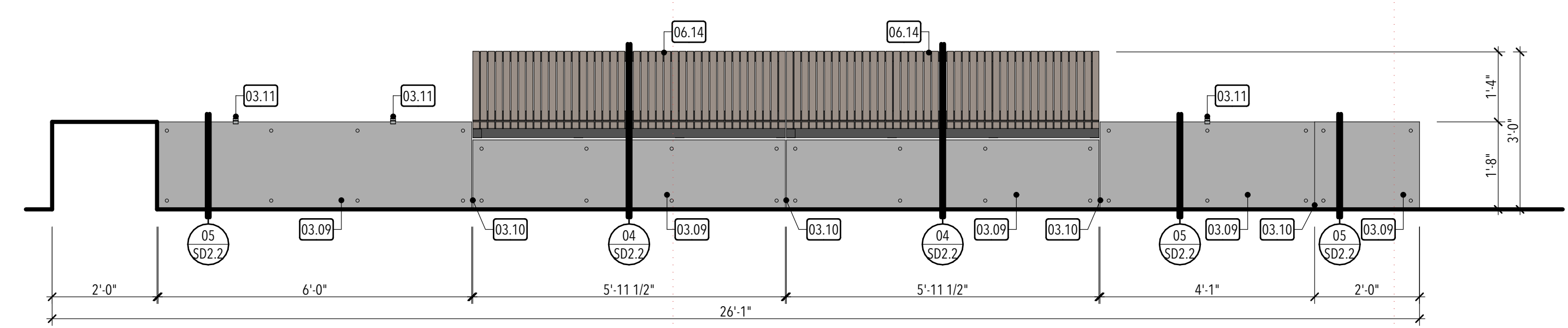
SD1.2



- KEYED NOTES:**
- 03.09 Architectural concrete bench - re: details and specifications. Coordinate form tie layout with Architect.
 - 03.10 3/4" x 3/4" concrete control joint - typ.
 - 03.11 1 1/8" wide x 8 deep extruded aluminum skateboard deterrent (Gorilla 135 or equivalent). Install on (2) concealed G PIN anchors set into concrete foundation as per manufacturer's recommendations. Install in locations noted on concrete bench elevations.
 - 04.06 Concrete paver system (Belgard; Melville Plank or equivalent; Size: Slim Pavers in 5"x11 13/16"x2 3/8" and 5"x15 3/4"x2 3/8"; Colors: 40%/60% mix of Rio and Scandia Gray) installed over 1" bedding layer over 6" compacted aggregate base over filtration fabric - re: detail 03/SD2.1. Install with tight-fitted joints in Slim Linear Pattern as shown on drawings.
 - 04.07 4" thick x 16" wide concrete border installed over 6" minimum compacted gravel base. Provide control joints as shown on plan.
 - 06.14 Steel/composite bench system - re: details

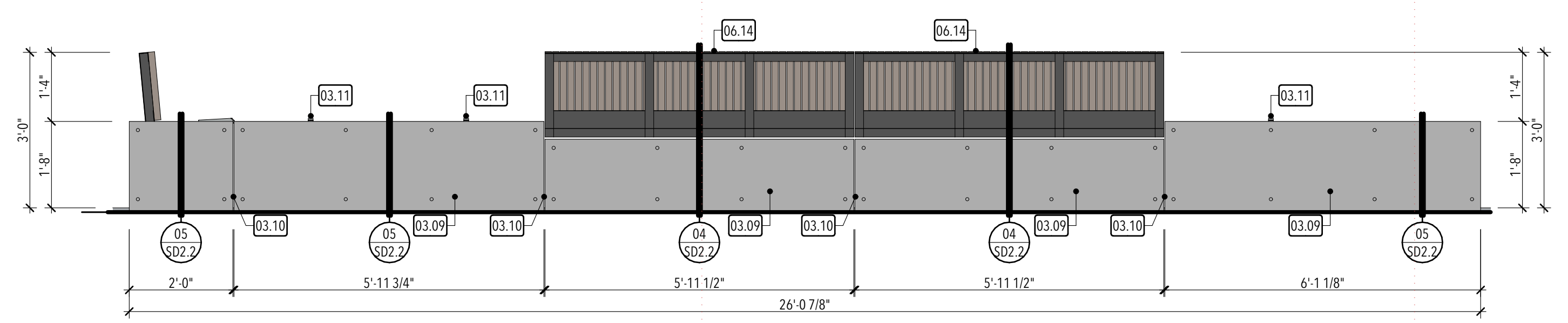
BENCH ENLARGED SITE PLAN
A 1/4" = 1'-0"

BENCH ENLARGED SITE PLAN
B 1/4" = 1'-0"



BENCH ELEVATION Northeast
01 1/2" = 1'-0"

BENCH ELEVATION Northwest
02 1/2" = 1'-0"



BENCH ELEVATION Southeast
03 1/2" = 1'-0"

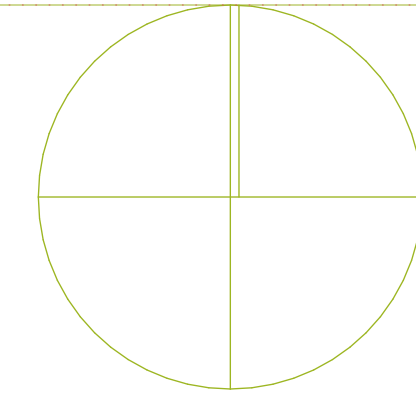
STUDIO 333 ARCHITECTS
333 24TH STREET
OGDEN, UT 84401
801.394.3033

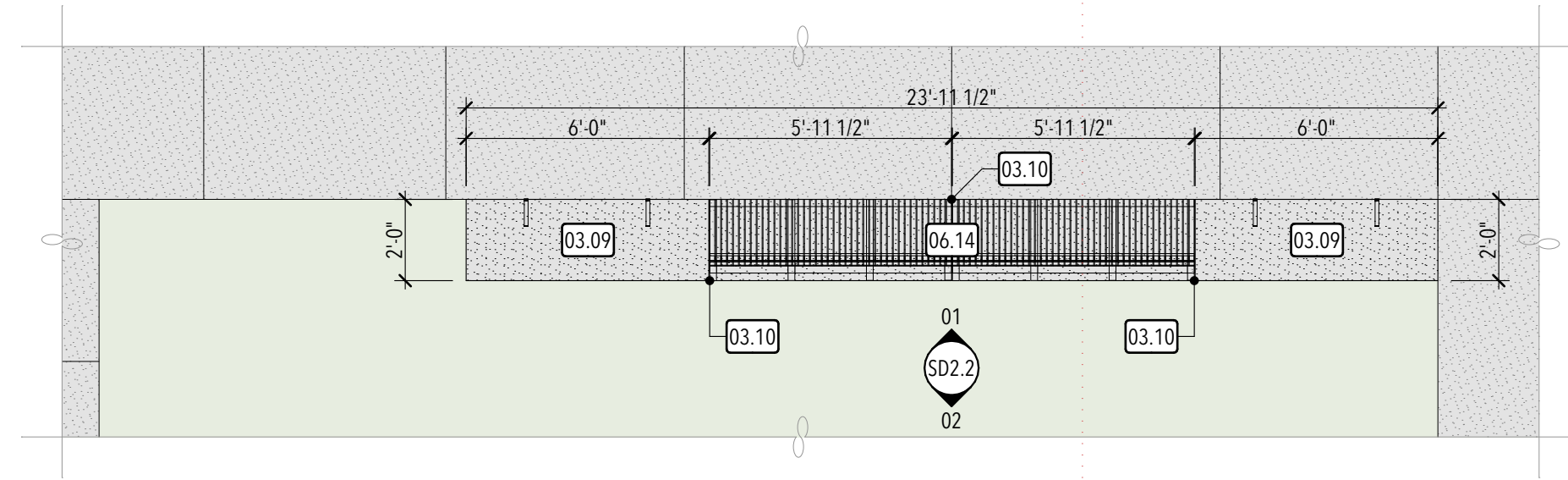


WEST FIELD SR SEMINARY
4383 W 2200 S, OGDEN, UT

NO.	DATE	DESCRIPTION
01	02.06.23	Addendum 01

CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154

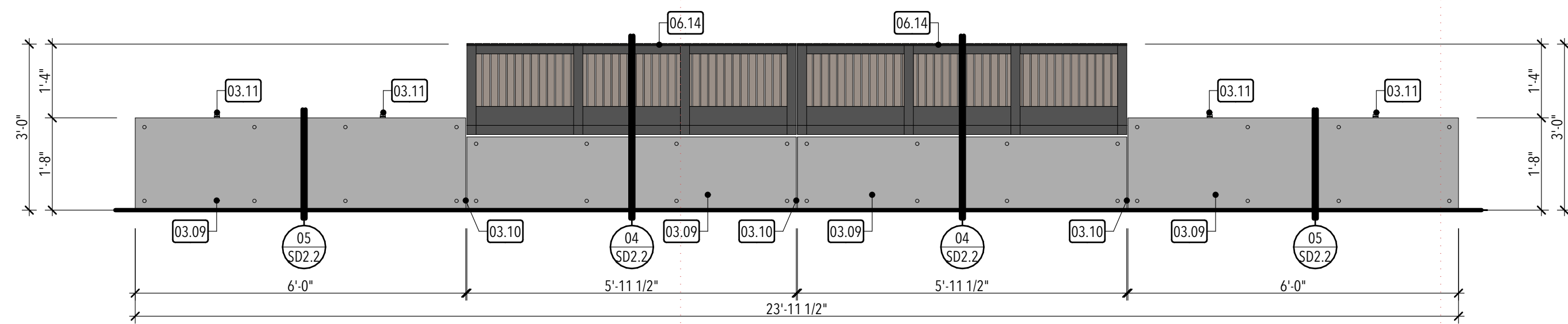




- KEYED NOTES:**
- 03.09 Architectural concrete bench - re: details and specifications. Coordinate form tie layout with Architect.
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 - 06.14 Steel/composite bench system - re: details

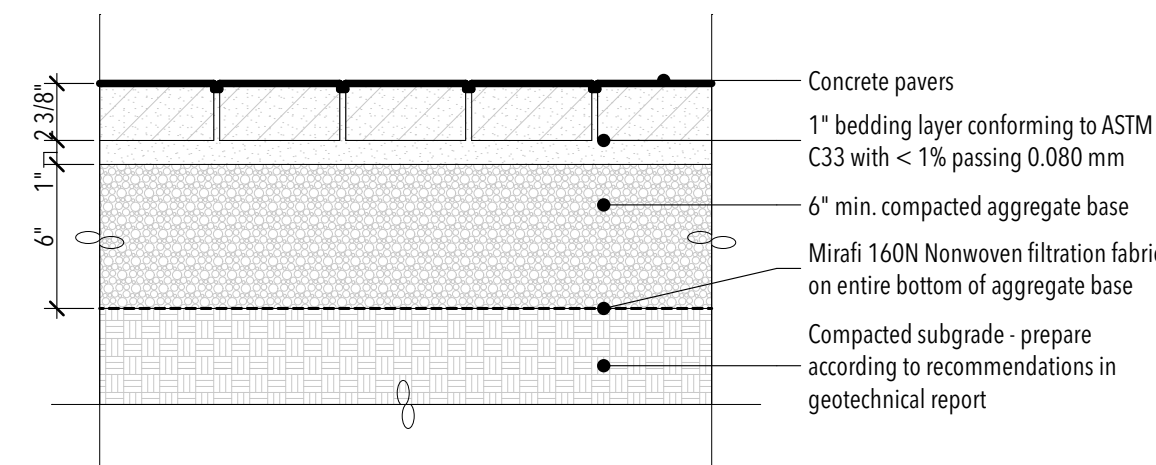
BENCH ENLARGED SITE PLAN

A 1/4" = 1'-0"



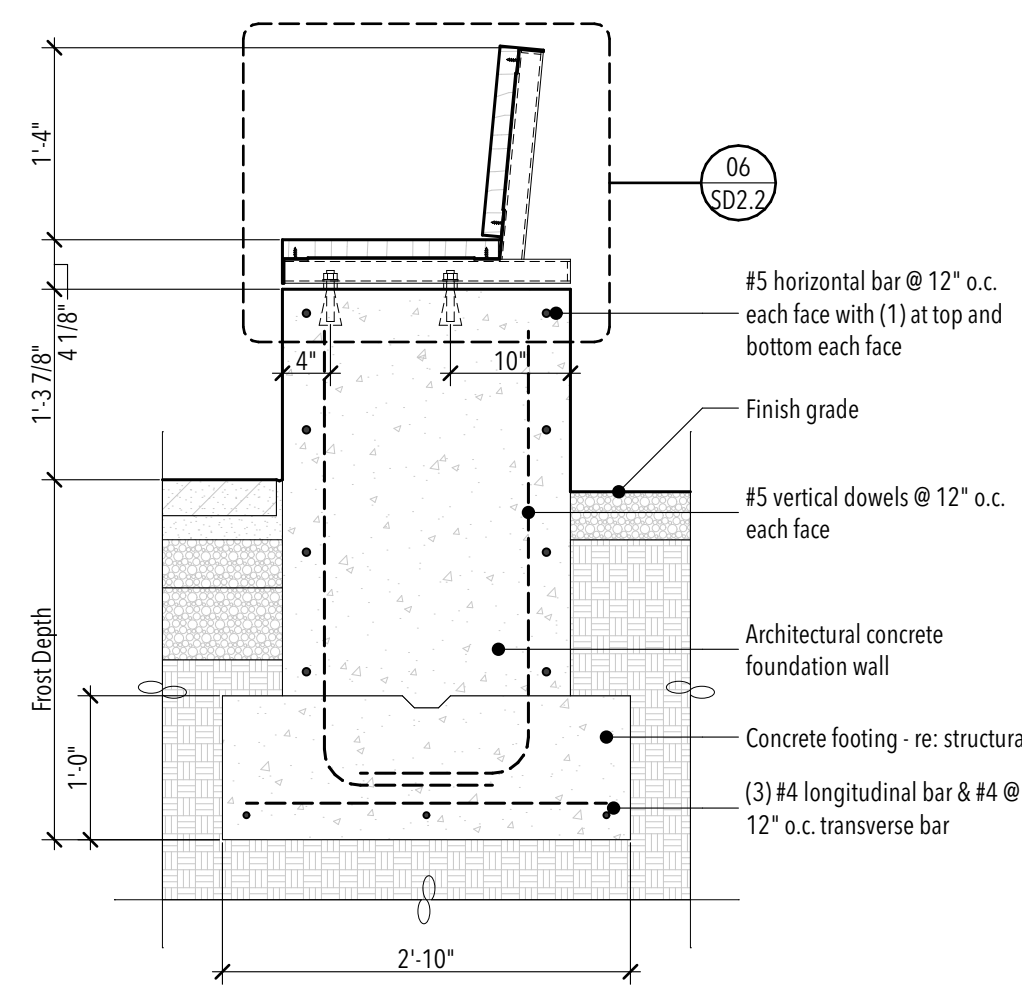
BENCH ELEVATION North

01 1/2" = 1'-0"



PAVER DETAIL

03 1 1/2" = 1'-0"

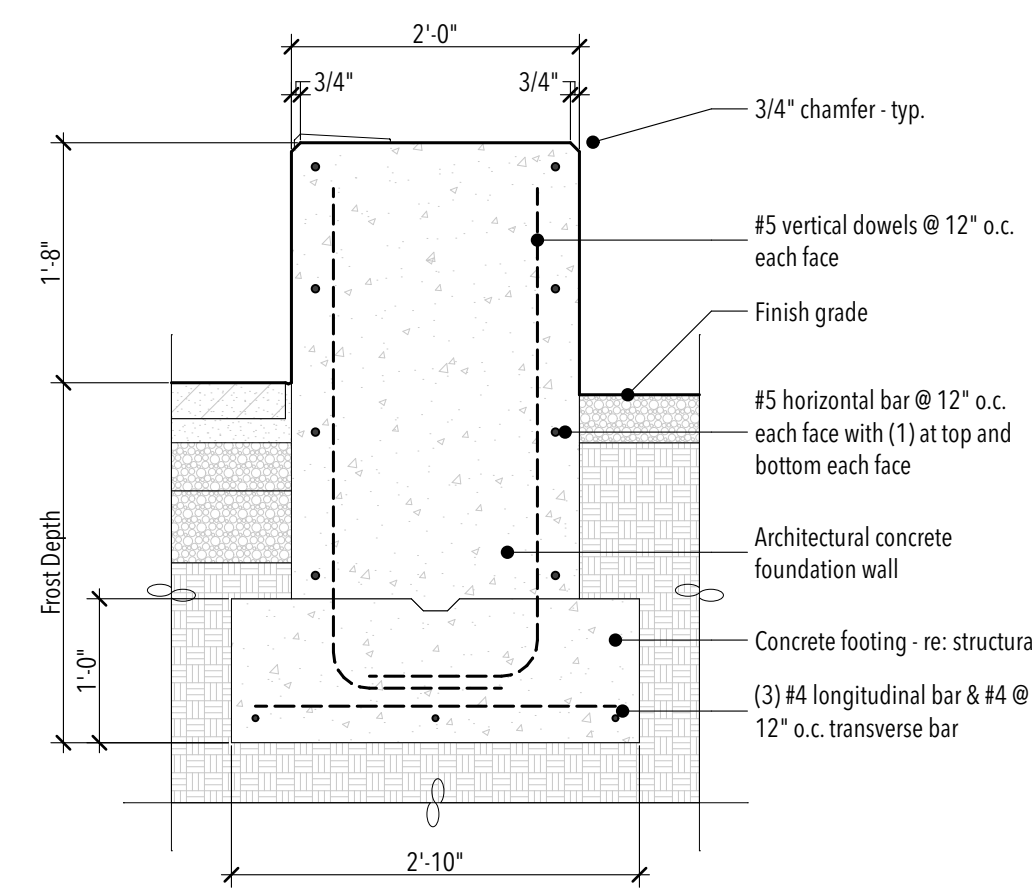


WOOD BENCH DETAIL

04 3/4" = 1'-0"

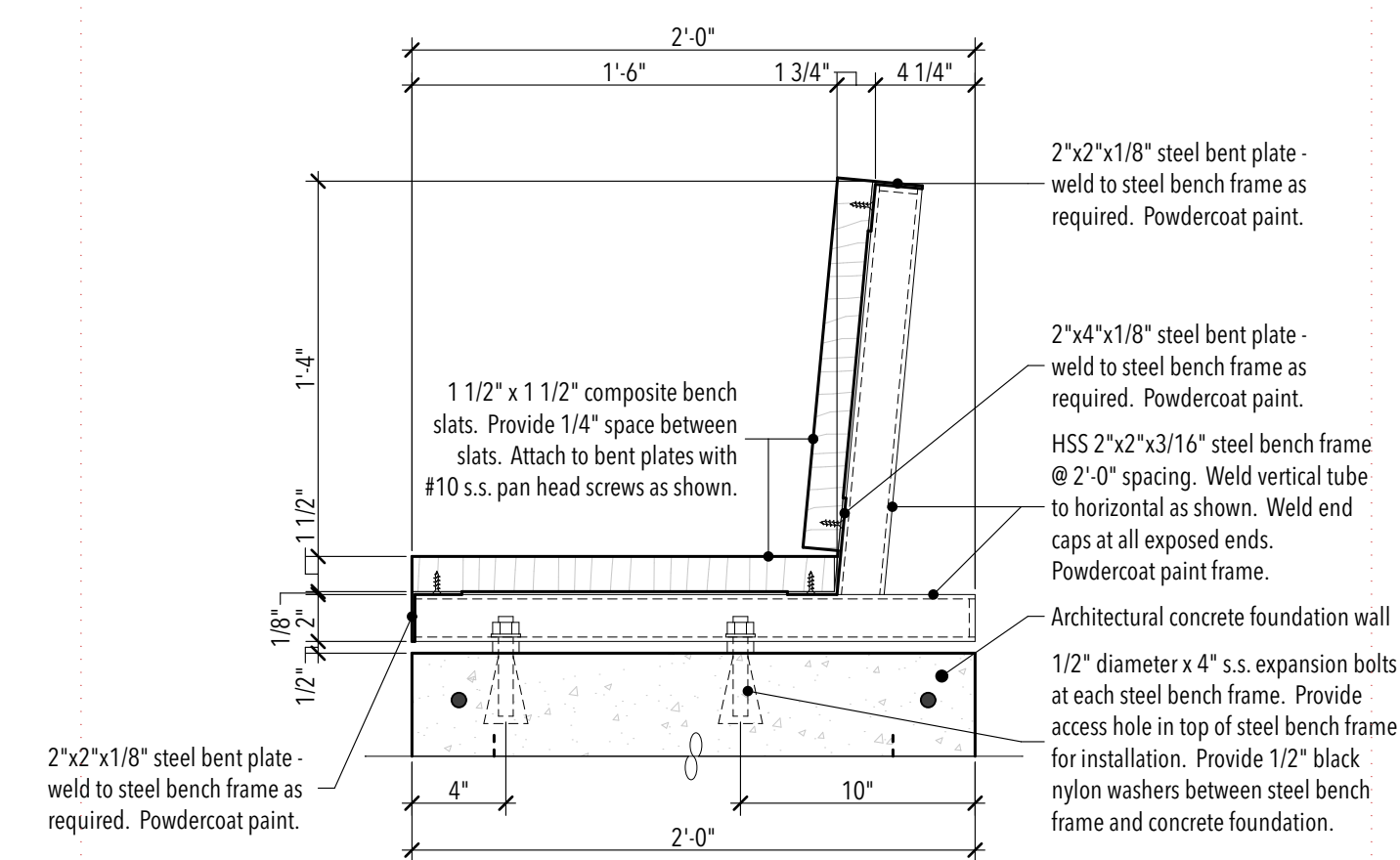
BENCH ELEVATION South

02 1/2" = 1'-0"



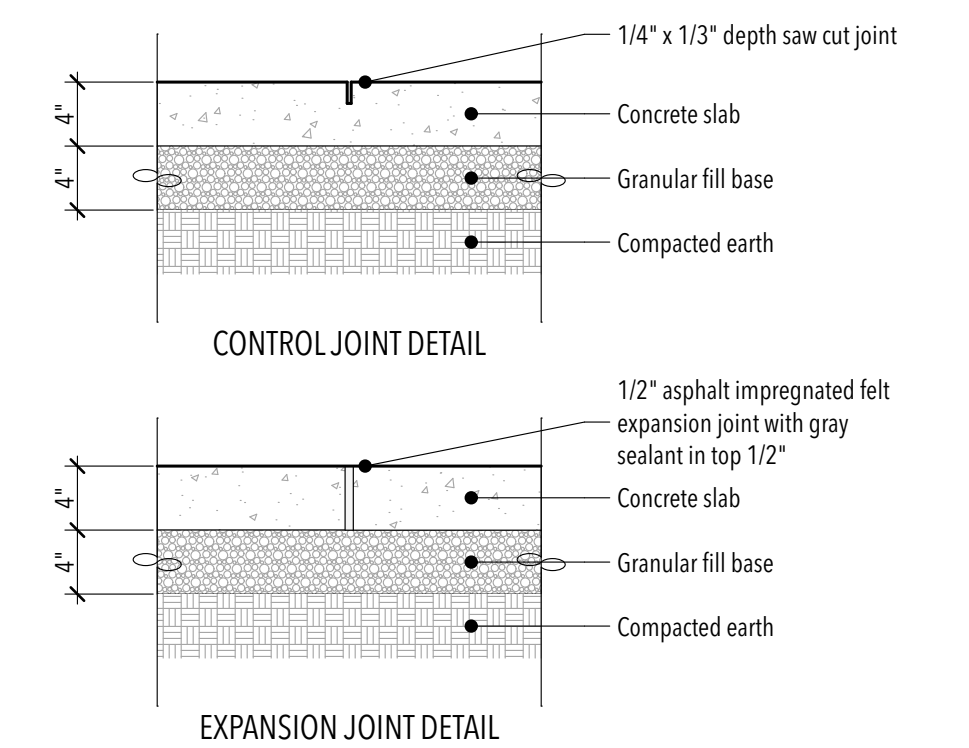
BENCH DETAIL

05 3/4" = 1'-0"



WOOD BENCH DETAIL

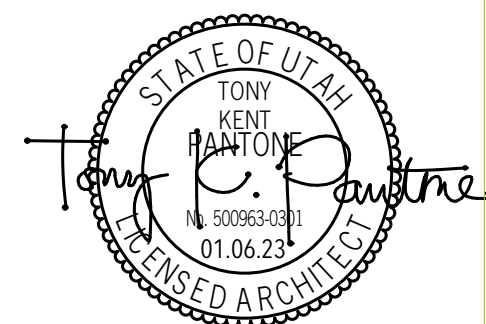
06 1 1/2" = 1'-0"



CONCRETE JOINT DETAIL

07 1" = 1'-0"

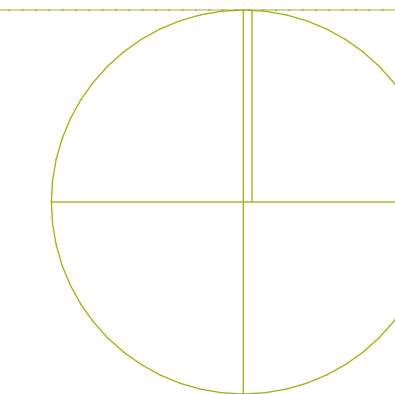
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333 24TH STREET
OGDEN, UT 84401
801.394.3033



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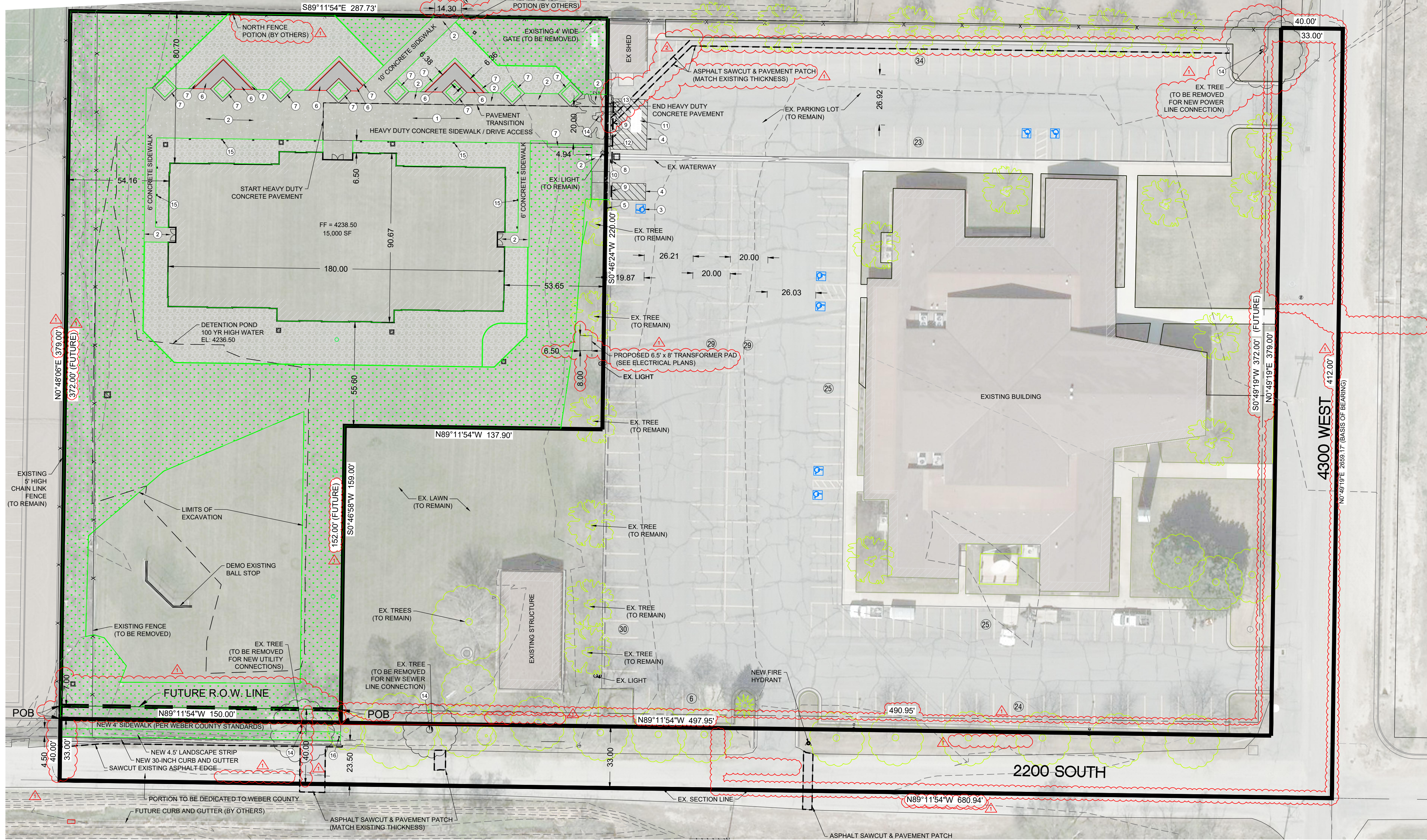
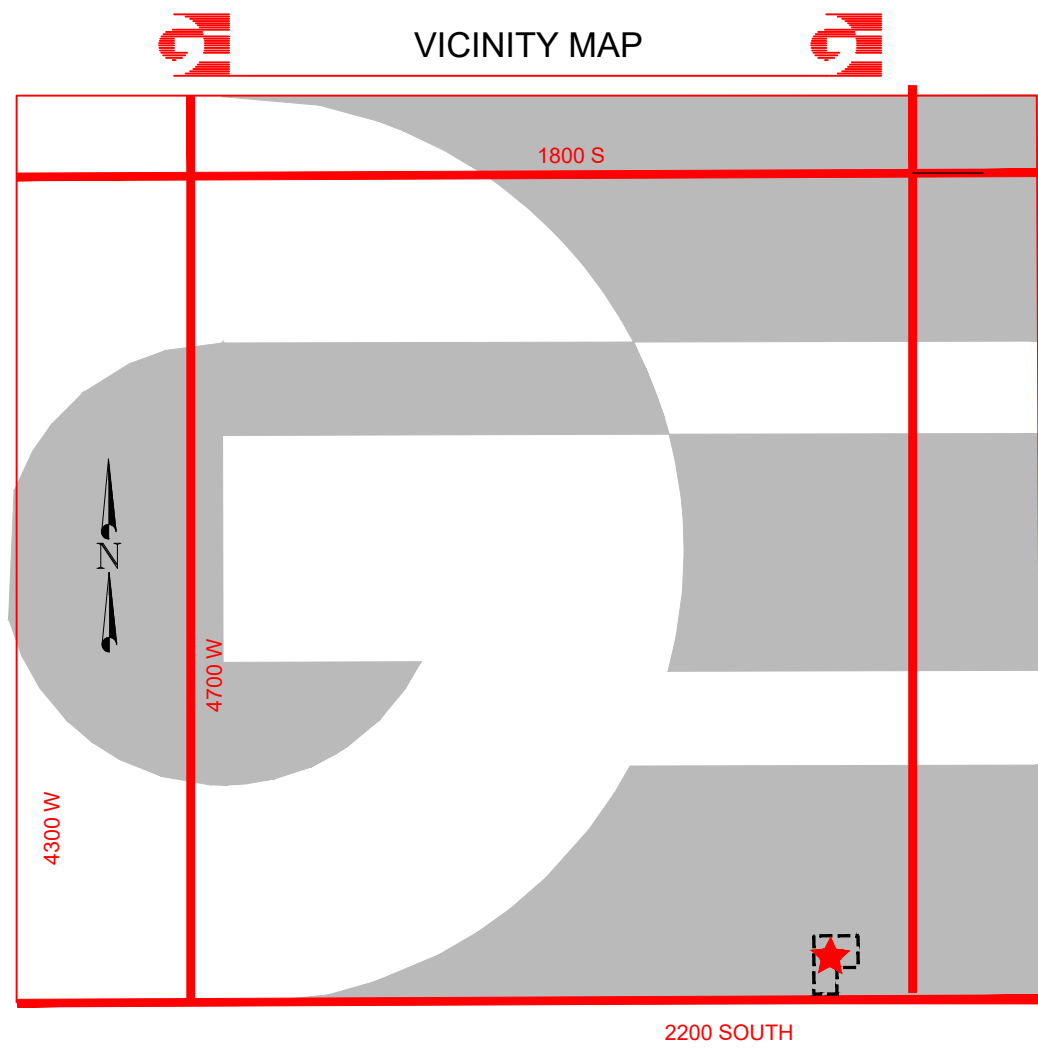
NO.	DATE	DESCRIPTION
01	02.06.23	Addendum 01

CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154

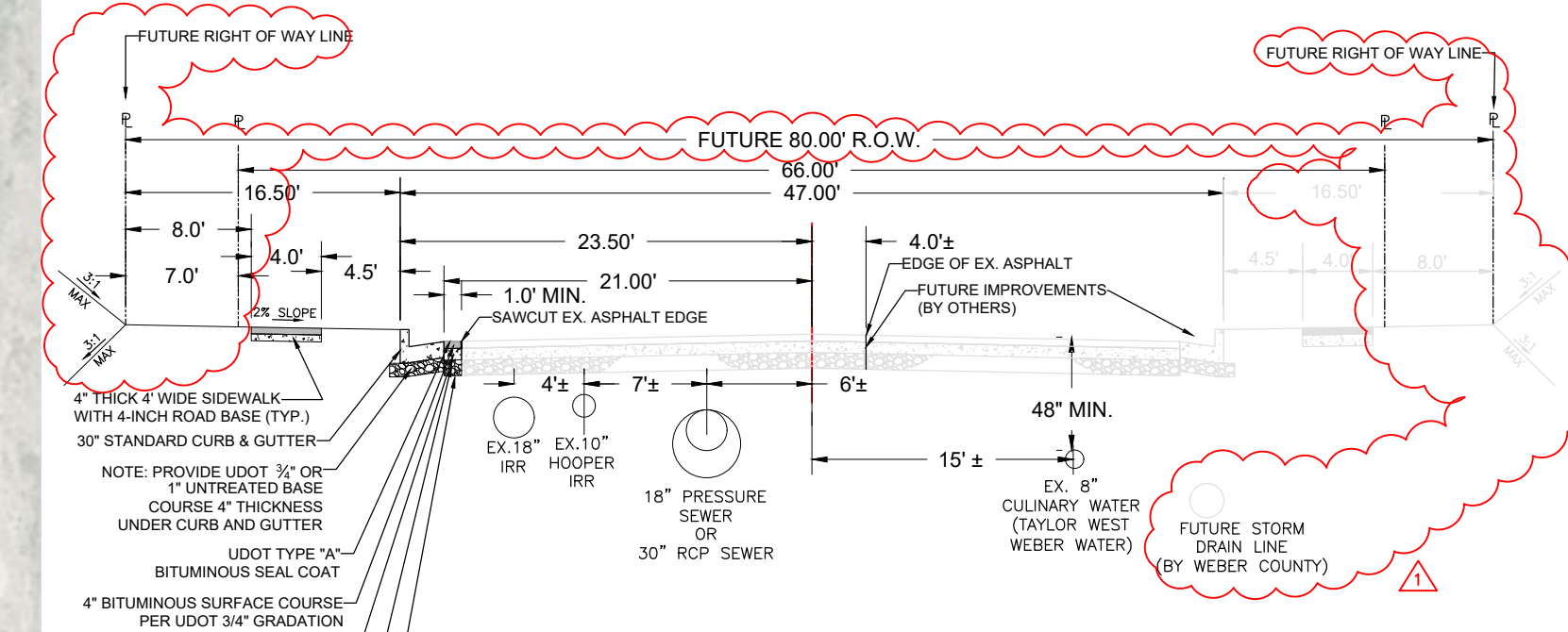


SITE DETAILS

SD2.2



- SITE PLAN KEY NOTES**
- HEAVY DUTY CONCRETE PAVEMENT. (SEE DETAIL 1 ON SHEET CES.1)
 - CONCRETE SIDEWALK. (SEE DETAIL 2 ON SHEET CES.1)
 - ADA PARKING SYMBOL. (SEE DETAIL 3 ON SHEET CES.1)
 - NO PARKING STRIPING. (SEE DETAIL 4 ON SHEET CES.1)
 - VAN ACCESSIBLE ADA PARKING SIGN. (SEE DETAIL 5 ON SHEET CES.1)
 - SEE ARCHITECT PLAN FOR CONCRETE PAVERS.
 - SEE ARCHITECT PLAN FOR BENCHES.
 - REMOVE AND REINSTALL EXISTING WHEEL STOP.
 - REMOVE EXISTING WHEEL STOP.
 - DEMO AND REPLACE 4" THICK CONCRETE FOR STORM DRAIN CONNECTION.
 - REMOVE EXISTING PAINT MARKING AND PROVIDE FIRE LANE PAINT MARKING. (SEE DETAIL 6 ON SHEET CES.1)
 - NO PARKING FIRE LANE W/ ARROW RIGHT SIGN. (SEE DETAIL 7 ON SHEET CES.1)
 - NO PARKING FIRE LANE W/ ARROW LEFT SIGN. (SEE DETAIL 8 ON SHEET CES.1)
 - DEMO EXISTING TREE
 - SEE ELECTRICAL PLANS FOR SIDEWALK EDGE LIGHTING
 - PROPOSED NEW MAIL BOX LOCATION COORDINATE W/ U.S. POSTAL SERVICE



- NOTES:**
- CONTRACTOR TO OBTAIN EXCAVATION PERMIT FROM WEBER COUNTY PRIOR TO WORKING WITHIN THE RIGHT-OF-WAY.
 - CONTRACTOR TO PROVIDE ROADWAY COMPACTION TESTING MEETING WEBER COUNTY MIN. COMPACTION STANDARDS.

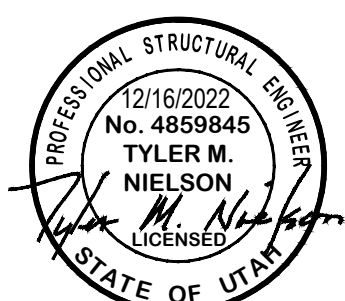
DEVELOPER:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
UTAH NORTH PM OFFICE
ATTN: BRIAN CHILDS
435 NORTH WALL AVE, STE D
OGDEN, UT 84404

224 AVAILABLE PARKING STALLS
(INCLUDES 4 EXISTING ADA STALLS AND 1 NEW ADA STALL FOR SEMINARY)

CURRENT
SITE AREA = 2.00 ACRE
NEW LANDSCAPE AREA = 1.22 ACRE

FUTURE (WITH 80' R.O.W.)
SITE AREA = 1.98 ACRE
NEW LANDSCAPE AREA = 1.20 ACRE

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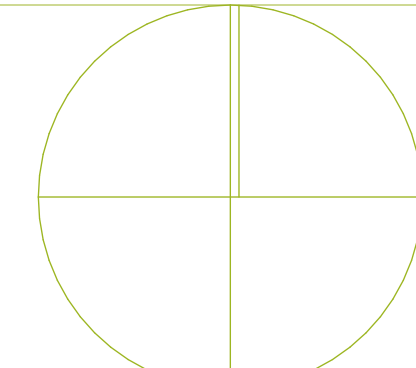


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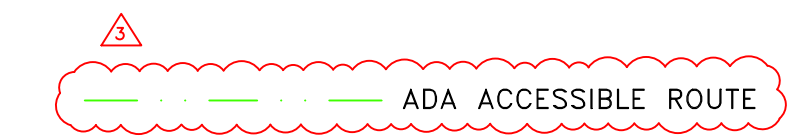
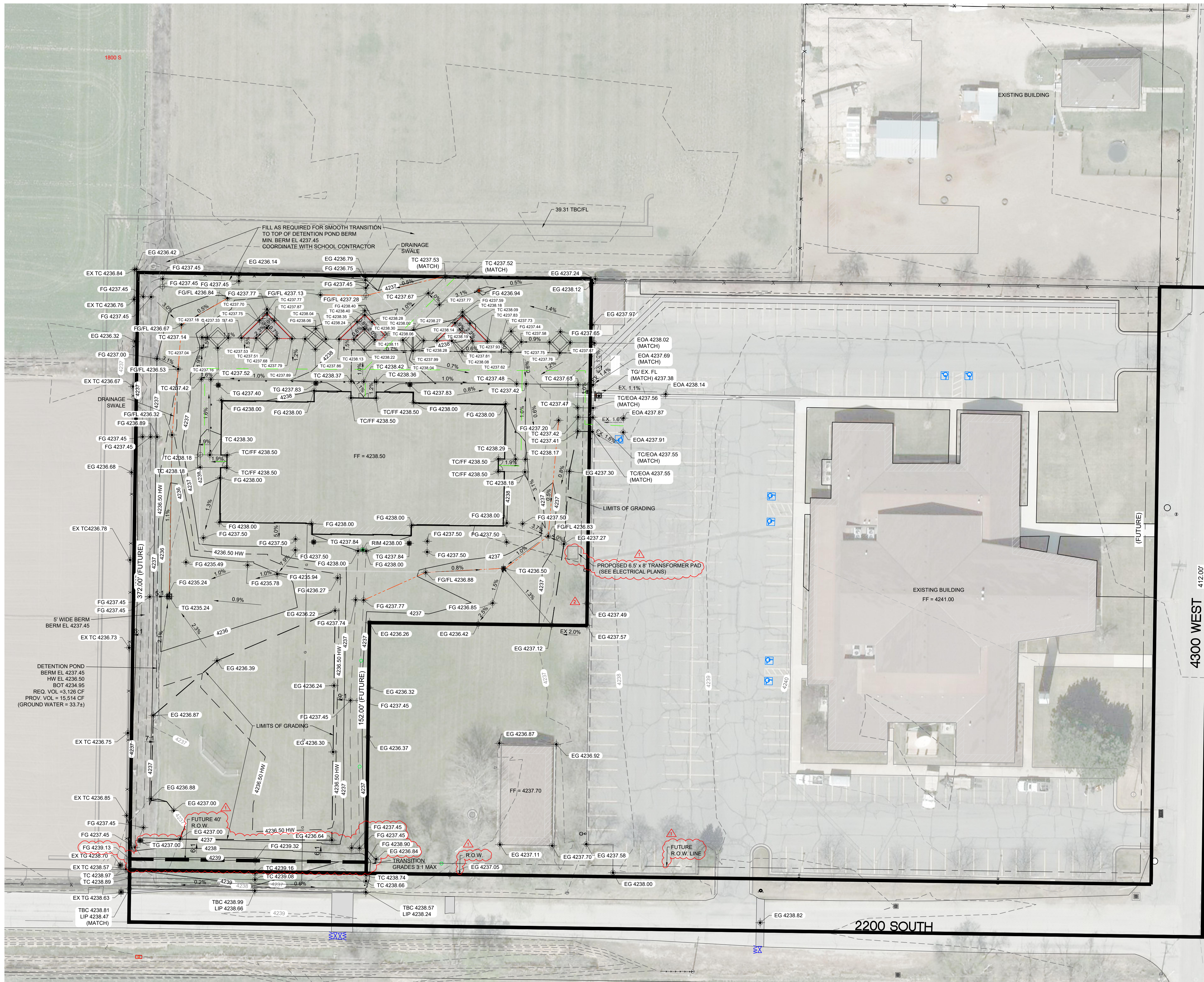
NO.	DATE	DESCRIPTION
02	02.10.23	Addendum 02

CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154



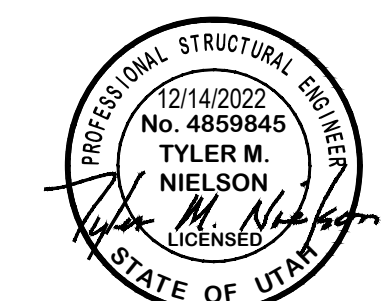
SITE PLAN

CE1.1



- ABBREVIATIONS:**
- EG - EXISTING GROUND
 - FG - FINISH GRADE
 - TA - TOP OF ASPHALT
 - TBC - TOP BACK OF CURB
 - LIP - LIP OF GUTTER

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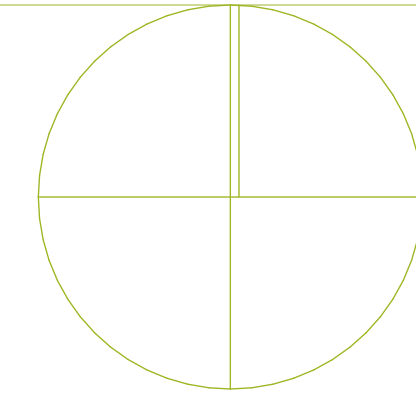


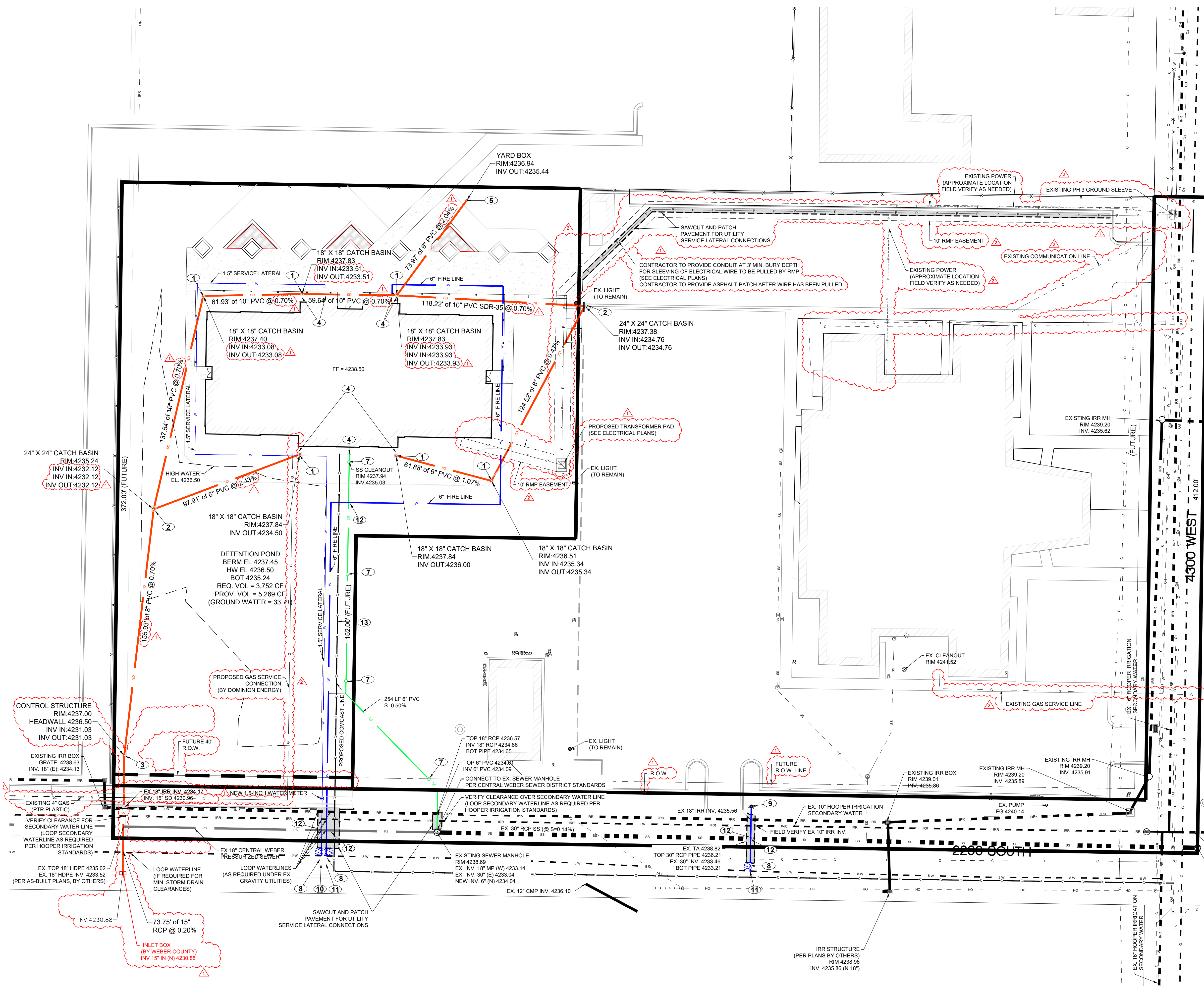
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NO.	DATE	DESCRIPTION
04	03.31.23	PERMIT REVIEW COMMENTS

CONFORMED SET
DATE: 04.27.23
PROJECT NUMBER: 2154





LEGEND

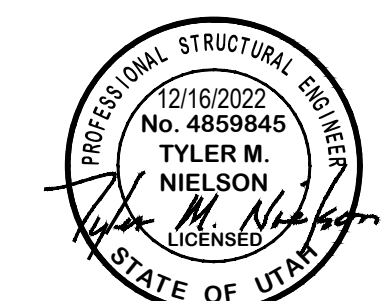
	SUBDIVISION BOUNDARY
	ROAD CENTERLINE
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	FINISH GRADE 1' CONTOUR
	EXISTING SANITARY SEWER
	NEW SANITARY SEWER
	NEW SANITARY SEWER CLEAN-OUT
	EXISTING STORM DRAIN
	NEW STORM DRAIN
	EXISTING CULINARY WATER
	NEW CULINARY WATER
	NEW CULINARY WATER LATERAL
	NEW CULINARY WATER METER
	EXISTING FIRE HYDRANT
	NEW FIRE HYDRANT
	EXISTING SECONDARY WATER
	NEW SECONDARY WATER
	NEW DUAL SECONDARY WATER LATERAL
	EXISTING EDGE OF ASPHALT
	SAWCUT LINE
	NEW ASPHALT PAVING

- ### General Utility Notes:
- COORDINATE ALL UTILITY CONNECTIONS TO BUILDING WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
 - VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINES. NOTIFY CIVIL ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.
 - ALL CATCH BASIN AND INLET BOX GRATES ARE TO HAVE BICYCLE SAFE GRATES.
 - FIELD VERIFY ALL PROPOSED ROOF DRAINS AND OTHER UTILITY CONNECTIONS WITH MECHANICAL AND ARCHITECTURAL PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - REFER TO THE SITE ELECTRICAL PLAN FOR DETAILS AND LOCATIONS OF ELECTRICAL LINES, TRANSFORMERS AND LIGHT POLES. GAS LINES, TELEPHONE LINES, AND CABLE TV LINES ARE NOT A PART OF THESE PLANS.
 - ALL CULINARY WATER FACILITIES SHALL BE INSTALLED PER TAYLOR WATER DISTRICT STANDARDS AND SPECIFICATIONS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL ITEMS REQUIRED.
 - WATER LINES, VALVES, FIRE HYDRANTS, FITTINGS ETC. ARE TO BE CONSTRUCTED AS SHOWN. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ANY VERTICAL ADJUSTMENTS NECESSARY TO CLEAR SEWER, STORM DRAIN OR OTHER UTILITIES AS NECESSARY INCLUDING VALVE BOXES AND HYDRANT SPOOLS TO PROPER GRADE.
 - WHERE WATERLINE MUST CROSS SANITARY SEWER, REFER TO DETAIL 3 ON SHEET CE5.5. WHERE WATERLINE MUST CROSS STORM DRAIN, ADJUST WATER LINE TO MAINTAIN 18" SEPARATION.
 - SEE SHEETS CE5.2 THRU CE5.5 FOR STANDARD UTILITY DETAILS.
 - LOOP EXISTING SERVICE LATERALS SUCH AS GAS, WATER, OTHER UTILITIES (AS REQUIRED) AND FIRE LINE CONNECTION TO FIRE HYDRANT (AS REQUIRED) FOR STORM DRAIN INSTALLATION. PROVIDE 4" MINIMUM CLEARANCE.
 - SITE UTILITIES AND IRRIGATION CONDUITS SLEEVING AT ROADWAY CROSSINGS AND WIRING TO BE INSTALLED PRIOR TO PAVING.
 - ALL PIPING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - LOCATION AND SIZE OF GAS SERVICE LINE TO BE COORDINATED WITH DOMINION ENERGY.

- ### Culinary Service Laterals
- 1.5" diameter pipe - copper tube ASTM B, Type K, Soft Temper
- ### Water main Lines and Fire Lines:
- Water mains and fire lines shall be PVC C900 DR-18, as appropriate for diameter. All waterlines within city roadway shall be PVC C900 DR-18 meeting the standards of Taylor West Weber Water.
- ### Sanitary Sewer Lines:
- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D 3034, Type PSM, SDR 35.
- ### Storm Drain Lines:
- 12" pipes or smaller - Polyvinyl Chloride (PVC) C900 SDR-35 or ADS (N-12), with perforated pipes (where specified), otherwise called out as solid pipes.

- ### UTILITY PLAN KEY NOTES
- INSTALL 18" CATCH BASIN BOX (SEE DETAIL 1 ON SHEET CE5.2)
 - INSTALL 24" CATCH BASIN BOX (SEE DETAIL 2 ON SHEET CE5.2)
 - INSTALL OUTLET CONTROL STRUCTURE (SEE DETAIL 3 ON SHEET CE5.2)
 - SEE MECHANICAL PLUMBING PLANS FOR CONTINUATION.
 - INSTALL INLINE DRAIN (SEE DETAIL 1 ON SHEET CE5.3)
 - INSTALL ROOF DRAIN CLEANOUT (SEE DETAIL 2 ON SHEET CE5.3)
 - INSTALL SANITARY SEWER CLEANOUT (SEE DETAIL 2 ON SHEET CE5.3)
 - INSTALL WATER VALVE (SEE DETAIL 3 ON SHEET CE5.3)
 - INSTALL FIRE HYDRANT (SEE DETAIL 4 ON SHEET CE5.3)
 - CONNECT TO EXISTING 8" WATERLINE (SEE DETAIL 1 ON SHEET CE5.5)
 - CONNECT TO EXISTING 8" WATERLINE WITH TAPPING TEE AND TAPPING VALVE AS PER TAYLOR WEST WEBER WATER STANDARDS
 - REFER TO DETAIL 3 ON SHEET CE5.5 FOR WATER LINE UNDER SEWER LINE DETAIL
 - COORDINATE LOCATION OF CABLE LINE LOCATION WITH COMCAST

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