

# General Project Report

# Camelback Gardens ODP

for Michael Stubbs



Planning + Design + Land Advisor + Stormwater Management  
300 Main Street | Suite 302 | Grand Junction, CO. 81501 | 970.812.3288  
Designing Colorado's Best PLACES | [ColoradoLandAdvisor.com](http://ColoradoLandAdvisor.com)

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As an urban planner much experience and research has gone into compiling data for this report. Information was collected from various sources and every attempt has been made to acknowledge the contributing sources. Any errors of omission are unintentional and should be brought to the attention of the author as soon as possible. 'Creating One Colorado by Designing Colorado's Best PLACES'

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# Introduction

The purpose of this ODP is to demonstrate conformance with the Comprehensive Plan, the compatibility of land use and coordination of the improvements within Camelback Gardens among individually platted parcels, sections and phases of the development prior to the approval of an ODP. Zoning for the entire property or for each development “pod” is established at ODP. With this ODP, the pattern of development is established with densities assigned to the project. Currently the project is designed with 74 lots but the executive home sites may become townhomes as well. This would give the site **up to 90 building envelopes** and thus is what we are requesting in the ODP.

This project being proposed would be for residential single family and single family attached and housing in one of the most desirable neighborhoods of Grand Junction. With outstanding views, easy access to hiking, biking, and the growing Downtown of Grand Junction, this location is hard to beat. Camelback Gardens will form an HOA to manage common areas.

One of the best parts about living in Grand Junction is the ease and quickness of getting to your destination without the headache of traffic. The people that are moving and looking for houses in Grand Junction are here for the adventures.

These adventure seekers are also appreciative of the land that surrounds them. At Camelback Gardens it is easy to see why. These seekers are often made up of smaller household sizes of 1 & 2 persons.

With Denver’s housing markets reaching the average price of over half a million dollars and the population continuing to rise, it is pushing the outdoor enthusiast out and West to Grand Junction, ‘Colorado’s Western Capital’.

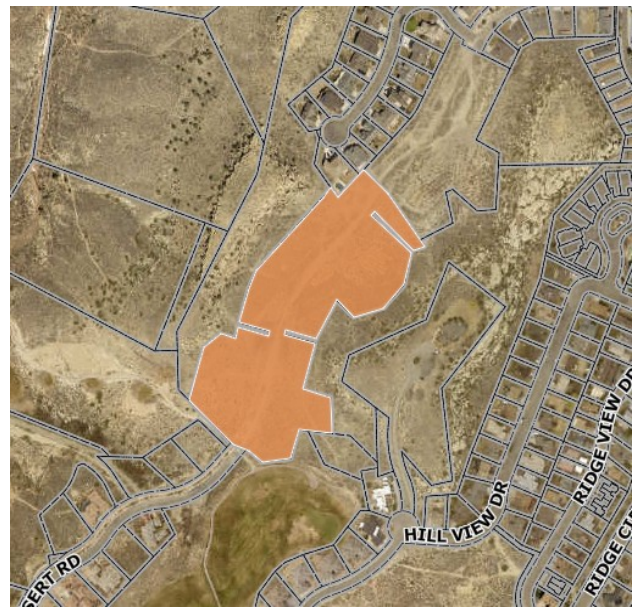
# Site Location

The purpose of this section is to identify the physical and technical characteristics of the property selected for Camelback Gardens in relationship to the surrounding area. This section also evaluates potential site development assets and constraints.

The site under consideration is two parcels of land that are both irregularly shaped. The parcels are vacant land. Ground cover is native landscaping: grasses, a few small trees, and shrubs. The site has lots of topography with rock outcroppings and bike trails running through.

The site consists of two parcels of land which total 10.63 acres. Located in Mesa County, Colorado. The latitude and longitude of the approximate center of parcel 2945-202-53-001 is Latitude: 39.061257 and Longitude: -108.618192.

This proposal will include an ODP with varying setbacks to The Ridges open spaces as well as to the abutting developed home lots in The Ridges and in Redlands Mesa.



# Public Benefit

In reviewing the requirements for an Outline Development Plan within the City of Grand Junction Code Justification the following are some of the characteristics of Camelback Gardens ODP/PD:

(a) More effective infrastructure;

With the proposed ODP there is very little new infrastructure to be maintained by the City. The extension of a single public street (High Desert Road) is being proposed which will serve the entire 10.6 acre site. The extensive use of shared driveways has diminished the need for the typical public street usage on the site. The use of private shared drives, private sewer lines, and private water lines will greatly reduce public infrastructure to be maintained by the city and public utilities. By designing housing that will have no less than 4 off street parking spaces per unit this allows for narrower street sections. This results in lower long term costs to the City in maintenance of infrastructure items.

(b) Reduced traffic demands;

Camelback Gardens will have a trail system in and around it which will encourage more walking throughout the project, these will be used for recreation as well as going to places like the mailbox. Trails surround and criss-cross the property and should be considered part of the transportation network.

Commuter traffic is likely to be impacted in a small way. The connection to the Grand Valley's network of trails will enable dedicated cyclists to commute to many locations. It is however about 3.3 miles to the downtown core of Grand Junction and it is unlikely that many residents will chose to commute via bicycle.

Some traffic demands will likely be reduced by the fact that all of the residents of Camelback Gardens will have direct access to hiking and biking trails. They will be able to 'Bike-In/Bike-Out'™ of the development rather than loading up their vehicle with bike and gear and drive to some trailhead to begin their recreational riding ritual.

# Public Benefit

## (c) A greater quality and quantity of public and/or private Open Space;

In consideration for the Open Space adjustment, the developer will provide monies and labor to improve and make more sustainable the existing off-site trail system which circumnavigates the development. These improvements will benefit the entire public. The improved trail system will provide a greater quality of public and/or private Open Space; Accessible trails with views of the Grand Mesa, Colorado National Monument, Bookcliff Mountains, and Mount Garfield will add to the quality of living in the development. Although the development will be developed at urban densities, all of the surrounding Open Space was previously dedicated to the city and/or county. This significant feature will create a setting for the parcels to be developed.

On-site improvements include new park space, new Open Space, new garden space, and new connecting trails out into The Ridges Open Space. These improvements will be owned and maintained by the HOA for the benefit of each of the Camelback Gardens homeowners. Future homeowners will partner with the developer's contribution into the Camelback Gardens Homeowners Association (HOA) Fund. The HOA fund will provide a funding source for projects that will benefit the public including building and maintaining sustainable trails; updating and stabilizing parks/Open Spaces; preserving native vegetation; developing an Agrihood COOP for growing and harvesting fruits and vegetables, thus promoting a greener lifestyle rooted in the natural landscapes of The Ridges.

## (d) Other recreational amenities;

Gardening, walking, hiking, biking, bouldering, are all directly accessible from the project.

An 8400 square foot garden will provide a setting for community gardening with fellow residents. A small garden shed will provide secure storage for tools and community assets. This shed will also be the backdrop for a small stage acting as the focal point for neighborhood gatherings and HOA meetings.

# Public Benefit

Numerous T1, T2, and T3 trails circumnavigate Camelback Gardens. These natural surface trails connect through The Ridges Open Space to paved, fully developed T4, T5, and T6 trail networks. These in-turn connect to the T6 Riverfront Trail system which provide opportunities for all trail user types. Walkers, hikers, trail runners, mountain bikers, and dog owners will be able to go out directly to their private trailhead to connect to this massive trail system.

The Ridges Open Space contains large boulders which enable people to practice their bouldering skills right outside their back door. A structure consisting of a large shade sail with a natural seating area will be constructed with the development. Wayfinding points will be considered at this location along with other major trail intersections to help trail users navigate.



# Public Benefit



(e) Needed housing types and/or mix;

Camelback Gardens will fulfill several goals of the 2020 Comprehensive Plan. It will provide housing for smaller families (67.6% of households consist of 1 and 2 persons). It will also provide the preferred housing type to younger Millennials. It will add to the diversity of housing choices within the Grand Valley. It will be compatible with The Ridges PD wherein there are single family, single family attached, townhomes, duplexes, condominiums, and apartments. Camelback Gardens provides two distinct housing choices within a single development. First, it provides single family executive residences as it transitions from Redlands Mesa. Second, the majority of the development will feature townhomes which will be closely connected to the adjoining open space. This housing type shares one common wall with one other unit. Each unit is separately owned. This helps make the unit more compact and affordable while maintaining the same square footage. High quality finishes within the units as well as on the exterior of the unit will be used. Unlike typical single family developments, this development, through it's HOA, will provide a high level of maintenance to the future homeowners. The HOA will also maintain the landscaping and handle snow removal services. These services will be desired by aging homeowners and young professionals who have trouble finding time to do basic homeowner duties. It will also be desired by the 'Recreationally Equipped' those people who live to play. Home maintenance gets in the way of their fun so they will seek a development where someone else worries about mowing the grass and shoveling the snow.

# Public Benefit

The public benefits component of the Camelback Gardens Zoning Code establishes a new neighborhood of housing which is sometimes referred to as 'middle housing'. This housing is more dense than single family homes built on the traditional 1/3 acre lot which is commonly seen around the valley. By creating an ODP the developer and subsequent home builders will be able to build smaller than average homes which makes them more affordable. With the ODP home building sites being smaller, the real estates taxes are reduced, further reducing mortgage payments. By making the homes and homesites smaller a few more homes will fit onto the site. This means more homes are built within the city and pressure to build outside the city on rural lands is reduced. In doing so, we keep the city in the city and the project contributes to protecting open and natural spaces around the valley.

(f) Innovative designs;

The variable floor plans will be built within the project. Each building site will be unique and the plans will adapt to each specific view corridor and grading challenge. Each floor plan can be modified to fit each homebuyers unique tastes. Units feature: Modern Desert architectural influences in the efficient design; Private rooftop veranda for each unit; Private ground floor patio; Professionally designed maintenance free landscaping; Designer selected paint palettes; Outdoor community living spaces; Stucco and stone with steel accents and; Customizable Rooftop Veranda. Interior design includes item specific storage for recreational equipment, kitchen and bath ergonomics, as well as durability features, have been instilled into the Villas.

(g) Protection and/or preservation of natural resources, habitat areas and natural features; and/or

Future homeowners will partner with the developer's contribution in the Camelback Gardens Homeowners Association (HOA) Fund. The HOA fund will provide a funding source for projects that will benefit the public including building and maintaining sustainable trails; updating and stabilizing parks/open spaces; preserving native vegetation and wildlife habitats.

# Public Benefit

In this case the developer previously dedicated the adjacent Open Space lands in order for them to be set aside for visual enjoyment as well as recreational opportunities. Through this development application the developer is proposing to enhance the Open Space trail system by performing maintenance and reconstruction of portions of The Ridges trail system. These efforts are intended to protect naturally scenic areas by creating a more predictable trail location by building it in a more curvilinear design. By clarifying the intended trails less braided trails will be created by users. This helps users to 'stay the trail' and reduce the destruction of native desert plants and cryptobiotic soils.

## (h) Public art.

A large interactive art piece will be considered in a location near public spaces. This will likely be in conjunction with the Outdoor trail structure similar to this image:



# Site Plan Development Methodology & Process:

**The site plan development methodology and process included the following elements**

- ⌚ Identified Boundary Lines – to be possibly modified
- ⌚ Boulder Outcroppings – How do sites relate/interact with this xeriscape?
- ⌚ Acquired topography in dwg format and verified via survey.
- ⌚ Review City Code for Constraints and Standards in Open Space interactions
- ⌚ Outline Development Plan requirements and public benefit
- ⌚ Performed detailed Site Analysis
  - o Views
  - o Wind Patterns
  - o Drainage
  - o Solar Orientation
  - o Slopes
  - o Irrigation Water
  - o Access to Trail Systems

# Project Characteristics

## Topics of discussion for the Project

Narrow Streets, Trails, Maintenance Free Living, 'Bike-In/Bike-Out'™, Small Families, Outdoorsy Types, Millennials, Couples in 30's and Boomers, Executive Home Sites on West End; Smaller Family Sites on East End  
Ridges Irrigation Water  
HOA  
Possible Water Features  
Maximize Views  
30' x 40' Footprints [25-30-35 x 35-40-45-50]  
Camelback Ridge

### 🕒 Close-In Views

Boulders  
Desert xeriscape  
Trails abutting property  
Small amphitheater  
Responsive landscaping

### 🕒 Mountain Vista – Distant Views

Mount Garfield  
The Bookcliffs  
Grand Mesa  
Colorado National Monument

### 🕒 Outdoor Living Spaces

Patios  
Pergolas  
Rock walls  
Pool(s)  
Hot tubs  
Built in BBQs  
Stamped Concrete

# Project Design Considerations

Along High Desert Rd in Redlands Mesa and along Rana Rd in the Ridges there is only sidewalk on one side of the street. This development proposes to connect both of those sidewalks together. Throughout most of the Ridges there are no sidewalks at all. This proposal is to have sidewalk on one side of the street throughout the development. Any future internal trails will use the forest service guidelines for ADA trail systems.

How to minimize grading challenges

Steep buildings with grade

Steep sites could have front garages below with walkout above in back

Minimize disturbance = Cost Savings

Review prior Camelback Gardens PD if created

Research different unit types / products – market demand

Sizes of footprints

Types of Models

Define Target Market

Active Boomers

Offer maximum flexibility for wide range of buyers

Define Community Amenities

Close to Mtn. Biking Trails

'Bike-In/Bike-Out'™

Close to Redlands Mesa Golf Course

Water and stream features

Pondless water features to minimize maintenance

Community Gathering Area

Summer BBQ's for residents and guests

Community Fire Pit

Central Mailboxes

Amphitheater

Small playground

Community garden & Event area

Community Pool

# Site Considerations

- ⌚ Plants similar to Redlands Mesa
- ⌚ Create unified look but have unique landscape features at various locations
- ⌚ Create identity of development through landscaping and signage/wayfinding such as grouped xeric plant types
- ⌚ Boulders, pondless Waterfalls, Creekbeds / swales directing water to micro-basins
- ⌚ Strategically place trees for summer shading
- ⌚ Focus on trying to cool the environment as much as possible
- ⌚ Save existing desirable native plants
- ⌚ Integrate a community garden
- ⌚ Plant native landscape in foreground and around perimeter
- ⌚ Integrate a two-sided monument sign to match the architectural theme of the development
- ⌚ Integrate a central water feature including upper pond with bench, stone retaining walls at parking areas that connect to waterfall and pond with aeration fountain. Use surrounding landscape to help screen any parking areas.
- ⌚ Each home will have a 2 car garage attached to it.
- ⌚ Due to steep grades in and around the site the engineers and the landscape architect will be designing the grades and responsive landscaping in order to manage rainfall and runoff.
- ⌚ Audit the Open Space and make modifications to landscape as needed and as the site develops.

The Ridges was a Planned Development in Mesa County when it was first envisioned. At that time the goal was to reach 4 homes per acre for the entire metropolitan district. As of 2022 The Ridges has been built-out at a density just over 2 dwelling units per acre. This project, although more dense than neighboring developments, will help The Ridges reach it's overall density goals.














Although the density is higher than neighboring properties the overall building sizes will be very comparable as each unit is smaller and these smaller units are grouped into townhomes of mostly 2 or 3 unit pods.

A 3 unit townhome will have a similar footprint (3600 SF) as an adjoining single family home (3488 SF). Many of the adjoining homes are two story with highly pitched roofs nearing 25 feet in height. Camelback Gardens will consist of 2 story and 3 story townhomes as well as executive homes.

# Base Square Footage Comparison

In considering the design for Camelback Gardens we looked at the neighboring homes and in consideration of that we designed the units to be comparable even though the unit count is more the overall size per building in square footage (building footprint) is very comparable as detailed out below.

















	388 Butte Ct	2845 SF	1200 SF	T1
	390 Butte Ct	2464.5 SF	1200 SF	T2
	392 Butte Ct	2105 SF	1200 SF	T3
	394 Butte Ct	2398 SF	1200 SF	T4
	396 Butte Ct	2201 SF	1200 SF	T5
	398 Butte Ct	2166 SF	1200 SF	T6
	400 Butte Ct	2742 SF	1200 SF	T7
	402 Butte Ct	2485 SF	1200 SF	T8
			1200 SF	T9
			1200 SF	T10
			1200 SF	T11
	2351 Rana Rd	2263 SF	1200 SF	T57
	379 High Desert Rd	2998 SF	2400 SF	E13
		<b>24,667.5 SF</b>	<b>16,800 SF</b>	



# Mass Square Footage Comparison

In considering the design for Camelback Gardens we looked at the neighboring homes and in consideration of that we designed the units to be comparable even though the unit count is more the overall size per building in mass is very comparable as detailed out below.



	388 Butte Ct	4372 SF	1800 SF	T1
	390 Butte Ct	2465 SF	1800 SF	T2
	392 Butte Ct	2399 SF	1800 SF	T3
	394 Butte Ct	2398 SF	1800 SF	T4
	396 Butte Ct	3316 SF	1800 SF	T5
	398 Butte Ct	2430 SF	1800 SF	T6
	400 Butte Ct	3622 SF	1800 SF	T7
	402 Butte Ct	3689 SF	1800 SF	T8
			1800 SF	T9
			1800 SF	T10
			1800 SF	T11
	2351 Rana Rd	2263 SF	1800 SF	T57
	379 High Desert Rd	4802 SF	2400 SF	E13
		<b>31,756 SF</b>	<b>24,000 SF</b>	

# Lifestyle Descriptors

Where the mountains meet the desert

Where urban life meets outdoor life

Where warm desert breezes meet cool canyon air

Where solitude meets social

Where red rock canyons surround envelope a lifestyle

Where the land meets the sky

Where working hard meets playing hard

Where the active life meets relaxation

Where shady trees meet the open desert

Where living life comes home

Where the basics of life meet the greatest of life

Where the sun meets the landscape

Where mountain tops come to the valley floor

Where outdoor life meets urban life

Where soft flowers grow from prickly cactus

Where broken rocks mingle together

Where you meet your life for the first time...

at Camelback Gardens

# Lifestyle Characteristics

'Modern Desert Living' | good karma |

<unparalleled quality> |

ENERGY ST★R RATED | cCOMMUNITY gARDEN |

*Urban Desert landscapes* |

**Community Recycling** | WiFi enabled

| **Indoor Storage** | *Rock Garden Riding*  
*direct connect to Colorado Riverfront Trail*

a three minute ride to LunchLoop

*Paved Trails \ Dirt Trails*

walking distance to dining | Golf Course adjacent

<< < P A N O R A M I C V I E W S  
>>> |

*6 minutes to downtown shopping*

**COPMOBA** Membership 1st year

*'Modern Desert Living'*

'Bike in – Bike out' (TM)

# Demographics

Camelback Gardens will be one of the first developments of this type within The Valley.

It will offer:

Luxury  
Appreciation  
Sense of Community  
Sustainability  
Sophistication  
Community Gardens  
Fruit-bearing Trees

Expansive Views  
Water Elements  
Common Gardens  
Long-term Perspective  
Creating Value Without Consuming  
Excessive Land

It will be wanted by “**over-committed**” professional and medical staff who's on-call careers keep them from making large time commitments to home projects, but want to live in an upscale home/neighborhood with easy access to outdoor adventures.

It will be sought after by retirees who want to “**lock and leave**” so that when they head to Europe for a couple of months they know someone is taking care of the place. With their “no hassle” new homes they will have time to get out and access a healthy lifestyle.

Single parents who feel like “**time stretched parents**” divvying up their life between work, parenting, kids and everyday life will be attracted to Camelback Gardens' less complex living community. Of this group Single mothers like a neighborhood being close enough to feel secure, as they tend to prefer a sense of safety in community. Families will also have close proximity to 5 different park areas, off-street paved trails for the kiddos, and a community garden to help occupy their kids.

Young families who are fast tracking their lives will want a place that “**frees up to move up**” rather than being tied down to mow down weeds.

New emptynesters wishing to “**downsize and upscale**” into a new hassle free community will be attracted to Camelback Gardens' location and upscale finishes.

The “**recreationally equipped**” will live comfortably here with the adequate storage for all of their outdoor recreation equipment. They will have views to inspire their afternoon and weekend adventures with little to no maintenance and plenty of time to get outside.

# Demographics continued...

## Mountain Biking

Palisade, Lunch Loops, 18 Road, Kokopelli, Rabbit Valley | **Over 1,500 miles of singletrack**



Over 80% of all Coloradoans hike, bike, run or climb on a regular basis and spend more than **\$34 billion per year** on outdoor recreation making **Colorado the #1 healthiest state in the U.S.**



(Source: The Daily Sentinel 2015 Market Study of Mesa County, Colorado, and the Colorado Outdoor Recreation Industry Office)

# Demographics continued...

	Total	%
<i>Default</i> ↕		
1 Person	18,643	29.23
2 Person	24,467	38.36
3 Person	8,493	13.31
4 Person	7,065	11.08
5 Person	3,161	4.96
6+ Person	1,234	1.93

GJEP Demographics chart above

With over 67.6% of all households in Grand Junction having only one or two persons, this development will work to fill a huge void in the housing market of the Grand Valley.

A larger portion of the population are in an age range, those in their 30's, which is commonly seen as leading an active lifestyle. Camelback Gardens will be very attractive to this demographic.

	Total	%
<i>Default</i> ↕		
0-4	8,326	5.44
5-9	8,906	5.82
10-19	19,460	12.71
20-29	18,896	12.34
30-39	20,034	13.09
40-49	17,364	11.34
50-59	17,914	11.70
60-64	10,793	7.05
65+	31,377	20.50
Average Median Age	39.5	-

# Demographics continued...

The demographic of the people dwelling in these homes will be someone who wants to live close to work, but still have accessibility to the outdoors.

Although there are outdoor enthusiasts of all types, consumers with high household incomes make up the core demographic. These people will appreciate luxury living while appreciating the land and being able to go for a pedal or hike right out their back door. Enthusiasts like to experience the outdoors as a way to connect with family and friends, enjoy nature, and escape everyday obligations, but many are still interested in staying connected with the world at the same time.

The Grand Valley has always attracted people that appreciate the geography and beauty of Western Colorado as well as the access to endless outdoor activities. However, there hasn't been a specific neighborhood developed for these people with similar values and interests. Camelback Gardens is designed to fill that need. With trails offering a sense of "bike in, bike out <sup>(TM)</sup>" and close access to downtown, restaurants, and grocery stores this development will be a no-brainer for anybody wanting to live in a community that utilizes and respects the beauty and adventure that Western Colorado has to offer.

# Dog Friendly Neighborhoods

With demographics slowly changing, levels of pet ownership are rising. Single person households are growing and more young people are getting married later and delaying having children. Pets are filling the voids of companionship. This Project will welcome pets and connect their usual lifestyle with the surrounding trails.

In the United States, pet ownership has been steadily rising for decades. The number of households owning at least one pet jumped over 35 percent during the past decade to 84.9 million, according to the U.S. Pet Ownership & Demographics Sourcebook, published by the American Veterinary Medical Association.

With Camelback Gardens trail connections it is expected to see a higher than average amount of dog owners seeking to purchase homes here.

To add a competitive advantage and create a larger target market for future residents, Camelback Gardens may offer dog amenities such as a dog wash station (that doubles as a bike wash station) and “pet relief areas”.





# Agrihoods

Community gardens and fruit-bearing trees could give the project a green element amongst the desert while providing a sense of sustainable living amongst the homeowners.



Agrihoods promote health and social interaction. A community farm can be the centerpiece of a development, and associated programming and educational opportunities can foster community social ties. Studies show that people who have satisfying relationships are happier, have fewer health issues, and live longer. Farms in communities provide residents with access to fresh produce, supporting positive health outcomes.

Agrihoods can support an attractive return on investment. Many studies find as much as a 20 to 33 percent increase in the value of properties adjacent to parks and Open Space. Camelback Gardens will have both community parks, gardens and Open Space surrounding it.

# Architecture – Modern Desert

The developer has chosen Eric Kraai of Kraai Design to create the architecture for Camelback Gardens.



Houses will range from 1,300-2,400 sf. Anticipated price range is \$500,000 and up.

5 3D View 1

The homes will provide a sense of appreciation for the surrounding land and offer sustainable sophistication to the neighborhood.



# “Middle Housing”

What is it?

House-scale buildings with multiple units in walkable neighborhoods.

“Well-designed ‘Missing Middle’ buildings unify the walkable streetscape as they greatly diversify the choices available for households of different age, size, and income. Smaller households tend to eat out more, helping our neighborhood attract wonderful restaurants. Diverse households keep diverse hours meaning we have more people out walking our streets at more varied hours—keeping them safer.”

Ellen Dunham-Jones

## Characteristics of Middle Housing

These housing types typically have small - to medium-sized footprints. This allows a range of housing types—with varying densities but compatible forms—to be blended into a neighborhood, encouraging a mix of socioeconomic households and making these types a good tool for compatible infill.

### Lower Perceived Density

Due to the small footprint of the building types and the fact that they are usually mixed with a variety of building types even on an individual block, the perceived density of these types is usually quite low—they do not look like dense buildings.

### Smaller, Well-Designed Units

Most Missing Middle housing types have smaller units. The challenge is to create small spaces that are well designed, comfortable, and usable. The ultimate unit size will depend on the context, but smaller-sized units can help developers keep their costs down and attract a different market of buyers and renters who are not being provided for in all markets.

### Creates Community

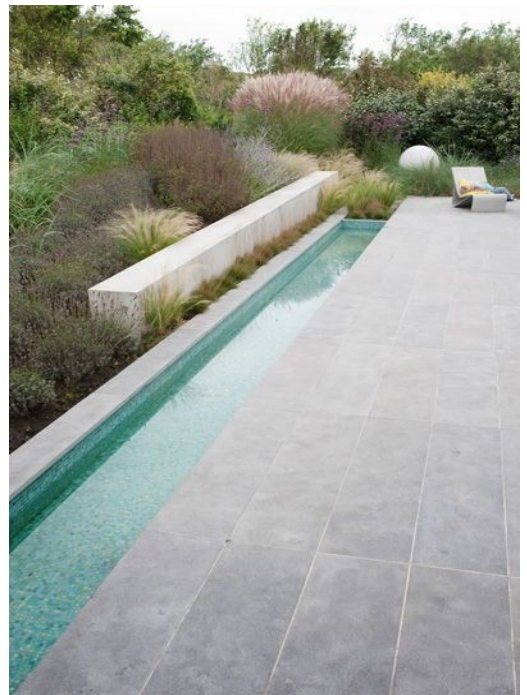
Missing Middle Housing creates community through the integration of shared community spaces within the neighborhood and amenities or simply from being located within a vibrant neighborhood with places to eat, drink, and socialize. This is an important aspect in particular considering the growing market of single-person households (nearly 30% of all households) that want to be part of a community.

# Landscaping



Rob Breeden P.L.A. with Nvision Design Studio, Inc. will create the final landscape design for the entire site. He will integrate the developed landscape with the native.

Xeriscaping throughout the community will enable homeowners and trail guests the ability to appreciate the land, while burdening home-owners with minimal maintenance.



Trail Structure Concept – Along Watertower Loop

Water features doubling as reflective Surfaces to enhance views, sunsets, sunrises, and surroundings while offering white noise in a tranquil setting.

# Transportation, Emergency, Egress Services

Access is gained off of Rana Road, which connects to Ridges Blvd off of Ridges Circle. Ridges Blvd then connects to Highway 340/Broadway. Secondly you may take Highway 340 up Ridges Blvd to High Desert Rd. Ridges Blvd, Ridges Circle, and Rana Road are well maintained and in good condition. They have a non-standard street section due to no curb, gutter, or sidewalks in most areas. We are connecting High Desert Rd to Rana Rd thus completing one of the cities goals for street connectivity. That is beneficial for emergency and utility services. High Desert Rd will be built to standard street width so that it will allow for on street parking. All shared driveways will be owned and maintained by the homeowners association.

The property is located in: Fire Area “F” as established by the City of Grand Junction Fire Department. Firefighters can respond to emergencies from Fire Station No. 5 located at 2155 Broadway, which is around 3.5 miles away from the project site.

The Grand Junction Fire Department currently employs over 90 full time employees and is one of the largest paid fire departments between Denver and Salt Lake City; the Grand Junction Fire Department has made numerous upgrades to it's service including a new 911 Call Center a few years ago.

Other emergency services are available from the City of Grand Junction Police Department; the Uniform Patrol section was comprised of sworn officers, non-sworn police service technicians, sergeants and lieutenants. Collateral duties such as the Canine Program, SWAT, the Bike Office Program, and Forensic Investigations fall under the Uniform Patrol section. In all, the Grand Junction Police Department has approximately 200 full time law enforcement employees.

Access to each residential unit will be gained over an HOA owned tract. No privacy fences will be built with this development application. Almost all townhomes abut public open space in the rear of the unit.

# Area Schools

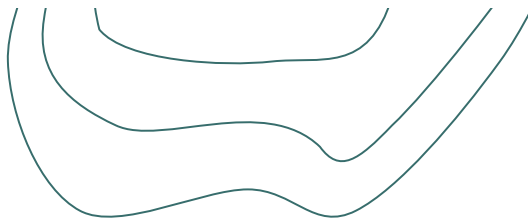
Schools designated to the neighborhood are:

Scenic Elementary School: 451 W. Scenic Dr.

Redlands Middle School: 2200 Broadway

Grand Junction High School: 1400 N 5<sup>th</sup>

All of these are in the city of Grand Junction



# Utility Services and Infrastructure

**DOMESTIC WATER** – All dwellings within the subdivision will be served by a publicly owned domestic water distribution system. New water services will be extended to each new dwelling from the 8” inch water main owned and operated by Ute Water Conservation District. New fire hydrants will be located throughout the development. It is estimated that 14,000 – 23,000 gallons per day will be consumed once the development is fully occupied.

**SANITARY SEWER** – Camelback Gardens is located within the 201/Persigo Boundary. Therefore, new sewage connections will be made to that system via individual 4” lines. There are currently 8” lines at both ends of the property in High Desert as well as Rana Road which can be connected to.

**IRRIGATION WATER** – The City of Grand Junction manages The Ridges irrigation water system after the water is taken from the Redlands Water and Power ditch. The City has upgraded the system recently. The system is known to be very reliable. It is anticipated that the existing line in Rana Road will be tapped for service to the development. It may be recommended that a loop be created in order to better serve the development. A loop would likely cross through open space to connect back to existing infrastructure.

**NATURAL GAS** – XCEL Energy has a line in Rana Road and High Desert Road which will be connected to and extended into Camelback Gardens.

## **DRY UTILITIES**

**ELECTRIC** - XCEL Energy has a line in High Desert as well as Rana Road that can be connected to. These lines have the capacity to serve the development. Lines will be underground on-site.

**TELEPHONE** – Century Link has a line in High Desert as well as Rana Road which can be connected to. These lines have the capacity to serve the development. Lines will be underground on-site.

**CABLE** – Spectrum has a line in High Desert as well as Rana Road that can be connected to. These lines have the capacity to serve the development. Lines will be underground on-site.

**CELLULAR** - Phone reception for each of the carriers is available with signals ranging from excellent (AT&T) to good (Verizon, Sprint and T-mobile).

# Soils and Geology

No man-made or natural geologic hazards are known to exist on the subject property. The US Department of Agriculture, Soil Conservation Service, has identified the following soils on the site. (The complete USDA narrative is available from Colorado Land Advisor)

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
87	Persayo-Blackston complex, 6 to 45 percent slopes	14.0	100.0%
<b>Totals for Area of Interest</b>		<b>14.0</b>	<b>100.0%</b>





# Site Geology and Hazards

At the time of the investigation the site consists of open land. The site is gently undulating it runs generally along a valley between two buttes. An unimproved road runs across the site west from the end of Rana Rd to the end of High Desert Rd. Vegetation on the site consist of low grasses, prickly pear cactus, and brush. A few pinions and junipers located on, and adjacent, to the site. Numerous piles of fill dirt are located near the central bottom. This fill generally consists of rock fragments, sand, silt, and clay.

The surrounding vicinity of the site includes residential properties as well as Ridges Open Space lands. Open Space lands contain several predominant rock outcroppings. These outcroppings are largely sandstone and some clay stone. These exposed rock outcroppings are stable and present minimal hazards to the site development. As infrastructure is developed a careful investigation will be performed to remove or relocate any loose rocks from the adjacent area.

The development of Camelback Gardens will not affect any of the steep grades on the site. Development of the project will be in lower portions of the valley on low to moderate grades. Any grades that are steeper or Open Space will not be developed.

# Development Schedule and Evaluation

**DEVELOPMENT SCHEDULE** - The development will begin immediately upon approval in order to meet the current housing needs. It is anticipated that site development will begin immediately upon the City of Grand Junction's approval of the final construction documents. Occupancy of the first dwelling is expected to occur sometime during late 2024. It is expected that development of the site will occur in 3 phases.

**PHASING SCHEDULE** - Each phase would be scheduled to take place over 3 years: Phase 1 2024-2027; Phase 2 2027-2030; Phase 3 2030-2033. Market conditions in early 2022 indicate a strong economy that is beginning to moderate. These conditions have brought about growth in the housing industry. If this trend continues the Phasing Schedule would be modified to meet housing demands.

**GENERAL** - Interest rates for home mortgages have begun to move up but it is anticipated that this type of homebuyer will be minimally impacted by this and it is anticipated that the upward trend will happen in a predictive manner so that the market is not shocked back into a recession. The current housing boom will take some time to work through as migration away from large cities is partially responsible for the current growth cycle. Current indicators seem to tell us that people want to live where they can live and not just live where they can work. Statistics indicate a divergence among homebuyers. The Babyboomers are aging and moving into retirement. Meanwhile Millennials lifestyle choices lean towards Urbanism vs. the Suburban lifestyle of the recent generations. While many Generation X'ers don't mind home maintenance there is a growing segment of both retiring Babyboomers and Millennials that are looking for homes that require less of a time commitment to maintenance. The availability of this type of housing is very limited. This development is designed to address this market segment through its full maintenance of outdoor areas around the units performed by the HOA.

# Response to ZDC Criteria

## **21.02.150 Planned development (PD).**

(a) *Purpose.* The planned development (PD) district is intended to apply to mixed use or unique single use projects to provide design flexibility not available through strict application and interpretation of the standards established in Chapter 21.05 GJMC. The PD zone district imposes any and all provisions applicable to the land as stated in the PD zoning ordinance. The purpose of the PD zone is to provide design flexibility as described in GJMC 21.05.010. Planned development rezoning should be used when long-term community benefits will be derived, and the vision, goals and policies of the Comprehensive Plan can be achieved. Long-term community benefits include:

(1) *More efficient Infrastructure;* **By designing housing that will have 3-4 off street parking spaces this allows for narrower street sections. This results in lower long term costs to the City in maintenance of infrastructure items.**

**Surrounding areas were previously dedicated as Ridges Open Space. Thus no new Open Space will be dedicated with this development. Trails surround and criss-cross the property and should be considered part of the transportation network.**

(2) *Reduced traffic demands;* **Camelback Gardens will have a trail system in and around it which will encourage more walking throughout the project, these may be used for recreation as well as going to places like the mailbox.**

(3) *The improved trail system will provide a greater quality of public and/or private open space;* **Accessible trails with views of the Grand Mesa, Colorado National Monument, Bookcliff Mountains, and Mount Garfield will add to the quality of living in the development. Although the development will be developed at urban densities, all of the surrounding open space was previously dedicated to the city and/or county. This significant feature will create a setting for the parcels to be developed.**

(4) *Recreational amenities; and/or* **Trails will connect throughout the development. These trails can be used for walking, dog walking, hiking, biking, and jogging. A Trail Shade Structure with boulders for seating will be created near Townhome T23 (see page 28 of this document).**

# Response to ZDC Criteria

(5) *Needed housing types and/or mix; the development provides two distinct housing choices within a single development. First, it provides single family executive residences as it transitions from Redlands Mesa. Second, the majority of the development will feature townhomes which will be closely connected to the adjoining Open Space. This housing type shares one common wall with one other unit. Each unit is separately owned. This helps make the unit more compact and affordable while maintaining the same square footage. High quality finishes within the units as well as on the exterior of the unit will be used. Unlike typical single family developments the development, through it's HOA, will provide a high level of maintenance to the future homeowners. The HOA will also maintain the landscaping and handle snow removal services. These services will be desired by aging homeowners and young professionals who do not wish to perform common homeowner duties.*

21.02.150(b) *Planned development - Outline Development Plan (ODP).*

(1) *Applicability. An outline development plan is required. The purpose of an ODP is to demonstrate conformance with the Comprehensive Plan, and coordination of improvements within and among individually platted parcels, sections or phases of a development prior to the approval of a final plat. At ODP, zoning for the entire property or for each “pod” designated for development on the plan is established. This step is recommended for larger, more diverse projects that are expected to be developed over a long period of time. Through this process, the general pattern of development is established with a range of densities assigned to individual “pods” that will be the subject of future, more detailed planning.*

(2) *Approval Criteria. An ODP application shall demonstrate conformance with all of the following:*

(i) *The Comprehensive Plan, Grand Junction Circulation Plan and other adopted plans and policies; **Camelback Gardens ODP will fulfill several goals of the 2020 Comprehensive Plan. It will provide housing for smaller families (67.6% of households consist of 1 and 2 persons). It will provide the preferred housing type to younger Millennials. It will add to the diversity of housing choices within the Grand Valley. It will be compatible with The Ridges PD.***

# Response to ZDC Criteria

## 21.02.150(b) Outline Development Plan (ODP) continued

- (ii) *The rezoning criteria provided in GJMC 21.02.140; Camelback Gardens is within the boundaries of The Ridges PD and as such will not be a rezone. This ODP application is to specifically identify bulk standards and address issues specific to these parcels.*
- (iii) *The planned development requirements of Chapter 21.05 GJMC; Camelback Gardens will create: (a) More effective infrastructure; (b) Reduced traffic demands; (c) A greater quality and quantity of public and private open space; (d) Other recreational amenities; (e) Needed housing types and mixes; (f) Innovative architectural designs; (g) Protection and preservation of natural open space resources and natural features; and (h) Public art.*
- (iv) *The applicable corridor guidelines and other overlay districts in GJMC Titles 23, 24 and 25; Camelback Gardens is within the boundaries of The Ridges PD and will build upon an a community which contains diverse housing types and architecture.*
- (v) *Adequate public services and facilities shall be provided concurrent with the projected impacts of the development; All necessary infrastructure items are currently available on both ends of the project. Dry utilities, wet utilities, and streets exist at the ends of High Desert Road and Rana Road. These will be extended into the project in order to provide public services and facilities to the development.*
- (vi) *Adequate circulation and access shall be provided to serve all development pods/areas to be developed; High Desert Road will be connected through to Rana Road in Camelback Gardens. Units will be connected to High Desert Road via shared driveways. Attention to design will ensure all engineering standards (TEDS) and Fire Department requirements are met.*
- (vii) *Appropriate screening and buffering of adjacent property and uses shall be provided; Where Camelback Gardens abuts The Ridges Open Space the Landscape Architect has and will design a transition to the natural topography and vegetation. Where the development abuts Cobblestone Ridges, a 10 foot setback will be put in place with a mix of xeriscaping, trees, shrubs and grasses in order to provide outdoor living space for the Camelback Gardens residents.*

# Response to ZDC criteria

## **GJ.21.050.010** continued

(viii) *An appropriate range of density for the entire property or for each development pod/area to be developed;* **The current concept shows 60 townhomes and 14 executive home sites. Using the adjusted boundary line and allowing for changes in the marketplace in which some of the executive homes would be converted to townhomes, the maximum density may reach 80 units in 10.75 acres.**

(ix) *An appropriate set of “default” or minimum standards for the entire property or for each development pod/area to be developed;* **The purpose of submitting this ODP will be to establish the bulk standards for the Camelback Gardens PD.**

(x) *An appropriate phasing or development schedule for the entire property or for each development pod/area to be developed;* **A Phasing Plan is briefly outlined in this report. A more detailed plan and map is submitted on pages 4, 5, & 6 of the Outline Development Plan planset to the City of Grand Junction.**

*Protection and/or preservation of natural resources, habitat areas and natural features;* **The development is well suited for development at a higher density than is typical in the Grand Valley. By developing more housing that is closer to the core of the city, pressure on outlying areas is reduced. This protects natural resources typically found at the edge of the urban boundary. It is these resources that the development protects by reducing pressure to develop in and around them. The development will provide wonderful views of the Colorado National Monument, Bookcliff Mountains, and the Grand Mesa.**

*Public art.* **Public art is a possibility within the Open Space areas of the development. It is being considered at the subdivision sign and at the Trail Structure locations.**

# ODP Zoning/Bulk Standards

This request is for the parcel to be zoned to an ODP zoning designation. The proposed standards for this zone are:

Primary uses of ODP – Detached Single- Family, Two- Family Dwelling, Multifamily, Civic

Maximum Density 80 units on 10.75 acres, Minimum Density 74 units.

## DENSITY AND DIMENSIONAL STANDARDS FOR : PD ZONE

DENSITY (units/ac.)	MIN. LOT SIZE	MIN. STREET FRONTAGE	MINIMUM SETBACKS			MAX HEIGHT
			Street	Side	Rear	
Max 8.4	Townhome: 1,200sf Executive home: 2400sf	0 feet (all street frontage is an HOA tract)	Street  20ft from back of curb	Side  10ft	Rear  10ft	25 feet where unit abuts a previously platted lot e.g. T1- T11 & T57
Min. 6.8	Width: 40ft (Executive home) 30 ft (Townhome)		15ft with a side loaded garage	10ft to the next unit	10ft where the unit abuts a previously platted lot  0ft where the unit abuts The Ridges Open Space	40 Feet where the unit abuts The Ridges Open Space

# Neighborhood Meeting Notes

## Neighborhood Meeting Notes for **Camelback Gardens**

A Neighborhood Meeting was held on March 28th, 2022 at 5:30 PM at 2351 Rana Road.

Approximately 33 people were in attendance at the meeting. 18 people signed in on the sign-in sheet provided.

Mr. Fleming of Colorado Land Advisor talked small talk with people as they looked at the images for the project which were presented on a table. People started gathering and a few people asked how big the homes were going to be? Mr. Fleming advised that the homes would be 2 stories, some 3 stories.

One person asked what the meeting was for? Mr. Fleming replied it was to advise the neighborhood what the project would look like and to answer any questions that they may have about it.

Mr. Fleming started the meeting by introducing himself from Colorado Land Advisor and Dani Acosta from the City of Grand Junction. Dani advised her role in the process and let the crowd know how they could give feedback/voice concerns online. Asked people to sign in on the sign-in sheets.

Several people pointed to the map and wanted clarity on where we were currently standing and where the development was going to be in relation to the golf course and the open space and other homes that are already standing. They also questioned if they were townhouses. Mr. Fleming clarified that they are single-family attached homes and that they have the same footprint as the homes behind them. The question was also asked several times if the homes would have garages and Mr. Fleming advised that yes, the homes would have garages and Driveways.

“What consideration was made for the rain runoff?” one man asked. Mr. Fleming explained that in the plan there are micro basins that are part of the solution and the other part is getting water to the big stormwater catch basin for the residential development and pointed this out on the map as well as pointing in the direction of where they would be. The same man asked what he thought would happen to the value of their homes when this new neighborhood went up? Mr. Fleming advised he is an urban planner, not an engineer, and what he studies is how communities are developed and built and what it means to those that move into new developments, and what happens to those who live around them. Anytime you have new developments the value of the homes around it will go up. He then asked if the HOA would limit how many cars people would have? Mr. Stubbs answered that the HOA would restrict vehicles and Mr. Fleming added that each unit would have 4 parking spaces dedicated.



# Neighborhood Meeting Notes

(continued) Neighborhood Meeting Notes for **Camelback Gardens**

Other questions that were asked that Mr. Fleming answered....

How long is the build timeline? Mr. Fleming stated approximately 6 years.

Is this subdivision going to have its own HOA? Yes, it will have its own separate HOA.

How far will the homes be from the fence in our backyard? There is a fire code that states how close the homes can be to yours and we're probably looking at 10 feet from the property line. That is a standard setback for the Mesa County building code.

Do you have plans on whether you will be starting building at this end or the other end? It is not 100% guaranteed, once we know more of the utility demands that may give us more direction but most likely this end.

All the trails we have currently go around us and it looks like on this map you are going to put a trail through the middle of the development on their bicycles? Yes, we would make a more defined trail around the neighborhood and we're going to give them a good place to cross through when people are coming off the larger trails.

Where are you at in the process? Dani from the City of Grand Junction explained that this neighborhood meeting is required before the formal application can be made and then there will be a public hearing process. Additionally, she directed people to GJ Speaks to give their input. What is the existing zoning? Dani answered PUD. What is the target density? Low density and the city will review all of that.

How many houses are there going to be? There are currently about 75 units on the map that we are proposing but our application will say up to 90 units. Can you speak to why you choose this density compared to what we have in our existing neighborhood scale? In our community, we have people who according to Grand Junction Economic Partnership, you can look up their data on their website and I encourage you to do that, in Grand Junction single-person households are about 29% of the houses only have one person living in them, about 37% have two people living in them. The population with 3 or 4 kids is only made up of about 7% or so in the valley.

The group started organically talking amongst themselves and dispersing.

The meeting wrapped up about 6:30.





# Consultants

## Camelback Gardens Design & Construction Team

### **Development Planner & Project Manager**

Colorado Land Advisor, Ltd.  
Jeffery Fleming CNUa

### **Landscape Architect**

Nvision Design Studio  
Rob Breeden PLA

### **Surveyor**

Polaris Surveying  
Pat Click

### **Architect**

Kraai Design Architecture  
Eric Kraai

### **Civil Engineer**

High Country Engineering  
Tom Scott

### **Geotechnical Engineer**

Huddleston-Berry  
Mike Berry

### **Structural Engineer**

Lindauer Dunn, Inc.  
Frank Rinaldi P.E.

### **Title Company**

Advanced Title Company  
Sabrina Yanez, Vice President