



Confidential Inspection Report

LOCATED AT:
15627 Woodlawn
Tustin, California

PREPARED EXCLUSIVELY FOR:
John Doe

INSPECTED ON:
Tuesday, January 17, 2023



Inspector, David Hext & Mark Swan 310-502-9518
4044 Via Valmonte Palos Verdes Estates CA 90274

Tuesday, January 17, 2023
John Doe
15627 Woodlawn
Tustin, California

Dear John Doe,

We have enclosed the report for the property inspection we conducted for you on Tuesday, January 17, 2023 at:

15627 Woodlawn
Tustin, California

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully. If there is anything you would like us to explain, or if there is other information you would like, please feel free to call us. We would be happy to answer any questions you may have.

We thank you for the opportunity to be of service to you.

Sincerely,

Inspector, David Hext & Mark Swan 310-502-9518
4044 Via Valmonte Palos Verdes Estates CA 90274



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Introduction

We have inspected the major structural components and mechanical systems for signs of significant non-performance, excessive or unusual wear and general state of repair. Our inspection is conducted in accordance with the Standards of Practice of the California Real Estate Inspection Agreement. The following report is an overview of the conditions observed.

In the report, there may be specific references to areas and items that were inaccessible. We can make no representations regarding conditions that may be present but were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions may be discovered. Inspection of the inaccessible areas will be performed upon arrangement and at additional cost after access is provided.

We do not review plans, permits, recall lists, and/or government or local municipality documents. Information regarding recalled appliances, fixtures and any other items in this property can be found on the Consumer Product Safety website. These items may be present but are not reviewed.

Our recommendations are not intended as criticisms of the building, but as professional opinions regarding conditions present. As a courtesy, the inspector may list items that they feel have priority in the Summary portion of the report. Although the items listed in this section may be of higher priority in the opinion of the inspector, it is ultimately the client's responsibility to review the entire report. If the client has questions regarding any of the items listed, please contact the inspector for further consultation.

Lower priority conditions contained in the body of the report that are neglected may become higher priority conditions. Do not equate low cost with low priority. Cost should not be the primary motivation for performing repairs. All repair and upgrade recommendations are important and need attention.

This report is a "snapshot" of the property on the date of the inspection. The structure and all related components will continue to deteriorate/wear out with time and may not be in the same condition at the close of escrow.

Anywhere in the report that the inspector recommends further review, it is strongly recommended that this be done **PRIOR TO THE CLOSE OF ESCROW**. This report is not intended for use by anyone other than the client named herein. No other persons should rely upon the information in this report. Client agrees to indemnify, defend and hold inspector harmless from any third party claims arising out of client's unauthorized distribution of the inspection report.

By accepting this inspection report, you acknowledge that you have reviewed and are in agreement with all of the terms contained in the standard California Real Estate Inspection

Agreement contract provided by the inspector who prepared this report.

General Comments

You have hired Makai Building Inspection to perform a limited, visual inspection of this property. The inspection was performed in accordance with industry standards. The limited inspection does not involve any specific tools or instruments and is completed usually within a few hours, beginning to end. The purpose of the inspection is to identify defects in the systems, structures, and components as they exist at the time of the inspection. If our opinion is that a specialist is needed, we will note that within the report.

We are not authorized to comment on wood destroying organisms and pests, including termites, dry rot, wet rot, fungus or mold. Additionally, we are not qualified to comment on or test for environmental contaminants such as asbestos or lead-containing materials, fungi or molds, etc. Similarly, we do not test the quality of the air within a residence. If these items are important to you, you should schedule any such inspections with the appropriate specialists before the close of escrow.

Occasionally we will comment on cosmetic conditions and report on the condition or estimated age of a system to make a more comprehensive report. We take into consideration when a house was built and therefore allow for typical deterioration that occurs through time. We do not comment on insignificant and predictable defects and do not annotate them.

It is essential that you read our entire report. Any recommendations that we make for required service or further evaluation should be completed and documented before the close of escrow. OUR SERVICE DOES NOT INCLUDE ANY KIND OF WARRANTY OR GUARANTEE.

The Transfer Disclosure Statement is a legal document that the sellers are required to provide to any potential buyer at the time of the sale. You should read it very carefully and ask questions of the sellers if necessary. This is important because the sellers generally have the most intimate knowledge of a property.

Environmental issues include but are not limited to radon, fungi/mold, asbestos, lead paint, lead contamination, toxic waste, formaldehyde, electromagnetic radiation, buried fuel oil tanks, ground water contamination and soil contamination. We are not trained or licensed to recognize or discuss any of these materials. We may make reference to one of more of these materials in this report when we recognize one of the common forms of these substances. If further study or analysis seems prudent, the advice and services of the appropriate specialists are advised.

Specific requirements for smoke detectors and carbon monoxide alarms vary from city to city. Although we may comment on such items within our report, we do not necessarily know these requirements. We do not test or otherwise operate smoke detectors or carbon monoxide detectors as part of our service.

Introductory Notes

PROPERTY INFORMATION

- 1:** - Over the course of this inspection the temperature was estimated to be between 50 and 60 degrees.
- 2:** - The structure is estimated to have been originally constructed circa 2004.
- 3:** - It was not raining at the time of the inspection, we were therefore unable to inspect the property for active water intrusion or leakage. Considering the typical climate in the area, active leakage is difficult to confirm. The seller should be consulted regarding any past issues and/or a mold inspection should be performed as we can in no way guarantee the home is leak free.
- 4:** - The building was furnished at the time of the inspection. We only inspected the areas and components that are exposed and readily accessible. We did not move furniture, lift area rugs, nor remove or rearrange items within the interior. Our inspection within under sink cabinets and inside closets is limited in occupied spaces. We do not remove personal items.
- 5:** - We did not review the CC&R's as this is outside the scope of our inspection. It is important that you read and become familiar with them as the CC&R's typically define boundaries of each building, delineate common areas, explain the responsibilities and processes required of each owner regarding financial matters such as fee collection and spending, mortgage lending, and insurance. They also identify building rules and regulations, and specify the resolution of problems and disputes.

Site Comments

Site Comments

TREES & VEGETATION

6: There are trees and foliage that are near the buildings foundation should be monitored for any growth that might affect the foundation.



Exterior Features

PLANTERS

7: The parking area planters have typical cosmetic damage. Repairs could be performed but would not be considered necessary.



Parking

PARKING SURFACE

8: The asphalt parking area has been evaluated and found in serviceable condition. It would be prudent to budget for a slurry seal every 3 to 5 years as part of a preventive maintenance program (it is always more economical to provide preemptive and routine maintenance in a pro-active approach, than rehabilitation or reconstruction as a result of failures).

PARKING LOT LIGHTING

9: The parking lot lighting was not tested and is likely operated by a timer located somewhere on the property. Consult seller.

Exterior Comments

It is important to maintain a building, including painting or sealing the building walls, which provides the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows and doors while it was raining that may not have been apparent otherwise, and too often damage progresses to a point at which a window or door must be replaced. Such occurrences are not uncommon, and demonstrate why the cost of renovating a neglected property will always exceed that of having maintained the property.

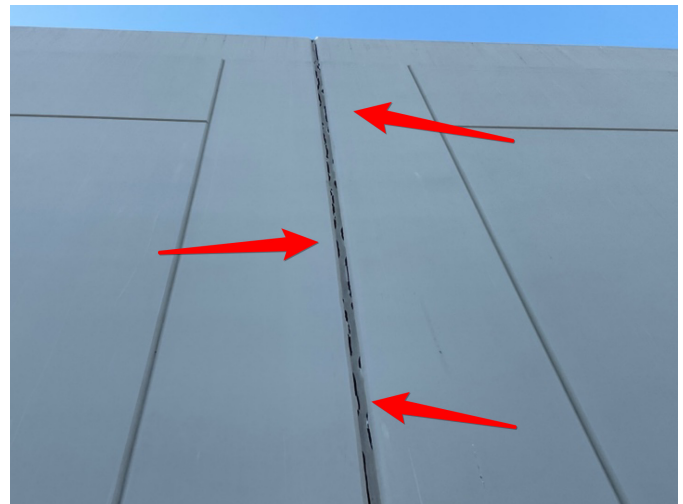
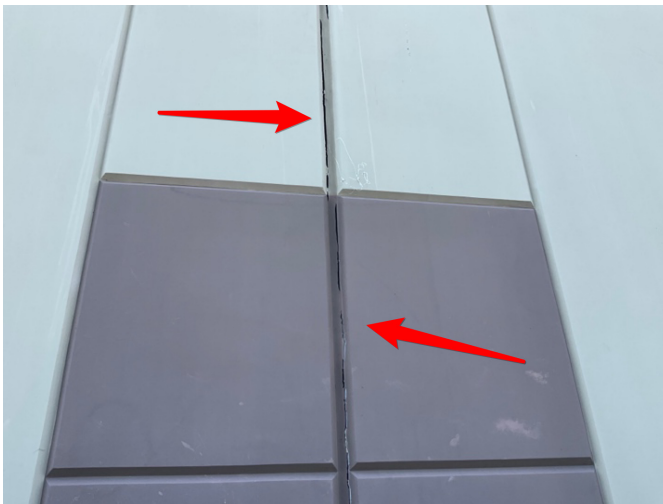
Wall Covering

GENERAL OBSERVATIONS

10: The exterior walls of the building are tilt up concrete panels. We are unable to verify if these walls are steel reinforced, however due to the age of the structure, reinforcement is assumed.

CONCRETE OBSERVATION

11: There is a gap between the buildings, over the trash area, that should be resealed the prevent water intrusion between the concrete panels. Please consult a specialist for service.



Exterior Components

WINDOWS

12: The windows appear to be in acceptable condition. We do not test every window, particularly if the building is furnished and occupied. We do however attempt to test most windows.

DOORS

13: The exterior passage doors were tested and appear to be in acceptable condition.

ROLL UP DOORS

14: The rear warehouse door, although functional, is dented and has cosmetic damage.



Structural Elements

MAIN FLOOR STRUCTURE

15: The floor structure consists of a poured concrete slab. We were unable to determine if the slab is reinforced as any reinforcement would be concealed within the concrete.

ROOF STRUCTURE

16: The roof structure consists of a prefabricated steel truss system.

WALL STRUCTURE

17: The walls are comprised of tilt up concrete components.

Foundation System

The structural elements of a building include foundation, footings, all lower support framing and components, wall framing and roof framing. These items are examined, where visible, for proper function, excessive or unusual wear and general state of repair. Many structural components are inaccessible because they are buried below grade or behind finishes. Therefore, much of the structural inspection is performed by identifying resultant symptoms of movement, damage and deterioration. Where there are no visible symptoms, conditions requiring further review or repair may go undetected and identification will not be possible. We make no representations as to the internal conditions or stabilities of soils, concrete footings and foundations, except as exhibited by their performance.

General Information

GENERAL COMMENTS

18: This building has a slab foundation.

Slab Foundation

GENERAL COMMENTS

19: Slab foundations vary from older ones that are not steel reinforced and have no moisture barrier below them, to newer ones that have both. Our inspection of slab foundations conforms to industry standards. We check the visible portion of the stem walls and exterior walls on the outside of the building for any evidence of significant cracks, but we do not move furniture or lift carpet to look for cracks. Additionally, we do not use specialized tools to establish elevations or confirm differential movement.

METHOD OF EVALUATION

20: We evaluated the slab foundation on the exterior, by examining the foundation walls that project above grade and by walking the interior, looking for abnormalities at the exposed flooring.

BOLTING OBSERVATIONS

21: The exterior walls are concrete construction. This type of construction is not bolted to the foundation. It is however assumed that there are steel reinforcing rods within the concrete foundation that are tied into the vertical steel rods within the masonry elements. Their presence can not be confirmed without specialized equipment.

FOUNDATION OBSERVATIONS

22: Due to the installation of finished surfaces, the slab is mostly inaccessible and could not be thoroughly inspected. However, we observed no signs of significant settlement or related interior cracking to suggest a major problem. We noted minor cracks, within normal tolerances, at the exposed perimeter concrete. This type of cracking is often a result of shrinkage and/or minor settlement and usually does not affect the strength of the foundation.

Roof & Roof Structure

General Information

REMARKS

23: A roof system consists of the surface materials, connections, penetrations and drainage (gutters and downspouts). Our inspection of roofing systems conforms to industry standards, which is that of a generalist and not a specialist. We visually inspect these components for damage and deterioration. We do not perform any destructive or any sort of water testing. If we find conditions suggesting damage, improper application, or limited remaining service life, these will be noted. We may also offer opinions concerning repair and replacement. Opinions stated herein concerning the roof are based on a limited visual inspection. These do not constitute a warranty that the roof is, or will remain, free of leaks. The property owner should always be consulted regarding the roofs history and if a warranty against leaks is available. We always recommend additional inspection by a licensed roofer.

24: The roof is considered flat but has a slight pitch to allow for drainage.

Cap Sheet

GENERAL REMARKS

25: Cap sheet is used as a roof covering. Their life expectancy will vary depending on the type and weight of the cap sheet as well as the weight of and number of layers of asphalt paper that underlay the cap sheet. These type of roofs are low-pitched and therefore do not usually drain efficiently. Low pitched roofs must be kept clean and maintained. Our inspection does not include any guarantee against leaks. For such a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification. The sellers or the occupants will generally have the most intimate knowledge of the roofs repair history. You should ask them about its history and then schedule a regular maintenance service.

METHOD OF EVALUATION

26: We evaluated the roof and its components by walking its surface.

ESTIMATED AGE

27: The cap sheet roof appears to be approximately 18 to 20 years old, but this is just an estimate. You should request the installation permit from the sellers which will reveal its exact age and any warranty or guarantee that might be applicable.

ROOF COVERING

28: The cap sheet roof is older and has typical wear-and-tear. It is at or is approaching the end of its design life and will need to be closely monitored. It would be prudent to have a roofer provide you with a cost estimate for replacement and when this will be required so you can budget for this work.



29: Sections of the roof have been patched or repaired where the fans were installed. You should request the service invoice and any warranty or guarantee that might be applicable for your records.



FLASHINGS

30: The roof flashings need to be sealed or serviced to prevent leakage.



31: A new water proof cover plates is needed at the service outlet on the roof.



SKYLIGHTS

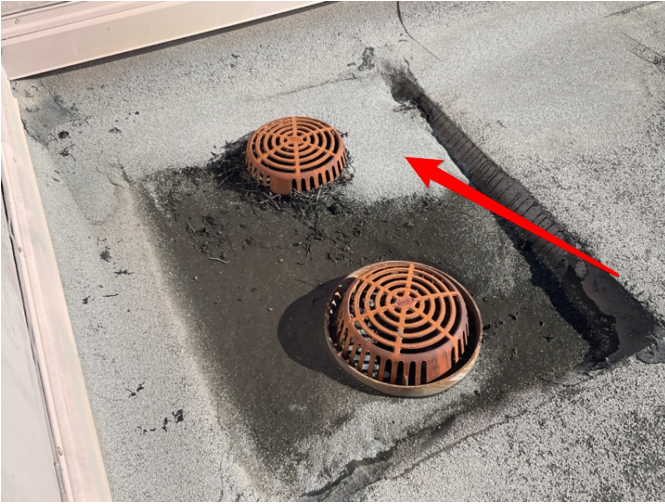
32: The roof includes one or more skylights. Skylights can be problematic and are a common point of leaks. The skylight is cracked and although repaired, the unit should be replaced.



DRAIN SYSTEM

33: It is important that the roof be kept clean so proper drainage can be maintained. Blocked drainage not only can create leaks, but the weight of the water that collects and ponds on flat roofs may cause the roofs to deflect and wear out prematurely.

34: The drains are blocked by dirt and roof granular or other such debris. They should be cleaned and serviced by a roofer and verified as clear.



Plumbing System

A plumbing system consists of the domestic water supply lines, drain, waste and vent lines and gas lines. Inspection of the plumbing system is limited to visible faucets, fixtures, valves, drains, traps, exposed pipes and fittings. These items are examined for proper function, excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint. A sewer lateral test, necessary to determine the condition of the underground sewer lines, is beyond the scope of this inspection. If desired, a qualified individual could be retained for such a test. Our review of the plumbing system does not include landscape watering, fire suppression systems, private water supply/waste disposal systems, or recalled plumbing supplies. Review of these systems requires a qualified and licensed specialist.

In keeping with industry standards, we do not operate water shut-off valves. Because these valves are not in daily use they will inevitably become stiff or frozen. It is not uncommon for a valve that is not leaking, to start drip leaking after it has been operated.

We evaluate drainpipes by flushing water through every drain that has an operable plumbing fixture. Our evaluation of the drainage system is not a conclusive test as only a video-scan of the main line will confirm its actual condition. We recommend that you ask the sellers if they have ever experienced any drainage problems. Alternately, you may wish to have the main waste line video-scanned before the close of escrow.

Potable Water Pipes

WATER MAIN

35: The main water shut-off valve is located in the right sideyard.



36: The water main appears to have been recently replaced.

TYPE OF MATERIAL

37: The visible portion of the main water supply pipe is copper. As most of the water supply pipe is located underground, we can not guarantee it is completely copper material.

38: The building is served by copper potable water pipes. The grade of copper was not determined as part of our inspection.

PRESSURE REGULATOR

39: A water pressure regulator is in place on the plumbing system at the water main. Because the regulator is a closed unit, we can not confirm that it is functioning as intended.

COPPER WATER PIPES

40: Although some of the copper water pipes are concealed within the structure of the building, the visible pipes appeared to be in satisfactory condition.

Drainage System

TYPE OF MATERIAL

41: The building is served by cast iron drain and vent pipes.

MAIN SEWER LINE

42: There was no evidence that the sewer main is damaged or blocked; however, because the sewer line is below grade, we could not directly view the pipe. A video scan of the line should be performed to confirm its actual condition.

DRAINPIPES

43: The drainpipes were tested by running water through them. The drainpipes are functional at this time.

VENT PIPES

44: The vent pipes, although mostly hidden within the walls, appear to be functioning as intended.

Hose Bibs

GENERAL OBSERVATIONS

45: The hose bibs are not provided with backflow preventers but due to the age of the building, their presence likely is not required. Backflow devices are relatively inexpensive and should be added.

Fire Suppression System

GENERAL COMMENTS

46: The fire suppression system, if present is not within the scope of our inspection. Although we will comment on what system is provided, this is done only as a courtesy. Further examination by a licensed professional is recommended.

FIRE SPRINKLERS

47: There is a fire sprinkler system installed at the property. Fire sprinkler systems are excluded from our inspection as we are not qualified to comment on such systems. The system should be certified as functional by licensed inspectors.

FIRE EXTINGUISHERS

48: Fire extinguishers are provided at the property. The extinguishers were not tested and we do not otherwise certify they are installed where required. This should be confirmed with the local fire authority who will confirm the number and type of extinguishers required.

49: The fire extinguishers were last certified November 9th 2021 (annual re-certification required).



Electrical System

An electrical system consists of the service, distribution, wiring and convenience outlets (switches, lights, and receptacles). Our examination of the electrical system includes the exposed and accessible conductors, branch circuitry, panels, overcurrent protection devices, and a random sampling of convenience outlets. We look for adverse conditions such as improper installation, exposed wiring, running splices, reversed polarity and circuit protection devices. We do not evaluate fusing and/or calculate circuit loads. The hidden nature of the electrical wiring prevents inspection of every length of wire.

General Observations

ELECTRICAL PANELS

50: The property is served by a main electrical panel and a subpanel.

Service Lines

MAIN SERVICE

51: The main conductor lines are underground. Because the lines are underground and cannot be seen, they are not evaluated as part of our service.

Main Panel

SERVICE SIZE

52: The residence is served by a 200-amp, 120/240-volt panel.



SERVICE LOCATION

53: The main electric service is located in a rear closet.

PANEL OBSERVATIONS

54: Electrical panels should be weatherproof and have a minimum of 36" of clear space in front of them for service. They should have a main disconnect, and each circuit within the panel should be labeled. Industry standards only require us to test a representative number of switches, outlets and light fixtures. We attempt to test every one that is unobstructed, but if a building is furnished we will obviously not be able to test each one.

55: The main panel and its components appear functional and in serviceable condition.



EXTERIOR COVER

56: The exterior cover is in acceptable condition.

INTERIOR COVER

57: The interior cover is in acceptable condition.

OVER CURRENT PROTECTION

58: Over current protection is provided by circuit breakers.

CIRCUIT BREAKERS

59: The circuit breakers within the panel appear functional.

PANEL WIRING

60: For safety reasons, the panel cover was not removed.

Subpanels

PANEL OBSERVATIONS

61: Subpanels are common at residences. They should be easily accessible (36" of clearance directly in front of and within 30" of the sides) and their circuits should be clearly labeled.

62: The electrical subpanel has no visible deficiencies.



OVER CURRENT PROTECTION

63: Over current protection is provided by circuit breakers.

CIRCUIT BREAKERS

64: The circuit breakers within the subpanel have no visible deficiencies.

EXTERIOR COVER

65: The exterior cover at the subpanel is in acceptable condition.

INTERIOR COVER

66: The interior cover for the subpanel is in acceptable condition.

PANEL WIRING

67: For safety reasons, the panel cover was not removed to view the wire inside.

Wiring

TYPE OF MATERIAL

68: The residence is visibly wired with wire in metal conduit and Romex.

Comfort Heating

A heating system consists of the heating equipment, operating and safety controls, venting and the means of distribution. These items are visually examined for proper function, excessive or unusual wear and general state of repair. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing and inspection of heating systems is encouraged.

Heating System

TYPE OF SYSTEM

69: Comfort heating is provided by 2 electric forced-air heat pumps. In the heating cycle this system blows air across a condensing coil that is collocated with a compressor/evaporating coil at the roof. This cycle is reversed for comfort cooling. Such systems are designed to last approximately twenty years, but they should be serviced bi-annually and the filters changed every two to three months. Please see "COMFORT COOLING" for remarks concerning the cooling side of this system.



SYSTEM LOCATION

70: The heating systems are located on the roof.

HEAT PUMP OBSERVATIONS

71: The heat pumps are close to their commonly accepted design life of twenty years for such systems. The heating cycles were evaluated and are functional; however, because of their age, they will need to be monitored more closely. The need for near term repairs or even replacement should be assumed.

72: The larger unit rattles and is loud when in use. The systems should be serviced at this time due to their age.

RETURN-AIR COMPARTMENT & FILTER

73: The return air filters should be cleaned or replaced at the time of move in.

THERMOSTAT

74: The thermostats were tested and appeared to be functioning as intended.

DUCTS

75: The ducts appear to be in acceptable condition. We are unable to see inside the ducts in most cases and therefore we can not comment on their cleanliness. If allergies are an issue, we recommend consulting a duct cleaning company.

Comfort Cooling

An air conditioning system consists of the cooling equipment operating and safety controls and a means of distribution. These items are visually examined for proper function, excessive or unusual wear, and general state of repair. Air conditioning systems are not tested if the outside temperature is too cold for proper operation. Detailed testing of the components of the cooling equipment or predicting their life expectancy requires special equipment and training and is beyond the scope of this inspection. This is a non-evasive, basic function review only. We do not dismantle, uncover or calculate efficiency of any system. Regular servicing and inspection of air conditioning equipment is encouraged.

Cooling System

TYPE OF SYSTEM

76: Comfort cooling is provided by 2 electric forced-air heat pumps.

HEAT PUMP OBSERVATIONS

77: The heat pumps are nearing their commonly accepted design life of twenty years for such systems. The cooling cycles were evaluated and are functional; however, the systems will need to be monitored more closely because of their age. The need for near term repairs or even replacement should be assumed. It would be wise to keep a home protection policy current.

SERVICE DISCONNECT

78: The electrical disconnects at the package systems appear functional.

Kitchen Areas

We test most built in kitchen appliances. We do not evaluate any appliance for it's performance or actual ability to operate as intended, only that it responds at its controls. Although we may comment on an excluded item, this is intended only to create a more thorough report. We do not inspect free-standing appliances, any refrigerators or freezers, built-in toasters or coffee-makers, can-openers, blenders, water-purifiers, timers, clocks, the self-cleaning function of ovens, etc.

Kitchen

OBSERVATIONS

79: This area is in need of rehabilitation and renovation.



FLOOR

80: The floor tile has no significant defects.

WALLS

81: The walls were examined and are in acceptable condition.

CEILING

82: The ceiling was examined and is in acceptable condition.

DOORS

83: The door was examined and is functional.

CABINETS

84: The cabinets have minor damage from normal wear-and-tear. Although cosmetic, you may wish to view this for yourself.

85: The floor of the sink cabinet has been removed.



SINK

86: The sink is functional but does not have hot water flow.

GARBAGE DISPOSAL

87: The garbage disposal is functional.

LIGHTS

88: The lights are functional.

OUTLETS

89: The outlets are functional and ground-fault protected.

Living Areas

Living Spaces

Lower Office Spaces

FLOOR

90: The wood flooring was examined and has typical wear and tear present but no visible defects.

WALLS

91: The walls are in acceptable condition.

CEILING

92: The acoustic ceiling panels have water stains, likely due to past leakage. The seller should be consulted regarding past leakage issues.



Over main entry doors



Lower front corner adjacent entry

DOORS

93: The entry door was examined and is functional.

WINDOWS

94: The windows were examined/tested and are functional.

LIGHTS

95: Some ceiling lights did not respond. Although we could not confirm the reason, bulb replacement may correct.

OUTLETS

96: The outlets that were tested are functional.

Upper Office Spaces

OBSERVATIONS

97: We were unable to view all areas due to storage.

FLOOR

98: The carpet is aged with excessive wear-and-tear. It is our opinion that it needs replacement.

WALLS

99: The walls are in acceptable condition.

CEILING

100: The ceiling is water stained at various areas. The source of the moisture was not determined but may be roof related. Consult seller regarding leak history.



101: The ceiling in the front corner office is water stained due to water intrusion. Consult seller regarding leak history.



DOORS

102: The doors were examined and are functional.

WINDOWS

103: The windows were mostly blocked but were visually examined and are functional.

LIGHTS

104: The lights within the room are functional.

OUTLETS

105: The outlets that were tested are functional.

Warehouse

OBSERVATIONS

106: We were unable to view all areas due to storage.



FLOOR

107: The carpet is aged with excessive wear-and-tear. It is our opinion that it needs replacement.

WALLS

108: The walls hav damage that should be repaired.



CEILING

109: The ceiling is in acceptable condition.

DOORS

110: The doors were examined and are functional.

LIGHTS

111: The lights within the room are functional.

OUTLETS

112: The outlets that were tested are functional.

Bathrooms

Bathrooms are visually inspected for proper function of components, visible active leakage, excessive or unusual wear and general state of repair. Fixtures are tested using normal operating features and controls. Due to finished surfaces such as drywall/plaster, tile, and flooring, much of the bathroom is considered inaccessible. Although commented on, we do not confirm proper application of secondary equipment including but not limited to steam units, spa tubs, heated towel bars, radiant floor heat, etc. Shower pans are not within the scope of our inspection.

Location

Downstairs Mens Restroom

SIZE

113: This bathroom is a half bathroom.

BATHROOM FLOOR

114: The floor is tiled and has no significant defects.

BATHROOM WALLS

115: The walls were examined and are in acceptable condition.

BATHROOM CEILING

116: The ceiling was examined and is in acceptable condition.

DOORS

117: The door was examined and is functional.

SINK

118: The sink was tested and is functional.

119: The sink is provided with only cold water as the on demand water heater below is shut off and disconnected.



TOILET

120: The toilet is functional. It is a type that consumes an estimated 1.6 gallons of water per flush.

EXHAUST FAN

121: The bathroom exhaust fan is functional.

LIGHTS

122: The bathroom lights are functional.

ELECTRICAL OUTLETS

123: The outlets are functional and include ground-fault protection.

Downstairs Womens Restroom

SIZE

124: This bathroom is a half bathroom.

BATHROOM FLOOR

125: The floor is tiled and has no significant defects.

BATHROOM WALLS

126: The walls were examined and are in acceptable condition.

BATHROOM CEILING

127: The ceiling was examined and is in acceptable condition.

DOORS

128: The door was examined and is functional.

SINK

129: The sink was tested and is functional.

130: Hot water was not achieved at the sink fixture.

TOILET

131: The toilet is functional. It is a type that consumes an estimated 1.6 gallons of water per flush.

EXHAUST FAN

132: The bathroom exhaust fan is functional.

LIGHTS

133: The bathroom lights are functional.

ELECTRICAL OUTLETS

134: The outlets are functional and include ground-fault protection.

Common Areas

Stairs

OBSERVATIONS

135: The stairs were used several times during the inspection. The various components appear to be properly installed and no deficiencies were noted during use. The handrails were securely attached.

WALLS

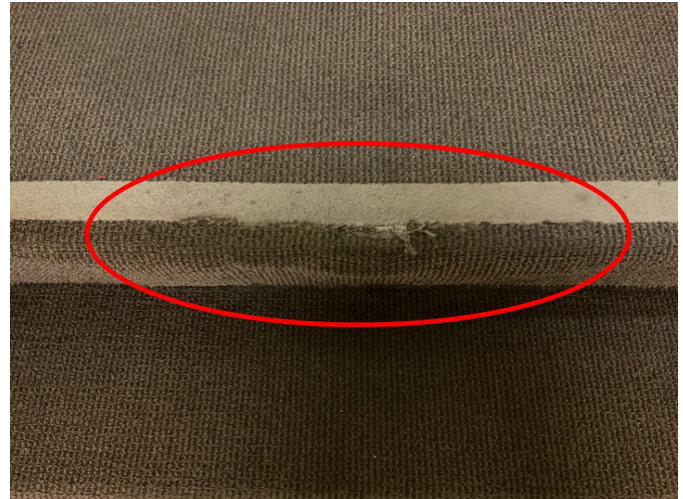
136: The walls were examined and are in acceptable condition.

CEILING

137: The ceiling was examined and is in acceptable condition.

TREADS & RISERS

138: The stairs treads are carpeted and have typical wear and tear.



LANDING

139: The landing finish flooring has no significant defects.

STAIR RAILS

140: The stair rails were examined and are in acceptable condition.

LIGHTS

141: The lights in the area of the stairs and landing are functional.

Conclusion

GENERAL REMARKS

142: Congratulations on the purchase of your new property. We are proud of our service and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every minor defect. Also, because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It is not. It is simply a limited report on the general condition of the property at the time of the inspection. Furthermore, as a building owner you should expect problems to occur. Roofs will leak, drain lines will become blocked and components and systems will fail without warning.

Because things will go wrong, you should take into consideration the age of the building and its components and keep a comprehensive insurance policy current. Such policies may only cover insignificant costs such as that of a roofer service, and the representatives of some insurance companies may attempt to deny coverage on the grounds that a given condition was pre-existing or not covered because of a code violation or manufacturer's defect. We encourage you to contact our company for any consultation if a claim is ever denied as a negative response from the insurance company may not be valid.

Thank you for taking the time to read this report. Please call us if you have any questions or observations whatsoever. We are always attempting to improve the quality of our service and our report and would appreciate your comments. We will continue to exceed the highest standards of the industry and to treat everyone with kindness, courtesy and respect.

Summary

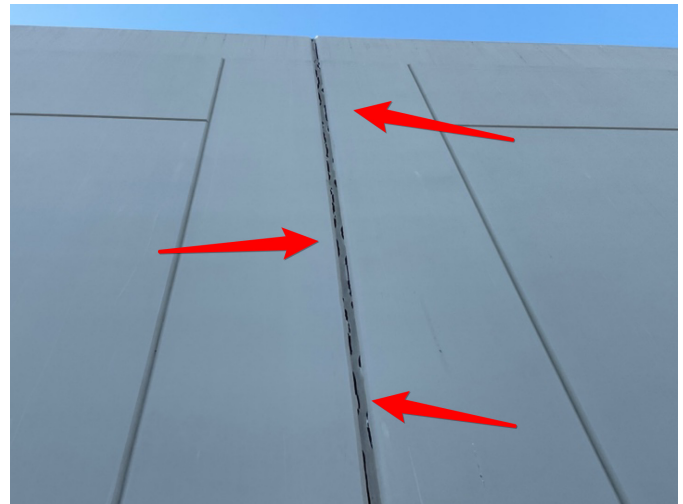
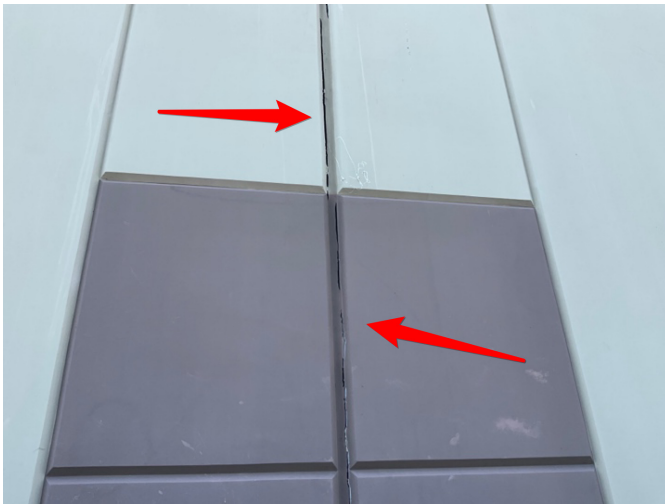
This is a summary review of the inspector's findings during this inspection. However, it does not contain every detailed observation. **IT IS ESSENTIAL THAT YOU READ THE FULL REPORT.** This is provided as an additional service to our client, and is presented in the form of a listing of the items which, in the opinion of your inspector, merit further attention, investigation, or improvement. Some of these conditions are of such a nature as to require repair or modification by a skilled craftsman, technician, or specialist. Others can be easily handled by a homeowner such as yourself.

Often, following the inspector's advice will result in improved performance and/or extended life of the component(s) in question. In listing these items, your inspector is not offering any opinion as to who, among the parties to this transaction, should take responsibility for addressing any of these concerns. As with most of the facets of your transaction, we recommend consultation with your Real Estate Professional for further advice with regards to the following items:

Exterior Comments - Wall Covering

CONCRETE OBSERVATION

s-11: There is a gap between the buildings, over the trash area, that should be resealed the prevent water intrusion between the concrete panels. Please consult a specialist for service.



Exterior Comments - Exterior Components

ROLL UP DOORS

s-14: The rear warehouse door, although functional, is dented and has cosmetic damage.



Roof & Roof Structure - Cap Sheet

ROOF COVERING

s-28: The cap sheet roof is older and has typical wear-and-tear. It is at or is approaching the end of its design life and will need to be closely monitored. It would be prudent to have a roofer provide you with a cost estimate for replacement and when this will be required so you can budget for this work.





s-29: Sections of the roof have been patched or repaired where the fans were installed. You should request the service invoice and any warranty or guarantee that might be applicable for your records.



FLASHINGS

s-30: The roof flashings need to be sealed or serviced to prevent leakage.



s-31: A new water proof cover plates is needed at the service outlet on the roof.



SKYLIGHTS

s-32: The roof includes one or more skylights. Skylights can be problematic and are a common point of leaks. The skylight is cracked and although repaired, the unit should be replaced.



DRAIN SYSTEM

s-34: The drains are blocked by dirt and roof granular or other such debris. They should be cleaned and serviced by a roofer and verified as clear.



Plumbing System - Drainage System

MAIN SEWER LINE

s-42: There was no evidence that the sewer main is damaged or blocked; however, because the sewer line is below grade, we could not directly view the pipe. A video scan of the line should be performed to confirm its actual condition.

Comfort Heating - Heating System

HEAT PUMP OBSERVATIONS

s-72: The larger unit rattles and is loud when in use. The systems should be serviced at this time due to their age.

Kitchen Areas - Kitchen

CABINETS

s-85: The floor of the sink cabinet has been removed.



Living Areas - Living Spaces

Lower Office Spaces

CEILING

s-92: The acoustic ceiling panels have water stains, likely due to past leakage. The seller should be consulted regarding past leakage issues.



Over main entry doors



Lower front corner adjacent entry

LIGHTS

s-95: Some ceiling lights did not respond. Although we could not confirm the reason, bulb replacement may correct.

Upper Office Spaces

FLOOR

s-98: The carpet is aged with excessive wear-and-tear. It is our opinion that it needs replacement.

CEILING

s-100: The ceiling is water stained at various areas. The source of the moisture was not determined but may be roof related. Consult seller regarding leak history.



s-101: The ceiling in the front corner office is water stained due to water intrusion. Consult seller regarding leak history.



Warehouse

WALLS

s-108: The walls hav damage that should be repaired.



Bathrooms - Location

Downstairs Mens Restroom

SINK

s-119: The sink is provided with only cold water as the on demand water heater below is shut off and disconnected.



Downstairs Womens Restroom

SINK

s-130: Hot water was not achieved at the sink fixture.



CREIA Standards of Practice

CREIA STANDARDS OF PRACTICE

Residential Standards - Four or Fewer Units

- Originally Adopted September 13, 1983
- Revised November 1, 1996
- Revised April 15, 1999
- Revised July 12, 2003
- Revised April 15, 2006 — Effective July 1, 2006
- Revised August 1, 2012
- Revised January 8, 2018

Note: *Italicized words* in this document are defined in the Glossary of Terms.

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I. Definitions and Scope

These Standards of Practice provide guidelines for a real estate inspection and define certain terms relating to these *inspections*. *Italicized words* in these Standards are defined in Part IV. Glossary of Terms.

A. A *real estate inspection* is a survey and basic *operation* of the *systems* and *components* of a *building*, which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action, which may result in damage to the property or personal injury to the *Inspector*. The purpose of the *inspection* is to provide the Client with information regarding the

general *condition* of the *building(s)*. Cosmetic and aesthetic *conditions* shall not be considered.

B. A *real estate inspection* report provides written documentation of material defects discovered in the *inspected building's systems and components* which, in the opinion of the *Inspector*, are *safety hazards*, are not *functioning* properly, or appear to be at the ends of their service lives. The report may include the *Inspector's* recommendations for correction or further evaluation.

C. *Inspections* performed in accordance with these Standards of Practice are not *technically exhaustive* and shall apply to the *primary building* and its associated *primary parking structure*.

II. Standards of Practice

A *real estate inspection* includes the *readily accessible systems and components* or a *representative number* of multiple similar *components* listed in Sections 1 through 9 subject to the limitations, exceptions, and exclusions in Part III.

1. Foundation, Basement, and Under-floor Areas

A. Items to be inspected:

1. *Foundation system*
2. *Floor framing system*
3. *Under-floor ventilation*
4. *Foundation anchoring and cripple wall bracing*
5. *Wood separation from soil*
6. *Insulation*

B. The inspector is not required to:

1. *Determine size, spacing, location, or adequacy of foundation bolting/bracing components or reinforcing systems*
2. *Determine the composition or energy rating of insulation materials*

2. Exterior

A. Items to be inspected:

1. *Surface grade directly adjacent to the buildings*
2. *Doors and windows*
3. *Attached decks, porches, patios, balconies, stairways, and their enclosures, handrails and guardrails.*
4. *Wall cladding and trim*
5. *Portions of walkways and driveways that are adjacent to the buildings*
6. *Pool or spa drowning prevention features, for the sole purpose of identifying which, if any, are present*

B. The inspector is not required to:

1. *Inspect door or window screens, shutters, awnings, or security bars*
2. *Inspect fences or gates or operate automated door or gate openers or their safety devices*
3. *Use a ladder to inspect systems or components*
4. 4. Determine if any manufacturers' design standards or testing is met or if any drowning prevention safety feature of a pool or spa is installed properly or is adequate or effective. Test or operate any drowning prevention safety feature.

3. Roof Covering

A. Items to be inspected:

1. *Covering*
2. *Drainage*
3. *Flashings*
4. *Penetrations*
5. *Skylights*

B. The inspector is not required to:

1. *Walk on the roof surface if in the opinion of the Inspector there is risk of damage or a hazard to the Inspector*
2. *Warrant or certify that roof systems, coverings, or components are free from leakage*

4. Attic Areas and Roof Framing

A. Items to be inspected:

1. *Framing*
2. *Ventilation*
3. *Insulation*

B. The inspector is not required to:

1. *Inspect mechanical attic ventilation systems or components*
2. *Determine the composition or energy rating of insulation materials*

5. Plumbing

A. Items to be inspected:

1. *Water supply piping*
2. *Drain, waste, and vent piping*
3. *Faucets and fixtures*
4. *Fuel gas piping*
5. *Water heaters*

6. *Functional flow and functional drainage*

B. The inspector is not required to:

1. *Fill any fixture with water, inspect overflow drains or drain-stops, or evaluate backflow devices, waste ejectors, sump pumps, or drain line cleanouts*
2. *Inspect or evaluate water temperature balancing devices, temperature fluctuation, time to obtain hot water, water circulation, or solar heating systems or components*
3. *Inspect whirlpool baths, steam showers, or sauna systems or components*
4. *Inspect fuel tanks or determine if the fuel gas system is free of leaks*
5. *Inspect wells or water treatment systems*

6. *Electrical*

A. Items to be inspected:

1. *Service equipment*
2. *Electrical panels*
3. *Circuit wiring*
4. *Switches, receptacles, outlets, and lighting fixtures*

B. The inspector is not required to:

1. *Operate circuit breakers or circuit interrupters*
2. *Remove cover plates*
3. *Inspect de-icing systems or components*
4. *Inspect private or emergency electrical supply systems or components*

7. *Heating and Cooling*

A. Items to be inspected:

1. *Heating equipment*
2. *Central cooling equipment*
3. *Energy source and connections*
4. *Combustion air and exhaust vent systems*
5. *Condensate drainage*
6. *Conditioned air distribution systems*

B. The inspector is not required to:

1. *Inspect heat exchangers or electric heating elements*
2. *Inspect non-central air conditioning units or evaporative coolers*
3. *Inspect radiant, solar, hydronic, or geothermal systems or components*
4. *Determine volume, uniformity, temperature, airflow, balance, or leakage of any air distribution system*

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5. *Inspect electronic air filtering or humidity control systems or components*
8. Fireplaces and Chimneys
- A. *Items to be inspected:*
1. *Chimney exterior*
 2. *Spark arrestor*
 3. *Firebox*
 4. *Damper*
 5. *Hearth extension*
- B. *The inspector is not required to:*
1. *Inspect chimney interiors*
 2. *Inspect fireplace inserts, seals, or gaskets*
 3. *Operate any fireplace or determine if a fireplace can be safely used*
9. Building Interior
- A. *Items to be inspected:*
1. *Walls, ceilings, and floors*
 2. *Doors and windows*
 3. *Stairways, handrails, and guardrails*
 4. *Permanently installed cabinets*
 5. *Permanently installed cook-tops, mechanical range vents, ovens, dishwashers, and food waste disposals*
 6. *Absence of smoke and carbon monoxide alarms*
 7. *Vehicle doors and openers*
- B. *The inspector is not required to:*
1. *Inspect window, door, or floor coverings*
 2. *Determine whether a building is secure from unauthorized entry*
 3. *Operate, test or determine the type of smoke or carbon monoxide alarms or test vehicle door safety devices*
 4. *Use a ladder to inspect systems or components*
- III. Limitations, Exceptions and Exclusions
- A. *The following are excluded from a real estate inspection:*
1. *Systems or components of a building, or portions thereof, which are not readily accessible, not permanently installed, or not inspected due to circumstances beyond the control of the Inspector or which the Client has agreed or specified are not to be inspected*
 2. *Site improvements or amenities, including, but not limited to; accessory buildings, fences, planters, landscaping, irrigation, swimming pools, spas, ponds, waterfalls, fountains or their components or accessories*

3. Auxiliary features of *appliances* beyond the *appliance's* basic *function*
 4. *Systems* or *components*, or portions thereof, which are under ground, under water, or where the *Inspector* must come into contact with water
 5. Common areas as defined in California Civil Code section 1351, et seq., and any dwelling unit *systems* or *components* located in common areas
 6. *Determining* compliance with manufacturers' installation guidelines or specifications, building codes, accessibility standards, conservation or energy standards, regulations, ordinances, covenants, or other restrictions
 7. *Determining* adequacy, efficiency, suitability, quality, age, or remaining life of any *building*, *system*, or *component*, or marketability or advisability of purchase
 8. Structural, architectural, geological, environmental, hydrological, land surveying, or soils-related examinations
 9. Acoustical or other nuisance characteristics of any *system* or *component* of a *building*, complex, adjoining property, or neighborhood
 10. Conditions related to animals, insects, or other organisms, including fungus and mold, and any hazardous, illegal, or controlled substance, or the damage or health risks arising there from
 11. Risks associated with events or conditions of nature including, but not limited to; geological, seismic, wildfire, and flood
 12. Water testing any *building*, *system*, or *component* or *determine* leakage in shower pans, pools, spas, or any body of water
 13. *Determining* the integrity of hermetic seals at multi-pane glazing
 14. Differentiating between original construction or subsequent additions or modifications
 15. Reviewing information from any third-party, including but not limited to; product defects, recalls, or similar notices
 16. Specifying repairs/replacement procedures or estimating cost to correct
 17. Communication, computer, security, or low-voltage *systems* and remote, timer, sensor, or similarly controlled *systems* or *components*
 18. Fire extinguishing and suppression *systems* and *components* or *determining* fire resistive qualities of materials or assemblies
 19. Elevators, lifts, and dumbwaiters
 20. Lighting pilot lights or activating or *operating* any *system*, *component*, or *appliance* that is *shut down*, unsafe to *operate*, or does not respond to *normal user controls*
 21. *Operating* shutoff valves or *shutting down* any *system* or *component*
 22. Dismantling any *system*, structure, or *component* or removing access panels other than those provided for homeowner maintenance
- B. The *Inspector* may, at his or her discretion:

1. *Inspect any building, system, component, appliance, or improvement not included or otherwise excluded by these Standards of Practice. Any such inspection shall comply with all other provisions of these Standards.*
2. *Include photographs in the written report or take photographs for Inspector's reference without inclusion in the written report. Photographs may not be used in lieu of written documentation.*

IV - Glossary of Terms

Note: All definitions apply to derivatives of these terms when *italicized* in the text.

- **Appliance:** An item such as an oven, dishwasher, heater, etc. which performs a specific *function*
- **Building:** The subject of the *inspection* and its *primary parking structure*
- **Component:** A part of a *system, appliance, fixture, or device*
- **Condition:** Conspicuous state of being
- **Determine:** Arrive at an opinion or conclusion pursuant to a *real estate inspection*
- **Device:** A *component* designed to perform a particular task or *function*
- **Fixture:** A plumbing or electrical *component* with a fixed position and *function*
- **Function:** The normal and characteristic purpose or action of a *system, component, or device*
- **Functional Drainage:** The ability to empty a plumbing *fixture* in a reasonable time
- **Functional Flow:** The flow of the water supply at the highest and farthest *fixture* from the *building* supply shutoff valve when another *fixture* is used simultaneously
- **Inspect:** Refer to Part I, "Definition and Scope", Paragraph A
- **Inspector:** One who performs a *real estate inspection*
- **Normal User Control:** Switch or other *device* that activates a *system* or *component* and is provided for use by an occupant of a *building*
- **Operate:** Cause a system, appliance, fixture, or *device* to *function* using *normal user controls*
- **Permanently Installed:** Fixed in place, e.g. screwed, bolted, nailed, or glued
- **Primary Building:** A *building* that an *Inspector* has agreed to *inspect*
- **Primary Parking Structure:** A *building* for the purpose of vehicle storage associated with the *primary building*
- **Readily Accessible:** Can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may harm persons or property
- **Real Estate Inspection:** Refer to Part I, "Definitions and Scope", Paragraph A
- **Representative Number:** Example, an average of one *component* per area for multiple similar *components* such as windows, doors, and electrical outlets
- **Safety Hazard:** A *condition* that could result in significant physical injury
- **Shut Down:** Disconnected or turned off in a way so as not to respond to *normal user controls*

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- **System:** An assemblage of various *components* designed to *function* as a whole
- **Technically Exhaustive:** Examination beyond the scope of a *real estate inspection*, which may require disassembly, specialized knowledge, special equipment, measuring, calculating, quantifying, testing, exploratory probing, research, or analysis