



DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES, FOUNDATIONS, VEGETATION, ABOVE AND BELOW GRADE UTILITIES, MISCELLANEOUS DEBRIS AND ALL OTHER MATERIALS AND ITEMS LOCATED WITHIN THE DEMOLITION LIMITS AS INDICATED ABOVE.
2. EXISTING IMPROVEMENTS, LOCATED WITHIN THE PROJECT SITE SHALL BE PROTECTED BY THE CONTRACTOR AND ALL EXISTING IMPROVEMENTS OR OTHER AMENITIES DISTURBED BY THEIR OPERATIONS MUST BE RESTORED AND/OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
3. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED IN SUCH A MANNER SO AS TO MINIMIZE DISTURBANCE TO THE SURROUNDING PROPERTIES. NO DUST, PARTICLES OF DEBRIS OR WATER FROM THE DUST CONTROL SHALL BE PERMITTED OUTSIDE OF THE DESIGNATED WORK AREAS.
4. AT THE END OF DEMOLITION OPERATIONS INDICATED, THE CONTRACTOR SHALL INSTALL A SILT FENCE AND HAY BALE SEDIMENT BARRIERS AROUND THE PERIMETERS OF THE DEMOLITION AREAS TO MAINTAIN ADEQUATE SOIL AND SOIL EROSION CONTROL, AND ADEQUATE WATER DRAINAGE AROUND DEMOLITION AREA PERIMETERS, UNTIL BACKFILLING AND REGRADING OPERATIONS ARE COMPLETED AND THE AREA IS STABILIZED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STRIPPING THE PROPERTY TO REMOVE ALL IMPERVIOUS AND DELETERIOUS MATERIALS FROM THE SURFACE OF THE DEMOLITION AREA, INCLUDING ALL CONSTRUCTION DEBRIS AND VEGETATION. PRIOR TO COMMENCING ANY EARTHWORK AND REGRADING THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS WITHIN THE DEMOLITION LIMITS TO IDENTIFY ANY BURIED DEMOLITION DEBRIS, FOUNDATION ELEMENTS AND ABANDON UTILITIES. THE CONTRACTOR SHALL REMOVE ALL DEBRIS, INCLUDING BUT NOT LIMITED TO, FOUNDATIONS, BRICK, WOOD, CONCRETE, METAL AND ASPHALT FRAGMENTS FROM THE SITE TO AN APPROVED WDEP LANDFILL.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL EXCESS FILL GENERATED DURING THE DEMOLITION AND CONSTRUCTION ACTIVITIES.

GENERAL NOTES:

1. BY SUBMITTING A BID, THE BIDDER WARRANTS THAT THEY HAVE CAREFULLY EXAMINED THE SITE AND HAS FAMILIARIZED THEMSELVES WITH ALL PROVISIONS OF THE CONTRACT DOCUMENTS AND THAT WHERE THE DRAWINGS AND SPECIFICATIONS REQUIRE A GIVEN RESULT, SUCH RESULT CAN BE PRODUCED UNDER THE TERMS OF THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT THEIR WORK IN FULL ACCORDANCE WITH REQUIREMENTS OF ALL REGULATIONS AND AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL CODES, RULES AND REGULATIONS OF HEALTH, PUBLIC OR OTHER AUTHORITY CONTROLLING OR LIMITING THE METHODS, MATERIAL TO BE USED, OR THE ACTIONS OF THOSE EMPLOYED IN WORK OF THIS KIND. ALL WORK, LABOR OR MATERIAL NECESSARY TO COMPLY WITH THESE LAWS, CODES, RULES AND REGULATIONS SHALL BE PERFORMED AND FURNISHED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY EQUIPMENT AND METHODS TO KEEP EXCAVATIONS FREE OF WATER AND PROTECT WORK AND ADJACENT STRUCTURES FROM DAMAGE BY WATER DURING ALL STAGES OF THEIR ACTIVITIES. NO SEPARATE PAYMENT WILL BE MADE FOR Dewatering OPERATIONS AND/OR SUBSURFACE SOILS THAT HAVE BEEN AFFECTED BY WEATHER AND ALL COSTS THEREOF SHALL BE INCLUDED IN THE PRICE BID FOR THIS PROJECT.
4. THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN SHEETING, BRACING, SHORING, AND OTHER SUPPORTS REQUIRED BY THEIR WORK AND TO PROTECT ADJACENT STRUCTURES. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK AND ALL COSTS THEREOF SHALL BE INCLUDED IN THE PRICE BID FOR THIS PROJECT.

UTILITY NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE RESPECTIVE UTILITY COMPANIES PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES TO DETERMINE THE EXACT LOCATIONS AS NECESSARY AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. UTILITY LOCATIONS SHOWN ON THESE PLANS ARE FROM ABOVE-GROUND OBSERVATIONS AND FROM RECORD INFORMATION PROVIDED BY THE UTILITY COMPANIES. IN ADDITION, THE LOCATION AND TYPE OF THE EXISTING UTILITIES SHOWN ON THESE PLANS IS NOT GUARANTEED TO BE ACCURATE NOR ALL INCLUSIVE. THE CONTRACTOR SHALL USE THE EXISTING UTILITY LOCATIONS SHOWN AS AN AID IN DETERMINING EXACT LOCATIONS. THE CONTRACTOR MUST CONTACT THE "ONE CALL SYSTEM" AT 1-800-272-1000 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND ALL COSTS REQUIRED FOR NEW SERVICE CONNECTIONS, CAP, DISCONNECT AND REMOVE THE EXCESS UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY AGENCY OR THE AUTHORITY HAVING JURISDICTION. IN ADDITION, IF THE EXISTING IMPROVEMENTS LOCATED WITHIN THE PROJECT ARE DISTURBED BY THE CONTRACTOR OR THE UTILITY COMPANIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE IMPROVEMENTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER.
3. IF ANY UTILITY FACILITIES, INCLUDING DISTRIBUTION MANS OR SERVICES FOR ADJACENT STRUCTURES OR PROPERTIES, ARE DISRUPTED OR DAMAGED DURING THE CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT, THE CONTRACTOR IS RESPONSIBLE FOR RESTORING THE UTILITY FACILITIES BY THE END OF THE WORKING DAY AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION, INSTALLATION AND SUPPLY OF ANY UTILITY SERVICE REQUIRED FOR THIS PROJECT, INCLUDING TEMPORARY POWER AND TELEPHONE SERVICES. ALL COSTS FOR THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THIS PROJECT.

LEGEND

- FULL DEPTH PAVEMENT/CONCRETE SIDEWALK TO BE REMOVED
- PAVEMENT SURFACE COURSE MILLING, 2" ± THICK
- EXISTING CONCRETE CURB TO BE REMOVED
- SAWCUT PAVEMENT/CONCRETE



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JASON J. DUBROWITZ, AIA
No. 234629200 (PA-00000001)
Date: 11/29/24
Architect: *William D. Hopkins III*

GFVHD architects planners
Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453
F V H D P C . C O M

Project Name
New Bus Parking / Exterior Plaza & Curtain Wall Replacement at Absegami High School

Project Owner Name
Greater Egg Harbor Regional High School District

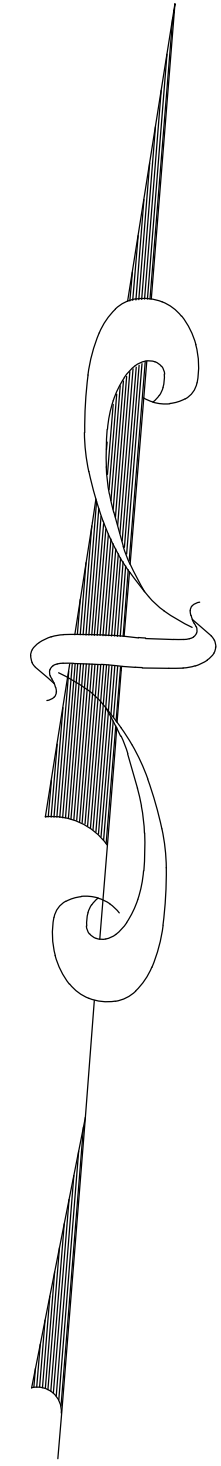
Project Location
Absegami High School
201 South Wrangleboro Rd
Galloway, NJ 08205

Project Number
5369-5
Project Date
01.23.2024
Checked By
B.R.D.
Drawn By
T.L.V.
Scale
1" = 10'

Drawing Name
EXISTING CONDITION AND DEMOLITION PLAN

Revisions		
No.	Date	Description

Drawing Number
D-101



NOTE:
 1. PARKING LOT STRIPING SHALL BE APPROVED BY DISTRICT PRIOR TO INSTALLATION.

LEGEND:

	INSTALL NEW FULL DEPTH PAVEMENT SECTION
	INSTALL PAVEMENT SURFACE COURSE, 2" ± THICK



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Project Owner Name
 Greater Egg Harbor Regional High School District

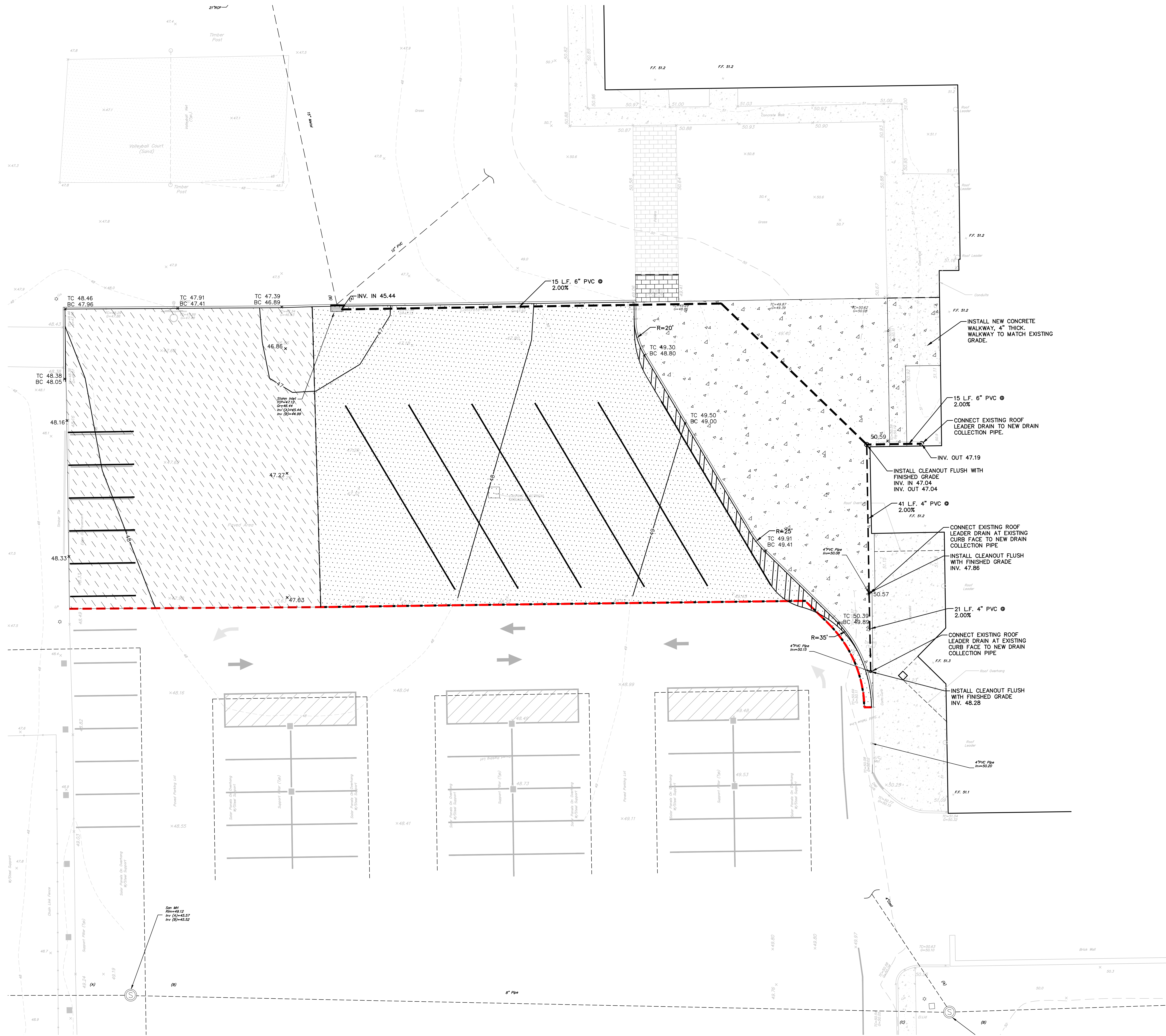
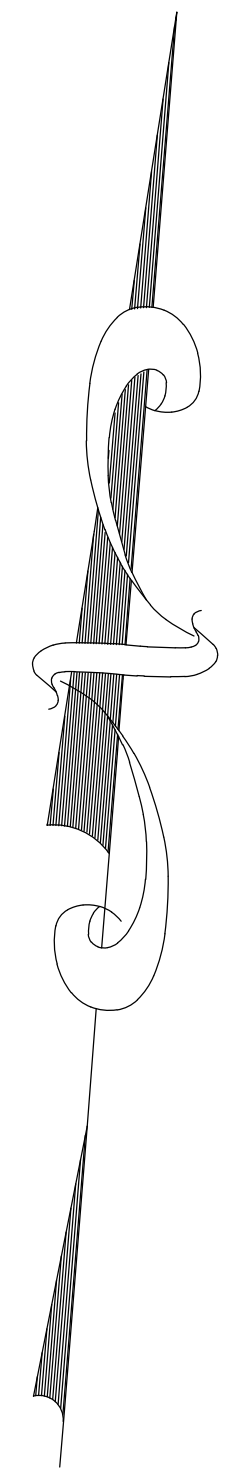
Project Location
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 B.R.D.
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 T.L.V.
 Scale
 1" = 10'

Drawing Name
 SITE LAYOUT PLAN

Revisions		
No.	Date	Description

Drawing Number
 C-101



NOTE:
 1. PARKING LOT STRIPING SHALL BE APPROVED BY DISTRICT PRIOR TO INSTALLATION.

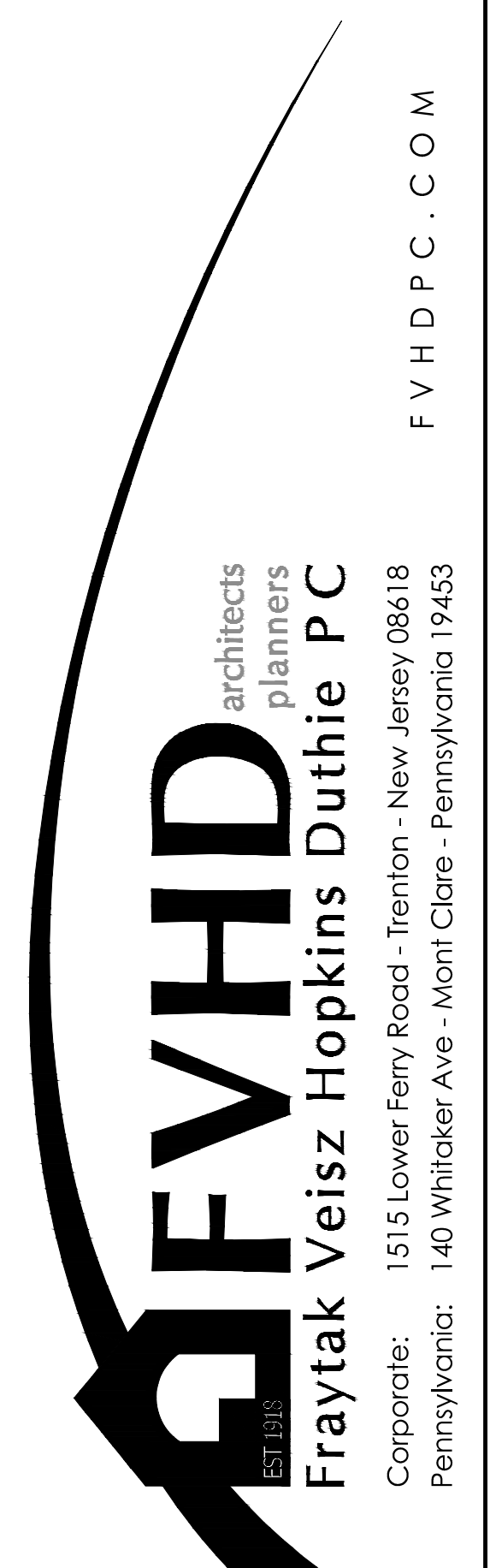
LEGEND:

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	INSTALL PAVEMENT SURFACE COURSE, 2" ± THICK



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 WILLIAM D. HOPKINS III, AIA, LEED AP
 ARCHITECT



Project Name
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Project Owner Name
 Greater Egg Harbor Regional High School District

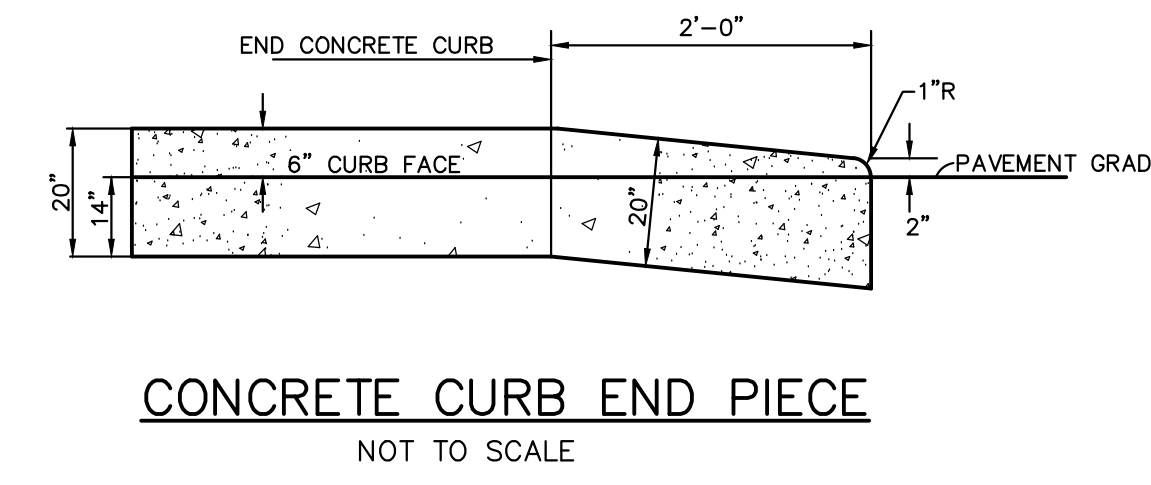
Project Location
 Absegami High School
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 Galloway, NJ 08205

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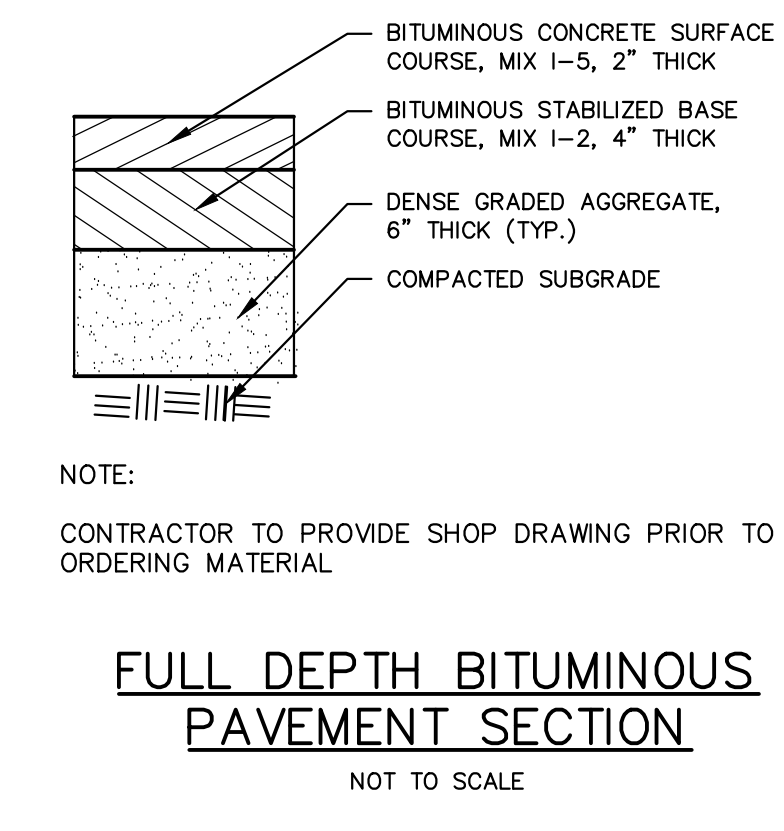
Drawing Name
 GRADING PLAN

Revisions		
No.	Date	Description

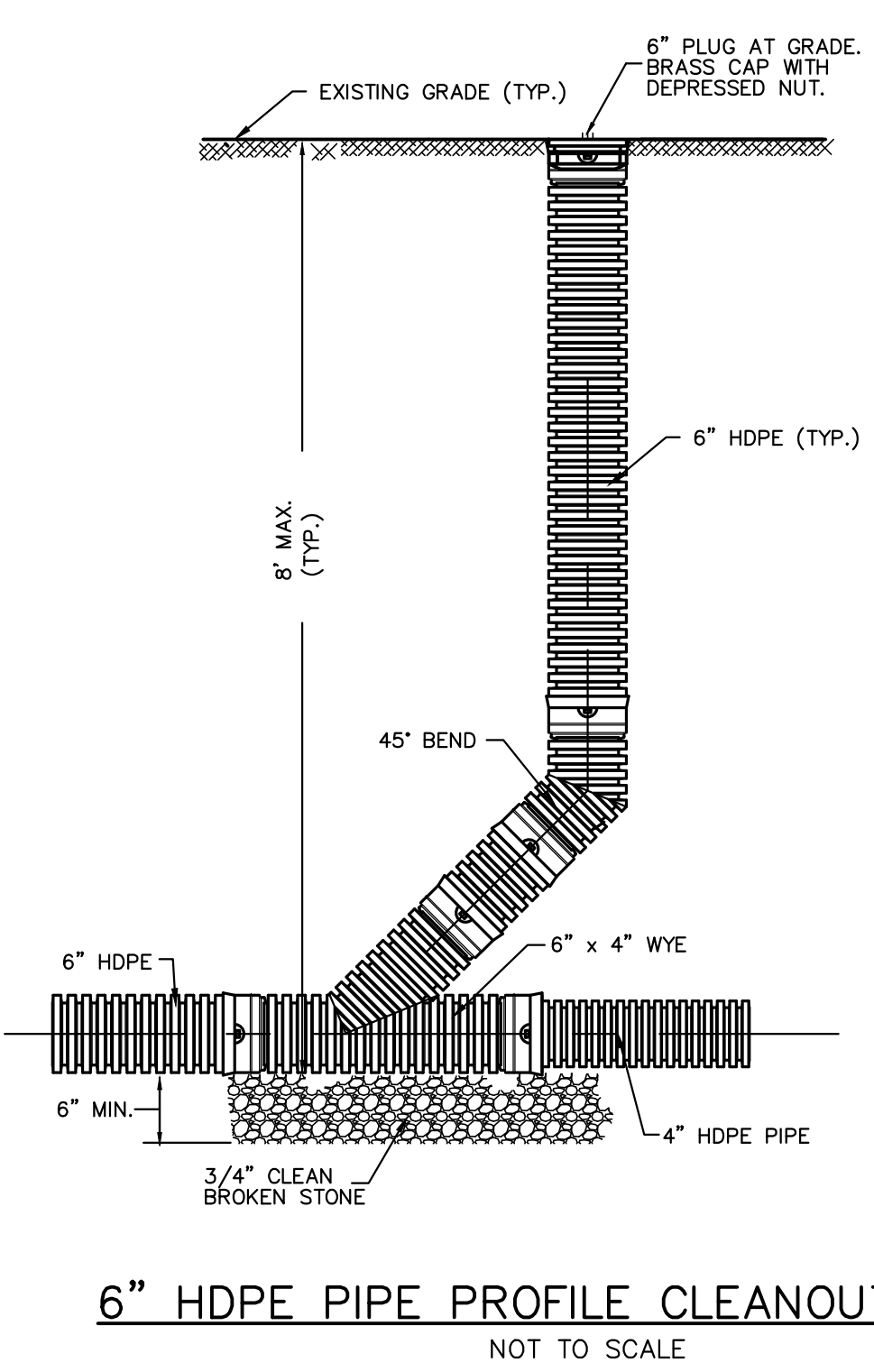
Drawing Number
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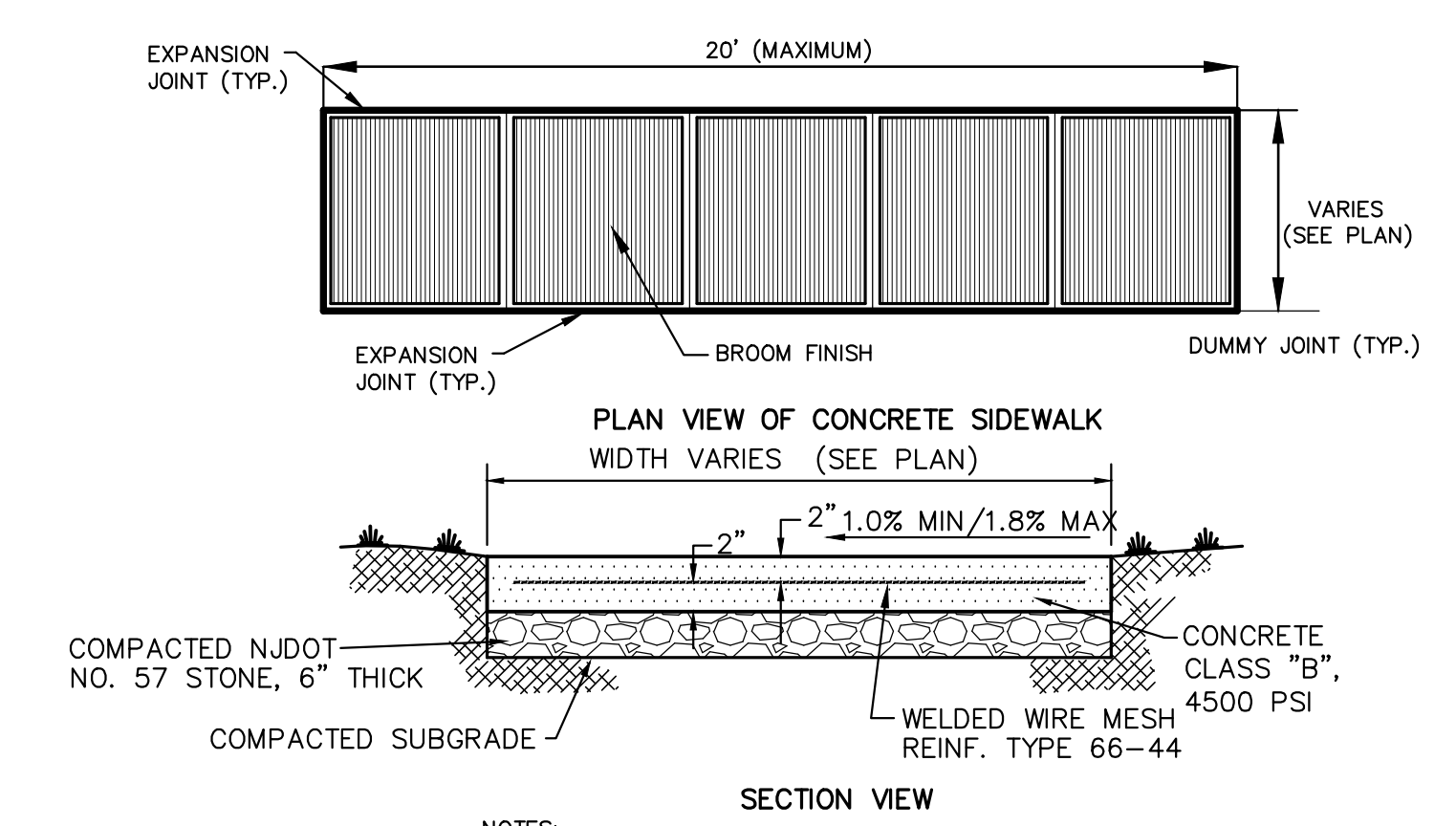
CONCRETE CURB END PIECE
NOT TO SCALE



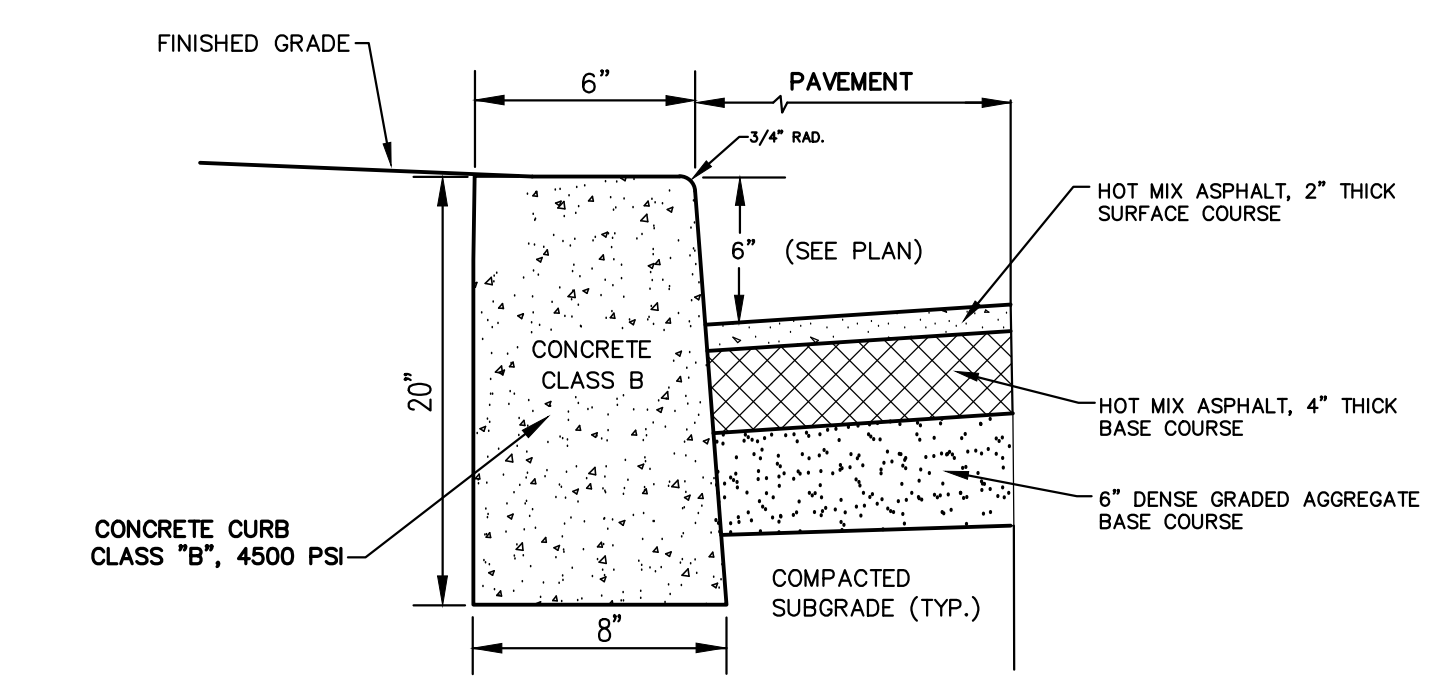
FULL DEPTH BITUMINOUS PAVEMENT SECTION
NOT TO SCALE



6" HDPE PIPE PROFILE CLEANOUT
NOT TO SCALE

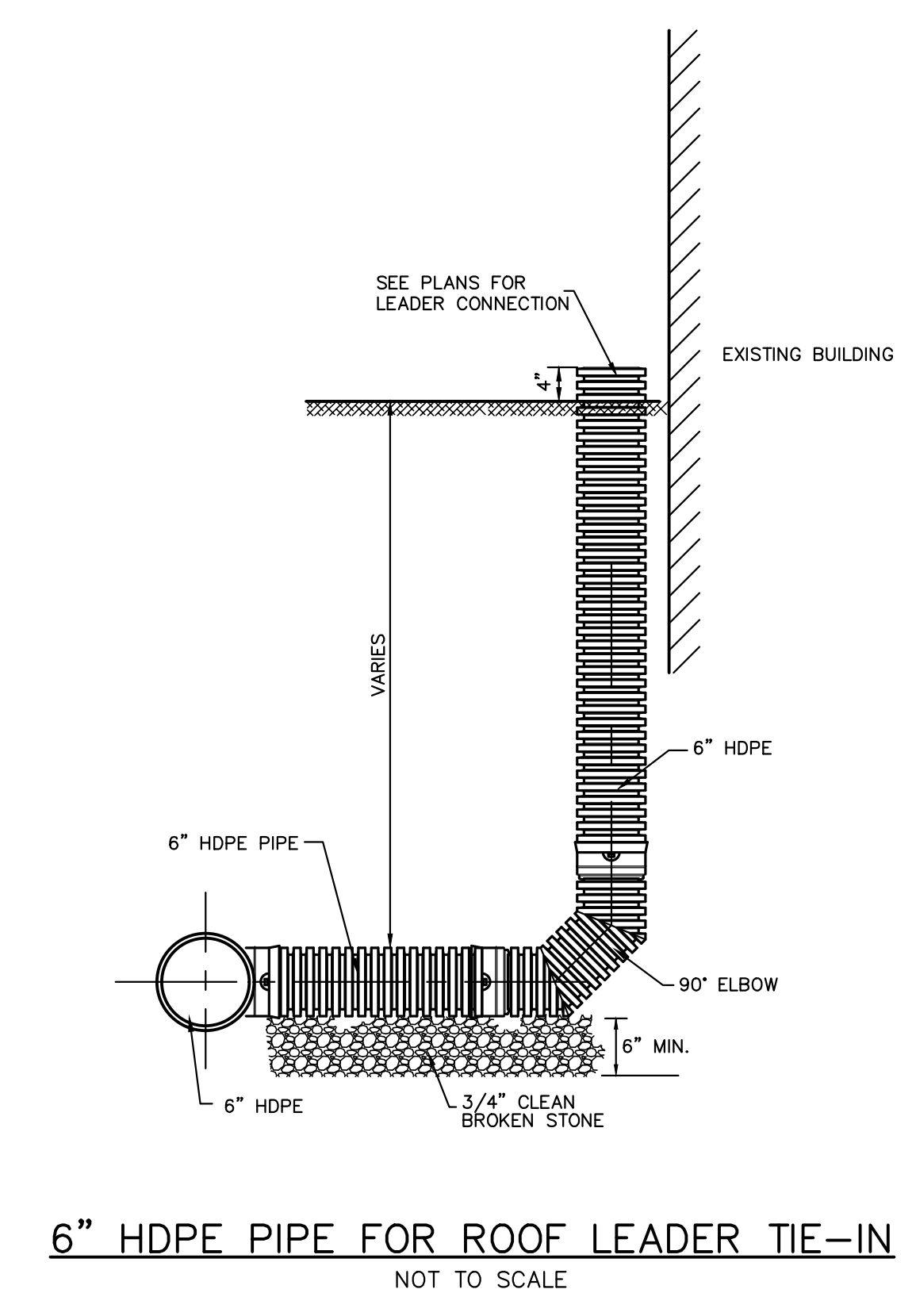


CONCRETE SIDEWALK/PLAZA, 4" THICK
NOT TO SCALE



- NOTES :**
1. PREFORMED BITUMINOUS FIBER EXPANSION JOINTS, 1/2" THICK AT 20'-0" MAXIMUM INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.
 2. EXPOSED CONCRETE CURB SHALL HAVE A SMOOTH FINISH.
 3. WHERE CURB IS ADJACENT TO SIDEWALK AND WHERE IT ABUTS CATCH BASINS, EXPANSION JOINTS MUST BE PROVIDED.
 4. CURB SHALL BE CURED WITH A CURING COMPOUND, SALT HAY BURLAP OR OTHER METHODS APPROVED BY THE ENGINEER.
 5. FORM SHALL EXTEND FOR THE FULL DEPTH OF THE CONCRETE CURB.
 6. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI. THERE SHALL BE 5-6% AIR ENTRAINMENT IN ALL CONCRETE.
 7. CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO ORDERING MATERIALS.

CONCRETE CURB DETAIL
NOT TO SCALE

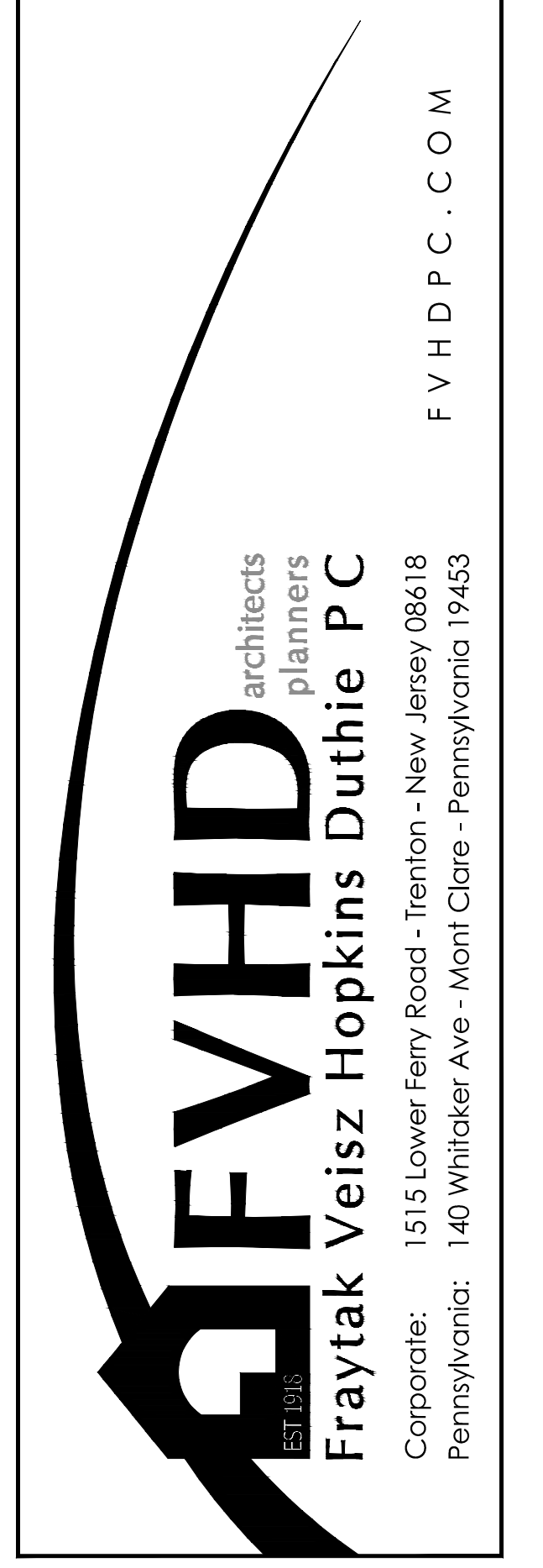


6" HDPE PIPE FOR ROOF LEADER TIE-IN
NOT TO SCALE



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Date: 11/29/24
Asst. Prof.



Project Name
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Project Owner Name
Greater Egg Harbor Regional High School District

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Galloway, NJ 08205**

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B.R.D.

Drawn By
T.L.V.

Scale
AS SHOWN

Drawing Name
CONSTRUCTION DETAILS

Revisions		
No.	Date	Description

Drawing Number
C-103

APPLICABLE CODES:

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES:
 CONSTRUCTION CODE (ALTERATIONS) - NEW JERSEY REHA. SUBCODE 523-4
 BUILDING SUBCODE - INTERNATIONAL BUILDING CODE 2021 - NJ EDITION
 BARRIER-FREE SUBCODE - N.J.A.C. 52:27 AND I.C.A.N.B.A. 117-2017
 PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING SUBCODE 2021
 MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE 2021
 ELECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE 2020
 FUEL GAS SUBCODE - INTERNATIONAL FUEL GAS CODE 2021
 ENERGY CONSERVATION SUBCODE - ASHRAE 90.1 2019

ABSEGAMI HIGH SCHOOL

CODE ANALYSIS:

(FROM INTERNATIONAL BUILDING CODE 2021 NEW JERSEY EDITION)
 THE FLOOR PLAN AREA AND HEIGHT OF THE SCHOOL BUILDINGS ARE NOT CHANGED UNDER THIS PROJECT. THEREFORE NO ANALYSIS OF THE EXISTING BUILDINGS HAS BEEN PROVIDED.

EGRESS ANALYSIS:

(FROM NEW JERSEY REHABILITATION SUBCODE 523-4)
 THE OCCUPANT LOAD OF BUILDING IS NOT CHANGED UNDER THIS PROJECT. NO EGRESS DOORS ARE MODIFIED UNDER THIS PROJECT. THEREFORE NO ANALYSIS OF EGRESS HAS BEEN PROVIDED.

FIRE EXTINGUISHER SCHEDULE:

(FROM NATIONAL FIRE PROTECTION ASSOCIATION CODES)
 THE FLOOR PLAN AREA OF THE SCHOOL IS NOT CHANGED UNDER THIS PROJECT. NO FIRE EXTINGUISHERS HAVE BEEN ADDED OR REMOVED IN THE EXISTING BUILDING UNDER THIS PROJECT. THEREFORE NO ANALYSIS OF FIRE EXTINGUISHERS HAS BEEN PROVIDED.

TABULATION OF PLUMBING FIXTURES:

(FROM 2021 NATIONAL STANDARD PLUMBING CODE)
 THE FUNCTIONAL CAPACITY OF THE EXISTING BUILDING HAS NOT BEEN CHANGED UNDER THIS PROJECT. NO STUDENT-USE SANITARY PLUMBING FIXTURES HAVE BEEN ADDED OR REMOVED. THEREFORE, NO ANALYSIS OF THE EXISTING BUILDING HAS BEEN PROVIDED.

EXISTING FIRE ALARM SYSTEM NOTE:

IF ANY PORTION OF THE EXISTING FIRE ALARM SYSTEM MUST BE TAKEN OUT OF SERVICE FOR ANY LENGTH OF TIME, THE LOCAL FIRE MARSHAL MUST BE CONTACTED AND MUST APPROVE SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED.
 CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE LOCAL FIRE MARSHAL CONCERNING THE EXISTING FIRE ALARM SYSTEM SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED FOR SYSTEM INTERRUPTIONS DURING CONSTRUCTION.
 NOTE THAT TEMPORARILY COVERING EXISTING DETECTION DEVICES TO PREVENT ACCIDENTAL ALARM ACTIVATIONS DUE TO DUST AND DIRT CONSTITUTES A PARTIAL SHUTDOWN OF THE EXISTING FIRE ALARM SYSTEM.



Rehabilitation Key Plan - Absegami HS
 Scale: 1" = 20'-0"

REHABILITATION KEY LEGEND
 ALTERATIONS
 ALTERATIONS ARE DESIGNATED UNDER THE NEW JERSEY REHABILITATION SUB-CODE.

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 F V H D P C O M

Project Name
 New Bus Parking / Exterior Plaza & Curtain Wall Replacement at Absegami High School

Project Owner Name
 Greater Egg Harbor Regional High School District

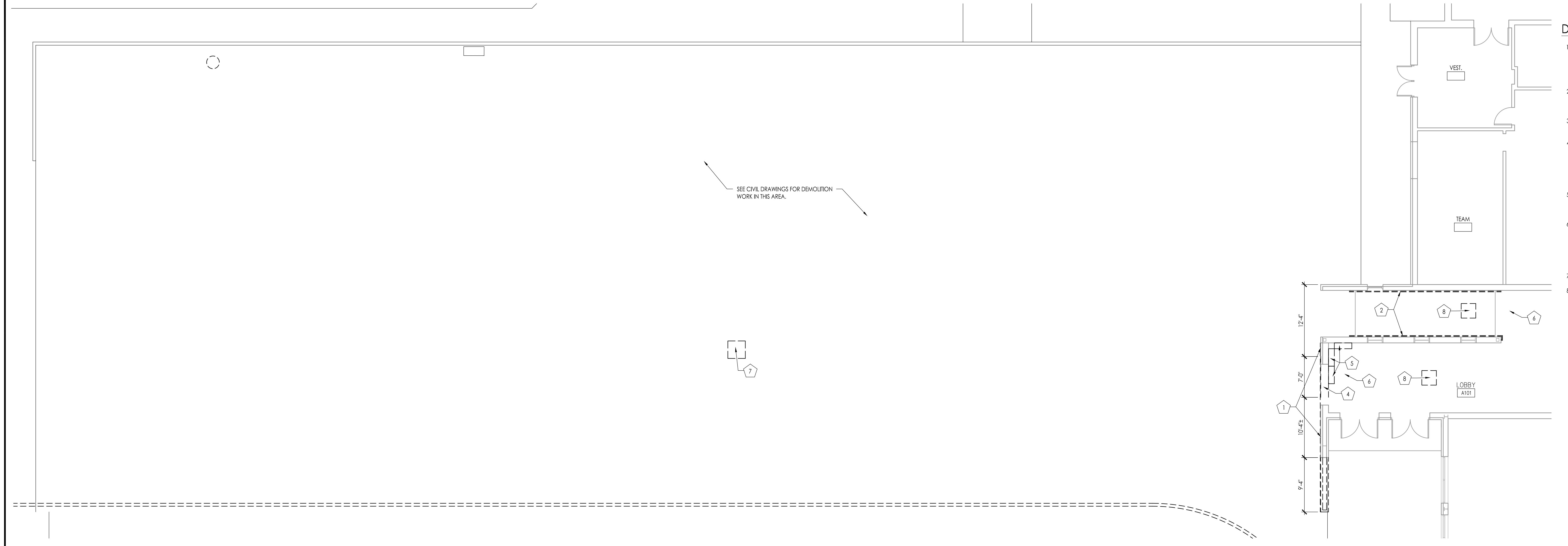
Project Location
 Absegami High School
 201 South Wrangleboro Rd
 Galloway, NJ 08205

Project Number
 5369-5
 Project Date
 01.23.2024
 Checked By
 W.D.H.
 Drawn By
 NEH
 Scale
 As Noted

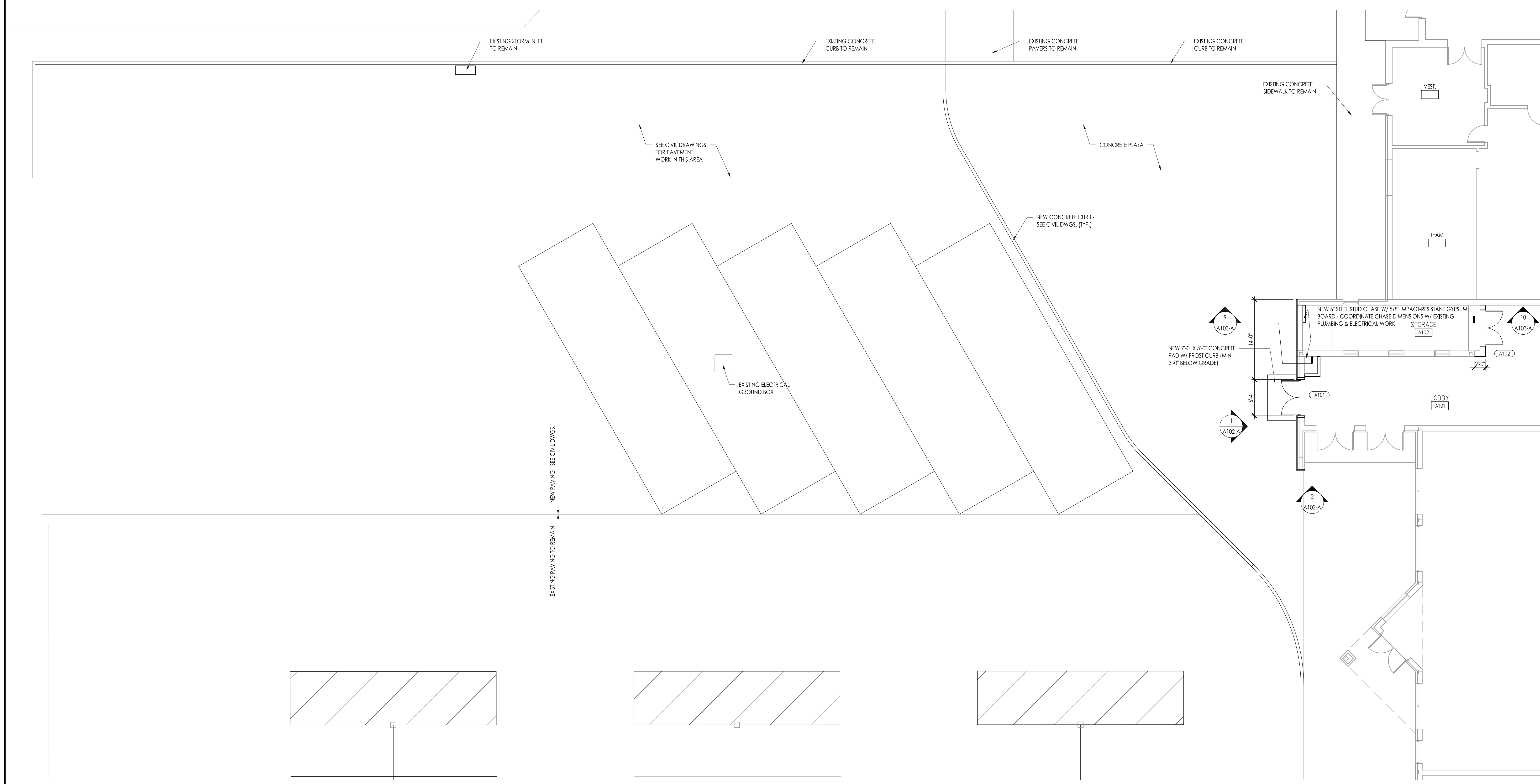
Drawing Name
 Rehabilitation Key Plan - Absegami High School

Revisions	No.	Date	Description

Drawing Number
A101-A



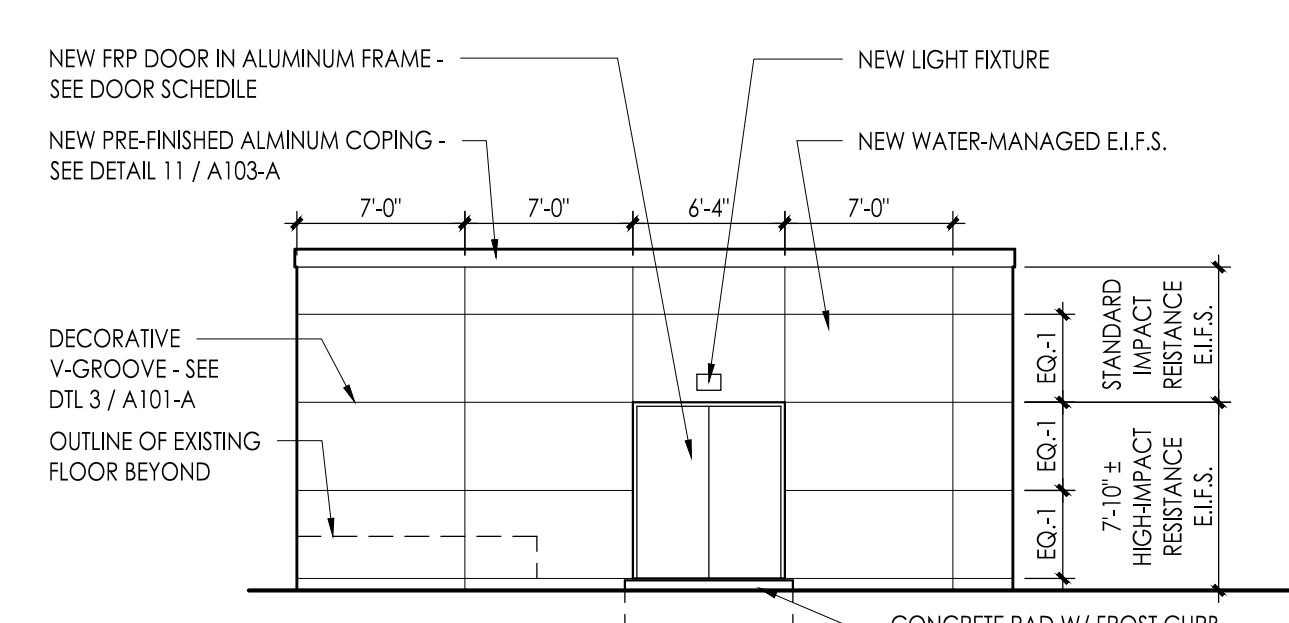
Partial Demolition Plan - Bus Parking / Exterior Plaza
Scale: 1/8" = 1'-0"



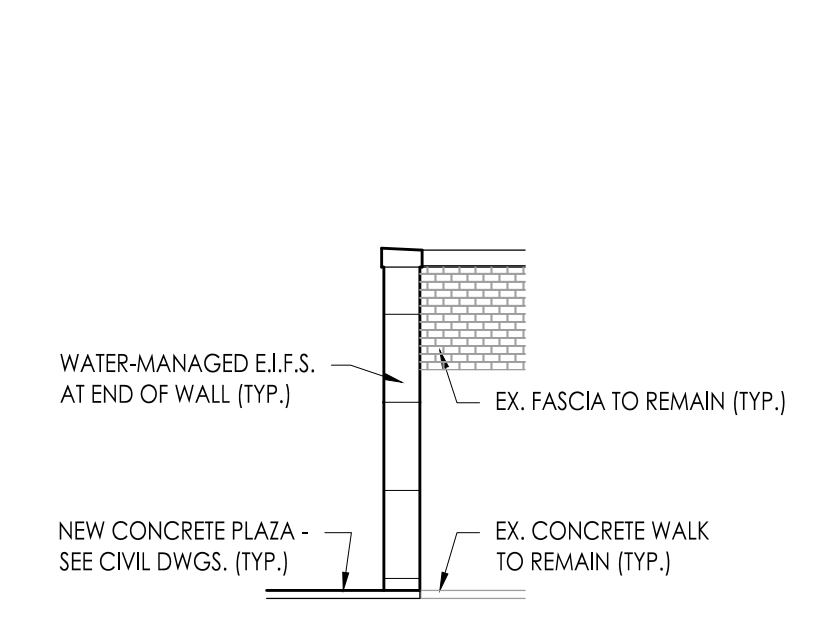
Partial Floor Plan - Bus Parking / Exterior Plaza
Scale: 1/8" = 1'-0"

DEMOLITION / RENOVATION NOTES:

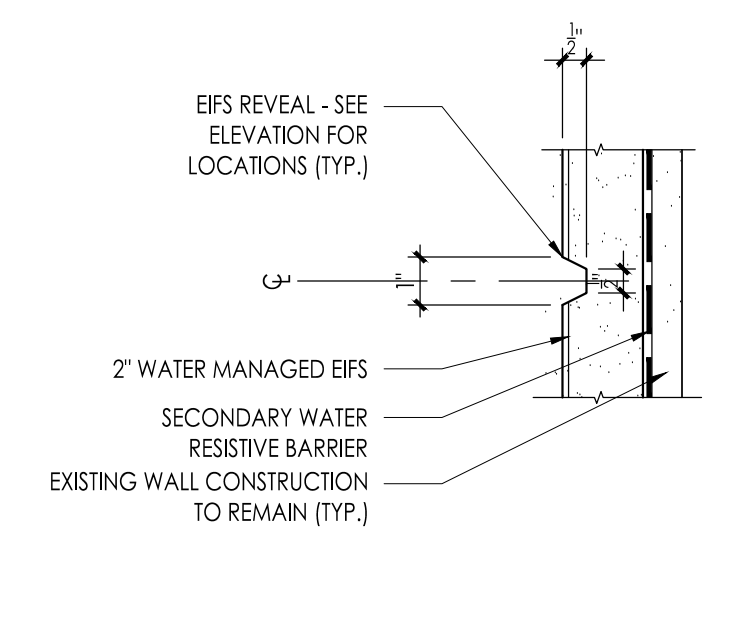
1. AT EXISTING CHAU VENEER TO REMAIN. REMOVE ALL BROKEN, DISPLACED AND LOOSE CHAU BLOCKS AND REPLACE WITH NEW CHAU OF SIZE TO MATCH EXISTING. INFILL ALL GAPS IN VENEER AND SUBSTRATE WITH NEW CHAU OF THICKNESS TO MATCH EXISTING. REMOVE ALL MORTAR JOINTS AND ALL LOOSE, DAMAGED AND DETERIORATED MORTAR AND REPLACE WITH FRESH MORTAR. SAWCUT EXISTING MORTAR JOINTS TO REMAIN TO 1/2 DEPTH OF VENEER AND RE-POINT WITH FRESH MORTAR - SEE DETAIL 19 / A103-A. CLEAN, PREPARE AND RESTORE WALL TO A FLUSH AND PLUMB SURFACE TO RECEIVE NEW E.J.S.
2. REMOVE EXISTING HANDRAIL IN ITS ENTIRETY. PATCH, PLUG AND FILL ALL OPENINGS IN ADJACENT WALL, FLOOR, ETC. TO RESTORE TO A UNIFORM, FLUSH, CONTINUOUS SURFACE. FINISH ALL NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY REMOVAL TO MATCH EXISTING ADJACENT FINISHES.
3. REMOVE EXISTING CURTAIN WALL SYSTEM IN THEIR ENTIRETY. PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY REMOVAL. MATCH EXISTING ADJACENT FINISHES, INCLUDING BRICK, TILE, FLOORING, BASE, ETC.
4. BRACE AND SHORE UP EXISTING CONSTRUCTION TO REMAIN ABOVE OPENING. SAWCUT AND REMOVE EXISTING WALL CONSTRUCTION TO INDICATED ON DISCUTION PLAN AND TO REST MASONRY COURSE ABOVE 8'-0" ABOVE FLOOR. INSET OPENING WITH NEW DOOR AND WALL CONSTRUCTION TO MATCH EXISTING AND UNIFORM THICKNESS TO MATCH EXISTING ADJACENT WALL. SEE FLOOR PLAN. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO ENSURE BUILDING SECURITY AND WEATHERTIGHTNESS. FINISH ALL NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE CAUSED BY REMOVAL TO MATCH EXISTING ADJACENT FINISHES, INCLUDING TILE, PLASTER, ETC.
5. REMOVE EXISTING CABINETS THEIR ENTIRETY AND TURN OVER TO OWNER. PATCH, PLUG AND FILL ALL OPENINGS IN ADJACENT WALL, FLOOR, ETC. TO RESTORE TO A UNIFORM, FLUSH, CONTINUOUS SURFACE. FINISH ALL NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY REMOVAL TO MATCH EXISTING ADJACENT FINISHES.
6. REMOVE AND STORE EXISTING CEILING PANELS, SUSPENSION GRID AND APPLIANCES TO ACCOMMODATE RENOVATION. AFTER RENOVATION IS COMPLETE, REINSTALL EXISTING SUSPENSION GRID TO FIT NEW LENGTHS. REINSTALL (WITH NEW HANGAR WIRE TO EXISTING STRUCTURE) ALL PANELS, GRID AND APPLIANCES IN PREVIOUS LOCATIONS UNLESS SHOWN OTHERWISE. REPLACE ALL DAMAGED OR DETERIORATED CEILING PANELS AND SUSPENSION GRID WITH NEW TO MATCH EXISTING. SEE PLUMBING / HVAC / ELECTRICAL DRAWINGS FOR ADDITIONAL WORK REQUIRED. ALL PLUMBING / HVAC / ELECTRICAL WORK, INCLUDING REMOVAL AND REINSTALLATION OF CEILING SYSTEM, DISCUSSION, PATCHING AND REPAIR, BY RESPECTIVE TRADE CONTRACTORS/SUBCONTRACTOR.
7. EXISTING ELECTRICAL GROUND BOX TO REMAIN. BASE ELEVATION OF BOX TO BE FLUSH WITH FINAL GRADE.
8. ALL WORK UNDER THIS NOTE IS BY ALTERNATE BID. REMOVE EXISTING CEILING MOUNTED CABINET UNIT HEATER IN ITS ENTIRETY. SEE MEP DRAWINGS & SPECIFICATIONS FOR ADDITIONAL WORK REQUIRED. PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY REMOVAL. MATCH EXISTING ADJACENT FINISHES, INCLUDING FLOORING, BASE, CEILING PANELS / GRID, ETC. ALL PLUMBING / HVAC / ELECTRICAL WORK, INCLUDING DEMOLITION, PATCHING AND REPAIR, BY RESPECTIVE TRADE CONTRACTORS/SUBCONTRACTOR.



1 Elevation - E.I.F.S. at Exposed Wall (at Former TCU)
Scale: 1/8" = 1'-0" Absegami High School



2 Elevation - E.I.F.S. at Wall End
Scale: 1/8" = 1'-0" Absegami High School



3 E.I.F.S. Reveal Detail
Scale: 3" = 1'-0" Absegami High School

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planners
Frattak Veisz Hopkins Dutrie P C

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Project Owner Name: Greater Egg Harbor Regional High School District

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Drawing Name: Demolition & Elevations at Bus Parking / Exterior Plaza - Absegami HS

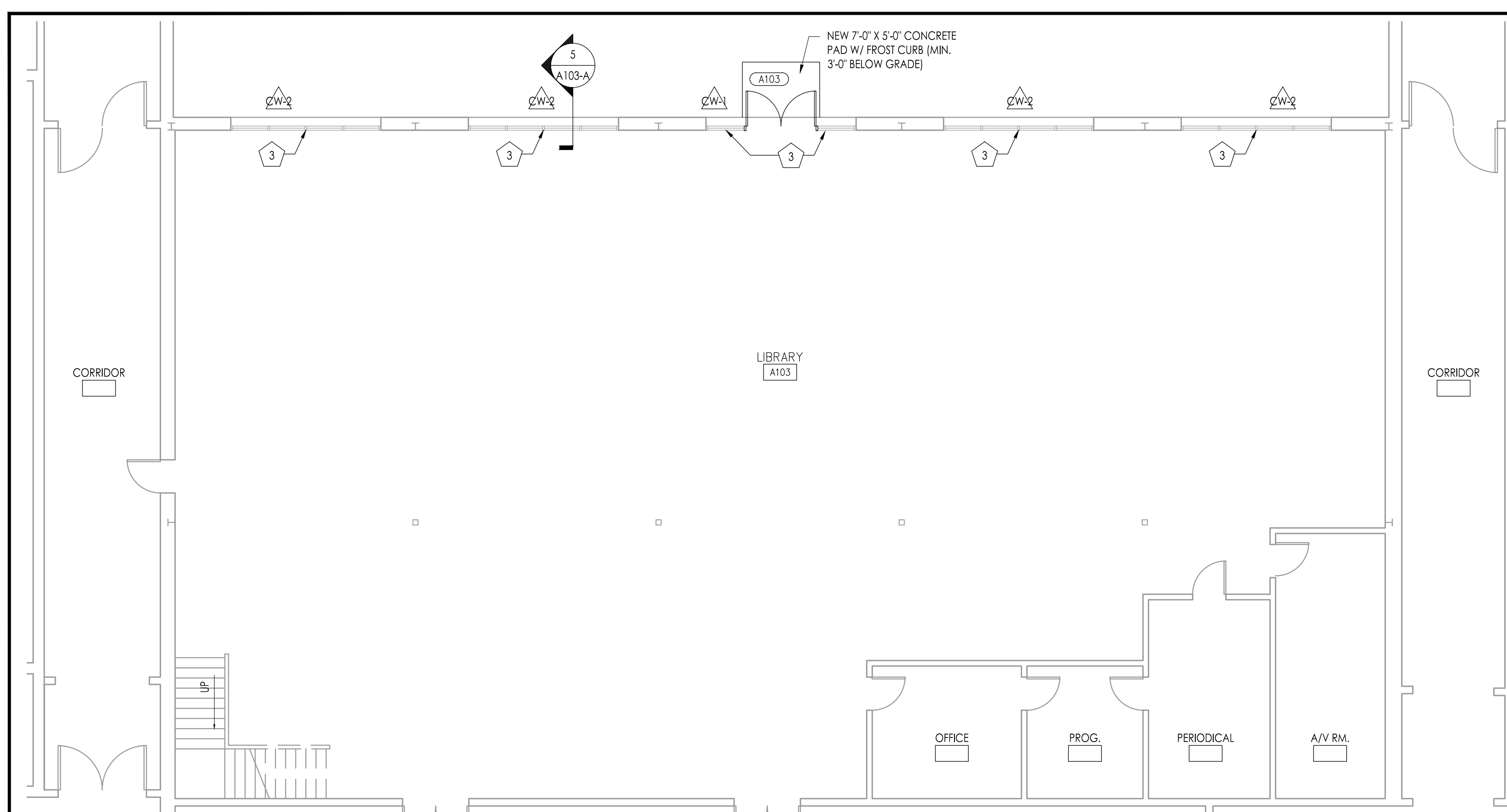
Revisions:

No.	Date	Description

Drawing Number: A102-A

WILLIAM D. HOPKINS III, AIA, LEED AP
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JASON J. DUBROWITZ, AIA
No. 1240079001 / PA - 06/06/2019

11/29/24
Date
Architect



DEMOLITION / RENOVATION NOTES:

- AT EXISTING CMU VENEER TO REMAIN, REMOVE ALL BROKEN, DISPLACED AND LOOSE CMU BLOCKS AND REPLACE WITH NEW CMU OF SEE TO MATCH EXISTING. IN ALL CASES VENEER AND SUBSTRATE WITH NEW CMU OF THICKNESS TO MATCH EXISTING. REMOVE ALL MORTAR SPOTS AND ALL LOOSE, DAMAGED AND DETERIORATED MORTAR AND REPLACE WITH FRESH MORTAR. SAWCUT EXISTING MORTAR JOINTS TO REMAIN TO 1/2 DEPTH OF VENEER AND REPOINT WITH FRESH MORTAR. SEE DETAIL 19 A103-A. CLEAN, PREPARE AND RESEAL WALL TO A FLUSH AND PLUMB SURFACE TO EXISTING NEW ELFS.
- REMOVE EXISTING HANDRAIL IN ITS ENTIRETY. PATCH, PLUG AND FILL ALL OPENINGS IN ADJACENT WALL, FLOOR, ETC. TO RESTORE TO A UNIFORM, FLUSH, CONTINUOUS SURFACE. FINISH ALL NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY REMOVAL TO MATCH EXISTING ADJACENT FINISHES.
- REMOVE EXISTING CURTAIN WALL SYSTEM IN THEIR ENTIRETY. PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY REMOVAL. MATCH EXISTING ADJACENT FINISHES, INCLUDING BRICK, TILE FLOORING, ETC.
- BRACE AND SHORE UP EXISTING CONSTRUCTION TO REMAIN ABOVE OPENING. SAWCUT AND REMOVE EXISTING WALL CONSTRUCTION TO WIDTH INDICATED ON DEMOLITION PLAN AND TO FIRST MASONRY COURSE ABOVE 8\"/>

ROOM FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR	BASE		WAINSCOT		WALL FINISH		CEILING		NOTES
			MAT.	HT.	MAT.	HT.	MAT.	HT.	MAT.	HT.	
A101	LOBBY	ETR	ER / RUB	ET / F	--	--	ER / CSP	ER	ER	--	
A102	STORAGE	ETR	ER / RUB	ET / F	--	--	ER / CSP	ER	ER	--	
A103	LIBRARY	ETR	ER	ET	--	--	ER	ER	ER	--	

ROOM FINISH SCHEDULE NOTES

- NOT USED.

ABBREVIATIONS

- CCP - CONCRETE MASONRY UNIT - EPOXY PAINTED
- CMU - CONCRETE MASONRY UNIT - PAINTED
- ER - EXISTING CONSTRUCTION TO REMAIN
- RUB - RUBBER BASE

GENERAL FINISH NOTES:

- SEE SPECIFICATION FOR ADDITIONAL INFORMATION ON MATERIALS / MANUFACTURER PERFORMANCE AND WARRANTY INFORMATION.
- WITHIN THE EXISTING BUILDING, AT ALL AREAS OF NEW CONSTRUCTION ADJACENT TO EXISTING, NEW CONSTRUCTION SHALL BE FINISHED TO MATCH EXISTING ADJACENT CONSTRUCTION INCLUDING BRICK, TILE, PLASTER, PAINT, BASE, CEILING, ETC.
- AT ALL AREA OF EXISTING SURFACES BEING PAINTED, THE GENERAL CONSTRUCTION WORK CONTRACTOR SHALL REMOVE PRIOR TO PAINTING AND RE-INSTALL AFTER PAINTING ALL ELECTRICAL DEVICE (SWITCH, OUTLETS, ETC.) COVER PLATES.
- MATERIALS LISTED ON THE FINISH SCHEDULE REFER TO THE MAJORITY OF WALL, FLOOR AND CEILING OF ROOMS SCHEDULED. REFER TO PLANS, DETAILS, INTERIOR ELEVATION, CEILING PLANS AND NOTES FOR THOSE MATERIALS NOT INDICATED ON THE SCHEDULE BUT ARE STILL REQUIRED IN THE ROOM.

DOOR AND FRAME SCHEDULE

DR NO	DOOR LOCATION	DOOR				FRAME				HARDWARE	RATING	SIGN TYPE	NOTES
		SIZE	TYPE	MATL	GLAZING	TYPE	MATL	HEAD	JAMB				
A101	LOBBY A101	2'8 3/4\"/>											

DOOR SCHEDULE NOTES

- PROVIDE SECURITY WINDOW FILM TYPE 11 W/ IPA ON GLASS - SEE SPECIFICATION.
- DOOR IN CURTAIN WALL - SEE CURTAIN WALL TYPES.

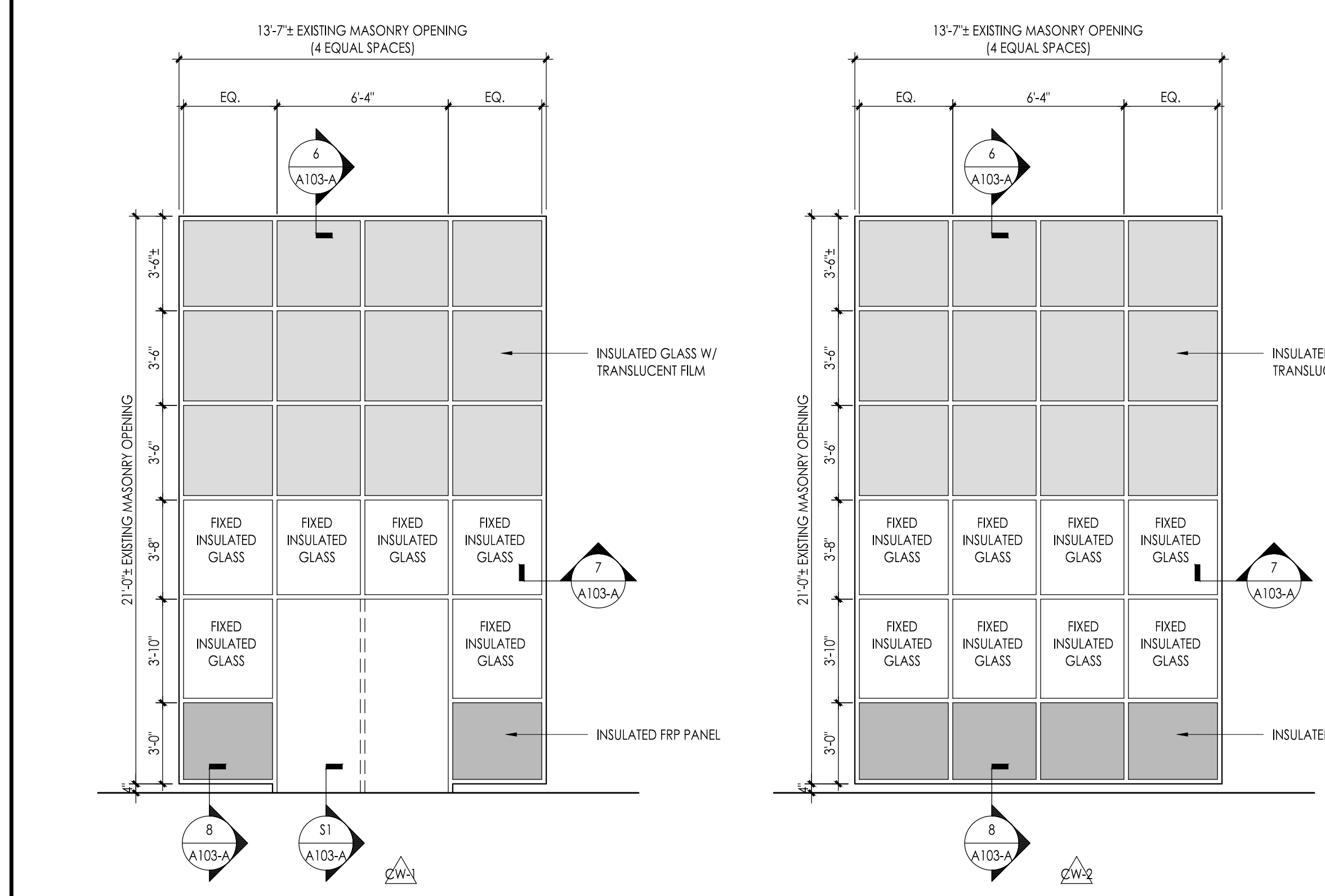
GENERAL DOOR NOTES

- ALL DOORS ARE 1 3/4\"/>

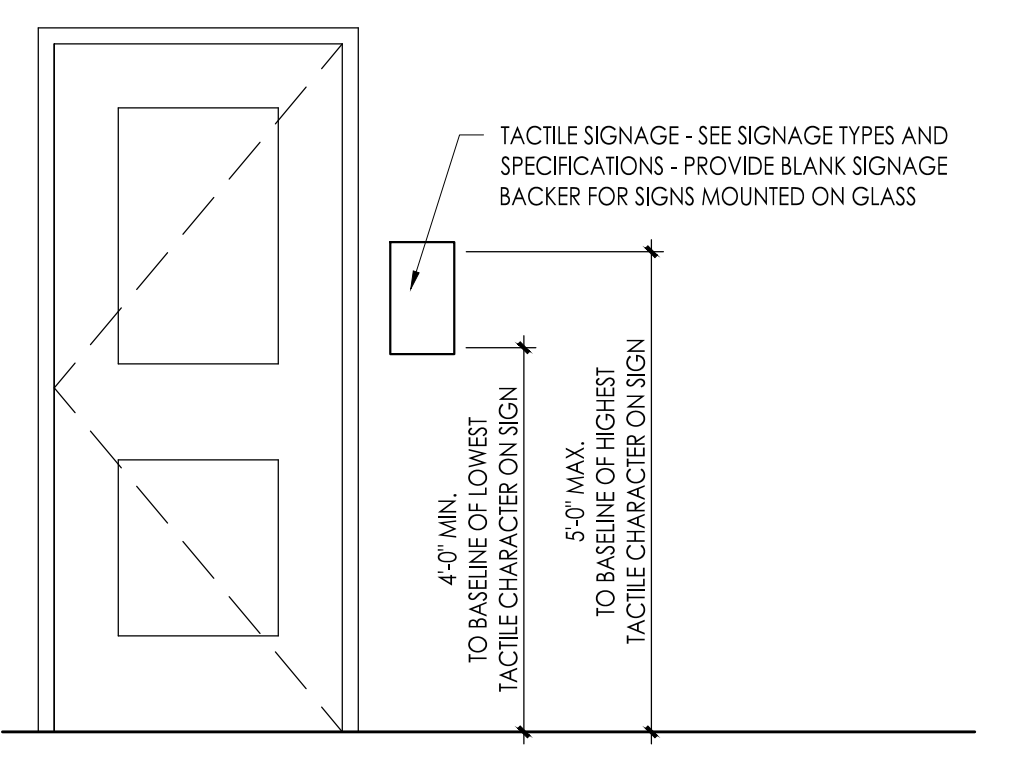
ABBREVIATIONS

- AL - ALUMINUM
- HM - HOLLOW METAL
- INSUL - INSULATED TINTED LAMINATED GLASS
- INSUL-F - INSULATED TINTED LAMINATED GLASS W/ SECURITY WINDOW FILM
- WD - WOOD

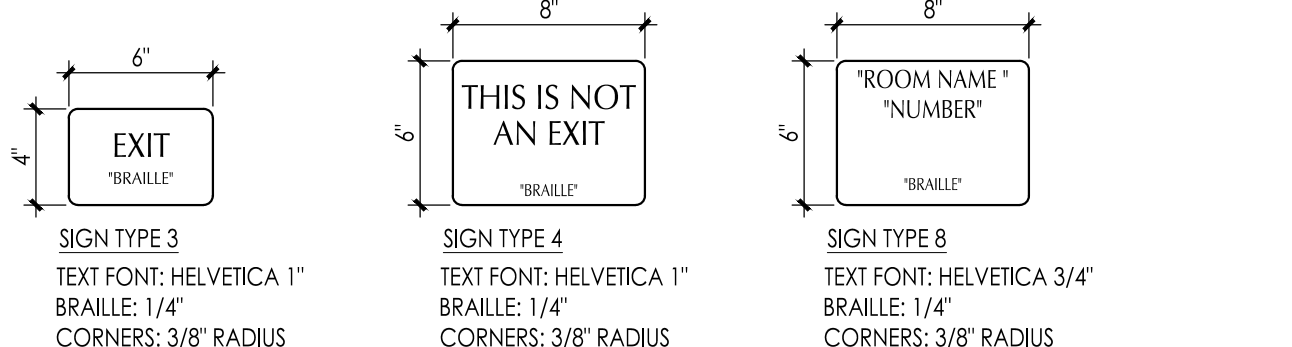
Partial Plan - Library Curtain Wall Replacement
Scale: 1/8\"/>



2 Door and Frame Elevations
Scale: 1/4\"/>



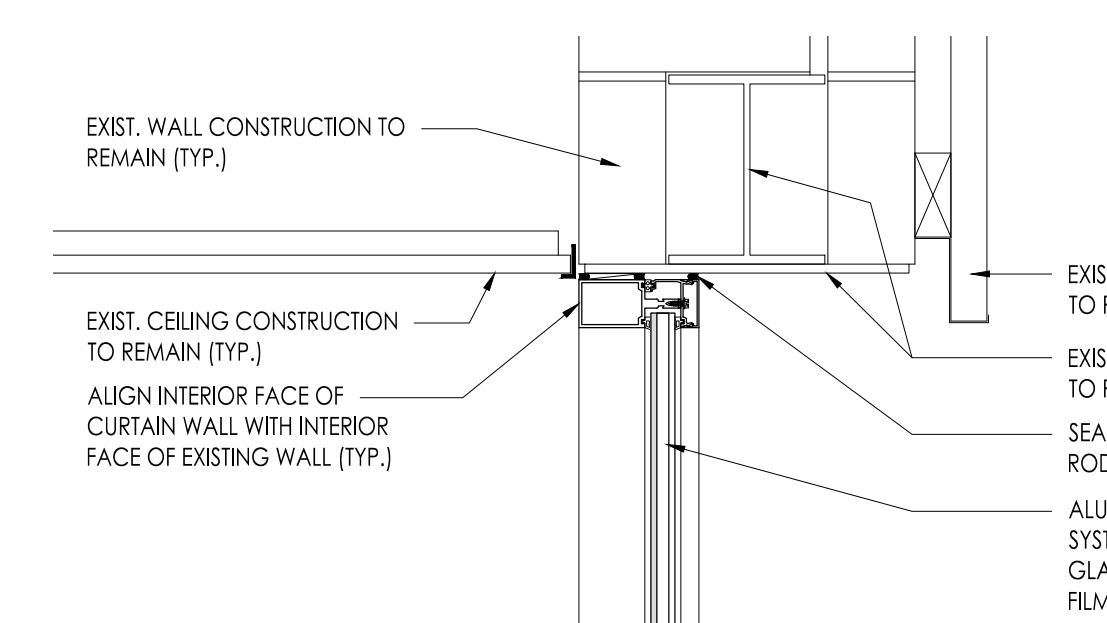
3 Signage Location Detail
Scale: 1/2\"/>



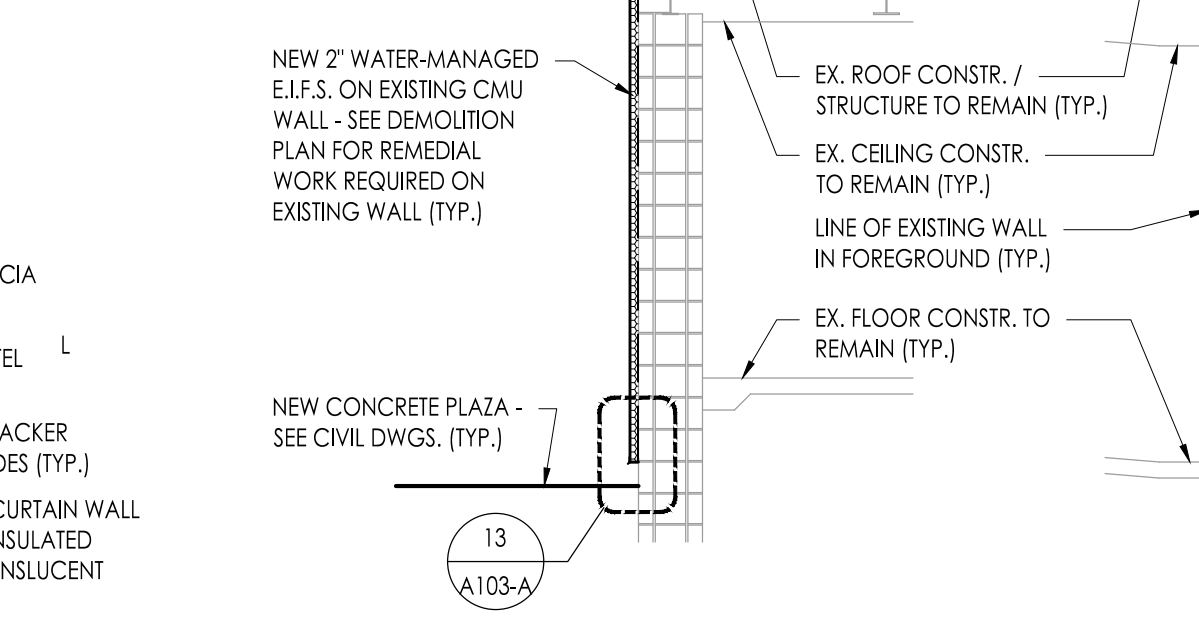
4 Signage Types
Scale: 1-1/2\"/>

1 Curtain Wall Types
Scale: 1/4\"/>

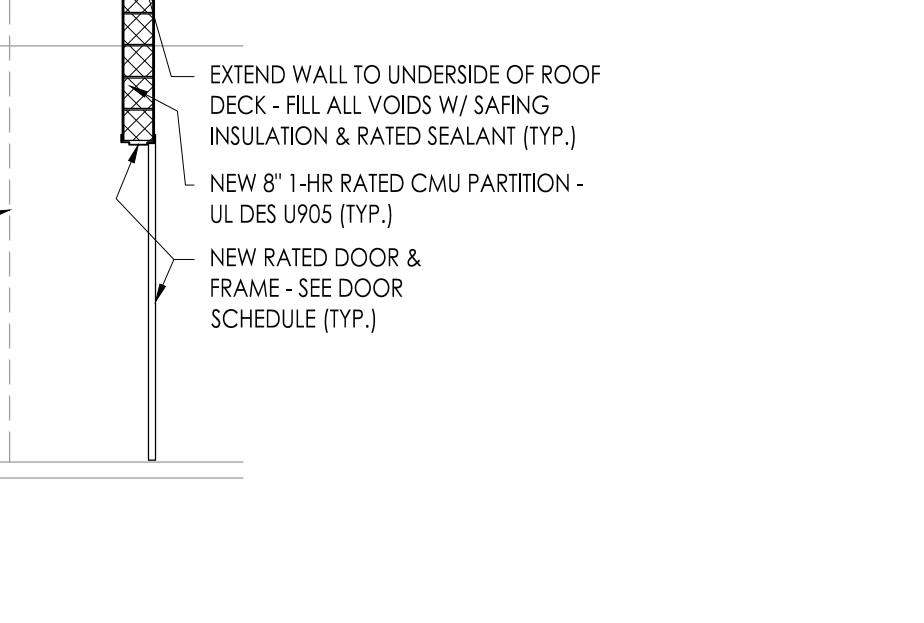
PROVIDE ULTRA-HIGH IMPACT RESISTANCE ELFS. TO A MINIMUM HEIGHT OF 6\"/>



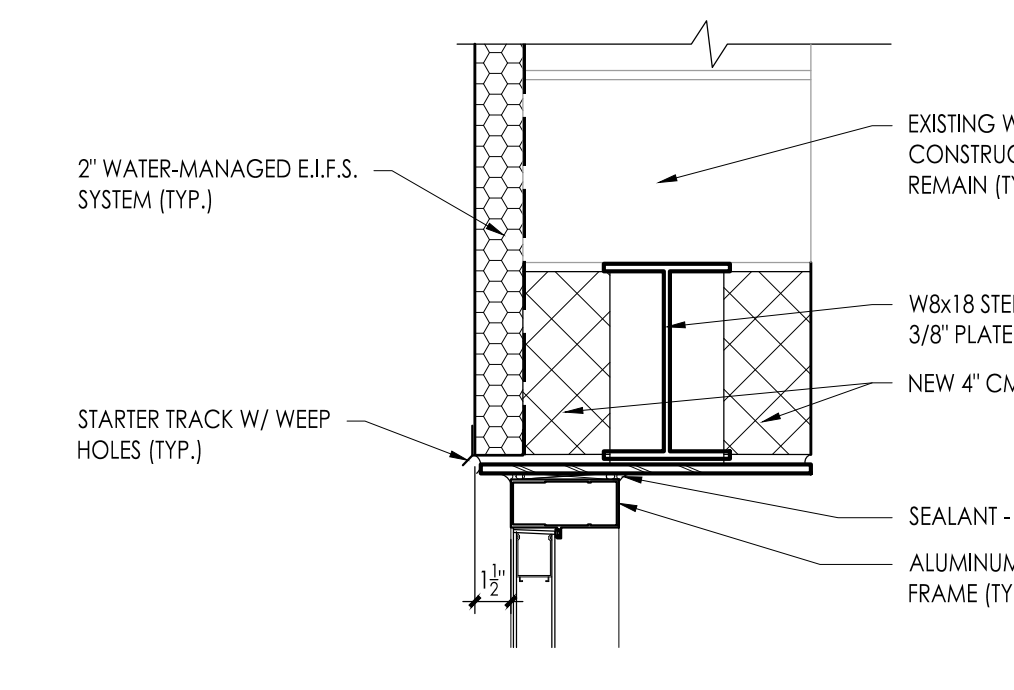
6 Curtain Wall - Head Detail
Scale: 1-1/2\"/>



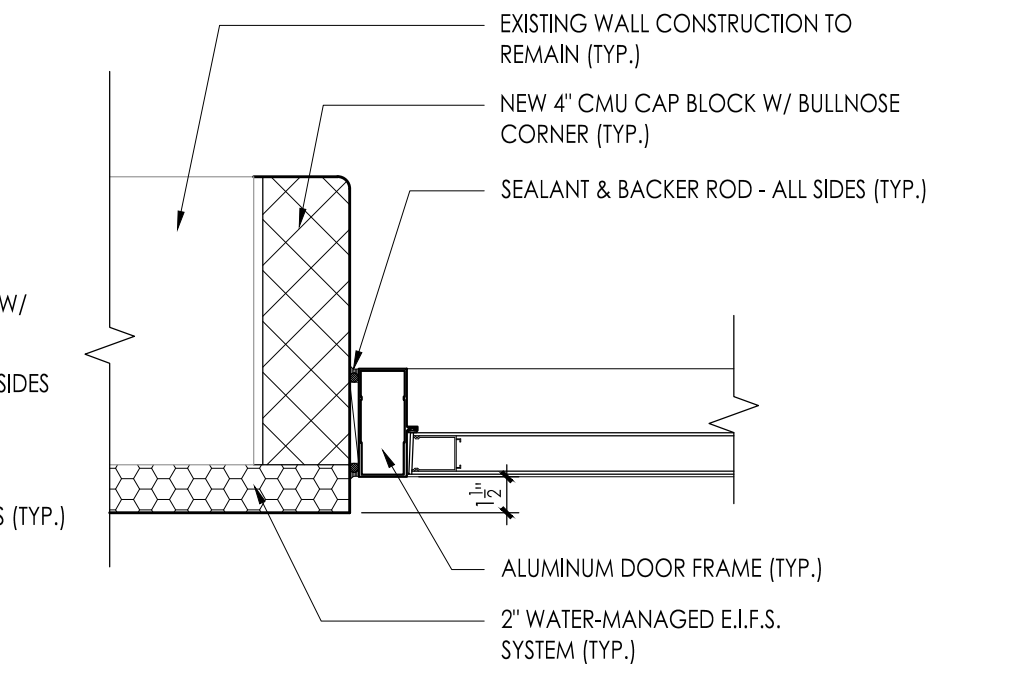
9 Section - Exterior Wall Restoration
Scale: 1/4\"/>



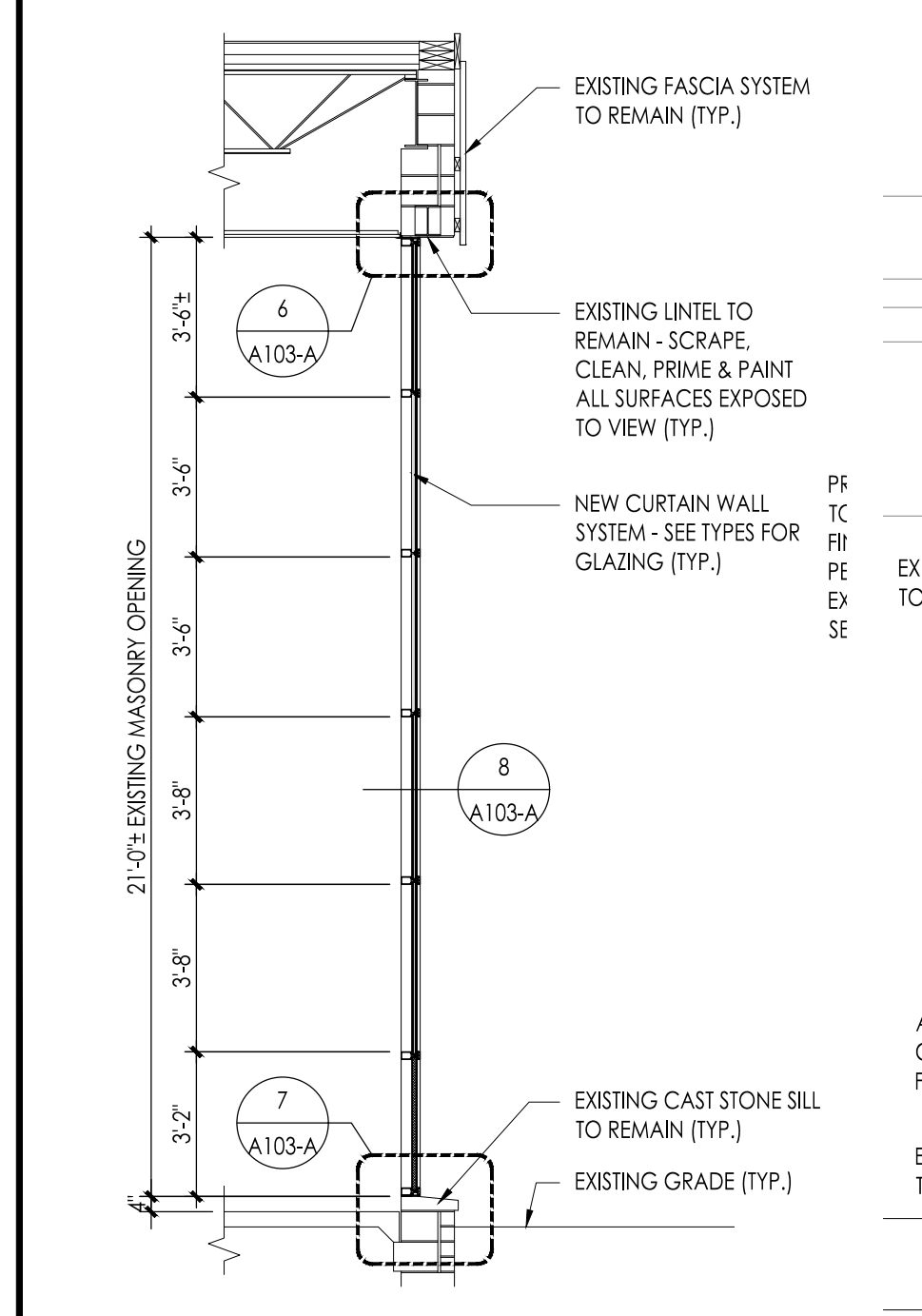
10 Section - New Partition
Scale: 1/4\"/>



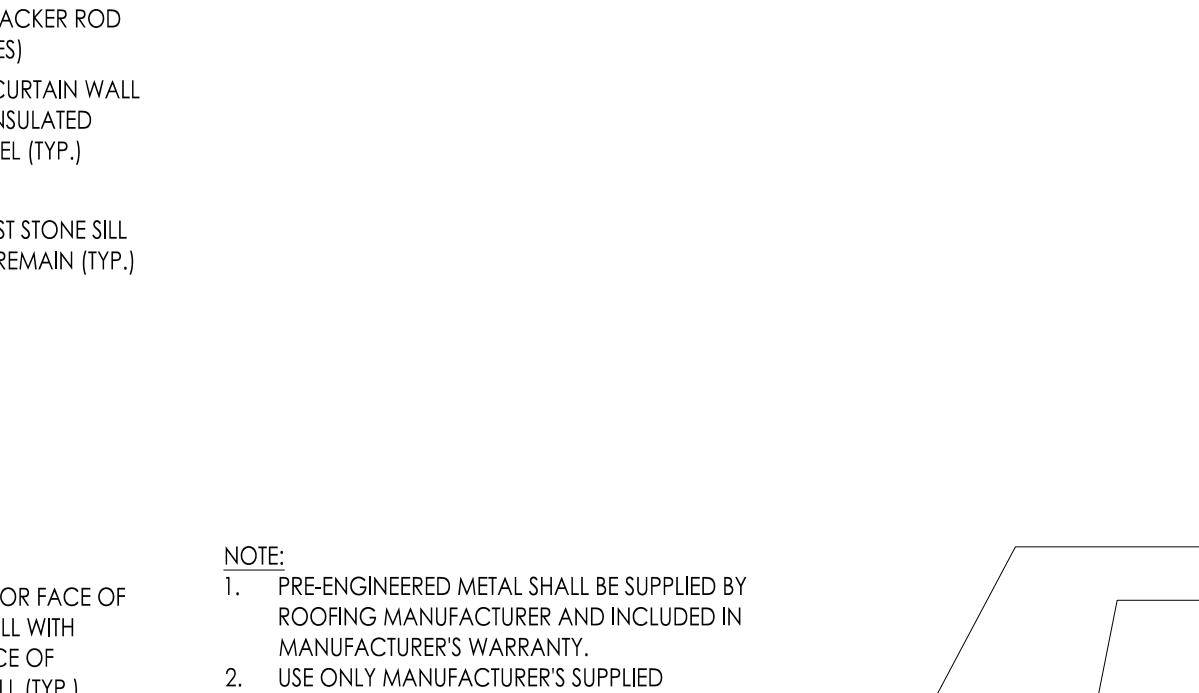
14 Head Detail - Aluminum
Scale: 1-1/2\"/>



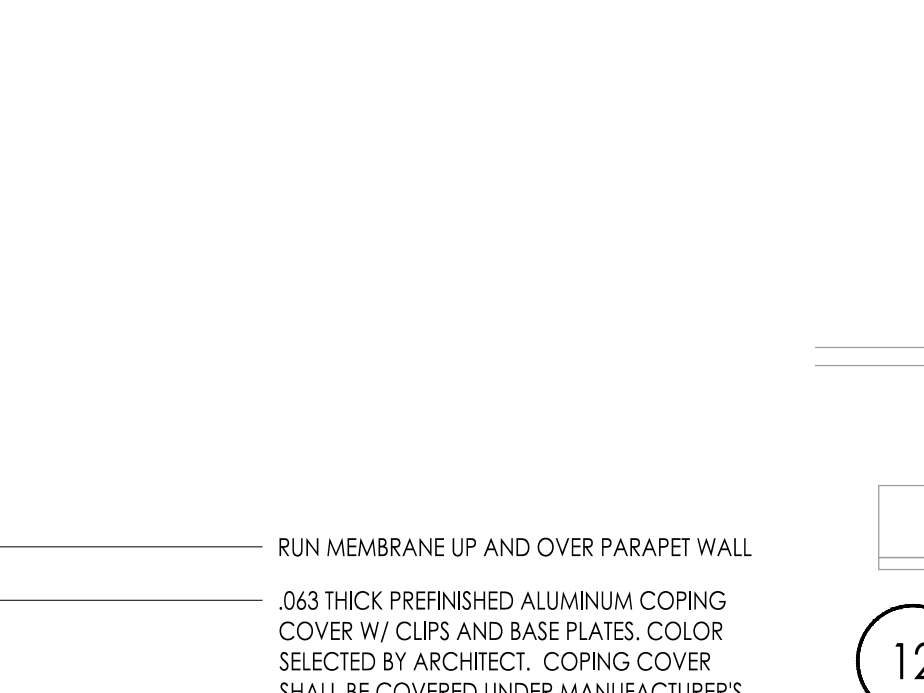
15 Jamb Detail - Aluminum
Scale: 1-1/2\"/>



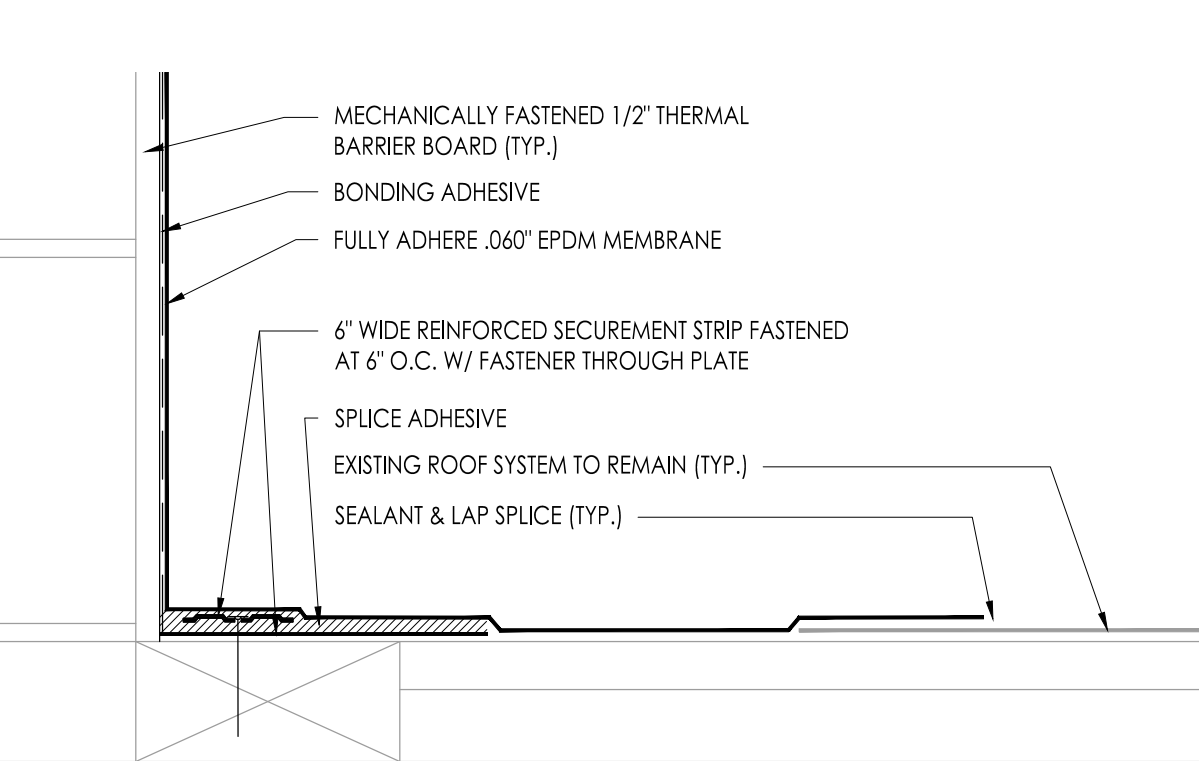
7 Curtain Wall - Jamb Detail
Scale: 1-1/2\"/>



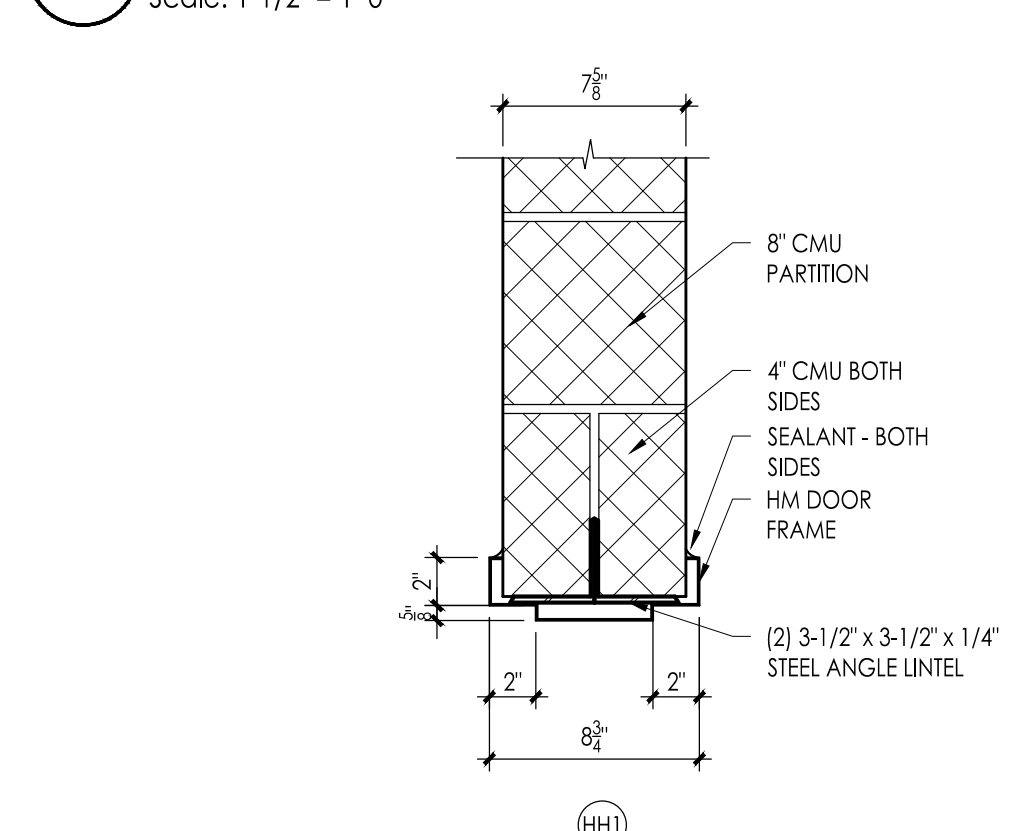
11 Parapet Wall Restoration
Scale: 3\"/>



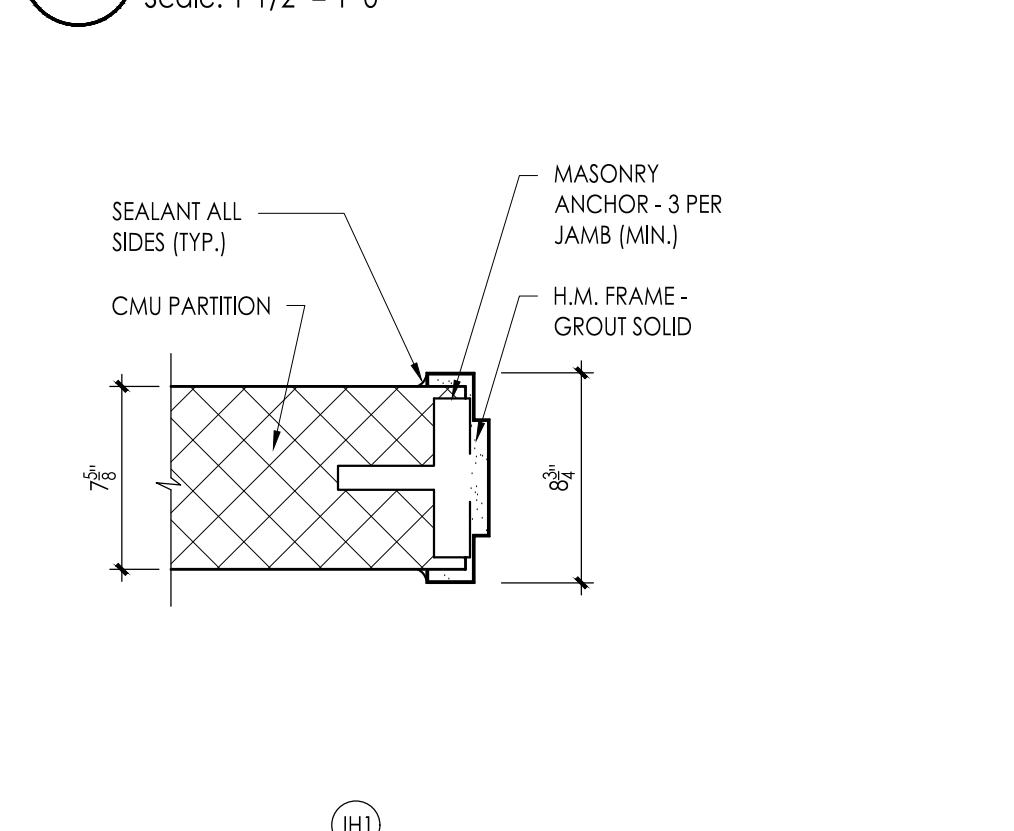
12 Parapet Copping Detail
Scale: 3\"/>



12 Parapet Base Flashing Detail
Scale: 3\"/>



16 Head Detail - Hollow Metal
Scale: 1-1/2\"/>



17 Jamb Detail - Hollow Metal
Scale: 1-1/2\"/>

5 Section - Curtain Wall Replacement
Scale: 1/4\"/>

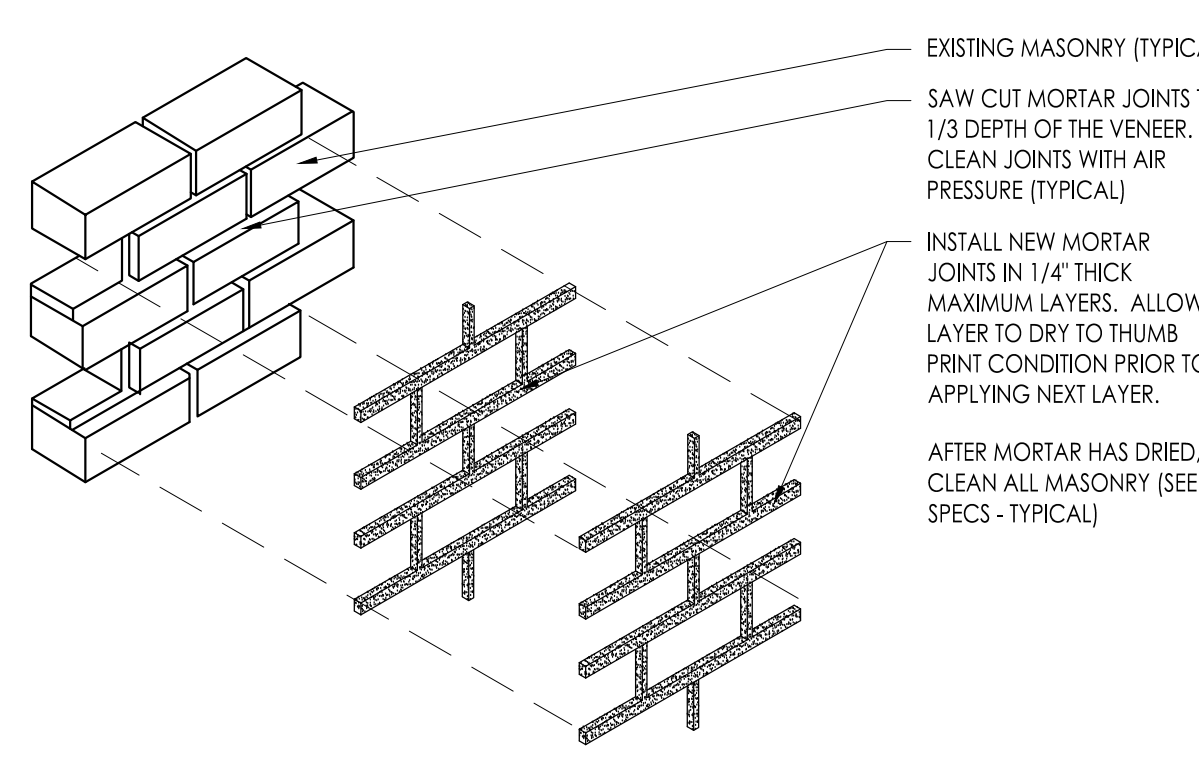
8 Curtain Wall - Sill Detail
Scale: 1-1/2\"/>

11 Parapet Copping Detail
Scale: 3\"/>

12 Parapet Base Flashing Detail
Scale: 3\"/>

13 Base of Wall Detail
Scale: 3\"/>

18 Saddle Detail
Scale: 1-1/2\"/>



19 REPOINTING DETAIL
N.T.S.

WILLIAM D. HOPKINS III, AIA, LEED AP
Principal
GEORGE R. DUTHIE, JR., AIA, PP
Principal
JASON J. DUBROWICH, AIA
Principal
11/29/24
Date
William D. Hopkins
Architect

F V H D P C C O M

GFVHD architects
planners
Fraytak Veisz Hopkins Duthie PC
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

Project Name
New Bus Parking / Exterior
Ezra & Curtain Wall
Replacement at
Absegami High School

Project Owner Name
Greater Egg Harbor
Regional High
School District

Project Location
Absegami High School
201 South Wrangleboro Rd
Galloway, NJ 08205

Project Number
5369-5
Project Date
01.23.2024
Checked By
W.D.H.
Drawn By
NEH
Scale
As Noted

Drawing Name
Library Curtain
Wall Replacement
Plan, Sections &
Details -
Absegami HS

Revisions		
No.	Date	Description

Drawing Number
A103-A