

A New Building for: Mountain View Jr Seminary

2535 West Wilson Lane
West Haven, Utah

Code Information

Code Item	IBC Code Requirement	Actual Building Design
Occupancy Classification	Chapter 3	Educational, Group E
Construction Type	602	Type V-B
Fire-Resistance Rating Requirements	Table 601	
Primary Structural Frame	0	
Bearing Walls, Exterior	0	
Bearing Walls, Interior	0	
Non-Bearing Walls	0	
Floor	0	
Roof	0	
Roof Construction Class	Table 1505.1	
V-B	Class C	Class A
Fire Sprinklers		No
Allowable Building Height	Table 504.3	22'-5"
E (NS) Type V-B:	40 feet	
Allowable Stories Above Grade	Table 504.4	1
E (NS) Type V-B:	1	
Allowable Area	Table 506.2	4,245 sf
E (NS) Type V-B:	9,500 sf	
Total Occupant Load	Table 1004.1.2	See Egress Floor Plan
Common Path of Travel	Table 1006.2.1	See Egress Floor Plan
E (NS):	75 feet	
Maximum Travel Distance	Table 1017.2	See Egress Floor Plan
E (NS):	200 feet	
Egress Information	1005.3.2 Others: 0.2" per Occupant 36" door = 32" clear = 160 people at 0.20" per person	

Plumbing Fixture Count

Educational, Group E: 96 Occupants	
Water Closets	
Educational, Group E	
Required: 1 per 50	96/50 = 1.92
	Required: 2
	Provided: 3
Lavatories	
Educational, Group E	
Required: 1 per 50	96/50 = 1.92
	Required: 2
	Provided: 3
Drinking Fountain:	
Educational, Group E	
Required: 1 per 100	96/100 = 0.96
	Required: 1
	Provided: 2
Service Sink:	
	Required: 1
	Provided: 1

Building Codes

2018 International Building Code, including Appendix J
2018 International Plumbing Code
2018 International Mechanical Code
2018 International Fuel Gas Code
2020 National Electrical Code
2018 International Energy Conservation Code, Commercial Provisions
2018 International Fire Code
National Fire Protection Association (NFPA) 101 Life Safety Code, 2015 Edition
2009 ANSI A117.1 Standard For Accessible And Usable Buildings And Facilities

Energy Code Requirements

Weber County:	Climate Zone 5B
Roof:	R-30 Continuous Insulation; entirely above roof deck
Wood Framed Walls:	R-19
Foundation Walls:	R-7.5 Continuous Insulation
Storefront Doors:	U-0.77, see door schedule
Metal Doors:	U-0.37, see door schedule
Fixed Windows:	U-0.38
SHGC (N)	0.51
SHGC (SEW)	0.38

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EY701	Fire Riser Diagram
ET101	AV Rough-In Plan
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TA602	AV Rough-In Diagrams and Details
TT601	AV Systems Data Schedules
TT602	AV Systems Riser Diagrams

Deferred Submittals

Submittal documents for deferred items shall be submitted to the architect or engineer of record who shall review them and forward to the building official with a notation indicating that the deferred documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred items shall not be installed until their design & submittal documents have been approved by the building official.

Items to have deferred submittal include:
1. Aggregate Piers: Shall be submitted, reviewed and approved by the geotechnical engineer and structural engineer prior to the footing inspection.
2. Prefabricated Metal Plate Wood Trusses

Vicinity Map



Project Site

Project Team

Architect

EA Architecture
11576 South State Street, #103B
Draper, Utah

Chad Spencer
(801) 450-5113
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Civil

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Structural

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Mechanical

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Electrical

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240 East Morris Ave, Suite 200
South Salt Lake City, Utah 84115

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(801) 534-1130
skingery@envisioneng.com

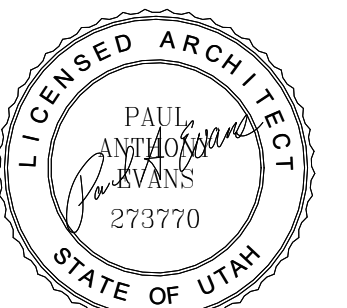
Sound

Spectrum Engineers
324 South State Street, Suite 400
South Salt Lake City, Utah

Aaron Abbott
(801) 328-5151
aaron.abbott@speceng.com

Revision Schedule

#	Description	Date
1	Owner Updates	05/26/23
2	Review Comments	06/06/23



Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Building for

Mountain View Jr
Seminary

2535 West Wilson Lane
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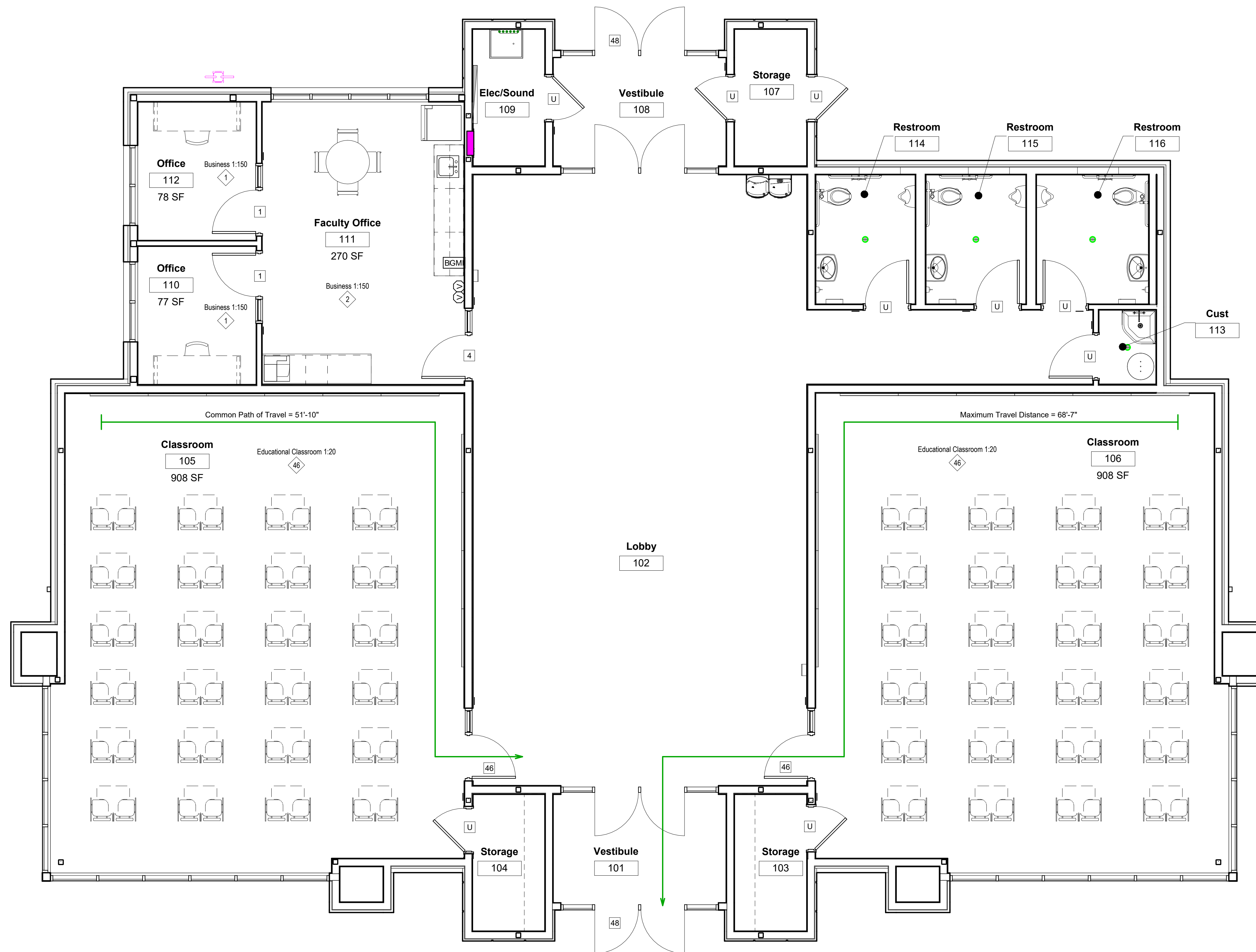
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Cover Sheet

G101

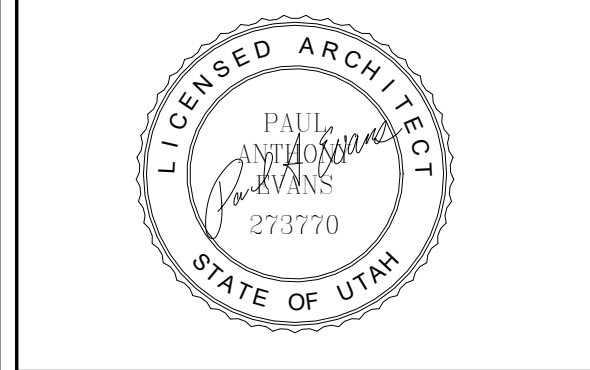


General Notes

- Warehouse 1:500 ← Occupancy Load Factor
- ◊ ← Total Room Occupants
- U ← # of Occupants Exiting

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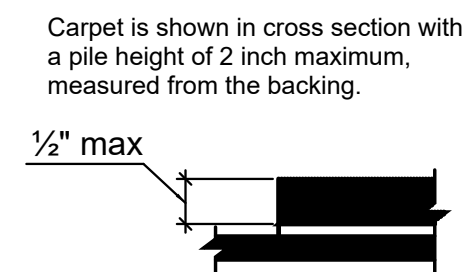
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Egress Floor Plan

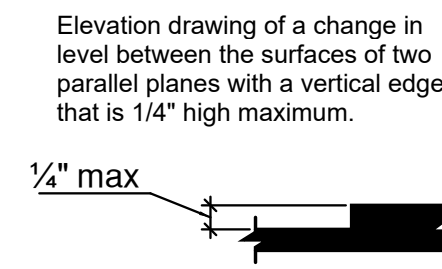
G201



Carpet Pile Height

SCALE: 6" = 1'-0"

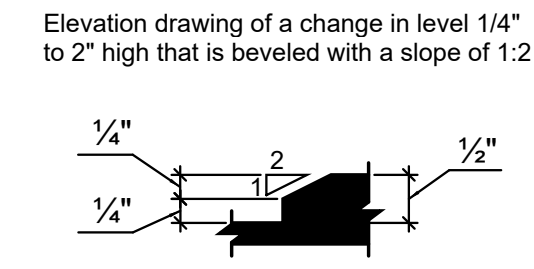
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Vertical Change in Level

SCALE: 6" = 1'-0"

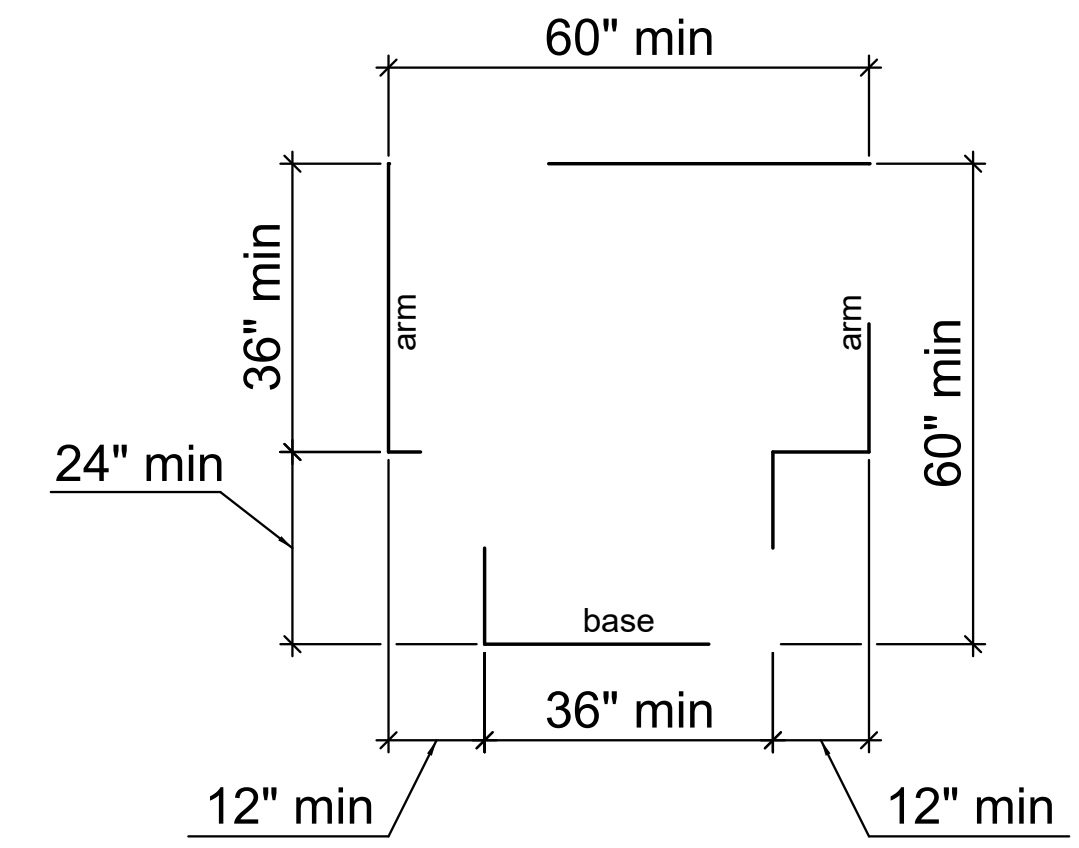
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Beveled Change in Level

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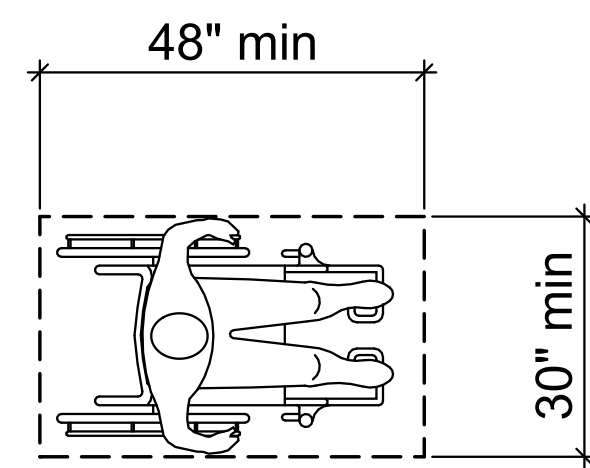
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T-Shaped Turning Space

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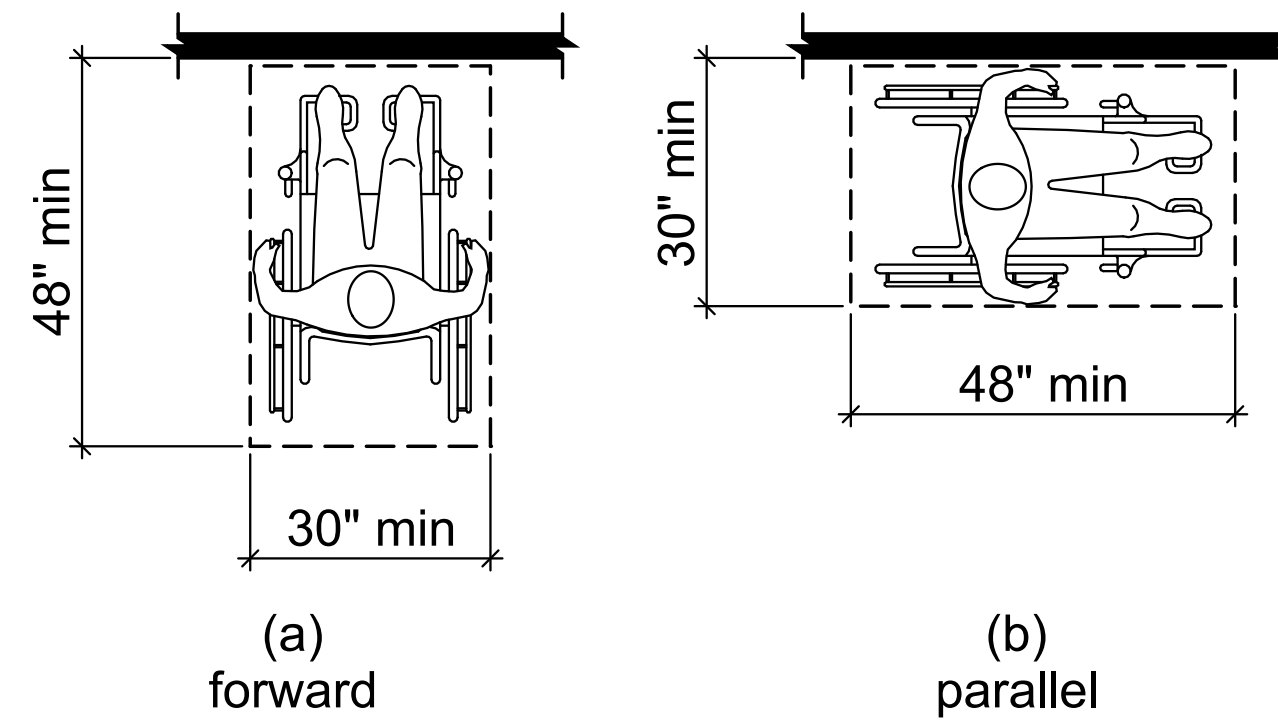
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Clear Floor or Ground Space

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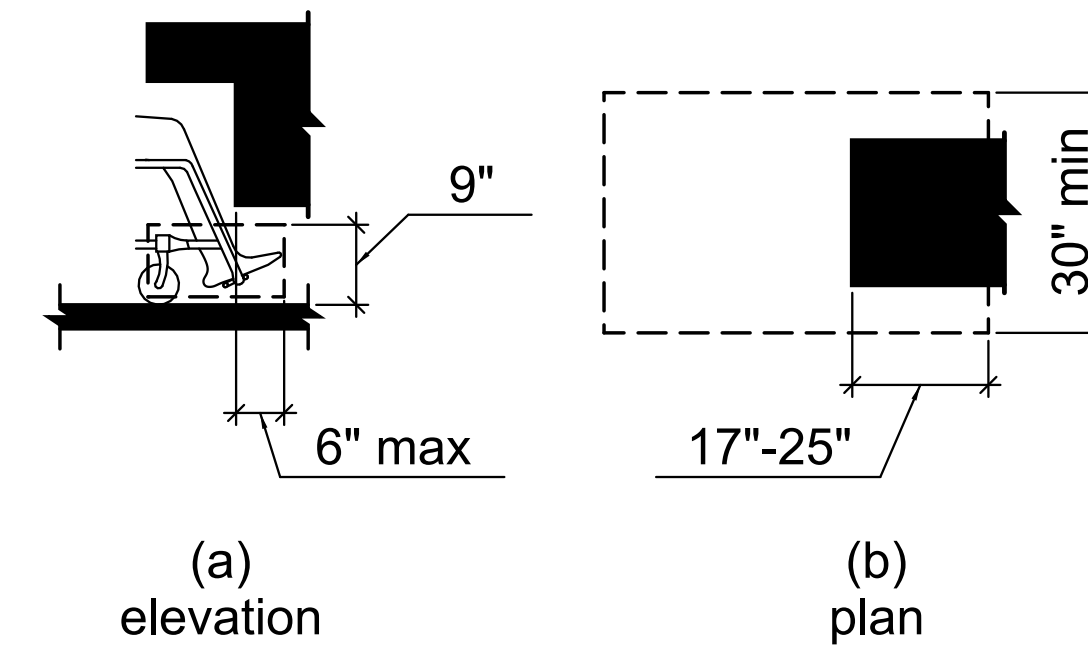
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Forward and Parallel Approach

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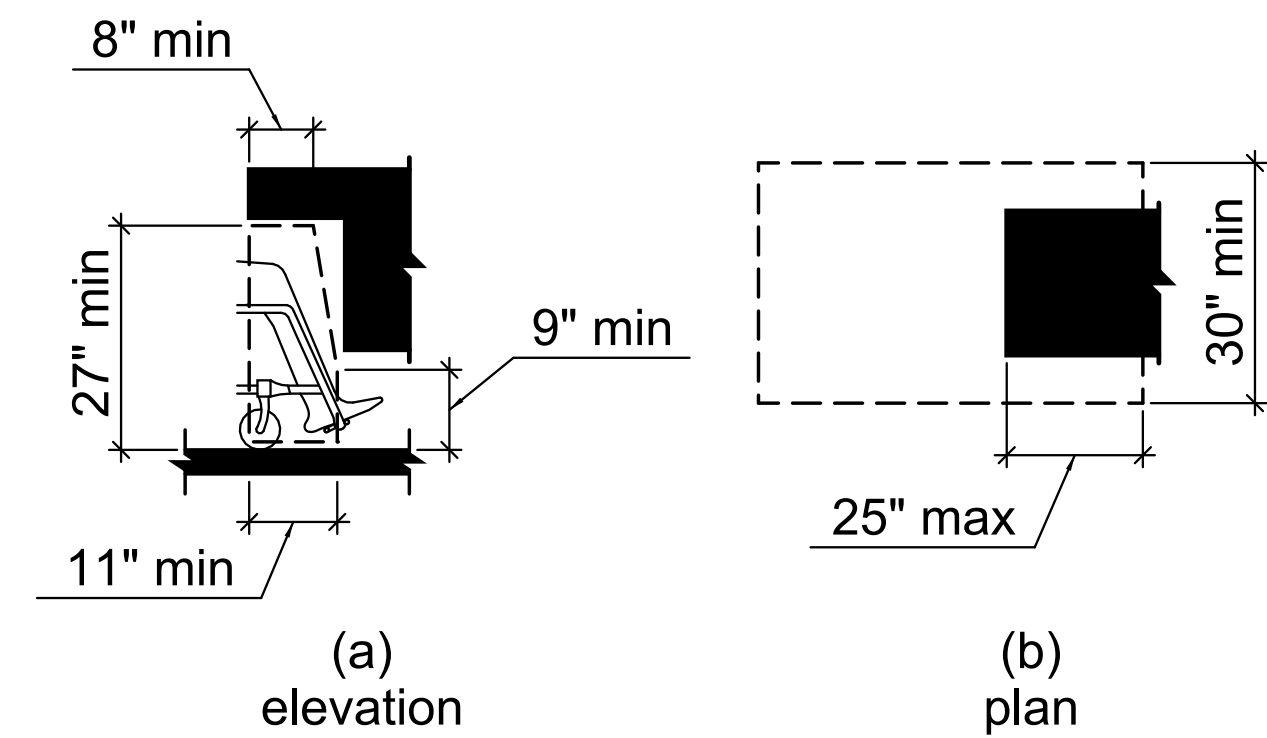
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Toe Clearance

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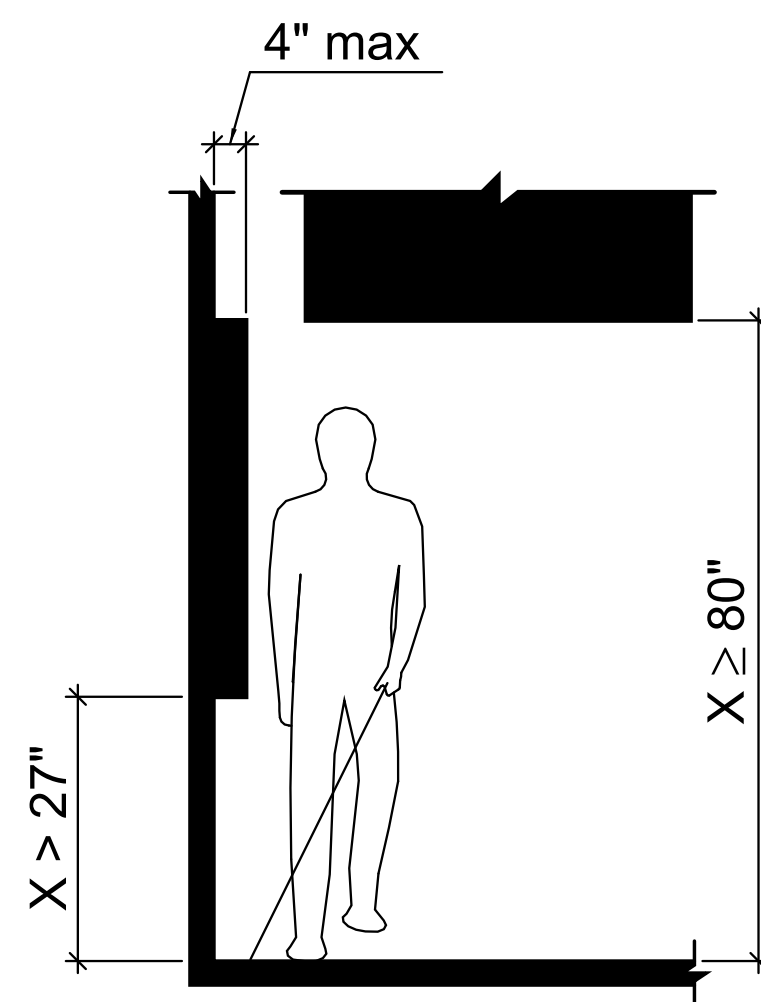
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Knee Clearance

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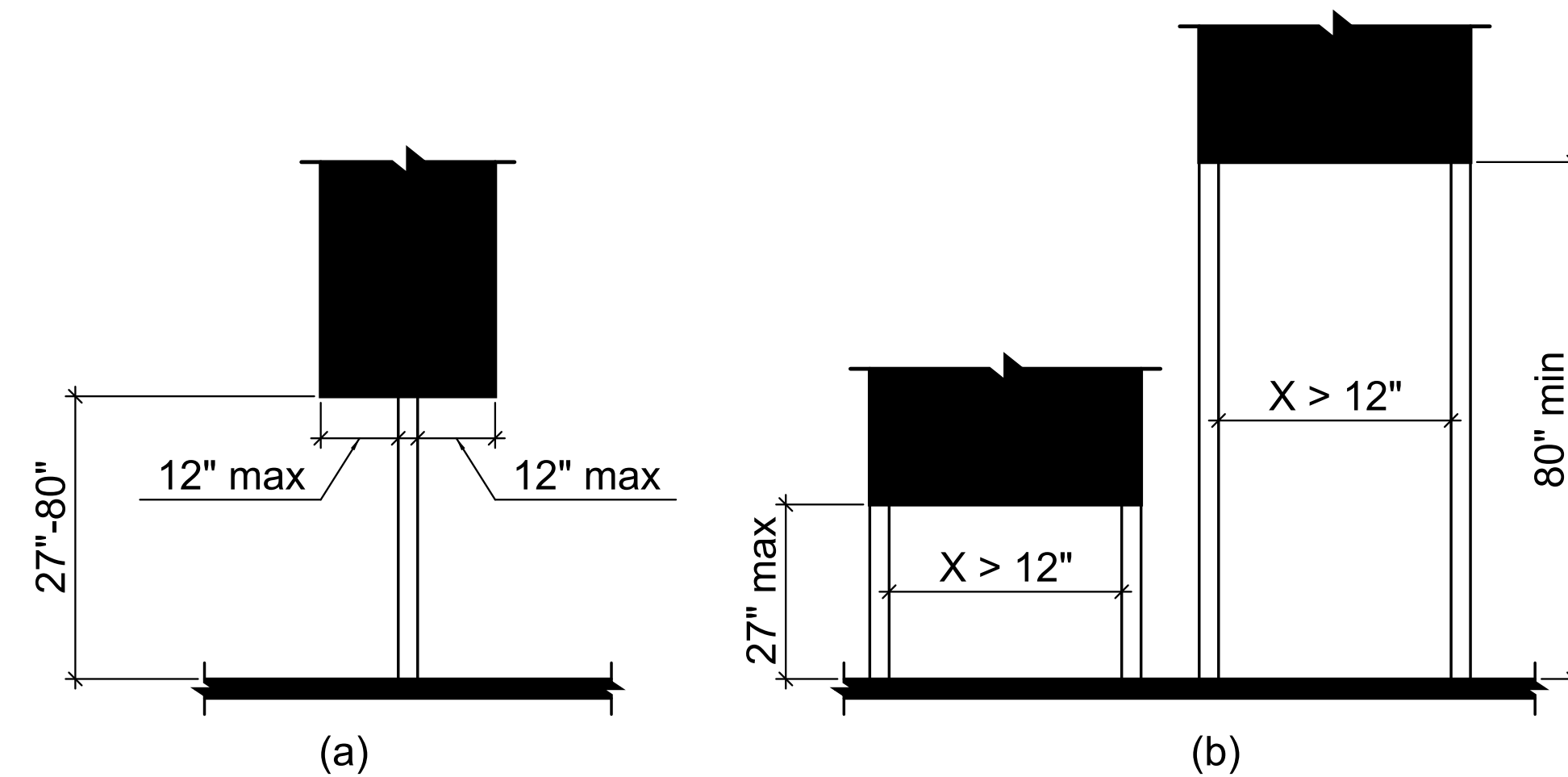
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Limits of Protruding Objects

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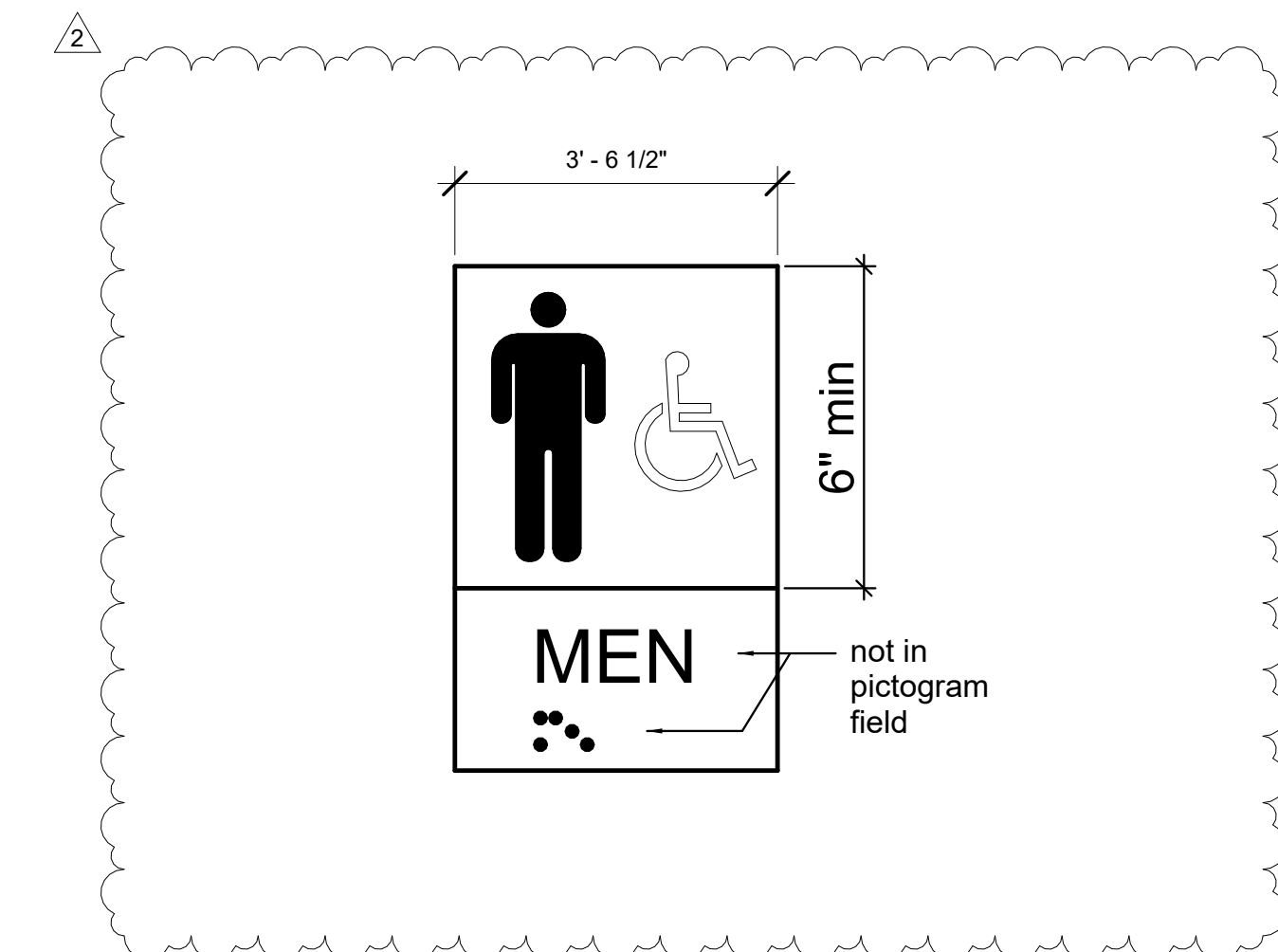
J



Post-mounted Protruding Objects

SCALE: 1/2" = 1'-0"

K

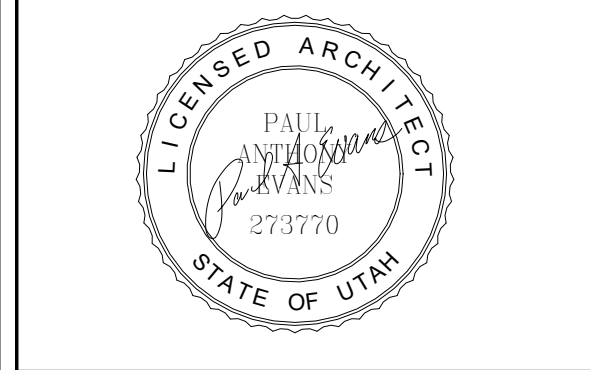


Pictogram Field

SCALE: 1/2" = 1'-0"

L

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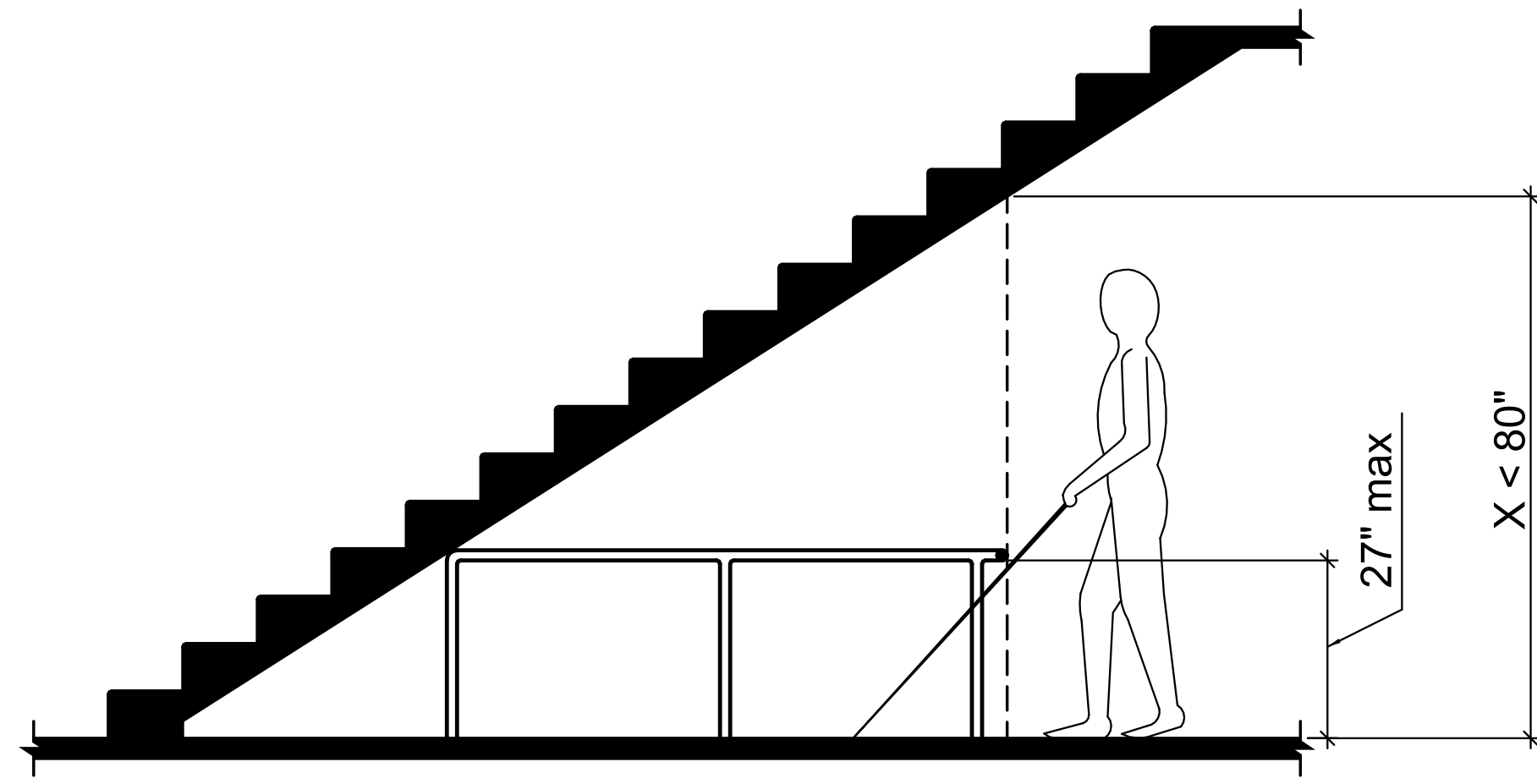


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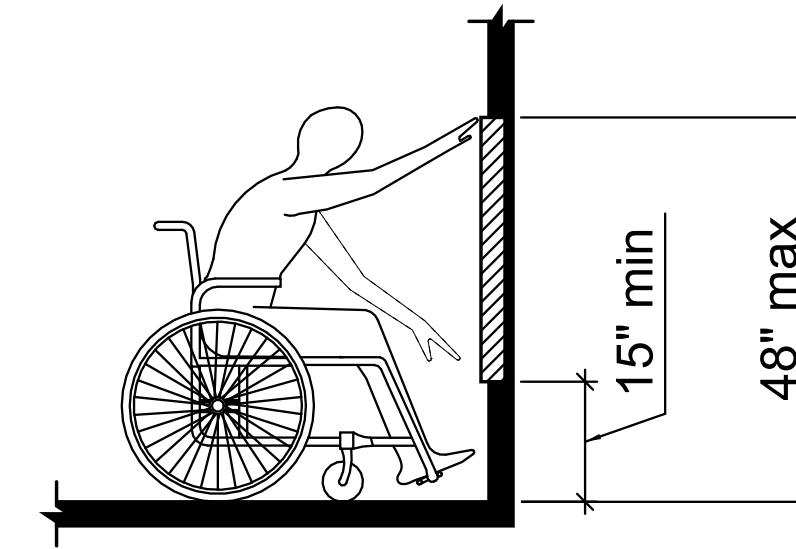
Project Number:	22-59
Property Number:	502-1091-22020101
May 1, 2023	
Accessibility Details	

G301



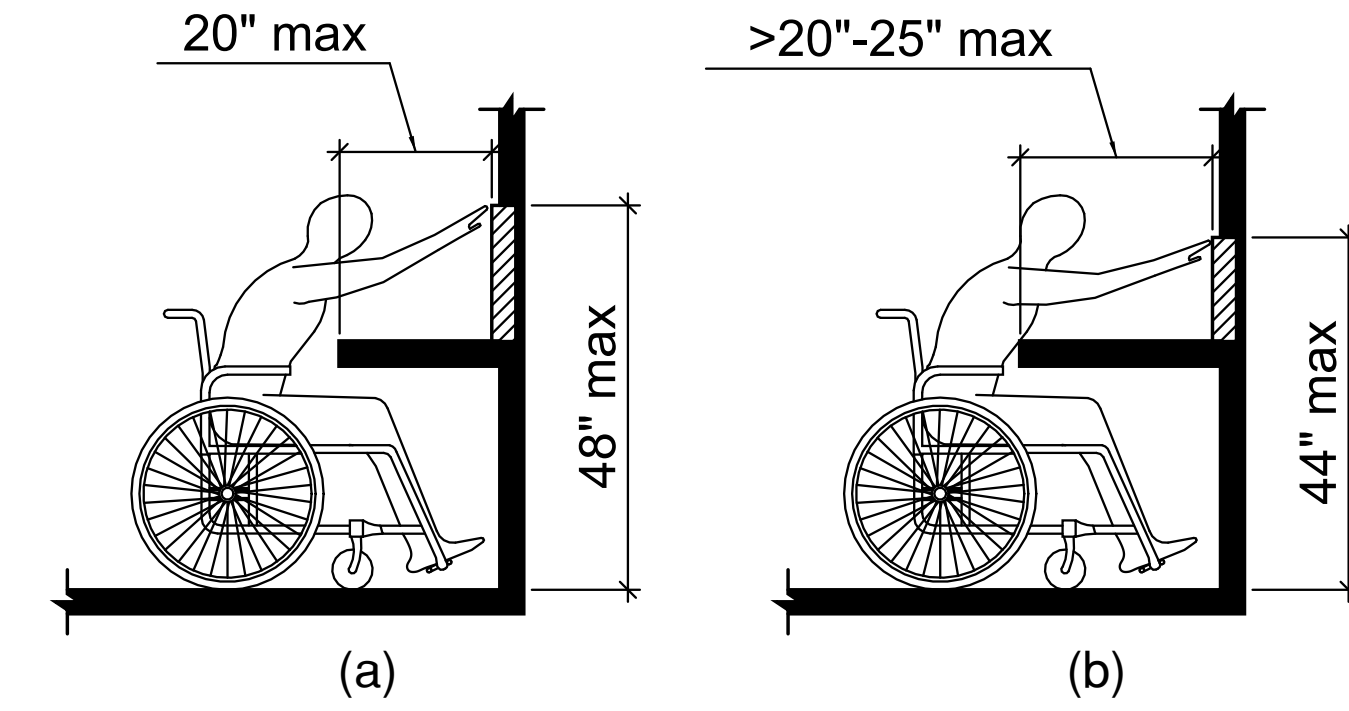
Vertical Clearance
SCALE: 1/2" = 1'-0"

A



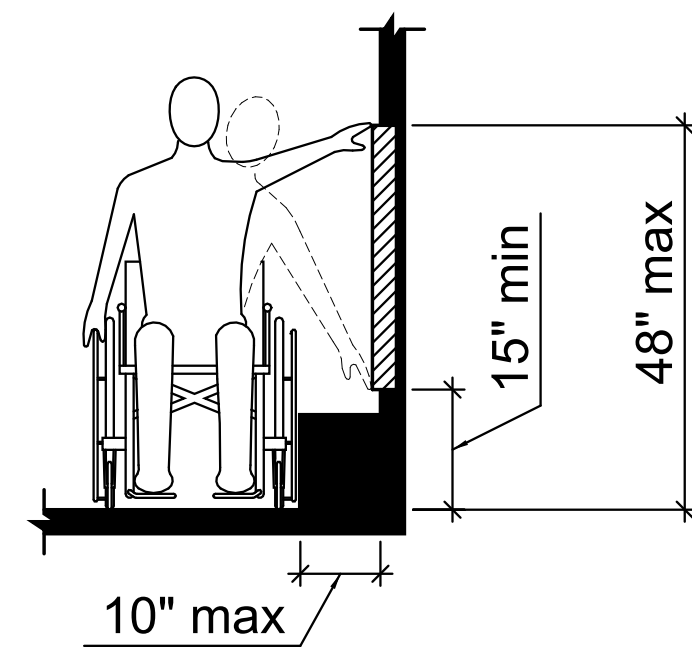
Unobstructed Forward Reach
SCALE: 1/2" = 1'-0"

B



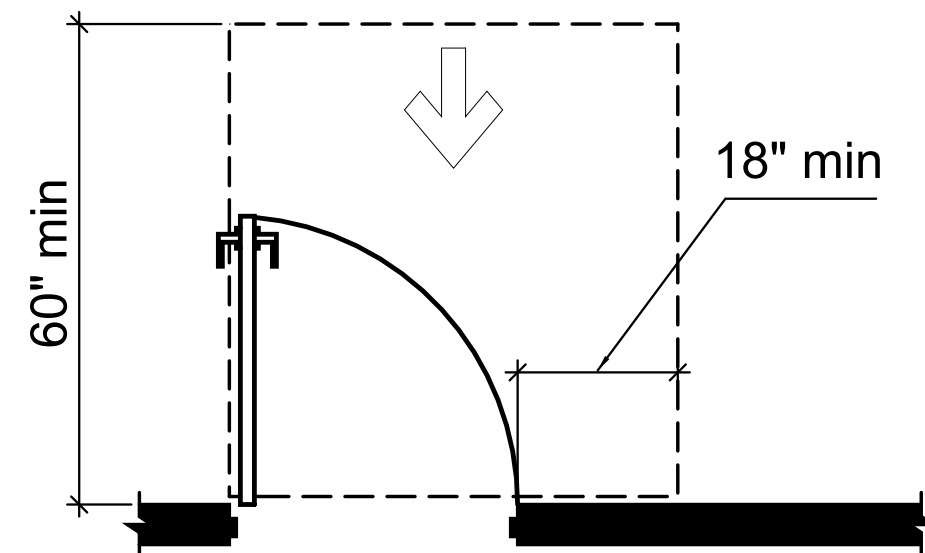
Obstructed High Forward Reach
SCALE: 1/2" = 1'-0"

C

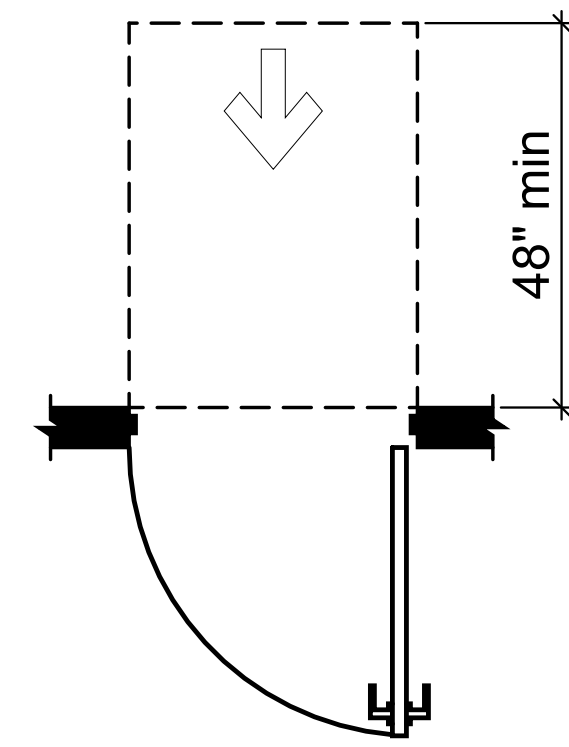


Unobstructed Side Reach
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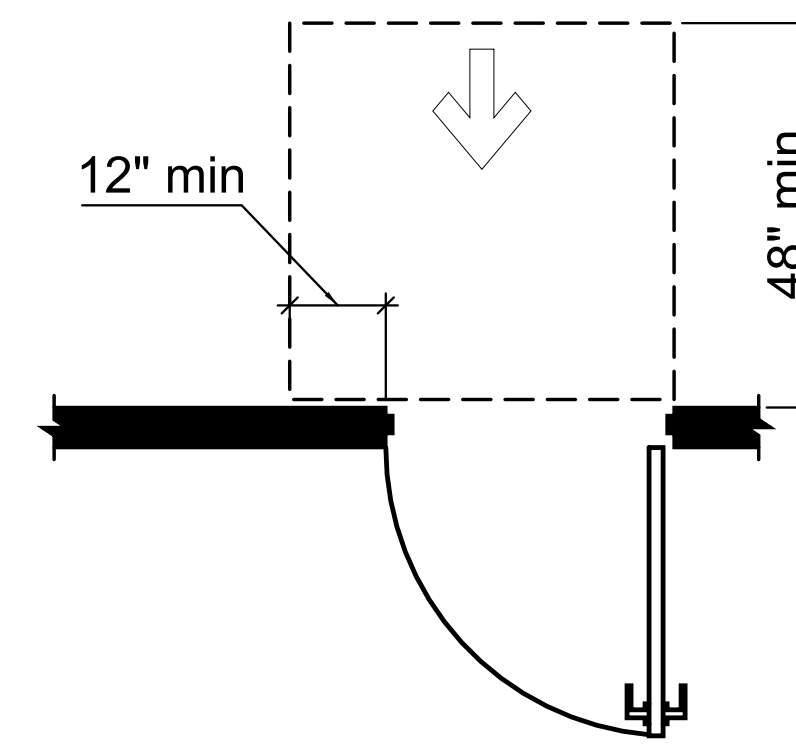
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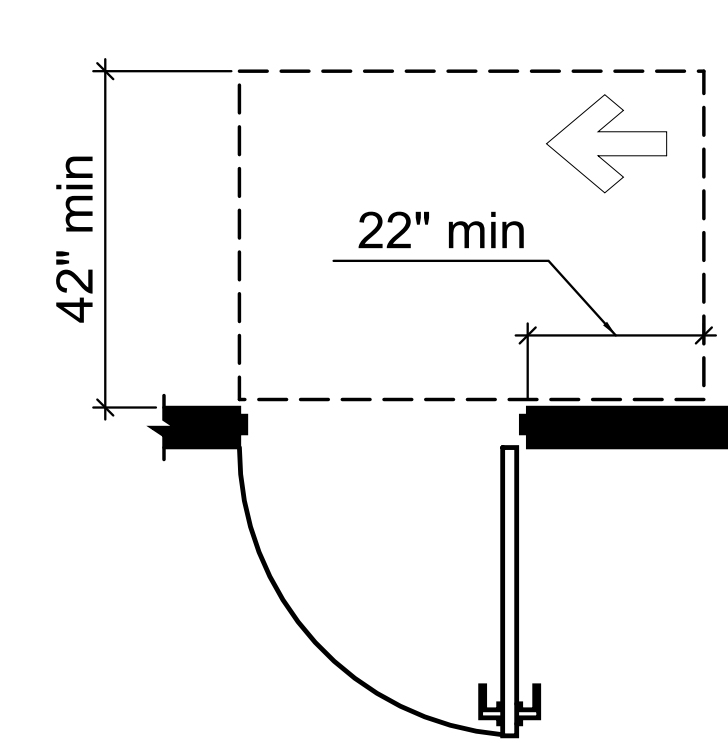
(a) front approach, pull side



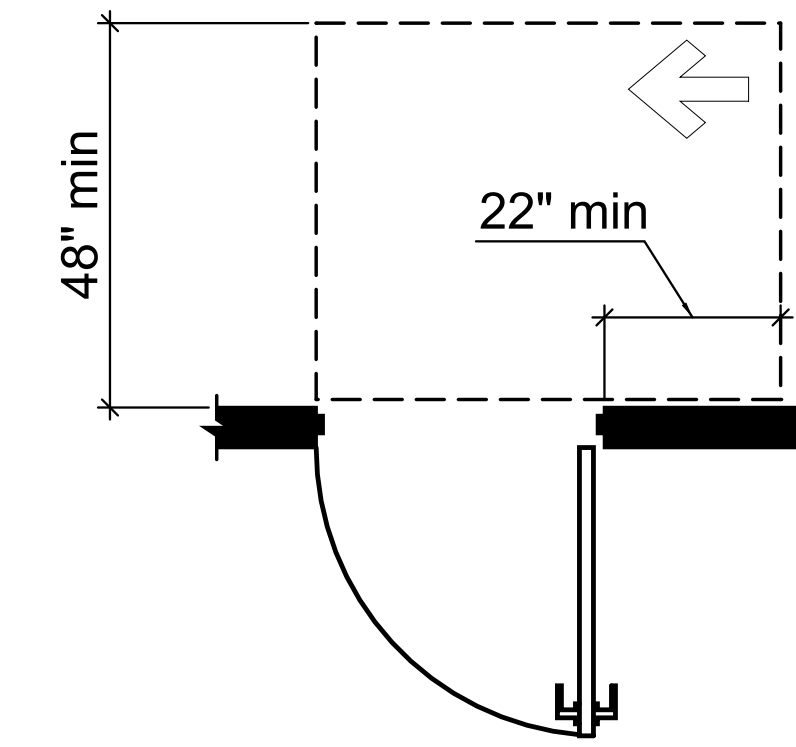
(b) front approach, push side



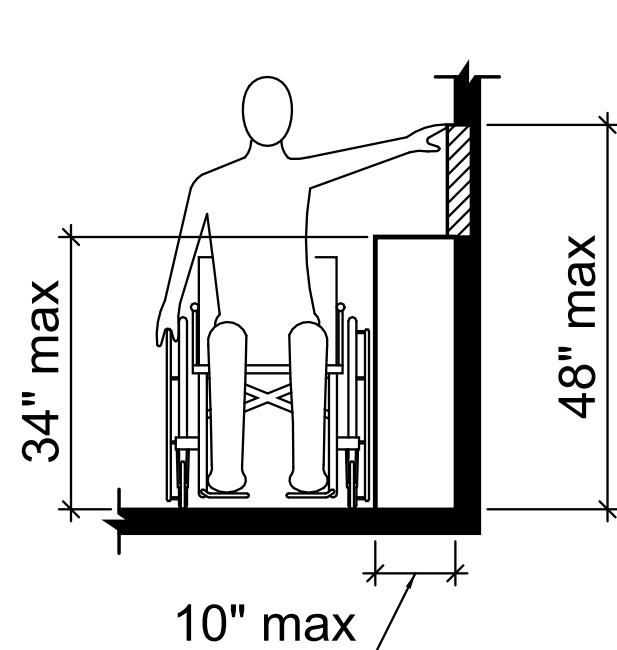
(c) front approach, push side, door provided with both closer and latch



(f) hinge approach, push side

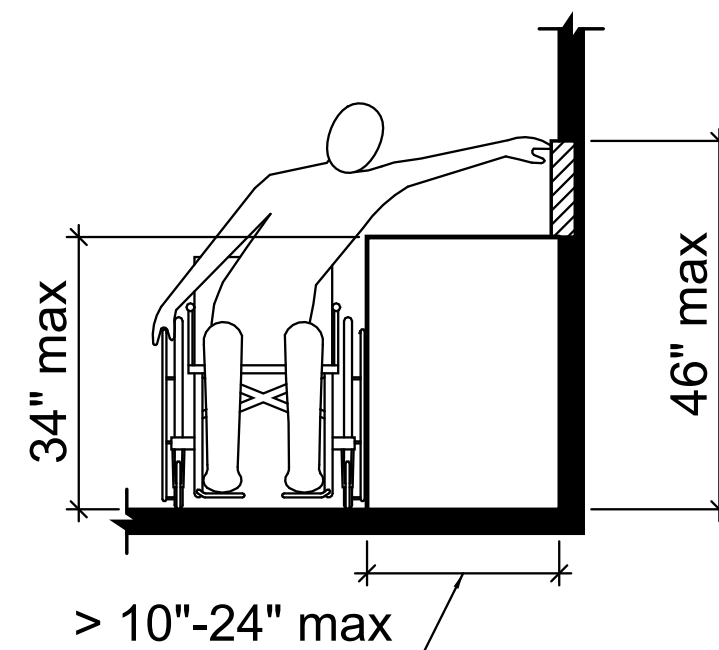


(g) hinge approach, push side, door provided with both closer and latch

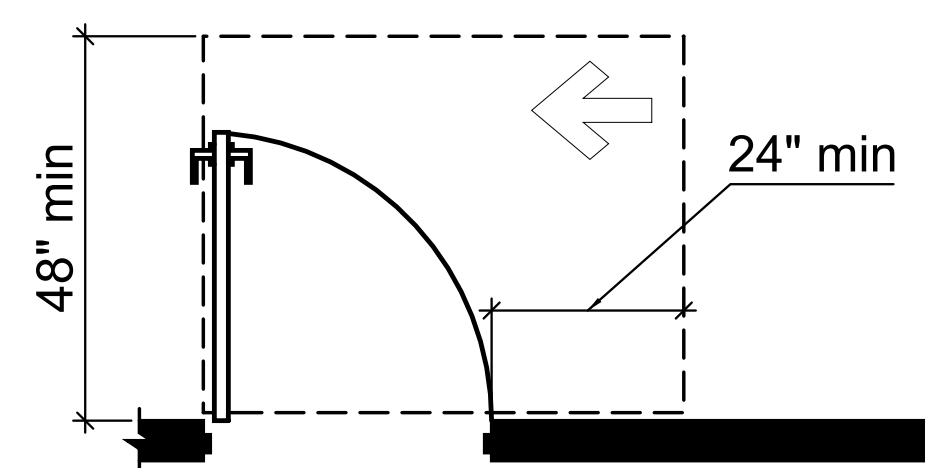


Obstructed High Side Reach
SCALE: 1/2" = 1'-0"

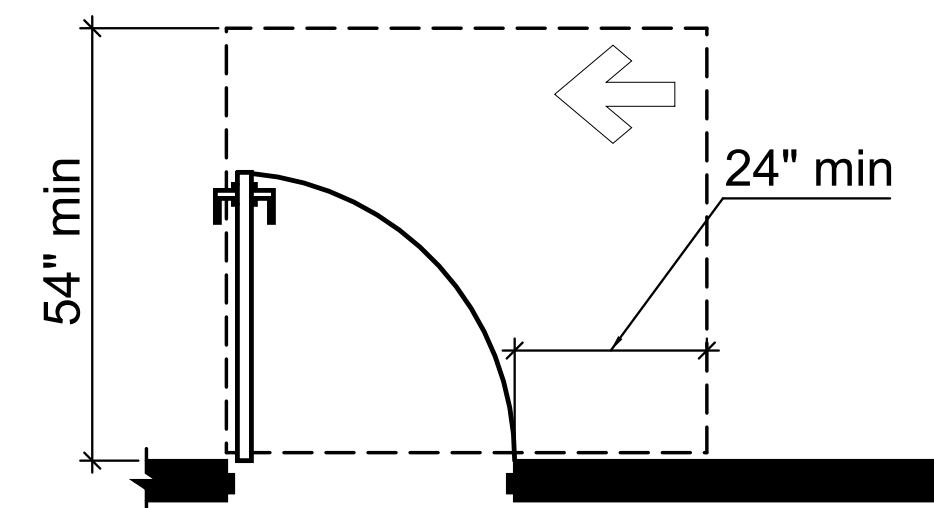
E



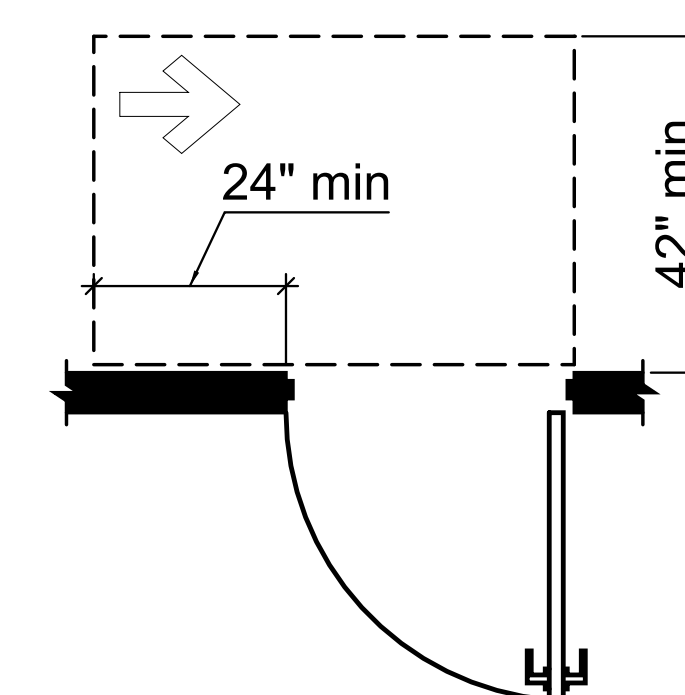
(b)



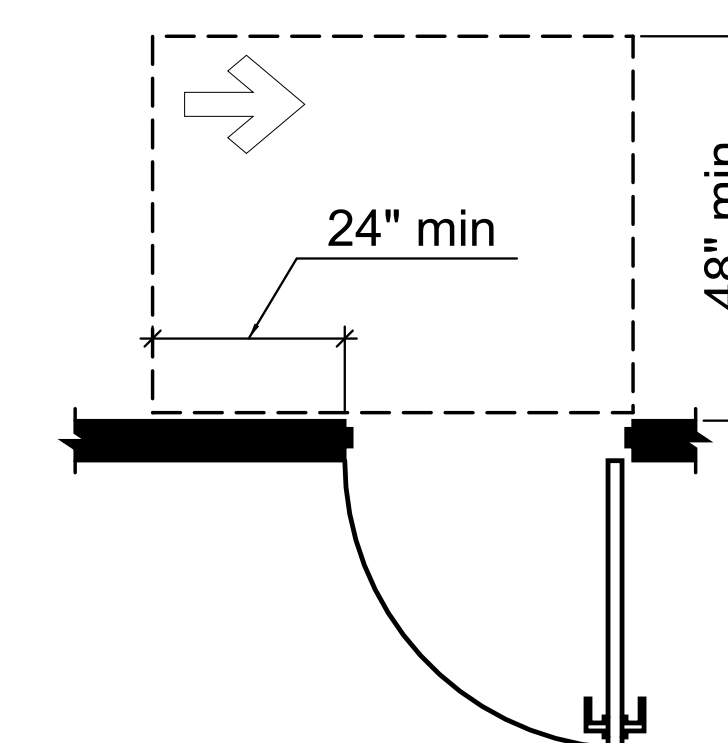
(h) latch approach, pull side



(i) latch approach, pull side, door provided with closer



(j) latch approach, push side

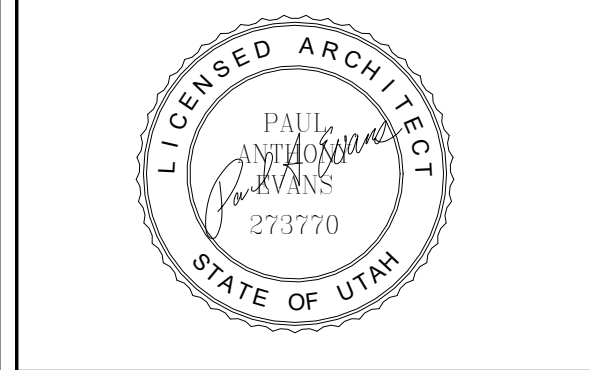


(k) latch approach, push side, door provided with closer

Maneuvering Clearance at Manual Swinging Doors
SCALE: 1/2" = 1'-0"

F

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#	Description	Date



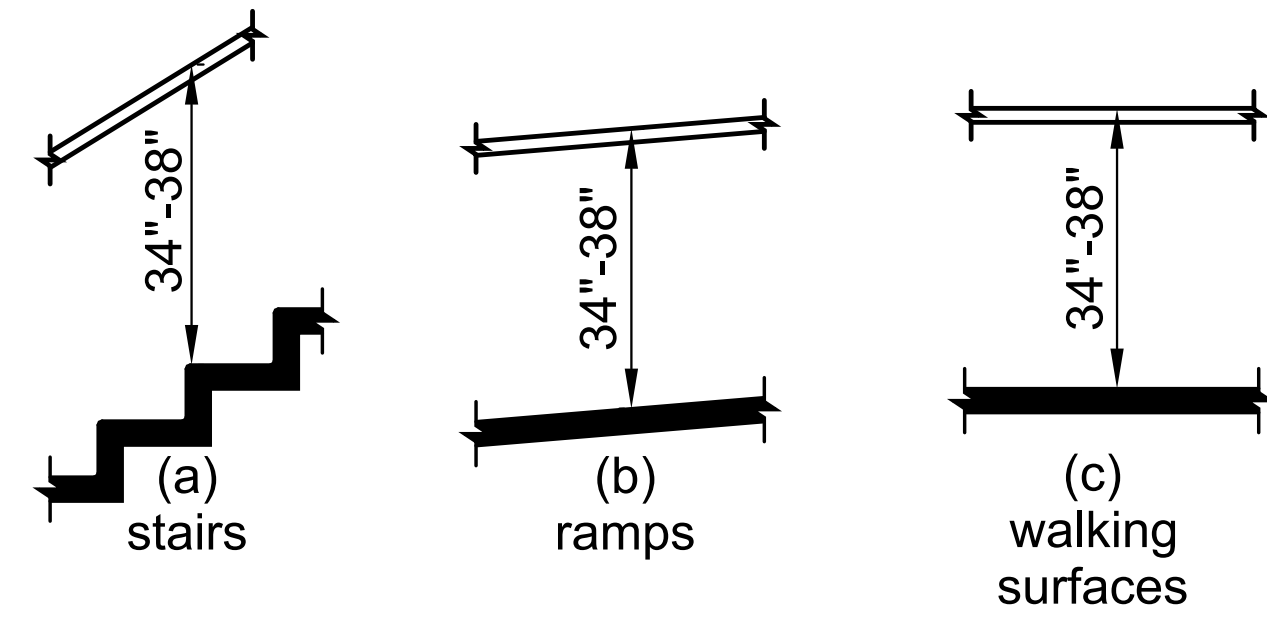
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Accessibility Details	

G302

Figure (a) shows stairs with the top gripping surface of a handrail 34" to 38" above stair nosings. Figures (b) and (c) show ramps and walking surfaces, respectively. The top gripping surface of a handrail is 34" to 38" above the surface.



Handrail Height

SCALE: 1/2" = 1'-0"

A

Handrail Clearance

SCALE: 1" = 1'-0"

B

Horizontal Projections Below Gripping Surface

SCALE: 1" = 1'-0"

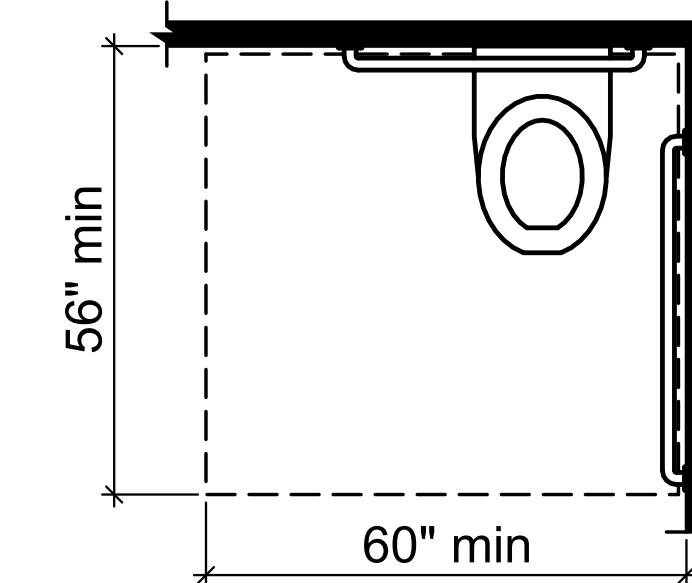
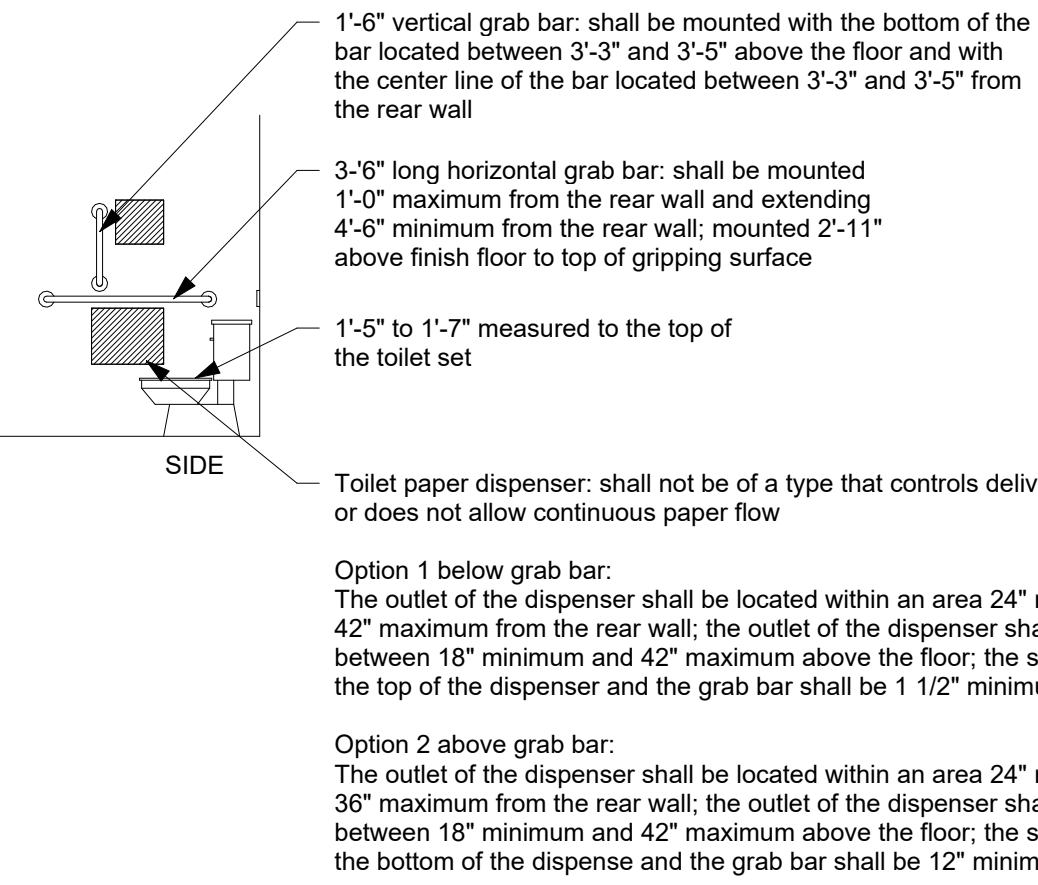
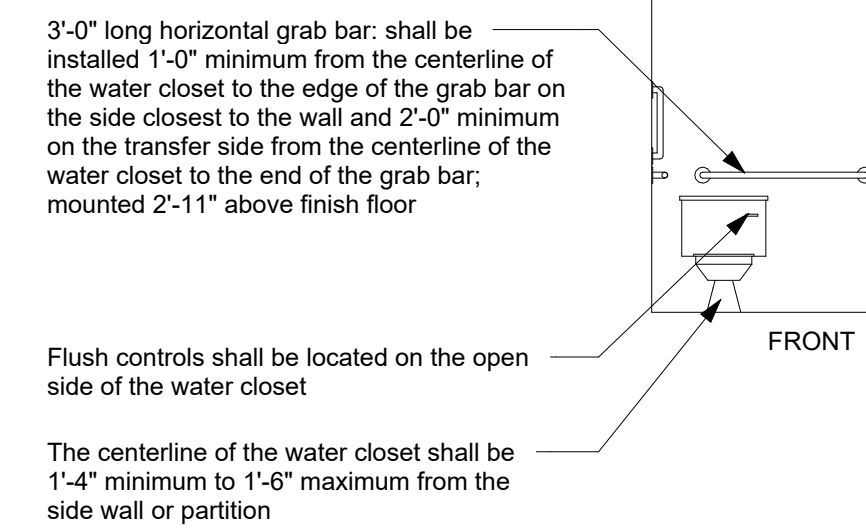
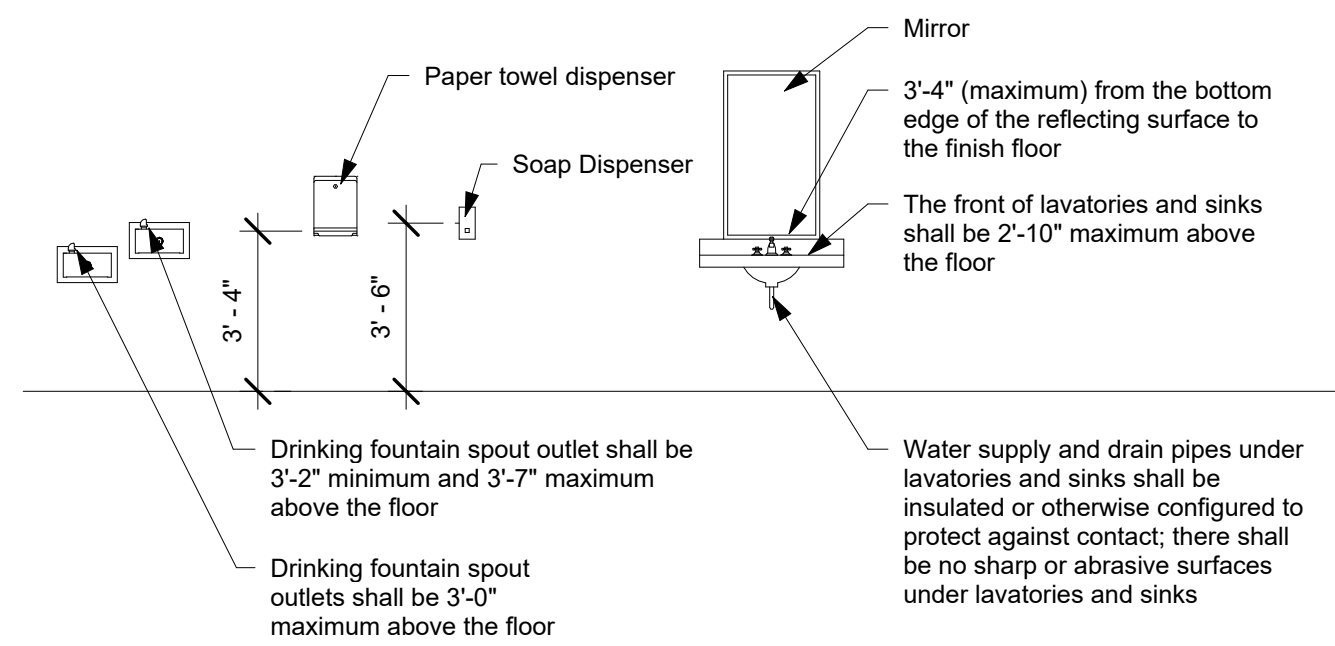
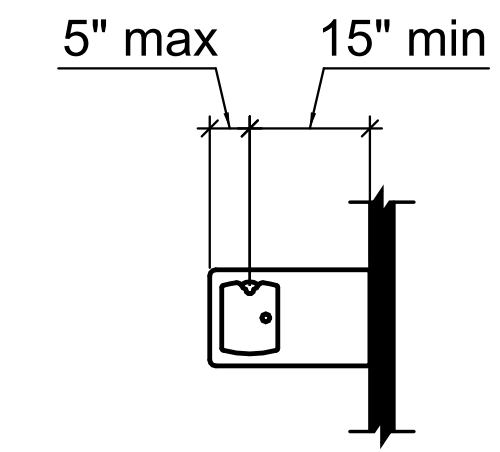
C

Drinking Fountain Spout Location

SCALE: 1/2" = 1'-0"

D

In plan view, the spout is shown to be 15" minimum from the vertical support and 5" from the front edge of the unit.



Mounting Heights

SCALE: 1/4" = 1'-0"

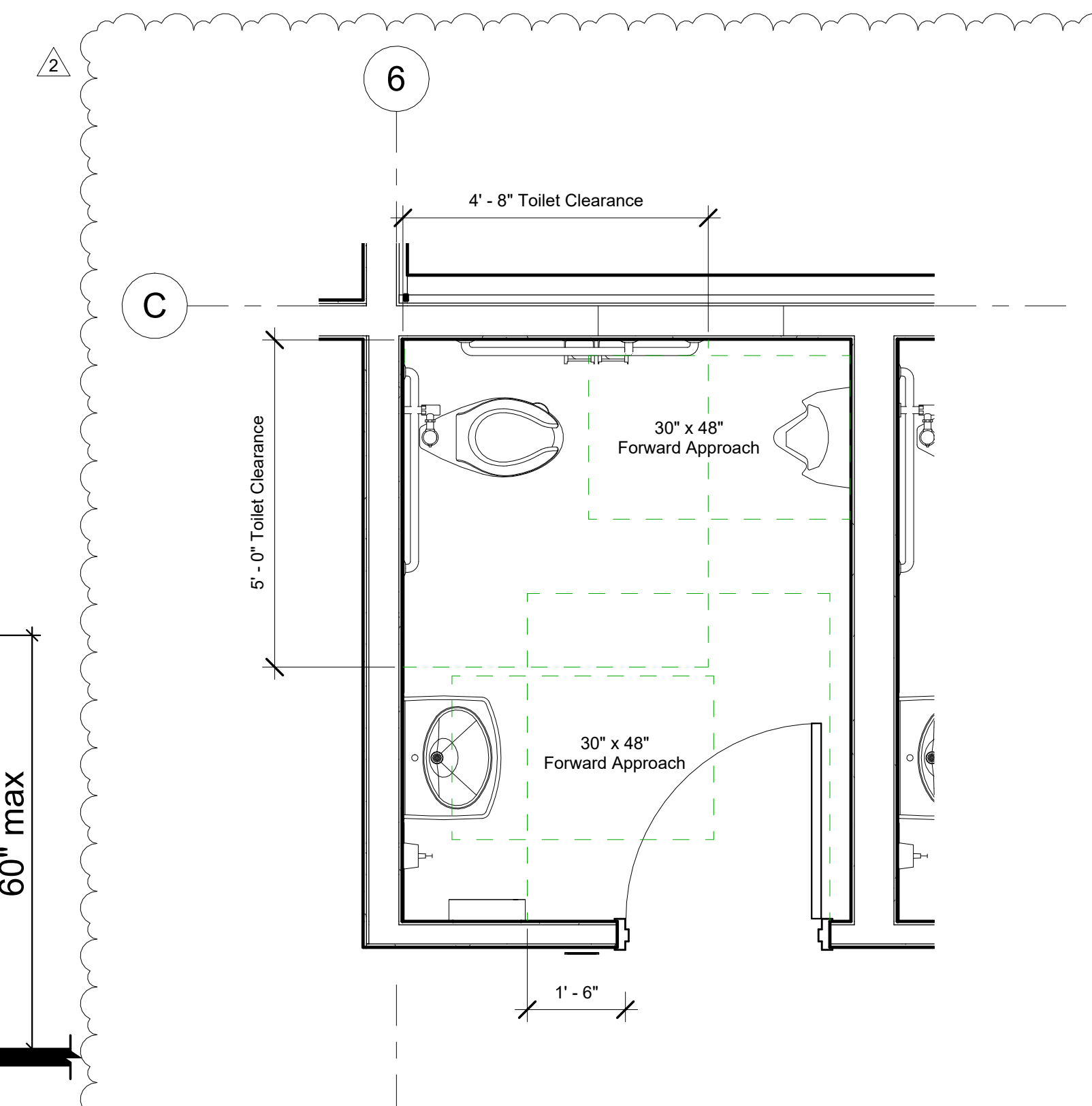
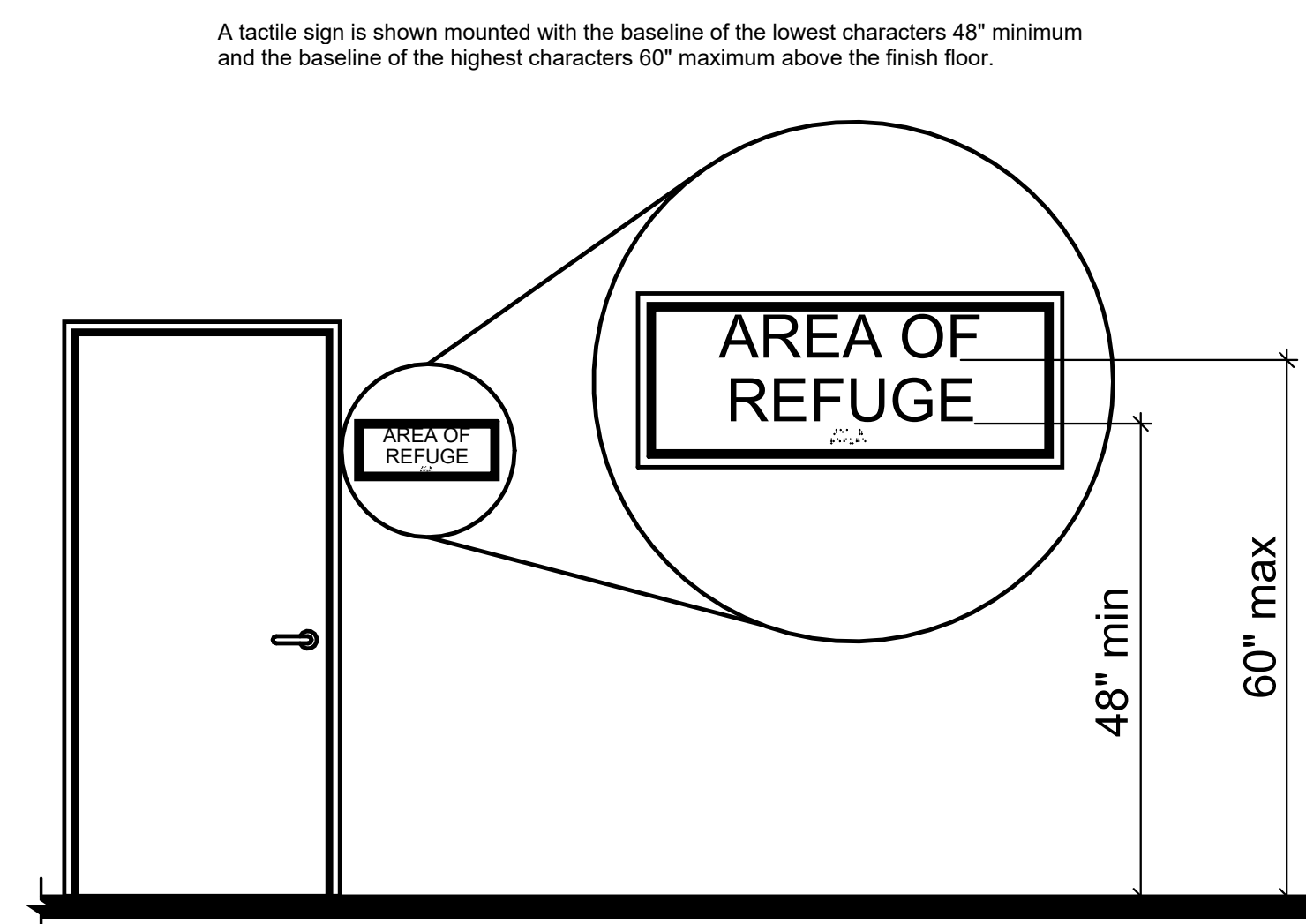
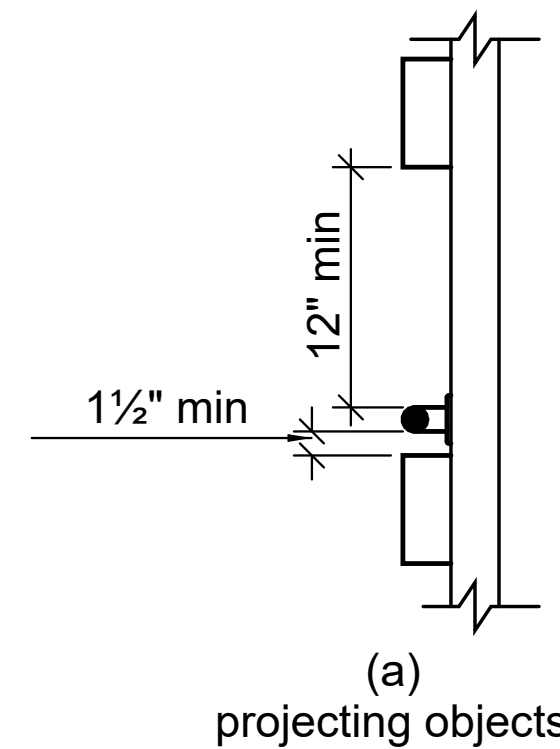
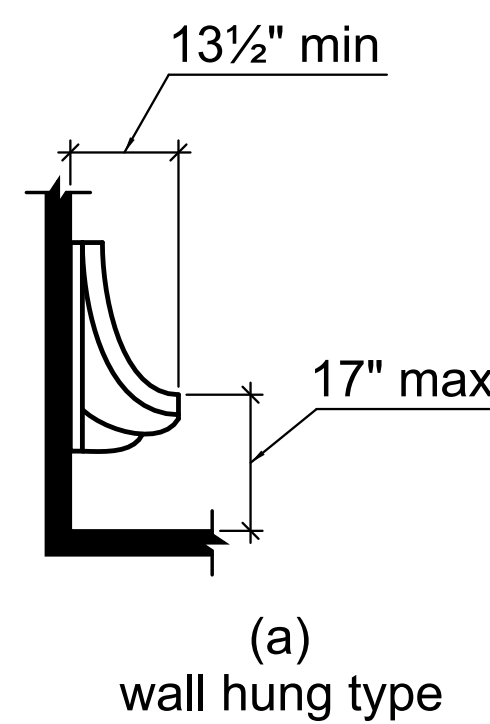
E

Size of Clearance at Water Closets

SCALE: 1/2" = 1'-0"

F

A wall hung type having the urinal rim 17" maximum above the floor with a minimum depth of 13 1/2" measured from the outer face of the rim to the back of the fixture.



Height and Depth of Urinals

SCALE: 1/2" = 1'-0"

G

Spacing of Grab Bars

SCALE: 1" = 1'-0"

H

Height of Tactile Characters Above Finish Floor

SCALE: 1/2" = 1'-0"

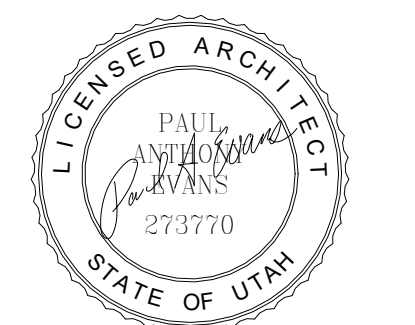
J

Enlarged Floor Plan - Restroom Clearances

SCALE: 1/2" = 1'-0"

K

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SCHEDULE B - SECTION 2 EXCEPTIONS

- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET. (AFFECTS SUBJECT PROPERTY, NOT PLOTTABLE)
- TAXES OR ASSESSMENTS WHICH ARE NOT NOW PAYABLE OR WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENT ON REAL PROPERTY OR BY THE PUBLIC RECORDS. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- ANY FACTS, INTEREST, OR CLAIMS WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS BUT WHICH COULD BE ASCERTAINED BY AN INSPECTION OF SAID LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION, OR CLAIMING TO BE IN POSSESSION, THEREOF. (AFFECTS SUBJECT PROPERTY, NOT PLOTTABLE)
- EASEMENTS, LIENS, ENCUMBRANCES, OR CLAIMS OF EASEMENTS, LIENS OR ENCUMBRANCES WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. (AFFECTS SUBJECT PROPERTY, NOT PLOTTABLE)
- DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- UNPATENTED MINING CLAIMS, RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF, INDIAN TREATY OR ABORIGINAL RIGHTS, INCLUDING BUT NOT LIMITED, EASEMENTS OR EQUITABLE SERVITUDES, WATER RIGHTS, OR CLAIMS OR TITLE TO WATER. (AFFECTS SUBJECT PROPERTY, NOT PLOTTABLE)
- ANY LIENS, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL THERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- ANY SERVICE, INSTALLATIONS, CONNECTIONS, MAINTENANCE, OR CONSTRUCTION CHARGES FOR SEWER, WATER, ELECTRICITY, OR GARBAGE. (AFFECTS SUBJECT PROPERTY AS SHOWN HEREON)
- 2022 GENERAL PROPERTY TAXES HAVE BEEN PAID IN THE AMOUNT OF \$3,160.97. 9. TAX ID NO.: 15-075-0038 (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- SUBJECT PROPERTY IS INCLUDED WITHIN THE BOUNDARIES OF TAX DISTRICT 277 AND IS SUBJECT TO THE CHARGES AND ASSESSMENTS THEREOF:
 - WEBER BASIN WATER CONSERVANCY DISTRICT
 - WEST HAVEN CITY
 - BONA VISTA WATER CONSERVANCY DISTRICT
 - CENTRAL WEBER SEWER IMPROVEMENT DISTRICT
 - WEBER COUNTY FIRE PROTECTION SERVICE AREA NO. 4
 - NORTHERN UTAH ENVIRONMENT RESOURCE AGENCY ("NUERA")
 (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- WATER RIGHTS, OR CLAIMS OR TITLE TO WATER OR ANY SPECIAL ASSESSMENTS ARISING FROM WATER USAGE. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, GEOTHERMAL RESOURCES, URANIUM, CLAY, ROCK, SAND AND GRAVEL, IN, ON, AND/OR UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED. (AFFECTS SUBJECT PROPERTY, NOT PLOTTABLE)
- RESERVATIONS AND CONDITIONS IN THE UNITED STATES PATENT RECORDED APRIL 5, 1886 IN BOOK T AT PAGE 346, WHICH STATES IN PART: SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING OR OTHER PURPOSES AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS, AND DECISIONS OF COURTS, AND ALSO SUBJECT TO THE RIGHT OF A PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AS PROVIDED BY LAW. (AFFECTS SUBJECT PROPERTY, NOT PLOTTABLE)
- THE EFFECT OF THE 1969 FARMLAND ASSESSMENT ACT, WHEREIN THERE IS A FIVE (5) YEAR ROLL-BACK PROVISION WITH REGARD TO ASSESSMENT AND TAXATION, WHICH BECOMES EFFECTIVE UPON A CHANGE IN THE USE OF ALL OR PART OF ELIGIBLE LAND, BY REASON OF THAT CERTAIN APPLICATION FOR ASSESSMENT AND TAXATION OF AGRICULTURAL LAND, RECORDED MARCH 18, 2014, AS ENTRY NO. 2678966, OF THE OFFICIAL RECORDS.

THE EFFECT OF THE 1969 FARMLAND ASSESSMENT ACT, WHEREIN THERE IS A FIVE (5) YEAR ROLL-BACK PROVISION WITH REGARD TO ASSESSMENT AND TAXATION, WHICH BECOMES EFFECTIVE UPON A CHANGE IN THE USE OF ALL OR PART OF ELIGIBLE LAND, BY REASON OF THAT CERTAIN APPLICATION FOR ASSESSMENT AND TAXATION OF AGRICULTURAL LAND, RECORDED JULY 9, 2021, AS ENTRY NO. 3166910, OF THE OFFICIAL RECORDS.

THE EFFECT OF THE 1969 FARMLAND ASSESSMENT ACT, WHEREIN THERE IS A FIVE (5) YEAR ROLL-BACK PROVISION WITH REGARD TO ASSESSMENT AND TAXATION, WHICH BECOMES EFFECTIVE UPON A CHANGE IN THE USE OF ALL OR PART OF ELIGIBLE LAND, BY REASON OF THAT CERTAIN APPLICATION FOR ASSESSMENT AND TAXATION OF AGRICULTURAL LAND, RECORDED AUGUST 24, 2022, AS ENTRY NO. 3251956, OF THE OFFICIAL RECORDS. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- EASEMENT TO USE IRRIGATION SYSTEM: IN FAVOR OF: WILSON IRRIGATION COMPANY AND THE STATE OF UTAH ACTING THROUGH THE UTAH WATER AND POWER BOARD RECORDED: DECEMBER 29, 1961 ENTRY NO.: 371379 BOOK: 699 PAGE: 184, OF THE OFFICIAL RECORDS (NOTE: EXACT LOCATION OF FACILITIES NOT DISCLOSED, AND INCLUDES WITHOUT LIMITATION HOOPER CANAL) (DOES NOT AFFECT THE SUBJECT PROPERTY, EASEMENT IS BLANKET IN NATURE AND WILSON IRRIGATION HAS NO FACILITIES WITHIN THE SUBJECT PROPERTY)

- TEMPORARY UTILITY EASEMENT: IN FAVOR OF: IVORY DEVELOPMENT, LLC, A UTAH LIMITED LIABILITY COMPANY RECORDED: APRIL 26, 2021 ENTRY NO.: 3147721, OF THE OFFICIAL RECORDS AFFIDAVIT OF SCRIVENER'S ERROR, TO CORRECT CERTAIN PARTS OF SAID DOCUMENT, RECORDED APRIL 26, 2021 AS ENTRY NO. 3147756 OF OFFICIAL RECORDS. (AFFECTS SUBJECT PROPERTY, FOR ROADWAY, UTILITIES, AND DETENTION BASIN THAT SERVICE PROPERTY)
- PETITION TO WEBER BASIN WATER CONSERVANCY DISTRICT FOR THE ALLOTMENT OF WATER, BY IVORY LAND CORPORATION AS PETITIONER TO WEBER BASIN WATER CONSERVANCY DISTRICT: RECORDED: JUNE 22, 2022 ENTRY NO.: 3242237, OF THE OFFICIAL RECORDS (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND RESERVATION OF EASEMENTS FOR FAIRHAVEN SUBDIVISION IN WEST HAVEN CITY, UTAH, AND THE ASSESSMENTS, LIENS, CHARGES, TERMS AND PROVISIONS CONTAINED THEREIN AND ANY AMENDMENTS THERETO, FILED OF RECORD FOR SAID SUBDIVISION, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING, BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.

SAID DECLARATION AND/OR COVENANTS, CONDITIONS AND/OR RESTRICTIONS MAY PROVIDE FOR, AMONG OTHER THINGS THE FORMATION OF AN ASSOCIATION, WHICH HAS THE POWER TO ASSESS CHARGES FOR MAINTENANCE, AND/OR TRANSFER FEES.

RECORDED: JULY 8, 2022 ENTRY NO: 3245012, OF THE OFFICIAL RECORDS (AFFECTS SUBJECT PROPERTY AS SHOWN HEREON)
- NOTE: NO EXISTING DEED OF TRUST APPEARS OF RECORD UNDER THE CURRENT OWNER(S), IF THIS INFORMATION IS NOT CORRECT, PLEASE NOTIFY THE COMPANY AS SOON AS POSSIBLE TO PROVIDE INFORMATION REGARDING THE EXISTING LOAN. (AFFECTS SUBJECT PROPERTY, NOT PLOTTABLE)
- DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER FACTS WHICH A CORRECT SURVEY WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS. (DOES NOT AFFECT SUBJECT PROPERTY)
- THE RIGHTS OF PARTIES IN POSSESSION OF SUBJECT PROPERTY UNDER UNRECORDED CONTRACTS, LEASES, RENTAL OR OCCUPANCY AGREEMENTS AND ANY CLAIM AND/OR CLAIM LIENS THEREUNDER. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
- ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE 22, OR HEREAFTER FURNISHED IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS, SUBJECT TO ANY PRELIMINARY NOTICE(S) THAT MAY APPEAR IN THE STATE CONSTRUCTION REGISTRY AND THE LIEN RIGHTS ASSOCIATED THEREIN.

THIS EXCEPTION MAY BE DELETED FROM THE POLICY WHEN VERIFICATION THAT ALL LIEN CLAIMANTS WHO HAVE FILED A PRELIMINARY NOTICE WITH THE SCR HAVE BEEN PAID. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)

BOUNDARY DESCRIPTION

PART OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT A POINT 64 RODS EAST AND 282.5 FEET NORTH OF THE SOUTHWEST CORNER OF SAID QUARTER SECTION, AND RUNNING THENCE NORTHEASTERLY ALONG CANAL TO THE EAST LINE OF THE WEST HALF OF SAID QUARTER SECTION; THENCE NORTH 2236 FEET, MORE OR LESS, TO THE NORTH LINE OF SAID QUARTER SECTION; THENCE WEST 16 RODS, MORE OR LESS, TO A POINT DUE NORTH OF THE PLACE OF BEGINNING; THENCE SOUTH 2341 FEET, MORE OR LESS, TO THE PLACE OF BEGINNING.

LESS AND EXCEPT THEREFROM ANY PORTION LYING WITHIN THE BOUNDS OF THE FOLLOWING DESCRIBED TRACT OF LAND, AS DISCLOSED BY THAT CERTAIN SPECIAL WARRANTY DEED RECORDED APRIL 26, 2021 AS ENTRY NO. 3147720 IN THE OFFICE OF THE WEBER COUNTY RECORDER, TO-WIT: THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 6 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, WEST HAVEN CITY, WEBER COUNTY, UTAH, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 26, NORTH 89°16'49" WEST 1318.92 FEET, FROM THE NORTH QUARTER CORNER OF SAID SECTION 26 AND RUNNING THENCE SOUTH 00°49'47" WEST 1093.80 FEET; THENCE SOUTH 89°08'47" WEST 86.29 FEET (FOR CLOSURE PURPOSES OF THIS EXCEPTED PARCEL MORE CORRECTLY SHOULD BE NORTH 89°08'47" WEST 86.29 FEET); THENCE SOUTH 00°51'13" WEST 80.00 FEET; THENCE NORTH 86°51'21" WEST 50.04 FEET; THENCE NORTH 89°08'47" WEST 127.00 FEET; THENCE NORTH 00°51'13" EAST 1171.18 FEET; THENCE SOUTH 89°16'49" EAST 262.83 FEET TO THE POINT OF BEGINNING.

THIS LEGAL DESCRIPTION INDICATES THE SAME PARCEL AS THAT DESCRIBED IN TITLE COMMITMENT NO. 2272001FA, WITH AND EFFECTIVE DATE OF NOVEMBER 16, 2022.

AS SURVEYED BOUNDARY DESCRIPTION

ALL OF PARCEL "A", FAIRHAVEN SUBDIVISION PHASE 2, WEBER COUNTY, UTAH.

NOTE: SAID SUBDIVISION PLAT HAS NOT BEEN RECORDED AT THIS TIME.

NOTES

- THE SUBJECT PROPERTY LIES WITHIN THE ZONE R 2.
- THE SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "X" PER MAP NUMBER 49057C0406E WITH AN EFFECTIVE DATE OF 12/18/2005.
- THE SUBJECT PROPERTY WAS OBSERVED EVIDENCE OF CONSTRUCTION OR RECENT SITE DEVELOPMENT OBSERVED IN THE FIELD WHILE CONDUCTING THE FIELDWORK.
- THERE WAS NO OBSERVED EVIDENCE TO THE SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL OBSERVED IN THE FIELD WHILE CONDUCTING THE FIELDWORK.
- THERE WAS NO EVIDENCE OF DELINEATED WETLAND WITHIN THE SUBJECT PROPERTY OBSERVED IN THE FIELD WHILE CONDUCTING THE FIELDWORK.
- SUBDIVISION STREETS AND SIDEWALKS WERE RECENTLY CONSTRUCTED.
- PUBLIC AND PRIVATE UTILITY LINE LOCATIONS WERE DETERMINED BY OBSERVED EVIDENCE AND MAPPING PROVIDED BY UTILITY COMPANIES.
- THE SUBJECT PROPERTY HAS A PURPORTED ADDRESS OF 2003 SOUTH, 2525 WEST, UTAH, AND WAS FOUND ON FAIRHAVEN PHASE 2 SUBDIVISION PLAT.

NARRATIVE

THE PURPOSE OF THE SURVEY WAS TO DO AN ALTA/NSPS SURVEY OF THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY IS BASED ON THE COMMITMENT FOR TITLE INSURANCE PROVIDED BY OLD REPUBLIC NATIONAL TITLE INSURANCE CO. FILE NUMBER 2272001FA WITH AN EFFECTIVE DATE OF NOVEMBER 16, 2022 AT 8:00 A.M. THE SURVEY WAS ORDERED BY LDS CHURCH. THE BASIS OF BEARING IS THE LINE BETWEEN THE NORTH QUARTER CORNER AND THE WEST QUARTER CORNER OF SECTION 26, TOWNSHIP 6 NORTH, RANGE 2 WEST, OF THE SALT LAKE BASE AND MERIDIAN, WHICH BEARS SOUTH 45°35'05" WEST, NAD 83 STATE PLANE GRID BEARING.

SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS ALTA/NSPS RECORD OF SURVEY PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS RECORD OF SURVEY PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY. I FURTHER CERTIFY TO:

CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND IS BASED ON COMMITMENT FOR TITLE INSURANCE FILE NUMBER 2272001FA WITH AN EFFECTIVE DATE OF NOVEMBER 16, 2022 AT 8:00 A.M. AND INCLUDES ITEMS 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON January 16, 2023.

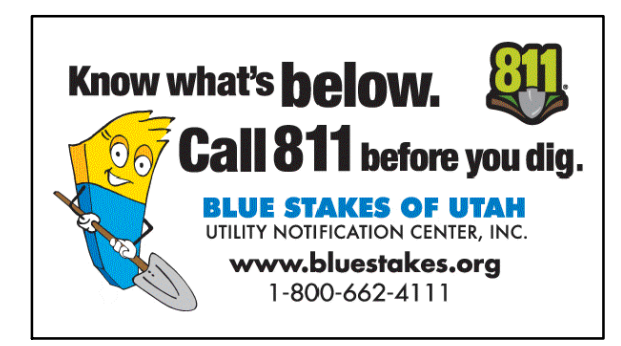
SIGNED THIS ____ DAY OF _____, 2023.



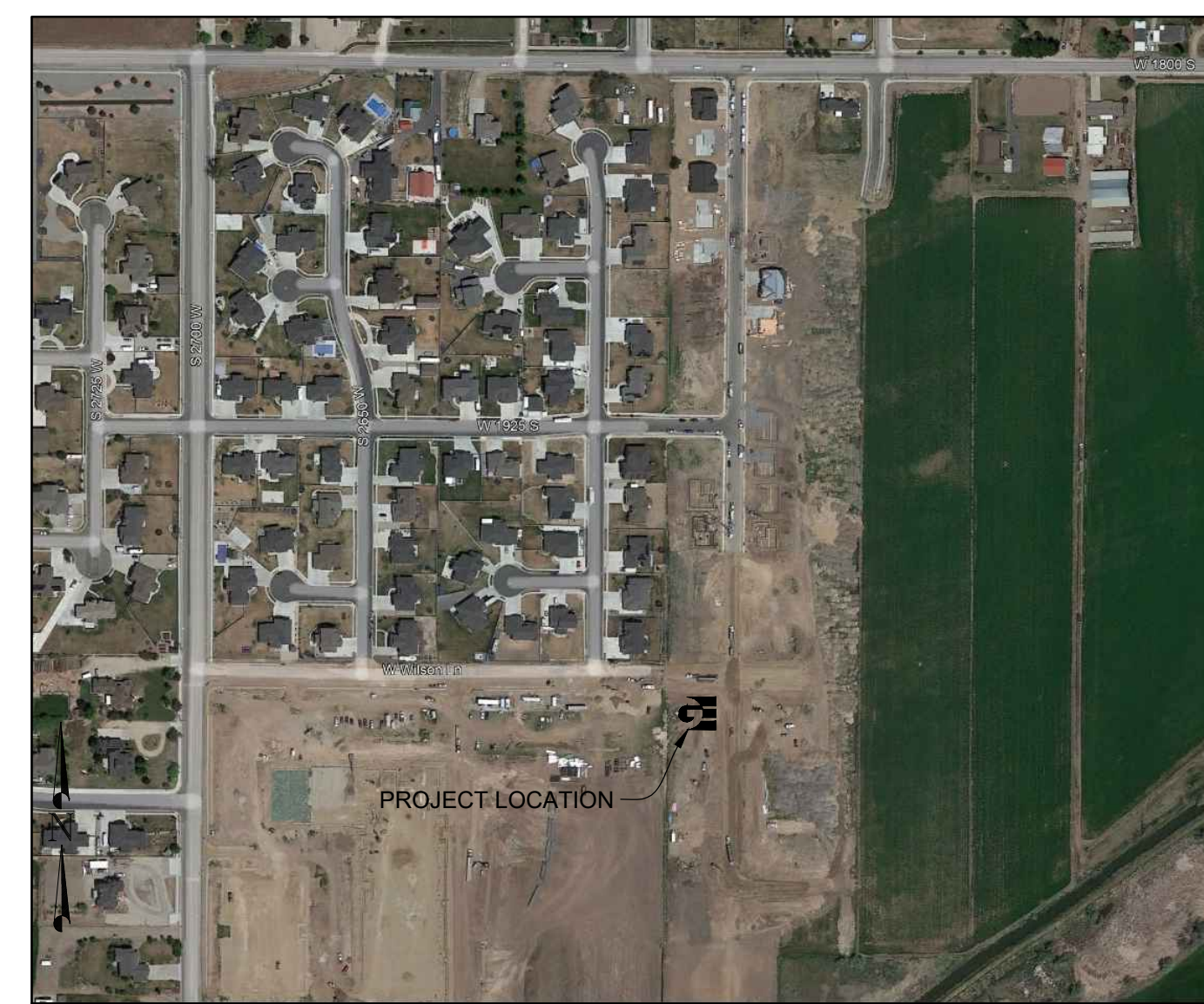
KLINT H. WHITNEY, PLS NO. 8227228

UTILITY CONTACT

Code	Name	Phone	Contact Name	Email	Comments	Description
BVW	BONA VISTA WATER IMPROVEMENT DISTRICT	801-241-8114	MATT FOX	MATT@BONAVISTAWATER.COM		ELEVATORY WATER
COCAST	COMCAST	812-241-2124	JEFF HOUSTON	JEFF.HOUSTON@TELECOM.CA		CATV & FIBER SMOOD BY USC
CLUTL	LUMEN CENTURYLINK	855-241-2124	LARRY BULNER	LARRY.BULNER@LUMEN.COM		FIBER/PTN MARKED BY USC
HOOPER	HOOPER IRRIGATION COMPANY	801-241-8124	SPENCER JONES	SPENCERJONESHOOPER@GMAIL.COM		TRUCKS & PRESSURIZED DITCH WATER
DOMINION	DOMINION ENERGY	801-241-8124	SL MAPPING DEPARTMENT	MAPREQUESTS@DOMINIONENERGY.COM		FOR PRINTED & ELECTRONIC MAPS
ROCKY MOUNTAIN	POWER-COGEN	801-241-8124	CLAIRE PUNTER	MAPPLANNINGANDDESIGN@ROCKYMOUNTAINPOWER.COM		POWER MARKED BY USC
ROY WATER	CONSERVANCY DISTRICT	801-241-8124	COURTNEY HARRIS	COURTNEY@ROYWATER.COM		IRRIGATION
WEST HAVEN CITY		801-241-8124	SCOTT VESTRA	SCOTT@WESTHAVENCITY.COM		SEWER & ELEVATORY WATER



VICINITY MAP



SCALE: N/A DATE: 1/13/2023 DESIGN: DRAWN: JTN CHECKED: KHW

REVISIONS

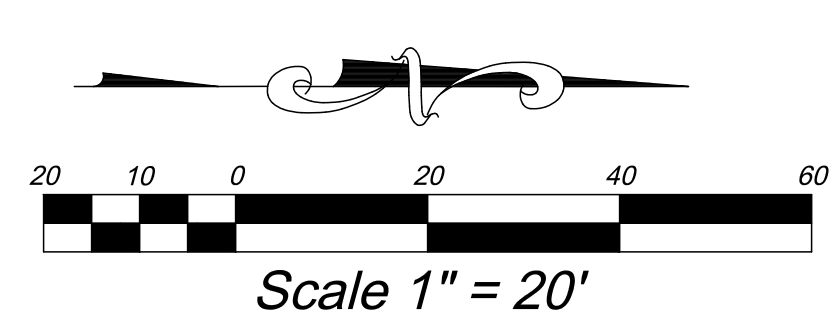
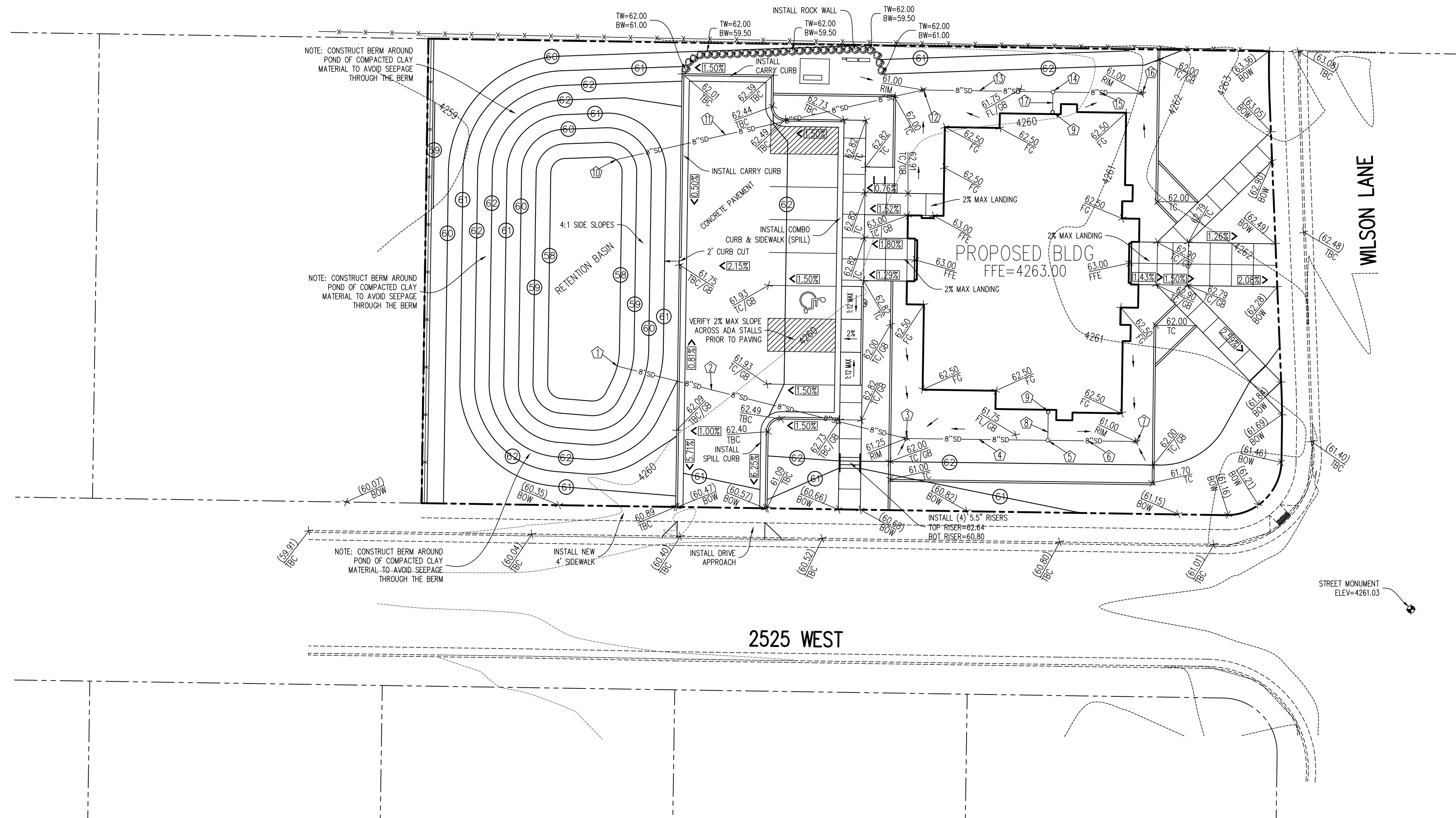
DATE	DESCRIPTION

ALTA SURVEY FOR LDS CHURCH
2003 SOUTH 2525 WEST, WEST HAVEN, UTAH
LOCATED IN THE NORTHWEST QUARTER OF SECTION 26
TOWNSHIP 6 NORTH, RANGE 2 WEST, S.L.B. AND M.

GARDNER ENGINEERING
CIVIL • LAND PLANNING
MUNICIPAL • LAND SURVEYING

5150 SOUTH 375 EAST OGDEN, UT
OFFICE: 801-476-6202 FAX: 801-476-6066

S1
2



STORM DRAIN KEYED NOTES

1. FLOWLINE OF 8" ADS PIPE @ S=0.5%
2. INSTALL 81 L.F. 8" ADS PIPE @ S=0.5%
3. INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE. BASE OF GRATE=4261.25, 8" IE THRU=4258.41
4. INSTALL 38 L.F. 8" ADS PIPE @ S=0.5%
5. INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE. BASE OF GRATE=4261.56, 6" IE IN=4258.60, 8" IE THRU=4258.60
6. INSTALL 24 L.F. 8" ADS PIPE @ S=0.5%
7. INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE. BASE OF GRATE=4261.00, 8" IE OUT=4258.72
8. INSTALL 7 L.F. 6" ADS PIPE @ S=1% MIN. ADJUST GRADE AS NEEDED TO CONNECT TO DRAIN BOX AT THE BUILDING.
9. INSTALL DRAIN BOX AT BUILDING PER DETAIL F/C501.
10. FLOWLINE OF 8" ADS PIPE=4258.00
11. INSTALL 86 L.F. 8" ADS PIPE @ S=0.5%
12. INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE. BASE OF GRATE=4261.00, 8" IE THRU=4258.43
13. INSTALL 35 L.F. 8" ADS PIPE @ S=0.5%
14. INSTALL 12" DIA NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE. BASE OF GRATE=4761.55, 6" IE IN=4258.61, 8" IE THRU=4258.61
15. INSTALL 24 L.F. 8" ADS PIPE @ S=0.5%
16. INSTALL 12" DIA. NYLOPLAST DRAIN BASIN WITH BLACK DOMED GRATE. BASE OF GRATE=4261.00, 8" IE OUT=4258.73
17. INSTALL 5 L.F. 6" ADS PIPE @ S=1% MIN. ADJUST GRADE AS NEEDED TO CONNECT TO DRAIN AT BUILDING.

RETENTION POND NOTES:

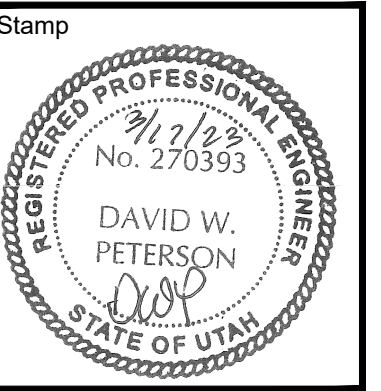
1. RETENTION POND IS A PRIVATE RETENTION FACILITY.
2. PRIVATE RETENTION SYSTEM CAPACITY=7,165 CF
3. SIDE SLOPES = 4:1
4. THE POND IS TO BE LANDSCAPED WITH GRAVEL AND PLANTS
5. PRIVATE RETENTION FACILITY TO BE OWNED AND MAINTAINED BY THE OWNERS OF THIS PROPERTY

PARKING LOT PAVEMENT DESIGN:

5" PORTLAND CEMENT CONCRETE
12" BASE COURSE

GRADING LEGEND

FFE	FINISHED FLOOR ELEV.	FG	FINISHED GRADE
BOW	BACK OF WALK	TW	TOP OF WALL
GB	GRADE BREAK	BW	BOTTOM OF WALL
TC	TOP OF CONCRETE	IE	INVERT ELEVATION
TBC	TOP BACK OF CURB		DIRECTION OF DRAINAGE
TA	TOP OF ASPHALT		EXISTING ELEVATION
RIM	RIM ELEVATION		PROPOSED ELEVATION
FL	FLOWLINE		EXISTING CONTOUR
EG	EXIST GROUND		PROPOSED CONTOUR
LIP	LIP OF CURB		STORM DRAIN KEYED NOTE
			DIRECTION OF SURFACE DRAINAGE



A New Building for
Mountain View Jr Seminary
2525 West Wilson Lane
West Haven, Utah

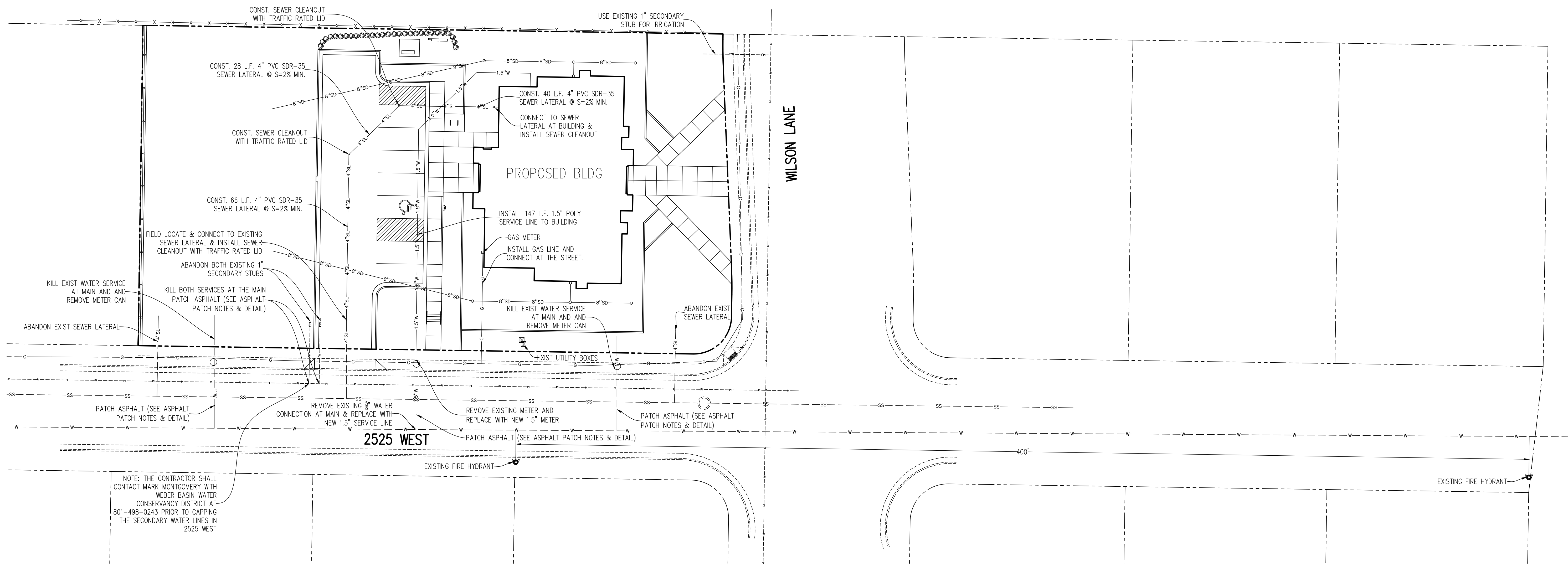
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description
Mark	Date

Project Number
22-59
Plan Series
Seminary 2-Classroom
Property Number
502-1091-22020101
Date
October 4, 2022

Sheet Title
GRADING & DRAINAGE PLAN

Sheet
C201

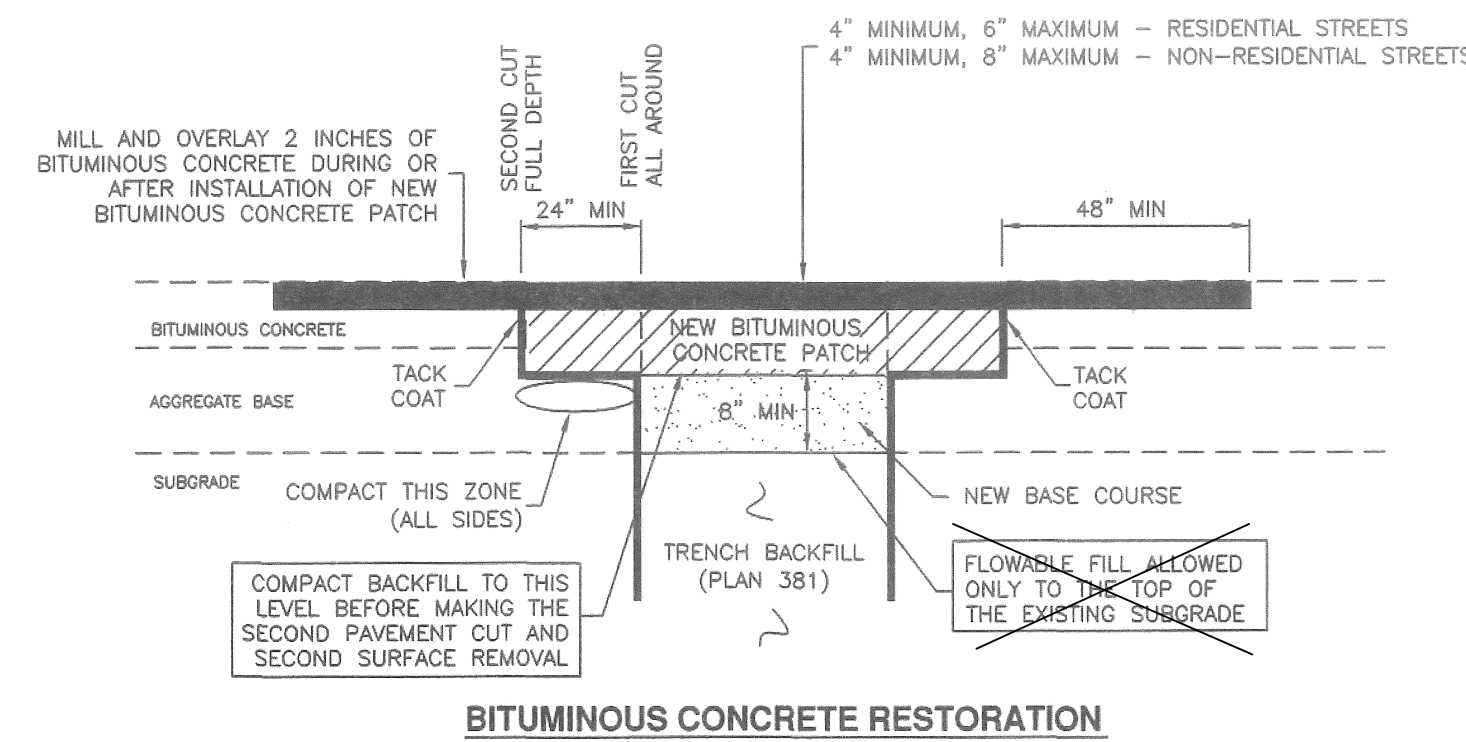


ASPHALT T-PATCH, TRENCH & ROADWAY REPAIR NOTES:

1. OBTAIN EXCAVATION PERMIT FROM WEST HAVEN CITY.
2. COMPACT TRENCH PER WEST HAVEN CITY STANDARDS.
3. REPLACE AND COMPACT ROADWAY BASE PER WEST HAVEN CITY STANDARDS
4. SAWCUT EDGES OF THE TRENCH PER WEST HAVEN CITY STANDARDS.
5. INSTALL 4" ASPHALT IN PATCH PER WEST HAVEN CITY STANDARDS.
6. ALL TRENCHES WITHIN THE RIGHT-OF-WAY SHALL BE RESTORED WITH 100% IMPORT MATERIAL MEETING APWA COMPACTION REQUIREMENTS.
7. RESTORE ANY REMOVED CURB, GUTTER & SIDEWALK PER CITY STANDARDS.
8. ANY PATCHES WITHIN 10 FEET FROM EDGE TO EDGE SHALL BE ONE CONTINUOUS PATCH. ANY PATCH WITHIN 5 FEET OF THE CURB SHALL BE REMOVED AND REPLACED TO THE CURB.

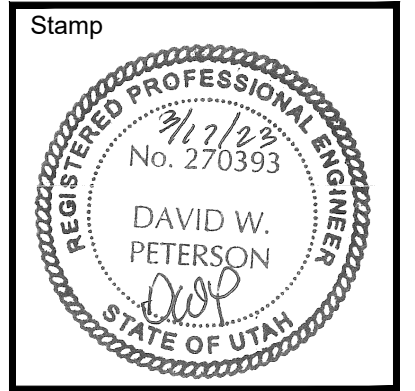
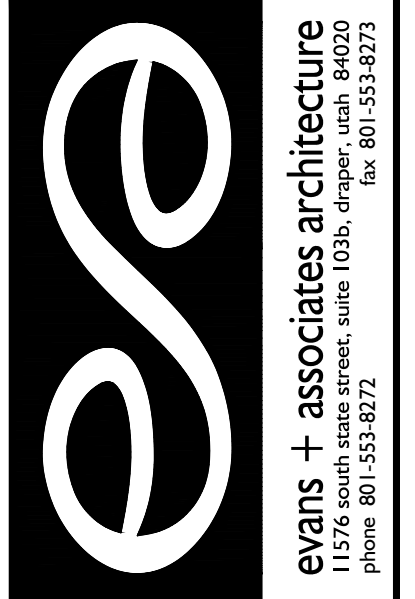
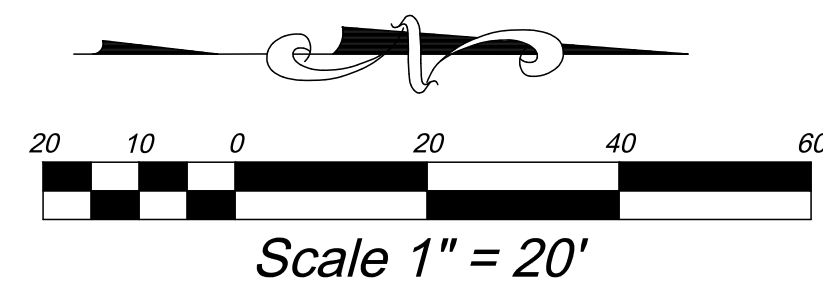
PAVEMENT TERM CLARIFICATION

BITUMINOUS CONCRETE = ASPHALT



Bituminous pavement T-patch

Plan 255
November 2015



A New Building for
Mountain View Jr Seminary
2525 West Wilson Lane
West Haven, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

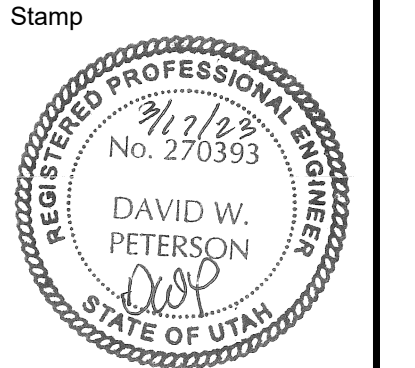
Revisions	Description	Date	Mark

Project Number 22-59
Plan Series Seminary 2-Classroom
Property Number 502-1091-22020101
Date October 4, 2022

Sheet Title
UTILITY PLAN

Sheet
C202





A New Building for
Mountain View Jr Seminary
 2525 West Wilson Lane
 West Haven, Utah

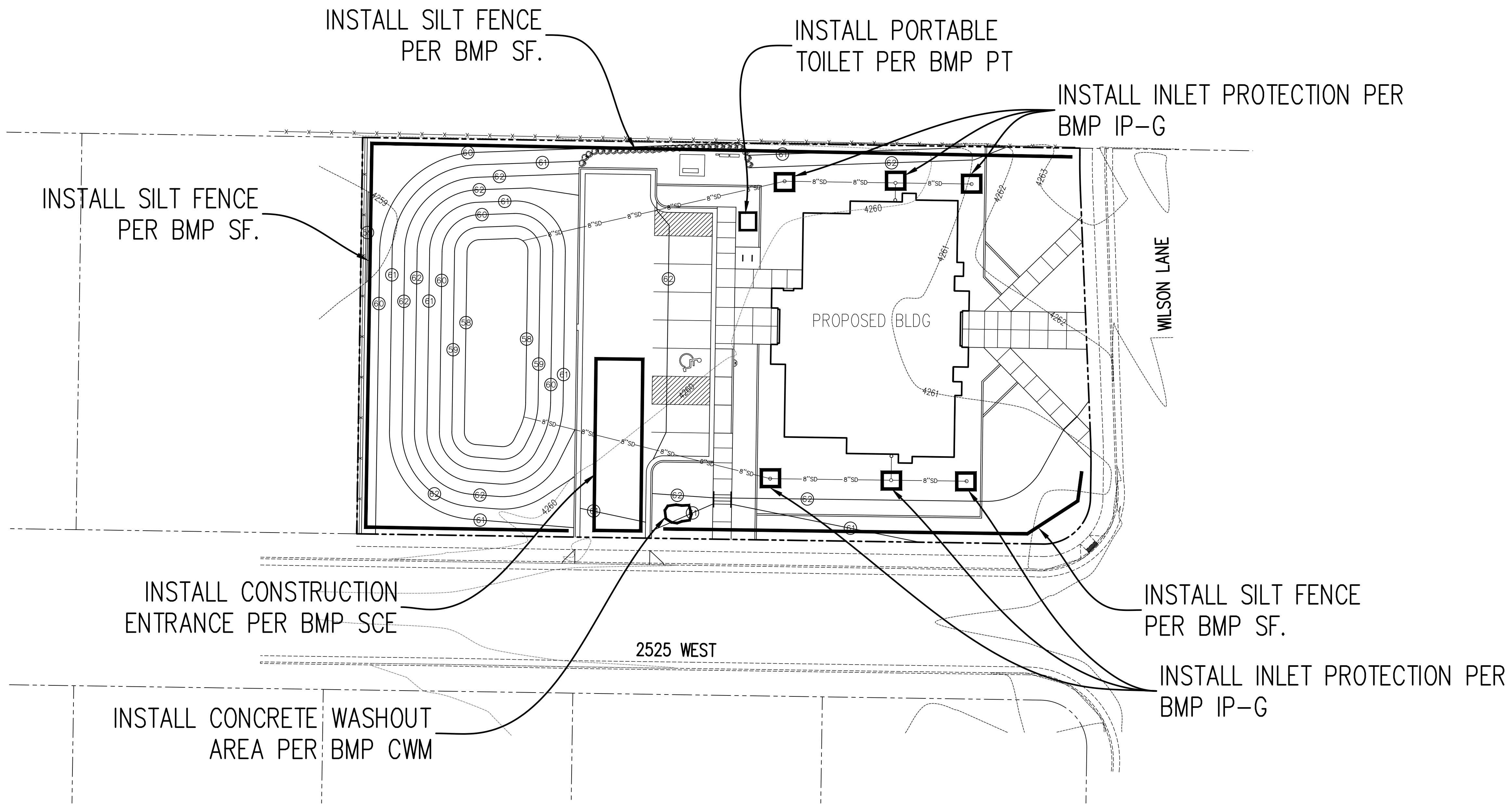
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description
Mark	Date

Project Number
 22-59
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 Seminary 2-Classroom
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 October 4, 2022

Sheet Title
EROSION CONTROL PLAN

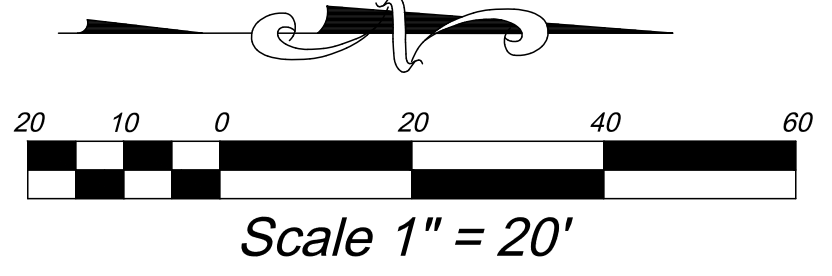
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C203



CITY SWPPP CONTACT:
 1. CONTACT COLT PREVEDEL, WEST HAVEN STORM WATER MANAGER, 801-430-0017

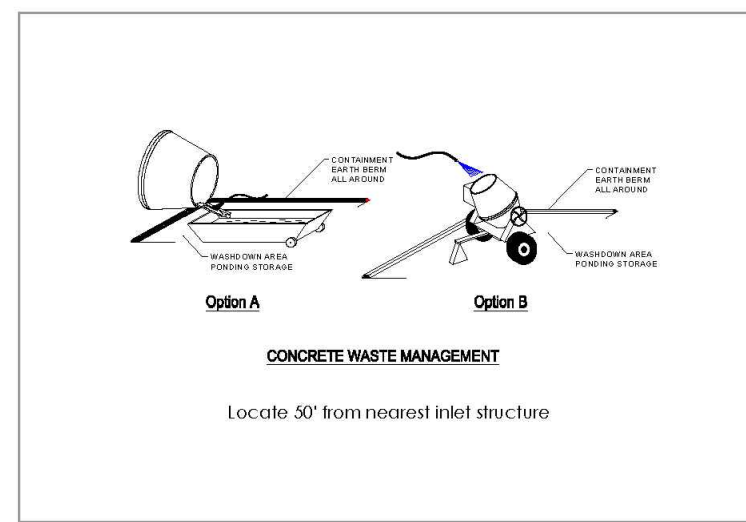
SWPPP NOTES:
 1. THE SWPPP TEMPLATE AND PERMIT WILL BE PROVIDED BY THE EXCAVATION CONTRACTOR PRIOR TO PRE-CON MEETING.
 2. THE NOI WILL BE PROVIDED BY THE EXCAVATION CONTRACTOR PRIOR TO PRE-CON MEETING

EROSION CONTROL NOTES:
 1. CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
 2. CONSTRUCT A SILT FENCE AS SHOWN ON PLAN. SEE BMP SF.
 3. INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN PRIOR TO ANY GRADING ON THE SITE. SEE BMP SCE
 4. INSTALL CONCRETE WASHOUT AREA AS PER BMP CWM.
 5. INSTALL PORTABLE TOILET AS PER BMP PT
 6. INSTALL INLET PROTECTION ON EXISTING INLETS ON-SITE. SEE BMP IP-G, FILTER FABRIC UNDER GRATE OR EQUAL.
 7. THE SITE IS TO BE WATERED AT LEAST ONCE A WEEK DURING SUMMER TO CONTROL DUST OR MORE FREQUENT AS DETERMINED BY THE CONTRACTOR.
 8. CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE.
 9. CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.
 10. ALL CONSTRUCTION PERIOD BEST MANAGEMENT PRACTICES ARE TO BE INSPECTED & MAINTAINED AT LEAST WEEKLY, ALSO BEFORE AND AFTER EACH STORM EVENT.
 11. CONTRACTOR SHALL BE REQUIRED TO KEEP A RECORD OF ALL INSPECTIONS AND MAINTENANCE ON SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.



BMP: Concrete Waste Management

CWM
Construction



DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATION:
This technique is applicable to all types of sites.

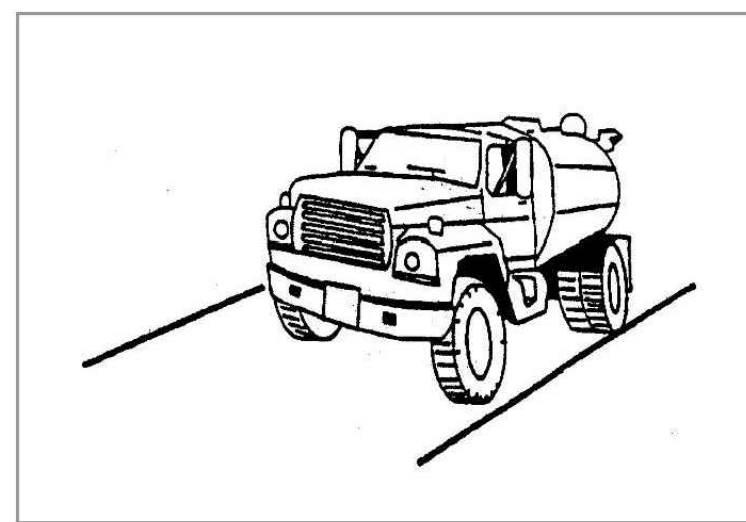
- INSTALLATION/APPLICATION CRITERIA:**
- Store dry materials under cover, away from drainage areas.
 - Minimize excess mixing of fresh concrete, mortar or cement on-site.
 - Perform washout of concrete trucks off-site or in designated areas only.
 - Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
 - Do not allow excess concrete to be dumped on-site, except in designated areas.
 - When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (6" tall by 6" wide).
 - Train employees and subcontractors in proper concrete waste management.

- LIMITATIONS:**
- Off-site washout of concrete wastes may not always be possible.

- MAINTENANCE:**
- Inspect subcontractors to ensure that concrete wastes are being properly managed.
 - If using a temporary pit, dispose hardened concrete on a regular basis.

BMP: Dust Controls

DC
Construction



DESCRIPTION:
Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

APPLICATION:
Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.

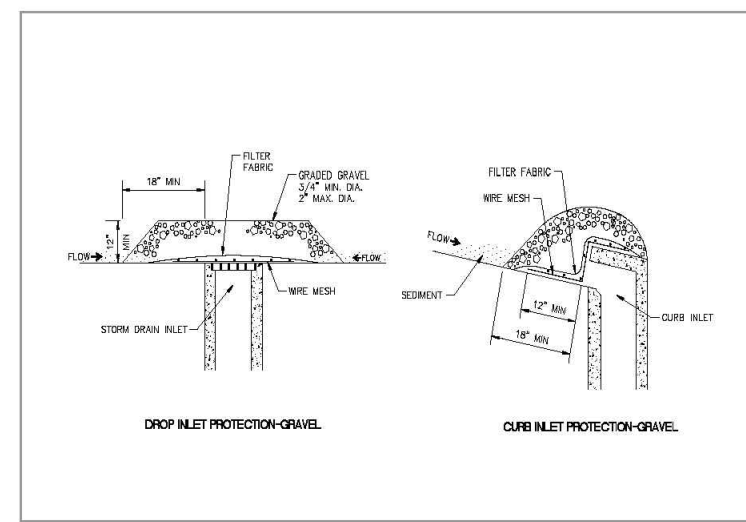
- INSTALLATION/APPLICATION CRITERIA:**
- Mechanical dust collection systems are designed according to the size of dust particles and the amount of air to be processed. Manufacturers' recommendations should be followed for installation (as well as the design of the equipment).
 - Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
 - Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.

- LIMITATIONS:**
- Generally more expensive than manual systems.
 - May be impossible to maintain by plant personnel (the more elaborate equipment).
 - Labor and equipment intensive and may not be effective for all pollutants (street sweepers).

MAINTENANCE:
If water sprayers are used, dust-contaminated waters should be collected and taken for treatment. Areas will probably need to be resprayed to keep dust from spreading.

BMP: Inlet Protection-Gravel

IP-G
Construction



DESCRIPTION:
Placement of gravel filter over inlet to storm drain to filter storm water runoff.

APPLICATION:
Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

- INSTALLATION/APPLICATION CRITERIA:**
- Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
 - Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
 - Place graded gravel, to a minimum depth of 12-inches, over the filter fabric and extending 18-inches past the grate in all directions.

- LIMITATIONS:**
- Recommended for maximum drainage area of one acre.
 - Excess flows may bypass the inlet requiring down gradient controls.
 - Ponding will occur at inlet.

- MAINTENANCE:**
- Inspect inlet protection after every large storm event and at a minimum of once monthly.
 - Remove sediment accumulated when it reaches 4-inches in depth.
 - Replace filter fabric and clean or replace gravel if clogging is apparent.

BMP: Land Grading

LG
Construction



DESCRIPTION:
Land grading involves reshaping the ground surface to planned grades as determined by an engineering survey, evaluation, and layout. Land grading provides more suitable topography for buildings, facilities, and other land uses and helps to control surface runoff, soil erosion, and sedimentation during and after construction.

APPLICATIONS:
Land grading is applicable to sites with uneven or steep topography or easily erodible soils, because it stabilizes slopes and decreases runoff velocity. Grading activities should maintain existing drainage patterns as much as possible.

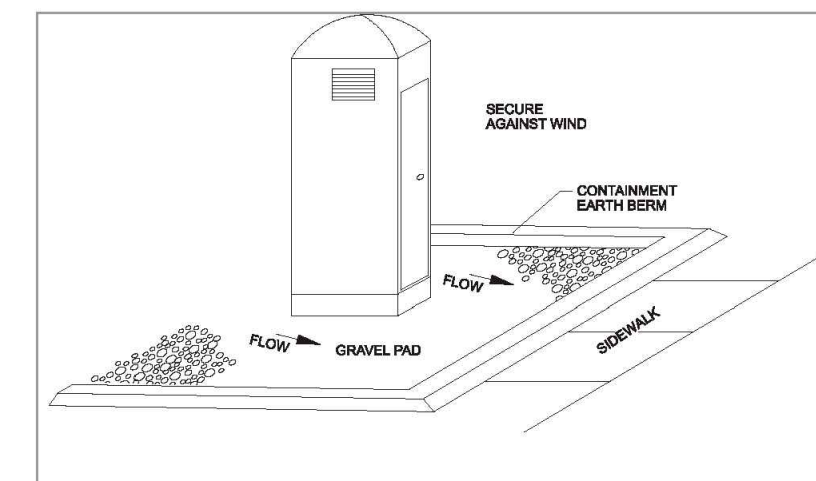
INSTALLATION/APPLICATION CRITERIA:
Before grading activities begin, a construction site operator must make decisions regarding the steepness of cut-and-fill slopes and how the slopes will be: Protected from runoff, stabilized and maintained.

- LIMITATIONS:**
- Improper grading practices that disrupt natural stormwater patterns might lead to poor drainage, high-runoff velocities, and increased peak flows during storm events. Clearing and grading the entire site without vegetated buffers promotes offsite transport of sediments and other pollutants. Design the grading plan with erosion and sediment control and stormwater management goals in mind, to ensure that the plan is implemented as intended, carefully supervise grading crews.

- MAINTENANCE:**
- Check all graded areas and supporting erosion and sediment control practices periodically, especially after heavy rainfalls.
 - Promptly remove all sediment from diversions or other stormwater conveyances, and if washouts or breaks occur, repair them immediately.
 - To prevent small-scale eroded areas from becoming significant gullies, maintain them promptly.

BMP: Portable Toilets

PT
Construction



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

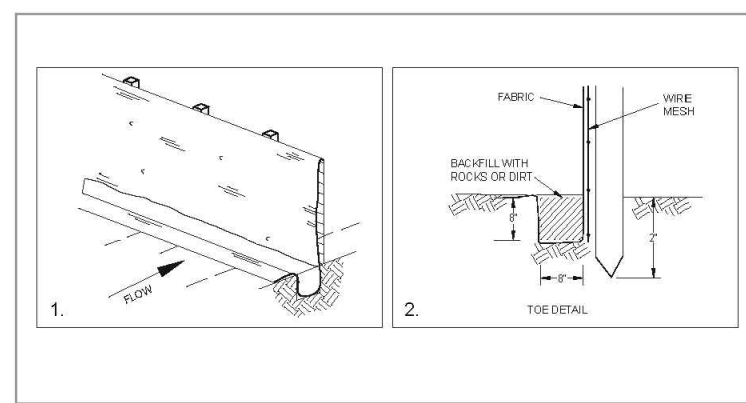
- INSTALLATION/APPLICATION CRITERIA:**
- Locate portable toilets in convenient locations throughout the site.
 - Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
 - Construct earth berm perimeter (6" tall by 6" wide), control for spill/protection leak.

- LIMITATIONS:**
- No limitations.

- MAINTENANCE:**
- Portable toilets should be maintained in good working order by licensed service with daily observation for leak deflection.
 - Regular waste collection should be arranged with licensed service.
 - All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

BMP: Silt Fence

SF
Construction



DESCRIPTION:
A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

- APPLICATION:**
- Perimeter control: place barrier at down-gradient limits of disturbance
 - Sediment barrier: place barrier at toe of slope or soil stockpile
 - Protection of existing waterways: place barrier at top of stream bank
 - Inlet protection: place fence surrounding catchbasins

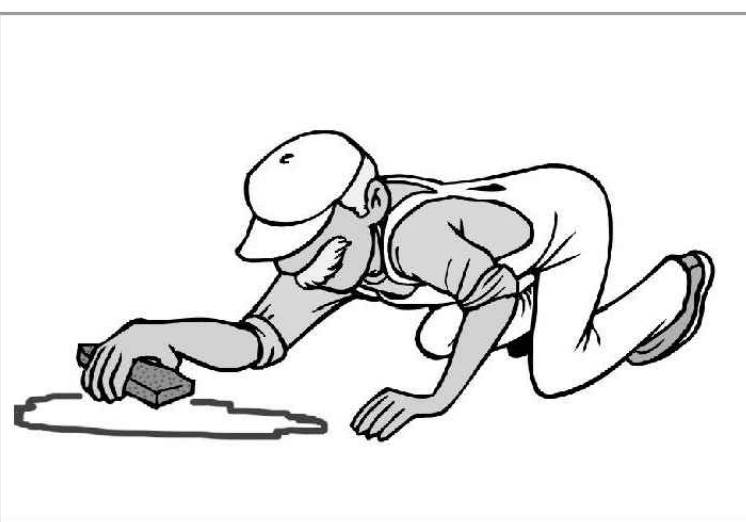
- INSTALLATION/APPLICATION CRITERIA:**
- Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately up-gradient of posts.
 - Secure wire mesh (1/4 gage min. with 6-inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.
 - Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
 - Backfill trench over filter fabric to anchor.

- LIMITATIONS:**
- Recommended maximum drainage area of 0.5 acre per 100 feet of fence
 - Recommended maximum up-gradient slope length of 150 feet
 - Recommended maximum uphill grade of 2:1 (50%)
 - Recommended maximum flow rate of 0.5 cfs
 - Ponding should not be allowed behind fence

- MAINTENANCE:**
- Inspect immediately after any rainfall and at least daily during prolonged rainfall.
 - Look for runoff bypassing ends of barriers or undercutting barriers.
 - Repair or replace damaged areas of the barrier and remove accumulated sediment.
 - Reanchor fence as necessary to prevent shortcutting.
 - Remove accumulated sediment when it reaches 1/2 the height of the fence.

BMP: Spill Clean-Up

SCU
Construction



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

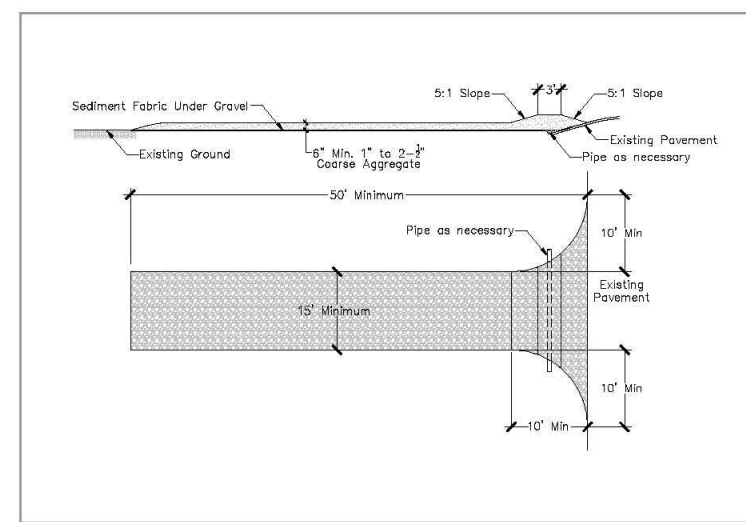
APPLICATION:
All sites

- GENERAL:**
- Store controlled materials within a storage area.
 - Educate personnel on prevention and clean-up techniques.
 - Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
 - Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

- METHODS:**
- Clean-up spills/leaks immediately and remediate cause.
 - Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
 - Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
 - Document all spills with date, location, substance, volume, actions taken and other pertinent data.
 - Contact the Salt Lake County Health Department (313-6700) for any spill of reportable quantity.

BMP: Stabilized Construction Entrance

SCE
Construction



DESCRIPTION:
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface.

APPLICATION:
At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

- INSTALLATION/APPLICATION CRITERIA:**
- Clear and grub area and grade to provide maximum slope of 2%.
 - Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
 - Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.

- LIMITATIONS:**
- Requires periodic top dressing with additional stones.
 - Should be used in conjunction with street sweeping on adjacent public right-of-way.

- MAINTENANCE:**
- Inspect daily for loss of gravel or sediment buildup.
 - Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
 - Repair entrance and replace gravel as required to maintain control in good working condition.
 - Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

BMP: Street Sweeping

SS
Construction

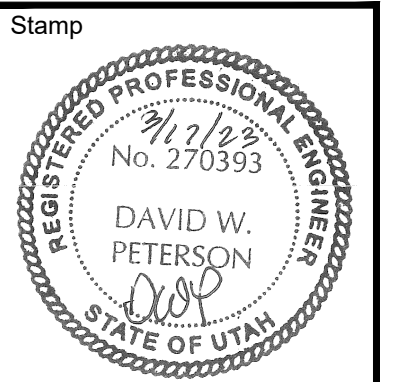


DESCRIPTION:
Reduce the discharges of pollutants to stormwater from street surfaces by conducting street cleaning on a regular basis.

- APPROACH:**
- Prioritize cleaning to use the most sophisticated sweepers, at the highest frequency, and in areas with the highest pollutant loading.
 - Restrict street parking prior to and during sweeping.
 - Increase sweeping frequency just before the rainy season.
 - Proper maintenance and operation of sweepers greatly increase their efficiency.
 - Keep accurate operation logs to track programs.
 - Sweepers effective at removing smaller particles (less than 10 microns) may generate dust that would lead to concerns over worker and public safety.
 - Equipment selection can be key for this particular BMP. There are two types used, the mechanical broom sweepers (more effective at picking up large debris and cleaning wet streets), and the vacuum sweepers (more effective at removing fine particles and associated heavy metals). Many communities find it useful to have a compliment of both types in their fleet.

- LIMITATIONS:**
- Conventional sweepers are not able to remove oil and grease.
 - Mechanical sweepers are not effective at removing finer sediments.
 - Effectiveness may also be limited by street conditions, traffic congestion, presence of construction projects, climatic conditions and condition of curbs.

- MAINTENANCE:**
- Replace worn parts as necessary.
 - Install main and gutter brooms of the appropriate weight.



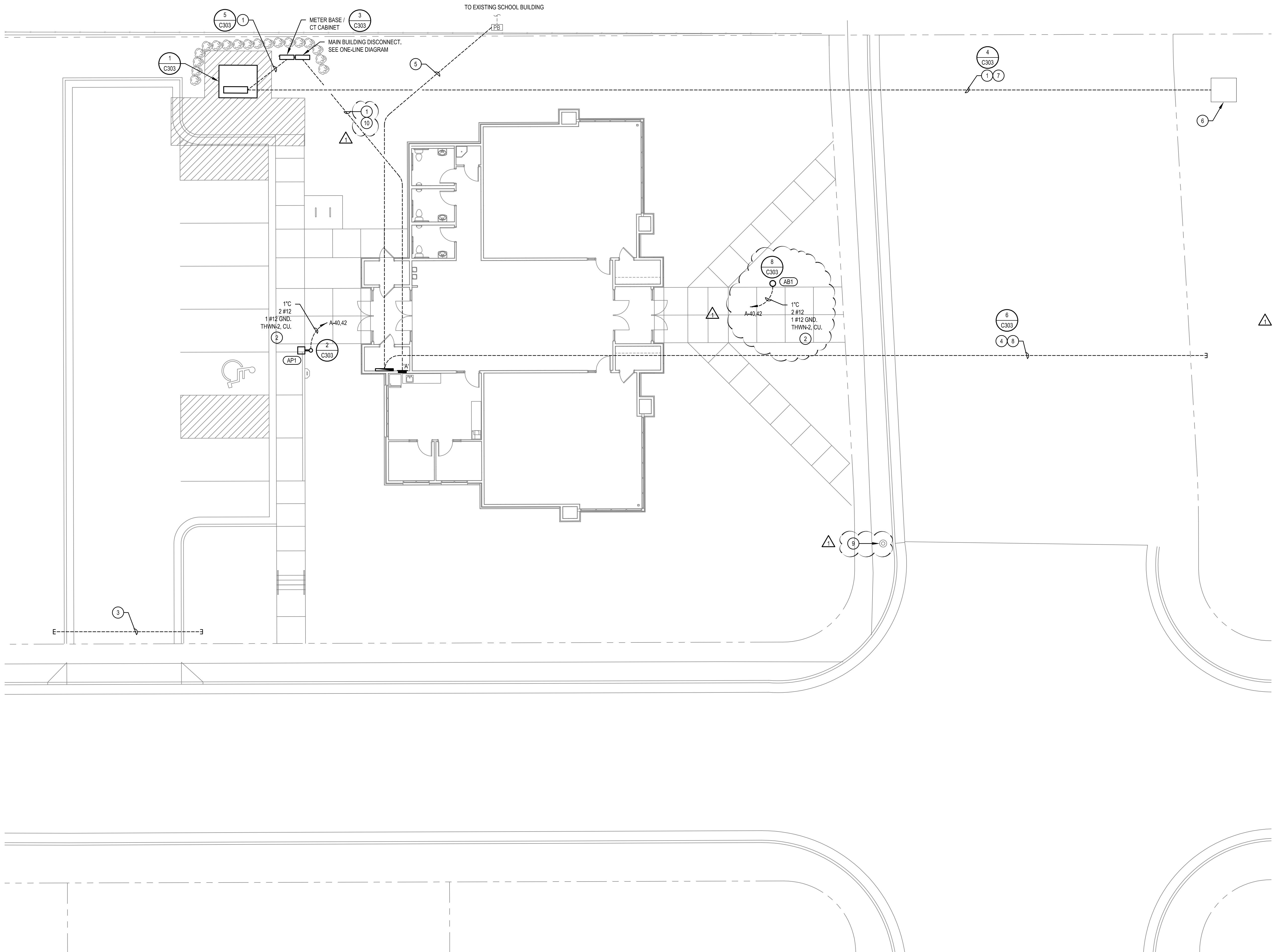
A New Building for
Mountain View Jr Seminary
2555 West Wilson Lane
West Haven, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description
Mark	Date

Project Number
22-59
Plan Series
Seminary 2-Classroom
Property Number
502-1091-22020101
Date
October 4, 2022

Sheet Title
BMP DETAILS



KEYED NOTES

- REFER TO SINGLE LINE DIAGRAM FOR CONDUIT AND CONDUCTOR REQUIREMENTS.
- ROUTE THROUGH LIGHTING CONTROL PANEL. SEE DIAGRAM ON SHEET E603 FOR ADDITIONAL INFORMATION.
- TWO (2) 4" CONDUIT SLEEVES.
- EXTEND A 4" CONDUIT WITH TRUE TAPE FROM THE TELEPHONE TERMINAL BOARD TO THE LOCATION SHOWN. UTILIZE LONG SWEEP ELBOWS. COORDINATE EXACT STUB LOCATION AND ALL REQUIREMENTS WITH CENTURYLINK PRIOR TO ANY ROUGH-IN.
- EXTEND A 1-1/4" CONDUIT FROM THE EXISTING PULL BOX TO THE TELEPHONE BOARD FOR CONNECTIONS TO THE SCHOOL INTERCOM SYSTEM. VERIFY EXACT LOCATION OF PULL BOX IN THE FIELD. COORDINATE ALL SCHOOL CONNECTION REQUIREMENTS WITH THE SCHOOL INTERCOM SUPPLIER / INSTALLER AND SEMINARY AV SYSTEM SUPPLIER / INSTALLER PRIOR TO ANY ROUGH-IN.
- EXISTING ROCKY MOUNTAIN POWER SWITCH. CONFIRM ALL REQUIREMENTS WITH ROCKY MOUNTAIN POWER PRIOR TO ANY ROUGH-IN.
- BORE UNDER EXISTING ROAD TO EXTEND THE CONDUIT TO THE NEW ROCKY MOUNTAIN POWER TRANSFORMER. COORDINATE ALL EXISTING UTILITY LOCATIONS PRIOR TO ANY BORING. ANY DAMAGE DONE TO THE EXISTING UTILITIES WILL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- BORE UNDER EXISTING ROAD TO EXTEND THE CONDUIT TO THE TELEPHONE TERMINAL BOARD. COORDINATE ALL EXISTING UTILITY LOCATIONS PRIOR TO ANY BORING. ANY DAMAGE DONE TO THE EXISTING UTILITIES WILL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER OR CITY.
- EXISTING STREET LIGHT TO REMAIN. PROTECT FROM DAMAGE DURING ALL PHASES OF THE CONSTRUCTION.
- FEEDER TO BE RUN BELOW GRADE FROM THE MAIN BUILDING DISCONNECT TO PANEL A PER NEC 225.32. DO NOT RUN FEEDER ABOVE GRADE THROUGH THE BUILDING.

UTILITY REQUIREMENTS

- BURY CONDUITS PER UTILITY REQUIREMENTS. REFER TO SHEET C303 FOR TYPICAL TRENCHING REQUIREMENTS.
- VERIFY AND COMPLY WITH ALL ROCKY MOUNTAIN POWER, CENTURYLINK AND COMCAST REQUIREMENTS.
- INCLUDE IN BID ALL LINE EXTENSION FEES, UNDERGROUND FEES, AND ALL MISC. FEES CHARGED BY ROCKY MOUNTAIN POWER, CENTURYLINK AND COMCAST.

UTILITY COORDINATION REQUIREMENTS

THE ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY ALL REQUIREMENTS AND LOCATIONS TO EXTEND CONDUITS FOR UTILITY USE WITHIN 2 WEEKS OF THE CONTRACT AWARD. THE CONTRACTOR SHALL NOT ROUGH-IN ANY CONDUITS UNTIL THE UTILITY COORDINATION IS COMPLETE AND ALL LOCATIONS ARE KNOWN. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT AND THE ENGINEER A WRITTEN SIGNED STATEMENT, INCLUDING A SKETCH OF LOCATIONS, FROM THE UTILITY COMPANY NOTIFYING THEM THAT THEY HAVE COORDINATED AND VERIFIED ALL REQUIREMENTS. IF THE CONTRACTOR DOES NOT COORDINATE AND VERIFY THE REQUIREMENTS WITH THE UTILITIES OR PROVIDE A WRITTEN STATEMENT FROM THE UTILITY COMPANY TO THE ARCHITECT AND ENGINEER ALL CHANGES DO TO LACK OF COORDINATION WILL BE DONE AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE ELECTRICAL CONTRACTOR SHALL ORGANIZE A PRE-CONSTRUCTION MEETING INCLUDING THE UTILITY AND GENERAL CONTRACTOR TO COORDINATE AND VERIFY ALL REQUIREMENTS. WITHIN 2 WEEKS OF THE CONTRACT AWARD. COORDINATION ITEMS INCLUDE BUT ARE NOT LIMITED TO:

- GENERAL UTILITY REQUIREMENTS AND DIVISION OF SCOPE OF WORK
- CONDUIT AND TRENCHING REQUIREMENTS
- CONDUIT ROUTING
- UTILITY EQUIPMENT PADS AND SUB-BASE REQUIREMENTS
- UTILITY CLEARANCE REQUIREMENTS
- EQUIPMENT SCREEN WALLS, EQUIPMENT ENCLOSURES, AND EQUIPMENT YARDS
- COORDINATION WITH OTHER UTILITIES OR EXISTING CONDITIONS
- AVAILABLE FAULT CURRENT CALCULATIONS (POWER UTILITY ONLY)
- UTILITY REQUIRED SITE OBSERVATIONS
- SCHEDULING OF UTILITY INSTALLATIONS

THE CONTRACTOR SHALL NOT ROUGH-IN ANY CONDUITS, EQUIPMENT PADS, OR SIMILAR ITEMS UNTIL THE UTILITY COORDINATION IS COMPLETE AND ALL THE LOCATIONS ARE KNOWN. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT AND ENGINEER A WRITTEN, SIGNED STATEMENT, INCLUDING A SKETCH OF EQUIPMENT AND CONDUIT LOCATIONS, FROM THE UTILITY COMPANY NOTIFYING THEM THAT THEY HAVE COORDINATED AND VERIFIED ALL REQUIREMENTS WITH THE UTILITIES AND PROVIDE A WRITTEN STATEMENT FROM THE UTILITY COMPANY TO THE ARCHITECT AND ENGINEER, ALL CHANGES DUE TO LACK OF COORDINATION WILL BE PROVIDED AT NO ADDITIONAL EXPENSE TO THE OWNER.

GENERAL NOTES

- ALL CONDUITS THAT ARE 1" AND LARGER THAT ARE ROUGH-IN UNDER THE SLAB SHALL BE PLACED UNDER THE VAPOR BARRIER.
- ALL BELOW GRADE CONDUITS AND LIGHT POLE CONDUITS SHALL BE PLACED BELOW THE GRAVEL BASE. DO NOT INSTALL CONDUIT ON TOP OF GRAVEL, DIRECTLY BELOW THE SIDEWALK / BUILDING SLAB OR WITHIN THE GRAVEL BASE.

ROCKY MOUNTAIN POWER REPRESENTATIVE:
ROY AVERY
801.629.4224

CENTURYLINK REPRESENTATIVE:
MATT IVESTER
801.626.5401



ELECTRICAL SITE PLAN

SCALE: 1" = 10'-0"



ENVISION ENGINEERING
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Stamp
REGISTERED PROFESSIONAL ENGINEER
DAVID P. WILITON
No. 264397
STATE OF UTAH

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

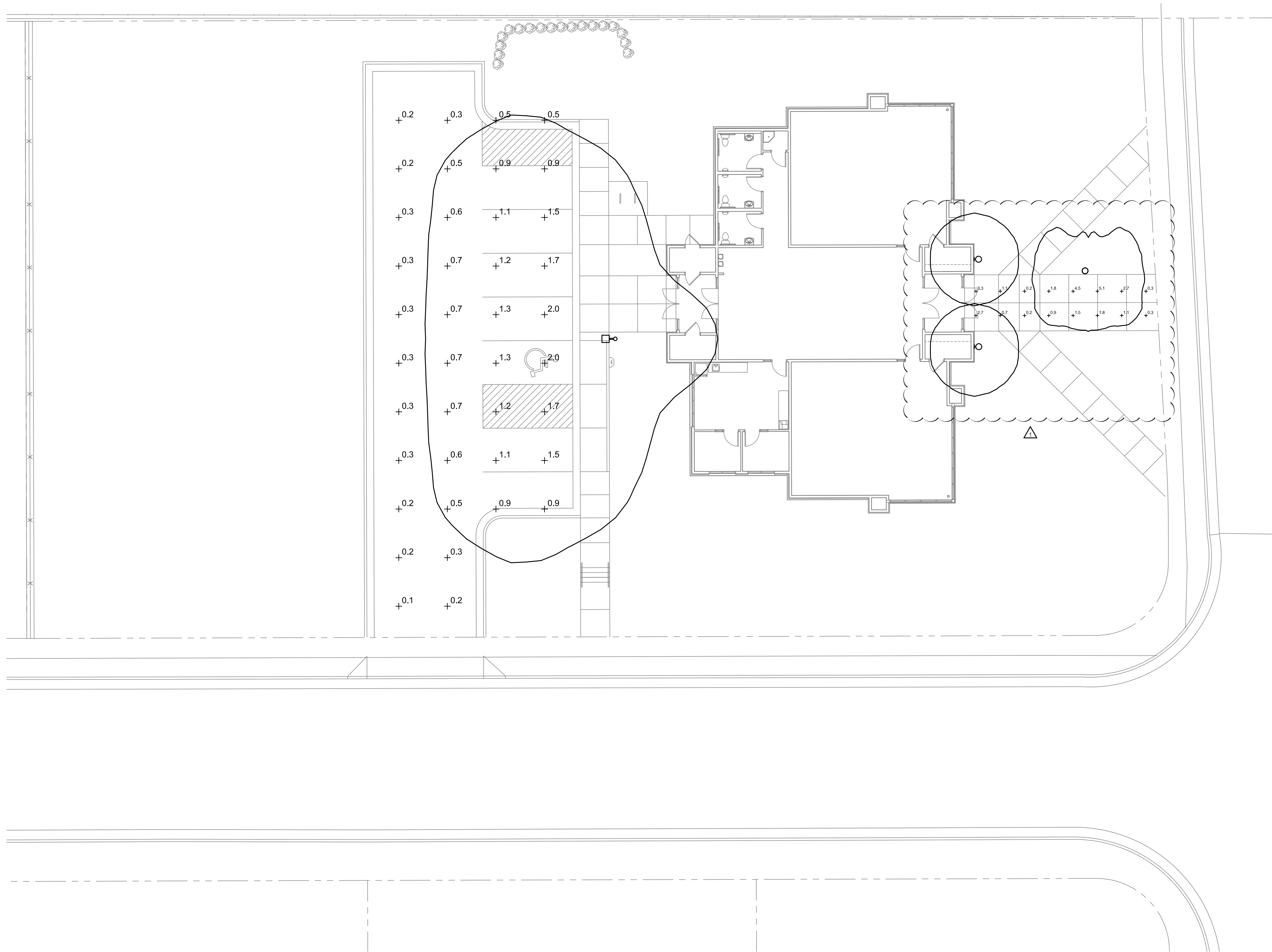
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Date	Description	Review Comments
Mark	06/14/23		

Project Number
22-59
Plan Series
Seminary 2-Classroom
Property Number
502-1091-22020101
Date
May 1, 2023

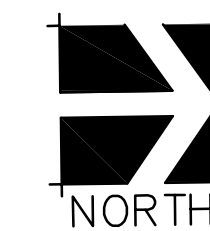
Sheet Title
ELECTRICAL SITE PLAN

Sheet
C301



ELECTRICAL SITE ILLUMINATION PLAN

SCALE: 1" = 10'-0"

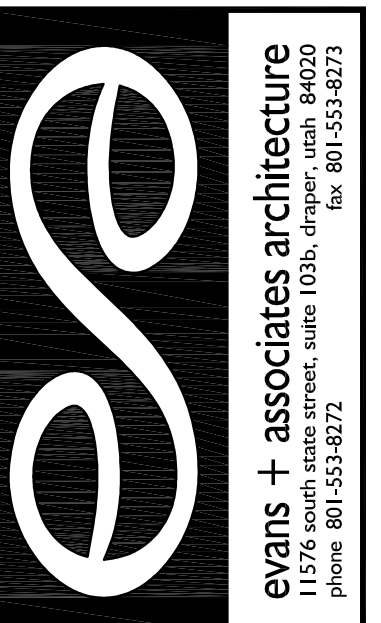


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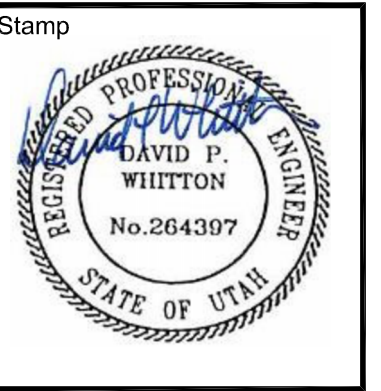
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A New Building for
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2535 West Wilson Lane
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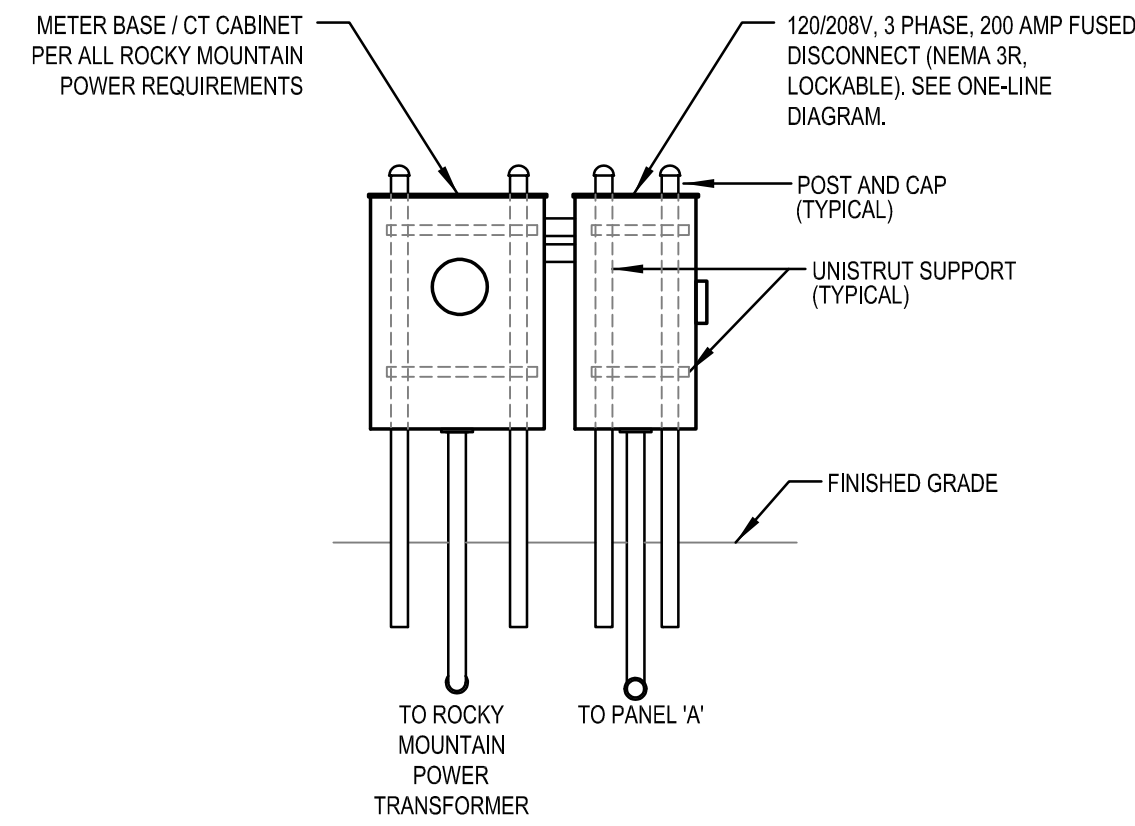
Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Mark	Date	Description
△	06/14/23	Review Comments

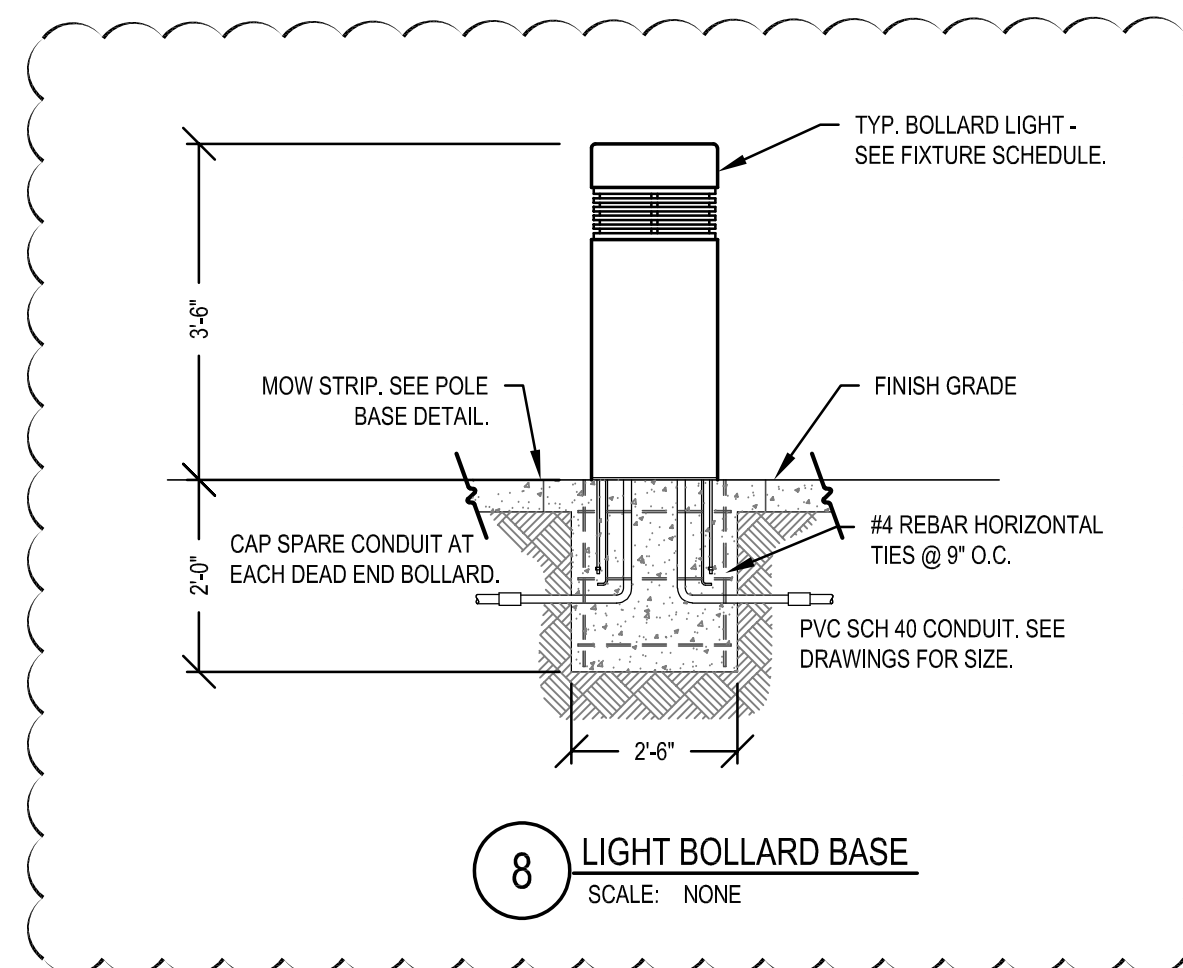
Project Number	22-59
Plan Series	Seminary 2-Classroom
Property Number	502-1091-22020101
Date	May 1, 2023

Sheet Title
**ELECTRICAL
SITE ILLUMINATION
PLAN**

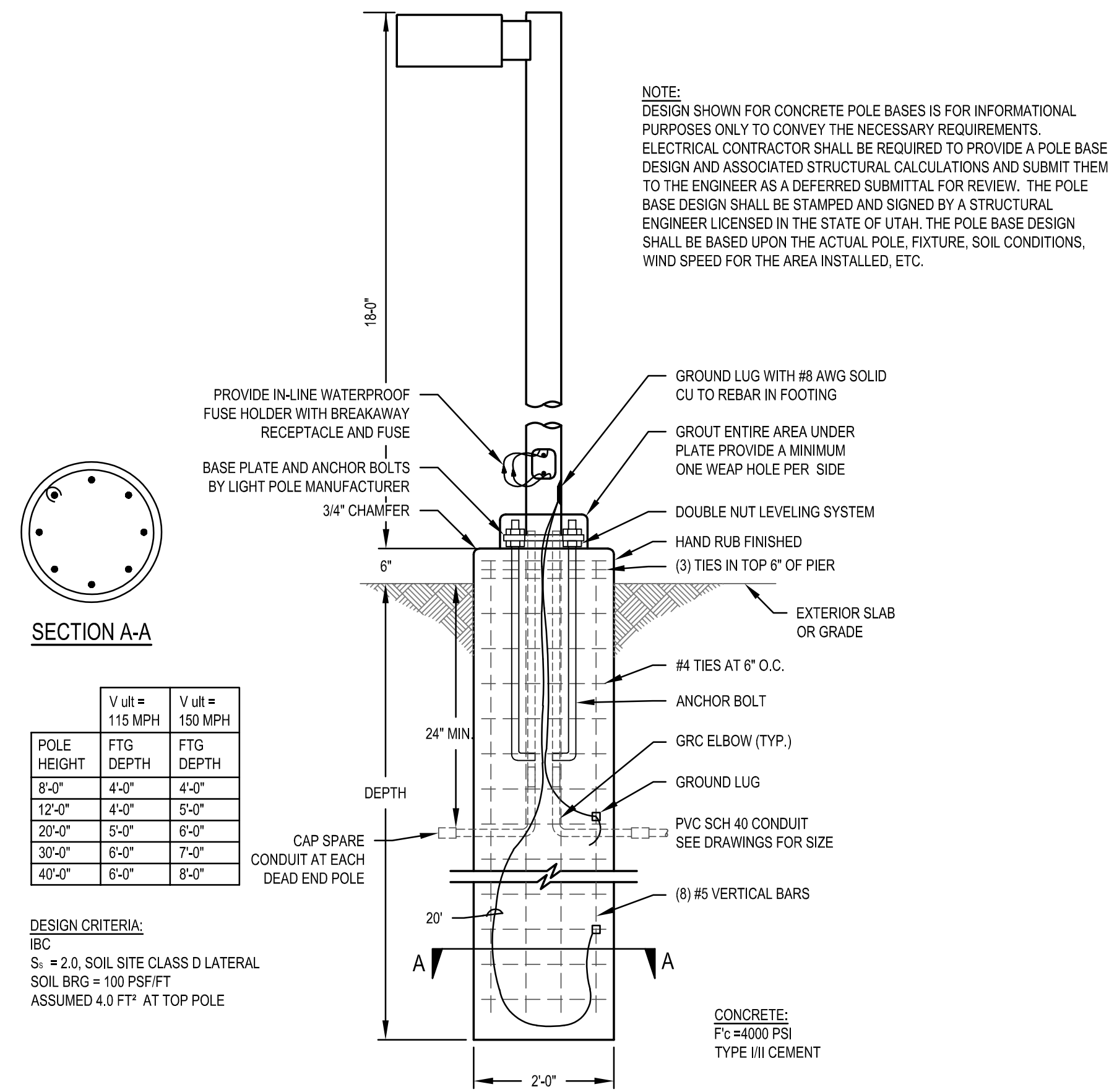
Sheet
C302



3 CT CABINET/METER AND MAIN BREAKER MOUNTING DETAIL
SCALE: none



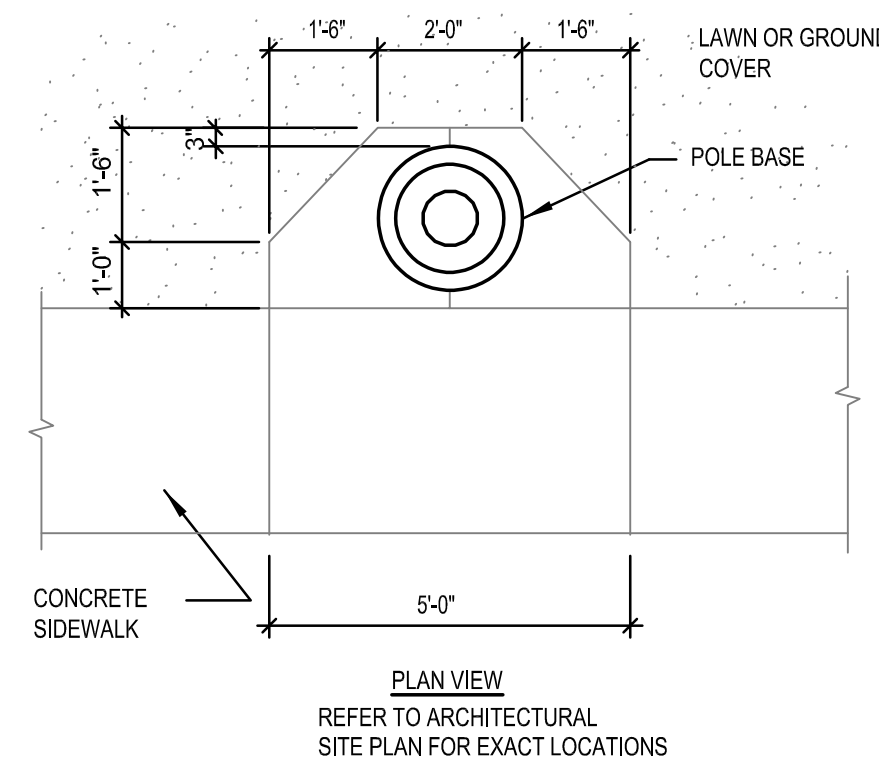
8 LIGHT BOLLARD BASE
SCALE: NONE



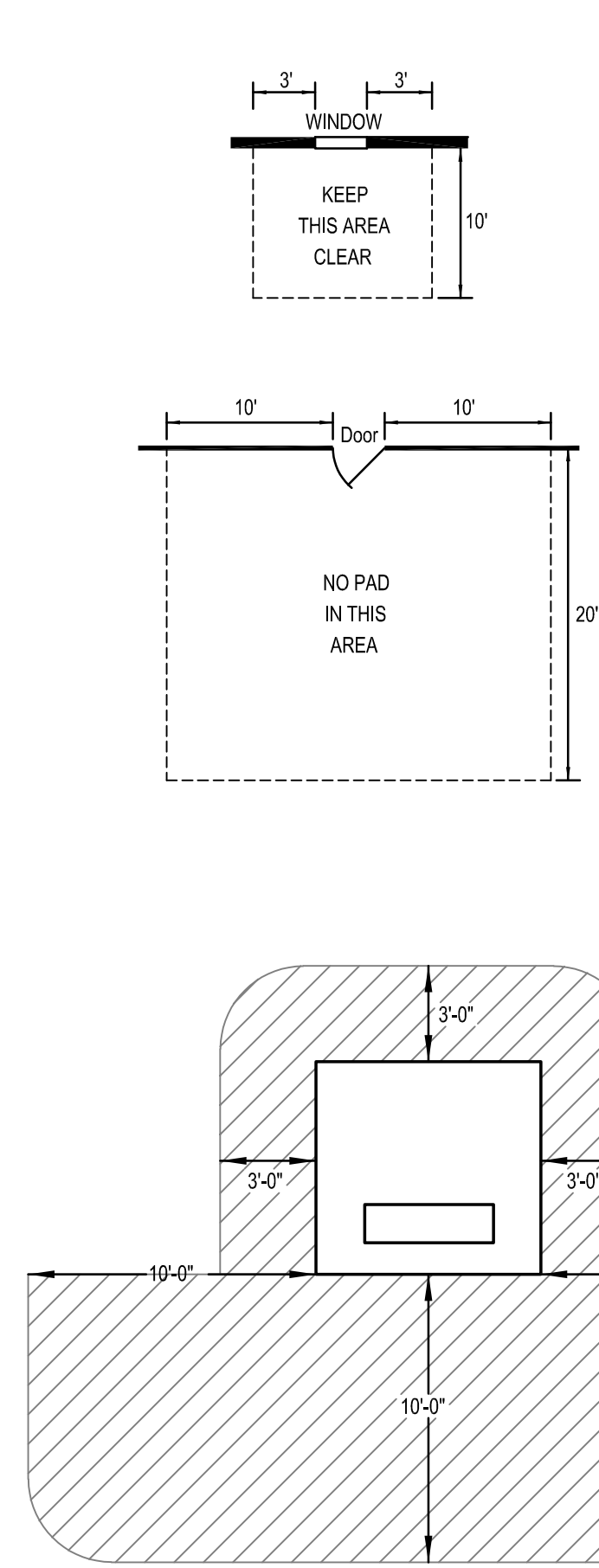
SECTION A-A

POLE HEIGHT	V _{ult} = 115 MPH		V _{ult} = 150 MPH	
	FTG DEPTH	FTG DEPTH	FTG DEPTH	FTG DEPTH
8'-0"	4'-0"	4'-0"	4'-0"	4'-0"
12'-0"	4'-0"	5'-0"	5'-0"	5'-0"
20'-0"	5'-0"	6'-0"	6'-0"	6'-0"
30'-0"	6'-0"	7'-0"	7'-0"	7'-0"
40'-0"	6'-0"	8'-0"	8'-0"	8'-0"

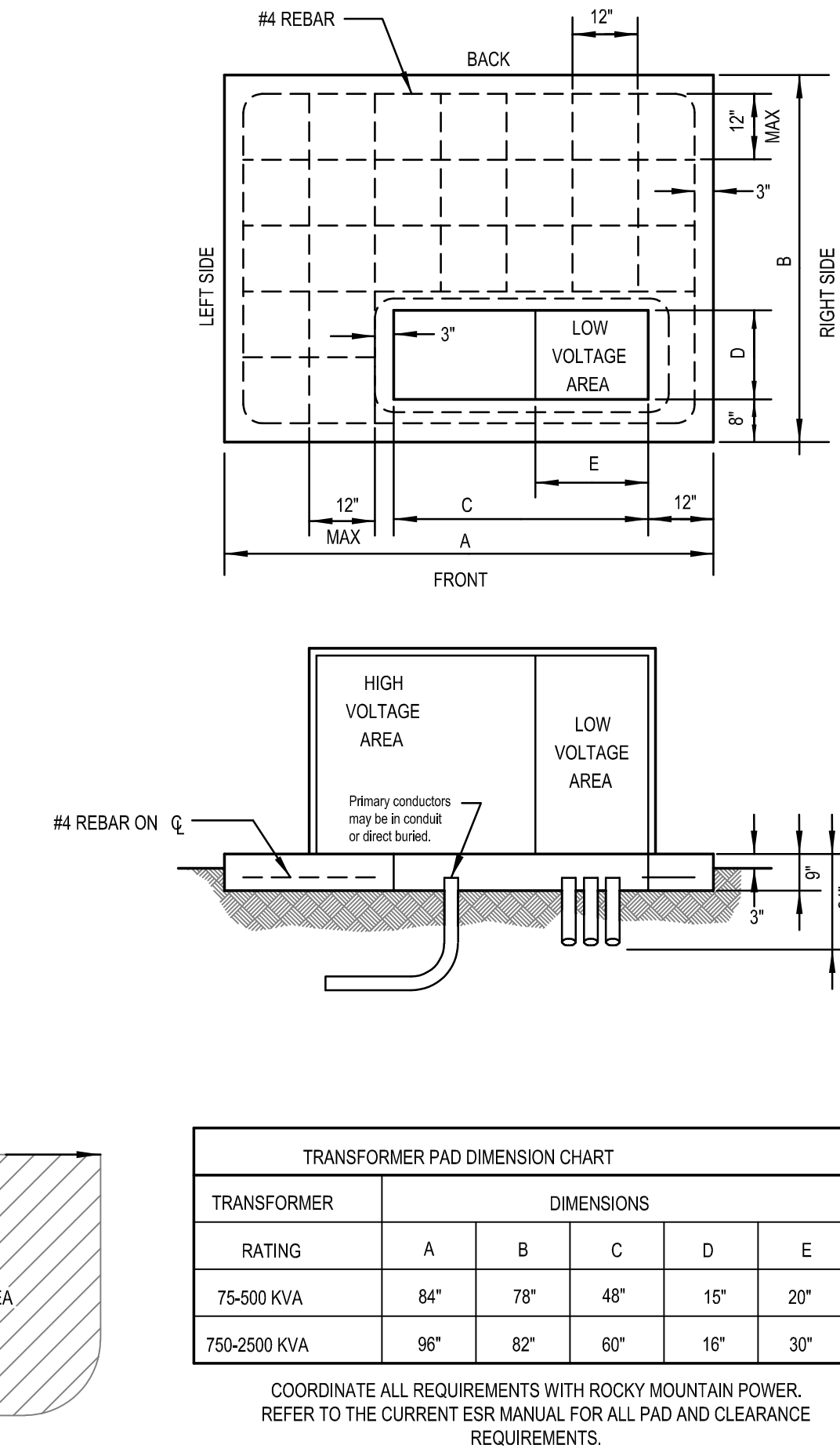
DESIGN CRITERIA:
IBC
S_i = 2.0, SOIL SITE CLASS D LATERAL
SOIL BRG = 100 PSF/FT
ASSUMED 4.0 FT' AT TOP POLE



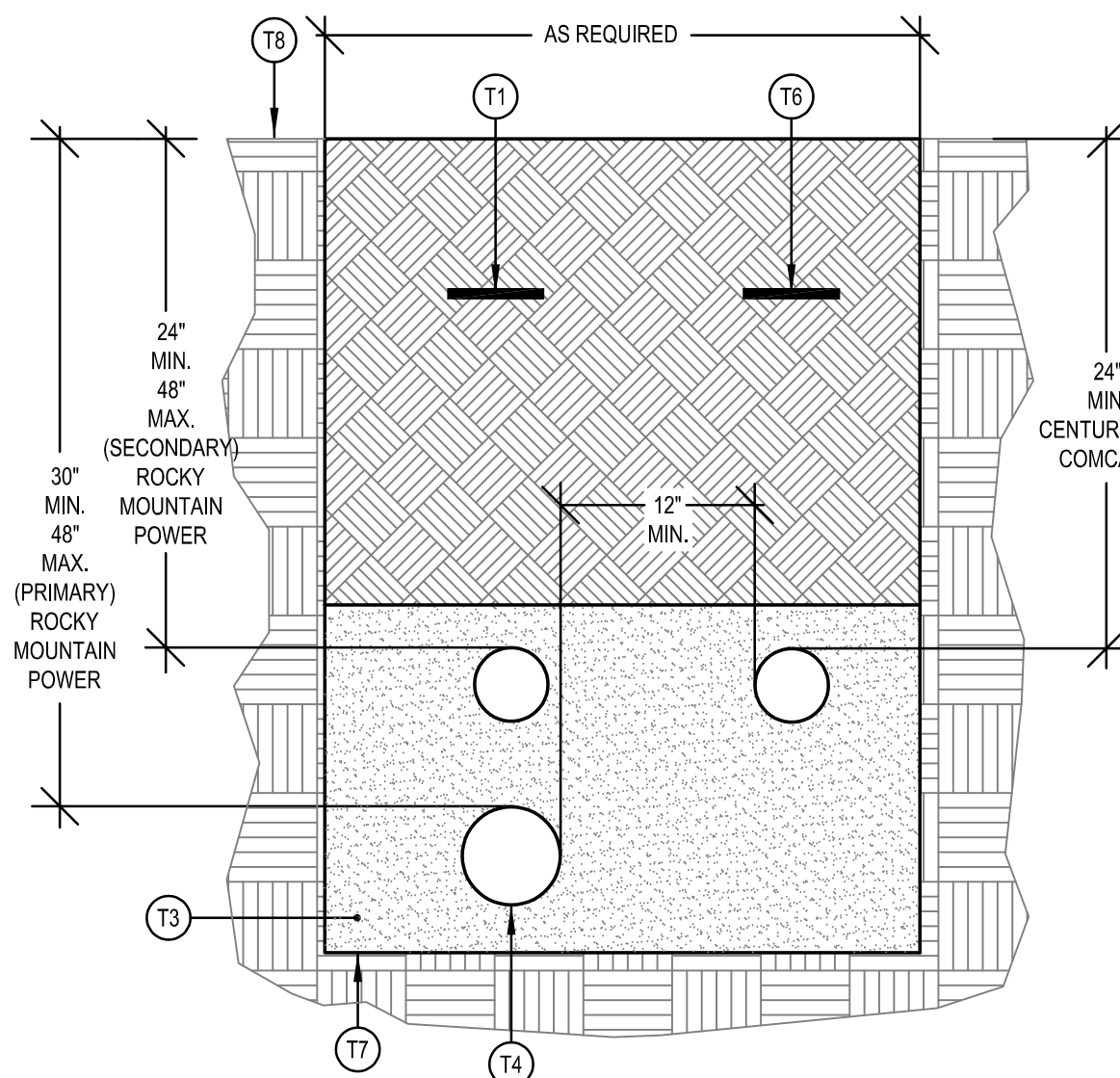
2 TYPICAL POLE BASE DETAIL
SCALE: NONE



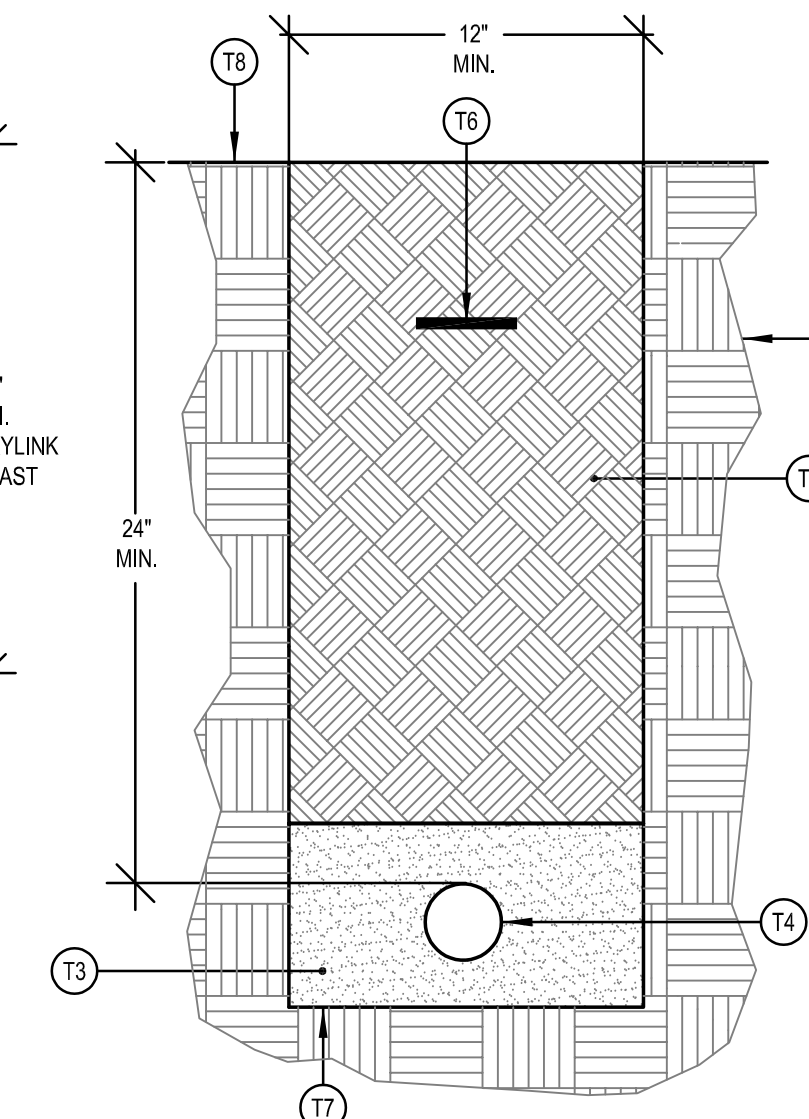
1 ROCKY MOUNTAIN POWER TRANSFORMER PAD DETAIL
SCALE: NONE



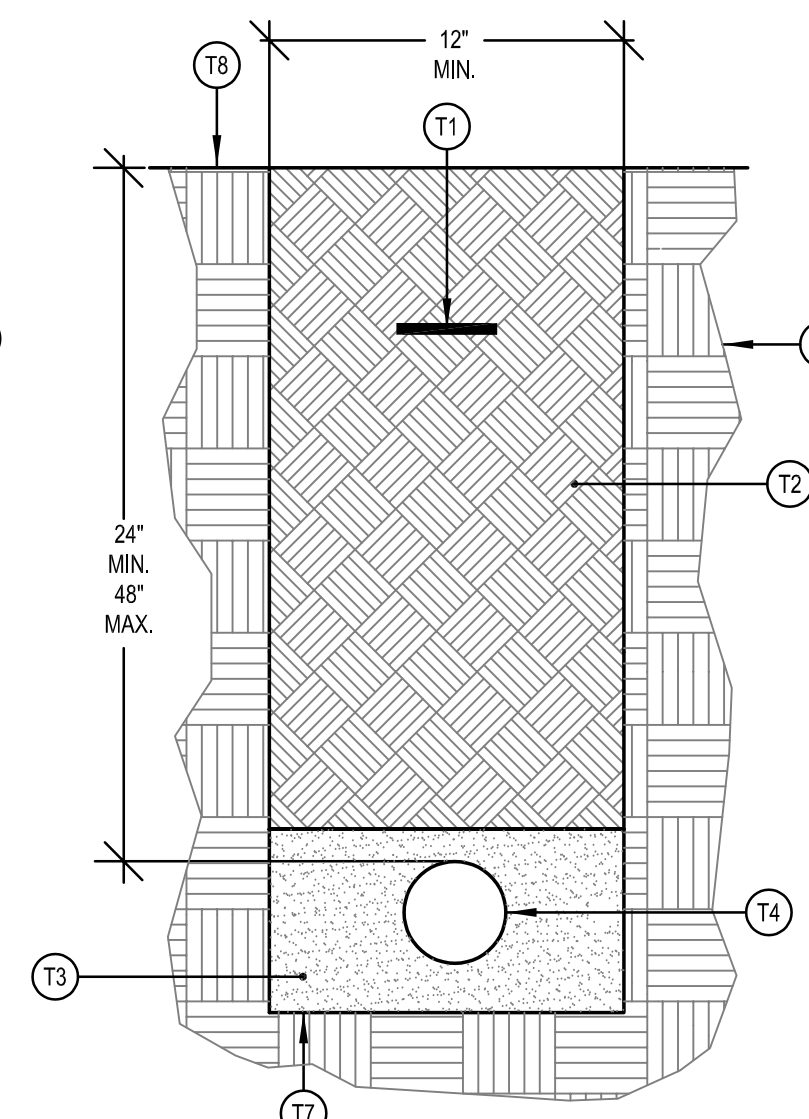
TRANSFORMER PAD DIMENSION CHART



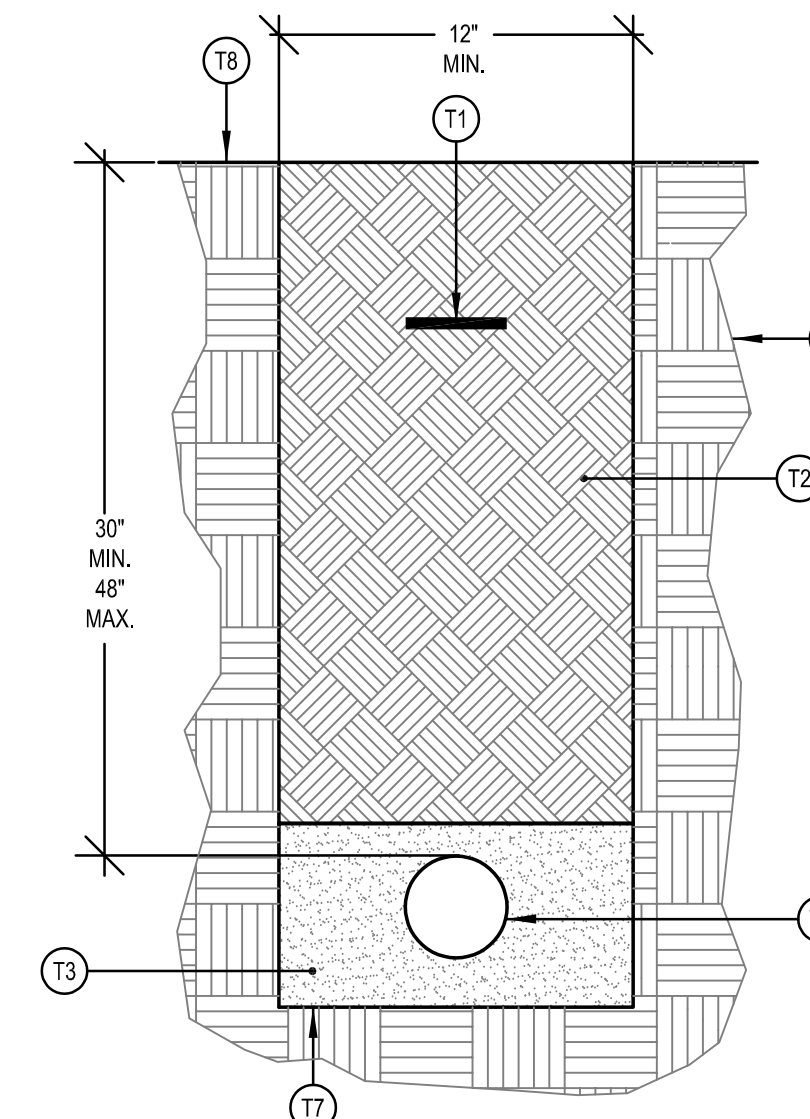
7 TRENCH DETAIL - JOINT USE
SCALE: NONE
ROCKY MOUNTAIN POWER / CENTURYLINK / COMCAST (JOINT USE)



6 TRENCH DETAIL
SCALE: NONE
CENTURYLINK / COMCAST



5 TRENCH DETAIL
SCALE: NONE
ROCKY MOUNTAIN POWER (SECONDARY POWER)



4 TRENCH DETAIL
SCALE: NONE
ROCKY MOUNTAIN POWER (PRIMARY POWER)



TRENCHING KEYED NOTES: (18)

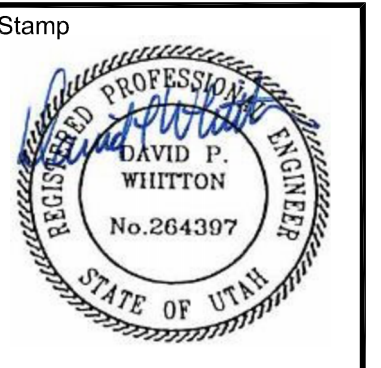
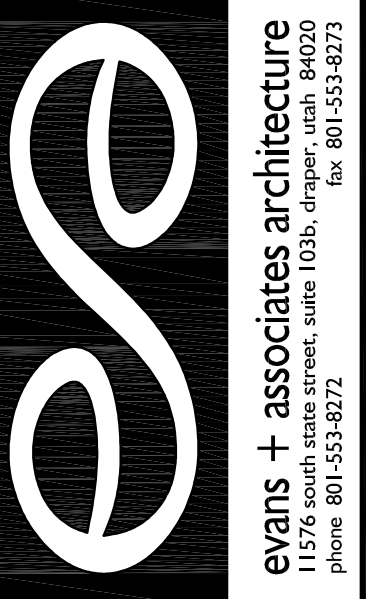
1. MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED ELECTRIC CONDUITS BELOW" DIRECTLY OVER POWER CONDUITS 6" MINIMUM BELOW GRADE.
2. CLEAN BACKFILL CONTAINING NO ROCKS LARGER THAN 4" DIA.
3. BACKFILL MATERIAL WITHIN 4" TO 6" OF CONDUIT SHALL PASS THROUGH A 3/4" SIEVE FRAME OR SAND WITHOUT ANY SHARP OR FOREIGN OBJECTS.
4. ALL CONDUITS SHOWN SHALL BE SCHEDULE 40 PVC.
5. UNDISTURBED EARTH.
6. MARKER TAPE WITH TRACER WIRE LABELED, "CAUTION BURIED DATA/COMMUNICATION CONDUIT BELOW" DIRECTLY OVER DATA/COMM CONDUITS.
7. TRENCHES SHALL BE A UNIFORM DEPTH FOR ENTIRE LENGTH OF TRENCH SO CONDUITS CAN SIT FLAT (HORIZONTAL) WITH THE GROUND.
8. FINISHED GRADE.

TRENCHING GENERAL NOTES:

1. PROVIDE PULL 1/4" NYLON ROPES IN ALL CONDUITS.
2. HORIZONTAL AND VERTICAL SEPARATION BETWEEN CONDUIT SHALL BE MAINTAINED BY INSTALLING HIGH IMPACT SPACERS WITH HORIZONTAL INTERVALS OF EIGHT FEET.
3. ALL MARKER TAPE SHALL CONTAIN #10 TRACER WIRE.
4. REFER TO THE ROCKY MOUNTAIN POWER SIX STATE ESR FOR ADDITIONAL INFORMATION.
5. VERIFY ALL REQUIREMENTS WITH CENTURYLINK AND COMCAST PRIOR TO TRENCHING.



ENV-2023-011



A New Building for
Mountain View Jr Seminary

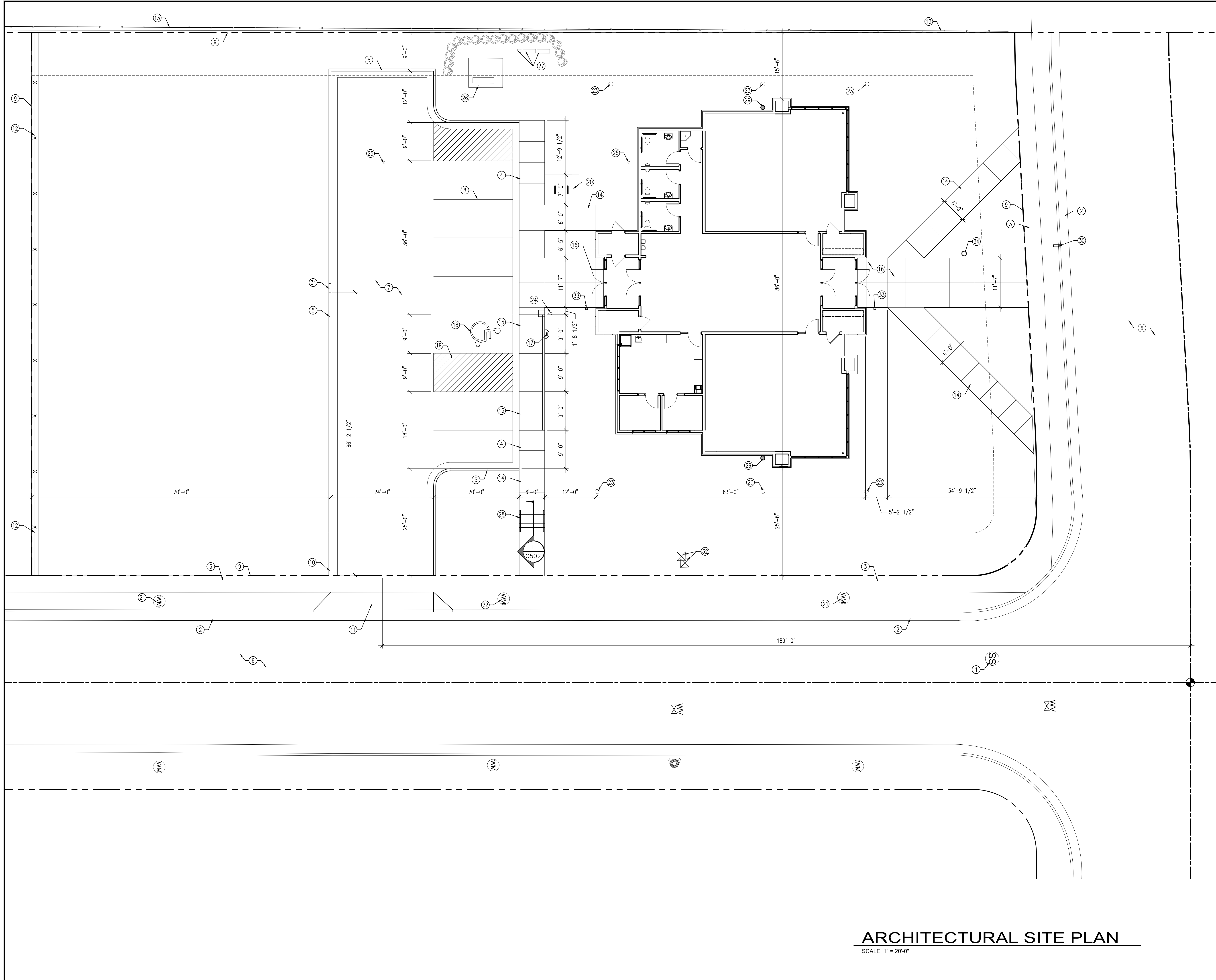
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Review Comments
Mark	Date	06/14/23

Project Number: 22-59
Plan Series: Seminary 2-Classroom
Property Number: 502-1091-2202101
Date: May 1, 2023

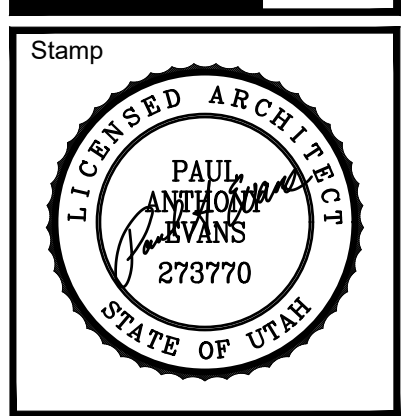
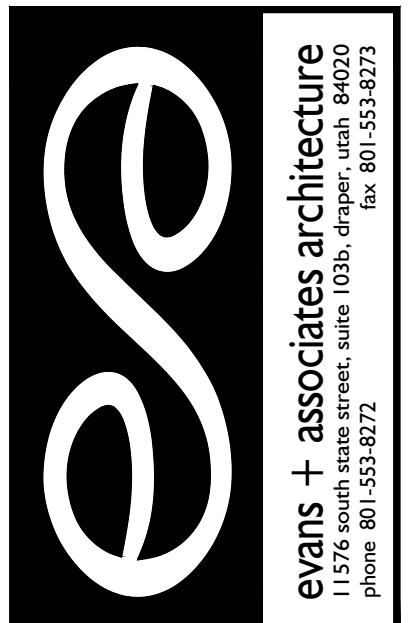
Sheet Title:
ELECTRICAL SITE DETAILS

Sheet:
C303



- GENERAL NOTES**
1. CONCRETE RADI ARE 4'-0" UNLESS NOTED OTHERWISE
 2. COORDINATE ALL SITE WORK WITH ALL OTHER CONTRACT DOCUMENTS
 3. ALL APPLICABLE ELEMENTS OF THE AMERICAN'S WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO
 4. ALL NOTED ITEMS ARE NEW UNLESS NOTED OTHERWISE

- KEYED NOTES**
1. EXISTING SANITARY SEWER MANHOLE TO REMAIN; PROTECT DURING CONSTRUCTION
 2. EXISTING CONCRETE CURB AND GUTTER TO REMAIN; PROTECT DURING CONSTRUCTION
 3. EXISTING CONCRETE WALK TO REMAIN; PROTECT DURING CONSTRUCTION
 4. COMBINATION CONCRETE SIDEWALK-CURB AND GUTTER; SEE B/C501
 5. CONCRETE CURB AND GUTTER; SEE C/C501 AND D/C501
 6. EXISTING ASPHALT ROAD TO REMAIN; PROTECT DURING CONSTRUCTION
 7. CONCRETE PAVEMENT; SEE A/C502
 8. 4" WIDE PAINTED PARKING STRIPS; TYPICAL
 9. PROPERTY LINE
 10. TAPER CONCRETE CURB TO SIDEWALK LEVEL AT DRIVE ENTRANCES; TYPICAL BOTH SIDES; SEE G/C501
 11. CONCRETE DRIVE APPROACH PER WEST HAVEN CITY STANDARDS; SAWCUT AND REMOVE EXISTING CURB AND WALK; INSTALL NEW PER CITY STANDARDS
 12. 6'-0" TALL SOLID VINYL FENCE WITH CONCRETE MOW STRIP; SEE G/C502
 13. EXISTING CHAINLINK FENCE TO REMAIN; PROTECT DURING CONSTRUCTION
 14. CONCRETE WALK; SEE A/C501
 15. CONCRETE ACCESSIBLE RAMP; K/C501
 16. CONCRETE ENTRY; TYPICAL; SEE H/C501
 17. ACCESSIBLE VAN STALL SIGNAGE; SEE B/C502
 18. PAINTED ACCESSIBLE SIGN
 19. PAINTED ACCESSIBLE AISLE
 20. BIKE RACK, TOTAL OF TWO, WITH 7'-0" x 8'-0" CONCRETE PAD; SEE J/C502
 21. EXISTING WATER METER TO BE ABANDONED
 22. EXISTING WATER METER TO BE REMOVED AND REPLACED; SEE UTILITY PLAN
 23. STORM DRAIN NYLOPLAST YARD DRAIN WITH DOMED GRATE; SEE UTILITY PLAN
 24. LIGHT POLE; SEE ELECTRICAL SITE PLANS
 25. CLEANOUT TO GRADE WITH 12" CONCRETE COLLAR; SEE UTILITY PLAN AND H/C502
 26. TRANSFORMER; SEE ELECTRICAL SITE PLANS
 27. CT CABINET, METER BASE AND MAIN BREAKER; SEE ELECTRICAL SITE PLANS
 28. NEW 3'-0" HIGH STAINLESS STEEL HANDRAIL, TYPICAL BOTH SIDES
 29. ROOF DRAIN CONNECTION; SEE F/C501 AND GRADING AND DRAINAGE PLAN
 30. MAILBOX
 31. 2'-0" WIDE CURB CUT; SEE GRADING AND DRAINAGE PLAN
 32. EXISTING UTILITY BOXES TO REMAIN; PROTECT DURING CONSTRUCTION
 33. 42" x 6" SQUARE BOLLARD WITH PUSH PLATE ACTUATOR FOR DOOR OPENER
 34. LED BOLLARD; SEE ELECTRICAL



A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

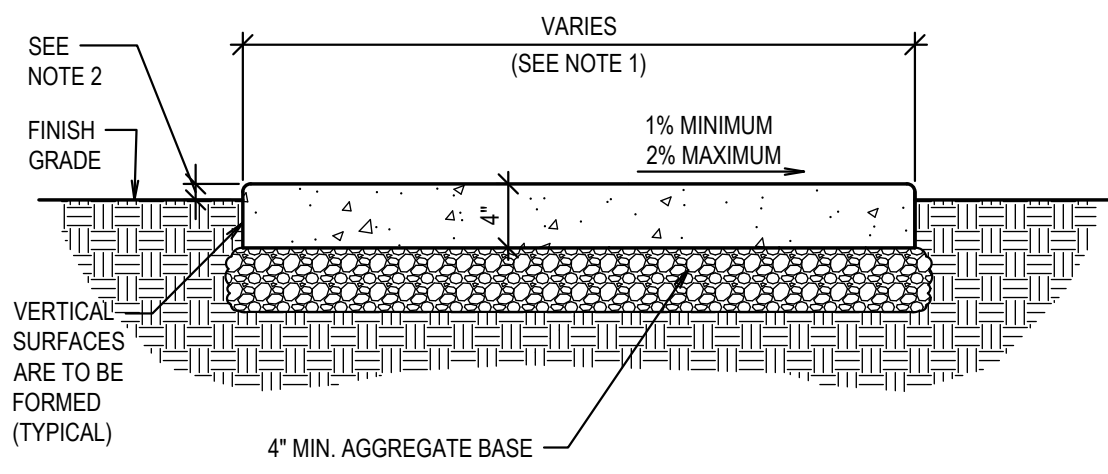
Revisions	Description
Mark	Date

Project Number
22-59
Plan Series
Seminary 2-Classroom
Property Number
502-1091-22020101
Date
May 1, 2023

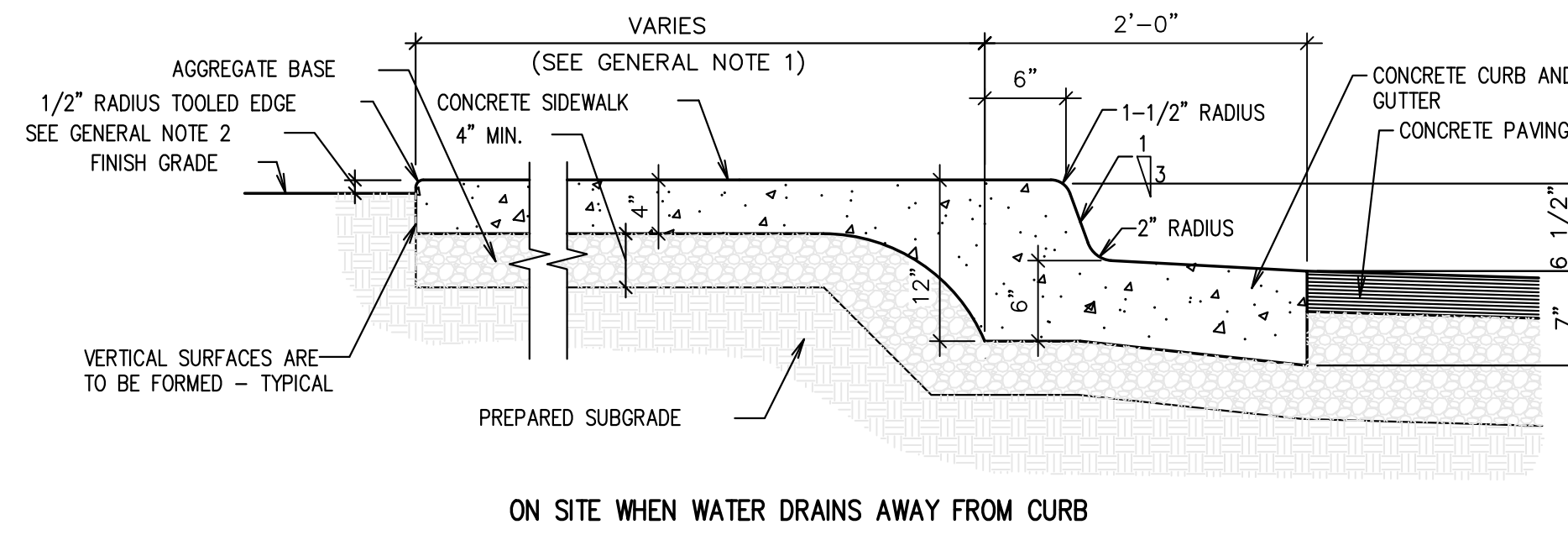
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ARCHITECTURAL SITE PLAN

Sheet
C401

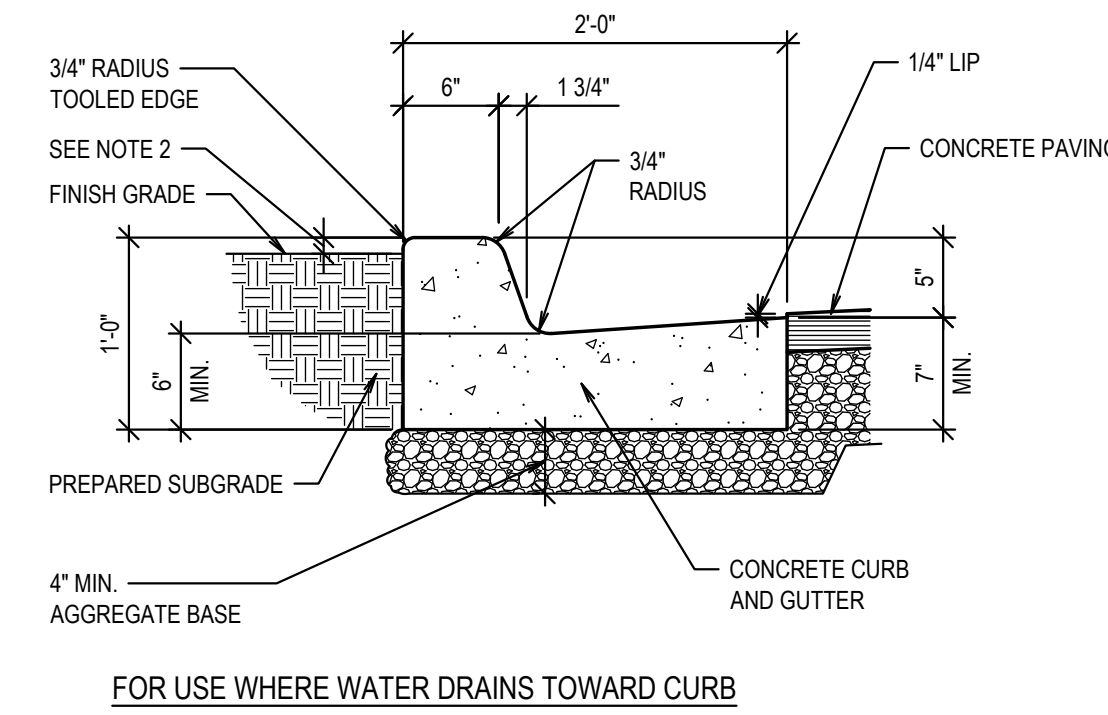
ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"



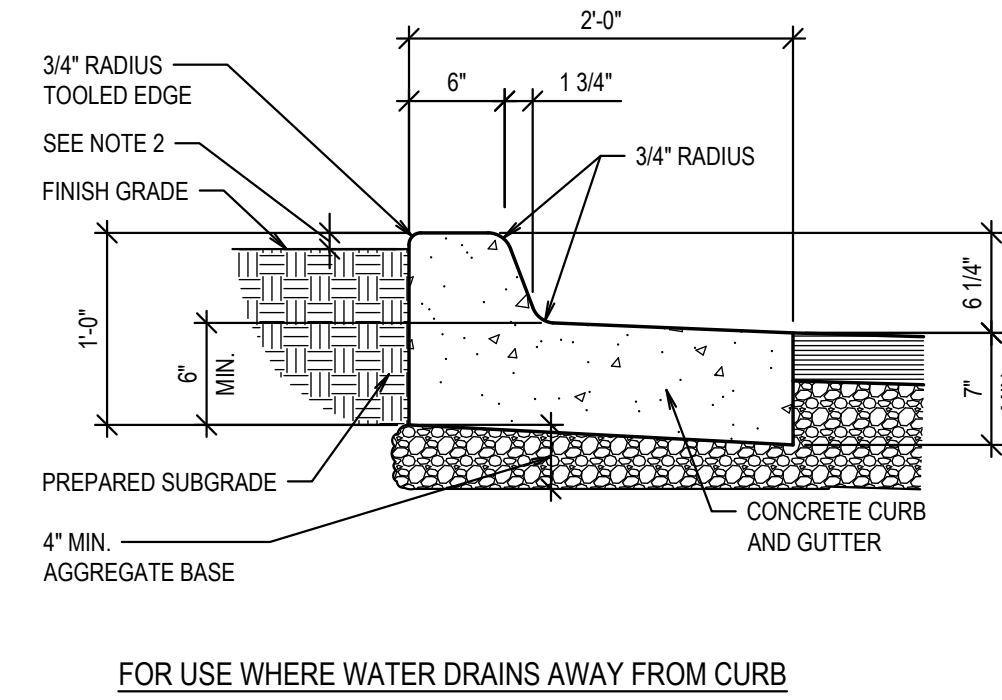
A SIDEWALK DETAIL
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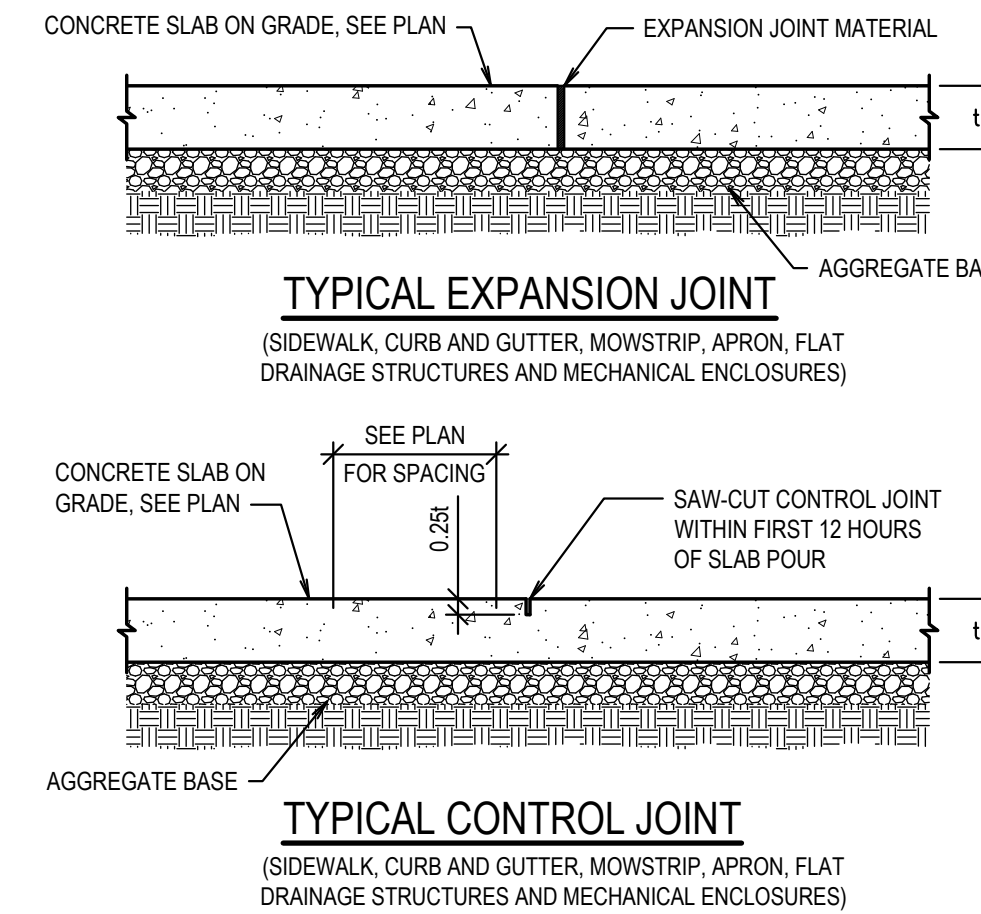
B INTEGRAL SIDEWALK, CURB AND GUTTER
SCALE: N.T.S.



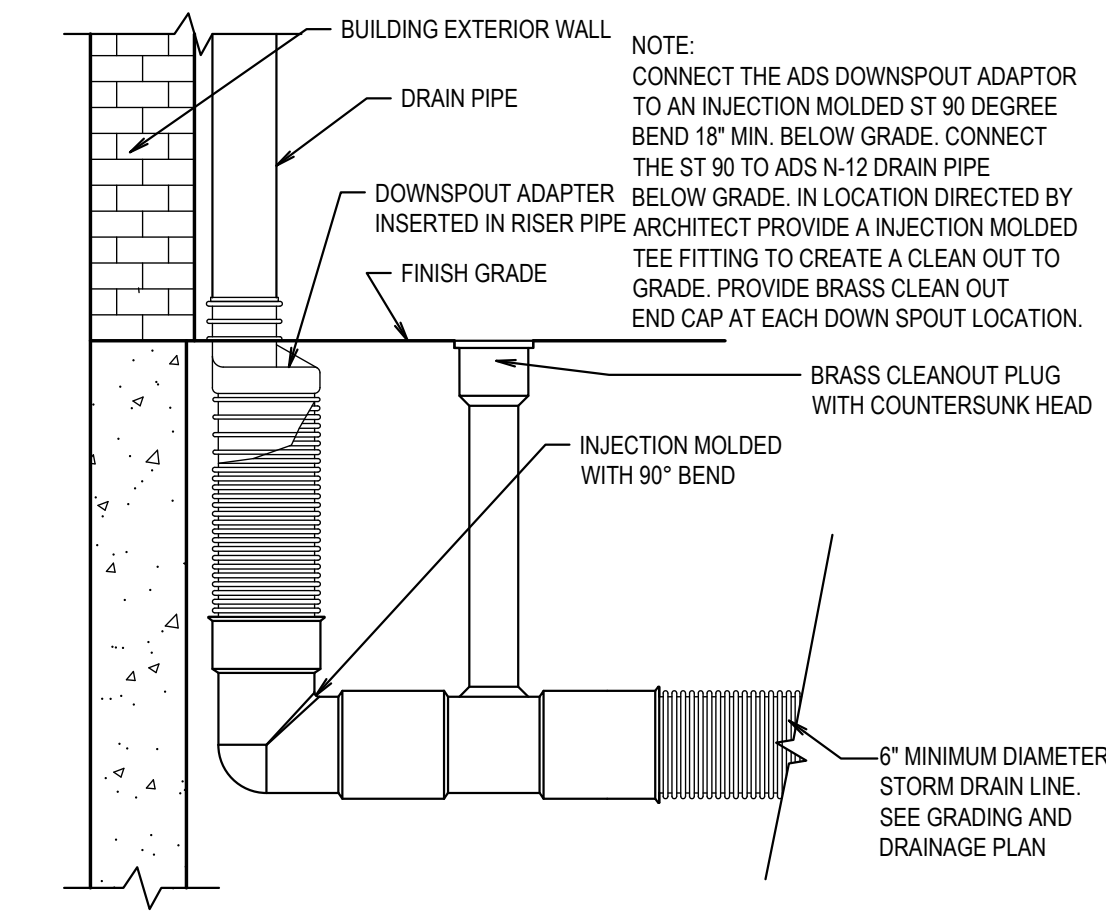
C CURB AND GUTTER - IN FLOW
SCALE: N.T.S.



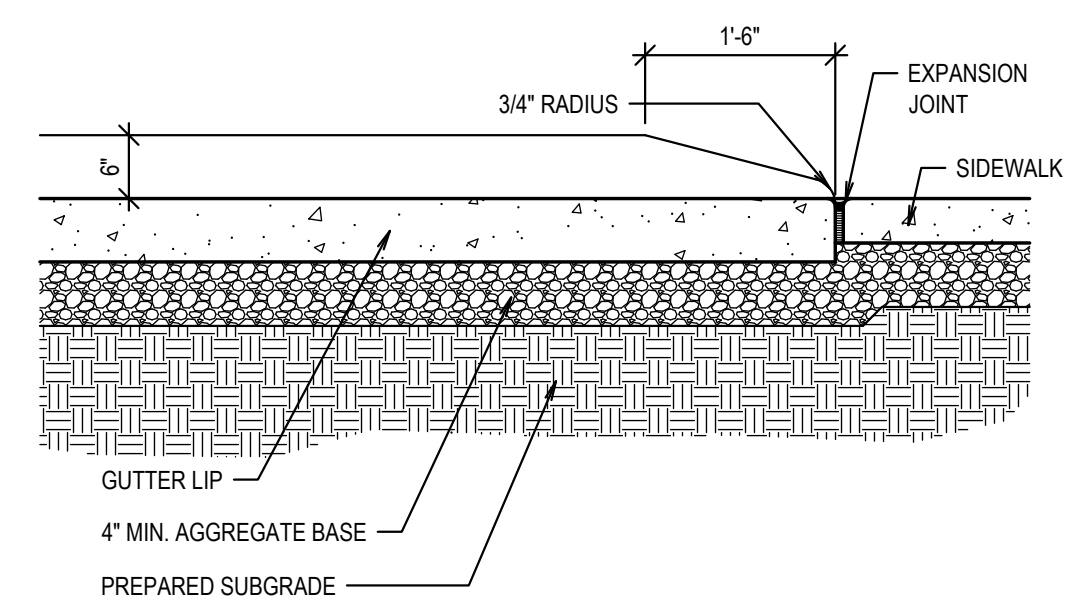
D CURB AND GUTTER - OUT FLOW
SCALE: N.T.S.



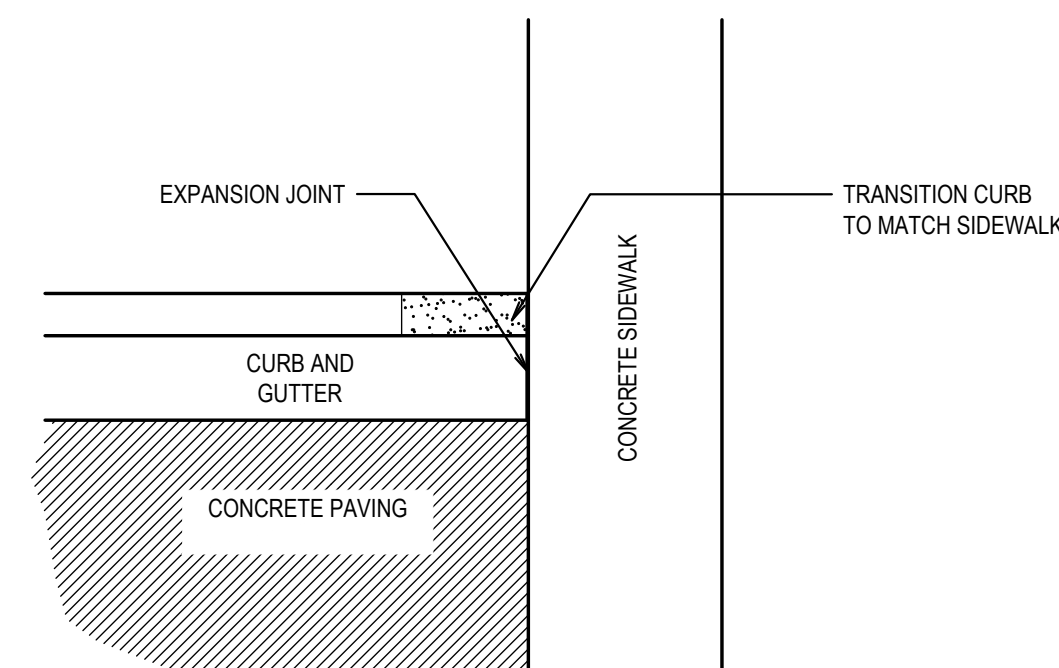
E EXPANSION AND CONTROL JOINT
SCALE: N.T.S.



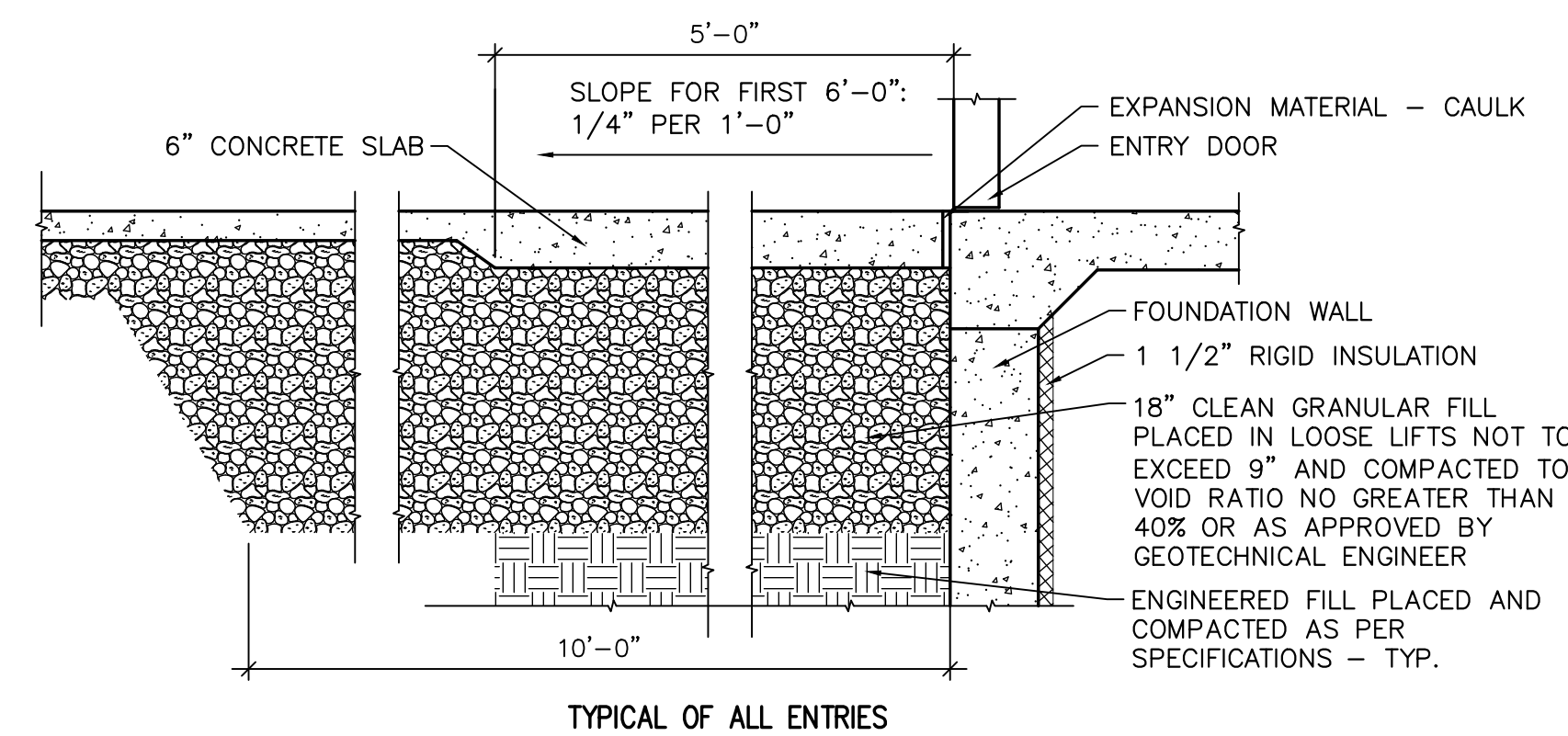
F ROOF DRAIN CONNECTION
SCALE: N.T.S.



SECTION

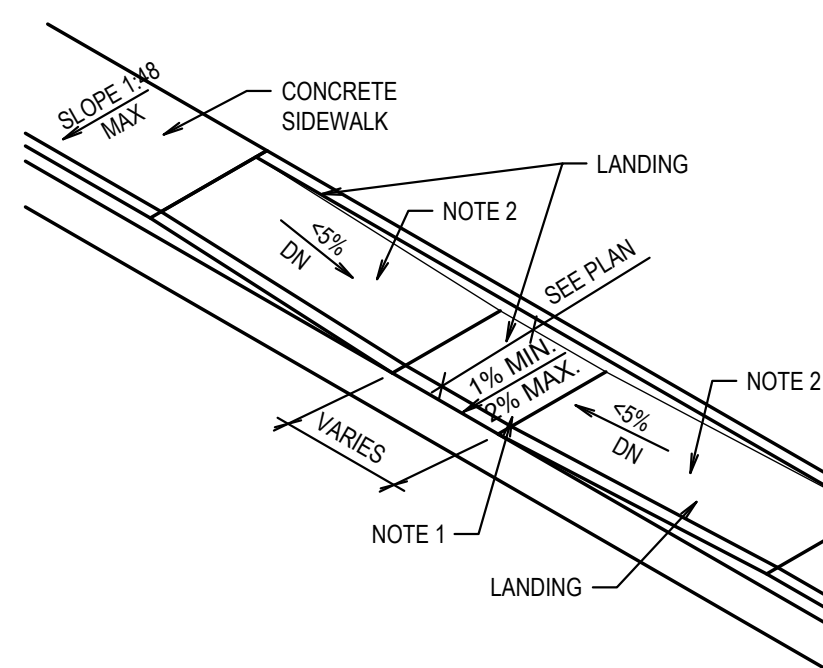


PLAN



H ENTRY DETAIL
SCALE: N.T.S.

G CURB TRANSITION
SCALE: N.T.S.

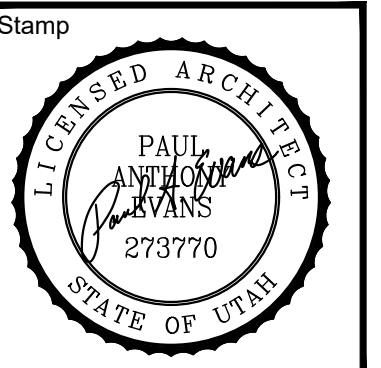


K ACCESSIBLE SLOPED WALK DETAILS
SCALE: N.T.S.

- NOTES:**
- UNLESS REQUIRED OTHERWISE BY THE AUTHORITY HAVING JURISDICTION, USE A LIGHT BROOM FINISH ON RAMPS AND LANDINGS TO MATCH THE FINISHES ON THE SIDEWALKS.
 - 5% (MAXIMUM) IN DIRECTION OF TRAVEL. LIMIT CROSS SLOPE ON SIDEWALKS 2%.
 - ALL LANDINGS MUST HAVE 1:48 CROSS SLOPE AND RUNNING SLOPE. LANDING MUST BE AS WIDE AS THE RAMP.
 - CROSS SLOPE ON RAMP MUST BE 1:48 OR LESS.
 - COUNTER SLOPES OF ADJOINING GUTTERS AND PAVING ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20 (5%), ALTHOUGH CODE ALLOWS A 1/12H (8.33%) SLOPE.

GENERAL NOTES

- SEE SITE PLAN FOR MOW STRIP AND SIDEWALK LOCATIONS AND WIDTHS.
- 2" PRIOR TO SODDING AND 4" IN PLANTING AREAS.
- EXPANSION JOINT MATERIAL SHALL BE RECESSED 1/4" WHERE SEALANT IS NOT APPLIED, AND 1/2" WHERE SEALANT IS APPLIED.
- EXTERIOR CONCRETE: USE 5,000 PSI FOR CONCRETE WITH REINFORCEMENT; USE 4,500 PSI FOR CONCRETE WITHOUT REINFORCEMENT; SEE STRUCTURAL GENERAL NOTES.
- CONTRACTOR TO INSTALL EXPANSION AND CONTROL JOINTS AS REQUIRED PER THE SPECIFICATIONS.
- ALL AGGREGATES SHALL SATISFY ASTM AND DEPARTMENT OF TRANSPORTATION STRENGTH AND DURABILITY REQUIREMENTS. GRANITE AGGREGATES ARE PREFERRED BUT HIGH QUALITY LIMESTONE AGGREGATES ARE ACCEPTABLE. SEE SPECIFICATION.
- ALL REINFORCING BARS ARE TO BE EPOXY COATED, IN CONCRETE CURBS, GUTTERS, SIDEWALKS, PAVING, BASINS.



A New Building for
Mountain View Jr Seminary

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date	Mark

Project Number
22-59
Plan Series
Seminary 2-Classroom
Property Number
502-1091-22020101
Date
May 1, 2023

Sheet Title
SITE DETAILS

Sheet
C501

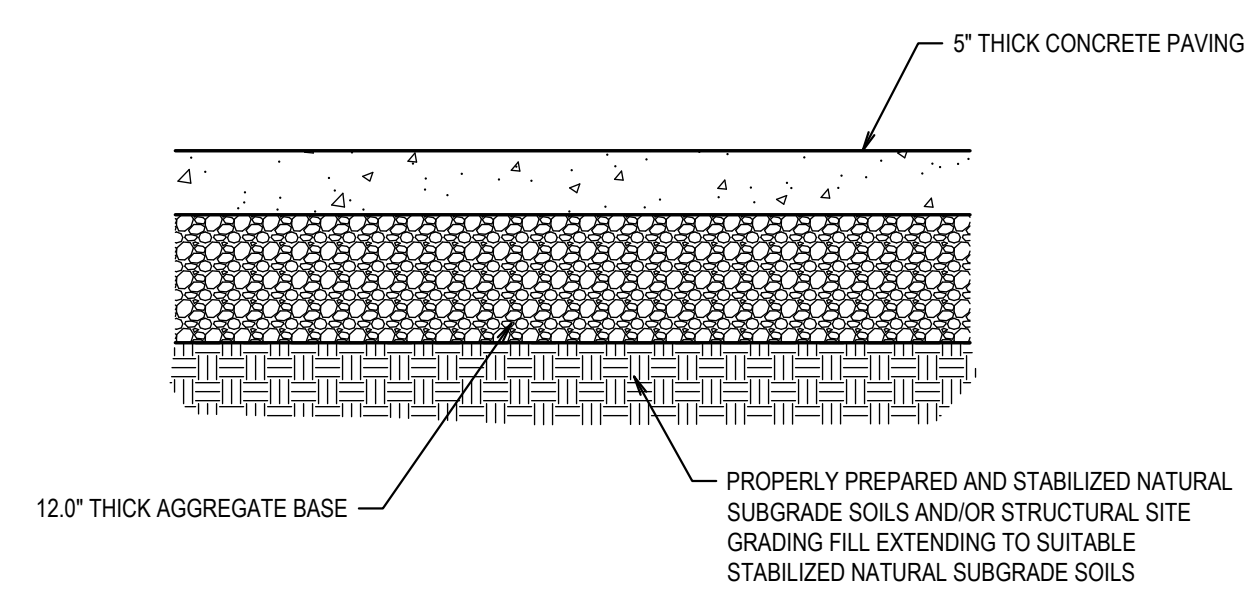
evans + associates architecture
11576 south state street, suite 103b, draper, utah 84020
phone 801-939-9612 fax 801-939-9613

2555 West Wilson Lane
West Haven, Utah

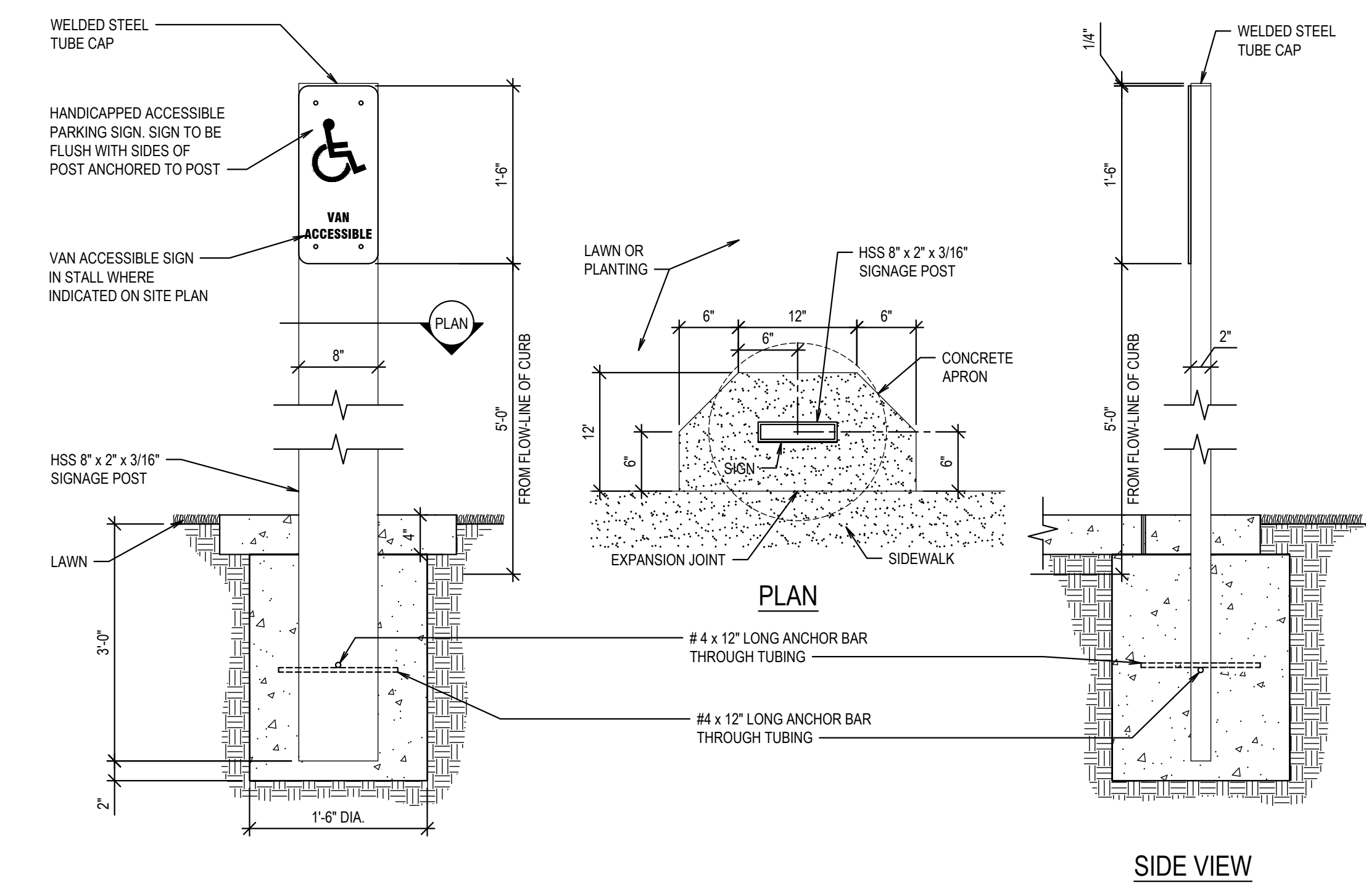
Revisions	Description	Date	Mark

Project Number 22-59
Plan Series Seminary 2-Classroom
Property Number 502-1091-22020101
Date May 1, 2023

Sheet Title SITE DETAILS

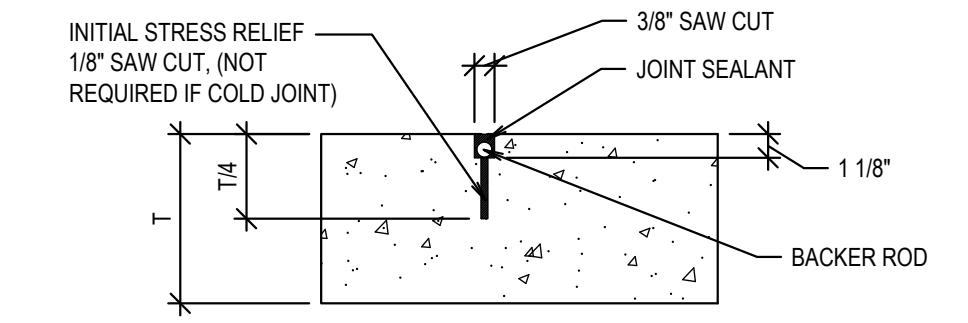


A CONCRETE PAVING
 SCALE: N.T.S.

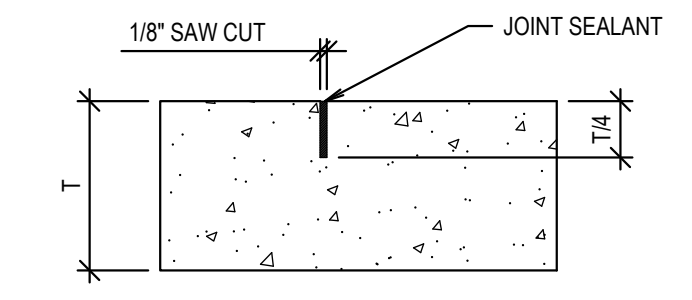


B ACCESSIBLE STALL SIGN (TRAFFIC SIGNAGE)
 SCALE: N.T.S.

STEEL PER DIVISION 05
 INSTALL PER DIVISION 03

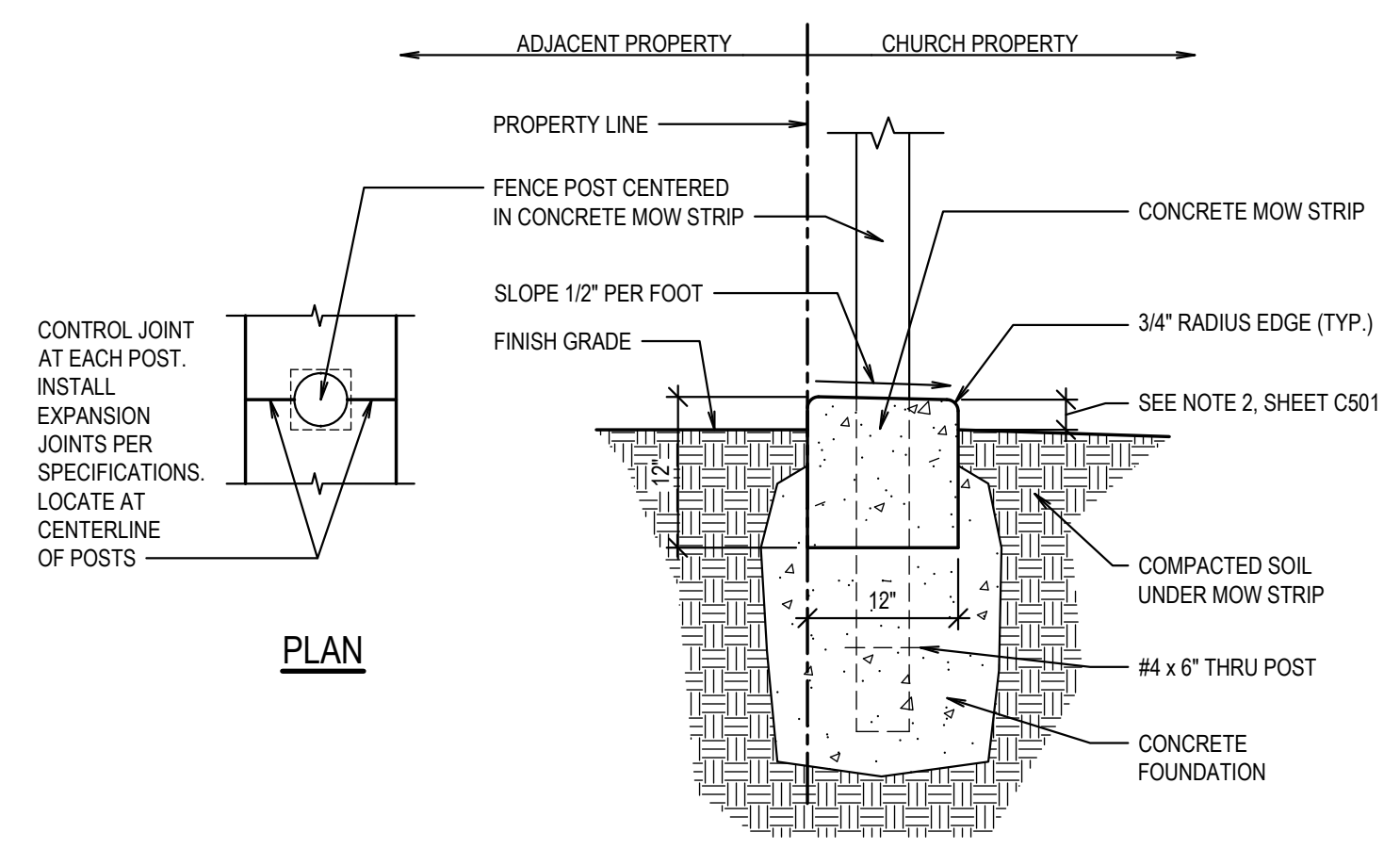


TYPE A CONTROL JOINT IN CONCRETE PAVING

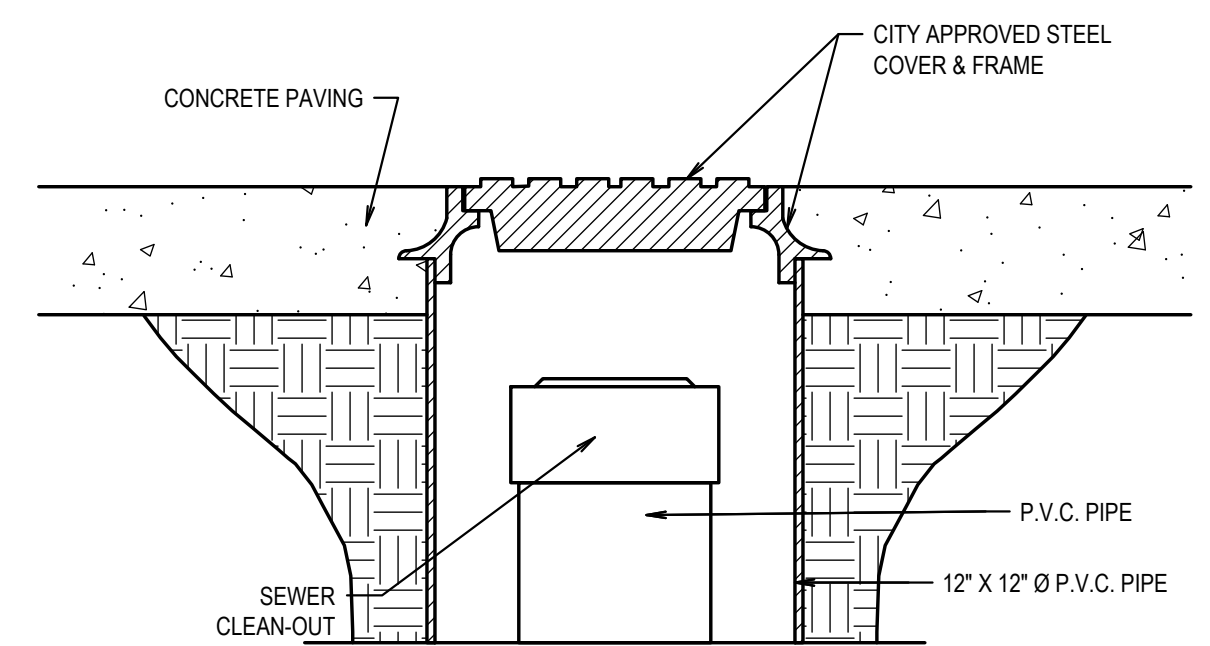


TYPE B CONTROL JOINT IN CONCRETE PAVING

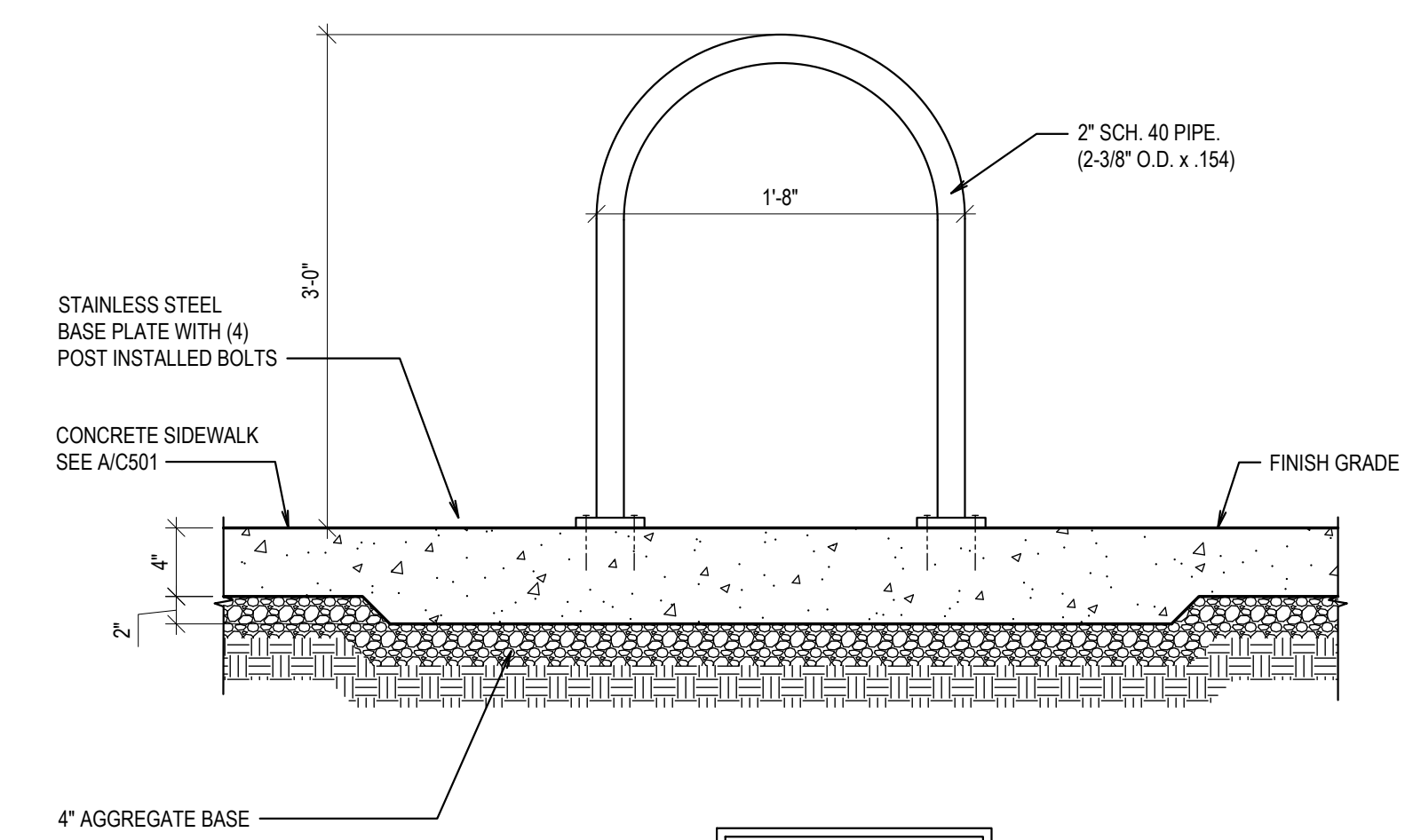
E CONCRETE PAVING JOINT DETAILS
 SCALE: N.T.S.



G MOW STRIP AT FENCE
 SCALE: N.T.S.

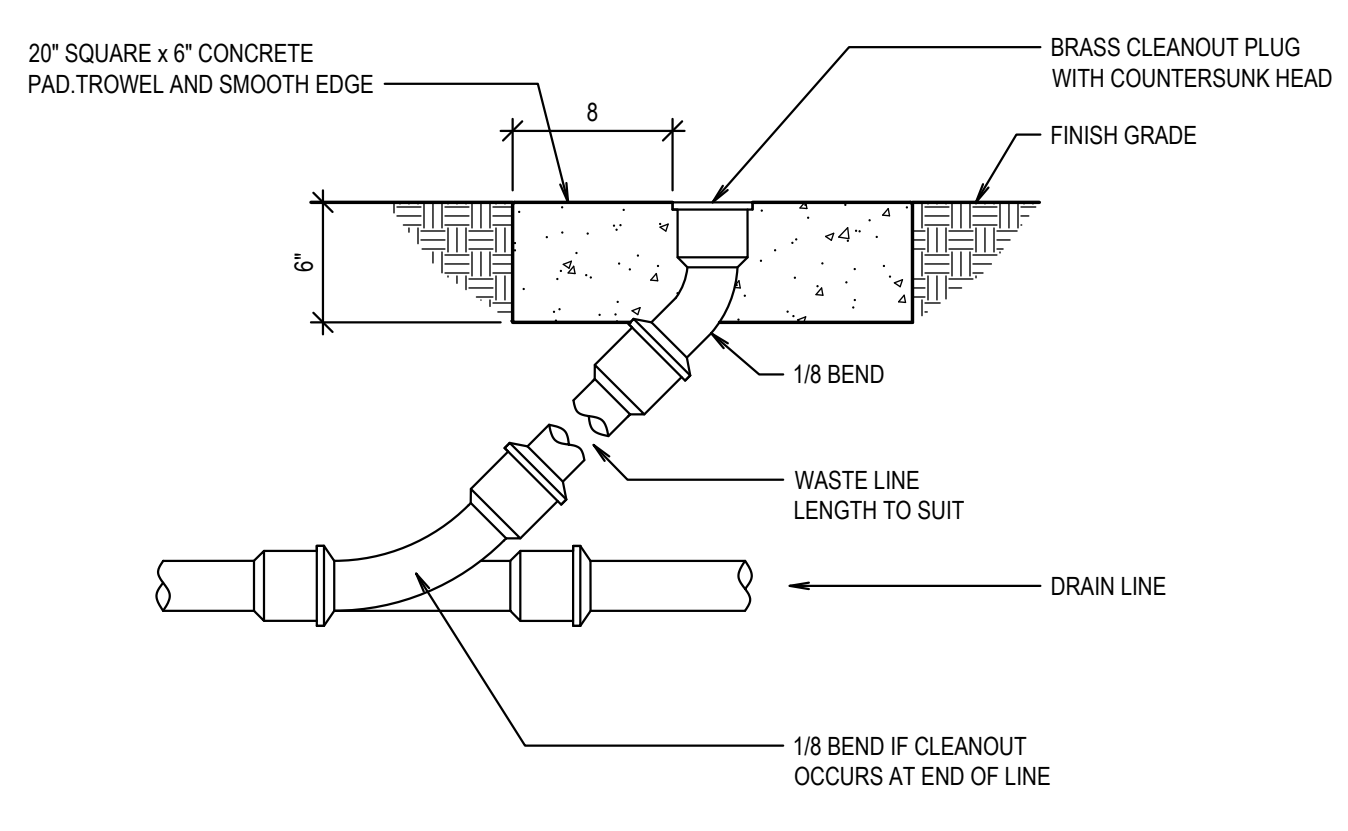


H SEWER CLEAN-OUT AT PARKING AREAS
 SCALE: N.T.S.

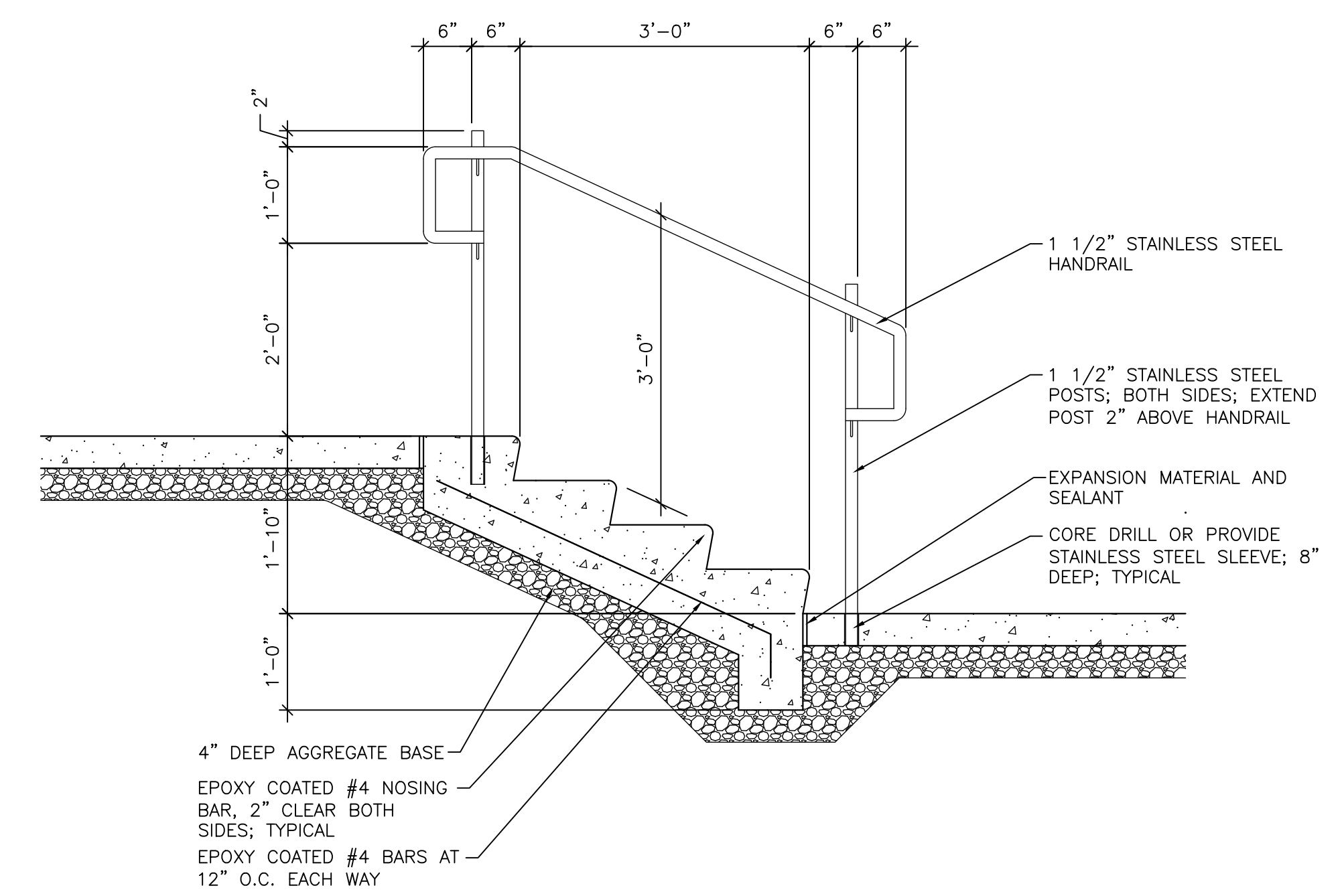


J BICYCLE RACK DETAIL
 SCALE: N.T.S.

BID PER DIVISION 05
 INSTALL PER DIVISION 03



K CLEAN-OUT
 SCALE: N.T.S.



L STAIR SECTION
 SCALE: 3/4" = 1'-0"

GENERAL NOTES

- SEE SITE PLAN FOR MOW STRIP AND SIDEWALK LOCATIONS AND WIDTHS.
- 2" PRIOR TO SODDING AND 4" IN PLANTING AREAS.
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PLANT LEGEND

(NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

CONIFERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	CATF	6	Cedrus atlantica 'Fastigiata'	Columnar Blue Atlas Cedar	B & B		6"	2 RING 0.4 GPH EMITTER @18" OC
	JSM	14	Juniperus scopulorum 'Moonsglow'	Moonsglow Juniper	B & B		6"	1 RING 0.4 GPH EMITTER @18" OC
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	AGP	3	Acer griseum	Paperbark Maple	B & B	2"Cal		2 RING 0.4 GPH EMITTER @18" OC
	FNN	6	Forestiera neomesicana	New Mexican Olive	15 gal			2 RING 0.4 GPH EMITTER @18" OC
	RTT	6	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac	B & B	2"Cal		2 RING 0.4 GPH EMITTER @18" OC
	SRB	6	Syringa reticulata 'Bailnee'	Snowdance Tree Lilac	B & B	2"Cal		2 RING 0.4 GPH EMITTER @18" OC
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	CBM	5	Caryopteris x clandonensis 'CT-9-12' TM	Beyond Midnight Bluebeard	5 gal			1 GPH EMITTER
	HPP	9	Hibiscus x 'Rosina' TM	Polypetite Hibiscus	5 gal			2 GPH EMITTER
	PPF	7	Potentilla fruticosa 'Fargo' Dakota Sunspot TM	Fargo Yellow Shrubby Cinquefoil	5 gal			1 GPH EMITTER
	RGJL	15	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	5 gal			1 GPH EMITTER
	SBG	14	Spiraea betulifolia 'Tor Gold' TM	Glow Girl Birchleaf Spiraea	5 gal			1 GPH EMITTER
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	CPS	24	Cytisus purgans 'Spanish Gold'	Spanish Gold Broom	5 gal			1 GPH EMITTER
	JCD	13	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	5 gal			2 GPH EMITTER
	JHF	8	Juniperus horizontalis 'Mombert' TM	Icee Blue Juniper	5 gal			1 GPH EMITTER
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	LMP	49	Liriope muscari 'EXC 051' TM	Purple Explosion Lily Turf	1 gal			SEE IRRIGATION LEGEND
	RFG	4	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	1 gal			SEE IRRIGATION LEGEND
ROSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
	RDK	17	Rosa x 'Radtko'	Double Knock Out Rose	5 gal			2 GPH EMITTER

SITE MATERIALS LEGEND

(NOTE: SITE MATERIALS QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

SYMBOL	LANDSCAPE DESCRIPTION	QTY
	1 LANDSCAPE DESCRIPTION TURF: KENTUCKY BLUEGRASS SOD. SEE SHEET L501 ILLUSTRATION "C" FOR DETAIL.	2,995 sf
	FINE WOOD MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF FINE MULCH TOP DRESSING. REPLENISH ON A YEARLY BASIS TO A DEPTH OF 3". SEE DIAMONDTREEEXPERTS.COM	2,092 sf
	1" MINUS BROWN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT APPROVAL. INSTALL 3" DEPTH OF ROCK MULCH IN ALL INDICATED SHRUB BEDS OVER A GEOTEXTILE FABRIC. PRE-EMERGENT TO BE APPLIED TO ALL SHRUB BEDS PRIOR TO INSTALLATION OF THE GEOTEXTILE FABRIC.	11,932 sf
	4-6" BROWN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT APPROVAL. INSTALL 6-8" DEPTH OF ROCK MULCH IN ALL INDICATED AREAS.	2,569 sf
	2' 0" TO 5' BOULDERS FROM LOCAL QUARRY. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL. SEE SHEET L501 ILLUSTRATION "A" FOR DETAIL. 2 AT 2' 0" - 3' 15 AT 3' 0" - 4'	19
	6" x 6" CONCRETE MOW CURB. SEE SHEET L-501 ILLUSTRATION "D" FOR DETAIL.	341 lf

INSTRUCTIONS TO LANDSCAPE ARCHITECTS

LANDSCAPE PLAN INSTRUCTIONS

- This standard landscape plan including turf areas, planter locations, and densities are to be applied to all sites as closely as possible dependent upon local ordinances and conditions. Use the LDS Church standard details and specifications. Only make adjustments where indicated.
2. Pre-design
 - Visit site to understand existing conditions.
 - Obtain Topsoil Testing Report from building architect.
 - Obtain governing code requirements.
 - Fill out Design Criteria, Landscape Data, and Plant Coverage Information tables located on Sheet L101.
3. Design
 - Adjust plan to site according to the following criteria:
 - Where possible, existing and indigenous landscape plants and materials should be protected and utilized in the site design to reduce unnecessary construction and maintenance costs.
 - Turf areas should not exceed maximum allowable percentage of total landscape area found in Design Criteria table 4.2 and modified for seminaries and institutes.
 - Turf areas should not be less than 8 feet wide other than parkstrips.
 - Turf areas intersecting with mowstrip or edging to abut concrete walks, curbs, or pads at 90 degrees.
 - On plans, show all plants at mature size per local nursery standard. Shrubs when reaching full maturity should not extend beyond planting areas or into turf. Trees should not extend over roof of building. Do not place center of plant within 4 feet of building foundation in planters that exceed 2 feet in width. In narrow planters at building entrances, planting closer than 2 feet is allowed.
 - Sites with steep slopes shall also meet the following criteria:
 - Turf areas shall not exceed a 3:1 slope (3 horizontal: 1 vertical)
 - Shrub areas shall not exceed a 2:1 slope
 - Slopes steeper than 2:1 shall be engineered with a retaining wall.
 - In Eco-regions: 1.0 Arctic Tundra, 5.0 Northeastern Forests, 6.0 Western Mountains, 8.1 Eastern Forests, 9.1 Northern Plains, and 10.1 Northern Cold Desert coordinate snow storage locations with other design trades.
 - Use only plants listed on the Approved Plant Material list for your specific Eco-Region. This list is available on the church website at <http://aec.ldschurch.org/aec/landscape/>. Substitutions may be approved only if a "Request for Approval" is submitted by the landscape architect and approval granted by Headquarters Landscape Architect. The landscape architect should select those plants that are best suited for the microclimate, moisture levels, soil type and all other conditions that are present at each particular site.
 - The conceptual plant list shown on this sheet is provided as a guide of what should be submitted on conceptual plans for review. Provide the content found in this page's Plant Legend on the planting plan sheet or on other sheets as required.
 - Plants, mulches and other landscape products specified should be locally available.
 - Change North arrow orientation depending on site orientation.
 - Coordinate tree locations with building signage locations to avoid interference.
 - If applicable separate developed landscape and undeveloped landscape with church approved fence.
 - Undeveloped landscape in expansion areas to conform to local ordinance.

IRRIGATION PLAN INSTRUCTIONS

- This system is based upon an available static pressure of __ psi minimum and __ g.p.m. Prior to construction, confirm static pressure and size of P.O.C.
- Landscape Architect and Owner to determine if irrigation system is required. In Eco-regions 1.0, 5.0, and 8.1, manual irrigation is acceptable depending upon local conditions and municipality requirements.
- Landscape architect to determine emitter type and size for plant material selected based on plant size, plant water usage, and soil analysis.
- Refer to in-line drip guidelines table below for sizing in-line drip.
- Landscape Architect to design irrigation system with water conservation as the principle guideline.
- Connect drip emitter assembly to nearest lateral line.
- Landscape Architect to coordinate with local FM to determine preferred irrigation controller manufacturer and location (storage building or mechanical enclosure).
- IRRIGATION COVERAGE
 - Turf - 100% minimum head to head coverage.
 - Shrubs - One drip emitter per proposed shrub.
 - Trees - Per detail and planting legend.
 - Spray Heads = minimum 65% distribution uniformity.
 - Rotor Heads = minimum 70% distribution uniformity.

SITE REQUIREMENT CALCULATIONS

STREET FRONTAGE

NO STREET TREES OR SHRUBS REQUIRED AS PER CITY

TREE COUNT: (20,117 sf)	REQUIRED:	PROVIDED:
1 TREE / 400 SQ.FT. INTERNAL LANDSCAPING	50	50
1 SHRUB/200 SQ.FT. INTERNAL LANDSCAPING	101	115
MAXIMUM TURF AREA OF LANDSCAPE	15% (3,017 sf)	15% (3,013 sf)

IRRIGATED AREA (5,746 sq. ft.)

Design Criteria

Eco-Region	10.1- Northern Cold Desert
Climate zone	6b to 7a
Zoning ordinance	West Haven City
Water availability	Secondary Water - POC on Irrigation Plan: 70-80 PSI provided by City
Soil type	See topsoil test report
Slopes	flat
Wind	West
Setbacks/easements	No special easements
Microclimates	Nothing unique to site
Soil ph	See topsoil test report
Lawn Area Percentage	14.8%
Undeveloped property	N/A
Irrigation system	Secondary Water

* Refer to AEC Design Guidelines

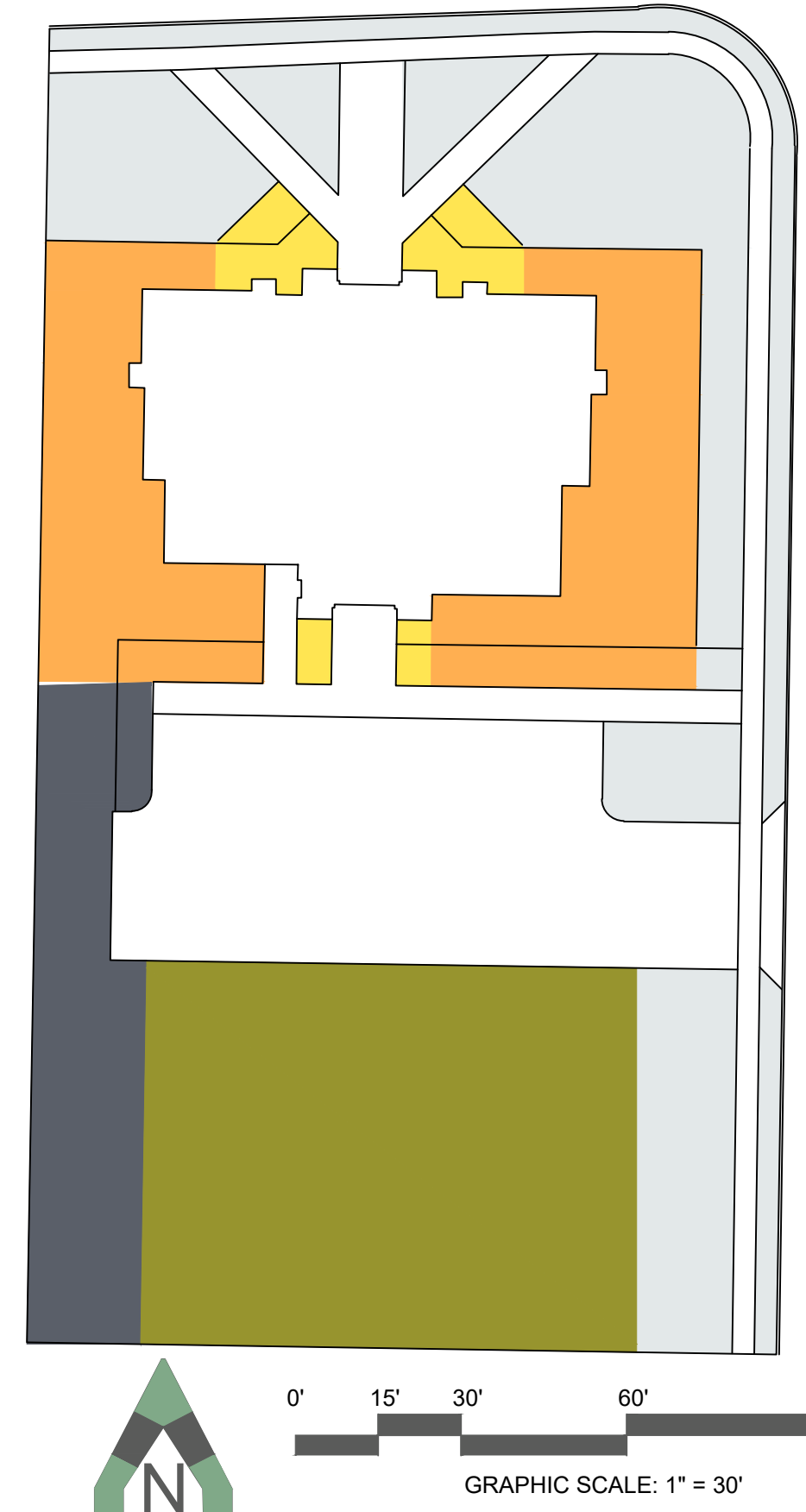
Plant Coverage

	Shrubs-Mature Coverage	Actual%	Tree Purpose	Actual#	% Required by Local Jurisdiction
Street Frontage	25% - 50%	50%	Frame Building	(7)	N/A
Primary Entries	30% - 55%	55%	Frame Entry	(8)	N/A
Building Perimeter	25% - 45%	30%	Accent Building	(1)	N/A
Perimeter	5% - 15%	10%	Screen Lot	(23)	N/A

LANDSCAPE DATA

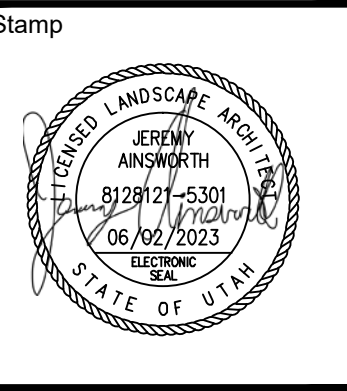
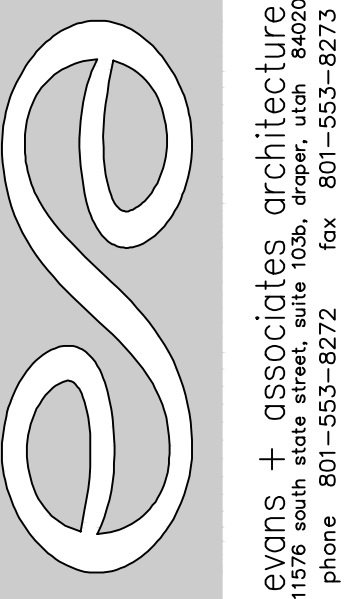
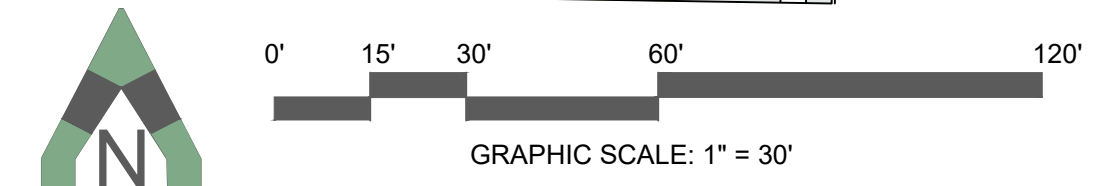
	Total Site Area	88 Acre	% of Site/Landscape	% Required by Local Jurisdiction
Total Landscape Area	.50 Acre		74%	N/A
Shrubs/Groundcover	115 Shrubs		25%	N/A

PLANT COVERAGE PLAN



SYMBOL	COVERAGE AREA
	STREET FRONTAGE
	PRIMARY ENTRIES
	BUILDING PERIMETER
	PERIMETER SIDES
	PERIMETER REAR

*NOTE: THIS DIAGRAM IS USED TO DEFINE PLANT COVERAGE AREAS. CALCULATE PLANT COVERAGE AND ENTER INFORMATION IN THE PLANT COVERAGE TABLE.



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Mountain View Jr Seminary
 2535 West Wilson Lane
 West Haven, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

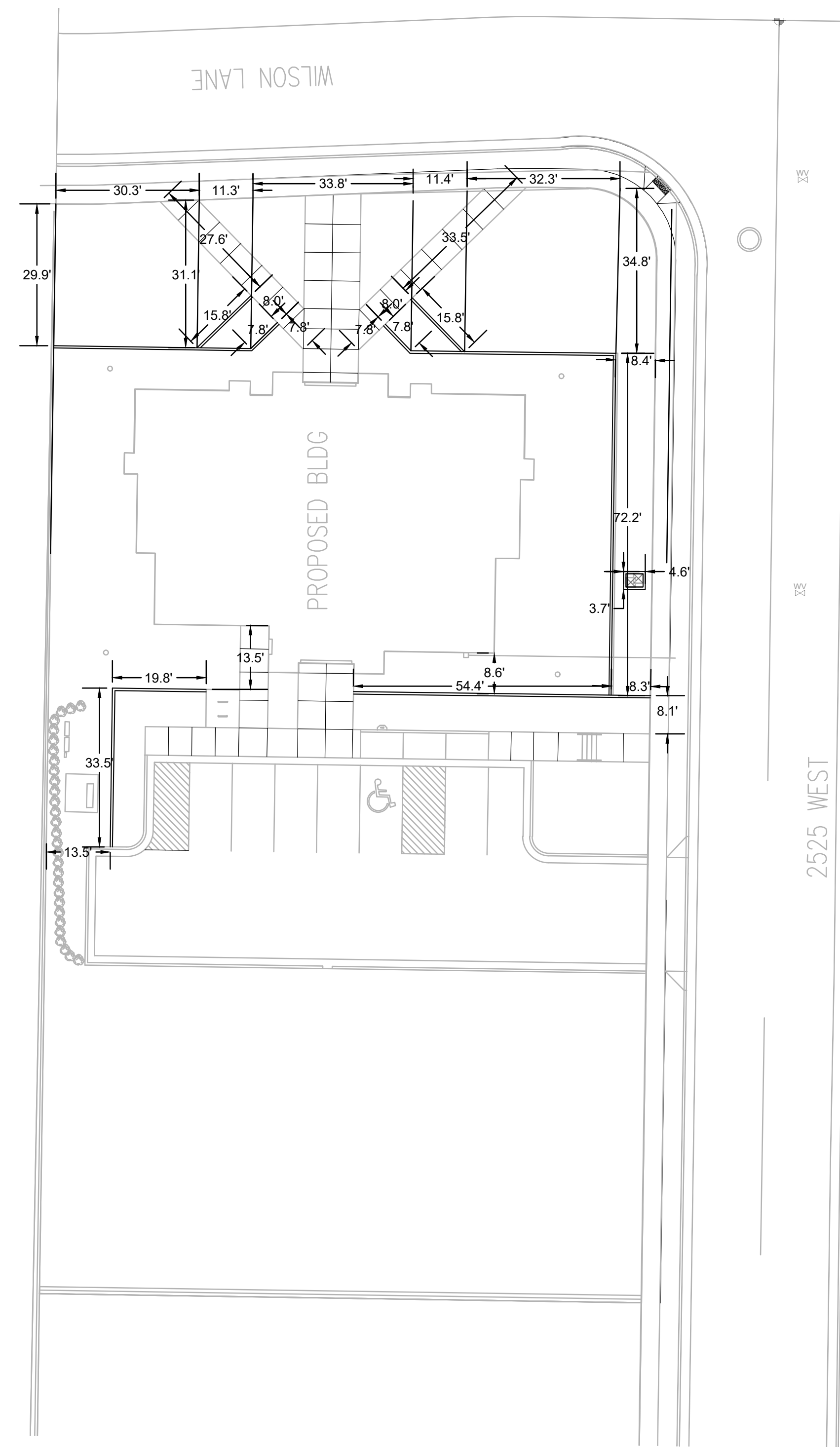
Revisions	Description	Date	Mark

Project Number: UT23007 (22-59)
 Plan Series: Seminary 2-Classroom
 Property Number: 502-1091-22020101
 Date: June 2, 2023

Sheet Title:
LANDSCAPE PLAN

811 BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER, INC.
 1-800-662-4111
 www.bluestakes.org

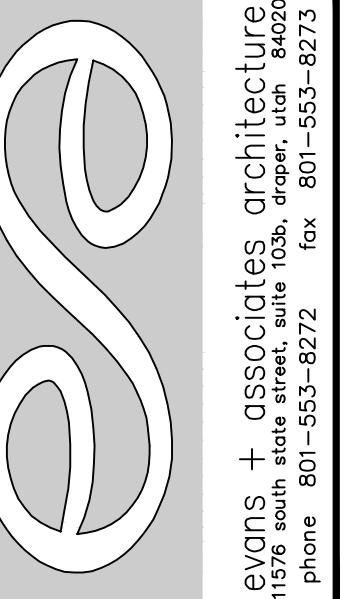
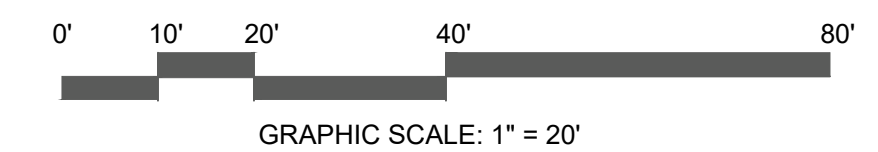
Sheet:
L100



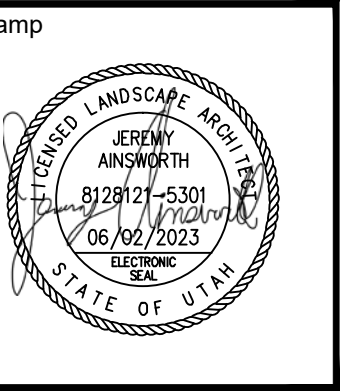
**MOWSTRIP
PLAN**



811 BLUE STAKES OF UTAH
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S ASSOCIATES ARCHITECTURE
11574 South West Valley Blvd., Suite 100, West Valley City, UT 84020
Phone 801-553-8272 Fax 801-553-8273



A New Building for
Mountain View Jr Seminary

2535 West Wilson Lane
West Haven, Utah

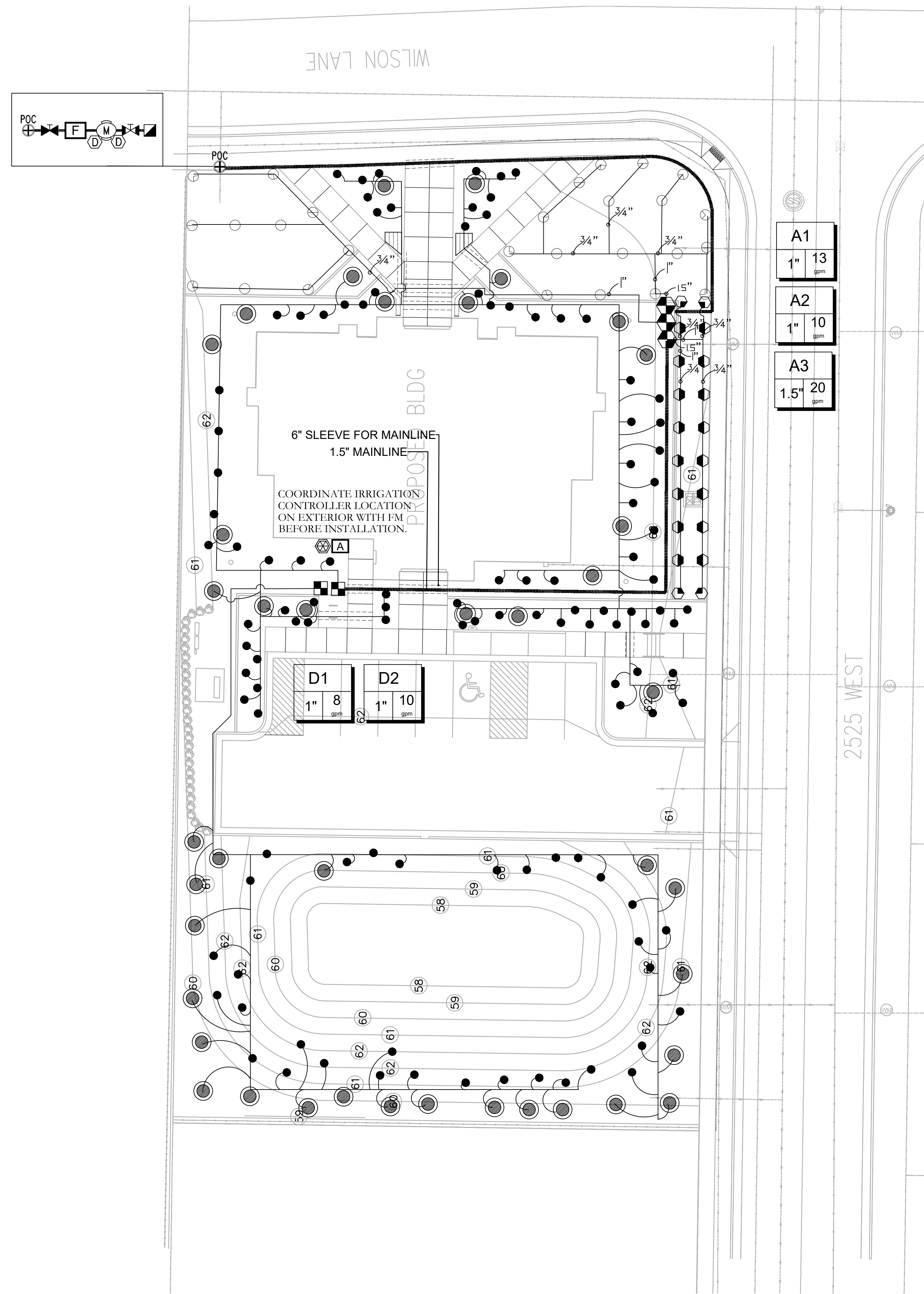
Project for:
**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

Mark	Date	Description

Project Number
UT23007 (22-59)
Plan Series
Seminary 2-Classroom
Property Number
502-1091-22020101
Date
June 2, 2023

Sheet Title
**MOWSTRIP
PLAN**

Sheet
L101



IRRIGATION LEGEND

SYMBOL	EQUIPMENT	SIZE
	Secondary POC Min. 50 GPM @ 70-80 PSI Static	2"
	Stop & Waste - See Civil Drawings	
	Manual Drain valve	3/4"
	Amiad Mini Sigma Filter Assembly w/ Enclosure	2"
	Isolation Valve	2"
	Hydrometer - Hunter HC-200-FLOW	2"
	Automatic Control Valve	(See Valve ID Tag)
	Drip Control Zone Valve - High Flow	1"
	3/4" Quick Coupler	3/4"
	Smart Controller - Multi-Wire System- Hunter X-Core	5 Zones
	Grounding Rod - 5/8" X 8'	

SYMBOL	IRRIGATION HEADS	RADIUS
	10' Quarter Circle 6" Pop-up Spray- Hunter PS Ultra 6	9'
	10' Half Circle 6" Pop-up Spray Hunter PS Ultra 6	9'
	12' Quarter Circle 6" Pop-up Spray Hunter PS Ultra 6	11'
	12' Half Circle 6" Pop-up Spray Hunter PS Ultra 6	11'
	12' Full Circle 6" Pop-up Spray Hunter PS Ultra 6	11'

SYMBOL	IRRIGATION DRIP	
	2 GPH Emitter	
	In Line Drip Tree Ring - See Planting Legend for Type	(See Details)

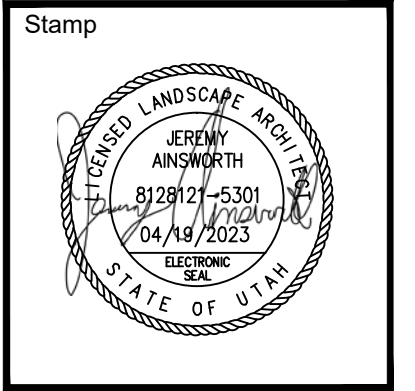
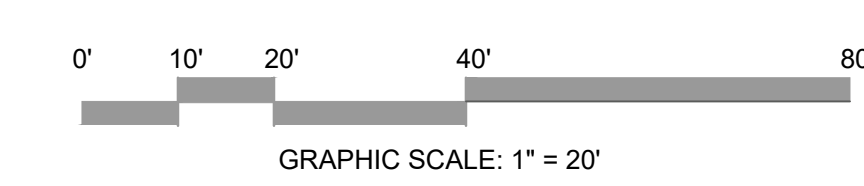
SYMBOL	IRRIGATION PIPE	SIZE
	Irrigation Lateral Line: PVC Schedule 40	3/4" - 1-1/2"
	Irrigation Mainline: PVC Schedule 40	1.5"
	Pipe Sleeve	6" For Mainline; 4" For Lateral

SYMBOL	Valve Callout
	Valve Number
	Valve Flow
	Valve Size

- NOTE:
- This plan is diagrammatic. System components may be shown in paved areas and buildings for plan clarity. Contractor to locate in landscape areas wherever feasible.
 - Contractor to install Master Valve and Flow Sensor wires in 1" grey PVC conduit to controller.
 - Contractor to locate and verify Existing irrigation system has a POC, Stop & Waste, Hydrometer, Manual Drain Valve, Backflow Preventer connected and working properly. Contractor to install and provide items not found on system or not working correctly.
 - Contractor to verify smart controller can be installed and control both existing and new irrigation system and control the smart components on the system.
 - Locate all existing utilities on site prior to construction. Coordinate all excavation with General Contractor.
 - Connect drip emitter assembly's to nearest lateral line.
 - See details and specifications for additional information.

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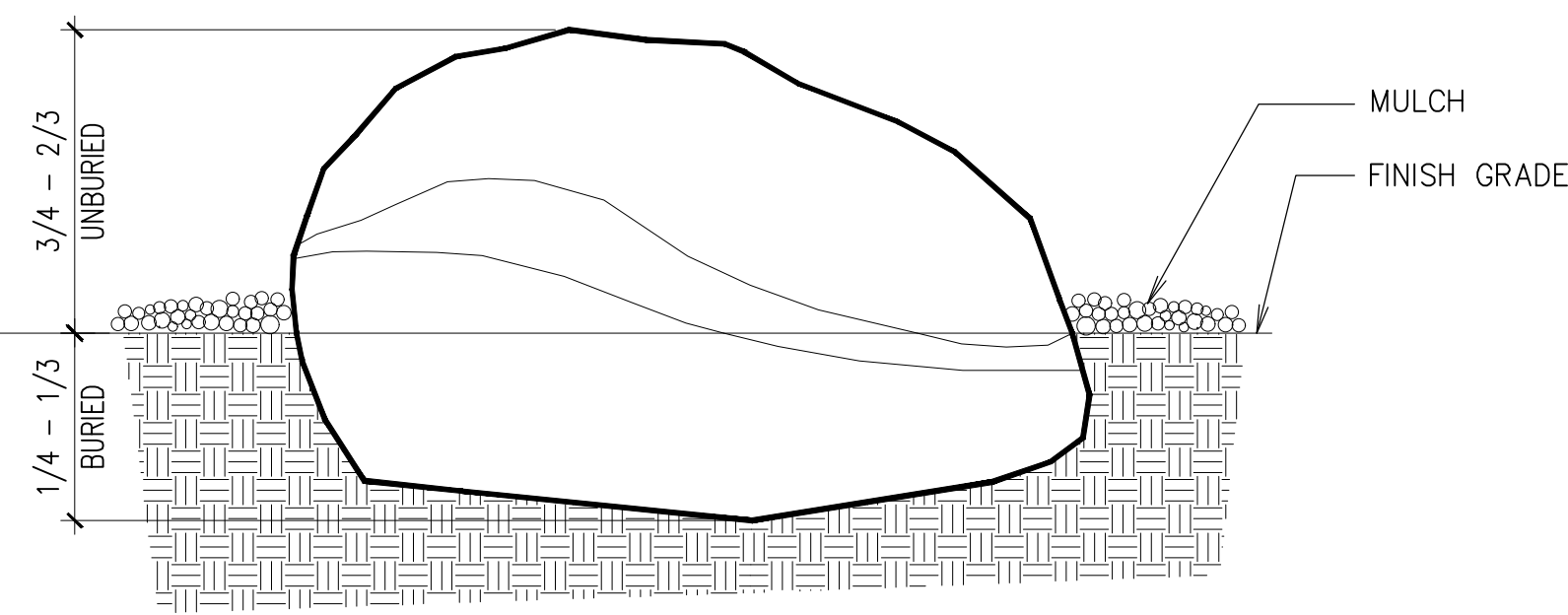
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description
Mark	Date

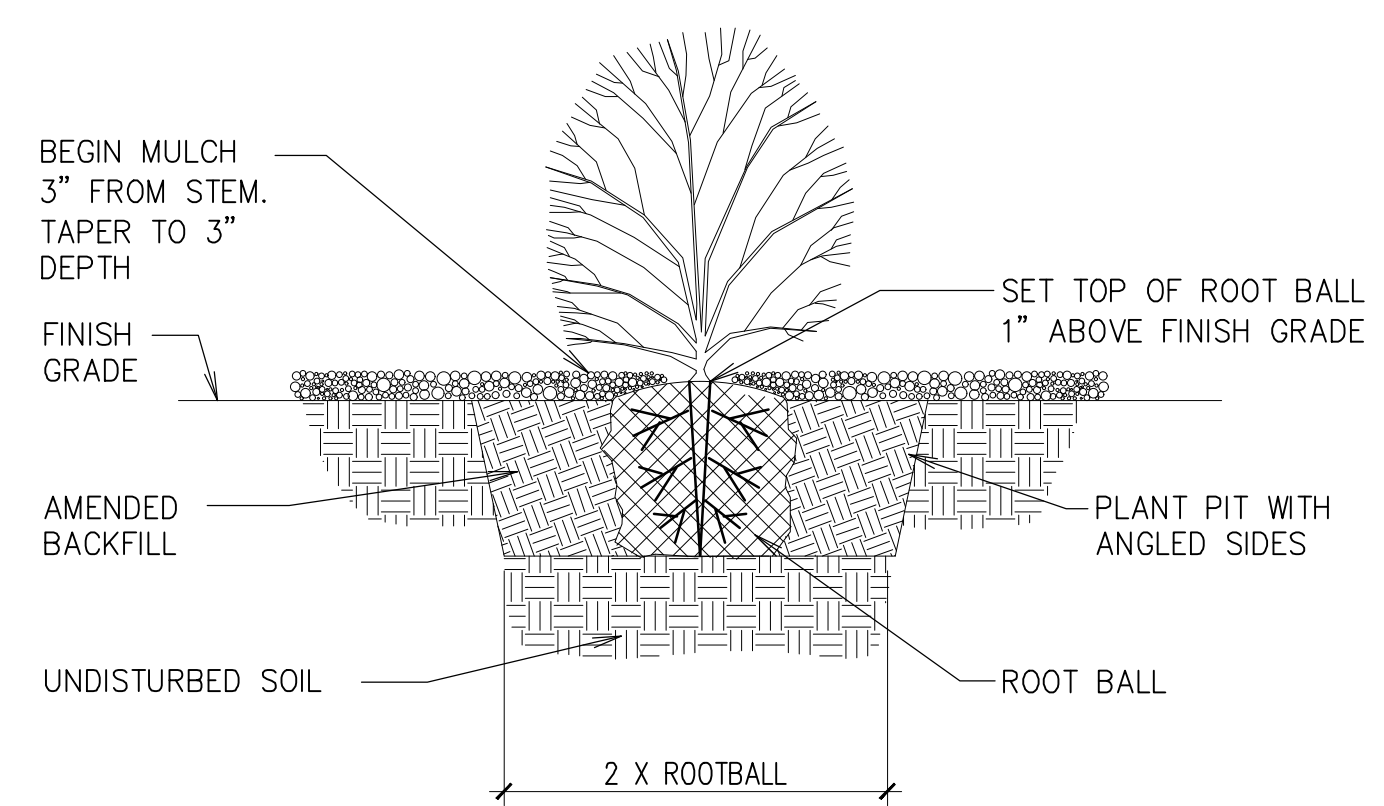
Project Number
UT23007 (22-59)
Plan Series
Seminary 2-Classroom
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Date
June 2, 2023

Sheet Title
IRRIGATION PLAN

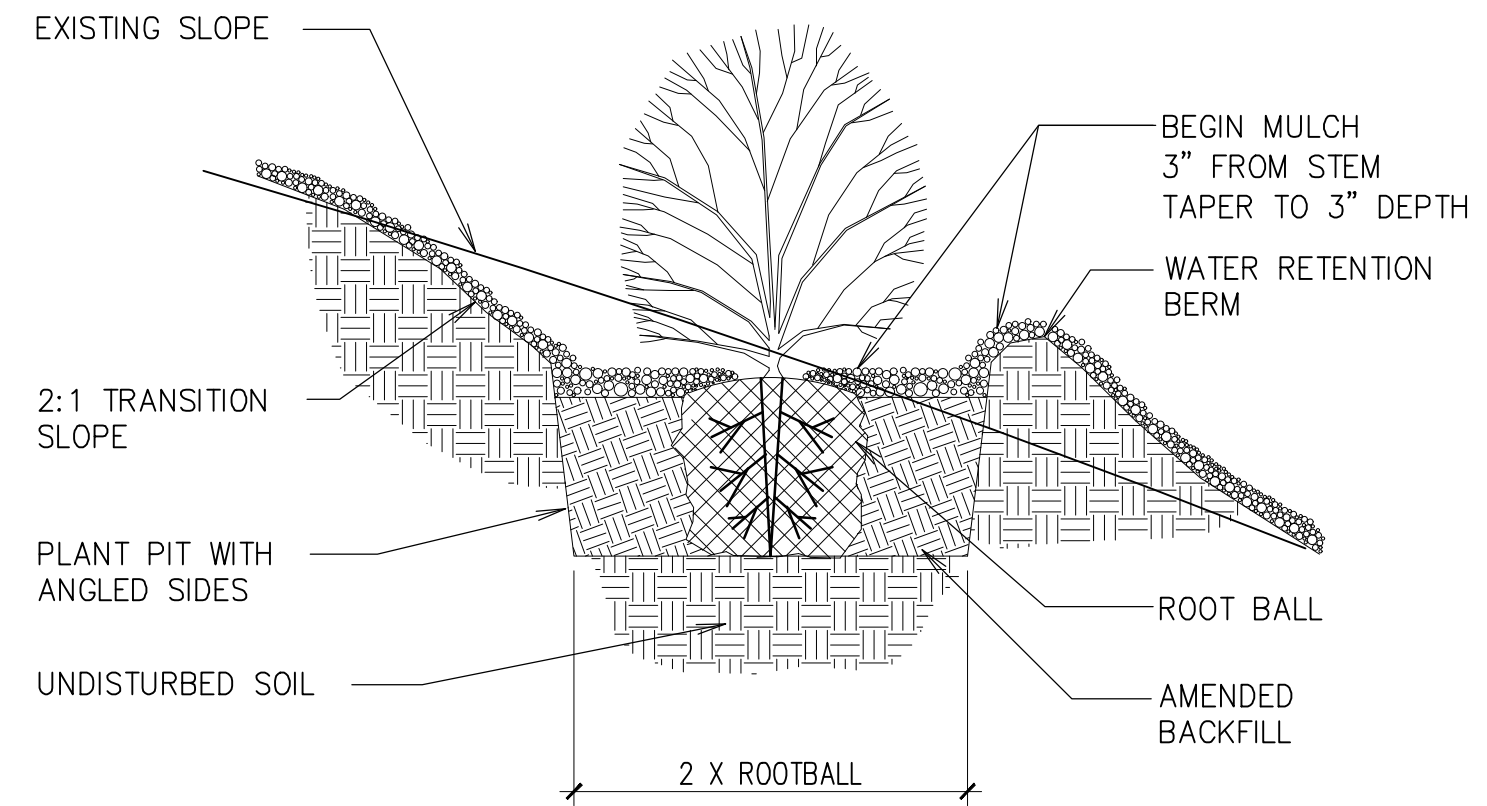
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L121



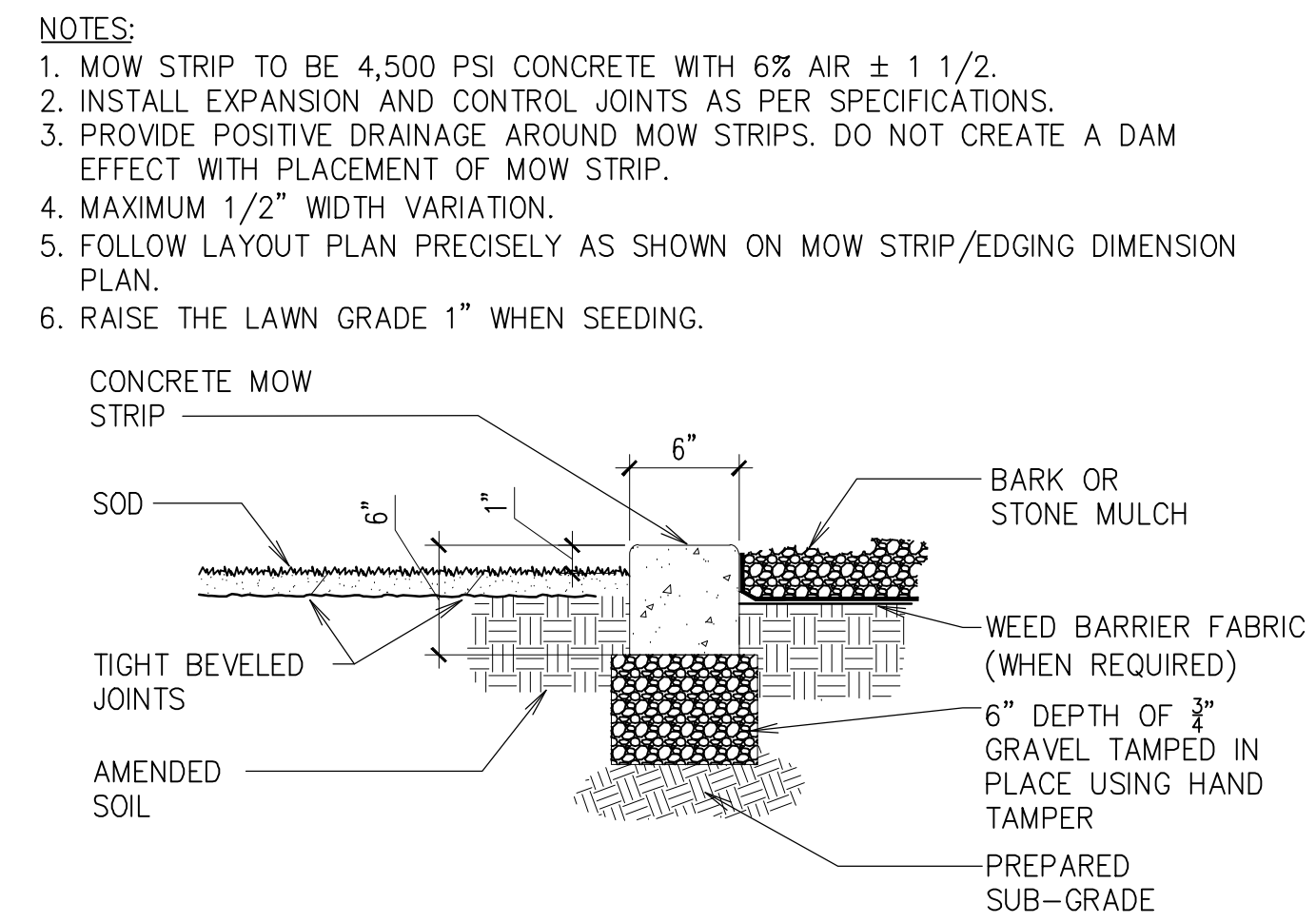
A BOULDER PLACEMENT
DETAIL
NOT TO SCALE



B SHRUB PLANTING
DETAIL
NOT TO SCALE

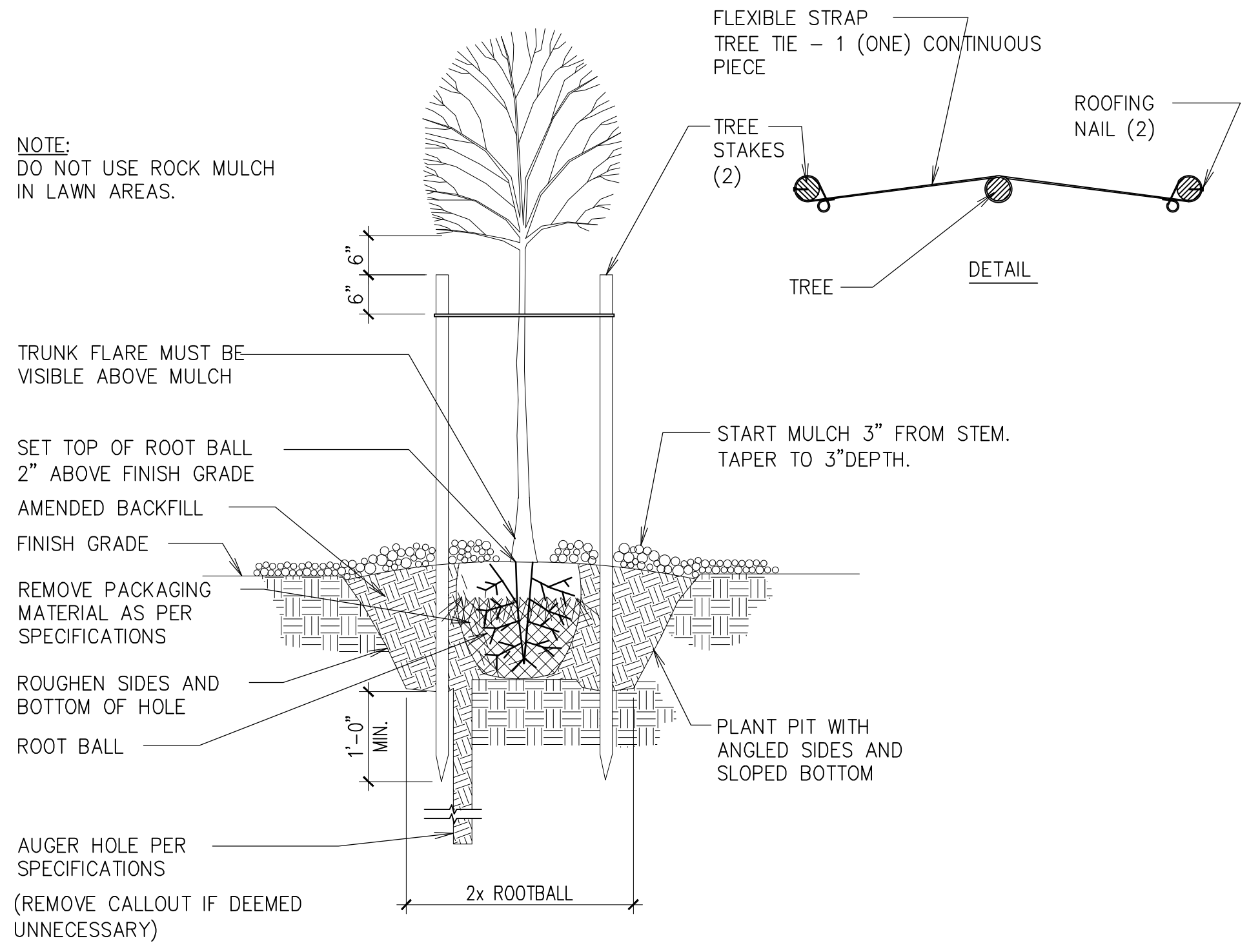


C SLOPE PLANTING
NOT TO SCALE

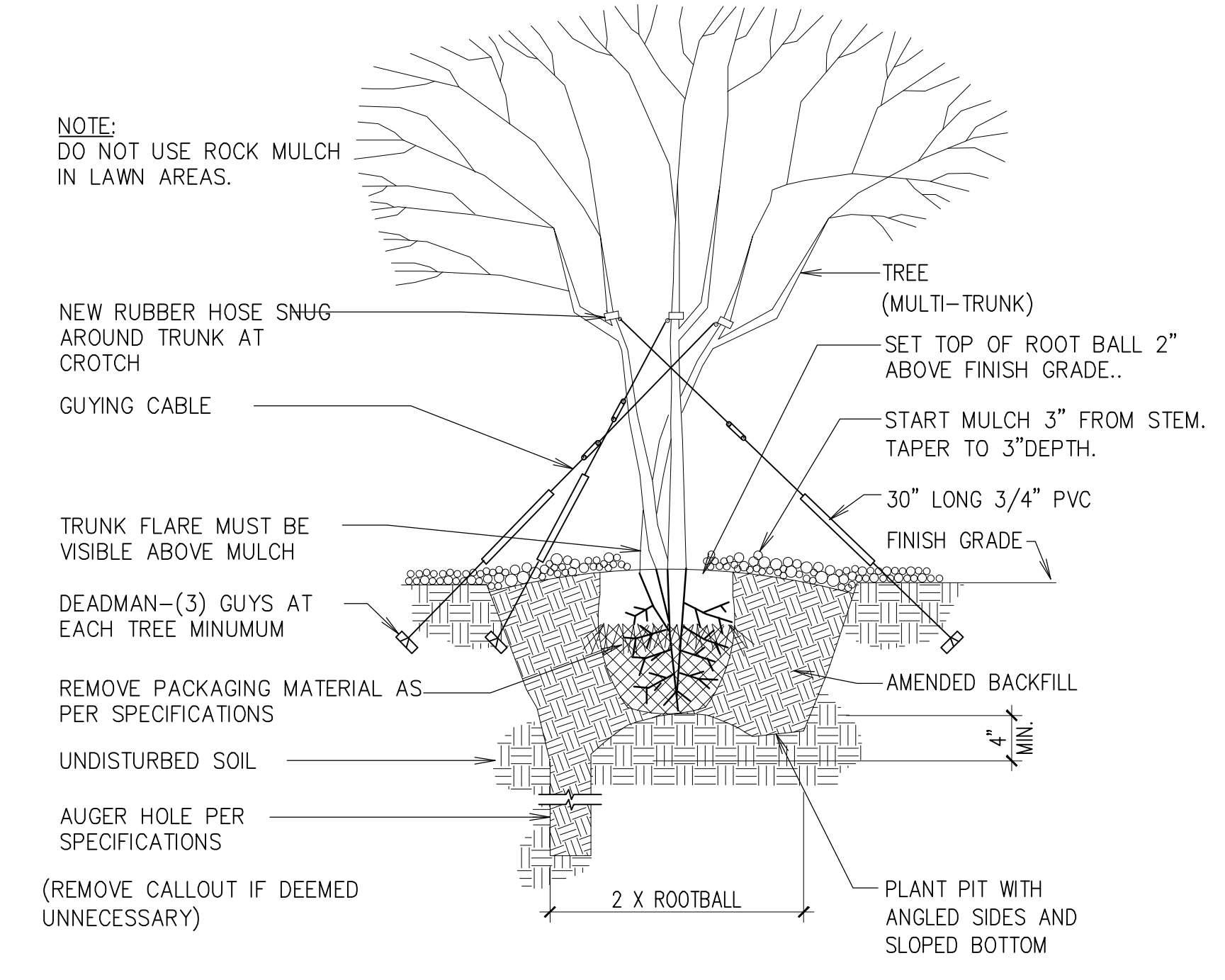


D CONCRETE MOW STRIP
NOT TO SCALE

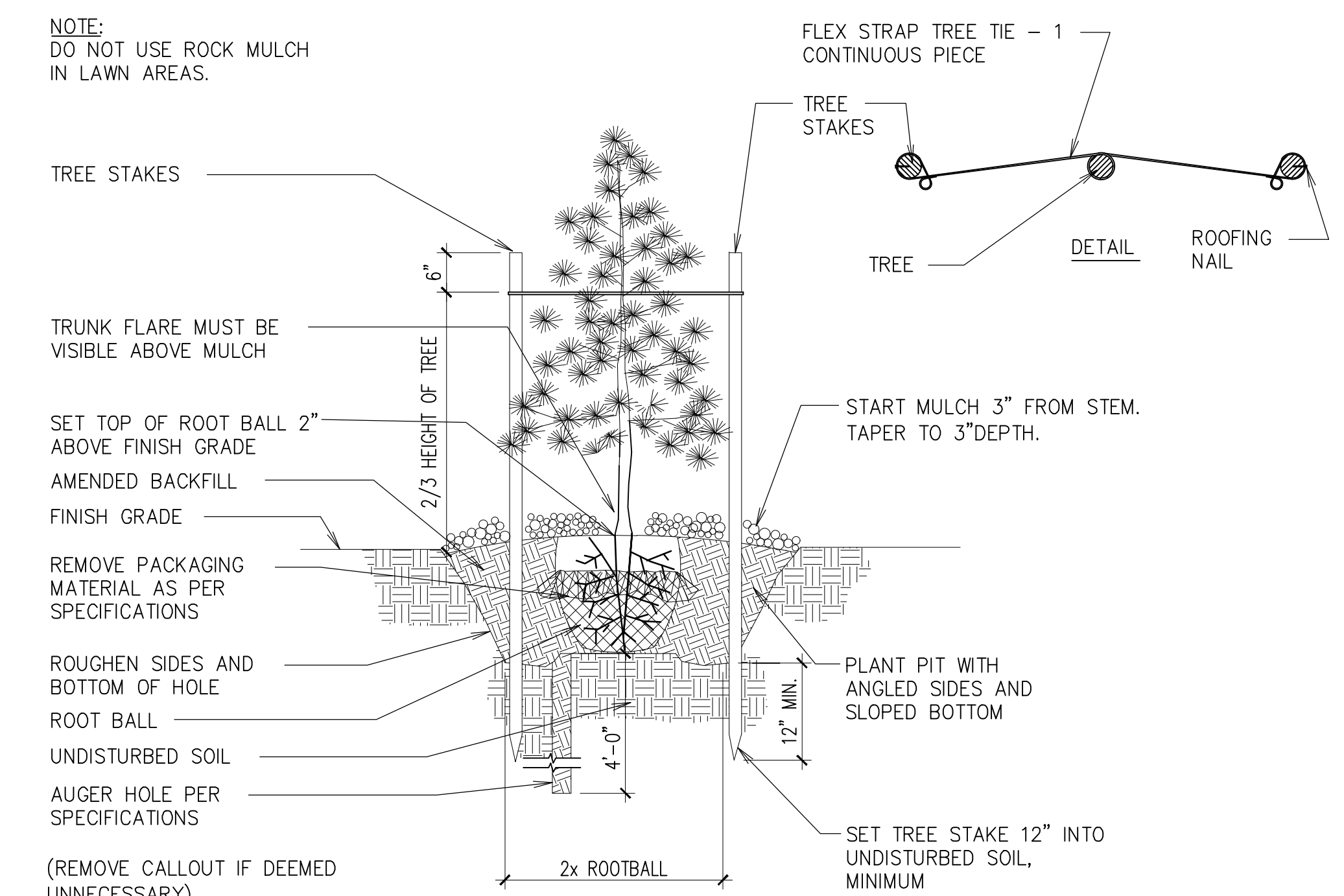
- NOTES:**
1. MOW STRIP TO BE 4,500 PSI CONCRETE WITH 6% AIR ± 1 1/2.
 2. INSTALL EXPANSION AND CONTROL JOINTS AS PER SPECIFICATIONS.
 3. PROVIDE POSITIVE DRAINAGE AROUND MOW STRIPS. DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOW STRIP.
 4. MAXIMUM 1/2" WIDTH VARIATION.
 5. FOLLOW LAYOUT PLAN PRECISELY AS SHOWN ON MOW STRIP/EDGING DIMENSION PLAN.
 6. RAISE THE LAWN GRADE 1" WHEN SEEDING.



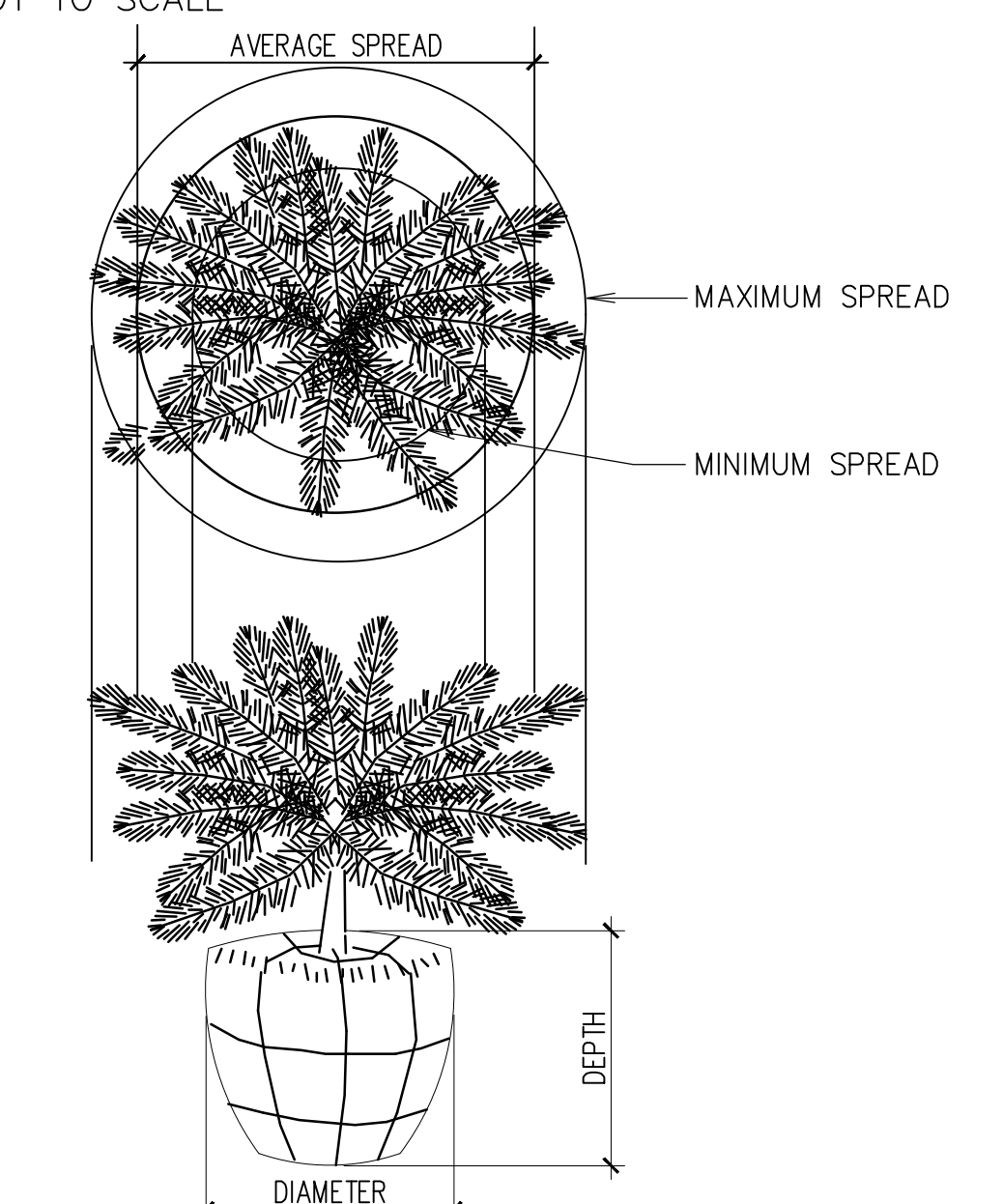
E TREE PLANTING AND STAKING
NOT TO SCALE



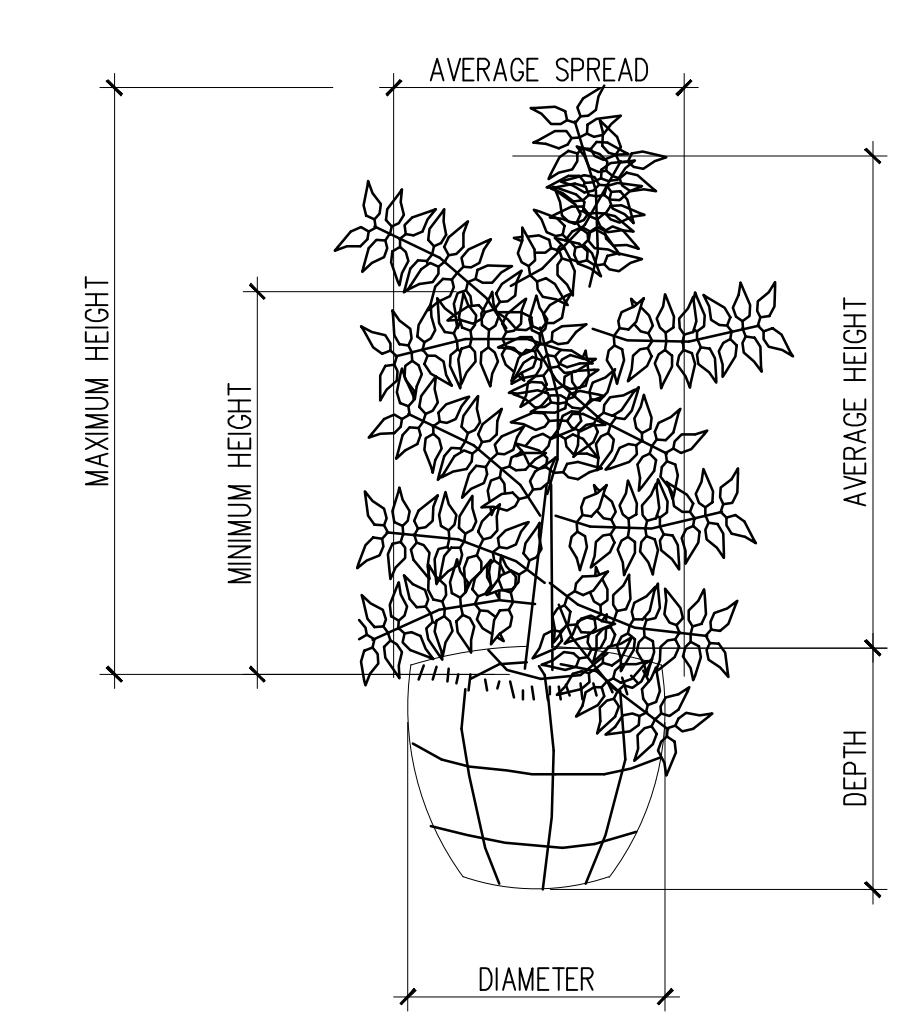
F TREE GUYING
(MULTI-TRUNK TREE)
NOT TO SCALE



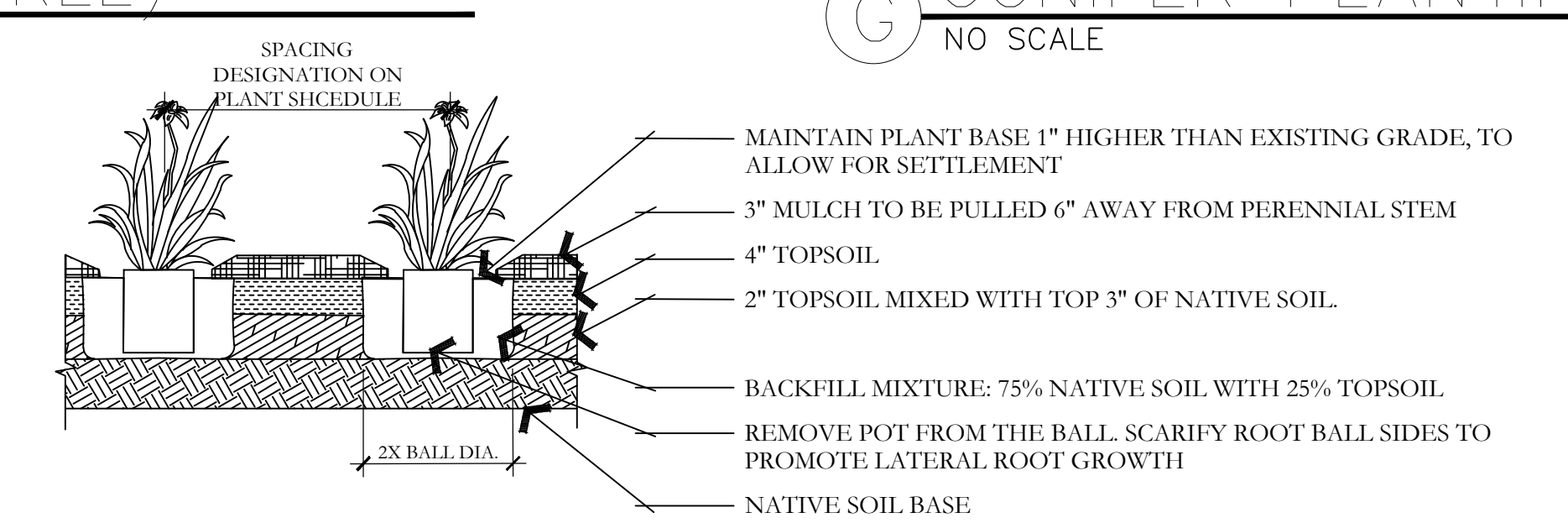
G CONIFER PLANTING AND STAKING
NO SCALE



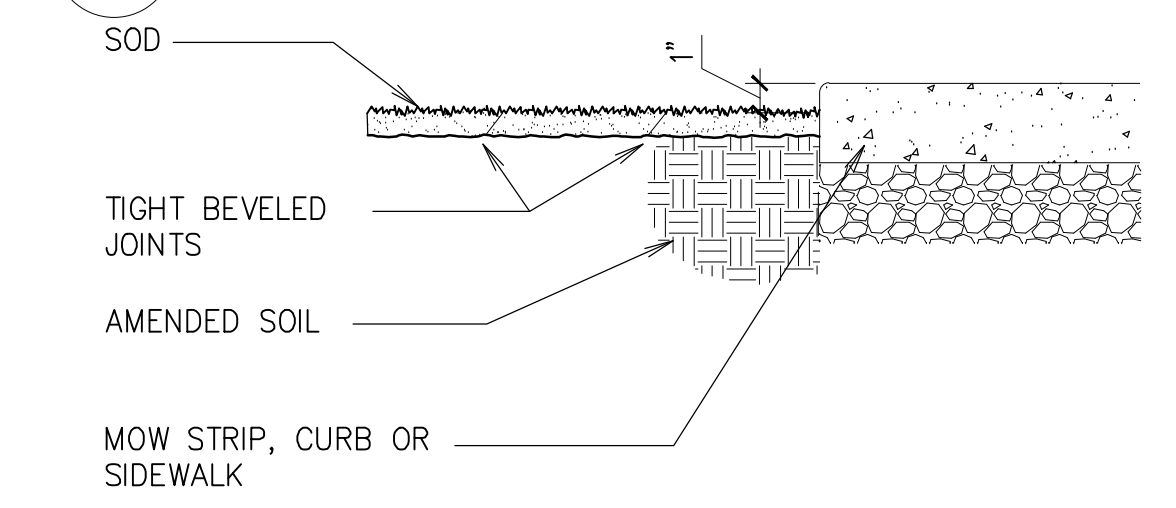
H TYPICAL MEASUREMENT FOR
PROSTRATE TYPE PLANTS
NOT TO SCALE



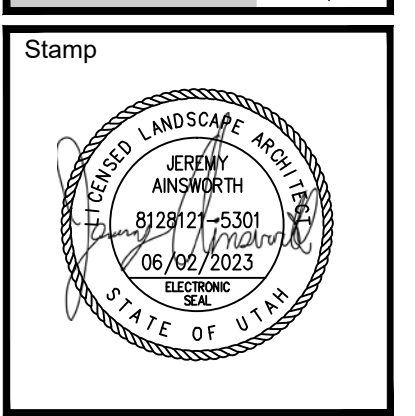
I TYPICAL MEASUREMENT FOR
BROAD UPRIGHT TYPE
NOT TO SCALE



J PERENNIAL PLANTING
DETAIL
NOT TO SCALE



K SOD INSTALLATION
NOT TO SCALE



A New Building for
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Project for:
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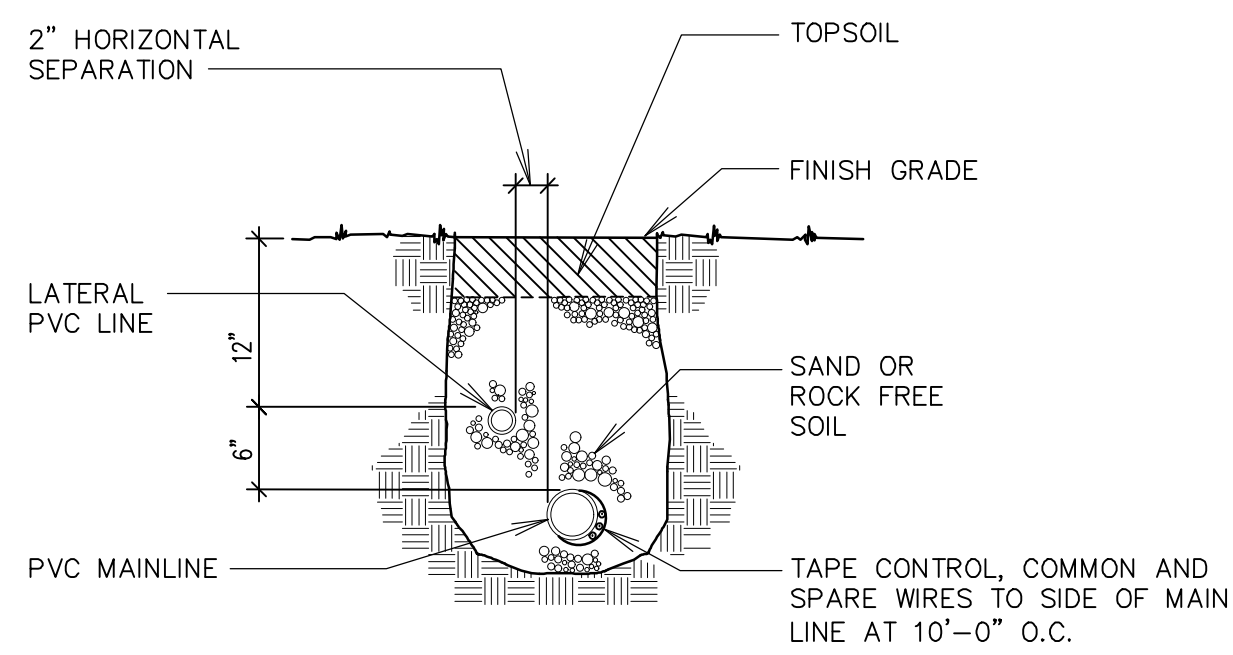
Project Number
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June 2, 2023

Sheet Title
**LANDSCAPE
DETAILS**

Sheet
L501

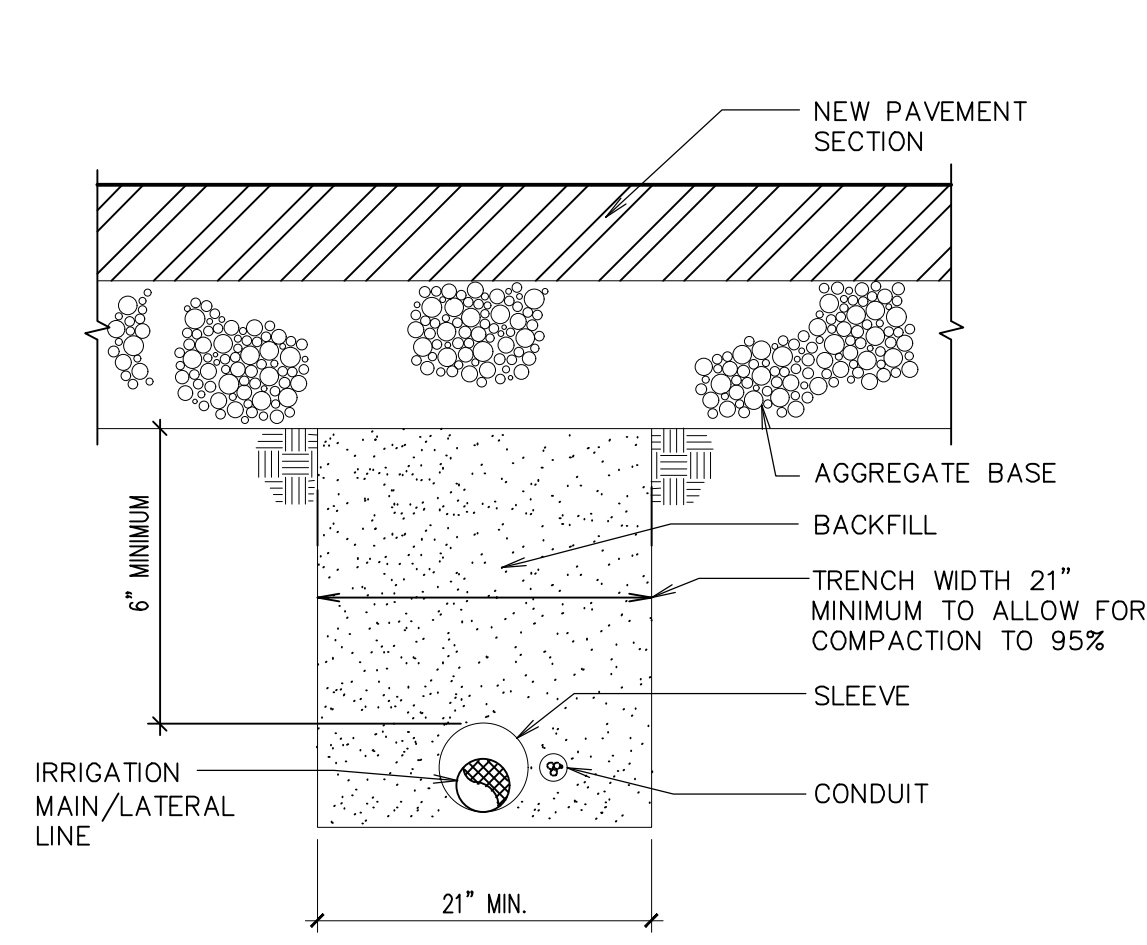
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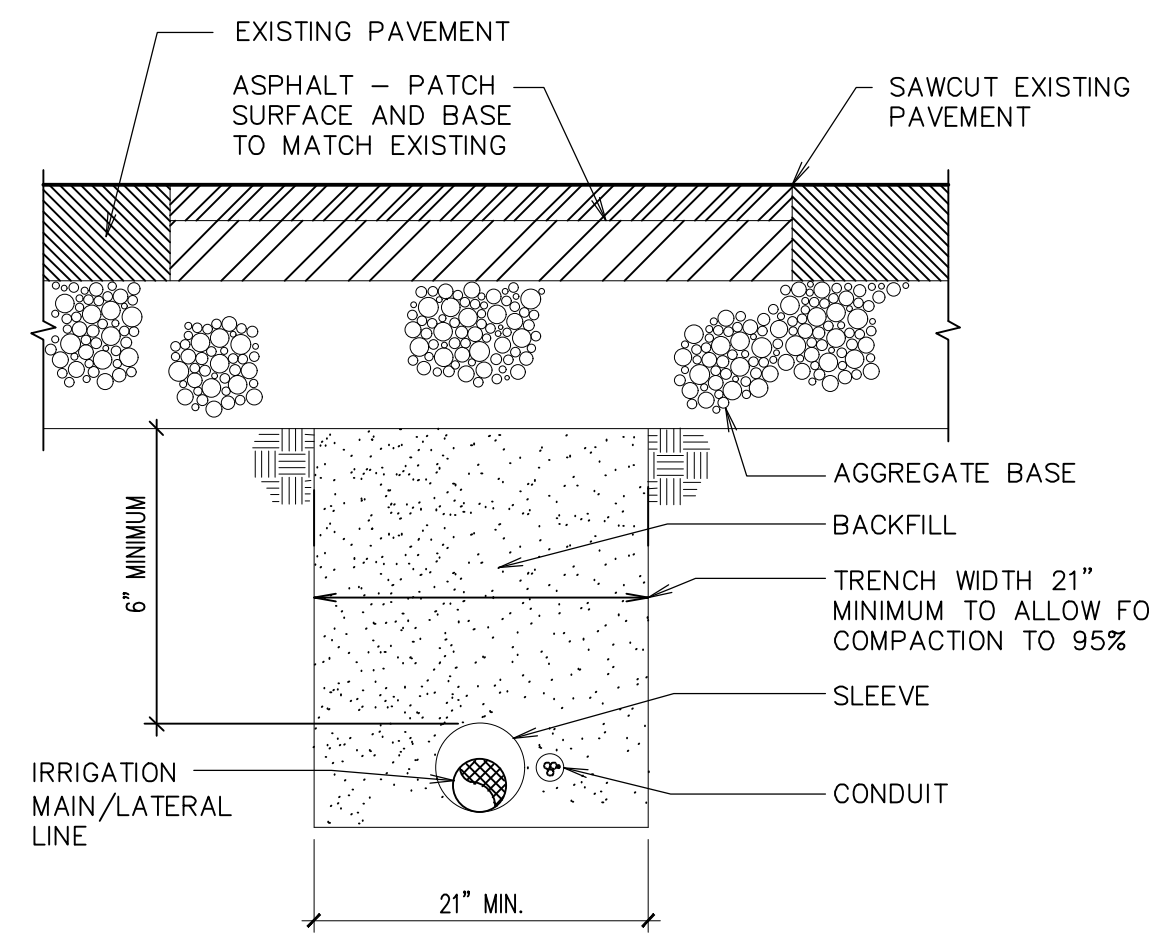
CONVENTIONAL WIRE SYSTEM

(A) TRENCH SECTION
NO SCALE



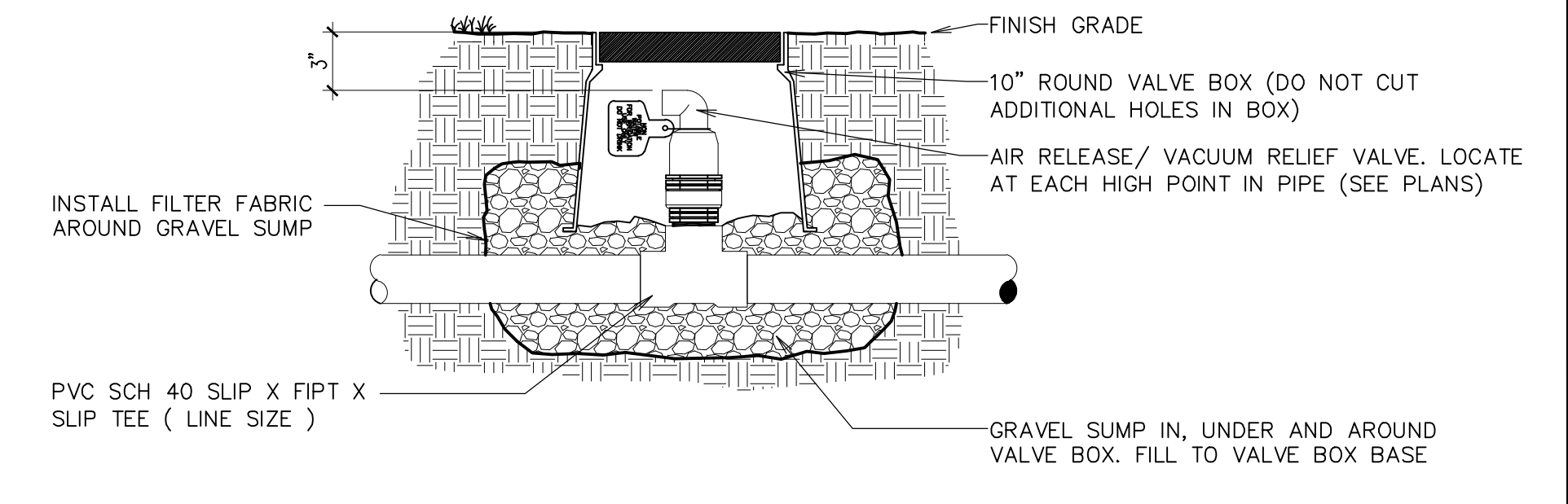
MISC. PIPE TRENCH DETAIL
NEW PAVEMENT AREAS

(B) NO SCALE



MISC. PIPE TRENCH DETAIL
EXIST. PAVEMENT AREAS

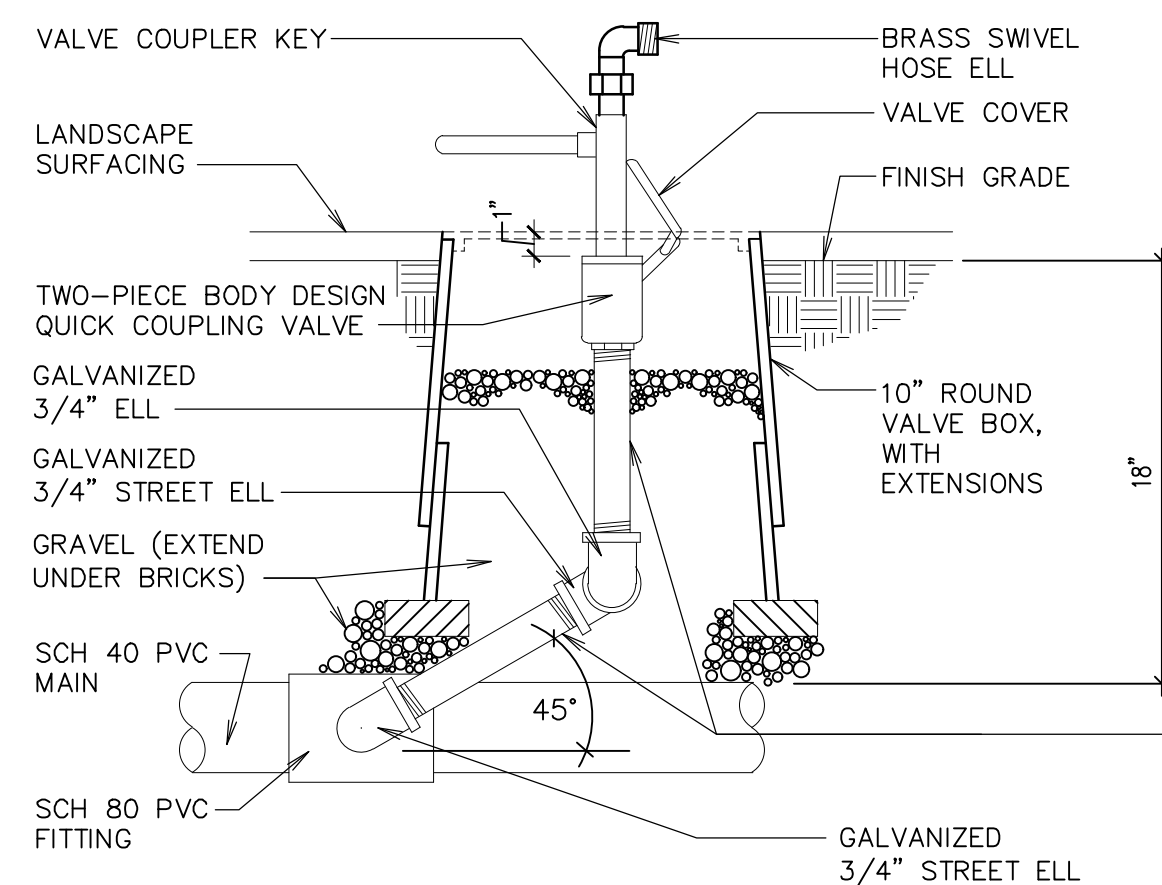
(C) NO SCALE



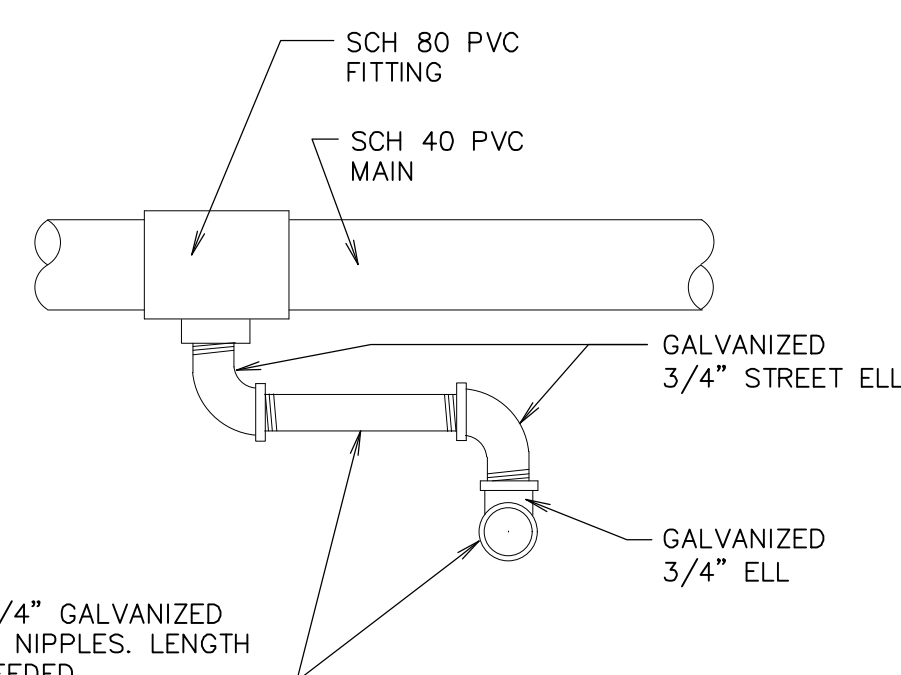
PRESSURE SUPPLY LINE
AIR RELEASE VALVE

(D) NO SCALE

USE AT EVERY HIGH SPOT

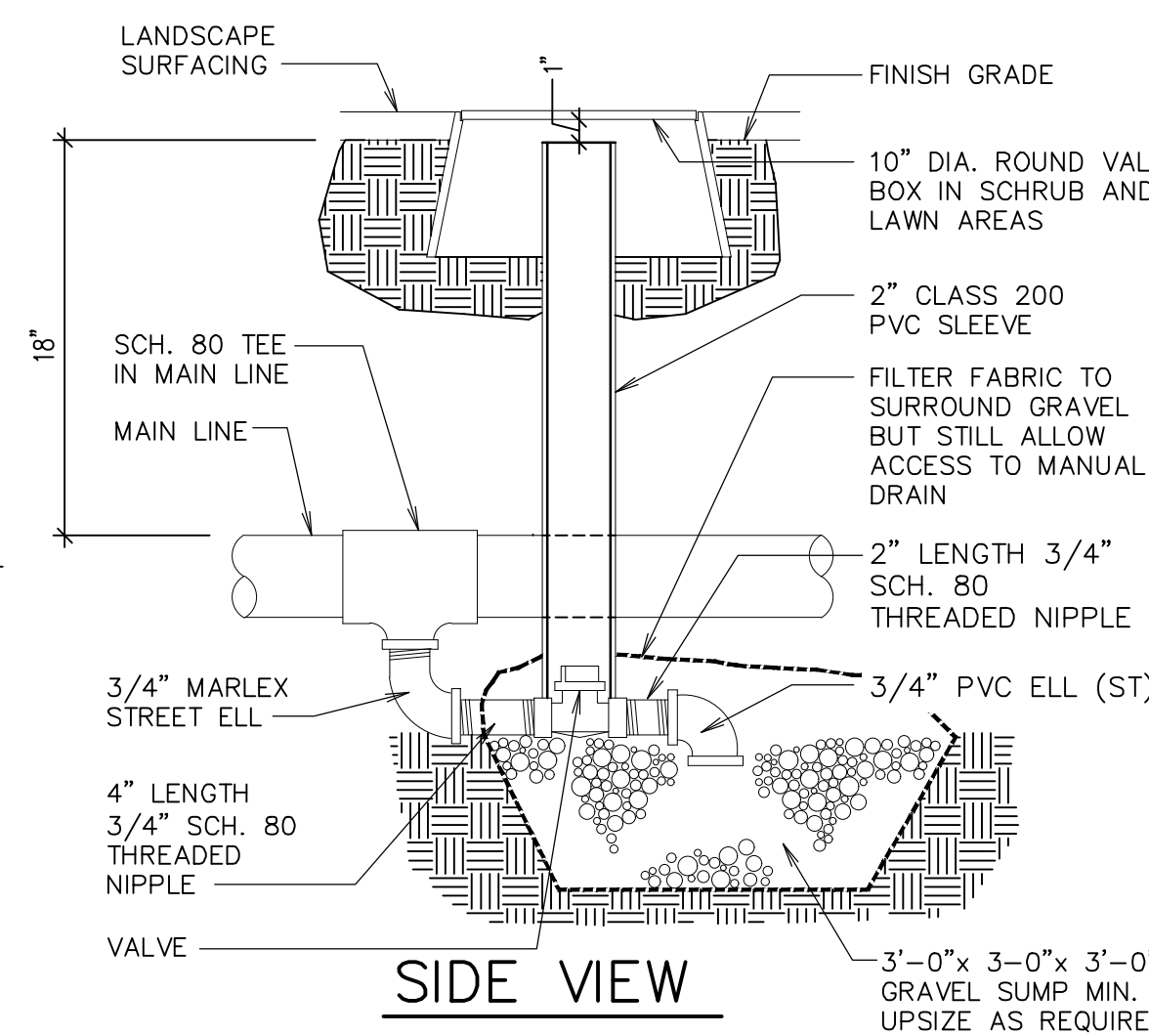


SIDE VIEW

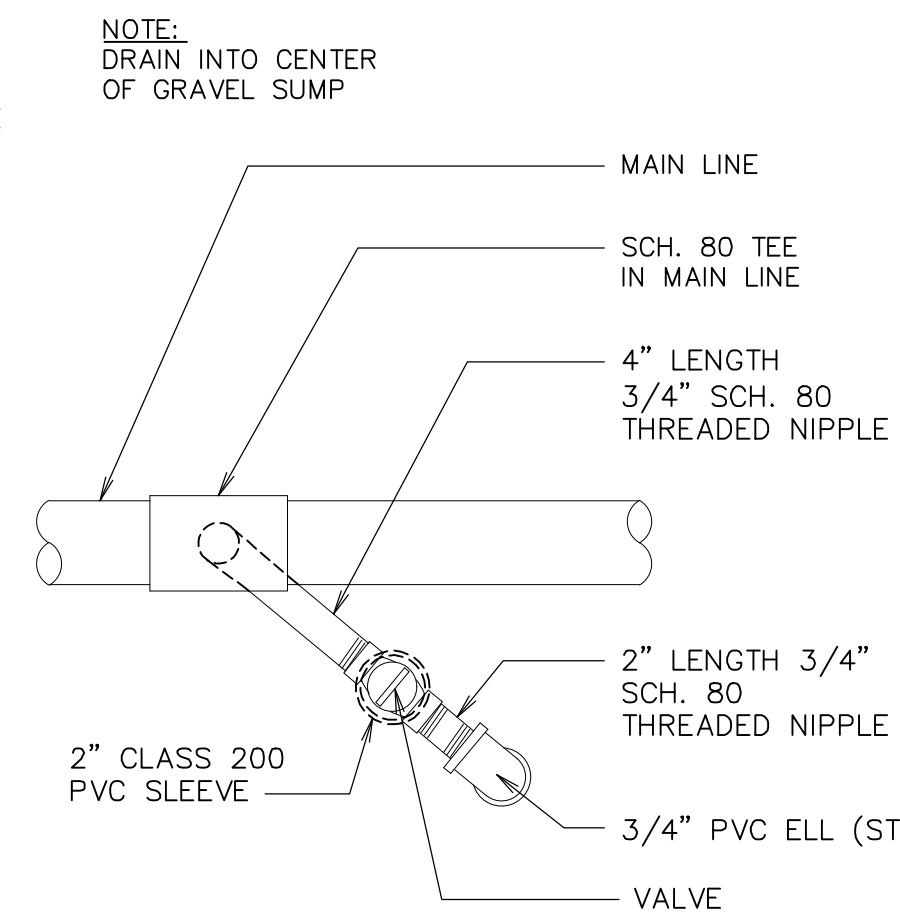


TOP VIEW

(E) QUICK COUPLING VALVE
NO SCALE



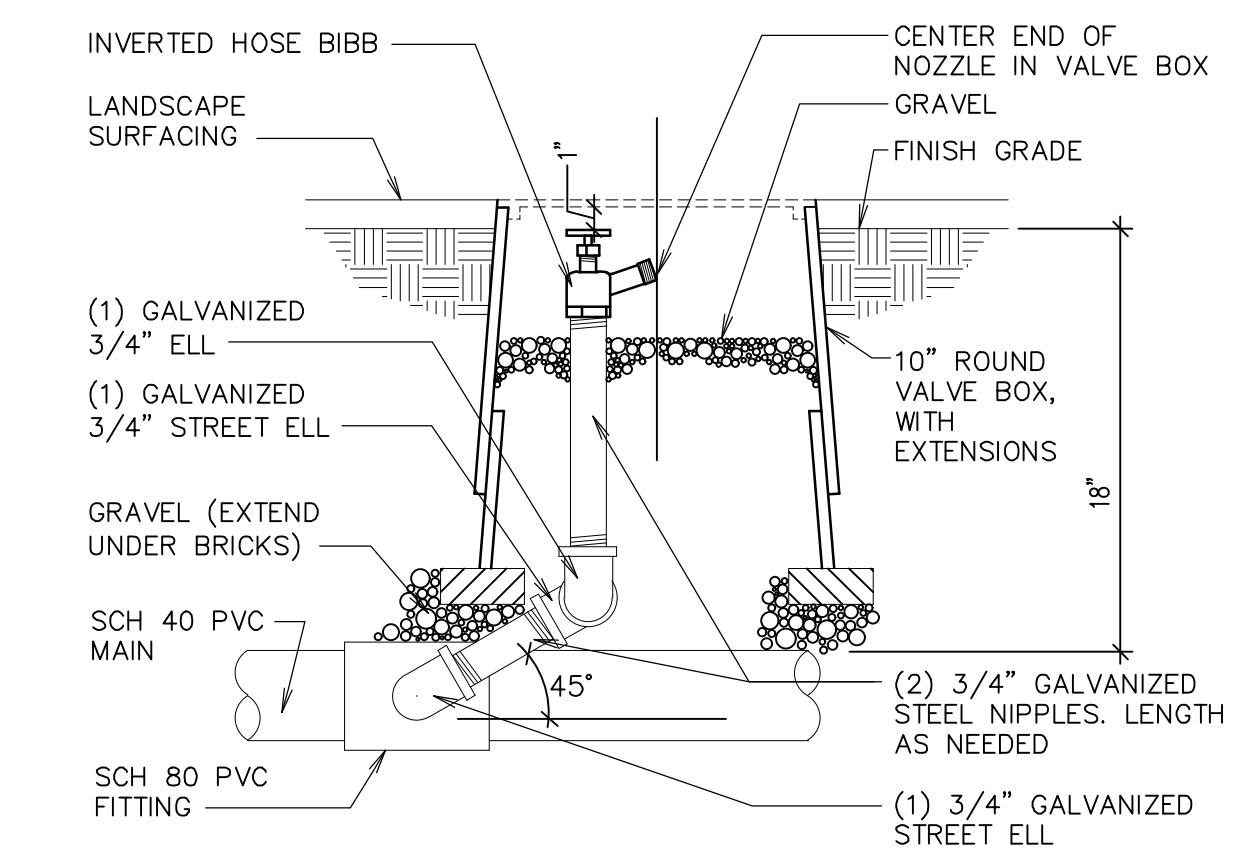
SIDE VIEW



TOP VIEW

(F) MAIN LINE MANUAL DRAIN VALVE
NO SCALE

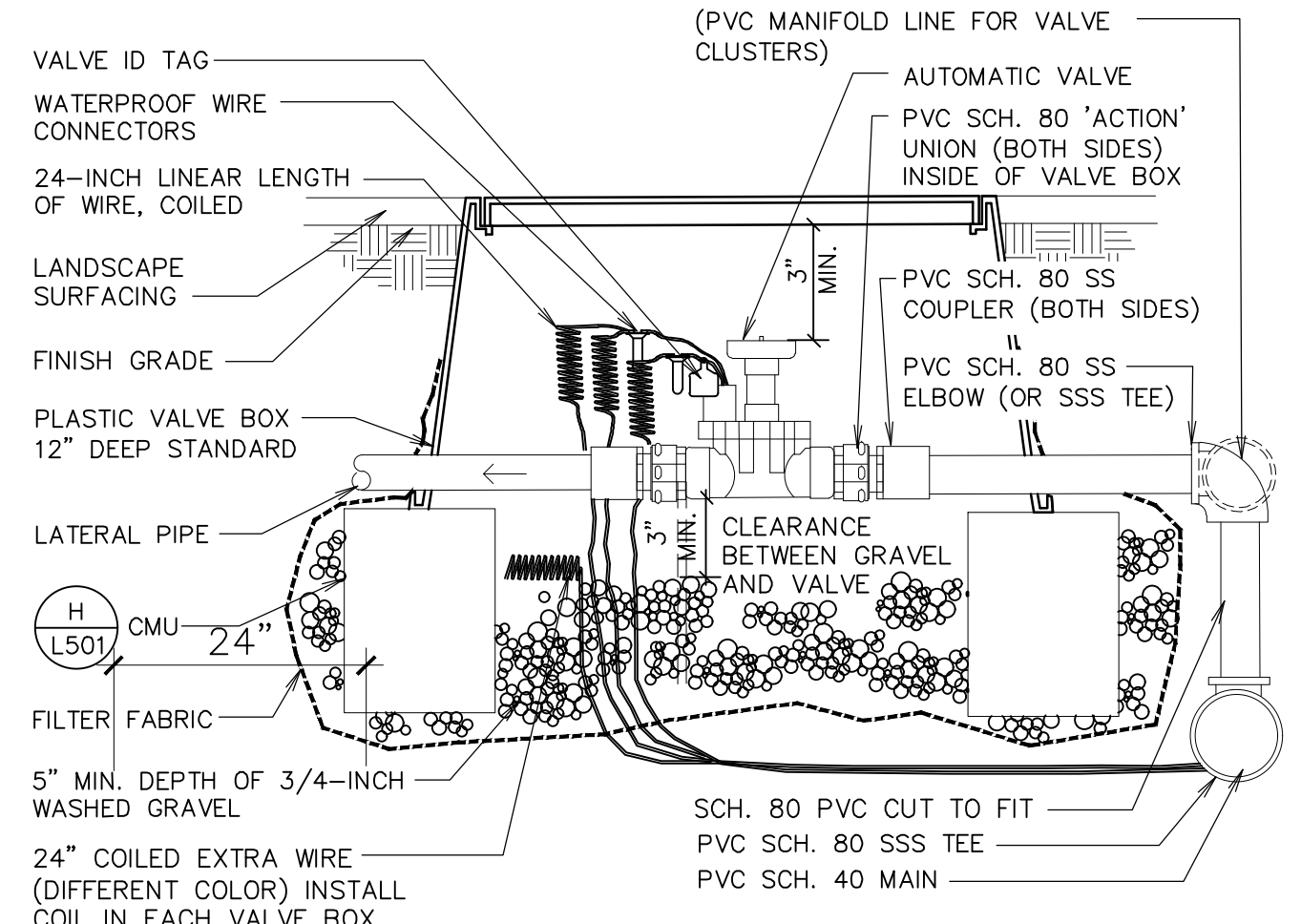
USE AT EVERY LOW SPOT ON MAINLINE



SIDE VIEW

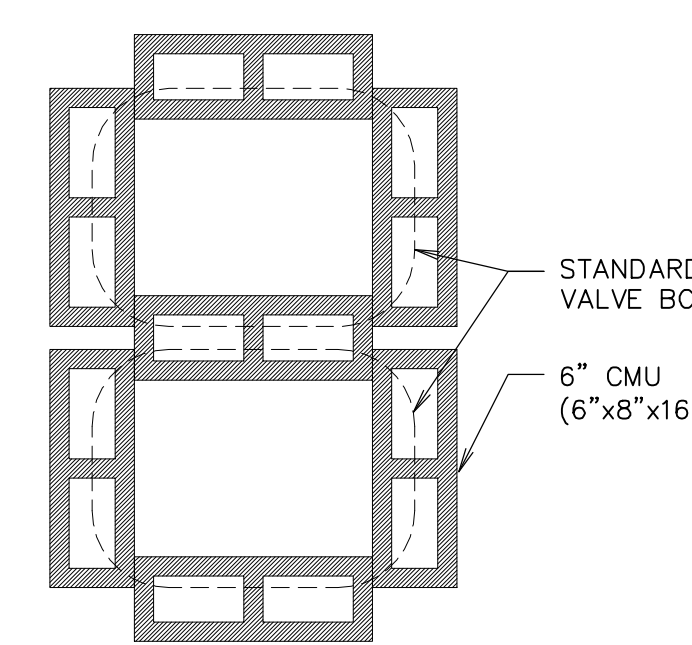
(G) HOSE BIB VALVE
NO SCALE

- NOTES:
1. LIMIT 1 VALVE PER BOX.
2. 10" MIN. LATERAL LINE DEPTH AT VALVE BOX, 12" MIN. LATERAL LINE DEPTH EVERYWHERE ELSE.
3. PROVIDE MIN. 2" CLEARANCE BETWEEN WIRE AND CMU BLOCK.

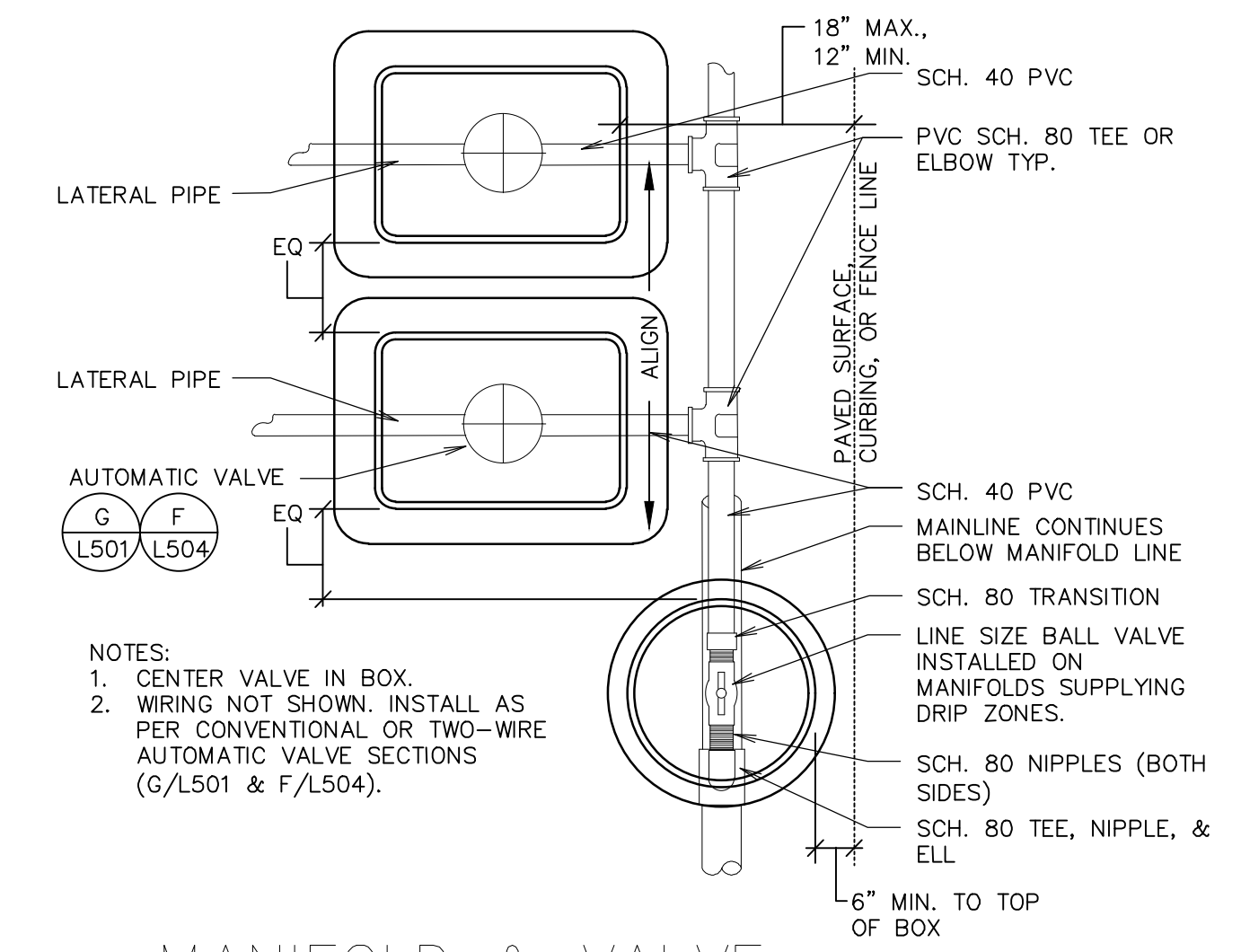


(H) AUTOMATIC VALVE WITH CONVENTIONAL WIRE SYSTEM
NO SCALE

- NOTES:
1. VALVE BOX TO REST ON (4) CMU BLOCKS (ONE FOR EACH SIDE).
2. CLUSTERED VALVE BOXES MAY SHARE A CMU BLOCK.

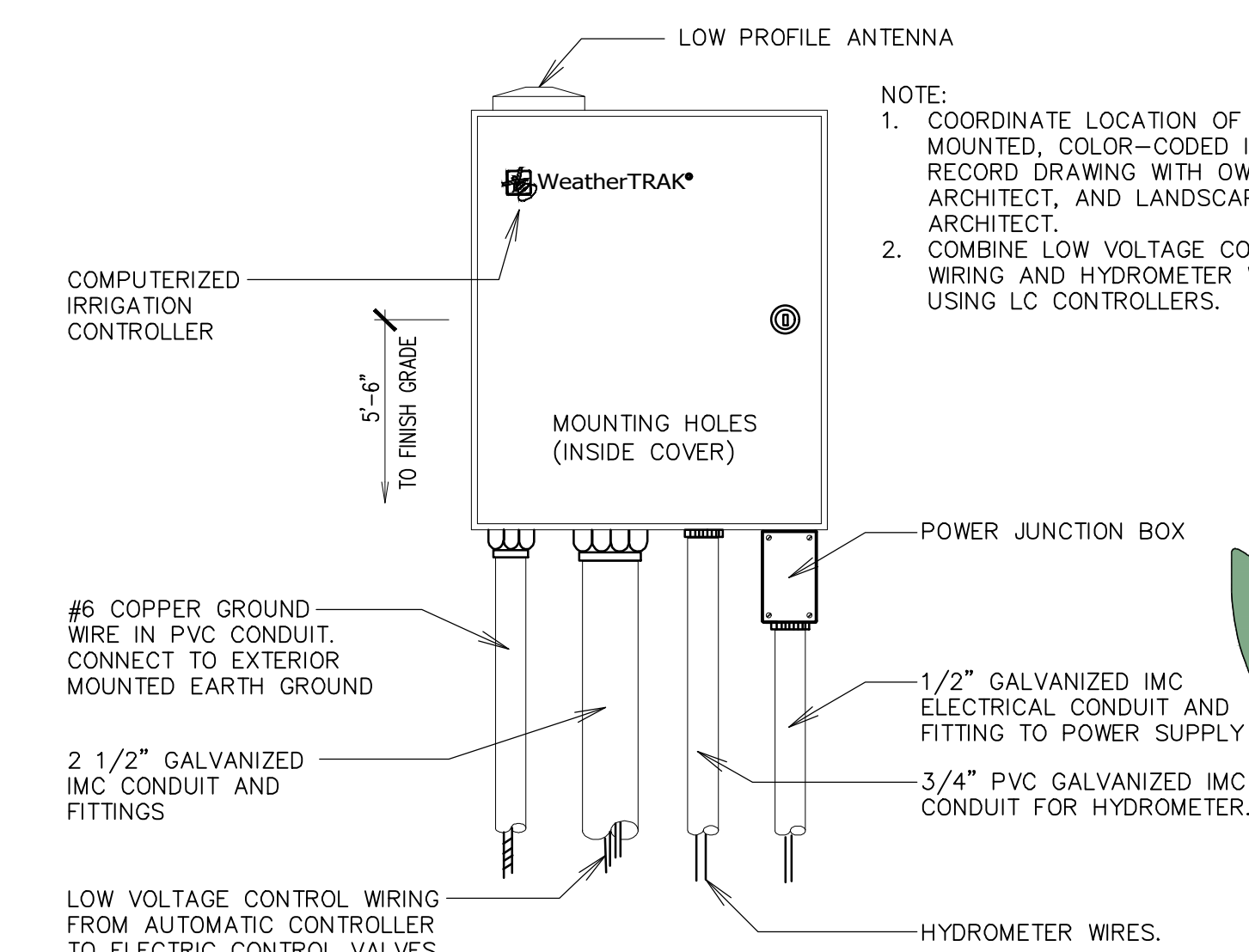


(I) CMU PLACEMENT
NO SCALE



(J) MANIFOLD & VALVE ASSEMBLY
NO SCALE

USE AT VALVE CLUSTERS



(K) SMART CONTROLLER
NO SCALE

- NOTE:
1. COORDINATE LOCATION OF LAMINATED, MOUNTED, COLOR-CODED IRRIGATION RECORD DRAWING WITH OWNER, ARCHITECT, AND LANDSCAPE ARCHITECT.
2. COMBINE LOW VOLTAGE CONTROL WIRING AND HYDROMETER WIRES WHEN USING LC CONTROLLERS.

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LANDSCAPE ARCHITECT
STATE OF UTAH
812817-5301
04/18/2023

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date	Mark

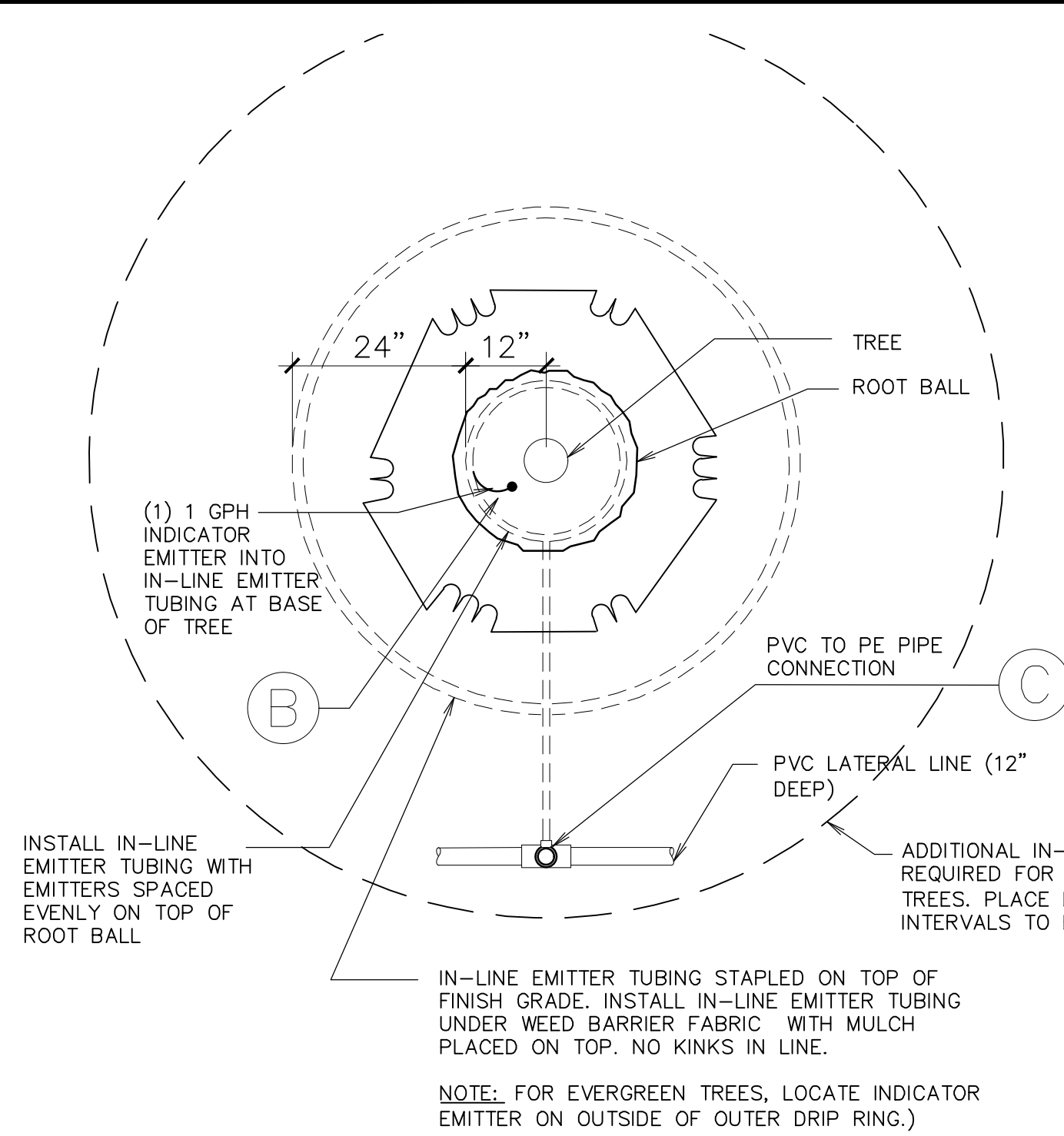
Project Number
UT23007 (22-59)
Plan Series
Seminary 2-Classroom
Property Number
502-1091-2202101
Date
June 2, 2023

Sheet Title

IRRIGATION DETAILS

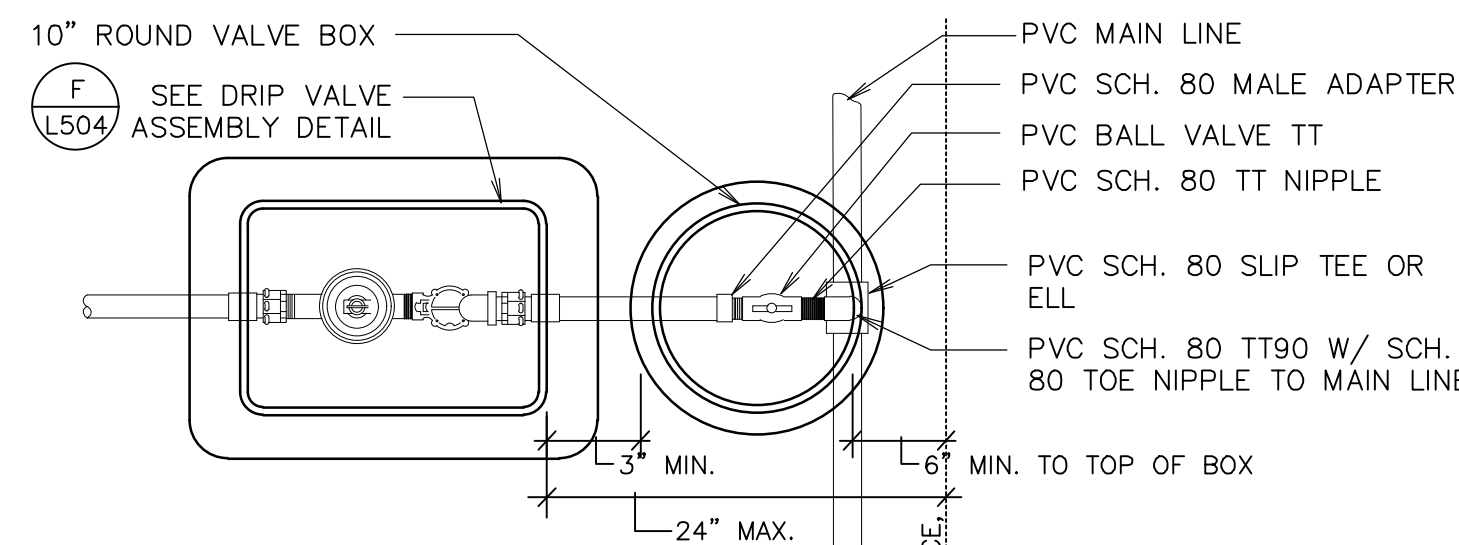
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L502



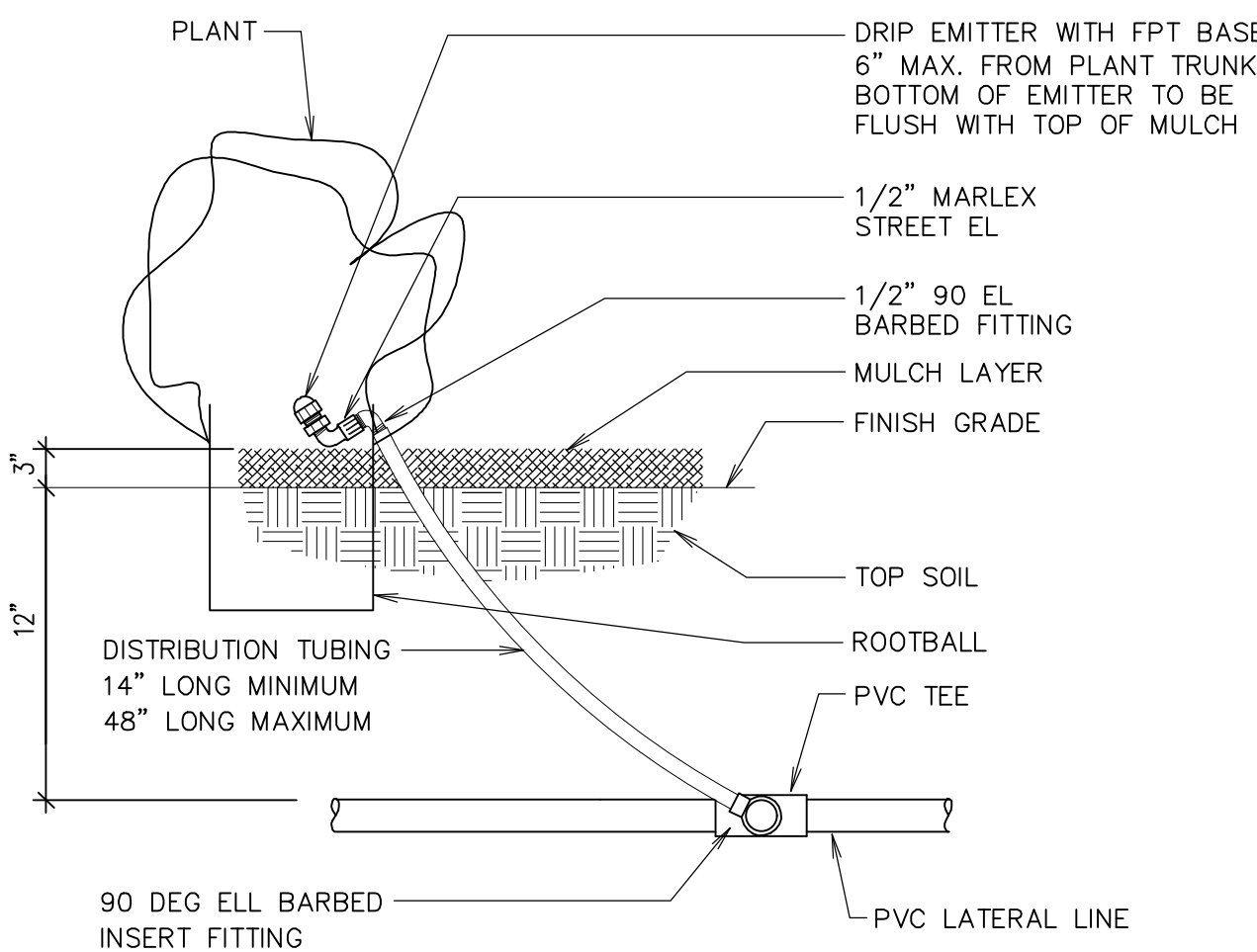
L TREE DRIP-PLAN VIEW (Planter Areas)
NO SCALE

NOTE: ALL FITTINGS TO INLINE DRIP TUBING TO BE COMPRESSION FITTINGS. IF MALE INSERTS ARE NEEDED, INSTALL WITH OETICKER CLAMPS.

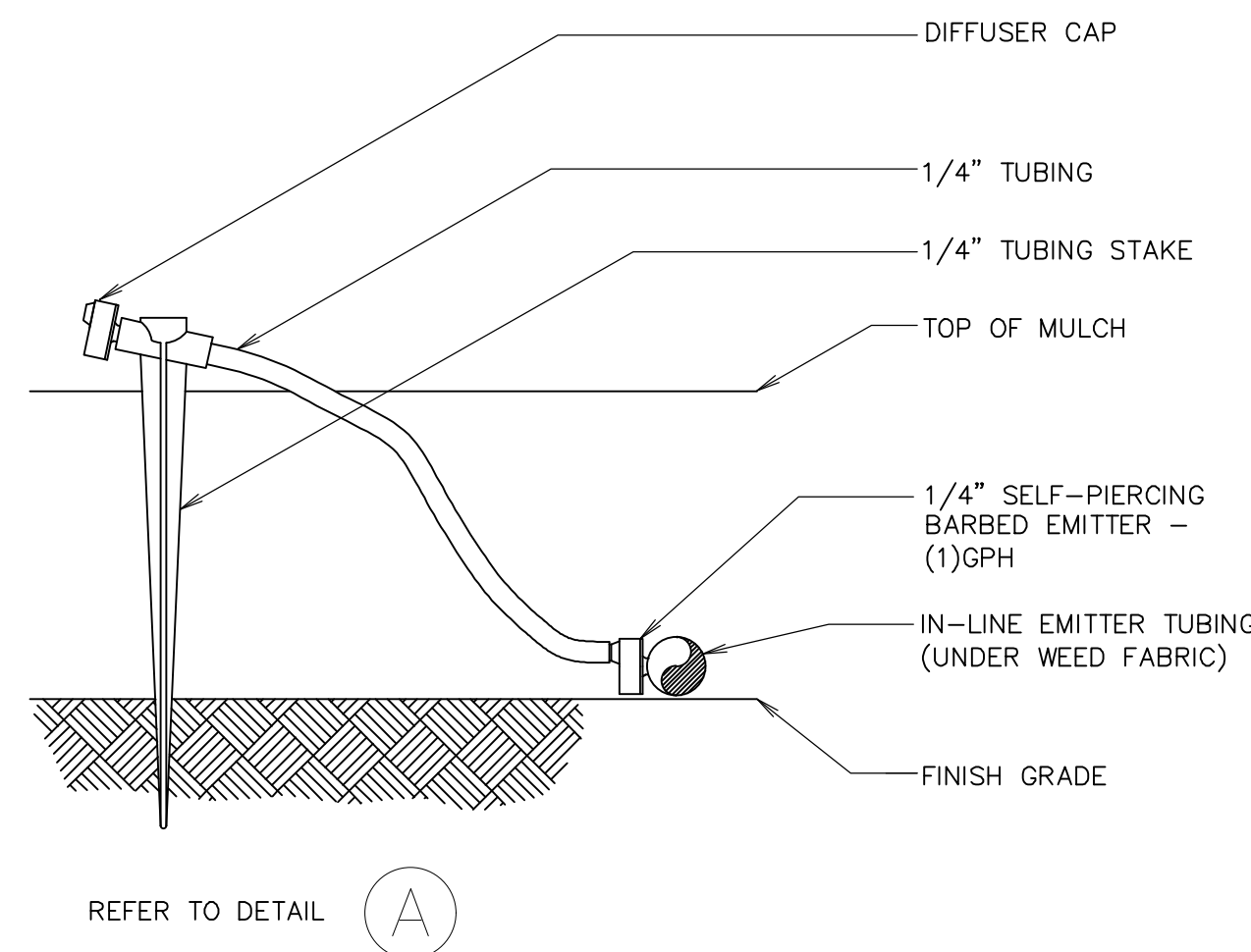


NOTE:
1. PROVIDE BALL VALVE PER THIS DETAIL FOR SINGLE DRIP VALVE ASSEMBLY. IF MULTIPLE VALVES INSTALL PER 1/1501 WIRING NOT SHOWN, INSTALL AS PER CONVENTIONAL OR TWO-WIRE AUTOMATIC VALVE SECTIONS (F/L504)
2. WIRING NOT SHOWN, INSTALL AS PER CONVENTIONAL OR TWO-WIRE AUTOMATIC VALVE SECTIONS (F/L504)

P DRIP VALVE ASSEMBLY
NO SCALE

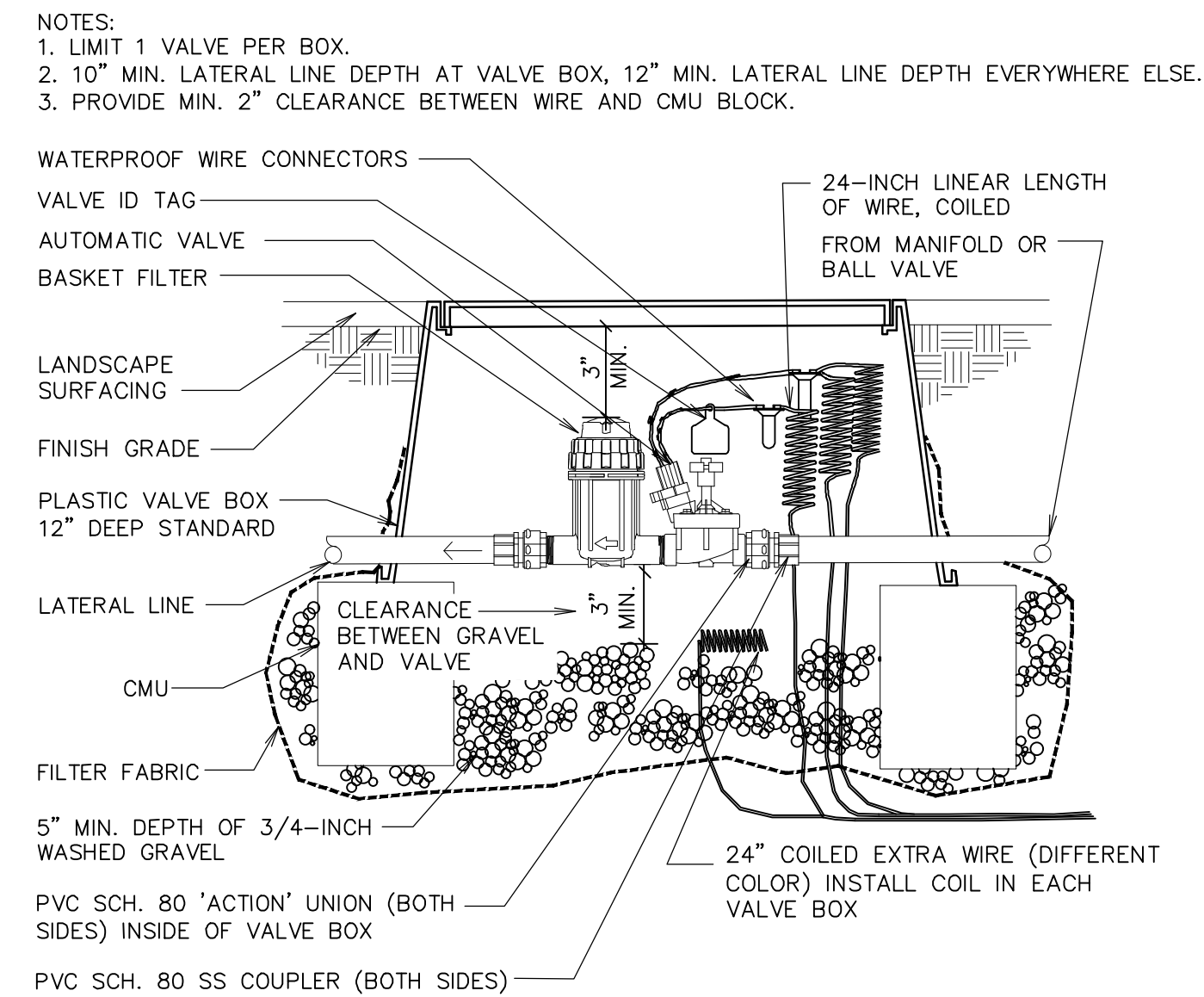


T DRIP EMITTER
1 1/2" = 1'-0"

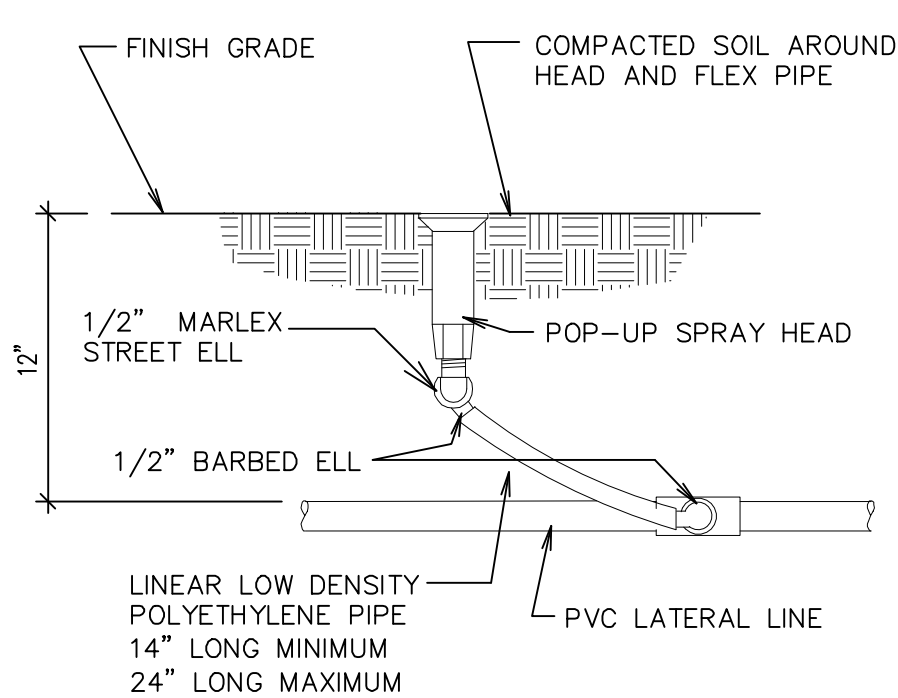


M INDICATOR EMITTER
NO SCALE

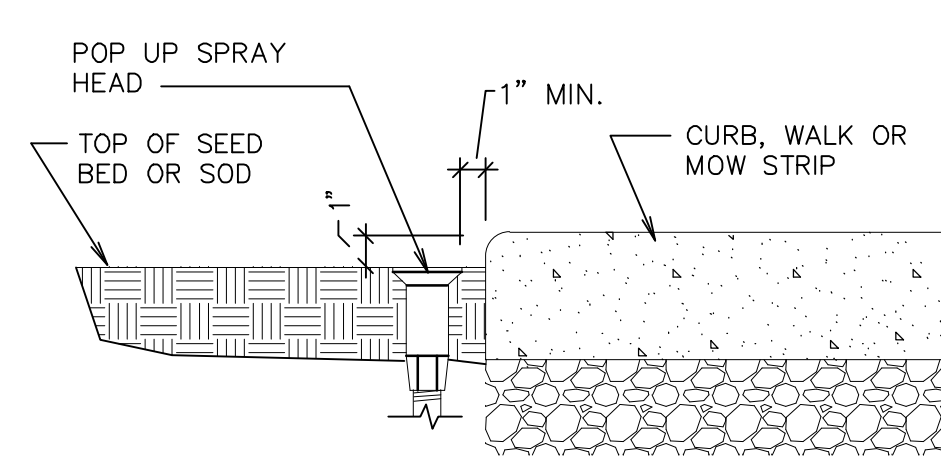
NOTE:
1. CONNECT SELF-PIERCING EMITTER DIRECTLY INTO IN-LINE EMITTER TUBING.
2. THIS IS AN INDICATOR ONLY EMITTER TO BE USED AT EACH TREE RING AND AREA WHERE IN-LINE EMITTER TUBING IS INSTALLED.
3. 1/4\"/>



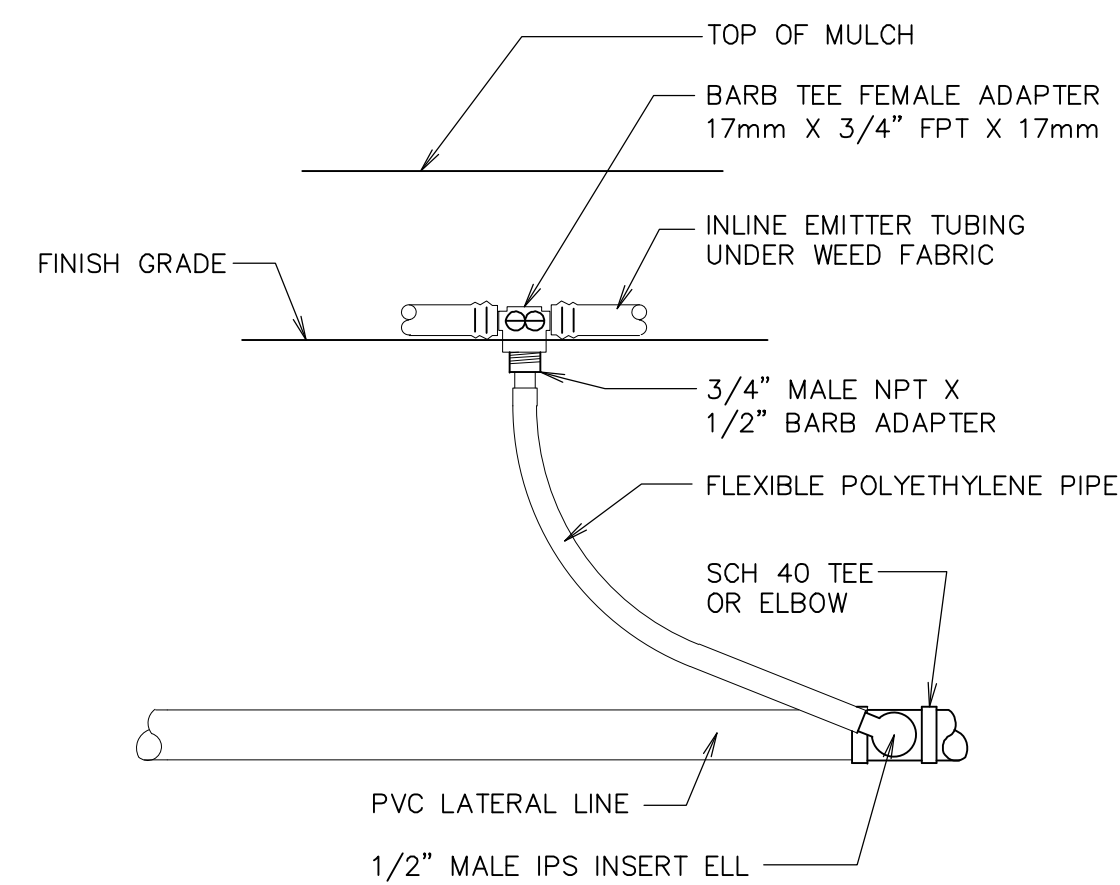
Q DRIP VALVE ASSEMBLY-SECTION CONVENTIONAL WIRE SYSTEM
NO SCALE



U SPRAY AND ROTARY HEAD ASSEMBLY
NO SCALE

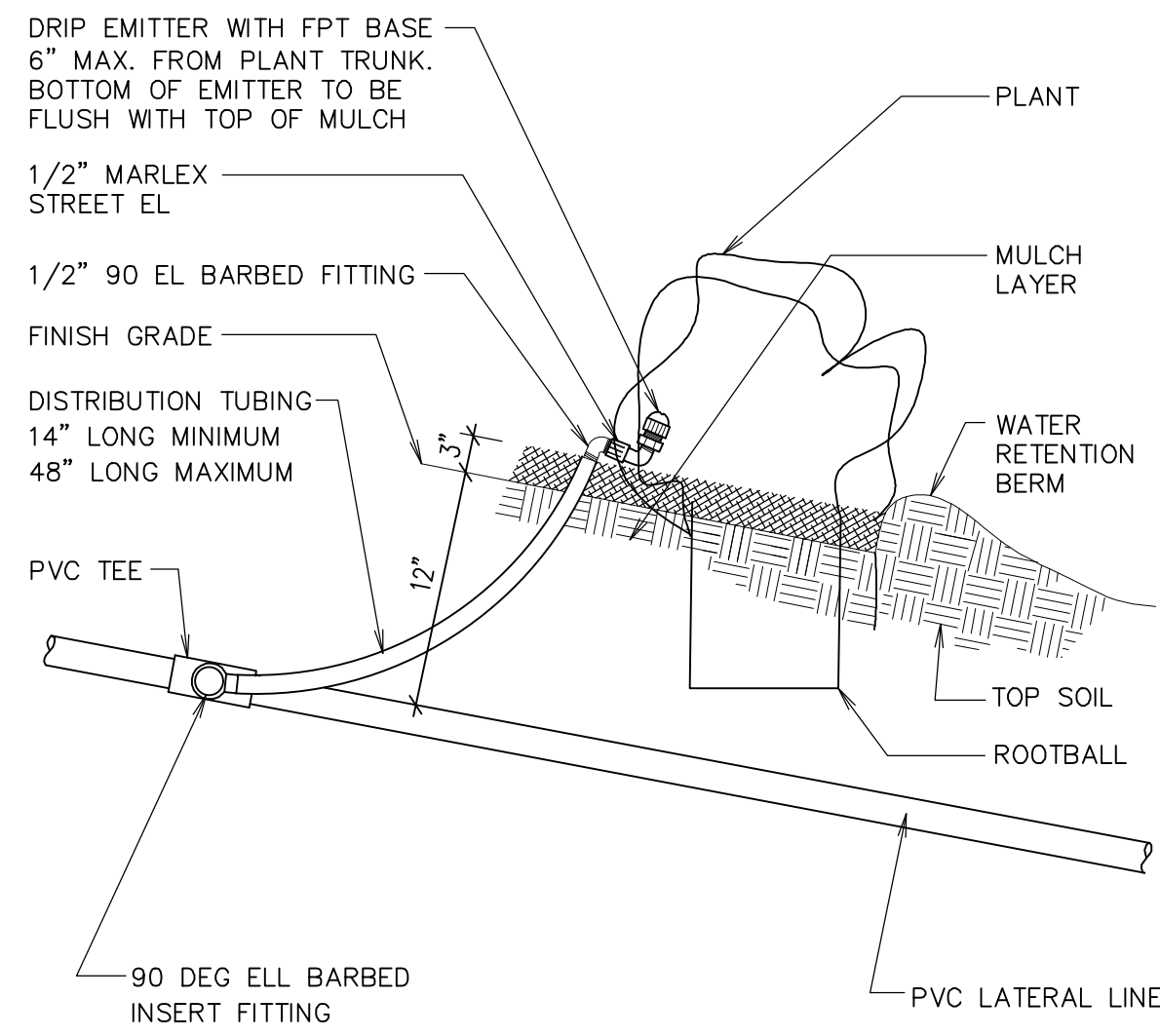


V SPRAY HEAD OR ROTOR NEXT TO CURB OR WALK
NO SCALE

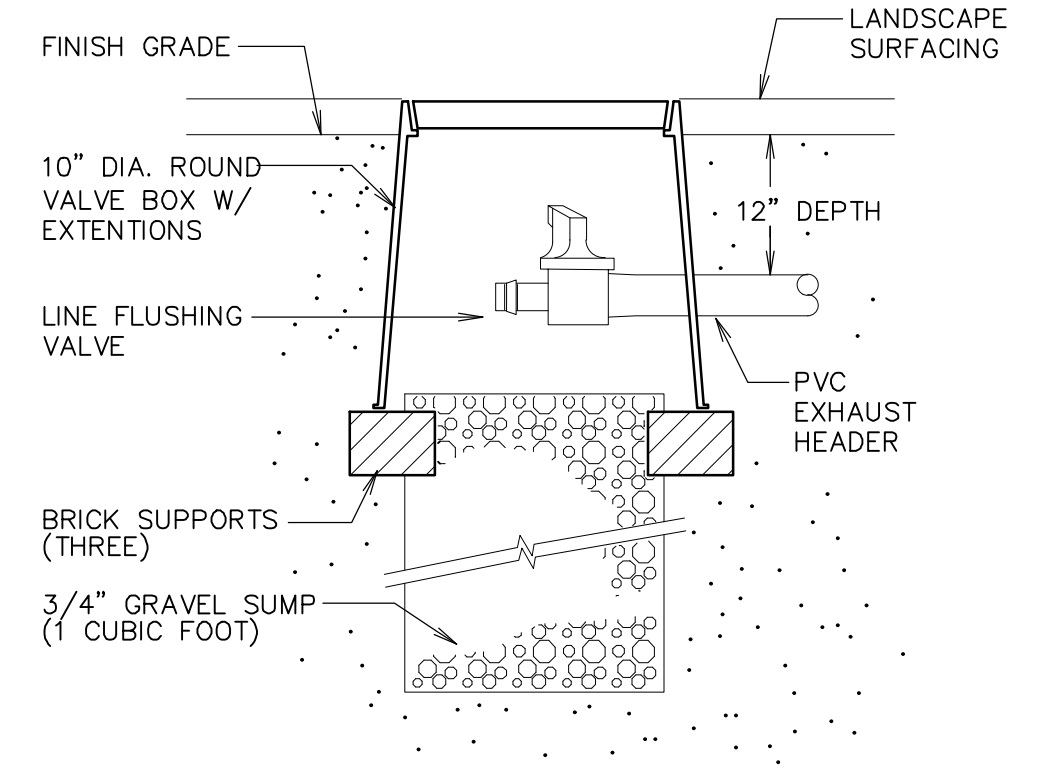


N PVC TO IN-LINE EMITTER
NO SCALE

NOTE:
1. USE AT TREE RINGS ONLY.

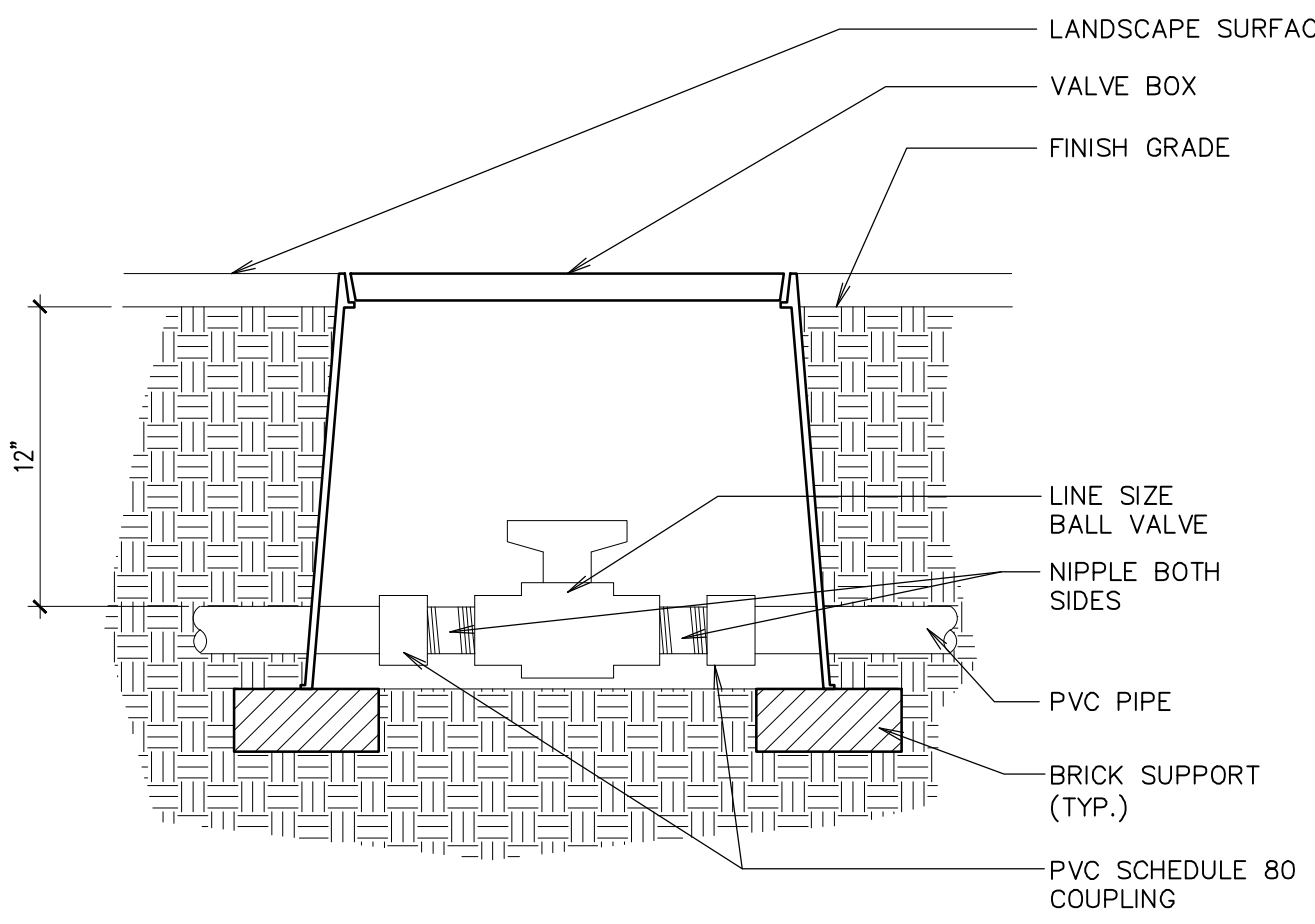


R DRIP EMITTER
NO SCALE

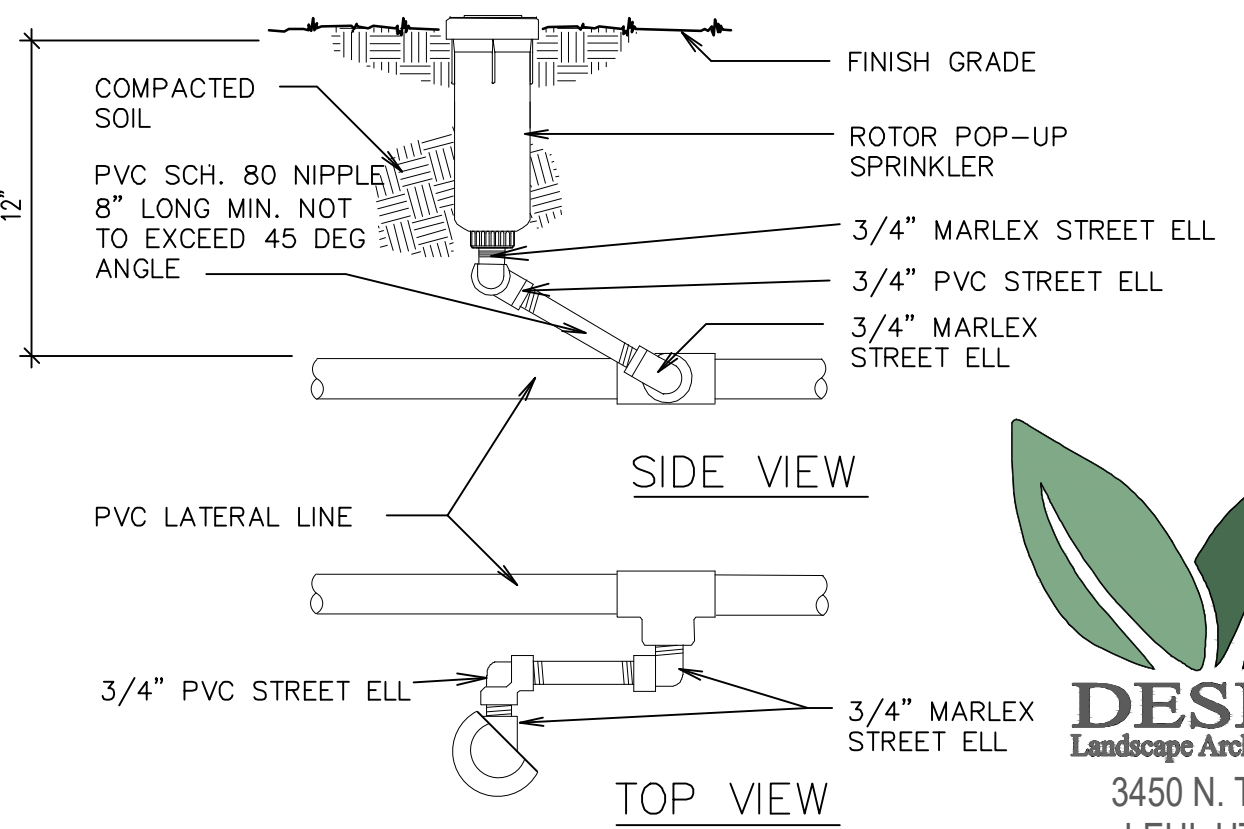


O INLINE DRIP FLUSH VALVE
NO SCALE

NOTE:
INSTALL DRIP FLUSH VALVE ONLY AT LOW POINT OF EACH DRIP ZONE



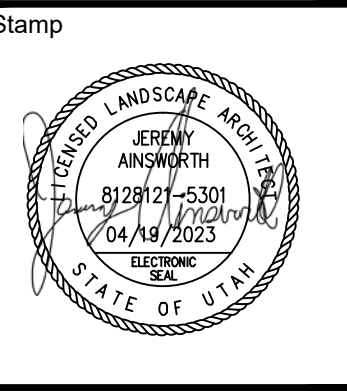
S ISOLATION VALVE
NO SCALE



W ROTOR POP-UP HEAD
NO SCALE

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Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Description	Date

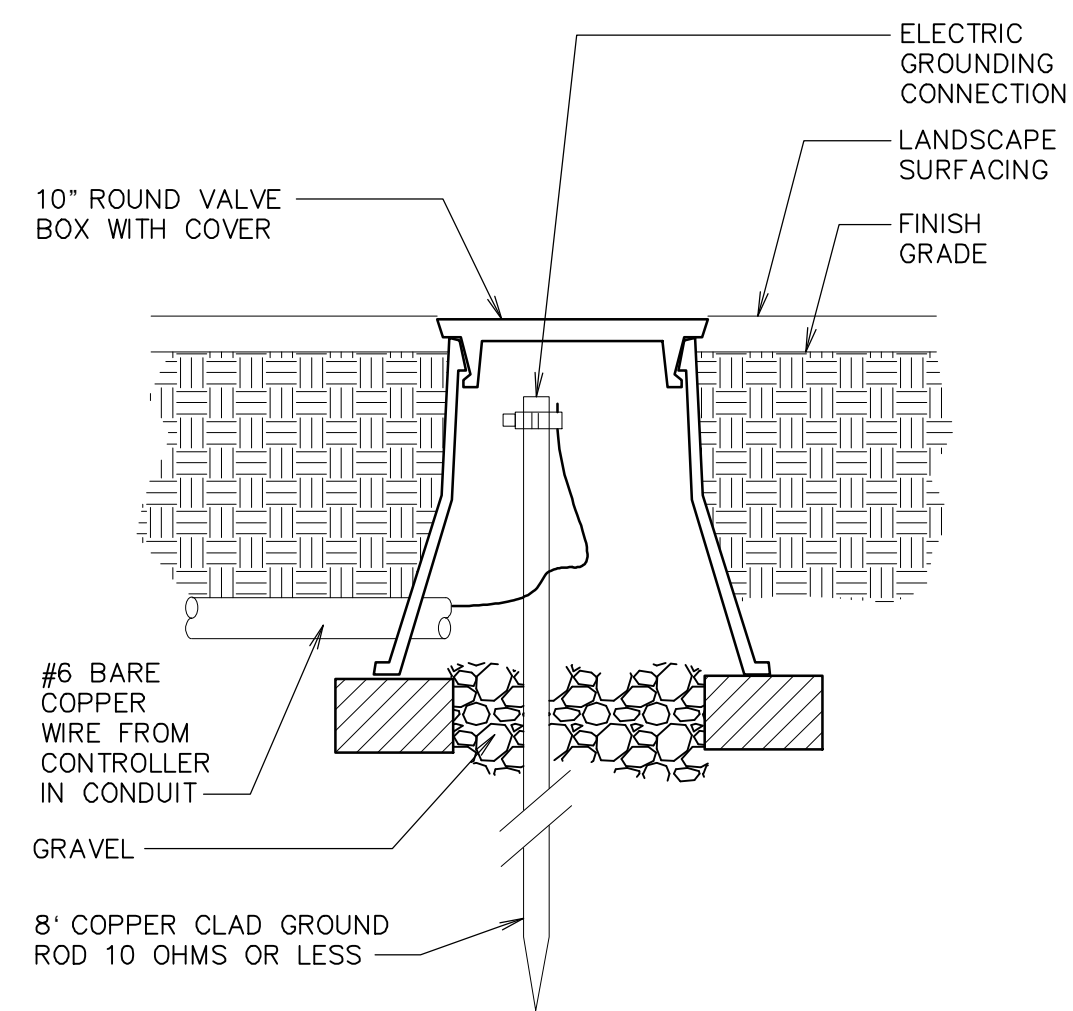
Project Number: UT23007 (22-59)
Plan Series: Seminary 2-Classroom
Property Number: 502-1091-22020101
Date: June 2, 2023

Sheet Title

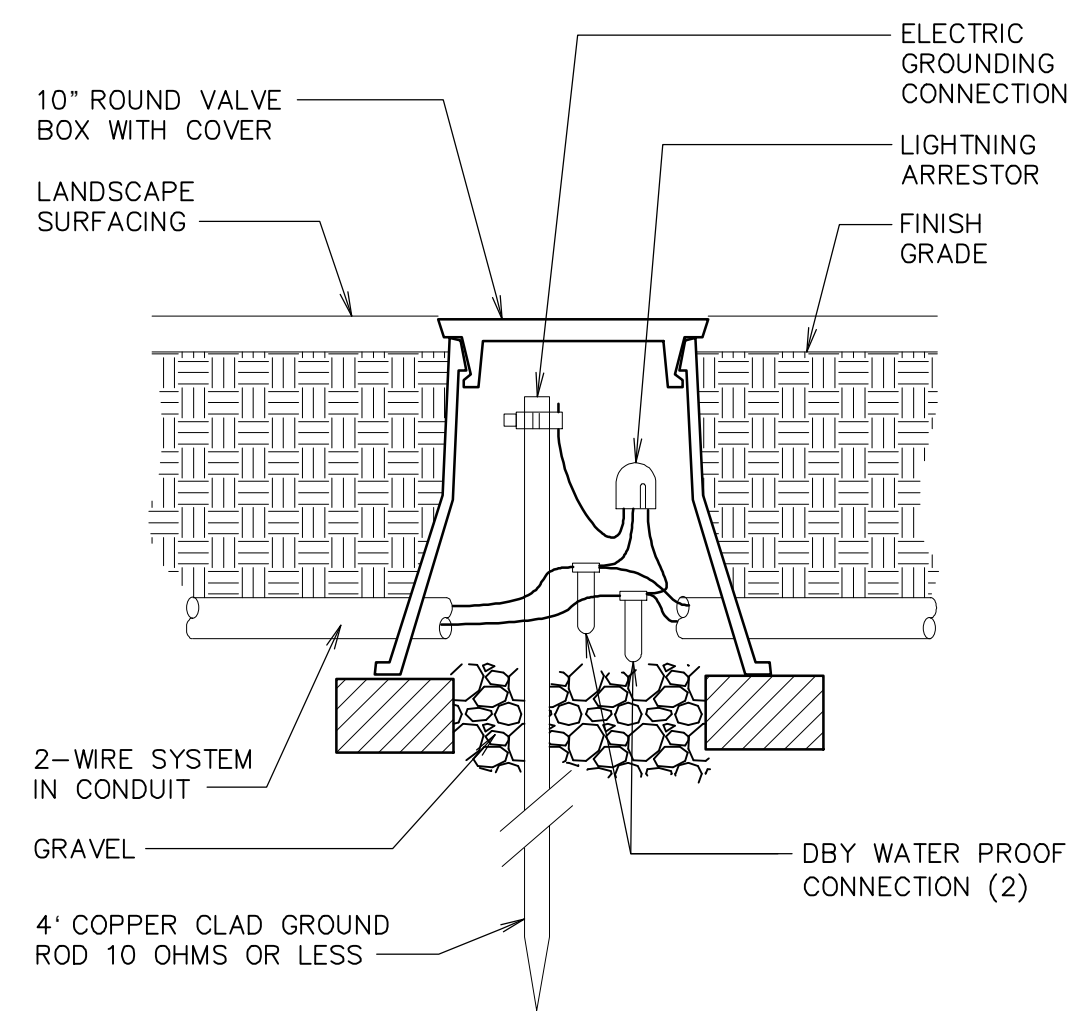
IRRIGATION DETAILS

Sheet

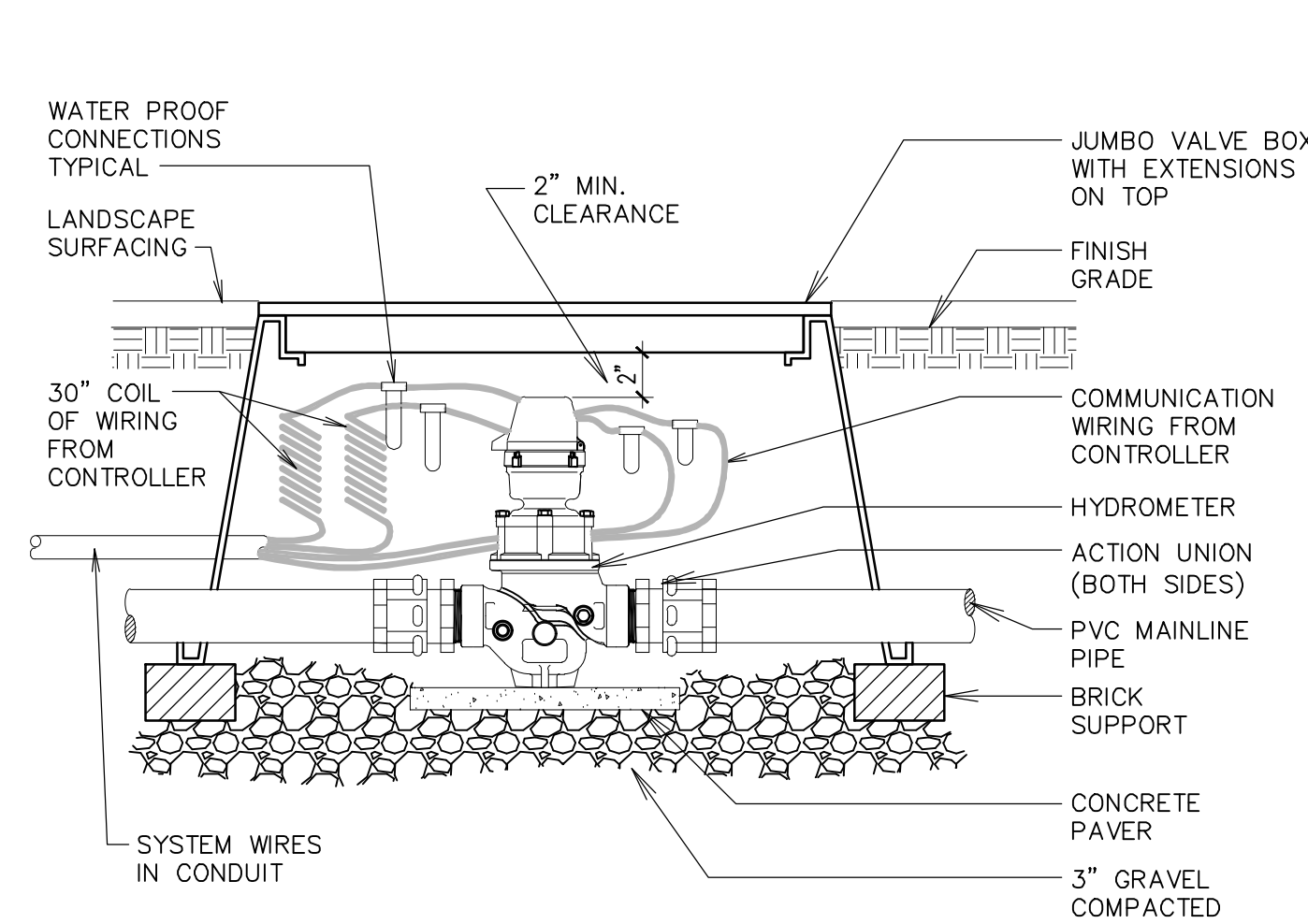
L503



X LIGHTNING GROUNDING ROD
NO SCALE

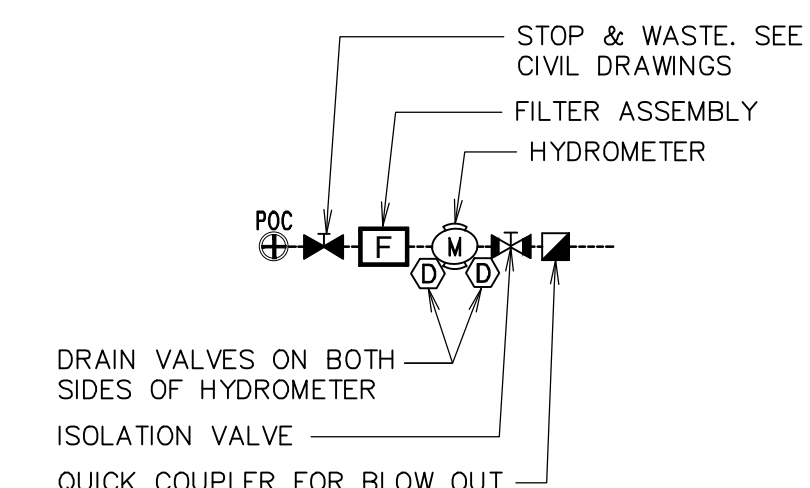


Y LIGHTNING ARRESTOR
NO SCALE (TWO-WIRE SYSTEM)

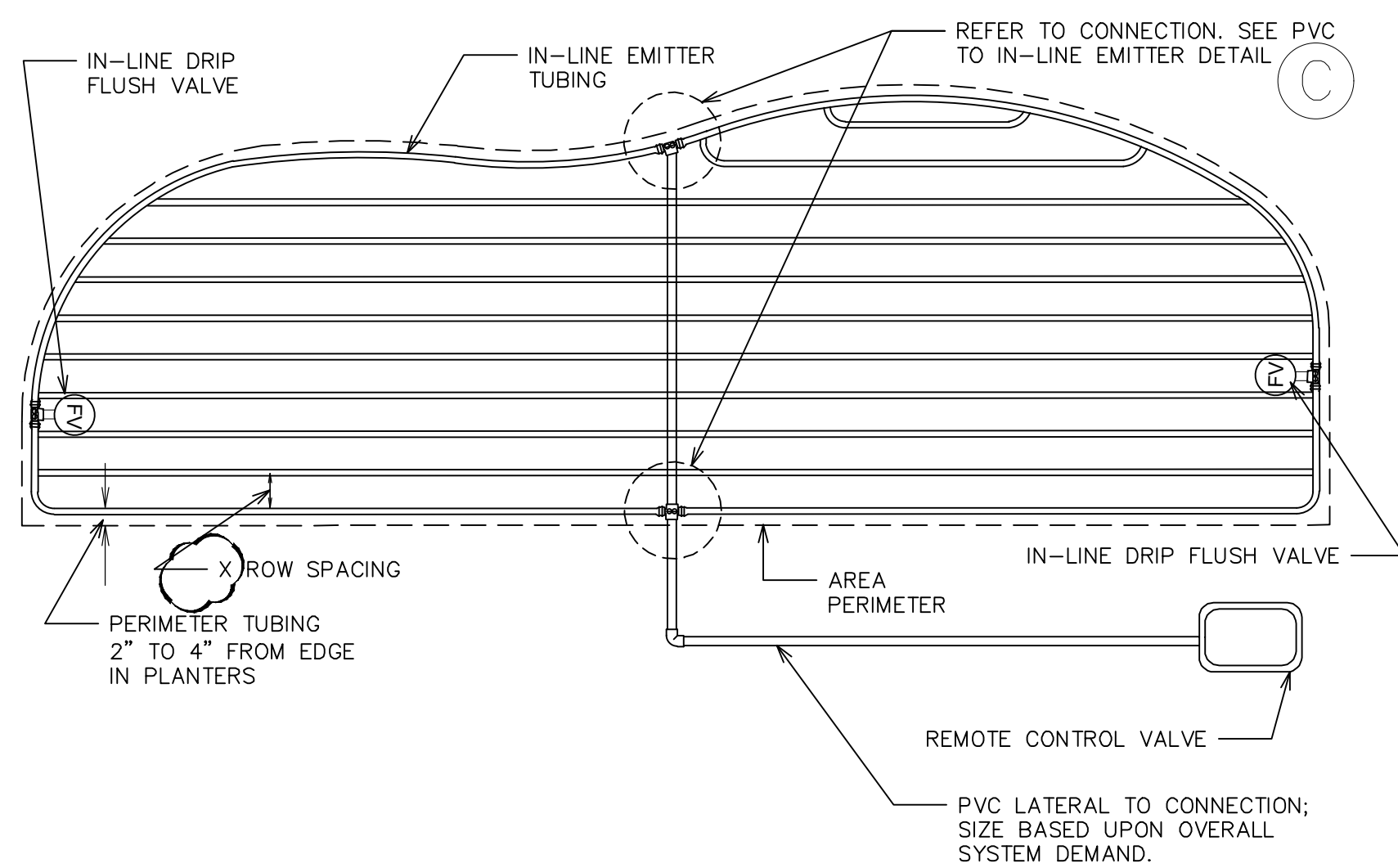


Z HYDROMETER
NO SCALE

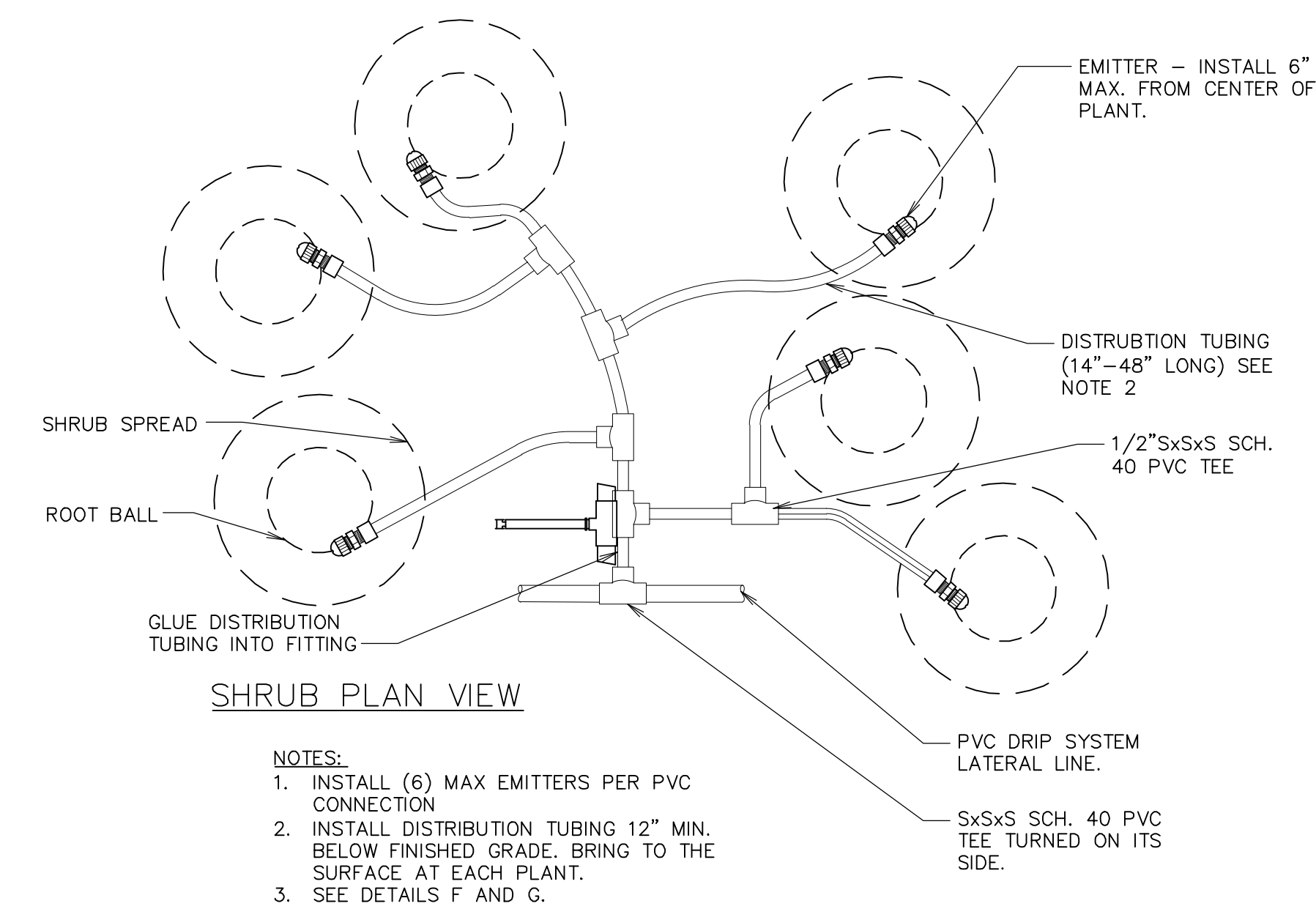
NOTE:
INSTALL ISOLATION VALVE AFTER THE HYDROMETER
AND BEFORE THE QUICK COUPLER. THE HYDROMETER
IS TO BE DRAINED MANUALLY.



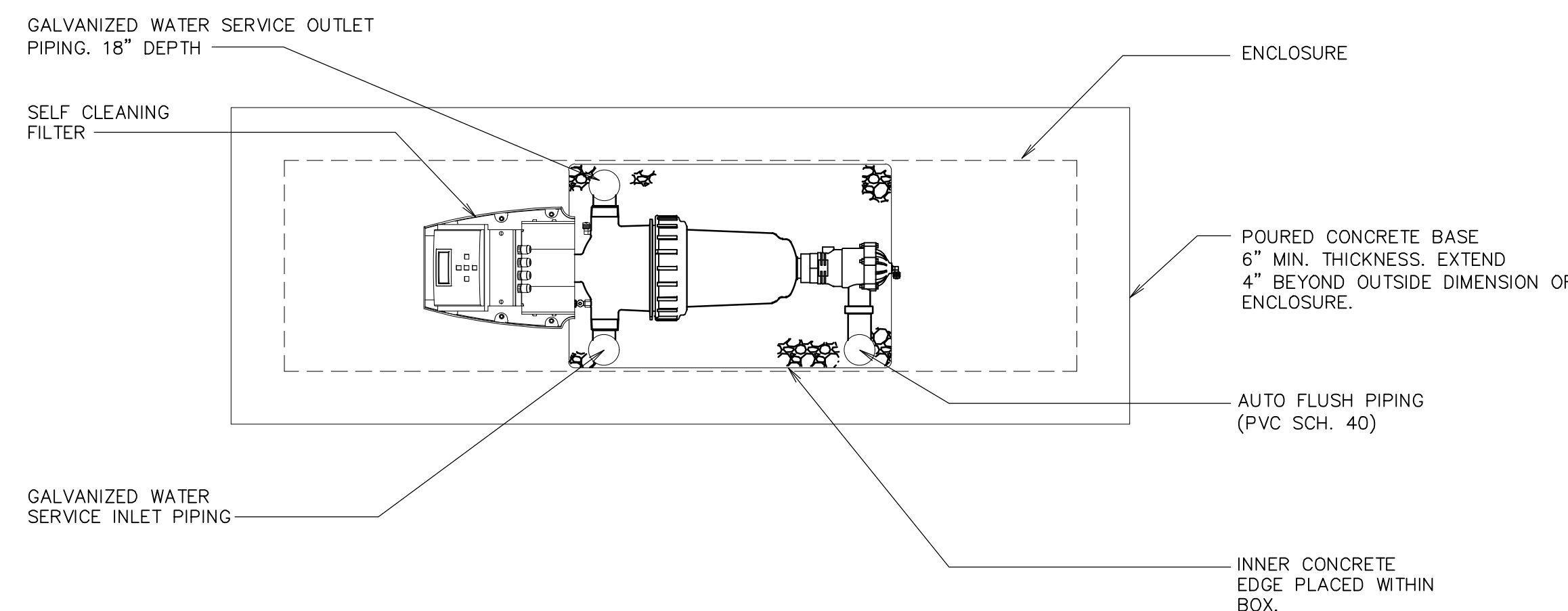
AA FILTER ASSEMBLY
NO SCALE



BB IN-LINE LAYOUT PLANTER
NO SCALE
NOTE: FITTINGS TO INLINE DRIP TUBING TO BE INSERT FITTINGS. USE OETICKER CLAMPS FOR NON-NETAFIM FITTINGS.

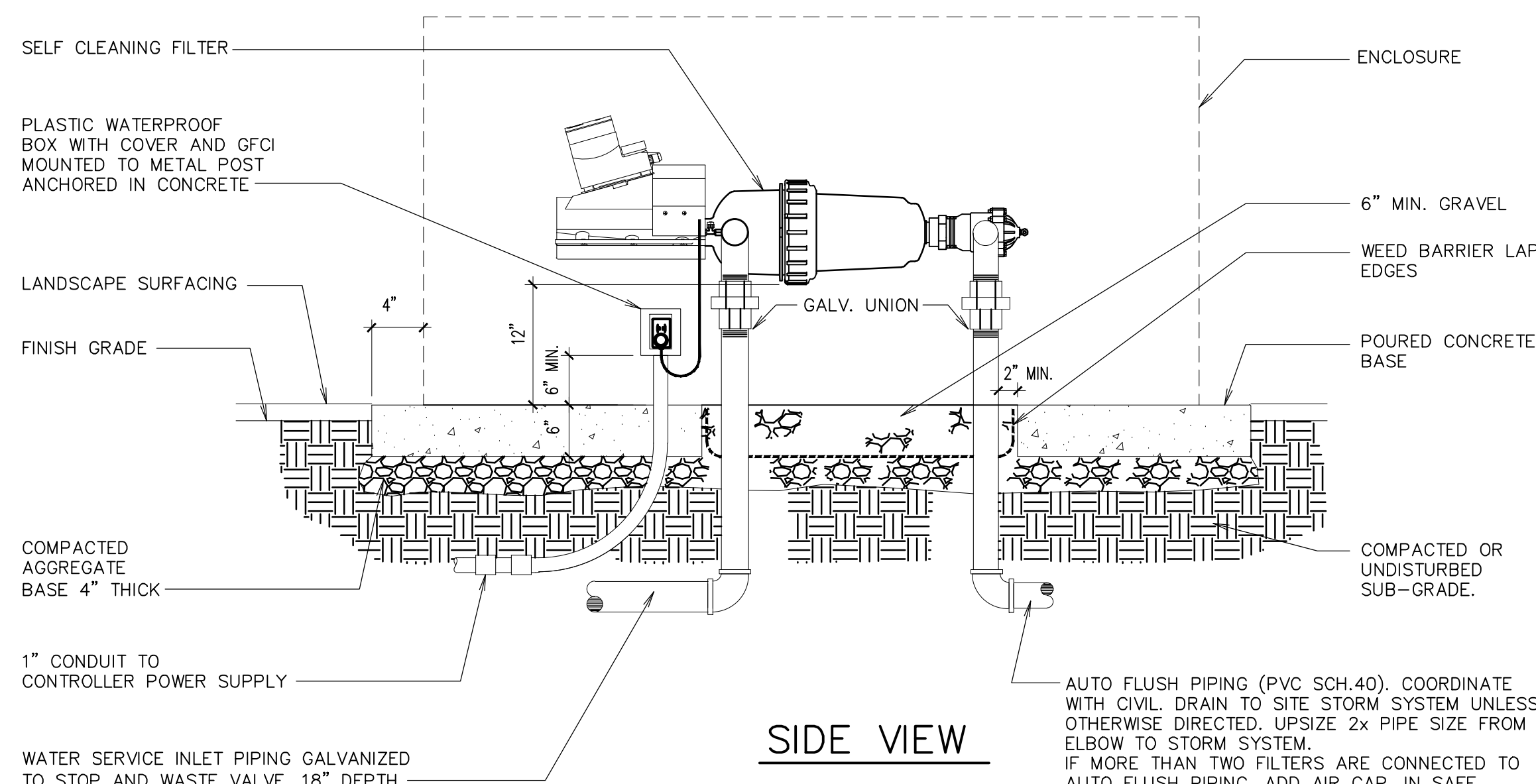


CC TYPICAL DRIP EMITTER PLAN
1 1/2" = 1'-0"



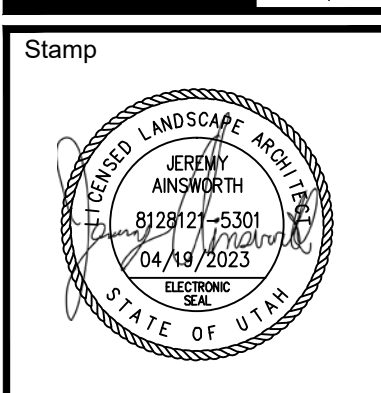
NOTES:
1. ALL PIPE AND FITTINGS TO BE GALVANIZED STEEL FROM STOP AND WASTE VALVE TO FIRST MANUAL DRAIN VALVE.
2. COORDINATE ELECTRICAL CONNECTION WITH ELECTRICAL CONTRACTOR.

TOP VIEW



SIDE VIEW

DD ELECTRIC FILTER ASSEMBLY-AUTOMATIC
NO SCALE
OPTIONAL FILTER SYSTEM FOR USE WITH SECONDARY WATER



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Revisions	Description
Mark	Date

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Property Number: 502-1091-22020101
Date: June 2, 2023

Sheet Title



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IRRIGATION DETAILS

Sheet
L504

General Notes

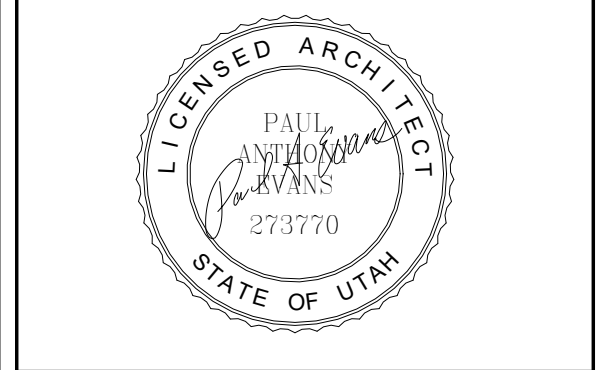
1. All dimensions are from grid line and face of foundation line

Keyed Notes

03 3111.D1 Concrete floor slab with 2" recess for paver floor tile installation

Revision Schedule

#	Description	Date
1	Owner Updates	05/26/23

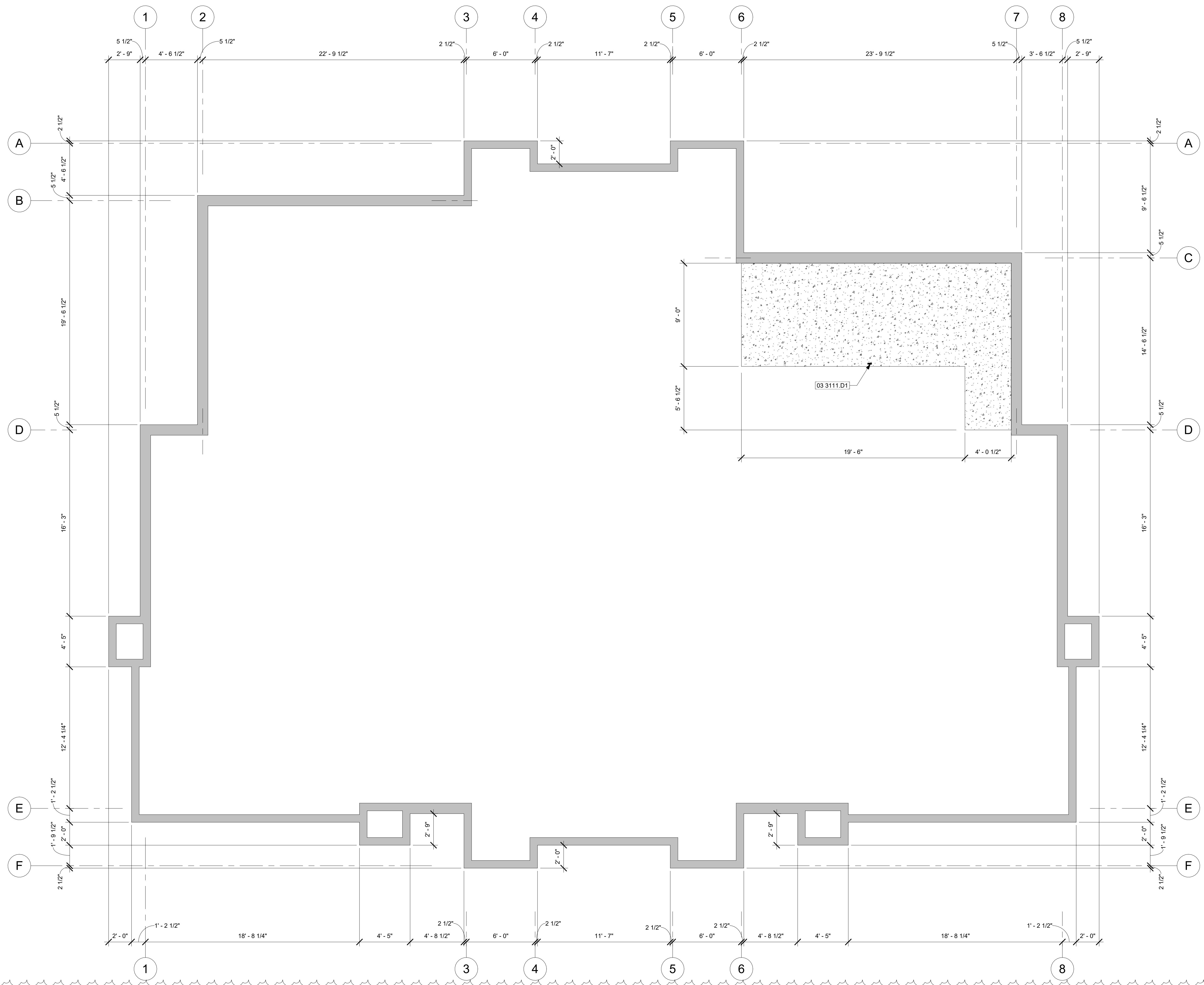


Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

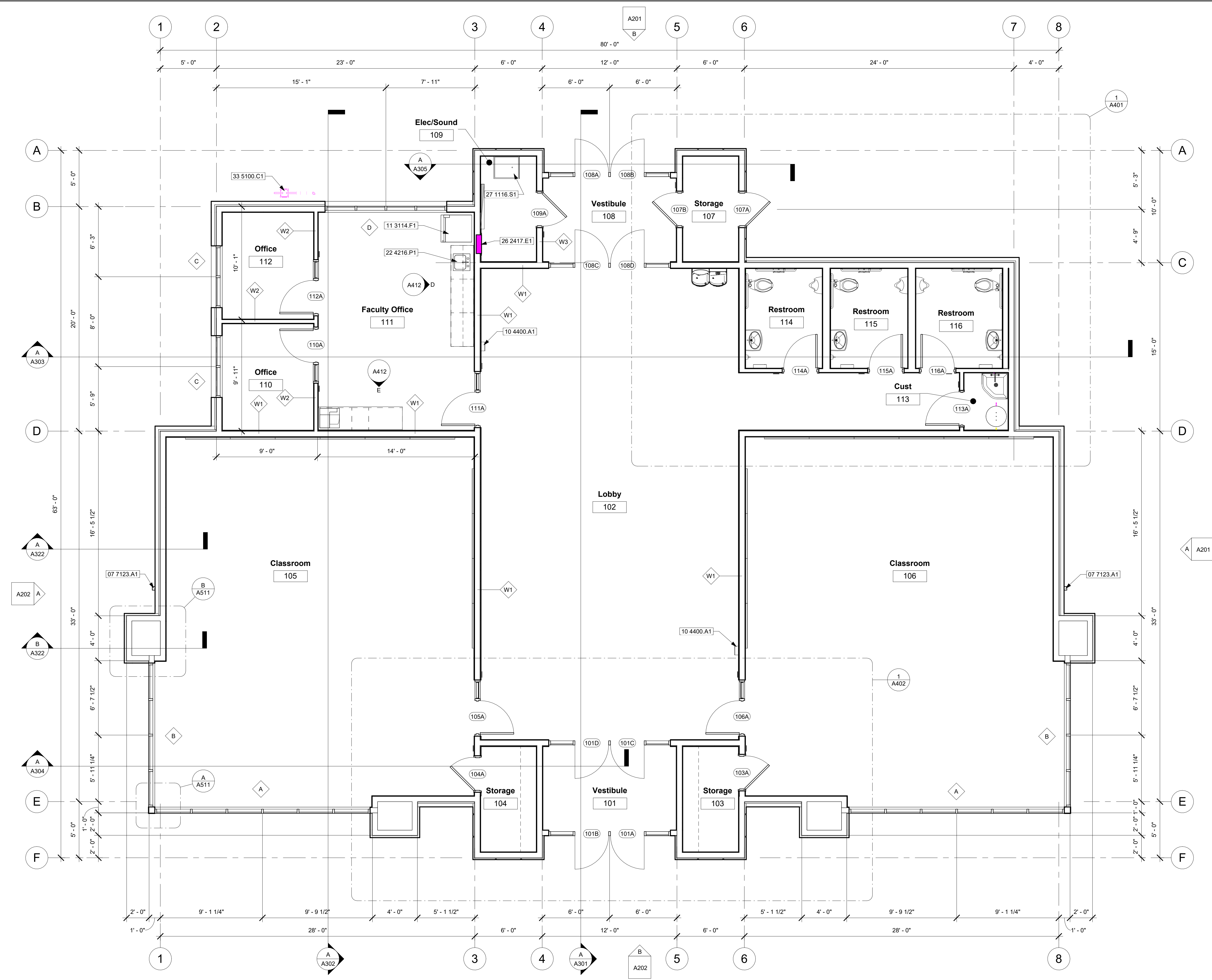
A New Building for
Mountain View Jr Seminary
 2535 West Wilson Lane
 West Haven, Utah

Project Number: 22-59
 Property Number: 502-1091-22020101
 May 1, 2023
 Foundation Dimension Plan

A001



Foundation Dimension Plan
 SCALE: 1/4" = 1'-0"



General Notes

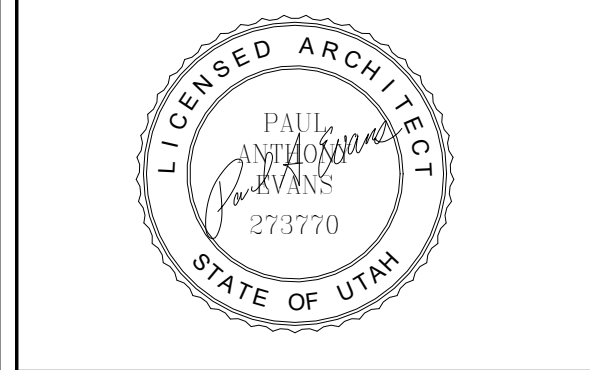
1. See A601 for door schedule.
2. See A611 for window schedule.
3. See A341 for wall type details.
4. Provide batt insulation in walls around all restrooms.
5. Provide 2x6 solid blocking between studs at all accessories mounted over finished wall.
6. All dimensions are from grid line, face of stud and center of openings unless noted otherwise.
7. Gridlines indicate outside face of exterior framing.

Keyed Notes

07 7123.A1	Aluminum downspout; 3" x 4"
10 4400.A1	Semi-recessed fire extinguisher cabinet and fire extinguisher; mount bottom of cabinet at 2'-10" a.f.f.; see detail
11 3114.F1	Refrigerator; owner-provided and contractor installed
22 4216.P1	Single compartment sink; see plumbing
26 2417.E1	Electrical panel; see electrical
27 1116.S1	Data cabinet; see electrical and sound
33 5100.C1	Gas meter; see utility plan

Revision Schedule

#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
 2535 West Wilson Lane
 West Haven, Utah

Project Number:	22-59
Property Number:	502-1091-22020101
	May 1, 2023
	Floor Plan

A101

Floor Plan
 SCALE: 1/4" = 1'-0"

General Notes

1. See A701 for ceiling details.

Keyed Notes

05 1223.D1	Align center of steel truss brace member with center of wall framing
05 1223.S2	Lintel; paint; see structural
05 1223.S3	Steel truss; paint; see structural
07 7123.A1	Aluminum downspout; 3" x 4"
26 5600.E1	Wall mounted light fixture; see electrical
26 5600.E2	Soffit light fixture; see electrical

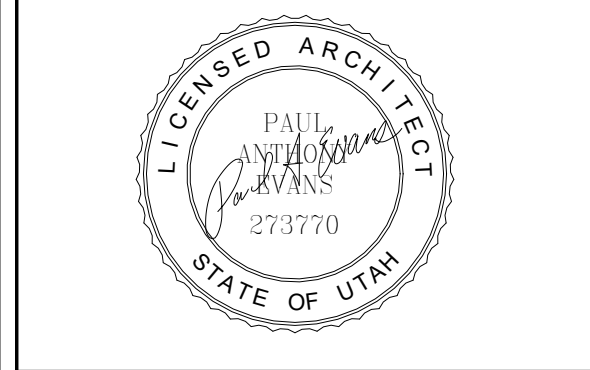
Legend

	Light fixture, see electrical
	Exhaust fan, see mechanical
	Mechanical grill, see mechanical
	Ceiling type Ceiling height

C1: 5/8" gypsum board; smooth texture finish; paint
 C2: Suspended ceiling system with lay-in 2x2 acoustical ceiling tile
 C3: EIFS

Revision Schedule

#	Description	Date

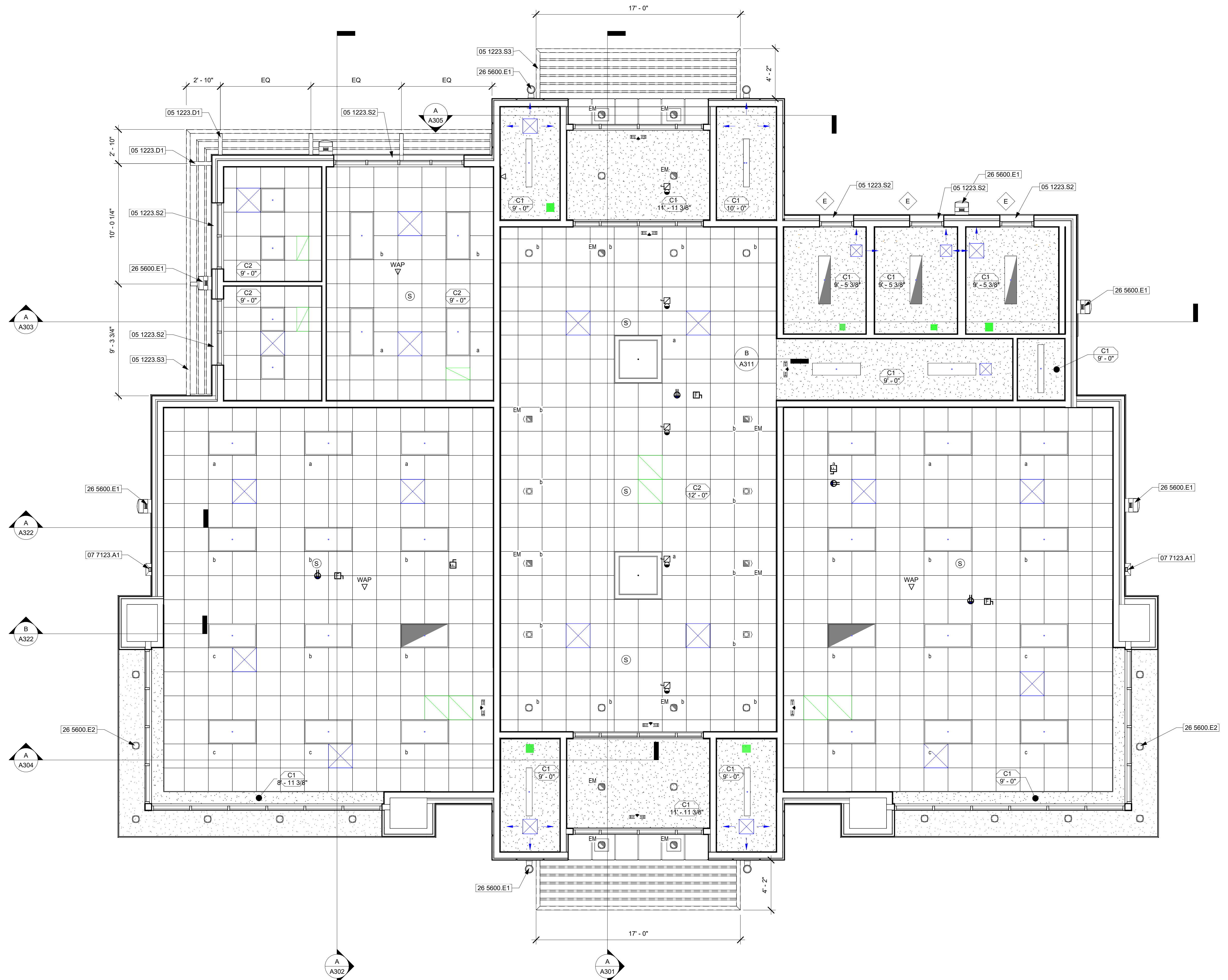


Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
 2535 West Wilson Lane
 West Haven, Utah

Project Number:	22-59
Property Number:	502-1091-22020101
May 1, 2023	
Reflected Ceiling Plan	

A121



Reflected Ceiling Plan
 SCALE: 1/4" = 1'-0"

Roof Drain Calcs

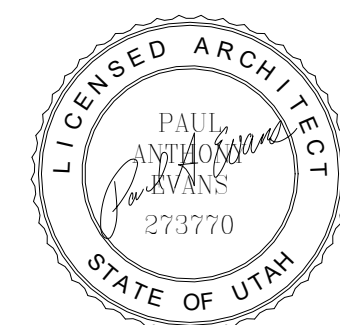
Roof Area Per Drain: 2,123 sf
 Rainfall: 2 inches per hour
 Pipe Flow Percentage: 75%
 Downspout Size Required: 2" x 4" / 92 gpm
 Downspout Size Provided: 3" x 4" / 192 gpm

Keyed Notes

05 1223.S3	Steel trellis; paint; see structural
05 5133.A1	Roof access ladder
05 5214.A1	1 1/2" diameter guardrail; see A501
07 4100.A2	Composite pre-finished metal parapet cap
07 5419.D1	Polyvinyl-chloride roofing membrane over cover board over tapered rigid insulation over rigid insulation (R-30)
07 5419.D2	Polyvinyl-chloride roofing membrane over sloped roof sheathing, 1/4" per 1'-0"; extend membrane up vertical walls and under parapet cap
07 5419.D3	Polyvinyl-chloride clad drip edge to match EIFS color
07 6240.A1	Prefinished aluminum parapet cap
07 7123.A1	Aluminum downspout; 3" x 4"
07 7123.D1	Thru-wall scupper; extend roof membrane on all sides of scupper
23 3723.M1	Penthouse; see mechanical
23 7223.M1	Packaged air-to-air energy recovery unit; see mechanical
23 7413.M1	Packaged outdoor air handling unit; see mechanical

Revision Schedule

#	Description	Date
2	Review Comments	06/06/23



Project for:

THE CHURCH OF
JESUS CHRIST
 OF LATTER-DAY SAINTS

A New Building for

**Mountain View Jr
 Seminary**

2535 West Wilson Lane
 West Haven, Utah

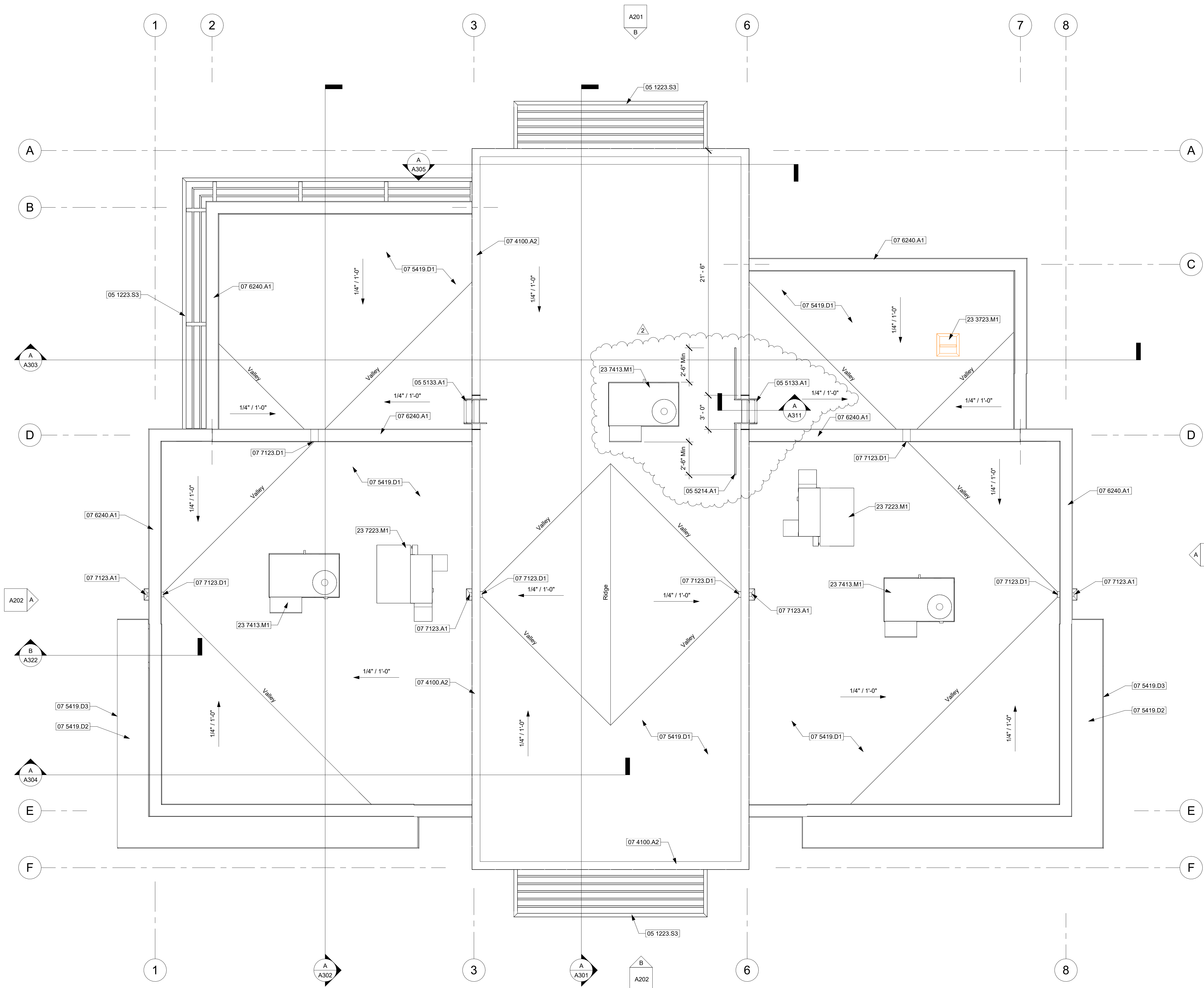
Project Number: 22-59

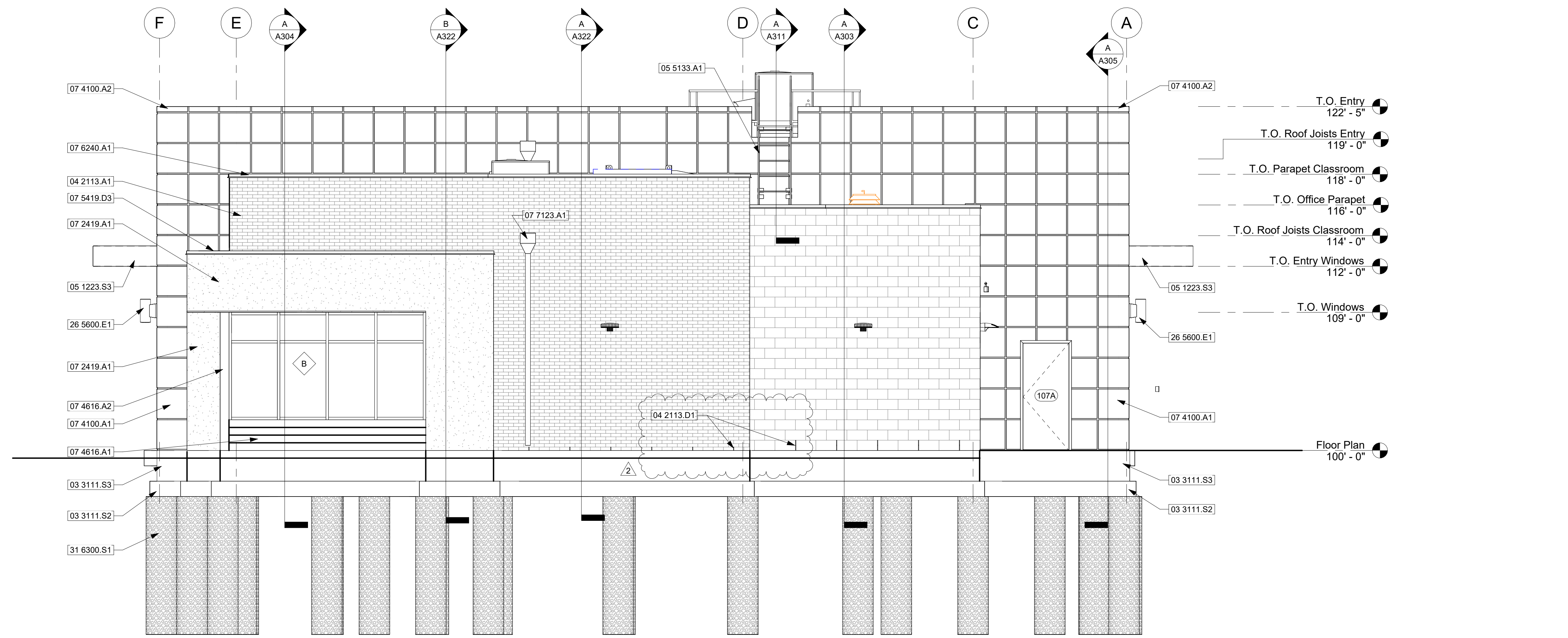
Property Number: 502-1091-22020101

May 1, 2023

Roof Plan

A131

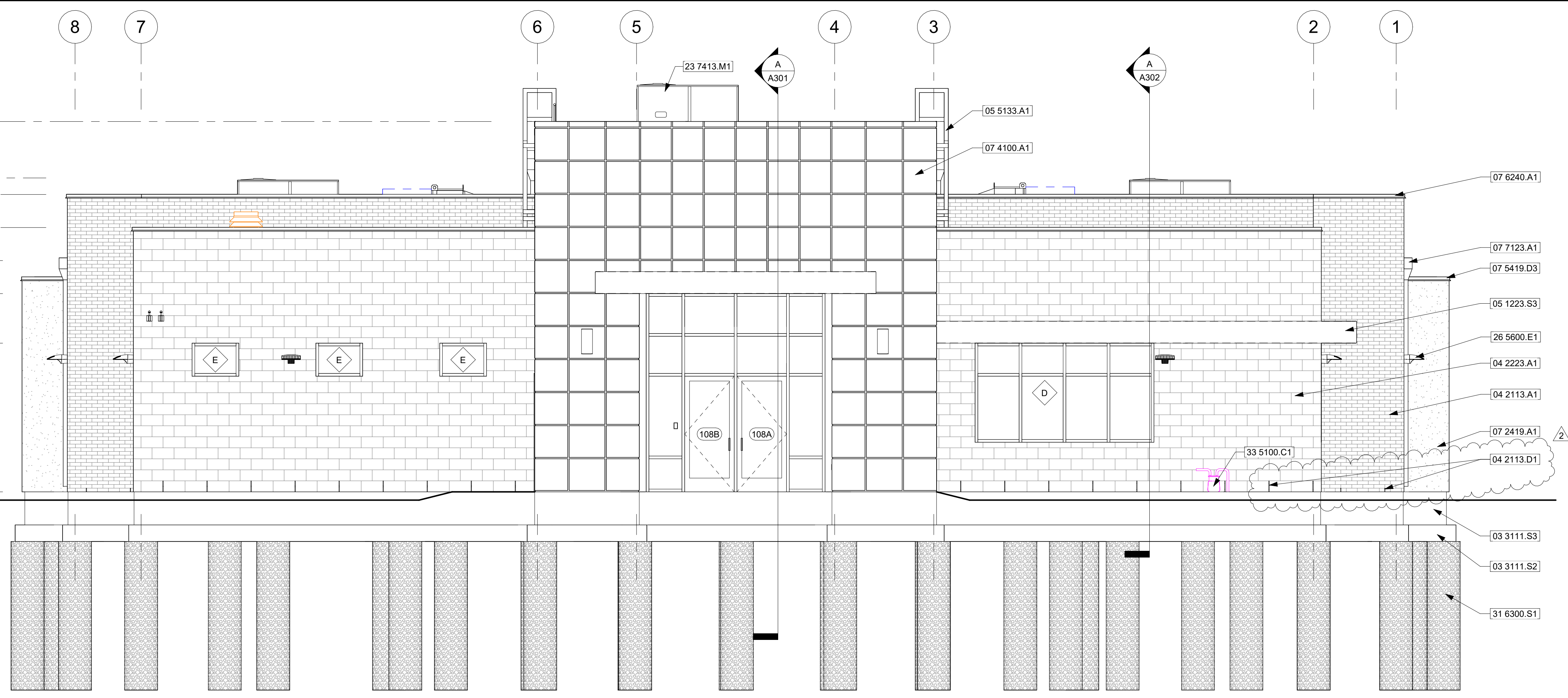




West Elevation

SCALE: 1/4" = 1'-0"

A



South Elevation

SCALE: 1/4" = 1'-0"

B

General Notes

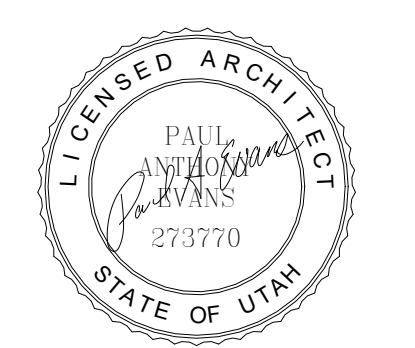
1. See A601 for door schedule.
2. See A611 for window schedule.

Keyed Notes

03 3111.S2	Concrete footing; see structural
03 3111.S3	Concrete foundation wall; see structural
04 2113.A1	Brick veneer masonry
04 2113.D1	Weep holes; placed at 32" o.c.; typical
04 2223.A1	Architectural concrete unit veneer masonry
05 1223.S3	Steel truss; paint; see structural
05 5133.A1	Roof access ladder
07 2419.A1	Water-drainage EIFS
07 4100.A1	Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
07 4100.A2	Composite pre-finished metal parapet cap
07 4616.A1	Horizontal aluminum panels to match storefront frames
07 4616.A2	Break metal at corner to match storefront frames
07 5419.D3	Polyvinyl-chloride clad drip edge to match EIFS color
07 6240.A1	Prefinished aluminum parapet cap
07 7123.A1	Aluminum downspout; 3" x 4"
23 7413.M1	Packaged outdoor air handling unit; see mechanical
26 5600.E1	Wall mounted light fixture; see electrical
31 6300.S1	Aggregate pier; size and location are approximate and shall be confirmed or modified by the aggregate pier designer in order to achieve the design criteria; contractor to provide all costs associated with engineering; see structural
33 5100.C1	Gas meter; see utility plan

Revision Schedule

#	Description	Date
2	Review Comments	06/06/23



Project for:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for

Mountain View Jr Seminary

2535 West Wilson Lane
West Haven, Utah

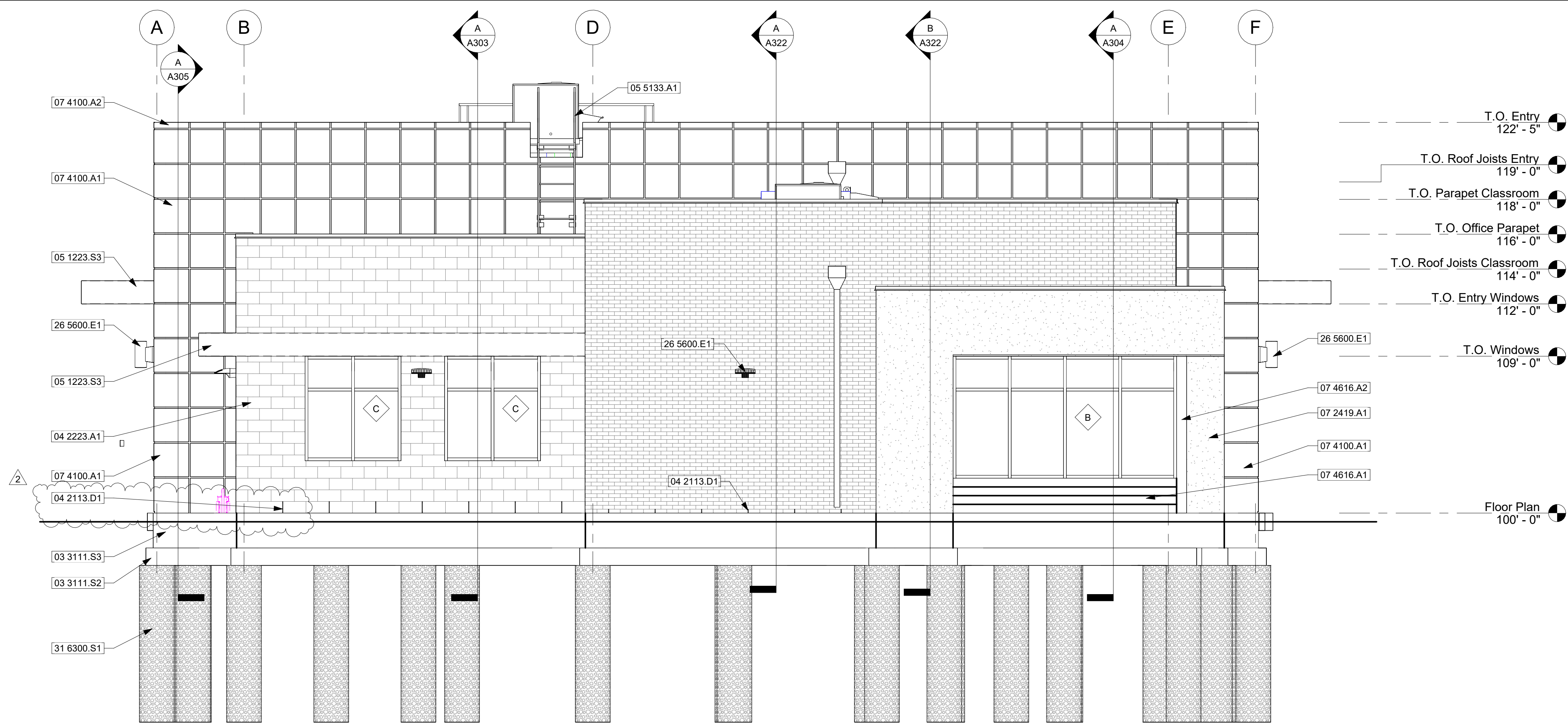
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Exterior Elevations

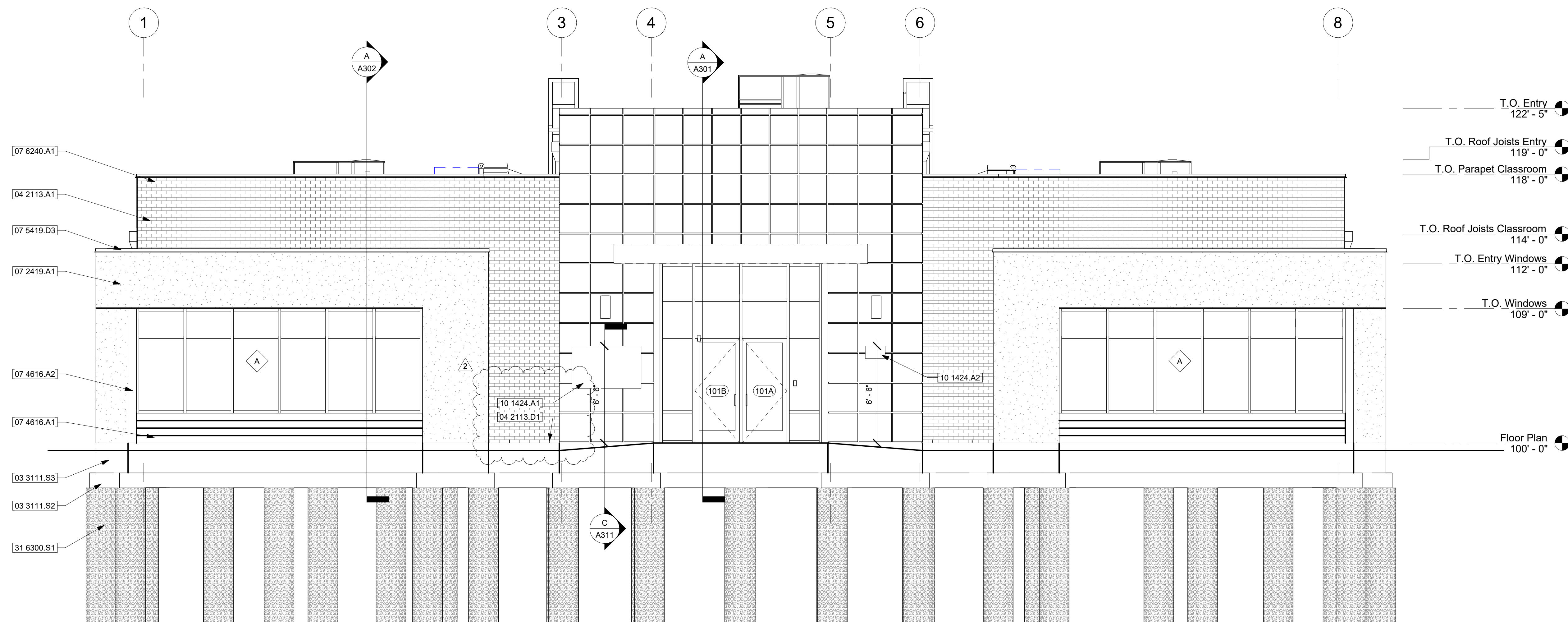
A201



East Elevation

SCALE: 1/4" = 1'-0"

A



North Elevation

SCALE: 1/4" = 1'-0"

B

General Notes

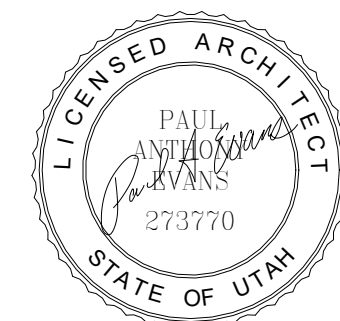
1. See A601 for door schedule.
2. See A611 for window schedule.

Keyed Notes

03 3111.S2	Concrete footing; see structural
03 3111.S3	Concrete foundation wall; see structural
04 2113.A1	Brick veneer masonry
04 2113.D1	Weep holes; placed at 32" o.c.; typical
04 2223.A1	Architectural concrete unit veneer masonry
05 1223.S3	Steel trellis; paint; see structural
05 5133.A1	Roof access ladder
07 2419.A1	Water-drainage EIFS
07 4100.A1	Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
07 4100.A2	Composite pre-finished metal parapet cap
07 4616.A1	Horizontal aluminum panels to match storefront frames
07 4616.A2	Break metal at corner to match storefront frames
07 5419.D3	Polyvinyl-chloride clad drip edge to match EIFS color
07 6240.A1	Prefinished aluminum parapet cap
10 1424.A1	Stone seminary building sign
10 1424.A2	Stone address sign
26 5600.E1	Wall mounted light fixture; see electrical
31 6300.S1	Aggregate pier; size and location are approximate and shall be confirmed or modified by the aggregate pier designer in order to achieve the design criteria; contractor to provide all costs associated with engineering; see structural

Revision Schedule

#	Description	Date
2	Review Comments	06/06/23



Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Building for

Mountain View Jr
Seminary

2535 West Wilson Lane
West Haven, Utah

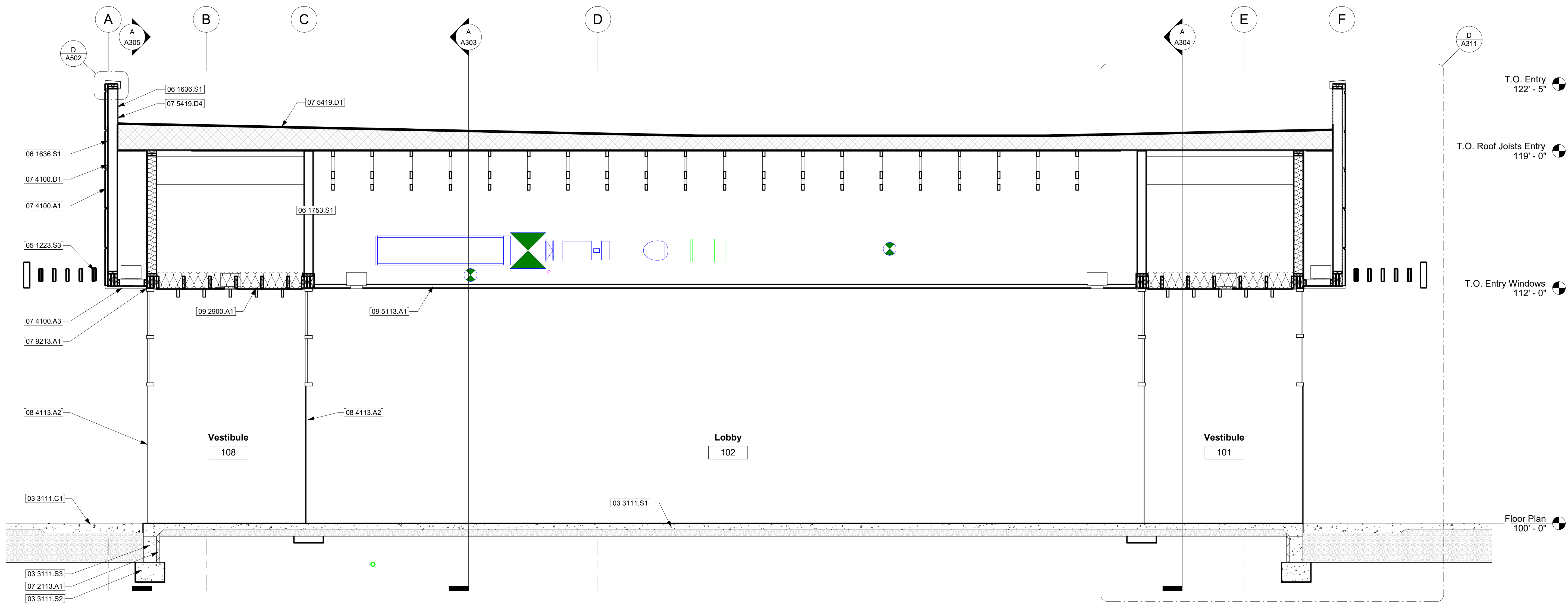
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Exterior Elevations

A202



Building Section
SCALE: 3/8" = 1'-0"

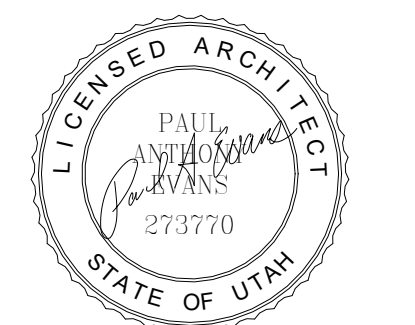
A

Keyed Notes

03 3111.C1	6" concrete walk over 1'-6" granular fill; see detail
03 3111.S1	Concrete slab over vapor barrier over gravel base; see structural
03 3111.S2	Concrete footing; see structural
03 3111.S3	Concrete foundation wall; see structural
05 1223.S3	Steel trellis; paint; see structural
06 1636.S1	Wood wall sheathing; see structural
06 1753.S1	Wood truss roof framing; see structural
07 2113.A1	Foundation board insulation; R-7.5
07 4100.A1	Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
07 4100.A3	Composite pre-finished metal soffit panel; reveals at 2'-0" o.c.
07 4100.D1	40 mil peel and stick membrane per manufacturer
07 5419.D1	Polyvinyl-chloride roofing membrane over cover board over tapered rigid insulation over rigid insulation (R-30)
07 5419.D4	Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap
07 9213.A1	Sealant
08 4113.A2	Storefront door; see door schedule
09 2900.A1	5/8" gypsum board
09 5113.A1	Suspended acoustical panel ceiling

Revision Schedule

#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

Project Number: 22-59

Property Number: 502-1091-22020101

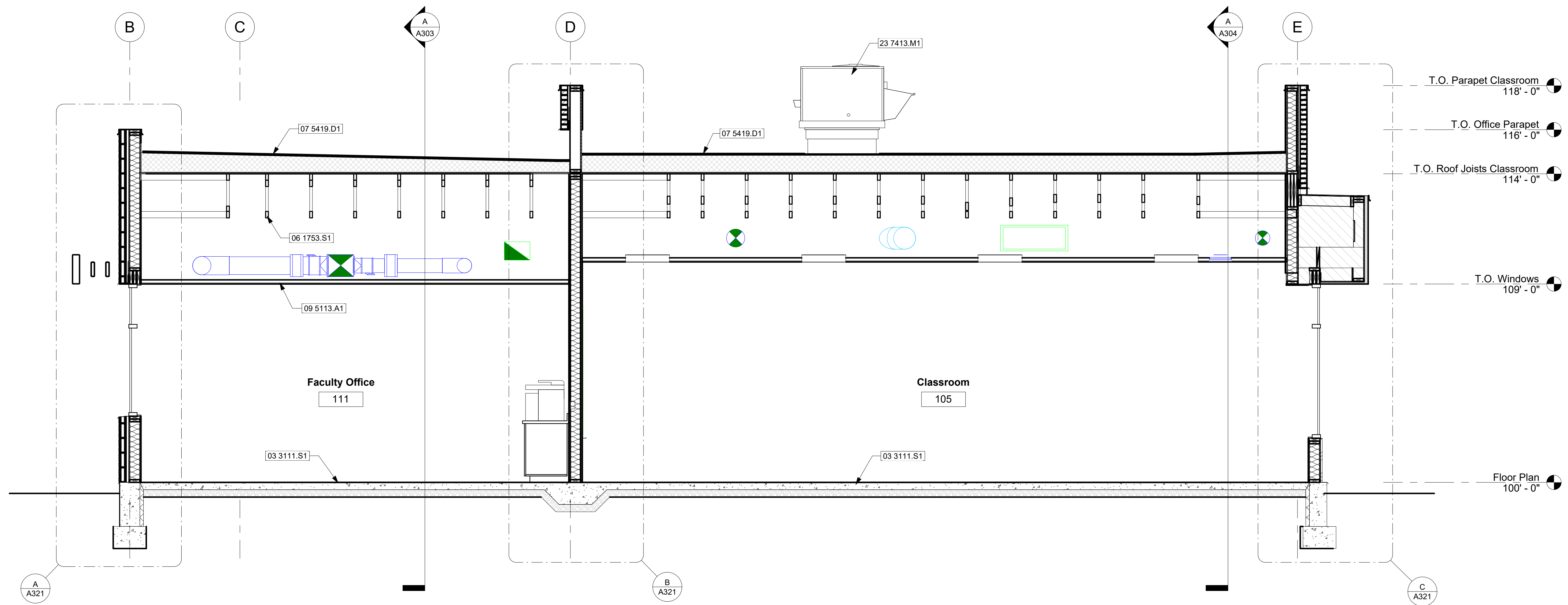
May 1, 2023

Building Section

A301

Keyed Notes

- 03 3111.S1 Concrete slab over vapor barrier over gravel base; see structural
- 06 1753.S1 Wood truss roof framing; see structural
- 07 5419.D1 Polyvinyl-chloride roofing membrane over cover board over tapered rigid insulation over rigid insulation (R-30)
- 09 5113.A1 Suspended acoustical panel ceiling
- 23 7413.M1 Packaged outdoor air handling unit; see mechanical

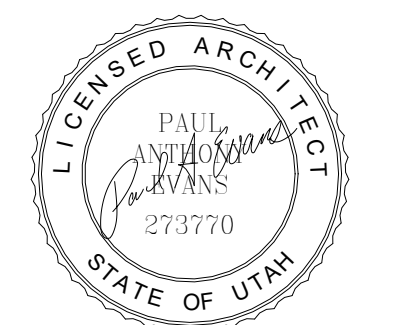


Building Section
SCALE: 3/8" = 1'-0"

A

Revision Schedule

#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

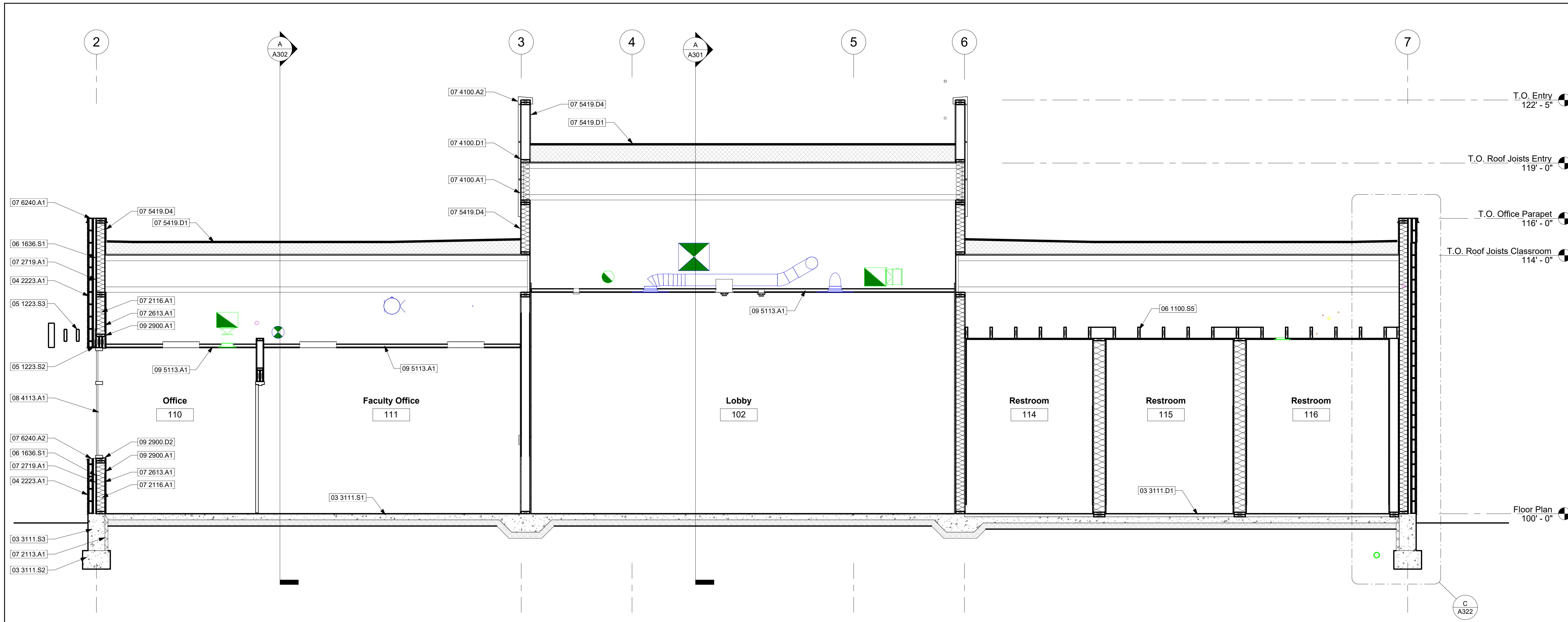
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Building Section

A302



Building Section
SCALE: 3/8" = 1'-0"

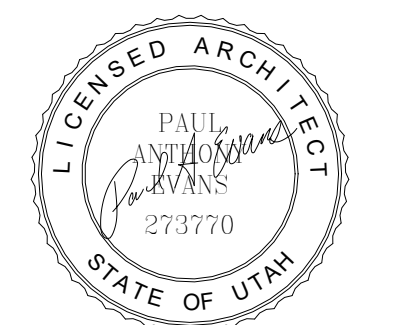
A

Keyed Notes

- 03 3111.D1 Concrete floor slab with 2" recess for paver floor tile installation
- 03 3111.S1 Concrete slab over vapor barrier over gravel base; see structural
- 03 3111.S2 Concrete footing; see structural
- 03 3111.S3 Concrete foundation wall; see structural
- 04 2223.A1 Architectural concrete unit veneer masonry
- 05 1223.S2 Lintel; paint; see structural
- 05 1223.S3 Steel truss; paint; see structural
- 06 1100.S5 Wood ceiling framing; see structural
- 06 1636.S1 Wood wall sheathing; see structural
- 07 2113.A1 Foundation board insulation; R-7.5
- 07 2116.A1 Batt insulation; unfaced; R-19
- 07 2613.A1 Above-grade vapor retarder
- 07 2719.A1 Air barrier
- 07 4100.A1 Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
- 07 4100.A2 Composite pre-finished metal parapet cap
- 07 4100.D1 40 mil peel and stick membrane per manufacturer
- 07 5419.D1 Polyvinyl-chloride roofing membrane over cover board over layered rigid insulation over rigid insulation (R-30)
- 07 5419.D4 Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap
- 07 6240.A1 Prefinished aluminum parapet cap
- 07 6240.A2 Prefinished aluminum window sill
- 08 4113.A1 Storefront metal threshold
- 09 2900.A1 5/8" gypsum board
- 09 2900.D2 5/8" gypsum board sill
- 09 5113.A1 Suspended acoustical panel ceiling

Revision Schedule

#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Building Section

A303

Keyed Notes

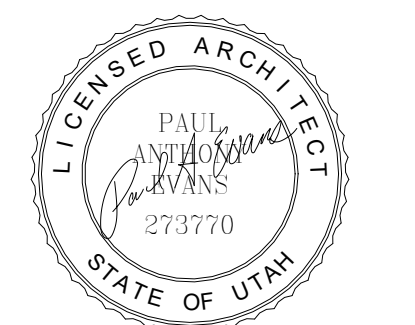
03 3111.S1	Concrete slab over vapor barrier over gravel base; see structural
03 3111.S2	Concrete footing; see structural

Keyed Notes (Cont)

04 2113.A1	Brick veneer masonry
05 1223.S2	Lintel; paint; see structural
06 1100.S5	Wood ceiling framing; see structural
06 1636.S1	Wood wall sheathing; see structural
06 1753.S1	Wood truss roof framing; see structural
06 2710.D1	3/4" x 1'-2" deep adjustable shelves with protective edges; typical of 6
07 2113.A1	Foundation board insulation; R-7.5
07 2116.A1	Batt insulation; unfaced; R-19
07 2419.A1	Water-drainage EIFS
07 2613.A1	Above-grade vapor retarder
07 2719.A1	Air barrier
07 4100.A1	Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
07 4100.A2	Composite pre-finished metal parapet cap
07 4100.D1	40 mil peel and stick membrane per manufacturer
07 4616.A1	Horizontal aluminum panels to match storefront frames
07 5419.D1	Polyvinyl-chloride roofing membrane over cover board over lapped rigid insulation over rigid insulation (R-30)
07 5419.D2	Polyvinyl-chloride roofing membrane over sloped roof sheathing; 1/4" per 1'-0"; extend membrane up vertical walls and under parapet cap
07 5419.D3	Polyvinyl-chloride clad drip edge to match EIFS color
07 5419.D4	Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap
07 6240.A1	Pre-finished aluminum parapet cap
07 6240.A3	Pre-finished aluminum foundation flashing with drip edge; extend up wall 1'-0"; air barrier is to be lapped over the foundation flashing
07 6240.A4	Pre-finished aluminum flashing with drip edge; extend up wall 1'-0"
07 9213.A1	Sealant
08 4113.A3	Storefront window; see window schedule
09 2900.A1	5/8" gypsum board
09 2900.D2	5/8" gypsum board sill

Revision Schedule

#	Description	Date



Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Building for

Mountain View Jr
Seminary

2535 West Wilson Lane
West Haven, Utah

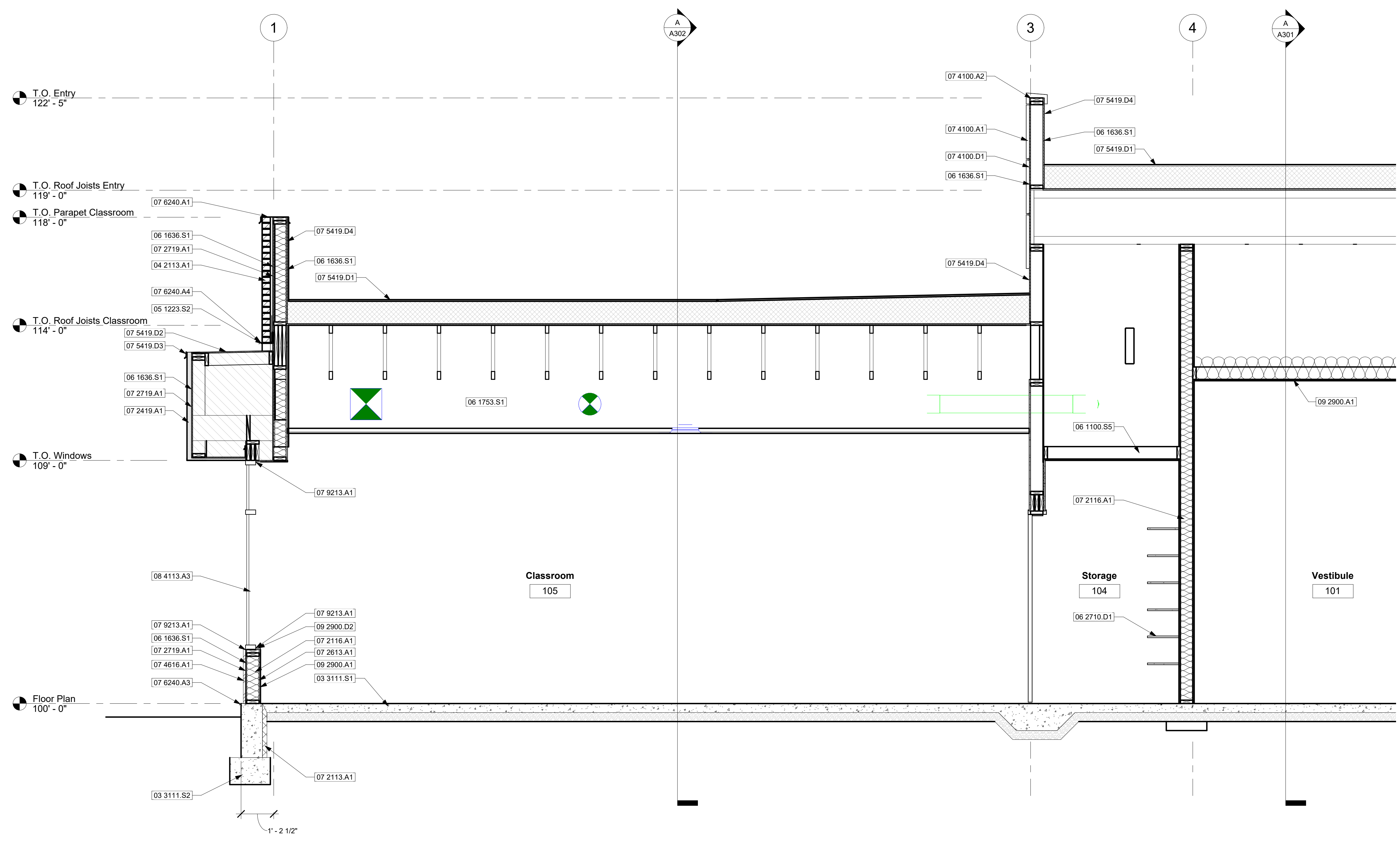
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Building Section

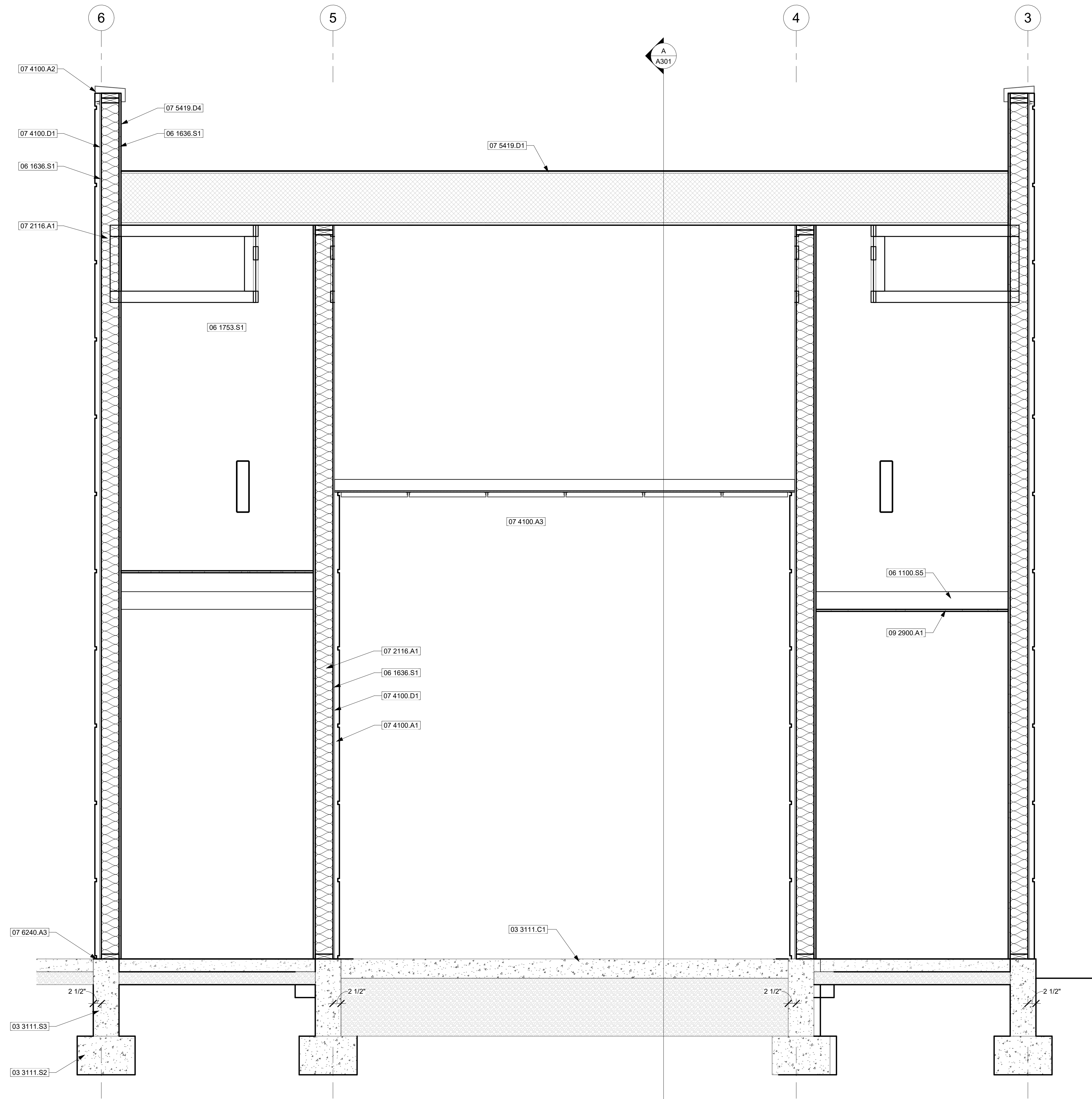
A304



Building Section

SCALE: 1/2" = 1'-0"

A



Section
SCALE: 3/4" = 1'-0"

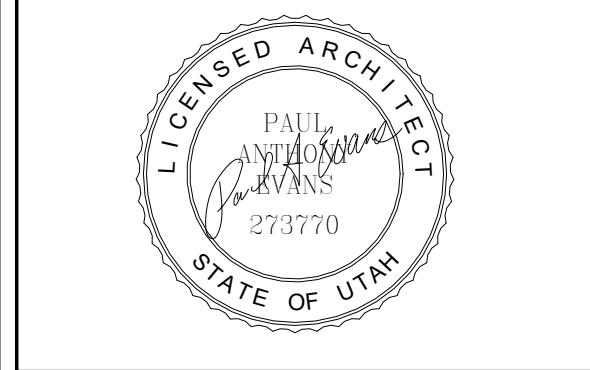
A

Keyed Notes

03 3111.C1	6" concrete walk over 1'-6" granular fill; see detail
03 3111.S2	Concrete footing; see structural
03 3111.S3	Concrete foundation wall; see structural
06 1100.S5	Wood ceiling framing; see structural
06 1636.S1	Wood wall sheathing; see structural
06 1753.S1	Wood truss roof framing; see structural
07 2116.A1	Batt insulation; unfaced; R-19
07 4100.A1	Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
07 4100.A2	Composite pre-finished metal parapet cap
07 4100.A3	Composite pre-finished metal soffit panel; reveals at 2'-0" o.c.
07 4100.D1	40 mil peel and stick membrane per manufacturer
07 5419.D1	Polyvinyl-chloride roofing membrane over cover board over tapered rigid insulation over rigid insulation (R-30)
07 5419.D4	Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap
07 6240.A3	Prefinished aluminum foundation flashing with drip edge; extend up wall 1'-0"; air barrier is to be lapped over the foundation flashing
09 2900.A1	5/8" gypsum board

Revision Schedule

#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

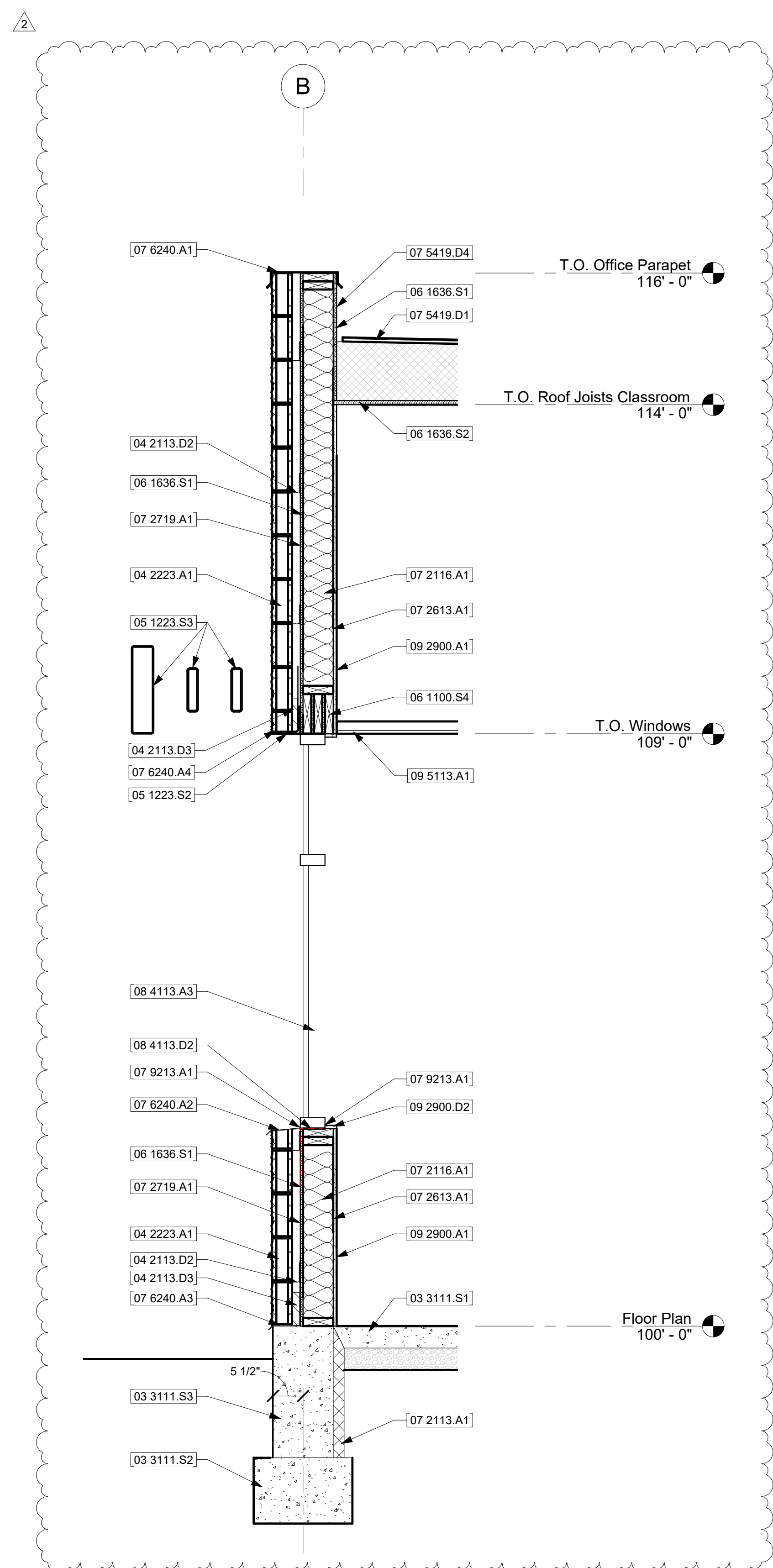
Project Number: 22-59

Property Number: 502-1091-22020101

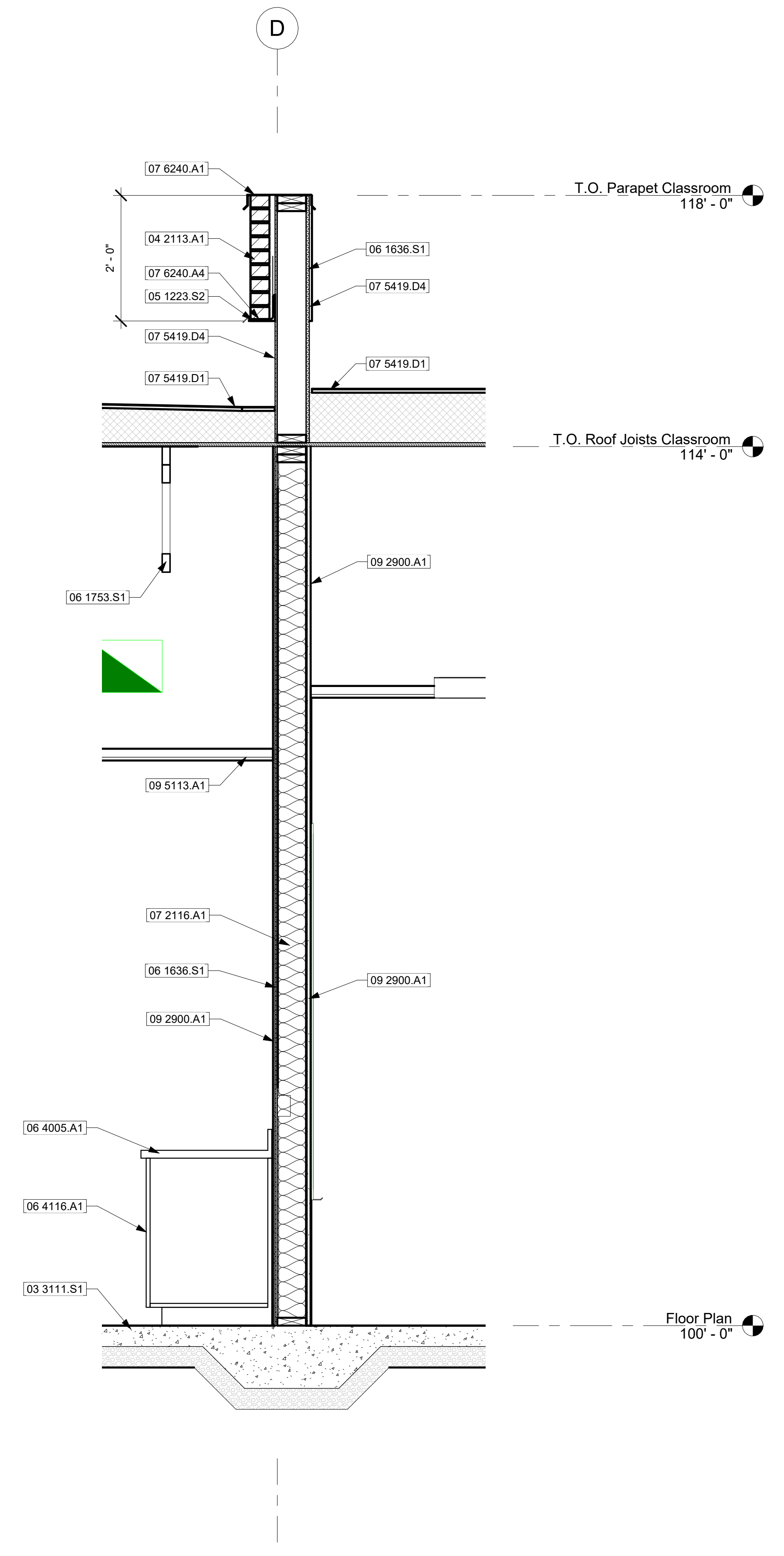
May 1, 2023

Building Section

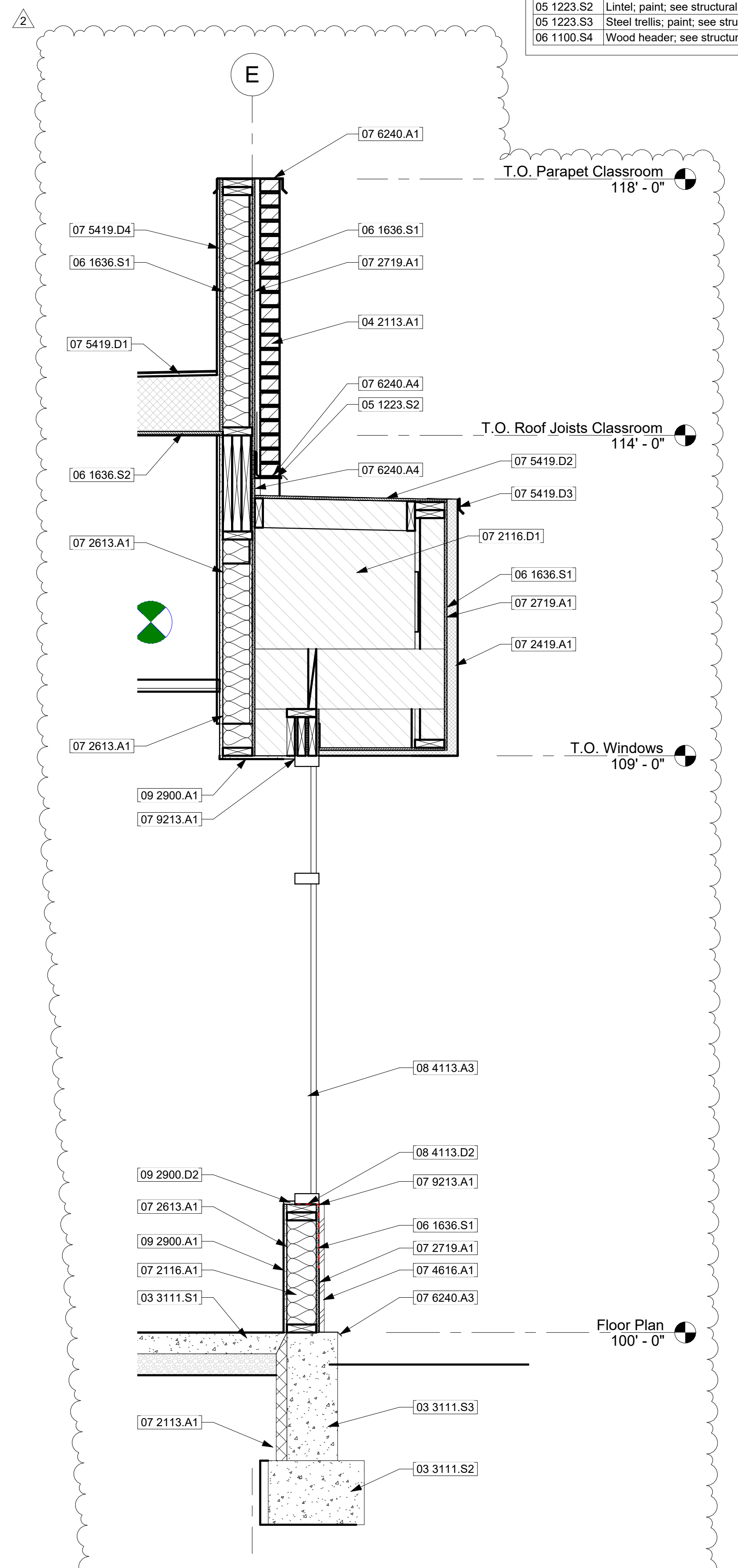
A305



Wall Section A
SCALE: 3/4" = 1'-0"



Wall Section B
SCALE: 3/4" = 1'-0"

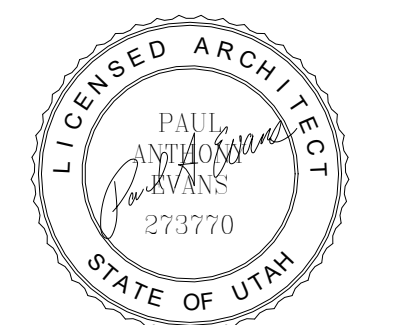


Wall Section C
SCALE: 3/4" = 1'-0"

Keyed Notes	
03 3111.S1	Concrete slab over vapor barrier over gravel base; see structural
03 3111.S2	Concrete footing; see structural
03 3111.S3	Concrete foundation wall; see structural
04 2113.A1	Brick veneer masonry
04 2113.D2	Masonry veneer ties; spaced at 32" o.c. horizontally and 24" o.c. vertically; typical
04 2113.D3	Mortar guard; typical at bottom of masonry course at foundation and above openings
04 2223.A1	Architectural concrete unit veneer masonry
05 1223.S2	Lintel; paint; see structural
05 1223.S3	Steel trellis; paint; see structural
06 1100.S4	Wood header; see structural
06 1636.S1	Wood wall sheathing; see structural
06 1636.S2	Wood roof sheathing; see structural
06 1753.S1	Wood truss roof framing; see structural
06 4005.A1	Plastic laminate countertop and splash
06 4116.A1	Plastic laminate faced architectural cabinet
07 2113.A1	Foundation board insulation; R-7.5
07 2116.A1	Batt insulation; unfaced; R-19
07 2116.D1	Fill cavity with batt insulation
07 2419.A1	Water-drainage EIFS
07 2613.A1	Above-grade vapor retarder
07 2719.A1	Air barrier
07 4616.A1	Horizontal aluminum panels to match storefront frames
07 5419.D1	Polyvinyl-chloride roofing membrane over cover board over tapered rigid insulation over rigid insulation (R-30)
07 5419.D2	Polyvinyl-chloride roofing membrane over sloped roof sheathing; 1/4" per 1'-0"; extend membrane up vertical walls and under parapet cap
07 5419.D3	Polyvinyl-chloride clad drip edge to match EIFS color
07 5419.D4	Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap
07 6240.A1	Prefinished aluminum parapet cap
07 6240.A2	Prefinished aluminum window sill
07 6240.A3	Prefinished aluminum foundation flashing with drip edge; extend up wall 1'-0"; air barrier is to be lapped over the foundation flashing
07 6240.A4	Prefinished aluminum flashing with drip edge; extend up wall 1'-0"
07 9213.A1	Sealant
08 4113.A3	Storefront window; see window schedule
08 4113.D2	Wrap membrane flashing into rough opening to align with jamb membrane flashing above; make all joints water tight
09 2900.A1	5/8" gypsum board
09 2900.D2	5/8" gypsum board sill
09 5113.A1	Suspended acoustical panel ceiling

Keyed Notes (Cont)	
06 1636.S1	Wood wall sheathing; see structural
06 1636.S2	Wood roof sheathing; see structural
06 1753.S1	Wood truss roof framing; see structural
06 4005.A1	Plastic laminate countertop and splash
06 4116.A1	Plastic laminate faced architectural cabinet
07 2113.A1	Foundation board insulation; R-7.5
07 2116.A1	Batt insulation; unfaced; R-19
07 2116.D1	Fill cavity with batt insulation
07 2419.A1	Water-drainage EIFS
07 2613.A1	Above-grade vapor retarder
07 2719.A1	Air barrier
07 4616.A1	Horizontal aluminum panels to match storefront frames
07 5419.D1	Polyvinyl-chloride roofing membrane over cover board over tapered rigid insulation over rigid insulation (R-30)
07 5419.D2	Polyvinyl-chloride roofing membrane over sloped roof sheathing; 1/4" per 1'-0"; extend membrane up vertical walls and under parapet cap
07 5419.D3	Polyvinyl-chloride clad drip edge to match EIFS color
07 5419.D4	Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap
07 6240.A1	Prefinished aluminum parapet cap
07 6240.A2	Prefinished aluminum window sill
07 6240.A3	Prefinished aluminum foundation flashing with drip edge; extend up wall 1'-0"; air barrier is to be lapped over the foundation flashing
07 6240.A4	Prefinished aluminum flashing with drip edge; extend up wall 1'-0"
07 9213.A1	Sealant
08 4113.A3	Storefront window; see window schedule
08 4113.D2	Wrap membrane flashing into rough opening to align with jamb membrane flashing above; make all joints water tight
09 2900.A1	5/8" gypsum board
09 2900.D2	5/8" gypsum board sill
09 5113.A1	Suspended acoustical panel ceiling

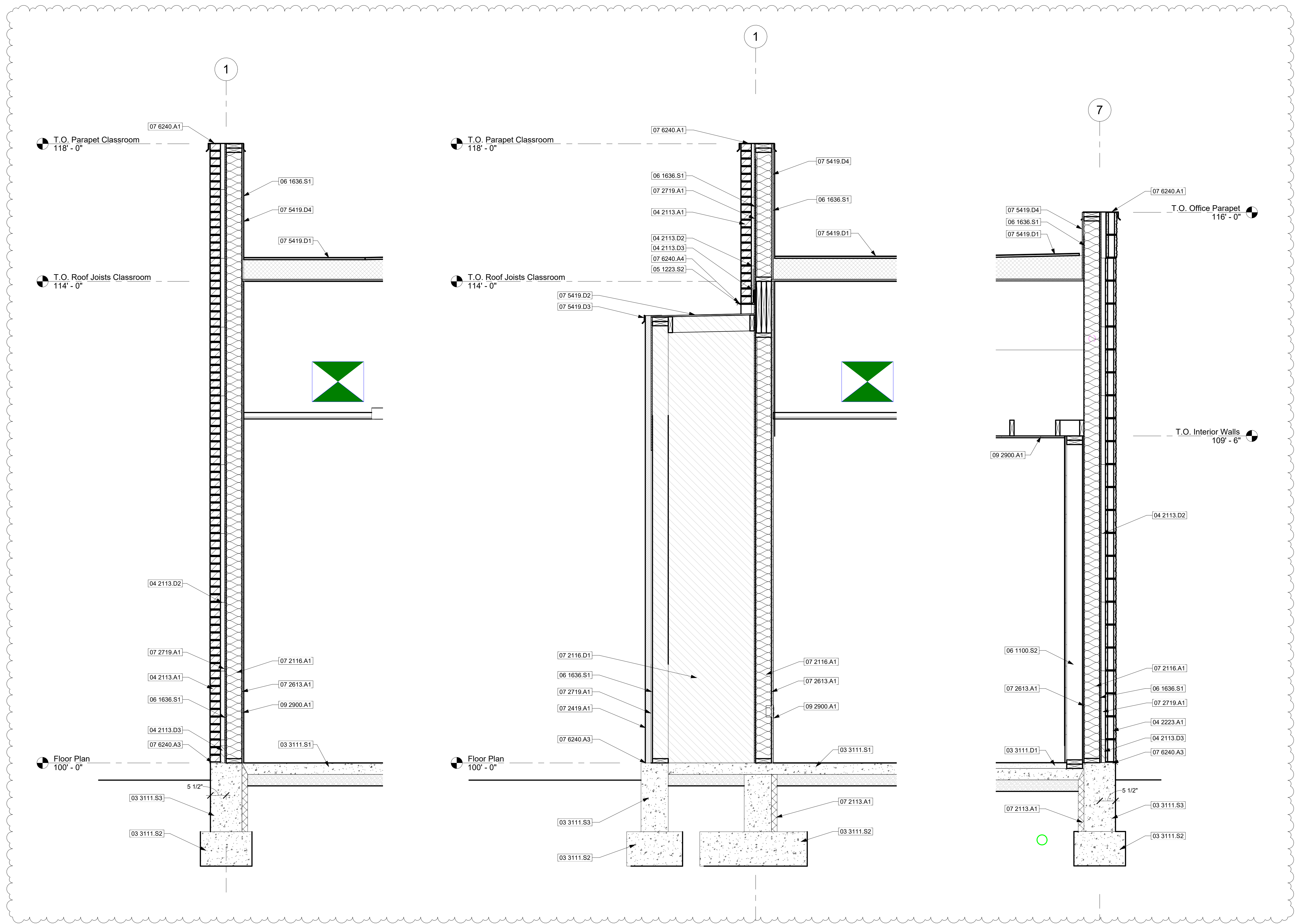
Revision Schedule		
#	Description	Date
2	Review Comments	06/06/23



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

Project Number:	22-59
Property Number:	502-1091-22020101
May 1, 2023	
Wall Sections	



Building Section A
SCALE: 3/4" = 1'-0"

Building Section B
SCALE: 3/4" = 1'-0"

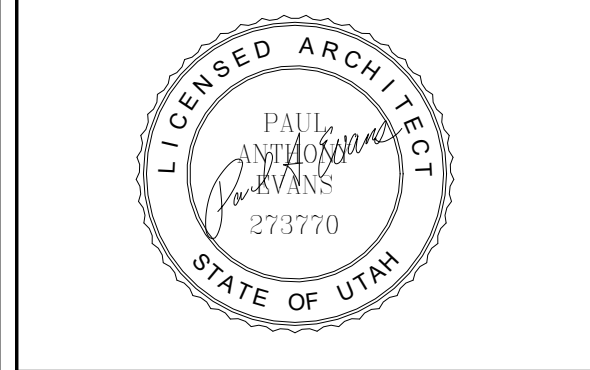
Wall Section C
SCALE: 3/4" = 1'-0"

Keyed Notes

03 3111.D1	Concrete floor slab with 2" recess for paver floor tile installation
03 3111.S1	Concrete slab over vapor barrier over gravel base; see structural
03 3111.S2	Concrete footing; see structural
03 3111.S3	Concrete foundation wall; see structural
04 2113.A1	Brick veneer masonry
04 2113.D2	Masonry veneer ties; spaced at 32" o.c. horizontally and 24" o.c. vertically; typical
04 2113.D3	Mortar; guard; typical at bottom of masonry course at foundation and above openings
04 2223.A1	Architectural concrete unit veneer masonry
05 1223.S2	Lintel; paint; see structural
06 1100.S2	2x6 wood wall framing at 16" o.c. structural
06 1636.S1	Wood wall sheathing; see structural
07 2113.A1	Foundation board insulation; R-7.5
07 2116.A1	Batt insulation; unfaced; R-19
07 2116.D1	Fill cavity with batt insulation
07 2419.A1	Water-drainage EIFS
07 2613.A1	Above-grade vapor retarder
07 2719.A1	Air barrier
07 5419.D1	Polyvinyl-chloride roofing membrane over cover board over tapered rigid insulation over rigid insulation (R-30)
07 5419.D2	Polyvinyl-chloride roofing membrane over sloped roof sheathing; 1/4" per 1'-0"; extend membrane up vertical walls and under parapet cap
07 5419.D3	Polyvinyl-chloride clad drip edge to match EIFS color
07 5419.D4	Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap
07 6240.A1	Prefinished aluminum parapet cap
07 6240.A3	Prefinished aluminum foundation flashing with drip edge; extend up wall 1'-0"; air barrier is to be lapped over the foundation flashing
07 6240.A4	Prefinished aluminum flashing with drip edge; extend up wall 1'-0"
09 2900.A1	5/8" gypsum board

Revision Schedule

#	Description	Date
2	Review Comments	06/06/23



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

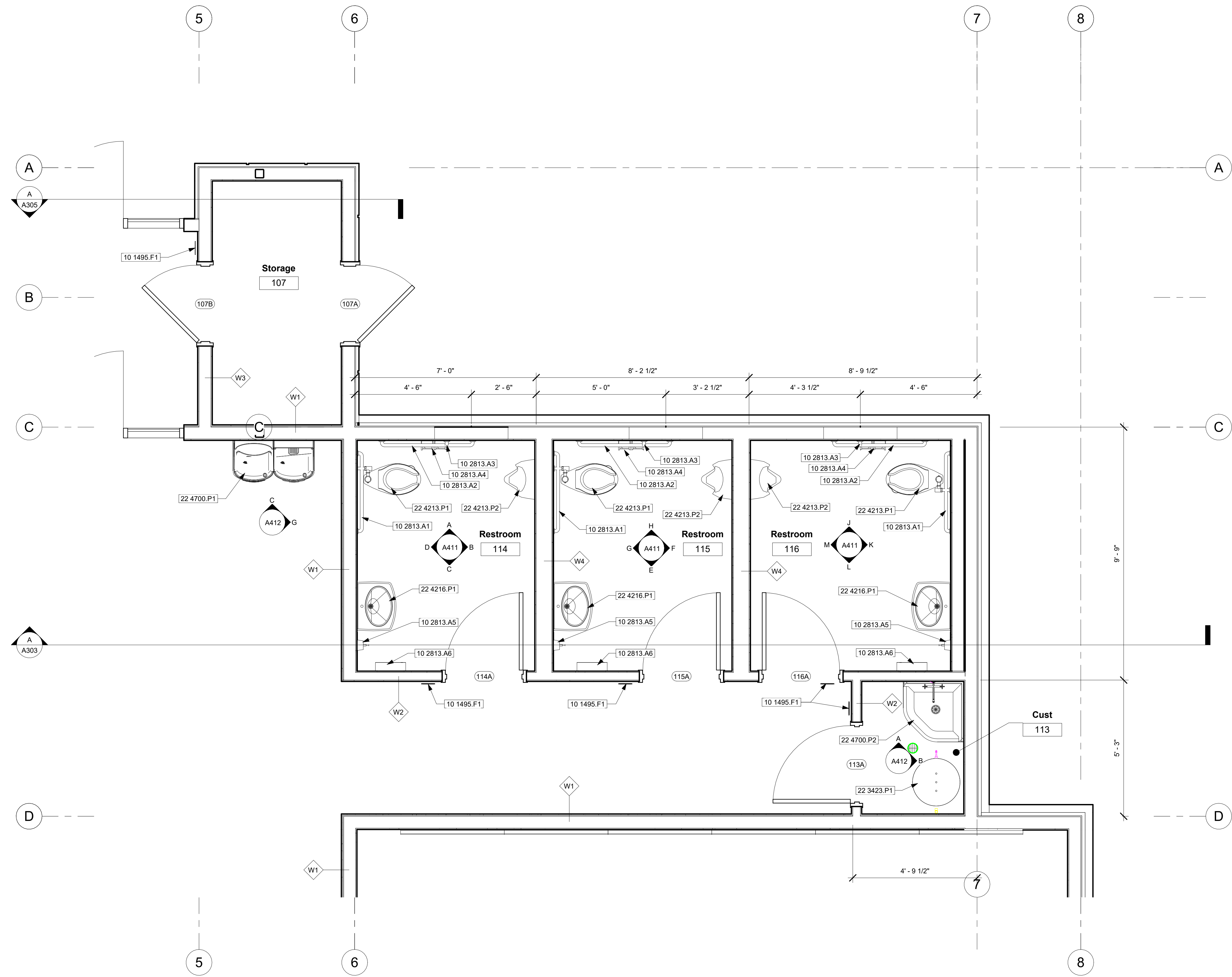
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Wall Sections

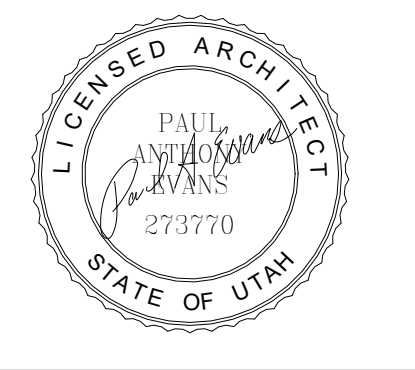
A322



Keyed Notes	
10 1495.F1	Interior signage; owner-provided and contractor installed
10 2813.A1	3'-0" long horizontal stainless steel grab bar; see E/G303
10 2813.A2	3'-6" long horizontal stainless steel grab bar; see E/G303
10 2813.A3	1'-6" long vertical stainless steel grab bar; see E/G303
10 2813.A4	Toilet tissue dispenser; E/G303; owner-provided and installed
10 2813.A5	Soap dispenser; see E/G303; owner-provided and installed
10 2813.A6	Paper towel dispenser; E/G303; owner-provided and installed
22 3423.P1	Gas fired water heater; see plumbing
22 4213.P1	Water closet; see plumbing and accessibility details
22 4213.P2	Urinal; see plumbing and accessibility details
22 4216.P1	Single compartment sink; see plumbing
22 4700.P1	Drinking fountain; see plumbing
22 4700.P2	Mop sink; see plumbing

General Notes		
1.	See A601 for door schedule.	
2.	See A611 for window schedule.	
3.	See A341 for wall type details.	
4.	Provide batt insulation in walls around all restrooms.	
5.	All shaded walls shall extend to bottom of deck.	
6.	Provide 2x6 solid blocking between studs at all accessories mounted over finished wall.	
7.	All dimensions are from grid line, face of stud and center of openings unless noted otherwise.	
8.	Gridlines indicate outside face of exterior framing.	

Revision Schedule		
#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
 2535 West Wilson Lane
 West Haven, Utah

Project Number:	22-59
Property Number:	502-1091-22020101
May 1, 2023	
Enlarged Floor Plans	

Enlarged Floor Plan - Restrooms
 SCALE: 1/2" = 1'-0" 1

A401

General Notes

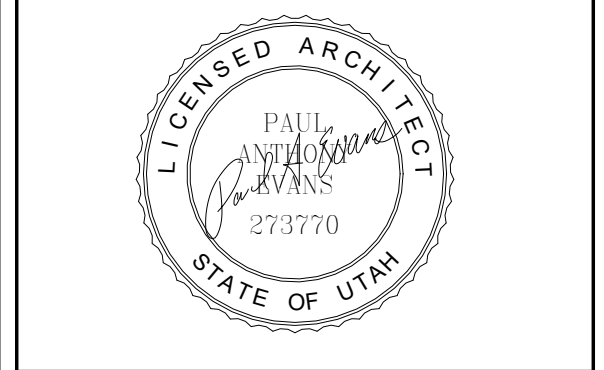
1. See A601 for door schedule.
2. See A611 for window schedule.
3. See A341 for wall type details.
4. Provide batt insulation in walls around all restrooms.
5. All shaded walls shall extend to bottom of deck.
6. Provide 2x6 solid blocking between studs at all accessories mounted over finished wall.
7. All dimensions are from grid line, face of stud and center of openings unless noted otherwise.
8. Gridlines indicate outside face of exterior framing.

Keyed Notes

06 2710.D1 3/4" x 1'-2" deep adjustable shelves with protective edges; typical of 6

Revision Schedule

#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
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 2535 West Wilson Lane
 West Haven, Utah

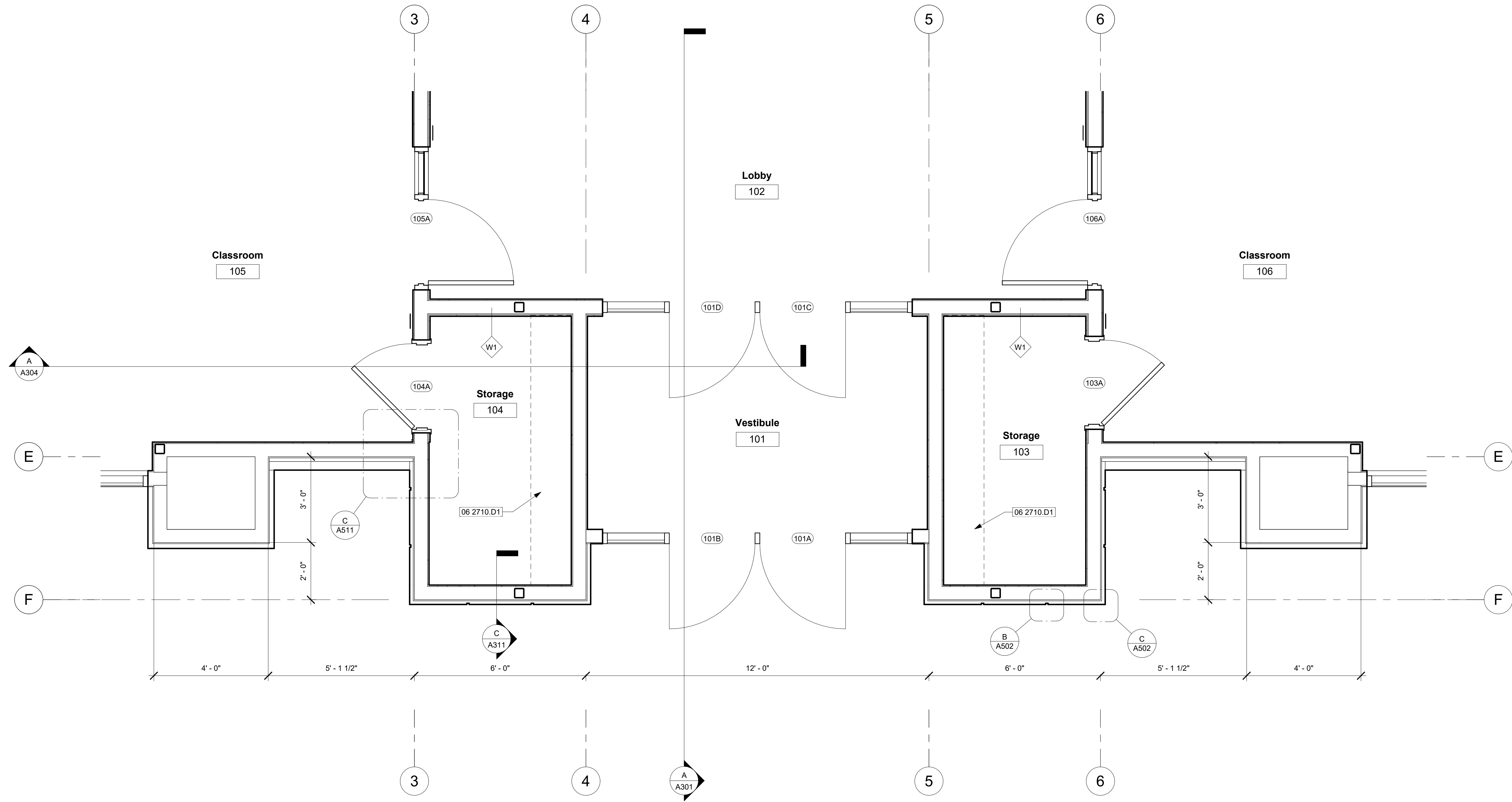
Project Number: 22-59

Property Number: 502-1091-22020101

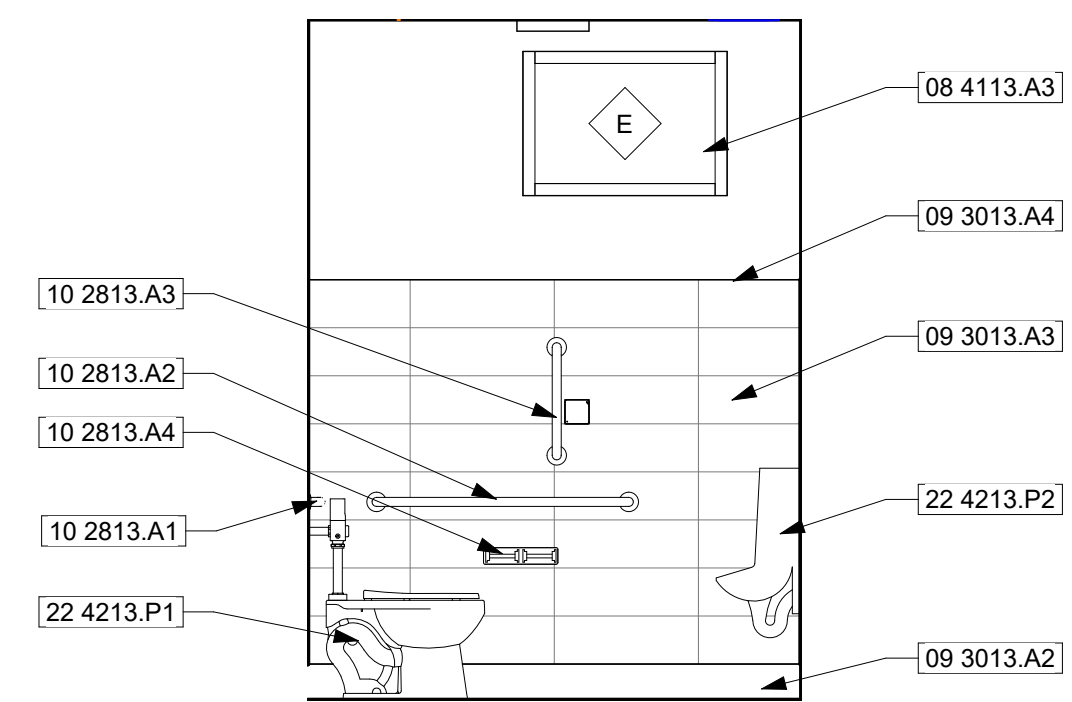
May 1, 2023

Enlarged Floor Plans

A402



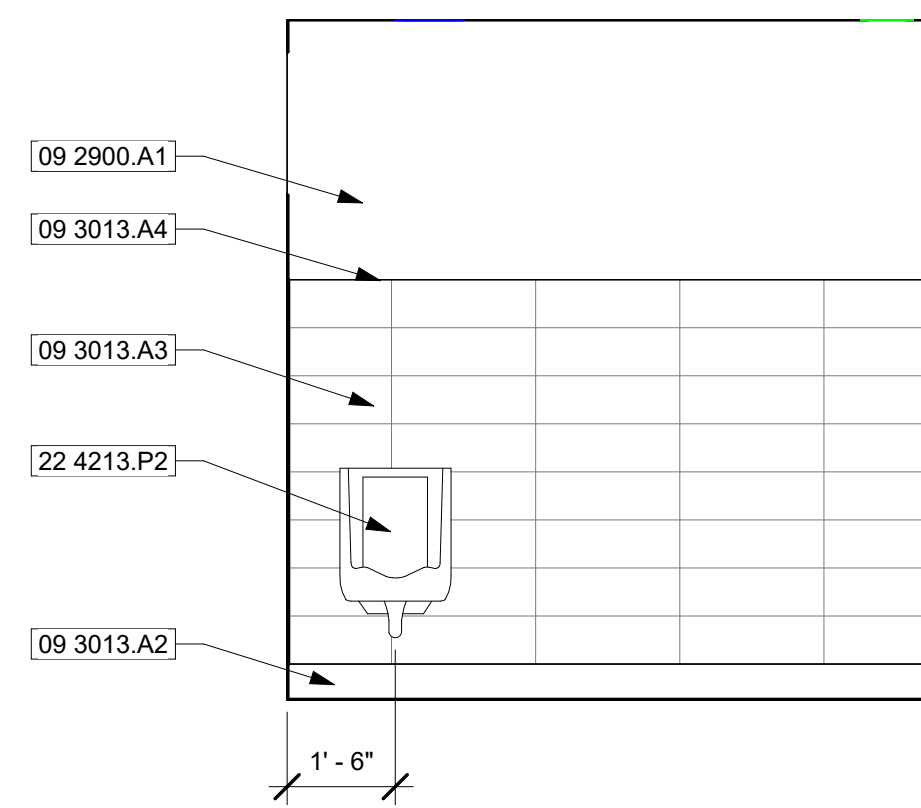
Enlarged Floor Plan - Entry
 SCALE: 1/2" = 1'-0" 1



Restroom 114 Interior Elevation

SCALE: 3/8" = 1'-0"

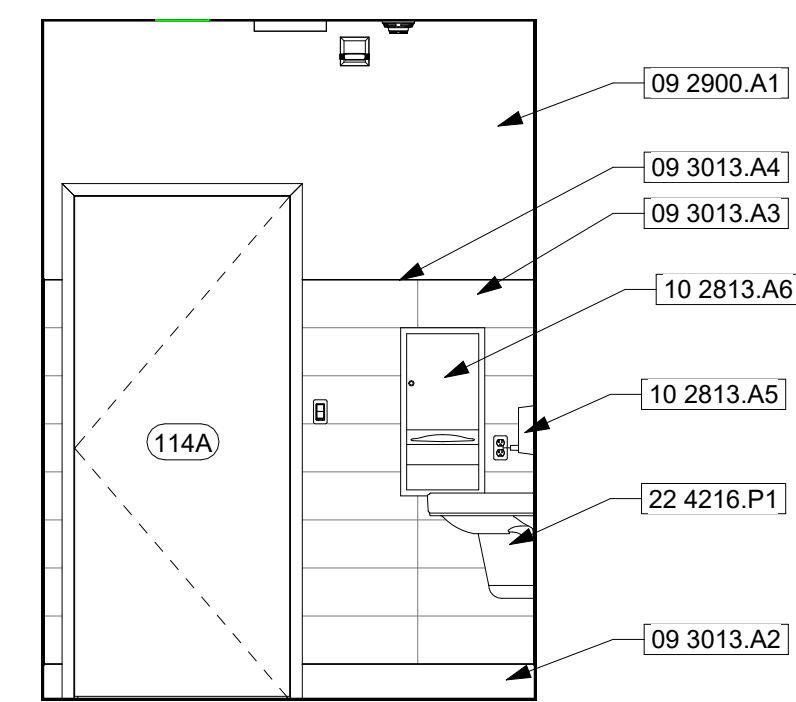
A



Restroom 114 Interior Elevation

SCALE: 3/8" = 1'-0"

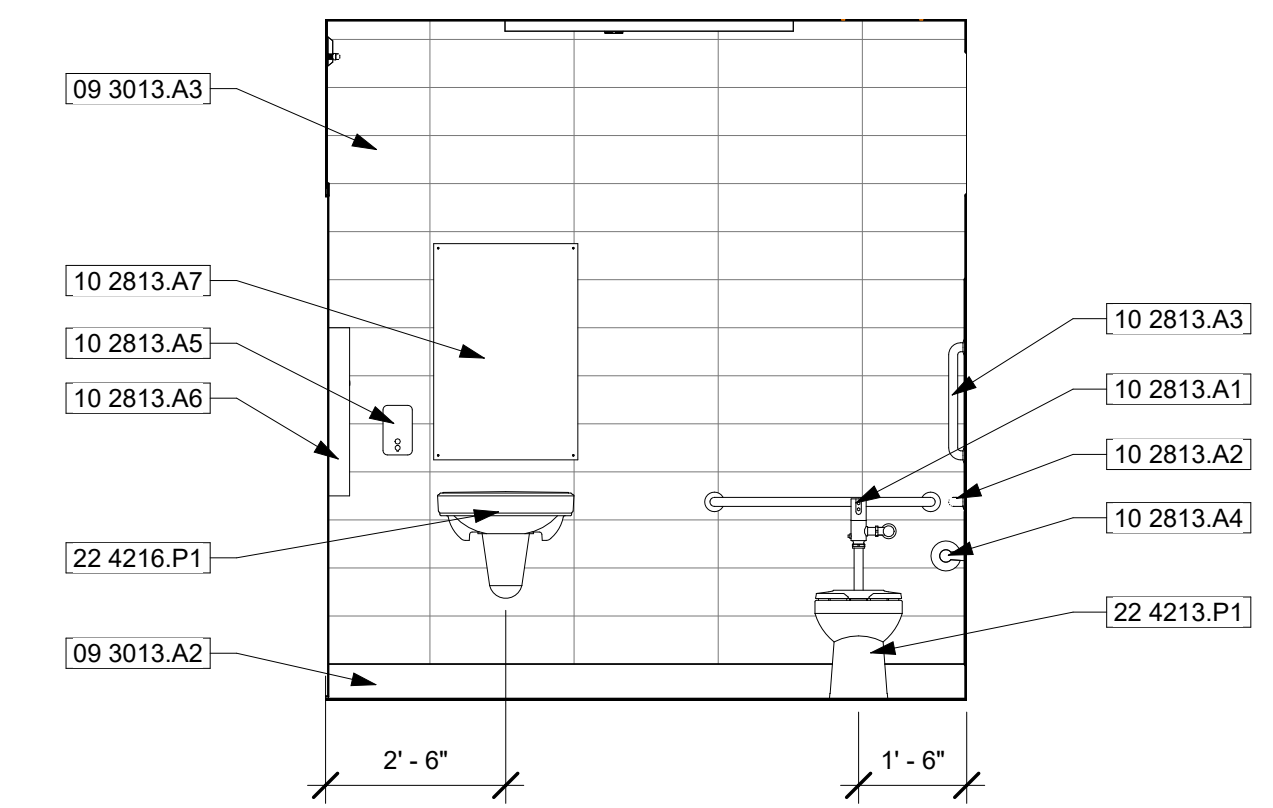
B



Restroom 114 Interior Elevation

SCALE: 3/8" = 1'-0"

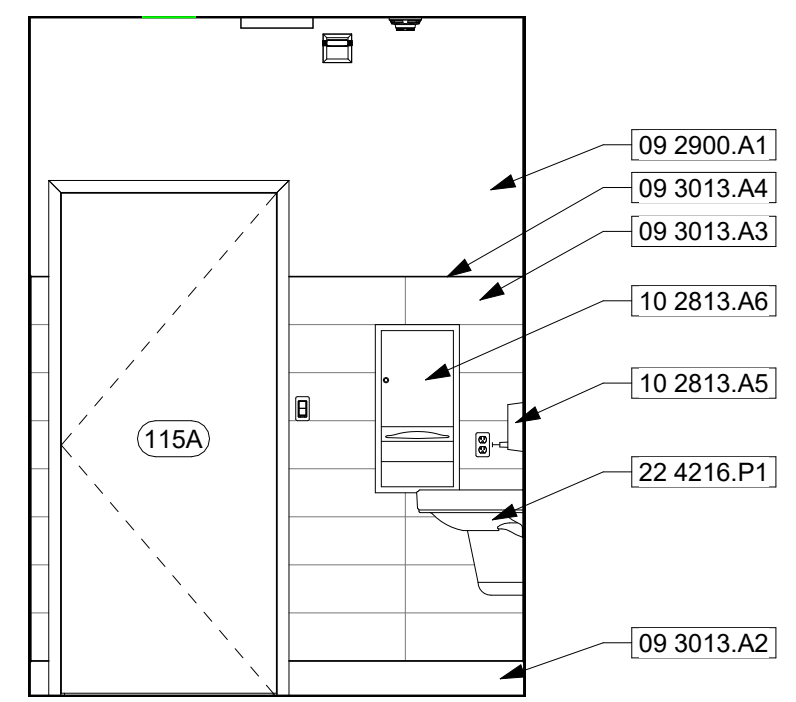
C



Restroom 114 Interior Elevation

SCALE: 3/8" = 1'-0"

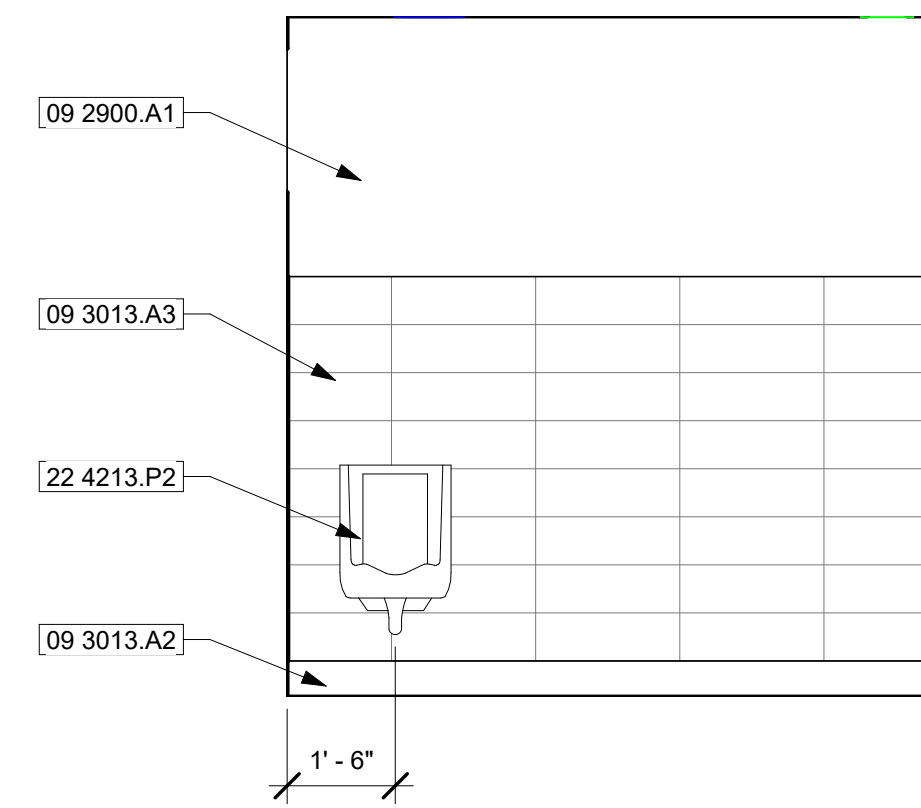
D



Restroom 115 Interior Elevation

SCALE: 3/8" = 1'-0"

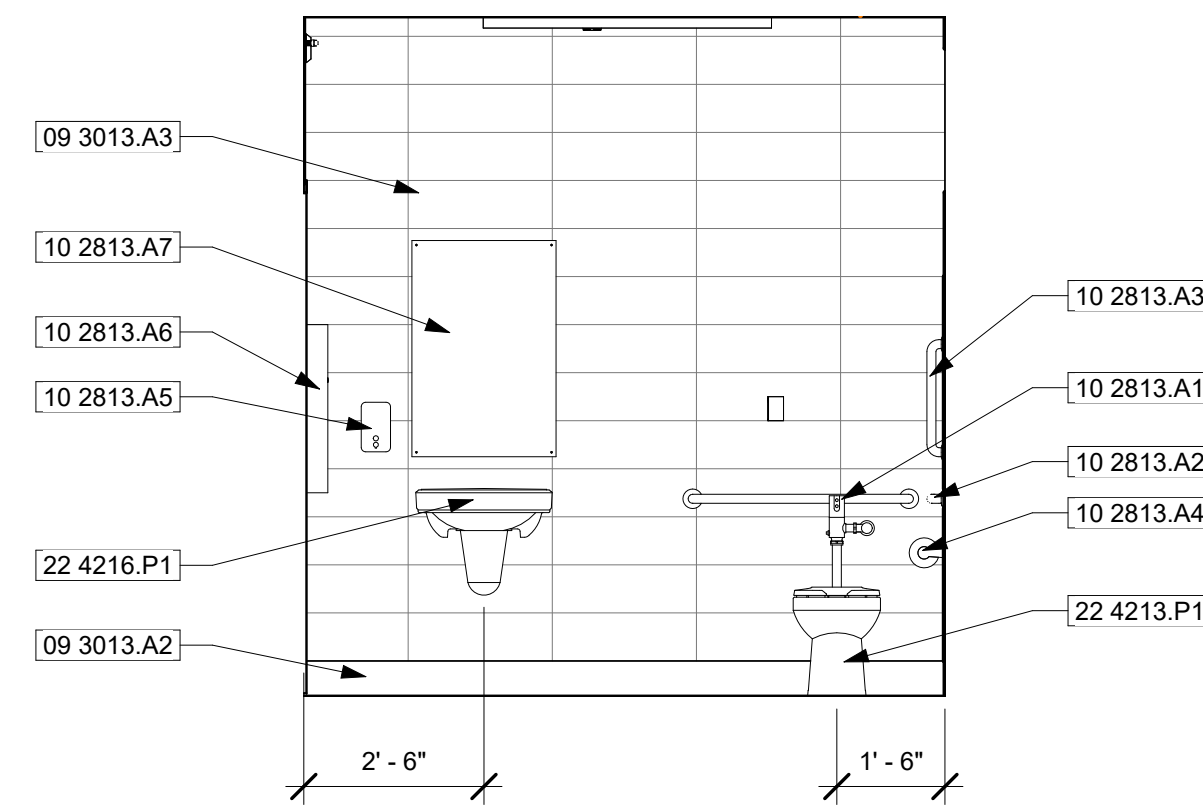
E



Restroom 115 Interior Elevation

SCALE: 3/8" = 1'-0"

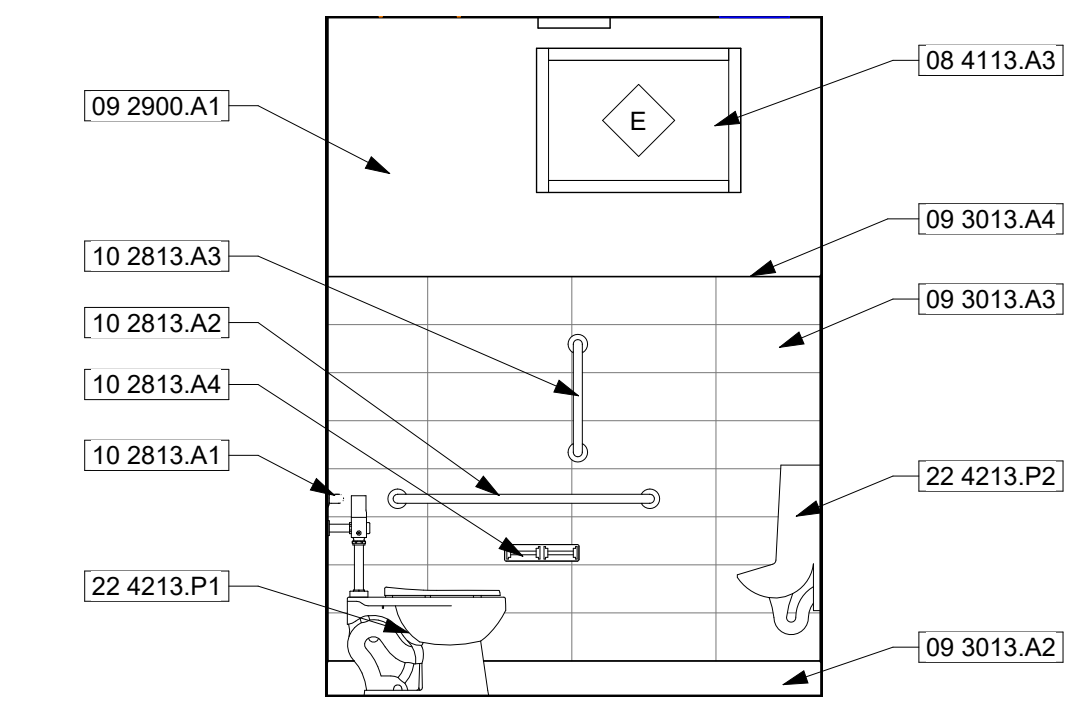
F



Restroom 115 Interior Elevation

SCALE: 3/8" = 1'-0"

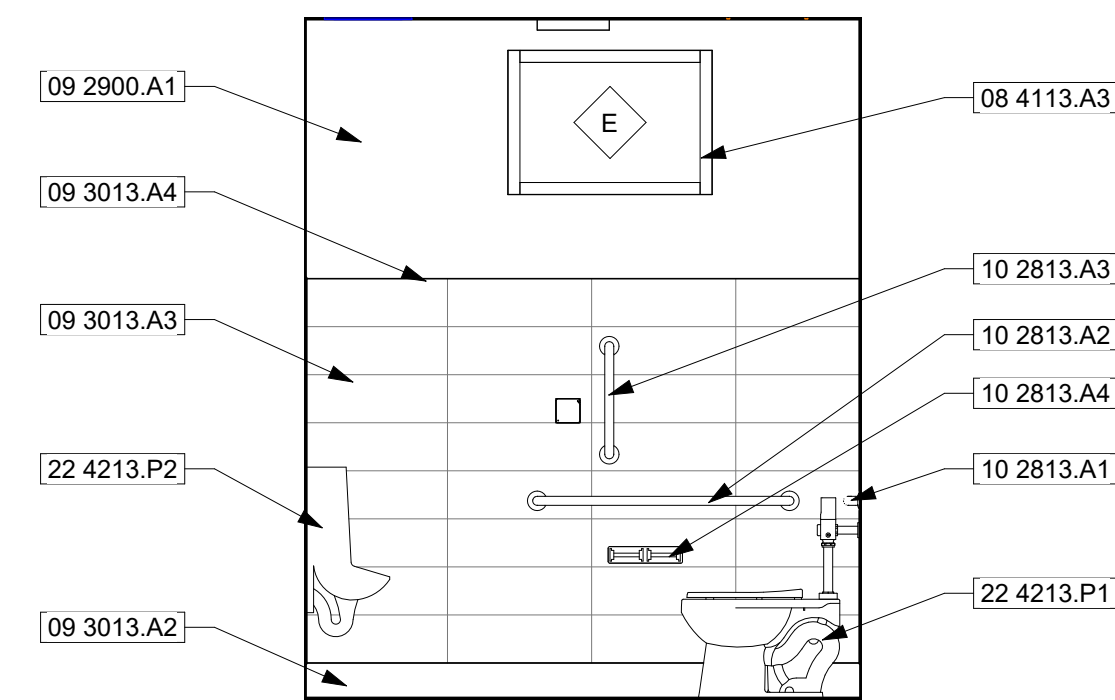
G



Restroom 115 Interior Elevation

SCALE: 3/8" = 1'-0"

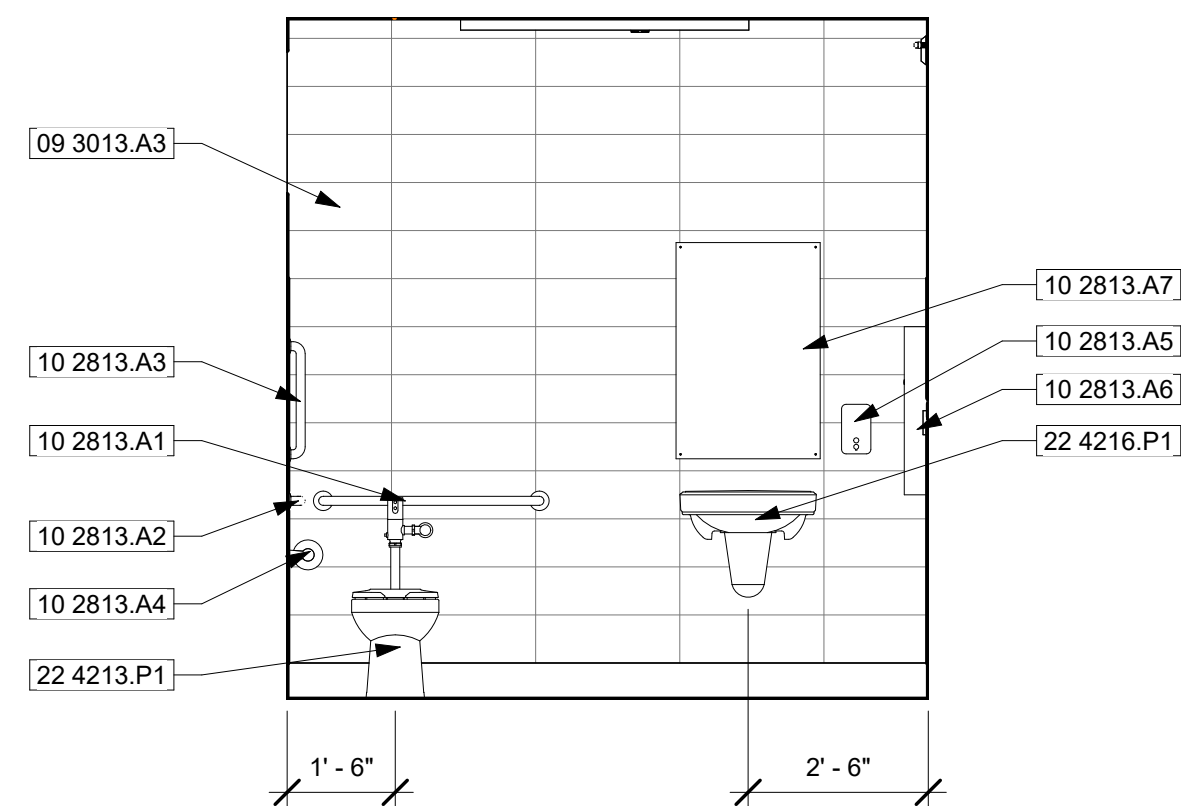
H



Restroom 116 Interior Elevation

SCALE: 3/8" = 1'-0"

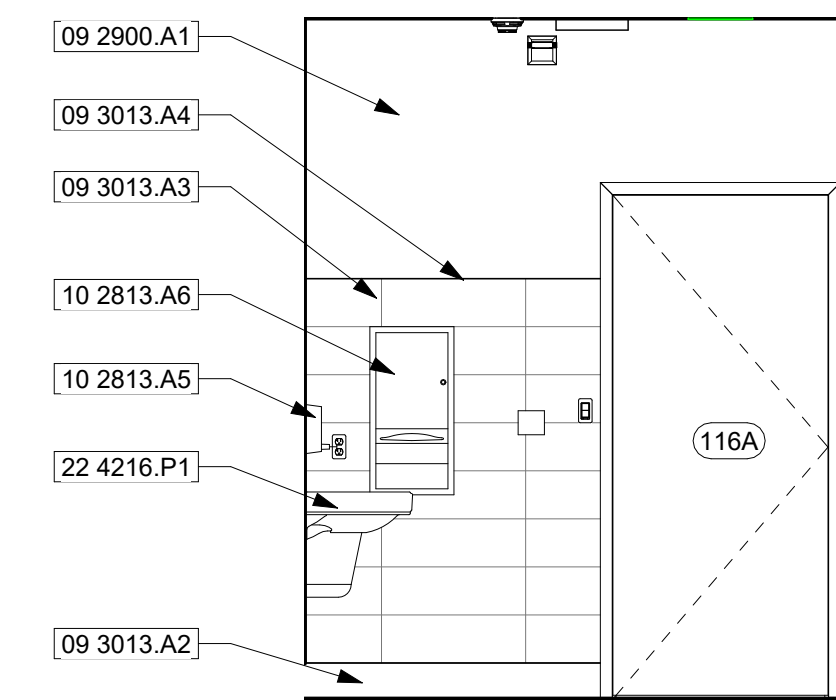
J



Restroom 116 Interior Elevation

SCALE: 3/8" = 1'-0"

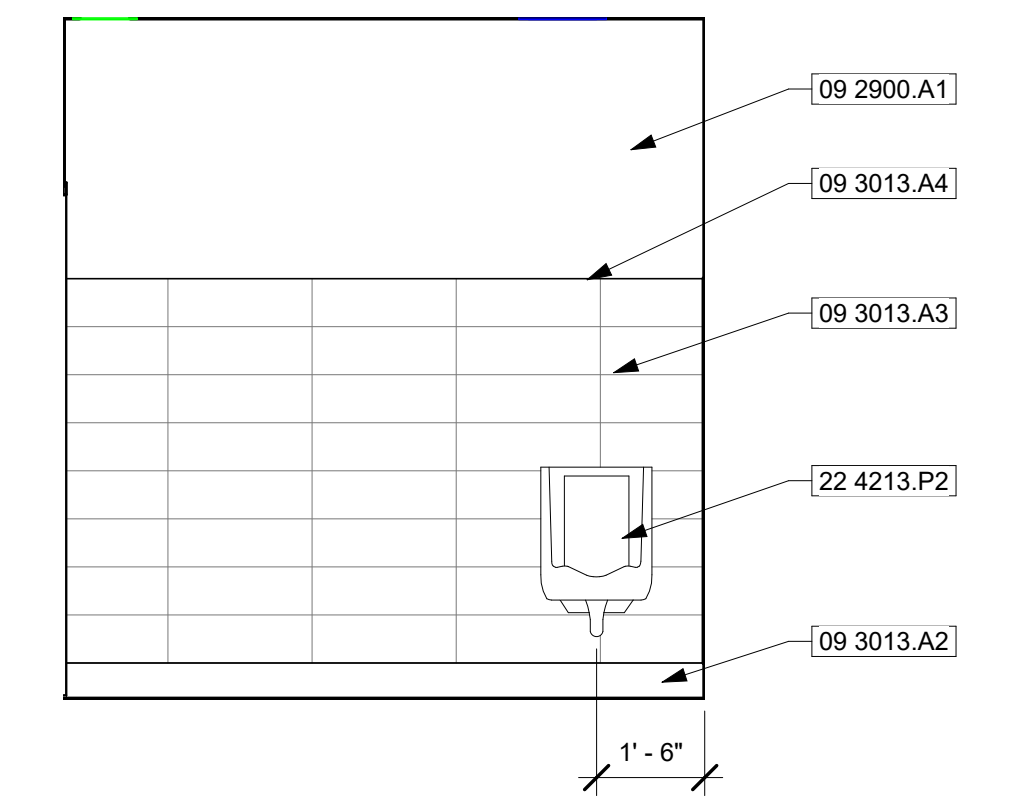
K



Restroom 116 Interior Elevation

SCALE: 3/8" = 1'-0"

L



Restroom 116 Interior Elevation

SCALE: 3/8" = 1'-0"

M

General Notes

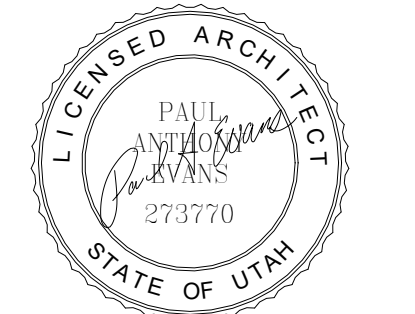
1. See A601 for door schedule.
2. See A611 for window schedule.
3. See A341 for wall type details.
4. Provide batt insulation in walls around all restrooms.
5. All shaded walls shall extend to bottom of deck.
6. Provide 2x6 solid blocking between studs at all accessories mounted over finished wall.

Keyed Notes

08 4113.A3	Storefront window; see window schedule
09 2900.A1	5/8" gypsum board
09 3013.A2	6x12 cove base
09 3013.A3	8x24 wall tile; stacked coursing
09 3013.A4	Schluter strip at top and ends of wall tile
10 2813.A1	3'-0" long horizontal stainless steel grab bar; see E/G303
10 2813.A2	3'-6" long horizontal stainless steel grab bar; see E/G303
10 2813.A3	1'-6" long vertical stainless steel grab bar; see E/G303
10 2813.A4	Toilet tissue dispenser; E/G303; owner-provided and installed
10 2813.A5	Soap dispenser; see E/G303; owner-provided and installed
10 2813.A6	Paper towel dispenser; E/G303; owner-provided and installed
10 2813.A7	24" x 36" mirror with stainless steel trim; E/G303
22 4213.P1	Water closet; see plumbing and accessibility details
22 4213.P2	Urinal; see plumbing and accessibility details
22 4216.P1	Single compartment sink; see plumbing

Revision Schedule

#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary

2535 West Wilson Lane
West Haven, Utah

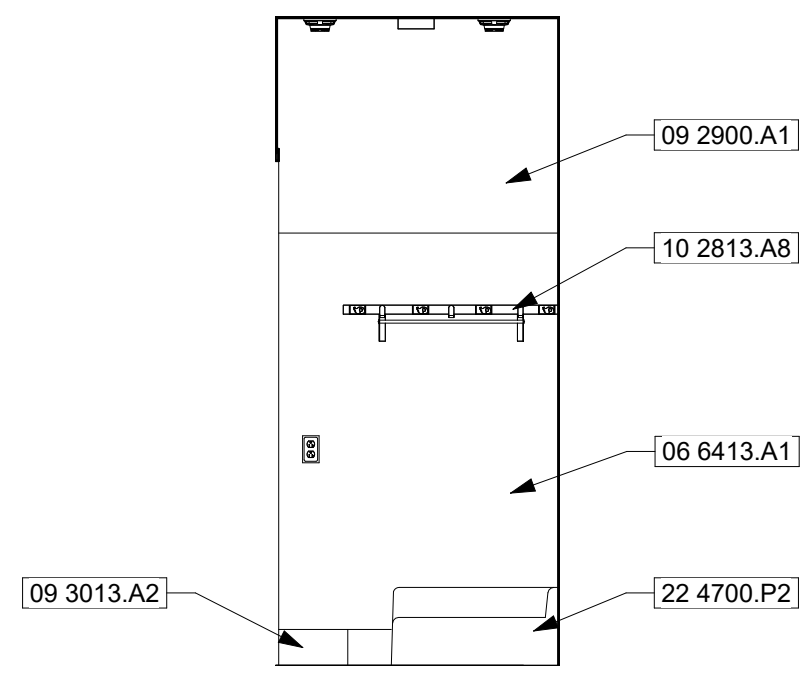
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Interior Elevations

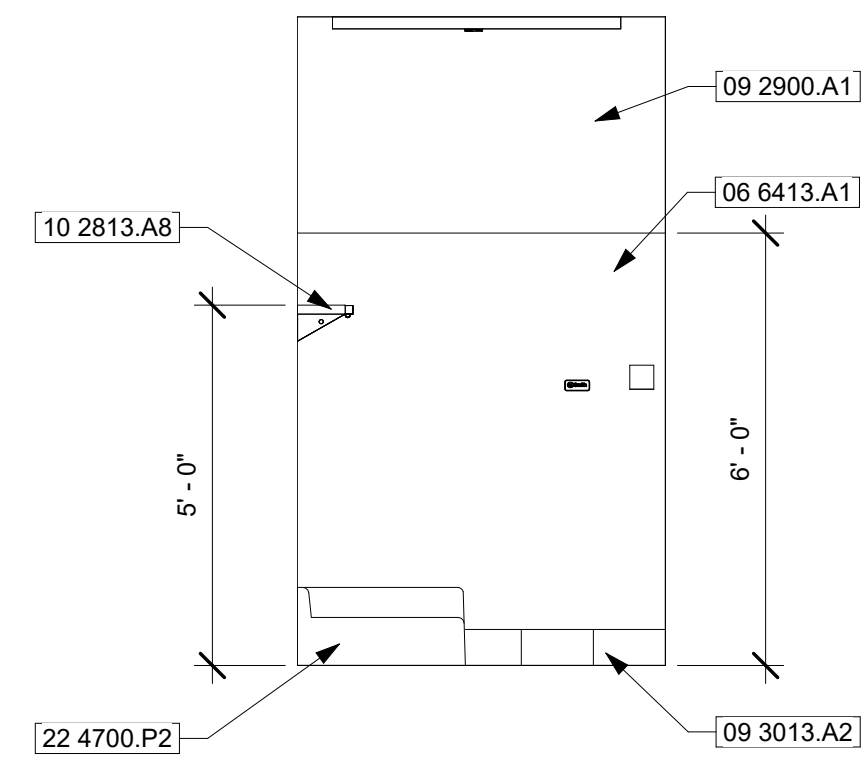
A411



Custodial 113 Interior Elevation

SCALE: 3/8" = 1'-0"

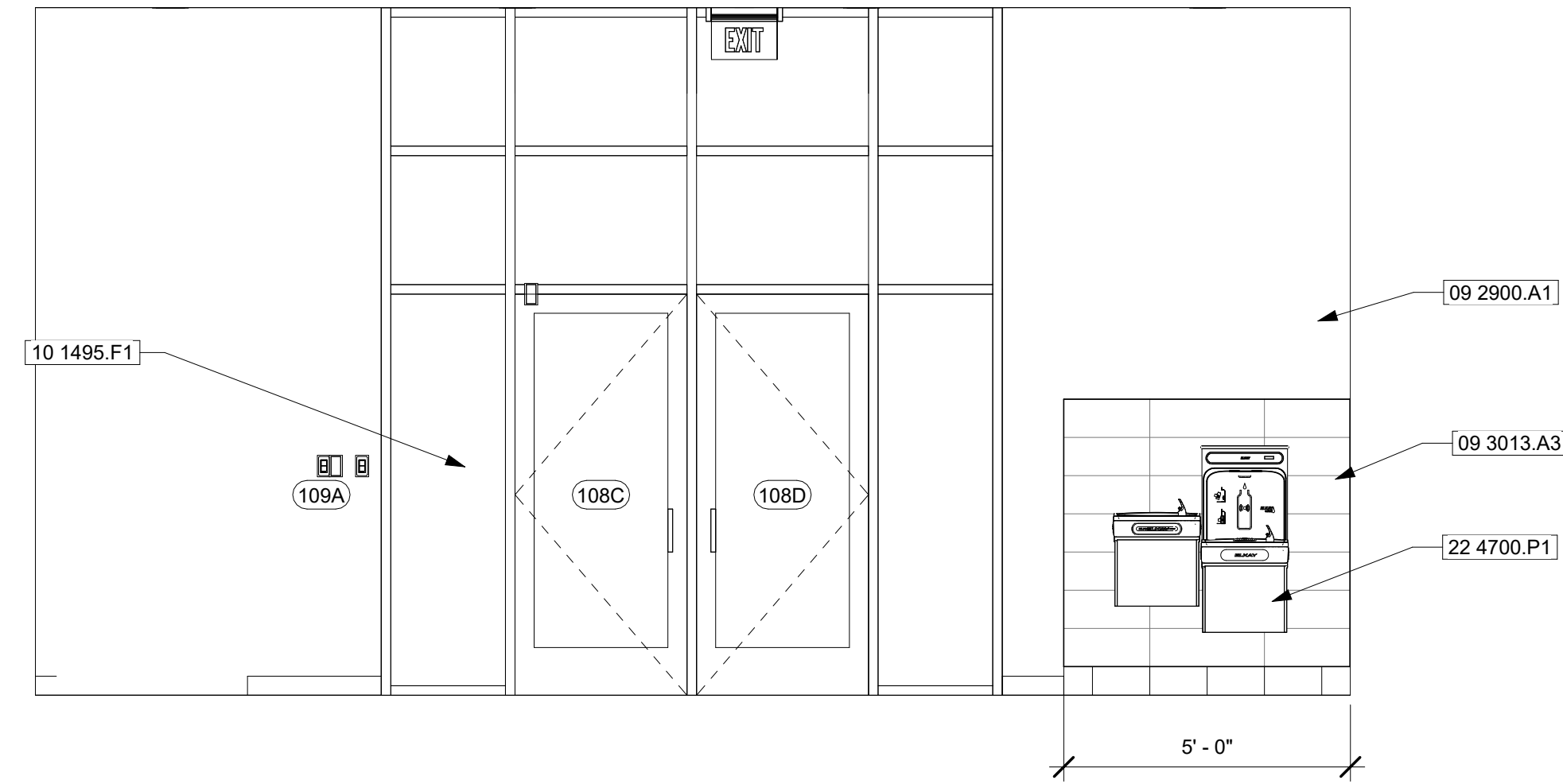
A



Custodial 113 Interior Elevation

SCALE: 3/8" = 1'-0"

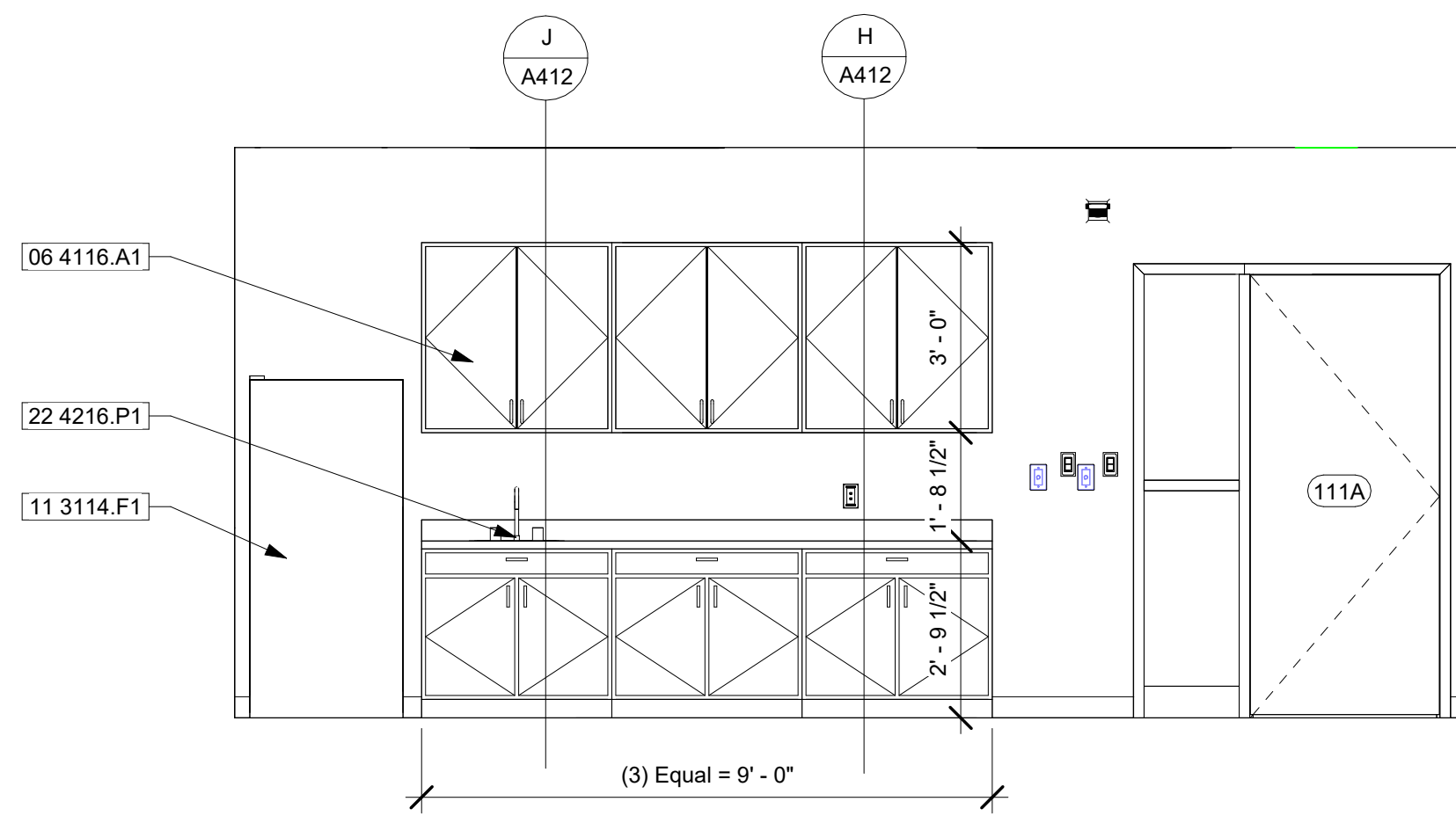
B



Lobby 102 Interior Elevation

SCALE: 3/8" = 1'-0"

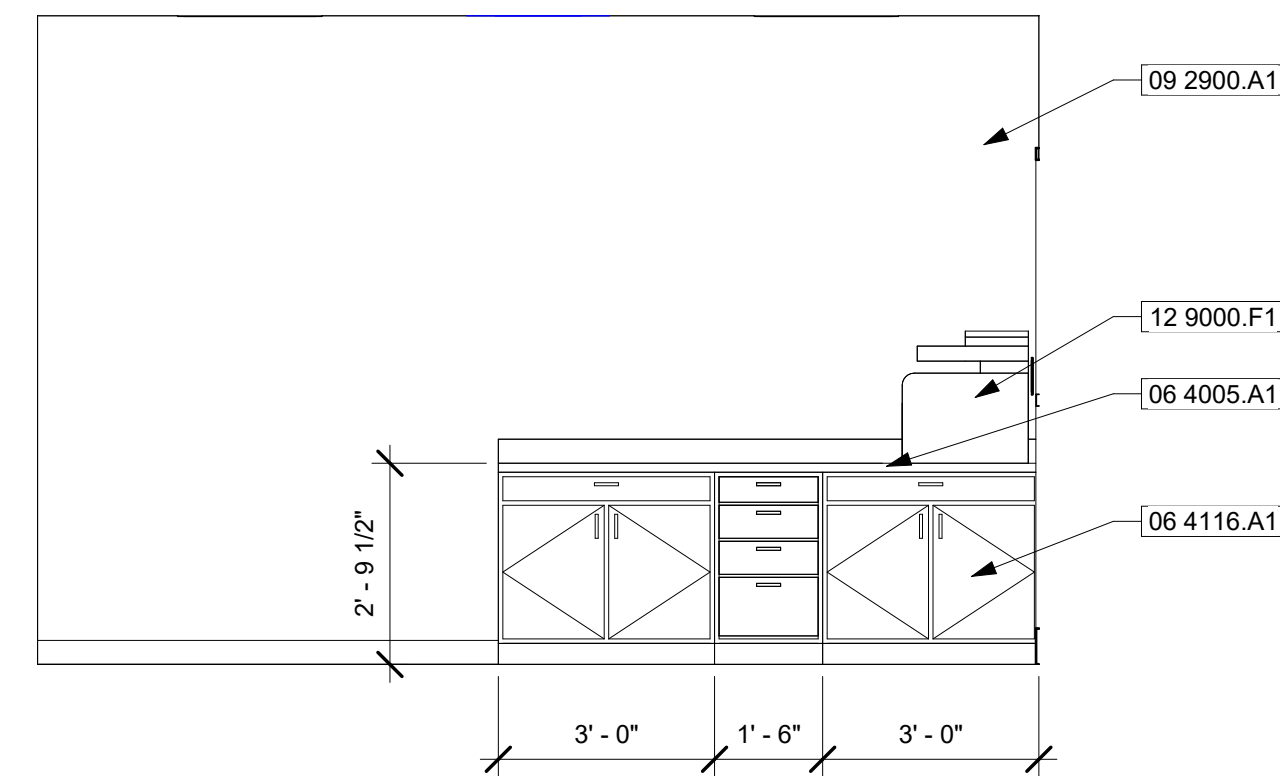
C



Faculty Office 111 Interior Elevation

SCALE: 3/8" = 1'-0"

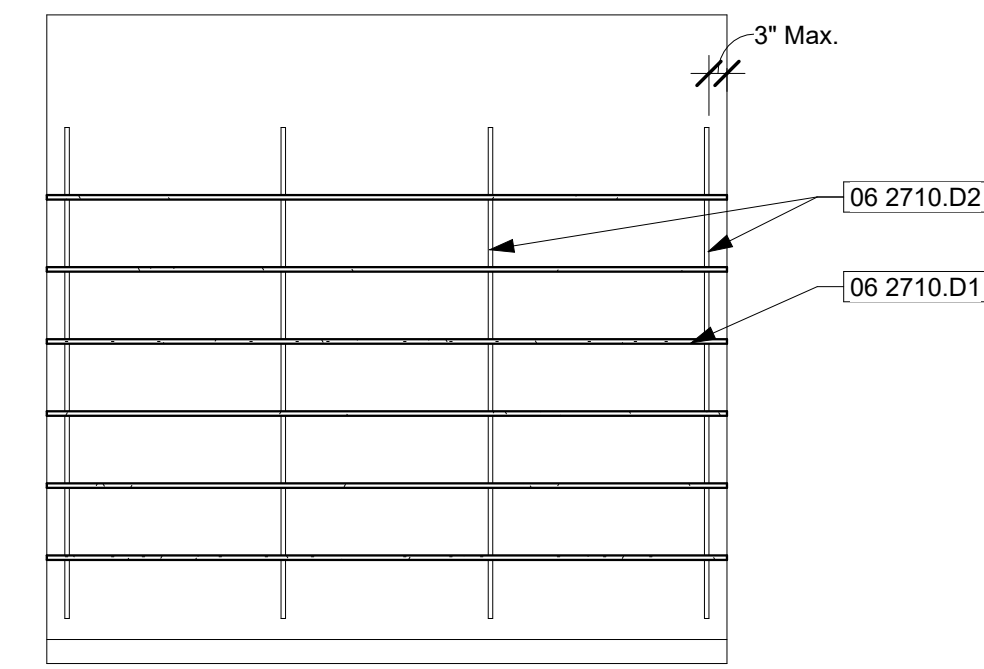
D



Faculty Office 111 Interior Elevation

SCALE: 3/8" = 1'-0"

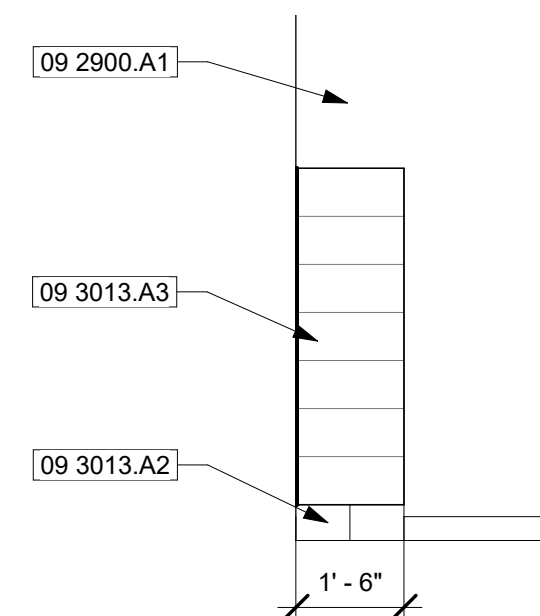
E



Adjustable Shelves Elevation

SCALE: 3/8" = 1'-0"

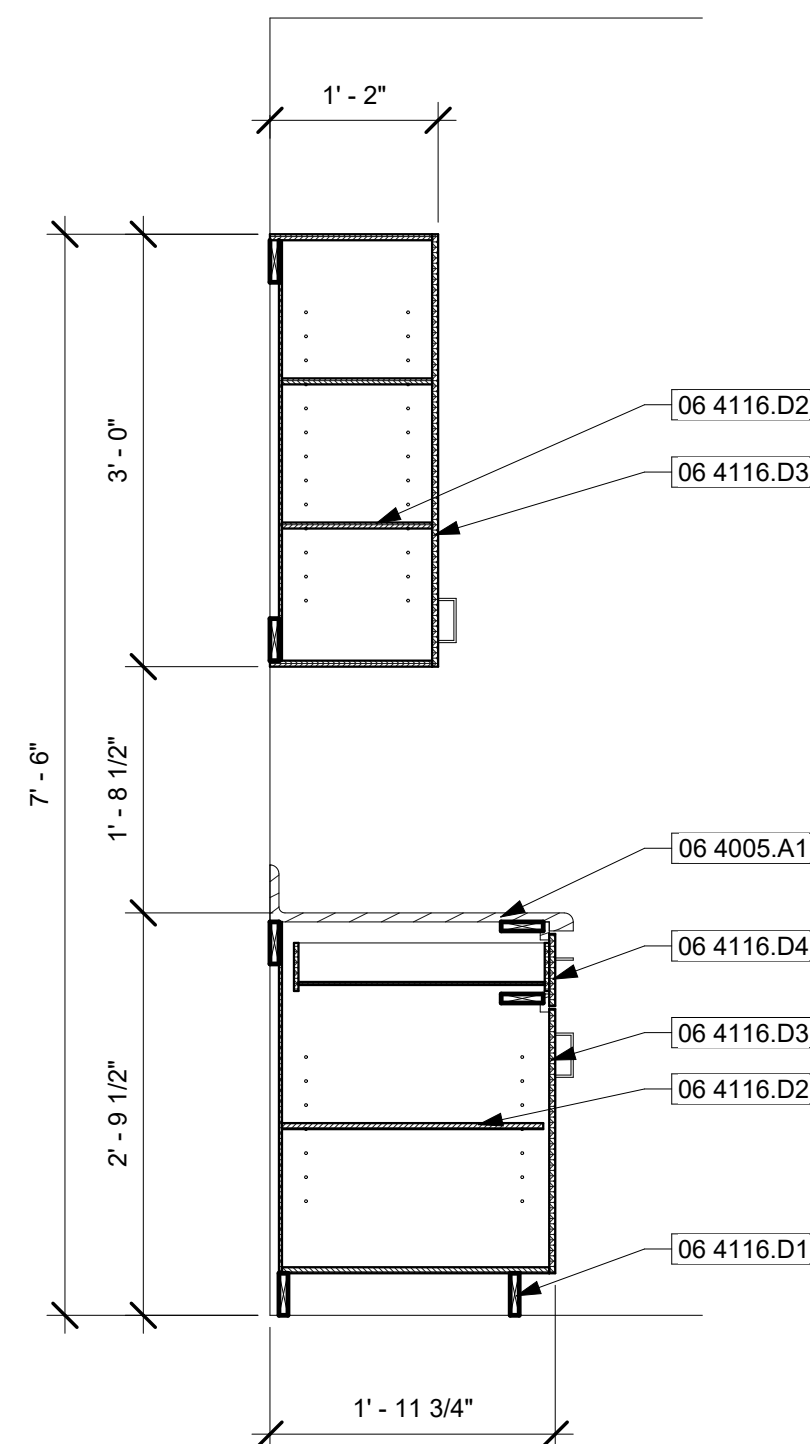
F



Drinking Fountain

SCALE: 3/8" = 1'-0"

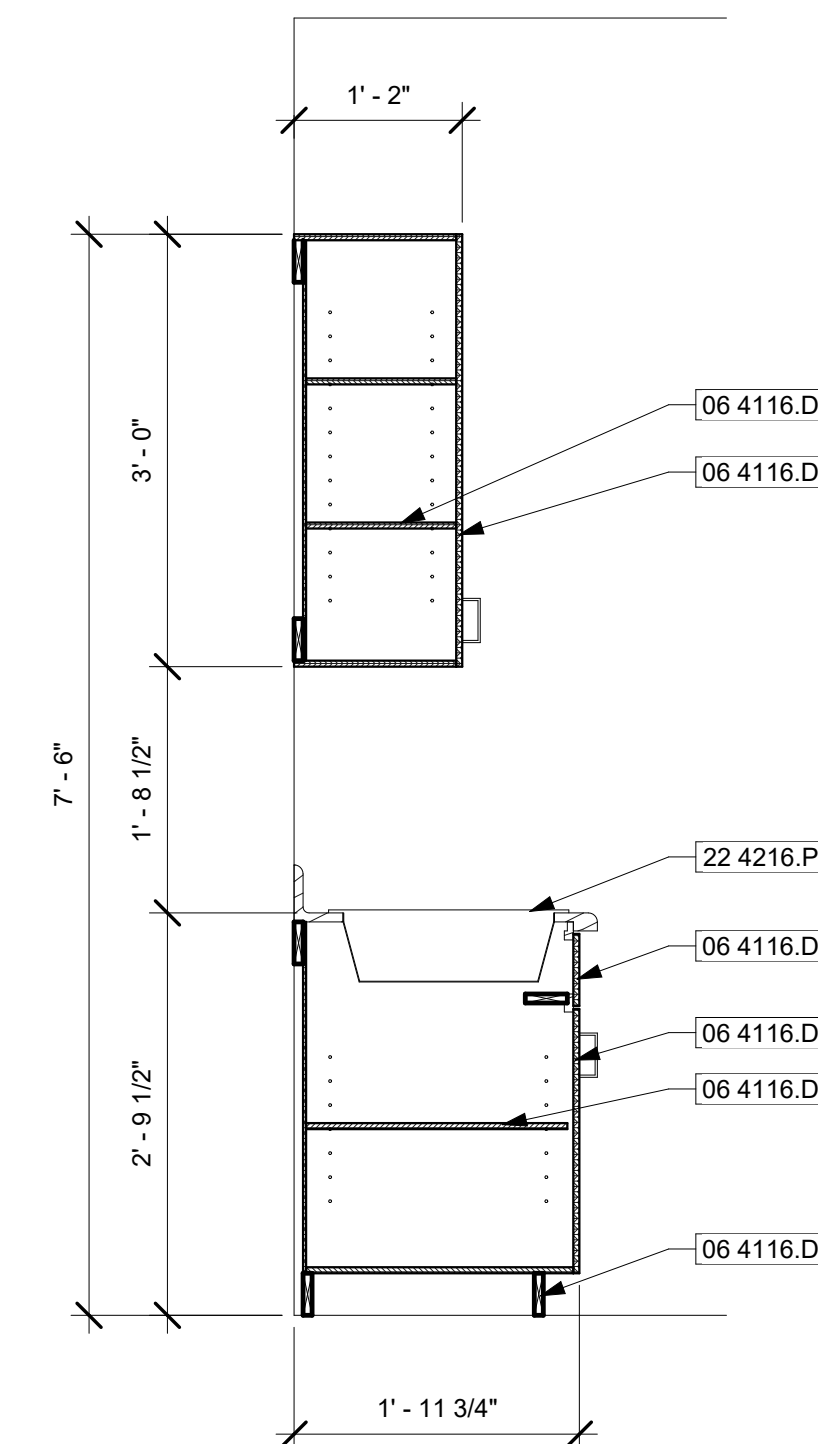
G



Cabinet Section

SCALE: 3/4" = 1'-0"

H



Cabinet Section with Sink

SCALE: 3/4" = 1'-0"

J

General Notes

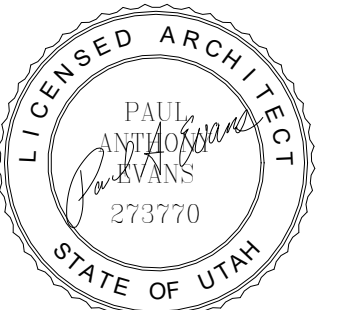
1. See A601 for door schedule.
2. See A611 for window schedule.
3. See A341 for wall type details.
4. Provide batt insulation in walls around all restrooms.
5. All shaded walls shall extend to bottom of deck.
6. Provide 2x6 solid blocking between studs at all accessories mounted over finished wall.

Keyed Notes

06 2710.D1	3/4" x 1'-2" deep adjustable shelves with protective edges; typical of 6
06 2710.D2	72" adjustable standards; mounted to studs or blocking at 3'-0" maximum
06 4005.A1	Plastic laminate countertop and splash
06 4116.A1	Plastic laminate faced architectural cabinet
06 4116.D1	1x4 base framing
06 4116.D2	Adjustable shelf
06 4116.D3	Door with pull
06 4116.D4	Drawer front with pull
06 4116.D7	False drawer front
06 6413.A1	Plastic paneling
09 2900.A1	5/8" gypsum board
09 3013.A2	6x12 cove base
09 3013.A3	8x24 wall tile; stacked coursing
10 1495.F1	Interior signage; owner-provided and contractor installed
10 2813.A8	Utility shelf
11 3114.F1	Refrigerator; owner-provided and contractor installed
12 9000.F1	Copier; owner-provided and installed
22 4216.P1	Single compartment sink; see plumbing
22 4700.P1	Drinking fountain; see plumbing
22 4700.P2	Mop sink; see plumbing

Revision Schedule

#	Description	Date



Project for:

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for

Mountain View Jr Seminary

2535 West Wilson Lane
West Haven, Utah

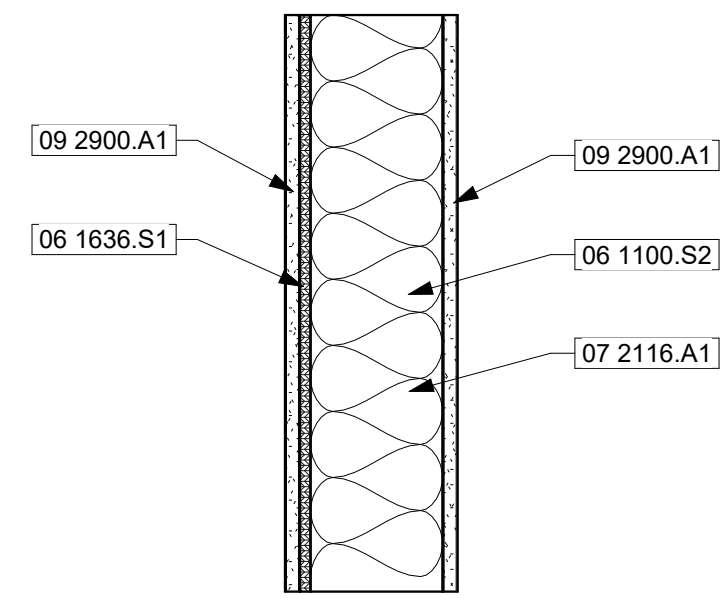
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

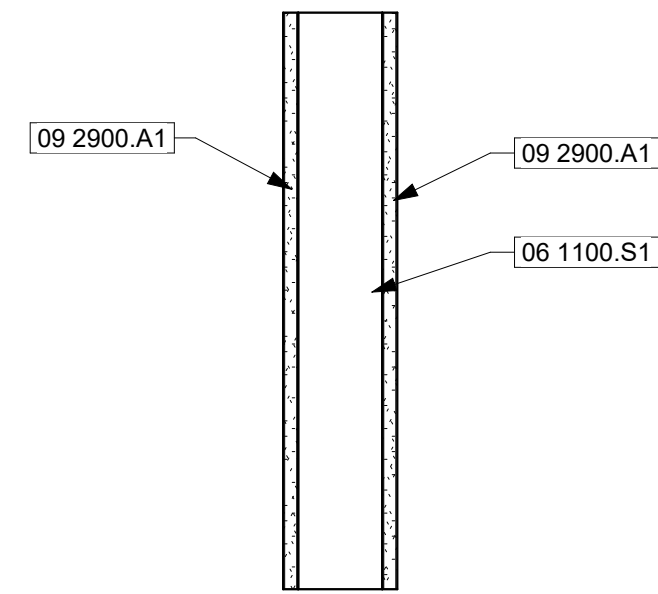
Interior Elevations

A412



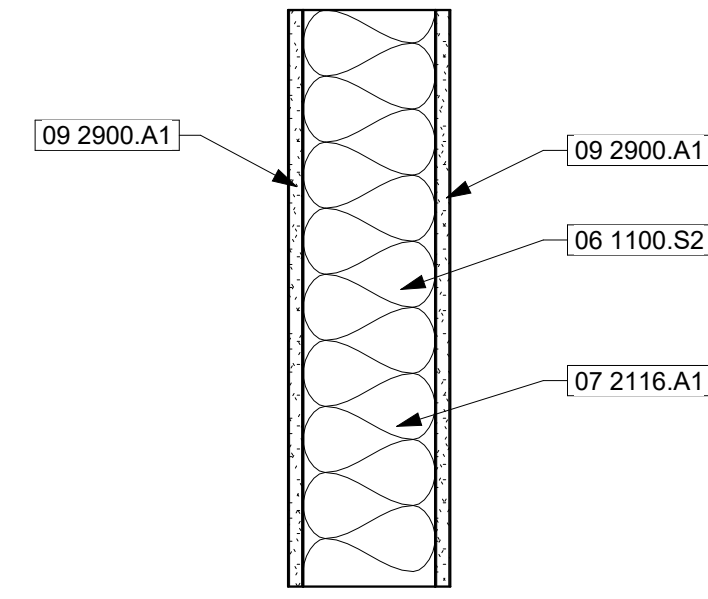
W1 Wall Type
SCALE: 1 1/2" = 1'-0"

W1



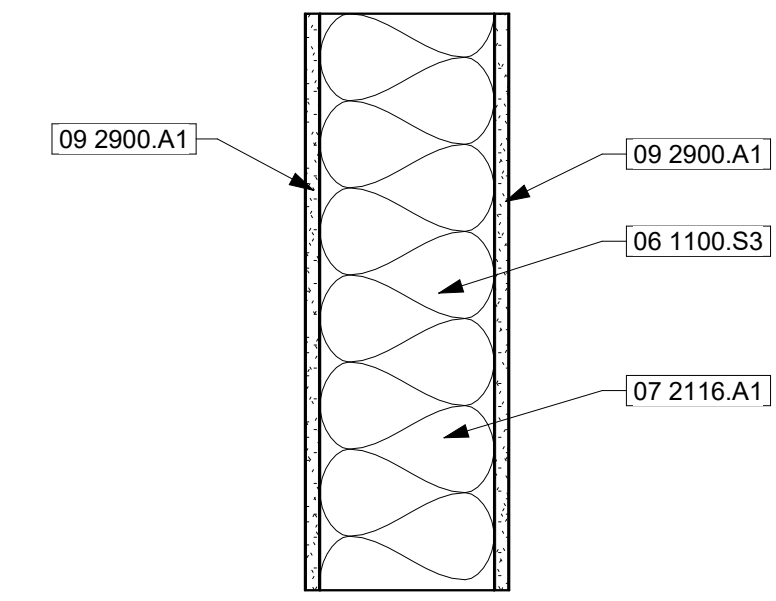
W2 Wall Type
SCALE: 1 1/2" = 1'-0"

W2



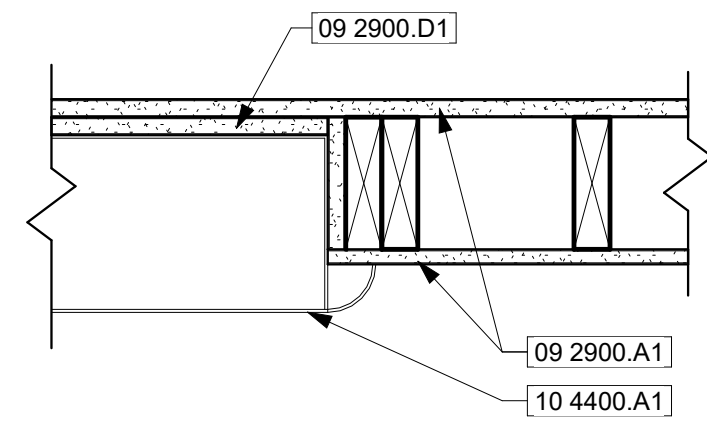
W3 Wall Type
SCALE: 1 1/2" = 1'-0"

W3



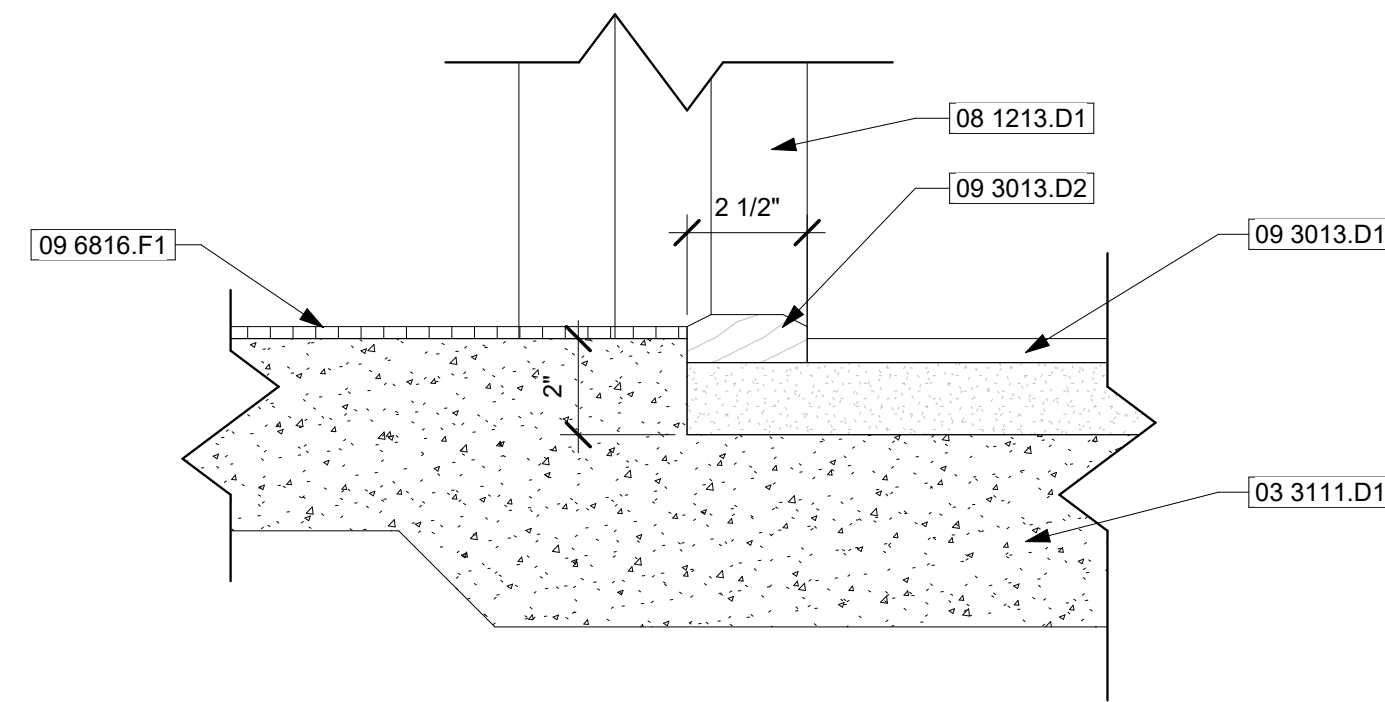
W4 Wall Type
SCALE: 1 1/2" = 1'-0"

W4



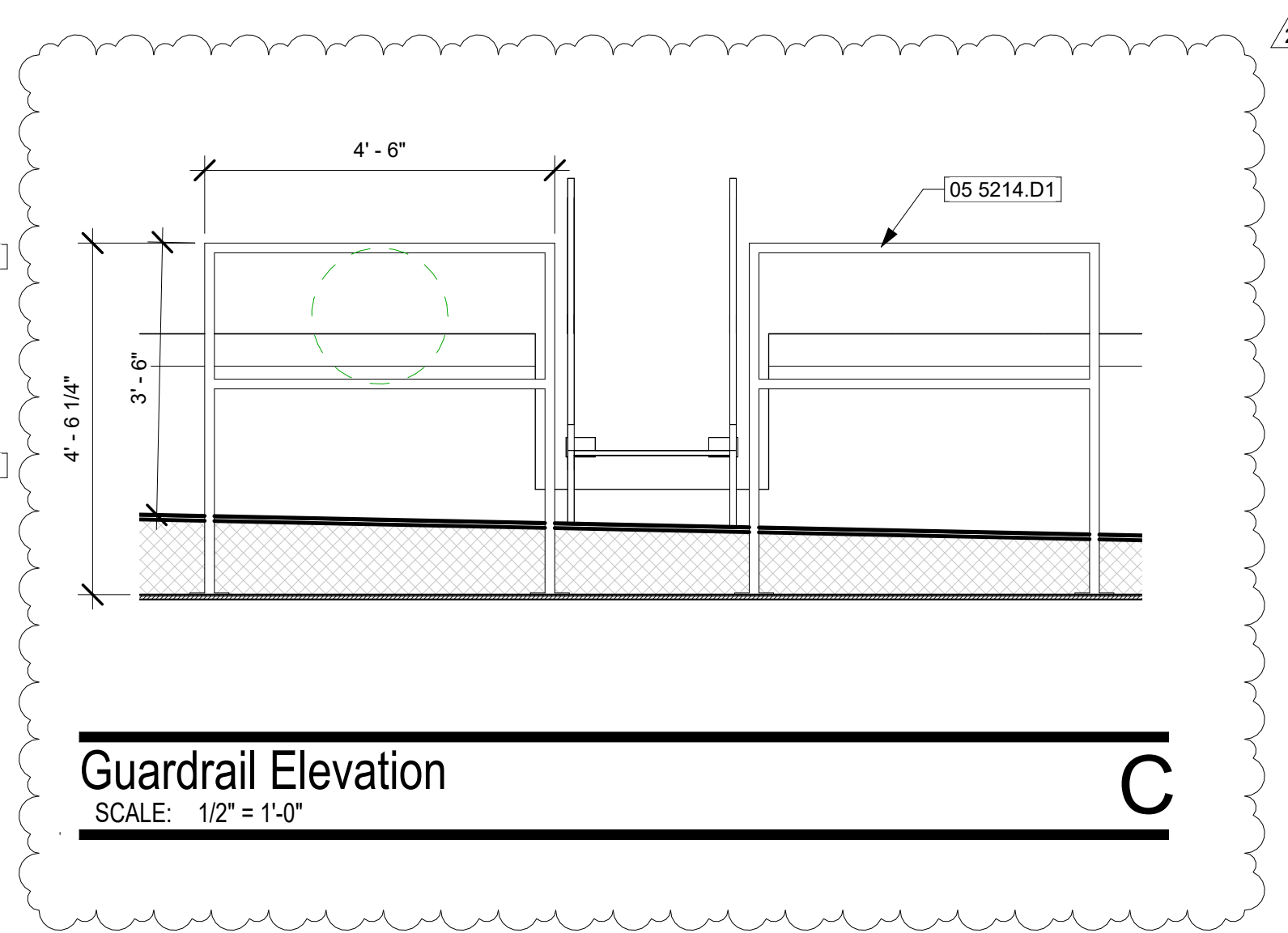
Fire Extinguisher Cabinet
SCALE: 1 1/2" = 1'-0"

A



Stone Threshold Detail
SCALE: 3" = 1'-0"

B



Guardrail Elevation
SCALE: 1/2" = 1'-0"

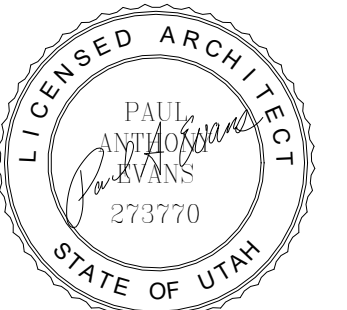
C

Keyed Notes

03 3111.D1	Concrete floor slab with 2" recess for paver floor tile installation
05 5214.D1	1 1/2" diameter guardrail; paint
06 1100.S1	2x4 wood wall framing at 16" o.c.
06 1100.S2	2x6 wood wall framing at 16" o.c.
06 1100.S3	2x8 wood wall framing at 16" o.c.
06 1636.S1	Wood wall sheathing; see structural
07 2116.A1	Batt insulation; unfaced; R-19
08 1213.D1	Hollow metal door frame beyond
09 2900.A1	5/8" gypsum board
09 2900.D1	5/8" gypsum board to encase recess at top, bottom, sides and provide (2) layers of 5/8" gypsum board at back
09 3013.D1	Paver floor tile over setting bed
09 3013.D2	Stone threshold with chamfered top edges; notch ends for door frame stops
09 6816.F1	Carpet
10 4400.A1	Semi-recessed fire extinguisher cabinet and fire extinguisher; mount bottom of cabinet at 2'-10" a.f.f.; see detail

Revision Schedule

#	Description	Date
2	Review Comments	06/06/23



Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Building for

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Seminary**

2535 West Wilson Lane
West Haven, Utah

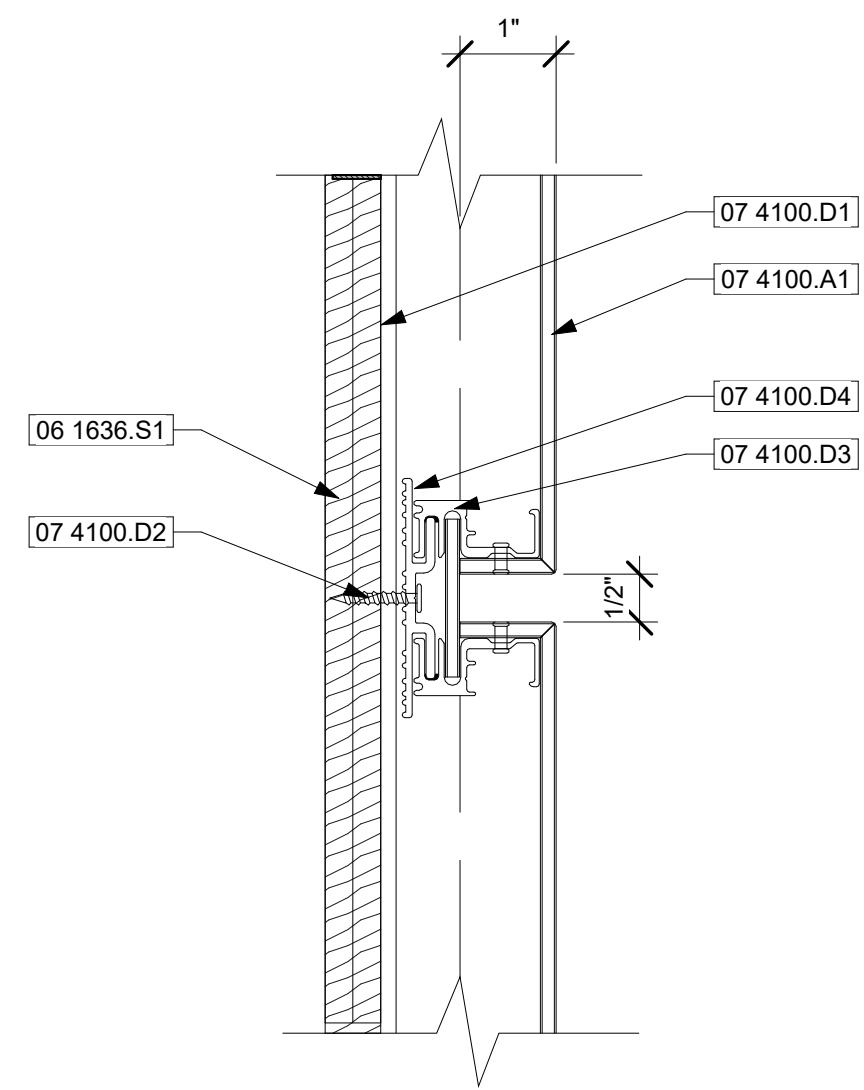
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Wall Types and Miscellaneous Details

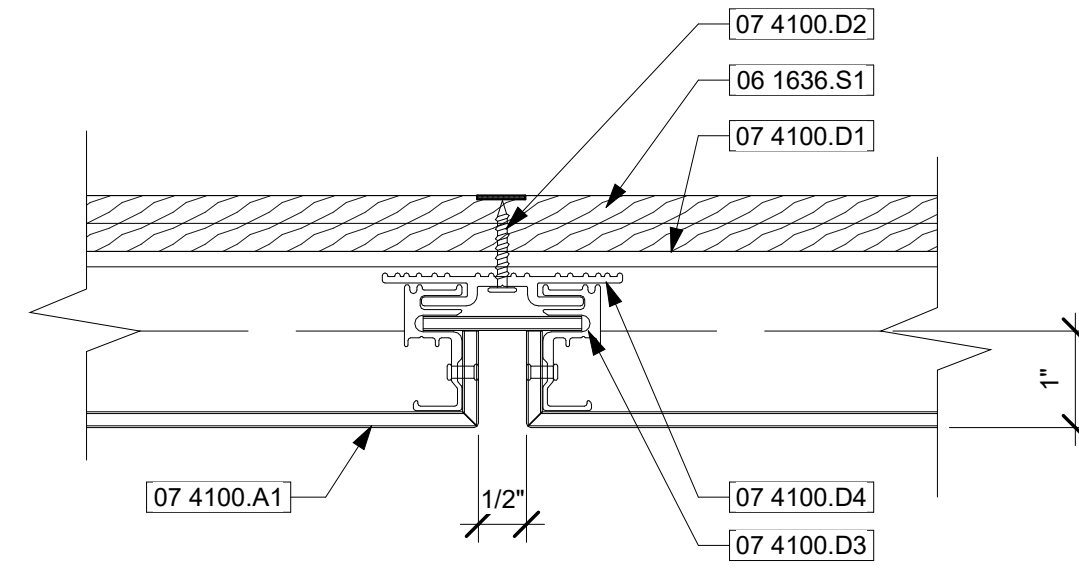
A501



Metal Panel Horizontal Joint Detail

SCALE: 6" = 1'-0"

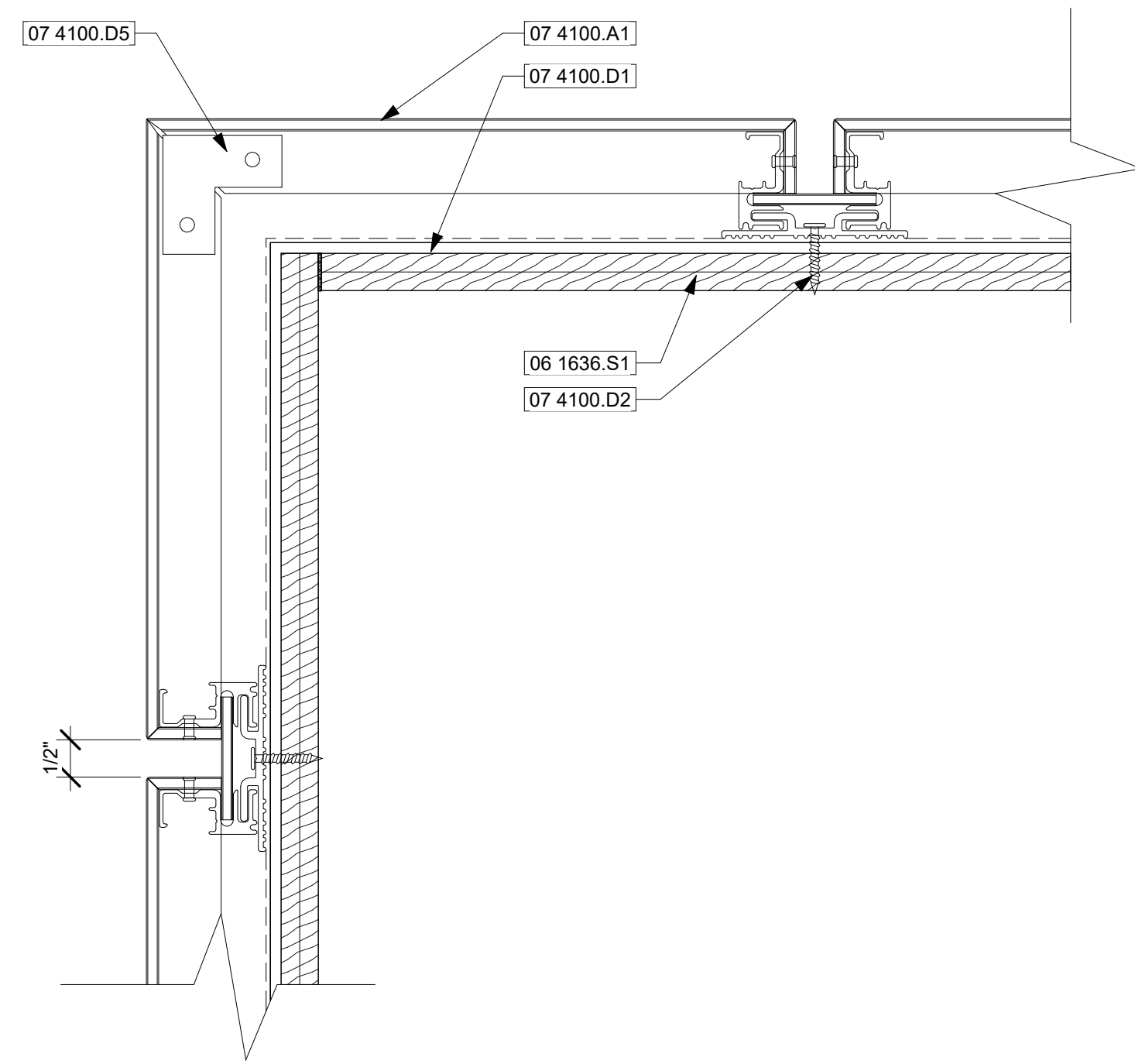
A



Metal Panel Vertical Joint Detail

SCALE: 6" = 1'-0"

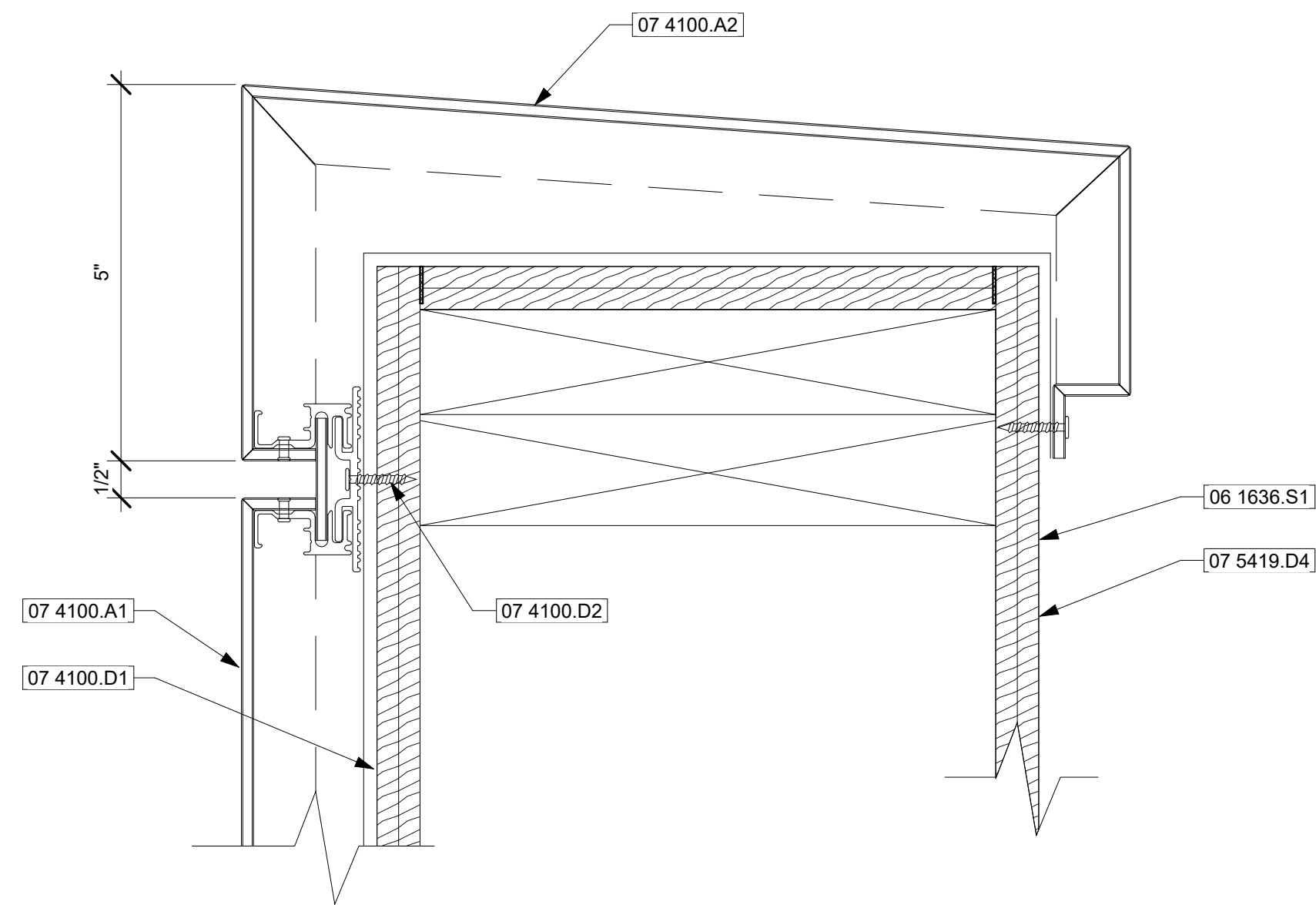
B



Metal Panel Outside Corner Detail

SCALE: 6" = 1'-0"

C



Metal Panel Parapet Detail

SCALE: 6" = 1'-0"

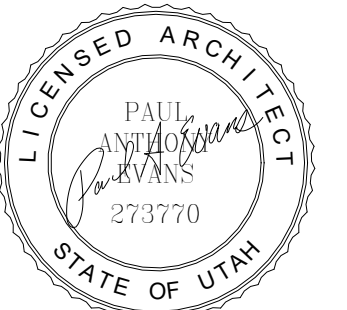
D

Keyed Notes

[06 1636.S1]	Wood wall sheathing; see structural
[07 4100.A1]	Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
[07 4100.A2]	Composite pre-finished metal parapet cap
[07 4100.D1]	40 mil peel and stick membrane per manufacturer
[07 4100.D2]	1" fastener per manufacturer
[07 4100.D3]	Factory applied continuous aluminum extrusion
[07 4100.D4]	Composite track
[07 4100.D5]	Corner support angle bracing
[07 5419.D4]	Extend polyvinyl-chloride roofing membrane up vertical wall and under parapet cap

Revision Schedule

#	Description	Date



Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Building for

**Mountain View Jr
Seminary**

2535 West Wilson Lane
West Haven, Utah

Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Metal Panel Details

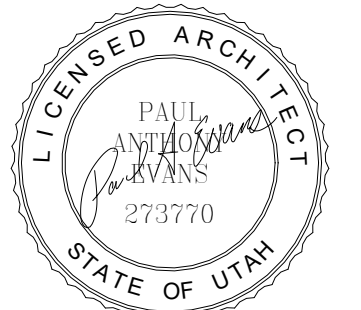
A502

Keyed Notes

[04 2113.A1]	Brick veneer masonry
[05 1223.S1]	Structural column; grind smooth and paint; see structural
[05 1223.S4]	Structural column; see structural
[06 1100.S2]	2x6 wood wall framing at 16" o.c.
[06 1636.S1]	Wood wall sheathing; see structural
[07 2116.A1]	Batt insulation; unfaced; R-19
[07 2116.D1]	Fill cavity with batt insulation
[07 2419.A1]	Water-drainage EIFS
[07 2613.A1]	Above-grade vapor retarder
[07 2616.A1]	Below-grade vapor retarder
[07 2719.A1]	Air barrier
[07 4100.A1]	Composite pre-finished metal wall panel; reveals at 2'-0" o.c. vertical and horizontal
[07 4100.D1]	40 mil peel and stick membrane per manufacturer
[07 4616.A2]	Break metal at corner to match storefront frames
[07 9213.A1]	Sealant
[07 9213.A2]	Sealant over backer rod
[08 1213.A1]	Hollow metal door frame; see door schedule; fill with batt insulation
[08 4113.A3]	Storefront window; see window schedule
[08 4113.D1]	Wrap membrane flashing into rough opening to align with sill membrane flashing below; make all joints water tight
[09 2900.A1]	5/8" gypsum board
[09 2900.D2]	5/8" gypsum board sill

Revision Schedule

#	Description	Date
2	Review Comments	06/06/23



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Building for
Mountain View Jr Seminary
2535 West Wilson Lane
West Haven, Utah

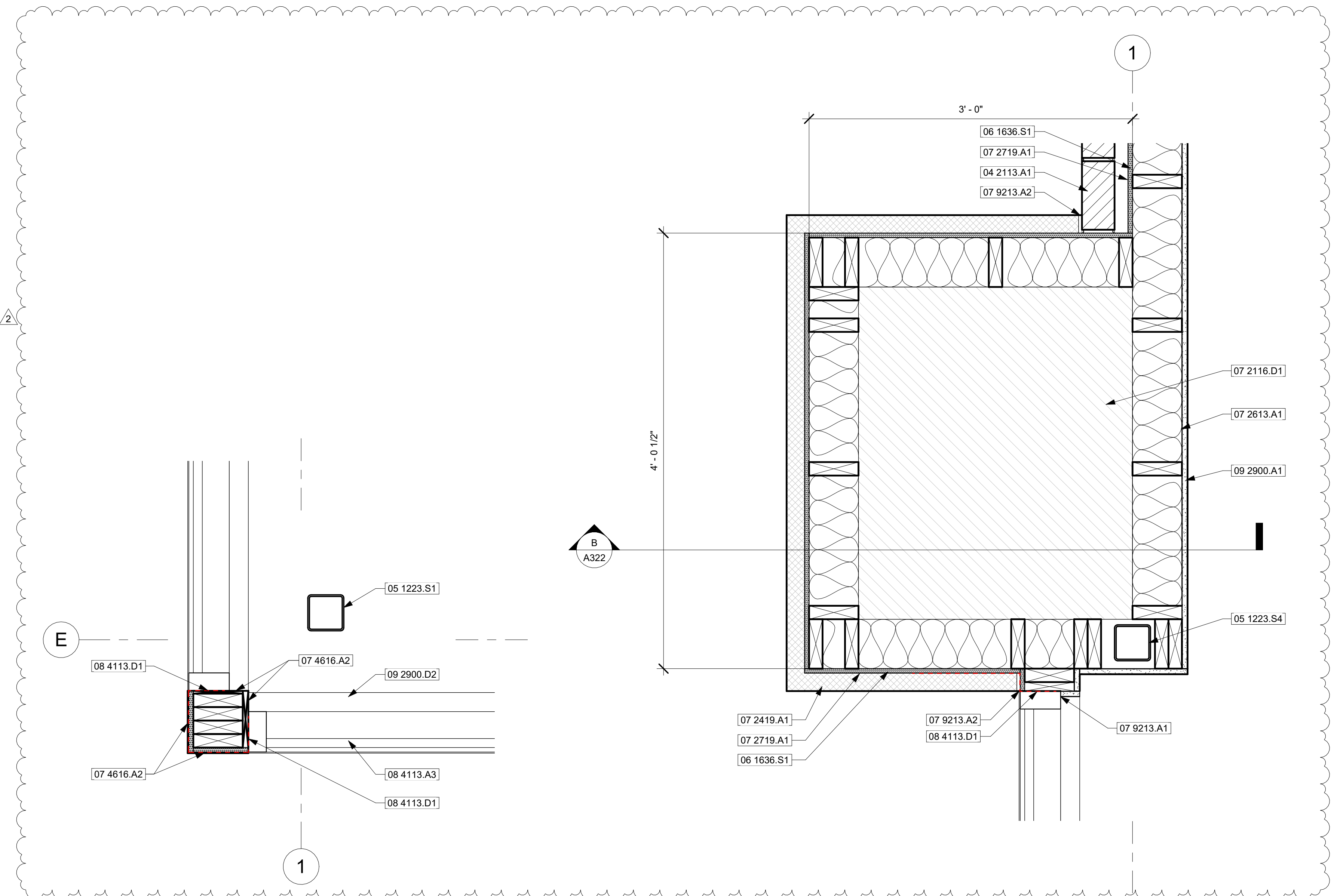
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

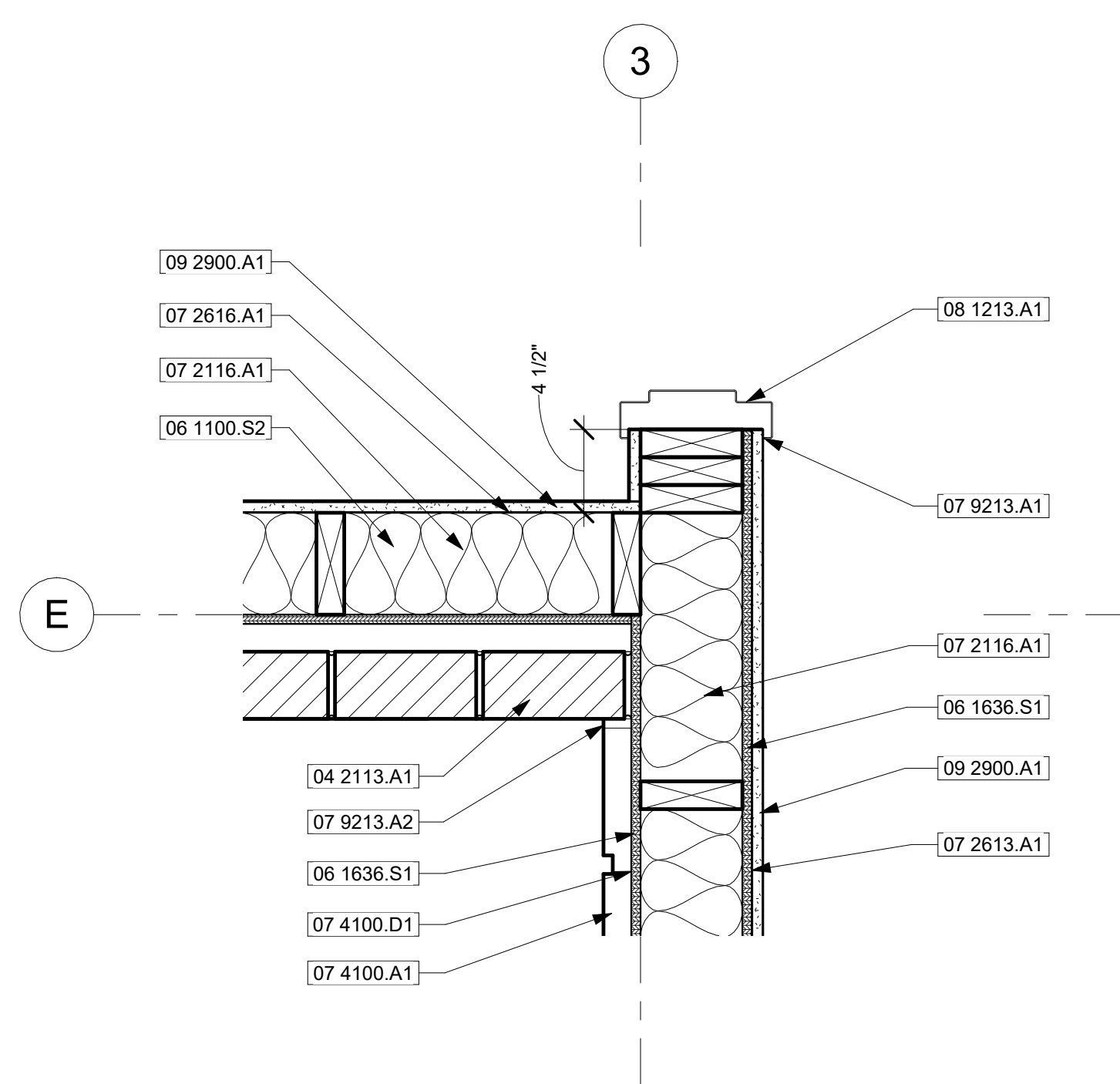
Enlarged Plan Details

A511



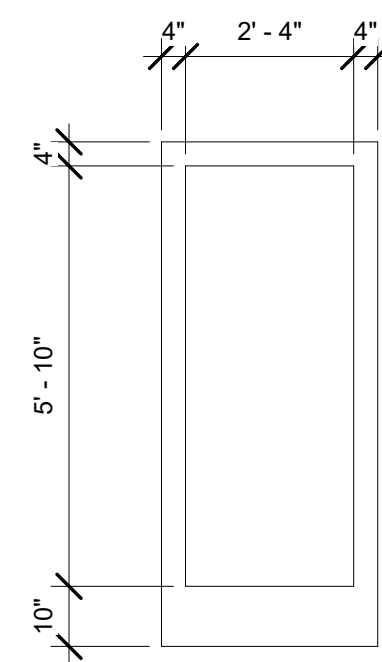
Floor Plan Detail A
SCALE: 1 1/2" = 1'-0"

Floor Plan Detail B
SCALE: 1 1/2" = 1'-0"



Floor Plan Detail C
SCALE: 1 1/2" = 1'-0"

Door Schedule											
Mark	Door Type	U-Factor	Width	Height	Thickness	Glass	Frame Type	Hardware Group	Door Stop Type	Keying	Threshold Type
101A	A	U-0.77	3' - 0"	7' - 0"	1 3/4"	Insulated tempered, double glaze	C	ST2	Closer with cush-stop arm	Electronic Access	Metal
101B	A	U-0.77	3' - 0"	7' - 0"	1 3/4"	Insulated tempered, double glaze	C	ST1A	Closer with cush-stop arm		Metal
101C	A		3' - 0"	7' - 0"	1 3/4"	1/4" tempered plate, single glaze	C	ST3	Closer with cush-stop arm		Metal
101D	A		3' - 0"	7' - 0"	1 3/4"	1/4" tempered plate, single glaze	C	ST3A	Closer with cush-stop arm		Metal
103A	B		3' - 0"	7' - 0"	1 3/4"		A	22	Wall stop	Cylinder	
104A	B		3' - 0"	7' - 0"	1 3/4"		A	22	Wall stop	Cylinder	
105A	B		3' - 0"	7' - 0"	1 3/4"		B	20C	Closer with cush-stop arm, Wall stop	Cylinder	
106A	B		3' - 0"	7' - 0"	1 3/4"		B	20C	Closer with cush-stop arm, Wall stop	Cylinder	
107A	C	U-0.37	3' - 0"	7' - 0"	1 3/4"		A	3	Closer with cush-stop arm	Cylinder	Metal
107B	B		3' - 0"	7' - 0"	1 3/4"		A	22	Closer with cush-stop arm	Cylinder	Metal
108A	A	U-0.77	3' - 0"	7' - 0"	1 3/4"	Insulated tempered, double glaze	C	ST1A	Closer with cush-stop arm	Cylinder, Electronic Access	Metal
108B	A	U-0.77	3' - 0"	7' - 0"	1 3/4"	Insulated tempered, double glaze	C	ST2	Closer with cush-stop arm		Metal
108C	A		3' - 0"	7' - 0"	1 3/4"	1/4" tempered plate, single glaze	C	ST3A	Closer with cush-stop arm		Metal
108D	A		3' - 0"	7' - 0"	1 3/4"	1/4" tempered plate, single glaze	C	ST3	Closer with cush-stop arm		Metal
109A	B		3' - 0"	7' - 0"	1 3/4"		A	22	Closer with cush-stop arm	Cylinder	
110A	B		3' - 0"	7' - 0"	1 3/4"	1/4" tempered plate, single glaze	B	29	Wall stop		
111A	B		3' - 0"	7' - 0"	1 3/4"	1/4" tempered plate, single glaze	B	24	Wall stop	Cylinder	
112A	B		3' - 0"	7' - 0"	1 3/4"	1/4" tempered plate, single glaze	B	29	Wall stop		
113A	B		3' - 0"	7' - 0"	1 3/4"		A	22	Wall stop	Cylinder	Stone
114A	B		3' - 0"	7' - 0"	1 3/4"		A	37	Wall stop	Occupancy Indicator	Stone
115A	B		3' - 0"	7' - 0"	1 3/4"		A	37	Wall stop	Occupancy Indicator	Stone
116A	B		3' - 0"	7' - 0"	1 3/4"		A	37	Wall stop	Occupancy Indicator	Stone



Door Type A - Aluminum Storefront

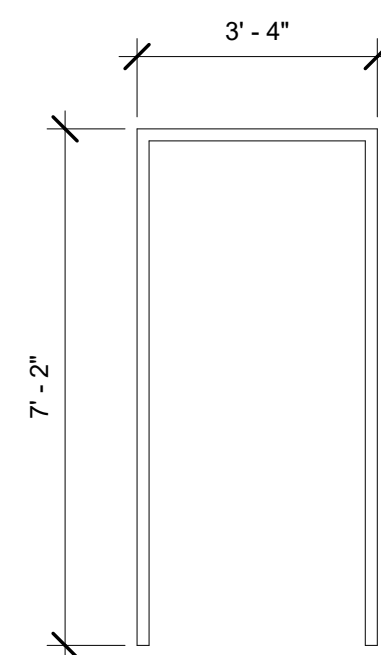
SCALE: 3/8" = 1'-0"

Door Type B - Wood

SCALE: 3/8" = 1'-0"

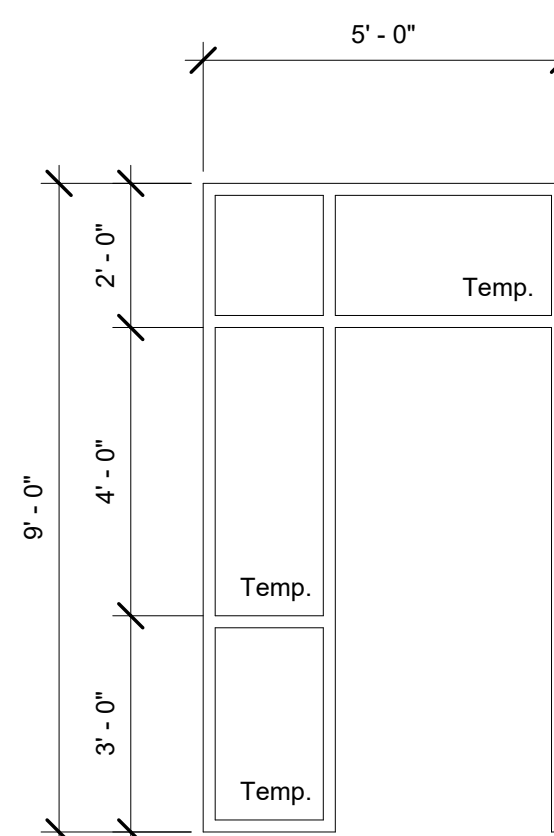
Door Type C - Insulated Metal

SCALE: 3/8" = 1'-0"



Frame Type A - Hollow Metal

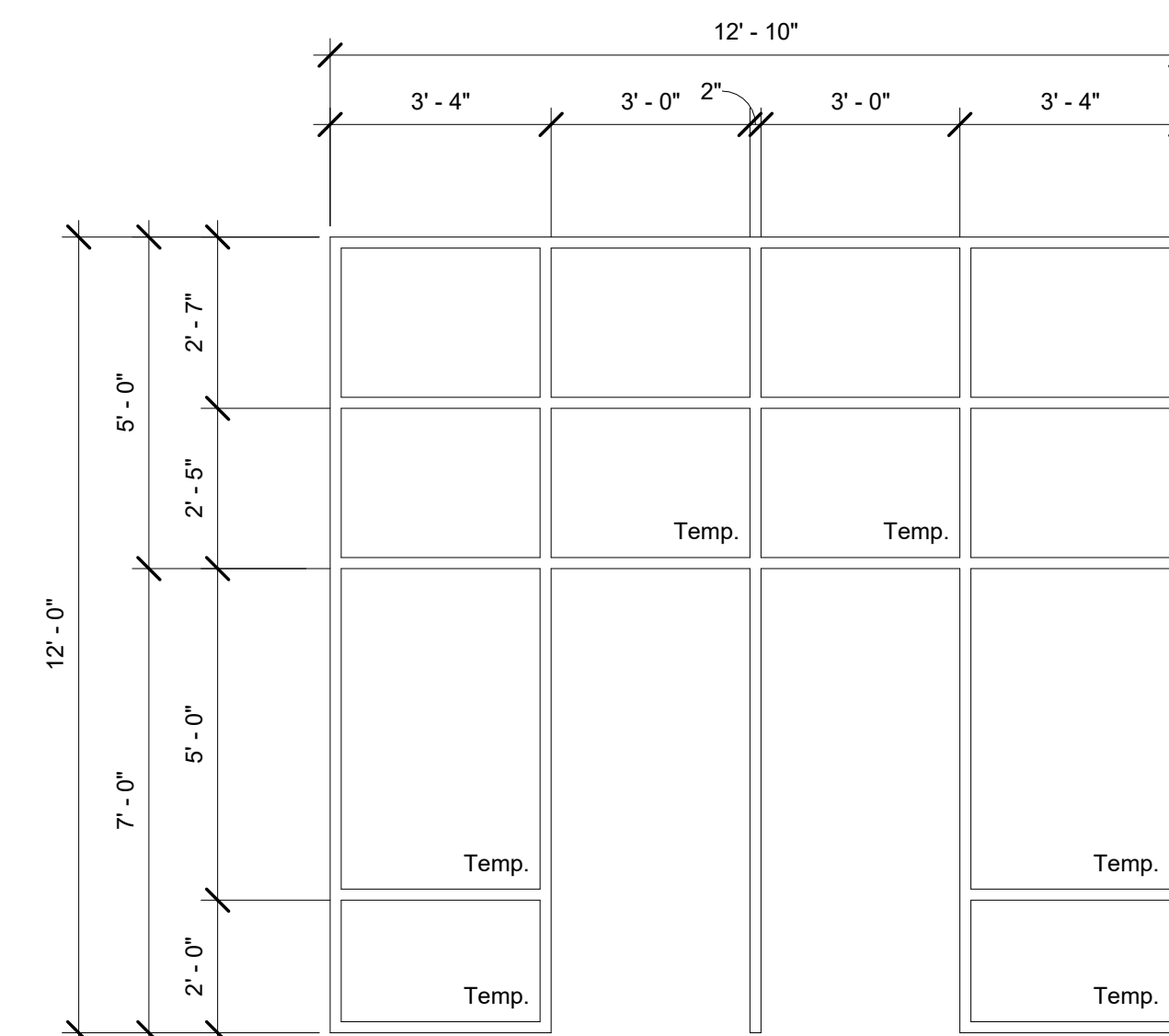
SCALE: 3/8" = 1'-0"



Note: Frame may be mirrored; verify

Frame Type B - Hollow Metal

SCALE: 3/8" = 1'-0"



Frame Type C - Aluminum Storefront

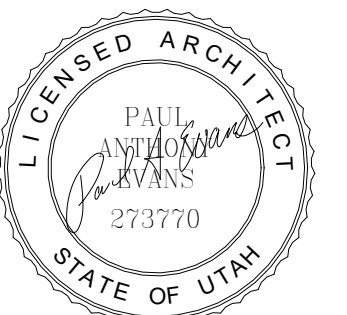
SCALE: 3/8" = 1'-0"

Door General Notes

1. Thresholds shall be 1/2" high maximum.
2. Door hardware shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds maximum.
3. Operable parts of door hardware shall be 34" minimum and 48" maximum above the finish floor or ground.
4. Door closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.
5. The force for pushing or pulling open an interior hinged door shall be 5 pounds maximum.

Revision Schedule

#	Description	Date



Project for:

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2535 West Wilson Lane
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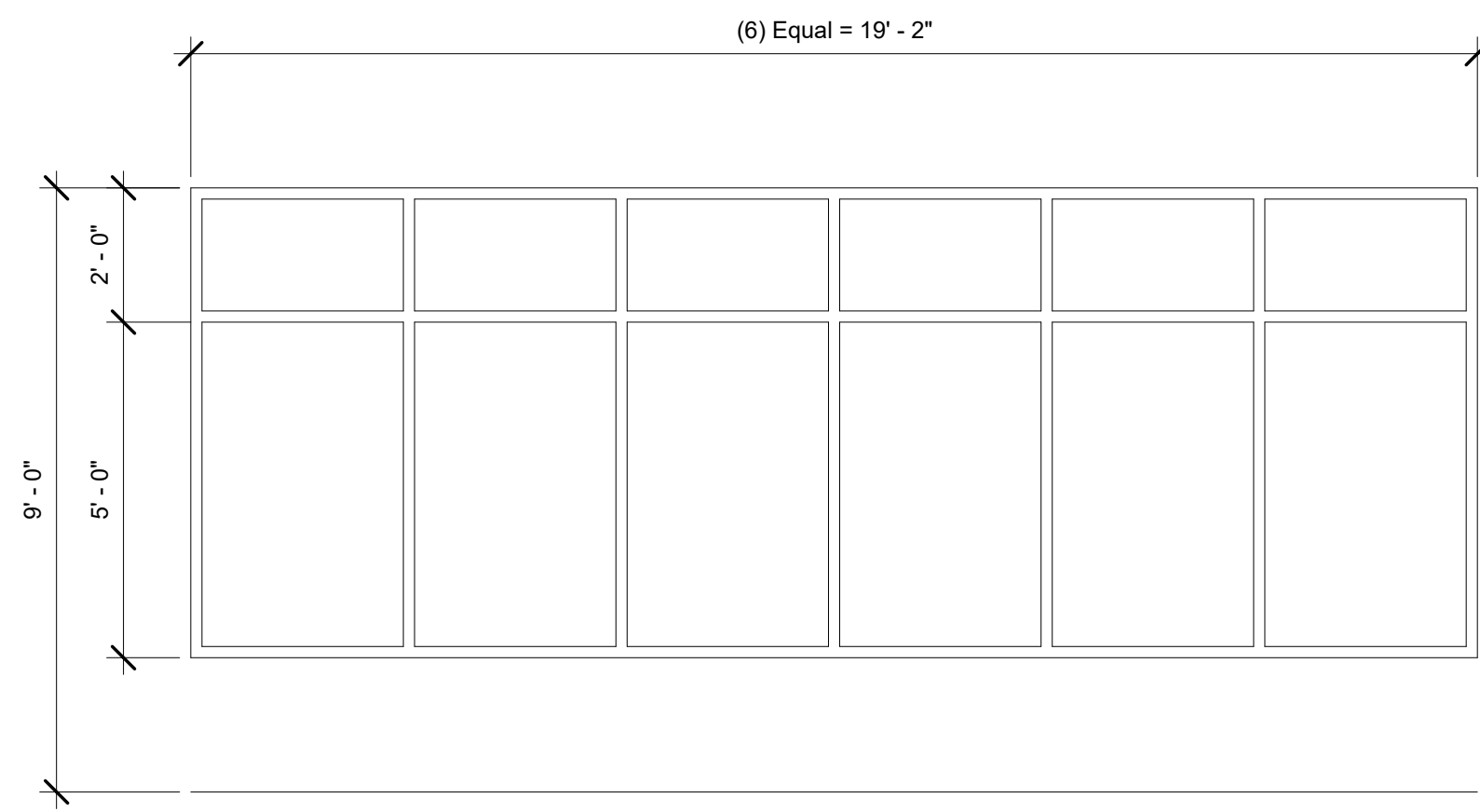
Project Number: 22-59

Property Number: 502-1091-22020101

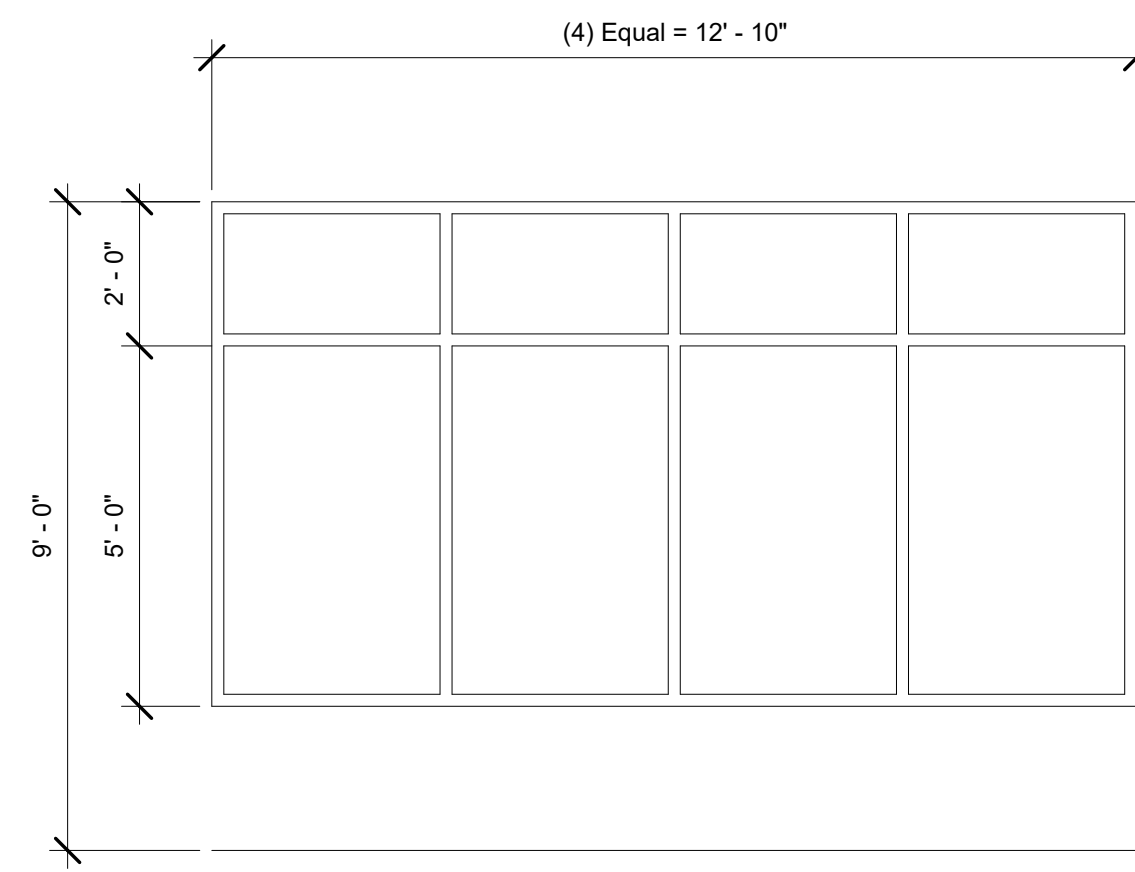
May 1, 2023

Door Schedule

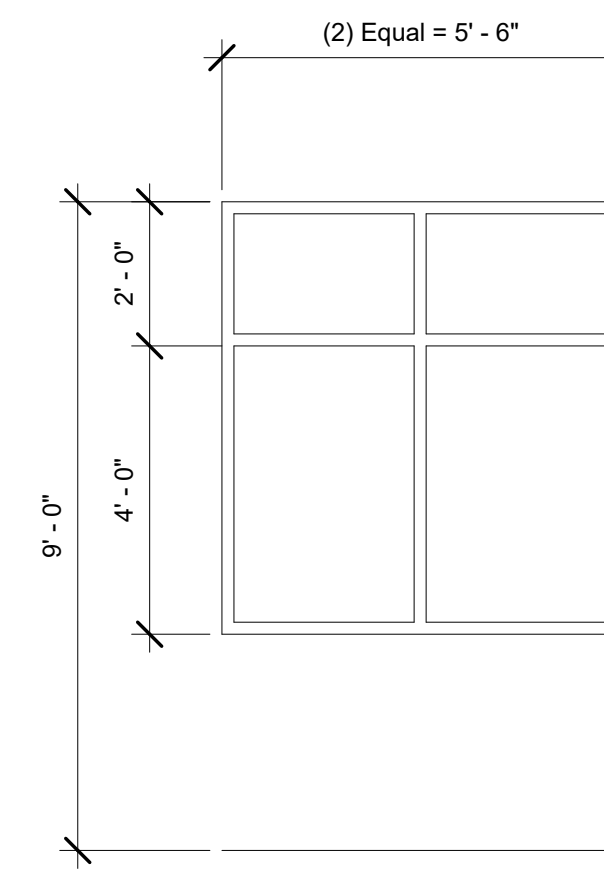
A601



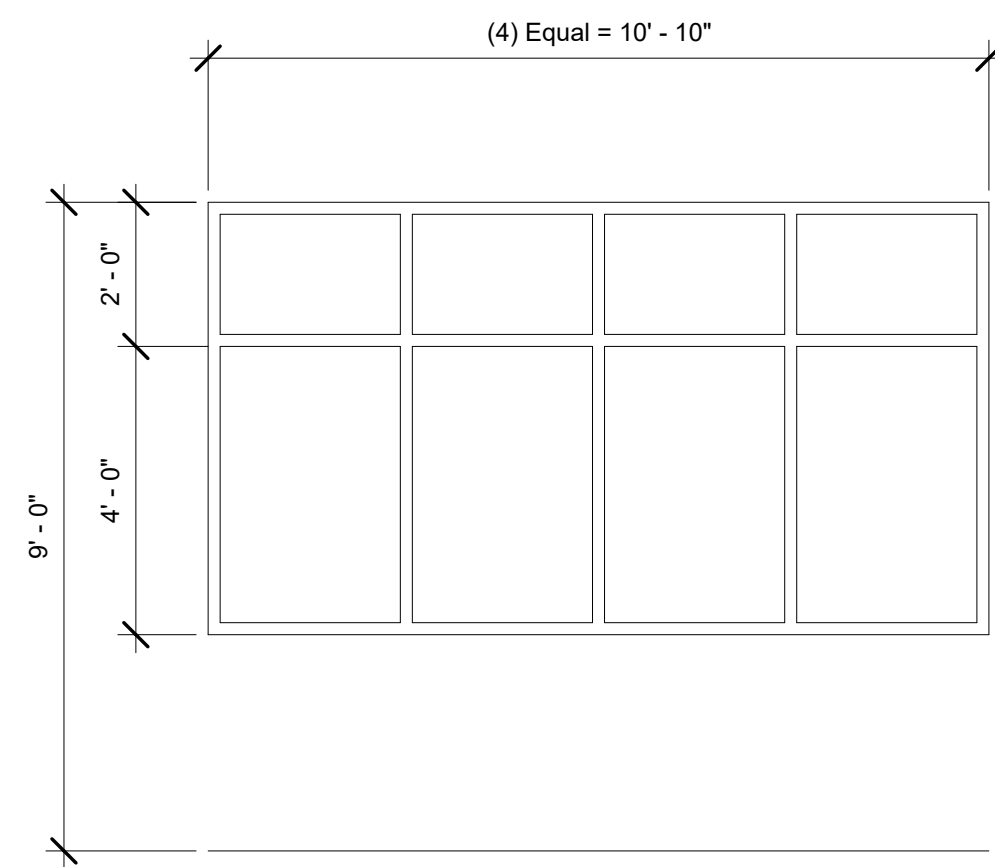
Window Type A - Aluminum Storefront
SCALE: 3/8" = 1'-0"



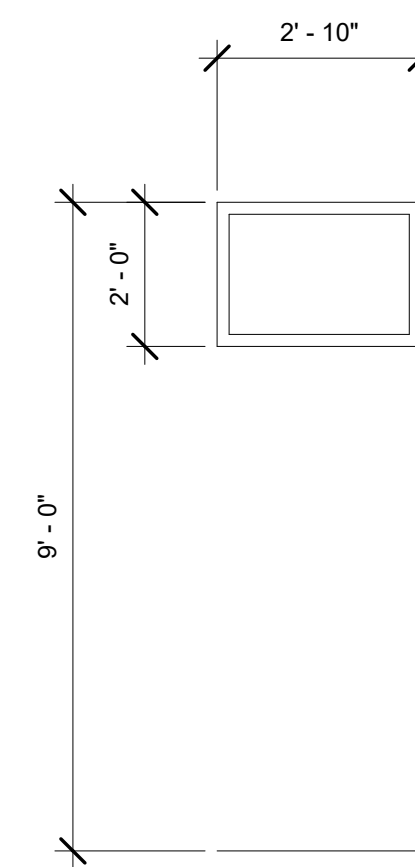
Window Type B - Aluminum Storefront
SCALE: 3/8" = 1'-0"



Window Type C - Aluminum Storefront
SCALE: 3/8" = 1'-0"

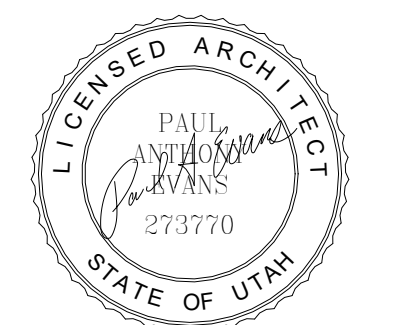


Window Type D - Aluminum Storefront
SCALE: 3/8" = 1'-0"



Window Type E - Aluminum Storefront
SCALE: 3/8" = 1'-0"

Revision Schedule		
#	Description	Date



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Mountain View Jr Seminary
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West Haven, Utah

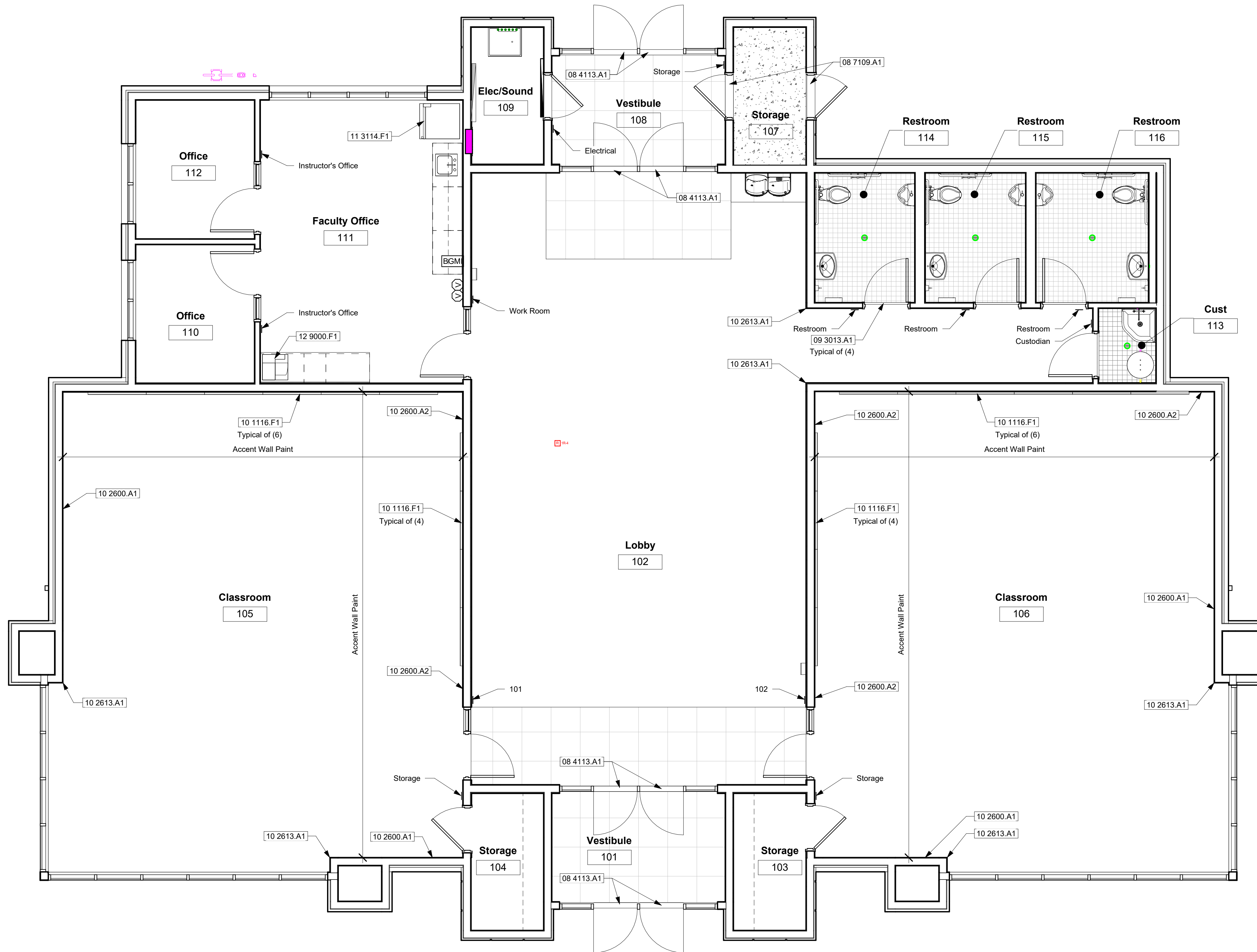
Project Number: 22-59

Property Number: 502-1091-22020101

May 1, 2023

Window Schedule

A611



Finish Schedule				
Name	Number	Floor Finish	Base Finish	Wall Finish
Vestibule	101	F1	B1	W1
Lobby	102	F1 / F2 / F4	B1 / B2	W1
Storage	103	F2	B2	W1
Storage	104	F2	B2	W1
Classroom	105	F2	B2	W1 / W2
Classroom	106	F2	B2	W1 / W2
Storage	107	F3	B3	W1
Vestibule	108	F1	B1	W1
Elec/Sound	109	F2	B2	W1
Office	110	F2	B2	W1
Faculty Office	111	F2	B2	W1
Office	112	F2	B2	W1
Cust	113	F5	B4	W1 / W4
Restroom	114	F5	B4	W1 / W3
Restroom	115	F5	B4	W1 / W3
Restroom	116	F5	B4	W1 / W3

Floors:
 F1: Walk-Off Tile
 Tarkett's Abrasive Action II, Winter Gray
 F2: Carpet
 Tarkett's Texture Map, Pictogram
 F3: Painted Concrete
 Grey
 F4: 12x24 Paver Floor Tile
 Dal Tile, Portfolio, Dove Grey PF04
 Grout: Match Floor Tile
 F5: 2x2 Floor Tile
 Dal Tile, Portfolio, Dove Grey PF04
 Grout: Match Floor Tile

Base:
 B1: Carpet
 Black
 B2: Carpet
 Tarkett's Texture Map, Pictogram
 B3: 4" High Coved Rubber Base
 Grey
 B4: 6x12 Paver Floor Tile
 Dal Tile, Portfolio, Dove Grey PF04
 Grout: Match Floor Tile

Walls:
 W1: Painted Gypsum Board; Smooth Texture
 SW 0050
 W2: Painted Gypsum Board Accent; Smooth Texture
 SW 6752
 W3: Wall Tile 8x24
 Dal Tile, Wheel Linear, K775 Biscuit
 W4: FRP
 White

Cabinets:
 Plastic Laminate Faces
 Nevamar's Platinum Gray S6023T
 Plastic Laminate Countertop
 Nevamar's White Essence ES7001T

Doors: Clear Maple
 Hollow Metal Door Frames: SW 0050

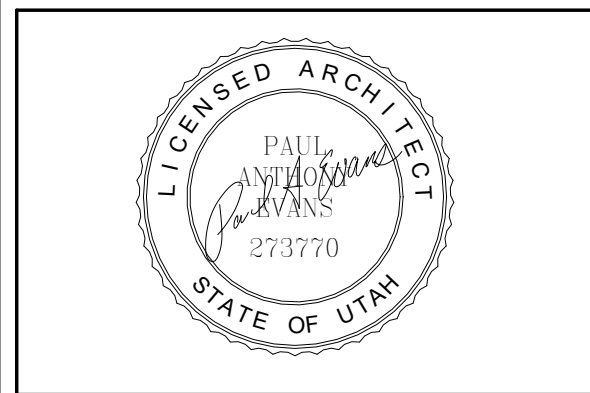
Corner Guards:
 0.040 thickness; 12" x 96"; InPro / White Sand 0103

Building Signage Schedule		
Signage Name	Quantity	Notes
101	1	
102	1	
Custodian	1	
Electrical	1	
Instructor's Office	2	
Restroom	3	Include raised braille lettering
Storage	3	
Work Room	1	

General Notes	
1. See accessibility details for mounting heights and locations.	

Keyed Notes	
08 4113.A1	Storefront metal threshold
08 7109.A1	Metal threshold
09 3013.A1	Stone threshold
10 1116.F1	Writeable board; owner-provided and contractor installed; contractor to provide solid blocking at 2'-0" a.f.f. and 8'-0" a.f.f.
10 2600.A1	Rigid vinyl rub rail; match paint color
10 2600.A2	Rigid vinyl rub rail; match accent paint color
10 2613.A1	Corner guard
11 3114.F1	Refrigerator; owner-provided and contractor installed
12 9000.F1	Copier; owner-provided and installed

Revision Schedule		
#	Description	Date



Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

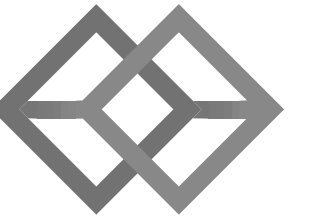
A New Building for
Mountain View Jr Seminary
 2535 West Wilson Lane
 West Haven, Utah

Project Number: 22-59
 Property Number: 502-1091-22020101
 May 1, 2023

Furnishings Floor Plan
F101

Furnishings Floor Plan
 SCALE: 1/4" = 1'-0" 1

GENERAL STRUCTURAL NOTES



BHB STRUCTURAL
2766 South Main Street
Salt Lake City, Utah 84115
801-355-5656
bhb@bhbengineers.com

GENERAL

- The structural notes are intended to complement the project specifications. Specific notes and details in the drawings shall govern over the structural notes and typical details.
- Typical details and sections shall apply where specific details are not shown.
- The structural drawings are not all-inclusive and do not contain all dimensions, elevations, openings, mechanical shafts, and penetrations needed to build the structure. The contractor shall coordinate these items with the Architectural, Mechanical and Electrical drawings.
- The contractor shall verify all site conditions and dimensions. If actual conditions differ from those shown in the contract drawings, the contractor shall immediately notify the architect/engineer before proceeding with the fabrication or construction of any affected elements.
- Omissions or conflicts between the contract drawings and/or specifications shall be brought to the attention of the architect/engineer before proceeding with any work involved. In case of conflict, follow the most stringent requirement as directed by the architect/engineer at no additional cost to the owner.
- The contractor shall submit a written request to the architect/engineer before proceeding with any changes, substitutions, or modifications. Any work done by the contractor before receiving written approval will be at the contractor's risk.
- The contractor shall coordinate with all trades any items that are to be integrated into the structural system such as openings, penetrations, mechanical and electrical equipment, etc. Sizes and locations of mechanical and other equipment that differs from those shown on the contract drawings shall be reported to the architect/engineer.
- The contractor shall provide adequate shoring and bracing as required for the chosen method of erection. Shoring and bracing shall remain in place until final connections for the permanent members are completed. The building shall not be considered stable until all connections are completed. Walls shall not be considered self-supporting and shall be braced until the roof system is completed.
- The contractor shall not cut or core any holes in masonry or concrete walls without prior review by the architect/engineer.
- Site observations by BHB Consulting Engineers' field representative shall not be construed as approval of construction procedures nor special inspection.
- Detailing and shop drawing production for structural elements will require information (including dimensions contained in the architectural, structural and/or other consultants' drawings. The structural drawings shall be used in conjunction with the architectural and other consultants' drawings. Some dimensions and elements such as elevations, depressions, slopes, mechanical housekeeping pads, etc. are not shown in the structural drawings. All dimensions shown on structural drawings shall be verified by contractor with architectural, mechanical, and electrical drawings.
- Contractor shall review shop drawings for compliance with contract documents, and stamp shop drawings with review stamp prior to submission to architect for review. Review of shop drawings by BHB Consulting Engineers is for general compliance only and is not intended for approval. The shop drawing review shall not relieve the contractor from the responsibility of completing the project according to the contract documents. Fabrication shall not begin until shop drawings review process is complete. Shop drawings made from reproductions of the contract drawings will be rejected unless the contractor signs a release agreement prior to the shop drawings being reviewed.
- Only an authorized representative of BHB Consulting Engineers may make changes to these contract drawings. BHB Consulting Engineers shall not be held responsible or liable for any claims arising directly or indirectly from changes made without written authorization by an authorized representative of BHB Consulting Engineers.
- Bidding, pricing or construction done prior to receiving final building permits from the authorities having jurisdiction is at the contractor's own risk. Changes to the drawings may be required as part of the plan check process. BHB Consulting Engineers will not be held liable for, nor compensate for, changes to these drawings before final jurisdiction approval is obtained.

BASIS OF DESIGN

- Governing Code: International Building Code 2018
 - Risk Category: II
- Snow Loads
 - Ground Snow Load: $P_g = 36$ psf
 - Snow Importance Factor: $I_s = 1.0$
 - Snow Exposure Coefficient: $C_e = 1.0$
 - Thermal Exposure Coefficient: $C_t = 1.0$
 - Roof Snow Load: $P_f = 0.7 * C_e * C_t * I_s * P_g = 25$ psf plus Snow Drift
- Rain Loads
 - Rain Intensity: $i = 1.5$ in/hr
- Roof Live Load: 20 psf
- Seismic Loads
 - Seismic Importance Factor, I_e : 1.0
 - Seismic Design Category: D
 - Site Specific Ground Motion Hazard Analysis: Not Required per exceptions in section 11.4.8 of ASCE 7
 - Mapped Spectral Acceleration: $S_s = 1.268g$
 $S_1 = 0.452g$
 - Soil Site Class: F
 - Soil Site Coefficients: $F_a = 1.2$
 $F_v = 1.85$
 - 5% Damped Design Spectral Response Acceleration: $S_{DS} = 2/3 * F_a * S_s = 1.014g$
 $S_{D1} = 2/3 * F_v * S_1 = 0.557g$
Light Framed Wood Sheathed Shear Walls
 $R = 6.5$
 $\Omega_0 = 3.0$
 $C_d = 4.0$
 $p_v = 1.3; p_d = 1.3$
 $T = 0.256$ seconds
 $C_s = S_{DS} * I_e / R$
 $C_s = S_{D1} * I_e / (R * T)$
Dead Loads of Structure
 $V_x = C_s * W = 0.20 * W$
 $V_y = C_s * W = 0.20 * W$
 - Analysis Procedure: Equivalent Lateral Force (Static)

- Wind Loads
 - Basic Wind Velocity (3 Second Gust): 103 mph
 - Exposure Type: C
 - Internal Pressure Coefficient, GCpi: +/-0.18
 - Topographic Factor, Kzt: 1.0
 - Ground Elevation Factor, Ke: 1.0
 - Components and Cladding Wind Force (psf, Strength Design)

Location	Tributary Area (square feet)					
	10	20	50	100	500	
Walls	Zone 5: Within 5.6 feet of building corners	24.2	22.6	20.5	18.8	15.1
	Zone 4: All other areas	19.6	18.8	17.8	17.0	15.1
Roof	Zone 2: Within 5.6 feet of building corners	29.9	29.4	28.7	28.2	28.2
	Zone 3: Within 5.6 feet of building edges	46.7	41.6	34.9	29.9	29.9
Zone 1: All other areas	21.5	21.5	21.5	21.5	21.5	

FOUNDATION

- Soils Report
 - Author: Applied Geotechnical Engineering Consultants
 - Dated: January 9, 2023
 - Project No: 1220786
- Soil Bearing Pressure: 1500 psf, see Earthwork Section.
- Frost Protection: 30" minimum to bottom of footing. Contractor shall field verify that the footing elevations and final grades indicated on the plans will provide the minimum frost protection. The contractor shall notify the architect/engineer if there are any locations where the minimum frost protection might not be achieved prior to placing concrete.
- Lateral Soil Pressure Fluid Equivalent Density:
 - Active: 50 pcf (retaining walls)
 - At Rest: 65 pcf (rigid foundation walls)
 - Passive: 250 pcf
- Coefficient of Friction: 0.45

EARTHWORK

- All footings and building pad shall bear on native soil improved with aggregate piers. Total building settlement shall be less than 1", including liquefaction induced settlement. See Earthwork section for additional information.
- Consult the project specifications and soils report for further earthwork requirements.

AGGREGATE PIERS

- Aggregate piers indicated on plans are not intended to be the final locations and shall be confirmed or modified by the aggregate pier designer in order to achieve the design criteria listed here.
- Depth of piers shall be a minimum of 15 feet. Deeper piers may be required to extend beyond the layers susceptible to liquefaction, see soils report.
- The General Contractor shall engage the Geotechnical Engineer to perform a site visit after the aggregate piers are installed to ensure the building pad is prepared correctly.
- See the Deferred Submittal section for more information.

CONCRETE

- Materials, unless noted otherwise:
 - Normal weight aggregates: ASTM C 33
 - Combined aggregate gradation for slabs on grade and other designated concrete shall be 8% - 18% for large top size aggregates (1.1/2") or 8% - 22% for smaller top size aggregates (1" or 3/4") retained on each sieve below the top size and above the No. 100. The range for the No. 30 and No. 50 sieves shall be 8% - 15% retained in each. To avoid gap gradation the following shall occur:
 - The percent retained on two adjacent sieves shall not fall below 5%.
 - The percent retained on three adjacent sieves shall not fall below 8%.
 - When the percent retained on two adjacent sieves is less than 8%, the total retained on either of these sieves and the adjacent outside sieve shall be at least 13%. See ACI 302 Section 5.4.3.3 for more information.
 - A gradation chart or table shall be submitted with mix designs for slabs on grade.
 - Maximum Aggregate Size shall not be larger than:
 - 3.1/2" or 1/5 the narrowest dimension of the forms
 - 1/3 the depth of the slab
 - 3/4 the minimum clear spacing between bars
 - Lightweight aggregates: ASTM C 330
 - Lightweight concrete shall not exceed 110 pounds per cubic foot and shall be made of lightweight coarse aggregates and a blend of lightweight and normal weight fines.
 - Reinforcing Steel: ASTM 615 Grade 60 (Fy = 60 ksi)
Use Grade 40 (Fy = 40 ksi) for field bent dowels with spacings indicated reduced by 1/3.
 - Deformed Bar Anchors (DBA): ASTM A496
 - Headed Stud Anchors (HSA): ASTM A108
 - Anchor Rods: See Structural Steel section
 - Admixtures:
 - Air-entraining admixtures shall comply with ASTM C 260 (when used).
 - Calcium chloride shall not be added to the concrete mix.
 - Water-reducing admixture shall comply with ASTM C 494/C 494M, Type A (when used)
 - Retarding admixture shall comply with ASTM C 494/C 494M, Type B (when used).
 - Water-reducing and retarding admixture shall comply with ASTM C 494/C 494M, Type D (when used).
 - High-range, water-reducing admixture shall comply with ASTM C 494/C 494M, Type F (when used).
 - High-range, water-reducing and retarding admixture shall comply with ASTM C 494/C 494M Type G (when used).
 - Admixture manufacturer shall have ISO 9001 Quality Certification. To ensure compatibility all admixtures shall be from the same manufacturer.
 - Type III cement complying with ASTM C-150 shall be used for all concrete. Cement source shall remain the same for the entire job.
 - The water/cementitious materials ratios shall meet the requirements of Table 19.3.2.1 of ACI 318-14.
 - Cementitious Materials - Limit percentage, by weight, of cementitious materials other than portland cement as follows:
 - Fly Ash - ASTM C618, Class F - 35% maximum cementitious content.
 - Slag Cement - ASTM C989, Grade 100 or 120 - 50% maximum cementitious content.
 - Provide air entraining as recommended by Table 19.3.3.1 of ACI 318-14. Concrete that extends above grade and is exposed to freezing and thawing while moist shall be air entrained. Concrete in unconditioned spaces shall be considered site concrete.
 - No aluminum conduit or product containing aluminum or any other material injurious to concrete shall be embedded in concrete.

- Compressive strengths of concrete at 28 days shall meet the follow performance requirements (see ACI-318-14; Chapter 19):
 - Footings & Interior Foundation Walls

Strength	3,000 psi
Classification	F0, S0, W0, C0
 - Exterior Foundation Walls

Strength	3,500 psi
Classification	F1, S0, W0, C0
 - Interior Slabs on Grade

Strength	3,000 psi
Classification	F0, S0, W0, C0
 - All Site Concrete with Reinforcement

Strength	5,000 psi
Classification	F3, S0, W1, C2
 - All Site Concrete without Reinforcement

Strength	4,500 psi
Classification	F3, S0, W1, C2

*Where noted, 56-day breaks may be used to meet project sustainability goal where cement content has been reduced.

- Only one grade or type of concrete shall be poured on the site at any given time.
- The contractor shall be responsible for the design, detailing, care, placement and removal of all formwork and shores.
 - Supporting forms and shoring shall not be removed until structural members have acquired sufficient strength to safely support their own weight and any construction load to which they may be subjected. In no case, however, shall forms and shoring be removed in less than 24 hours after concrete placement.

- Reinforcement shall have the following concrete cover:

a. Cast-in-place Concrete	Clear Cover
i. Cast against and permanently exposed to earth	3"
ii. Formed concrete exposed to earth or weather: #6 thru #18 bars	2"
#5 and smaller bars	1.1/2"
iii. Concrete not exposed to weather or in contact with ground: Slabs, Walls and their piers, Joists, #11 bars and smaller Beams, Columns: Primary Reint., Ties, Stirrups, Spirals	3/4"
	1.1/2"

- Detailing:
 - Lap splice lengths shall be detailed to comply with the "Concrete Reinforcing Bar Lap Splice Schedule" in drawings. Splices may be made with mechanical splices capable of 125% tension capacity of the bar being spliced. Mechanical splices shall be the positive connecting type coupler and shall meet all International Building Code requirements and shall have a current ICC-ES report or IAPMO Certification. Use "Lentoni" Standard Couplers (ICC ER-3967), "Bar-Lock" (ICC ESR-2495) or equal with internal protector. If mechanical splices are used, splices or couplers on adjacent bars shall be staggered a minimum of 24" apart along the longitudinal axis of the reinforcing bars.
 - At joints, provide reinforcing dowels to match the member reinforcing, unless noted otherwise.
 - At all discontinuous control or construction slab on grade joints, provide 2 - #4 x 48".
 - Corner Bars: Provide corner bars at intersecting wall corners using the same bar size and spacing as the horizontal wall reinforcing. Corner bars shall lap the horizontal reinforcing with the required lap splice length. See "Typical Corner Wall Reinforcing at Concrete Walls" detail in drawings.
 - All vertical reinforcing shall be doweled to footings, or to the structure below with the same size and spacing as the vertical reinforcing for the element above. Dowels extending into footings shall terminate with a 90-degree standard hook and shall extend to within 4" of the bottom of the footing. Footing dowels (#8 bars and smaller) with hooks need not extend more than 20" into footings.
 - Horizontal wall reinforcing shall terminate at ends of walls and openings into the far end of the jamb column with a 90-degree standard hook. Horizontal wall reinforcing shall be continuous through construction and control joints.

- Construction Joints, Control (Contraction) Joints:
 - Construction joints in all horizontal and vertical construction joints including between top of footing and foundation walls shall be intentionally roughened to a full amplitude of approximately 1/4". The laitance on the concrete (thin, flaky layer of hardened, weakened hydrated cement) shall be mechanically removed from the surface after the concrete has achieved final set. Construction joints in slabs on grade shall not exceed a distance of 125'-0" o.c. in any direction.
 - Control joints shall be installed in slabs on grade so the length to width ratio of the slab is no more than 1.25:1. Control joints shall be completed as soon as final set is achieved and it is okay to operate the cutter on the slab. Final set is typically achieved within the first 4 to 12 hours after the slab has been finished in an area (depending on weather conditions and concrete hydration rate; 4 hours in hot weather to 12 hours in cold weather). For early entry saw cutting, joints should be cut within the first 1 to 4 hours (depending on weather conditions and concrete hydration rate; 1 hour for hot weather and 4 hours for cold weather). Where saw cut joints cannot be cut along the entire projected length of the joint, a 90-degree hand grinder or other tool shall be used to complete the joint. Control joints may be installed by:
 - Saw cut a depth of 1/4 the thickness of the slab (1.1/4" ± for early entry saws) minimum.
 - Tooled joints a depth of 1/4 the thickness of the slab
 - For interior concrete slabs-on-grade that are to receive no floor covering, install construction or control joints in slabs on grade at a spacing not to exceed 24 times the slab thickness in any direction, unless noted otherwise. For interior concrete slabs-on-grade that are to receive floor coverings the contractor has the option to increase the control joint spacing to 36 times the slab thickness in any direction.

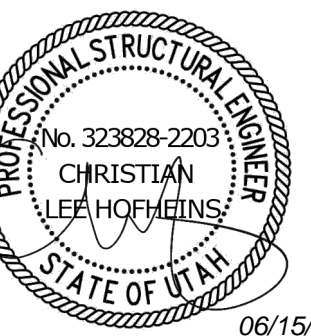
- Construction
 - Use chairs or other support devices recommended by the CRSI to support and tie reinforcement bars prior to placing concrete. Reinforcing steel for slabs on grade shall be adequately supported. Support reinforcing steel of slabs on grade with precast concrete units. Lifting the reinforcing off the grade during placement of concrete is not permitted.
 - Concrete to be mechanically consolidated during placement per ACI standards.
 - Contractor shall coordinate placement of all openings, curbs, dowels, sleeves, conduits, bolts, inserts and other embedded items prior to concrete placement.
 - All embeds, anchors and dowels shall be securely tied to formwork or to adjacent reinforcing prior to the placement of concrete.
 - No pipes, ducts, sleeves, etc shall be placed in structural concrete unless specifically detailed or approved by the structural engineer. Penetrations through walls when approved shall be built into the wall prior to concrete placement. Penetrations will not be allowed in footings or grade beams unless detailed. Piping shall be routed around footings and grade beams and unless detailed. Footings shall be stepped to avoid piping.
 - Reinforcing Bars shall not be welded. Do not substitute reinforcing bars for DBAs or HSAs.

POST-INSTALLED ANCHORS

- General Post-Installed Anchor Notes
 - Do not install adhesive anchors in concrete if less than 21 days old; do not install mechanical anchors, screw anchor or powder actuated anchors in concrete less than 7 days old. Contractor must obtain written approval from the engineer to install prior to these time periods. Do not apply full load to anchors until concrete has reached 28-day compression strength.
 - Anchors or adhesives specified in details shall be provided; alternative anchors or adhesives may be used if the contractor provides calculations demonstrating that the alternative can achieve the performance values of the specified product. These calculations, along with an ICC-ES ESR or IAPMO-UES ER approval for use in cracked concrete and compliant with the specified codes herein, must be

Revision Schedule

#	Description	Date
1	REVISION 1	06/15/2023



Project for:

**THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS**

**West Haven
Seminary**

2535 West Wilson Lane
West Haven, Utah

Project Number: 230089

Property Number: 501-8963

05/01/2023

GENERAL STRUCTURAL NOTES

S-001