## The City of Linwood

Atlantic County, New Jersey

# All Wars Memorial Park Fieldhouse

### City Council

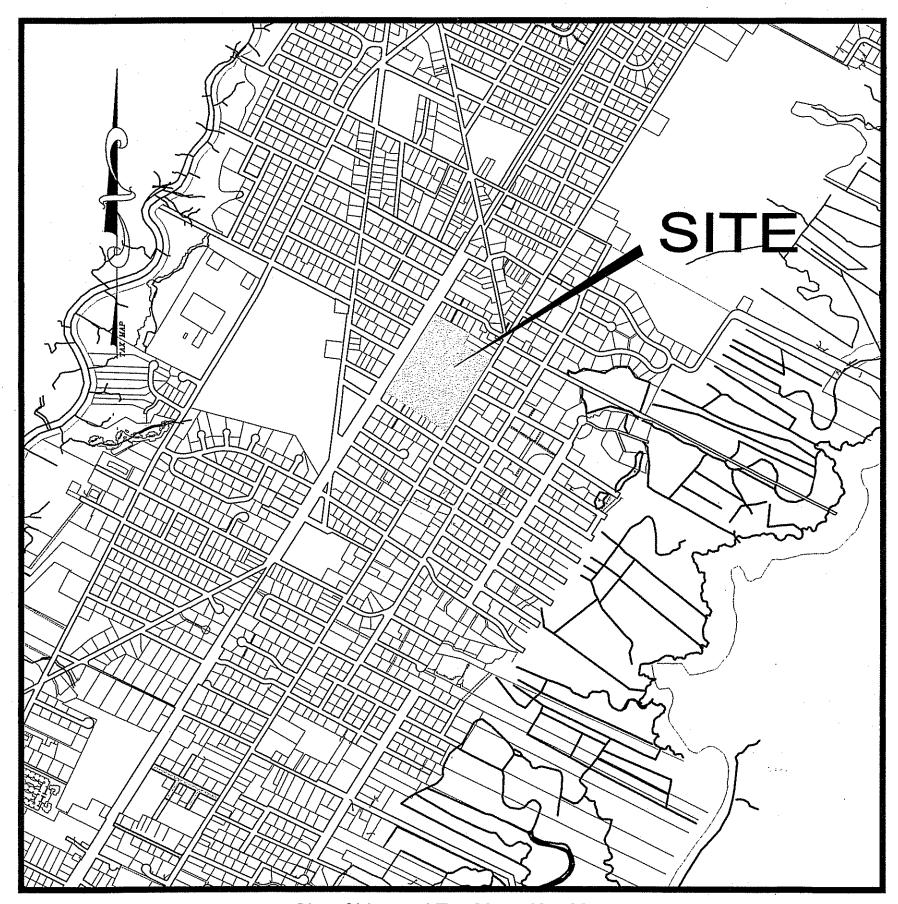
Darren Matik, Mayor
Blair Albright
June Byrnes
Stacy DeDomenicis
Eric Ford
Matthew Levinson
Todd Michael
Adam Walcoff

# City Clerk Leigh Ann Napoli, RMC

	Index of Drawings									
Order	Sheet	Description								
1	<b>.</b>	Cover Sheet								
2	X1	Existing Conditions Plan								
3	D1	Demolition Plan								
4	· U1	Utility Plan								
5	S1	Site Plan								
· 6	CD1	Construction Details								

	Schedule of Quantities		
Item	Description	Unit	Contract Quantity
1	Mobilization & Permits	LS	1
2	Clearing Site	LS	1
3	Construction Layout	LS	1
4	Saw cutting	LF	200
5	8" PVC SDR-35, Sanitary Sew er Main (0' - 6' Deep)	LF	810
6	6" PVC SDR-35, Sanitary Sewer Lateral with Cleanout Risers	UNIT	1
7	Sanitary Sew er Doghouse Manhole (0' - 6' Deep)	UNIT	1
8	Sanitary Sew er Manhole (0' - 6' Deep)	UNIT	3
9	8" Core Drill Connection	UNIT	1
10	3/4" Crushed Stone Bedding, If & Where Directed	CY	50
11	Select Backfill, If & Where Directed	CY	500
12	Temporary Road Restoration	SY	44
13	Concrete Gutter, 8" Thick	SF	. 20
14	HMA Walkway, 2" Thick	SY	660
15	Concrete Pavers	SY	580
16	Traffic Markings, Thermo.	LF	40
17	Top Soil, Fertilize & Seed	SY	2,000
18	Fieldhouse Building	LS	1

Contract No.40
October 2023
PA #7501.22



City of Linwood Tax Map - Key Map

# Tax Map Scale: 1" = 1,000'



6684 Washington Avenue Egg Harbor Township, NJ 08234 609.646.2950

New Jersey State Board of Professional Engineers & Land Surveyors
Certificate of Authorization No. 24GA28091200

#### **UTILITY NOTES**

ATLANTIC CITY ELECTRIC

2542 FIRE ROAD
EGG HARBOR TOWNSHIP, NJ 08234
WILLIAM EDWARDS
(609) 645-4693
FAX: (609) 645-1653

NEW JERSEY AMERICAN WATER CO.
3215 FIRE ROAD
EGG HARBOR TOWNSHIP, NJ 08234
TIMOTHY GREEN
(609) 677-8640
FAX: (609) 641-7729

VERIZON
1-800-VERIZON (837-4966)

CENTRAL LOCATING SERVICE/NJ ONE CALL
800-272-1000
FAX: 800-705-4559

COMCAST CABLE
901 WEST LEEDS AVENUE
ABSECON, NJ 08201
BOB MAYEUX
(609) 677-7332
FAX: (609) 677-7301

LINWOOD PUBLIC WORKS 400 POPLAR AVENUE

SOUTH JERSEY GAS COMPAN' 111 N. FRANKLIN AVENUE PLEASANTVILLE, NJ 08232

(609) 645-2690 ext. 6339

LINWOOD, NJ 08221

CHIP JONÉS

(609)-926-7994

**GLEN NANEK** 

#### **UTILITY NOTE**

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A FIELD MARK-OUT OF SUB-SURFACE UTILITIES. CALL 1-800-272-1000.

### **GENERAL NOTES**

1. ALL TRAFFIC SIGN (REGULATORY, WARNING OR CONSTRUCTION SIGN) PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "STANDARD HIGHWAY SIGNS" AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.

ALL CONSTRUCTION UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE 2019 NEW JERSEY DEPARTMEN'
OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, THE 2016 NJDOT
STANDARD CONSTRUCTION DETAILS, AND AS AMENDED OR SUPPLEMENTED BY THE CONTRACT SPECIFICATIONS.

3. PURSUANT TO NJAC 5:23 - 2:21 (A) AND (C) OF THE UNIFORM CONSTRUCTION CODE, THE GENERAL CONTRACTOR IS HEREBY DESIGNATED AS THE "RESPONSIBLE PERSON IN CHARGE OF CONSTRUCTION" AND THE "SITE SUPERVISOR RESPONSIBLE FOR CONSTRUCTION SITE SAFETY" DURING THE COURSE OF SITE IMPROVEMENTS.

4. ALL CURBING, HANDICAP RAMPS, SIDEWALKS AND DETECTABLE WARNING SURFACES (EXISTING, NECESSARY OR PROPOSED) INSIDE PROJECT LIMITS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST DESIGN STANDARDS SET FORTH BY BARRIER-FREE DESIGN: SELECTED FEDERAL LAWS, ADA ACCESSIBILITY GUIDELINES, AND NJDOT STANDARD ROADWAY CONSTRUCTION DETAILS. CONTRACTOR SHALL PAY SPECIAL ATTENTION TO DETECTABLE WARNING SURFACE MATERIAL REQUIREMENTS. PROVIDE CROSSWALKS AS PER THE NJDOT REQUIREMENTS AND NJDOT "BASELINE DOCUMENT CHANGE ANNOUNCEMENT - BDC16S-02", AND CONSTRUCT PUBLIC SIDEWALK CURB RAMPS AND CROSSWALKS IN ACCORDANCE WITH THE NJDOT DESIGN MANUAL - ROADWAY

5. ALL MATERIAL REMOVED FROM THE CONSTRUCTION AREA BY THE CONTRACTOR SHALL BE LEGALLY AND PROPERLY DISPOSED OF AT A LAWFUL LANDFILL OR RECYCLE STATION OFFSITE. NO TREE LIMBS, TREE TRUNKS, EXCAVATED ROOT MATERIAL, OR EXCAVATED ROADWAY MATERIAL SHALL BE BURIED. ALL USEABLE EXCAVATED MATERIAL SHALL BE UTILIZED ON SITE AS BORROW OR STRUCTURAL FILL.

6. CONTRACTOR DAMAGE TO ANY EXISTING FEATURES SUCH AS, BUT NOT LIMITED TO, CONCRETE CURB, CONCRETE WALK, TREES, SHRUBS, LAMP POSTS, MAILBOXES, PLANTER AREAS, PRIVATE LAWNS, DRIVES, AND IRRIGATION SYSTEMS NOT SCHEDULED FOR REMOVAL SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.

7. CONTRACTOR SHALL VERIFY IN FIELD ALL CONDITIONS AS SHOWN ON THE PLANS AND BE RESPONSIBLE FOR FIELD MEASUREMENTS FOR ALL NEW CONSTRUCTION.

 CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS IMPOSED BY ALL REGULATORY AGENCIES HAVII JURISDICTION AS IT RELATES TO THE CONSTRUCTION AND MAINTENANCE OF THE IMPROVEMENTS.

9. CONTRACTOR TO BE RESPONSIBLE FOR ANY CONSTRUCTION LAYOUT AND BEAR ALL EXPENSES THEREWIT PAYMENT FOR CONSTRUCTION LAYOUT WILL BE MADE BY LUMP SUM IN ACCORDANCE WITH THE CONTRACT

10. CONTRACTOR SHALL OBTAIN ALL UTILITY MARKOUTS PRIOR TO CONSTRUCTION BY CALLING 1-800-272-1000.

CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND FEATURES, STRUCTURES AND FACILITIES BOTH HORIZONTAL AND VERTICAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF ANY UTILITIES NECESSARY. WORK WILL BE COMPLETED AT NO ADDITIONAL COMPENSATION TO THE CONTRACTOR UNITED SPECIFICALLY MOTED ON THE CONTRACT PLANS.

11. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATED EFFORTS BETWEEN THE UTILITIES IN THE EVENT OF CONFLICTS.

12. CONTRACTOR TO NOTIFY ALL AFFECTED RESIDENTS BY MEANS OF A DOOR HANGER A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION AND PAVING. THE DOOR HANGER SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO DISTRIBUTION.

13. ALL DISTURBED EARTH SURFACES SHALL BE RESTORED AND SEEDED IN ACCORDANCE WITH PROJECT

14. WHERE CURB IS TO BE CONSTRUCTED IN AREAS WHERE ROADWAY WIDENING IS SCHEDULED, THE CONTRACTOR SHALL EXERCISE CARE WHEN REMOVING EXISTING CURB OR CONSTRUCTING NEW CURB SO AS TO MINIMIZE THE EXTENT OF DISTURBANCE. COST OF RESTORATION SHALL BE INCLUDED IN UNIT PRICE FOR CONCRETE CURB UNLESS NOTED OTHERWISE.

15. TOPOGRAPHICAL SURVEY PERFORMED BY POLISTINA & ASSOCIATES IN FEBRUARY & MARCH OF 2021 AND IN FEBRUARY OF 2022. BOUNDARY INFORMATION TO BE VERIFIED BY CONTRACTOR IF NECESSARY. UTILITY INFORMATION IS APPROXIMATE & BASED ON AVAILABLE INFORMATION PROVIDED BY OWNER. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

16. CONTRACTOR TO CHECK SITE TOPOGRAPHY PRIOR TO CONSTRUCTION. ANY CONFLICTS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DIRECTION.

17. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION CONFORM TO APPLICABLE STATUTES, REGULATIONS, ORDINANCES AND STANDARDS OF THE GOVERNMENTAL BODIES HAVING JURISDICTION OVER SUCH WORK.

18. THE CONTRACTOR SHALL PROCURE ALL REQUIRED PERMITS, LICENSES, AND INSPECTIONS, PAY ALL CHARGES AND FEES, AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING, GRUBBING, RESTORING, PAVING, TOPSOILING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES.

20. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE DETAILS HEREIN AND THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL

21. NO MATERIAL SHALL BE PLACED OR ANY DISTURBANCE PERMITTED BEYOND THE LIMIT OF CONSTRUCTION OR

RIGHT-OF-WAY WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.

22. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND SUPPORTING ALL EXISTING UTILITIES ENCOUNT

DURING CONSTRUCTION. IN THE EVENT UTILITIES MUST BE REMOVED AND REPLACED, THE CONTRACTOR SHALL INCLUDE THIS COST IN THE PRICE FOR THE SEWER MAIN AND/OR STORMWATER INSTALLATION. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE UTILITY OWNER.

SURFACE THAT ARE NOT SPECIFICALLY IDENTIFIED WITHIN THE PLANS SHALL BE COMPLETED UNDER THE ITEM RESET UTILITY VALVE CASTING. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.

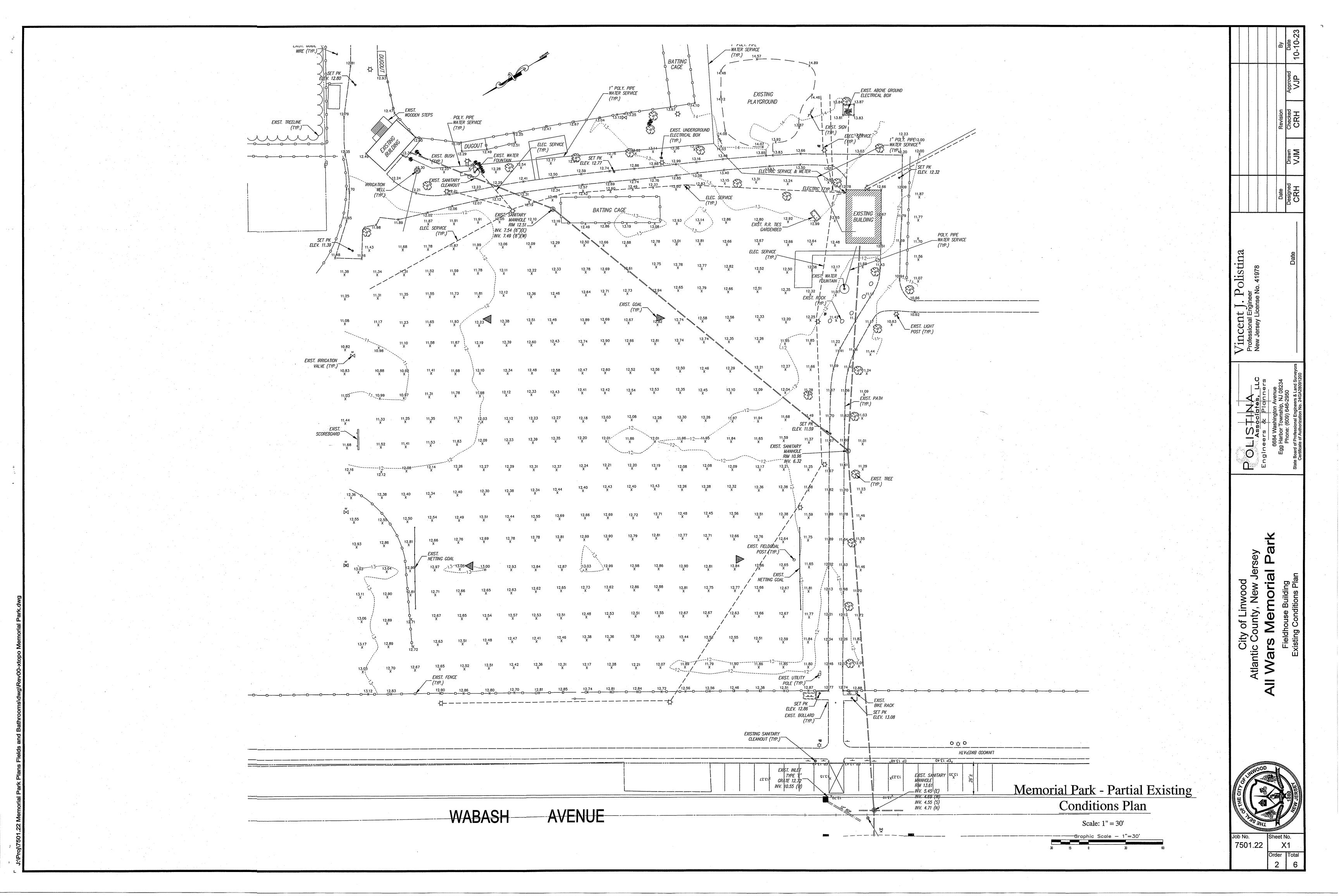
24. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING IRRIGATION LINES WHETHER MARKED OUT OR NOT.

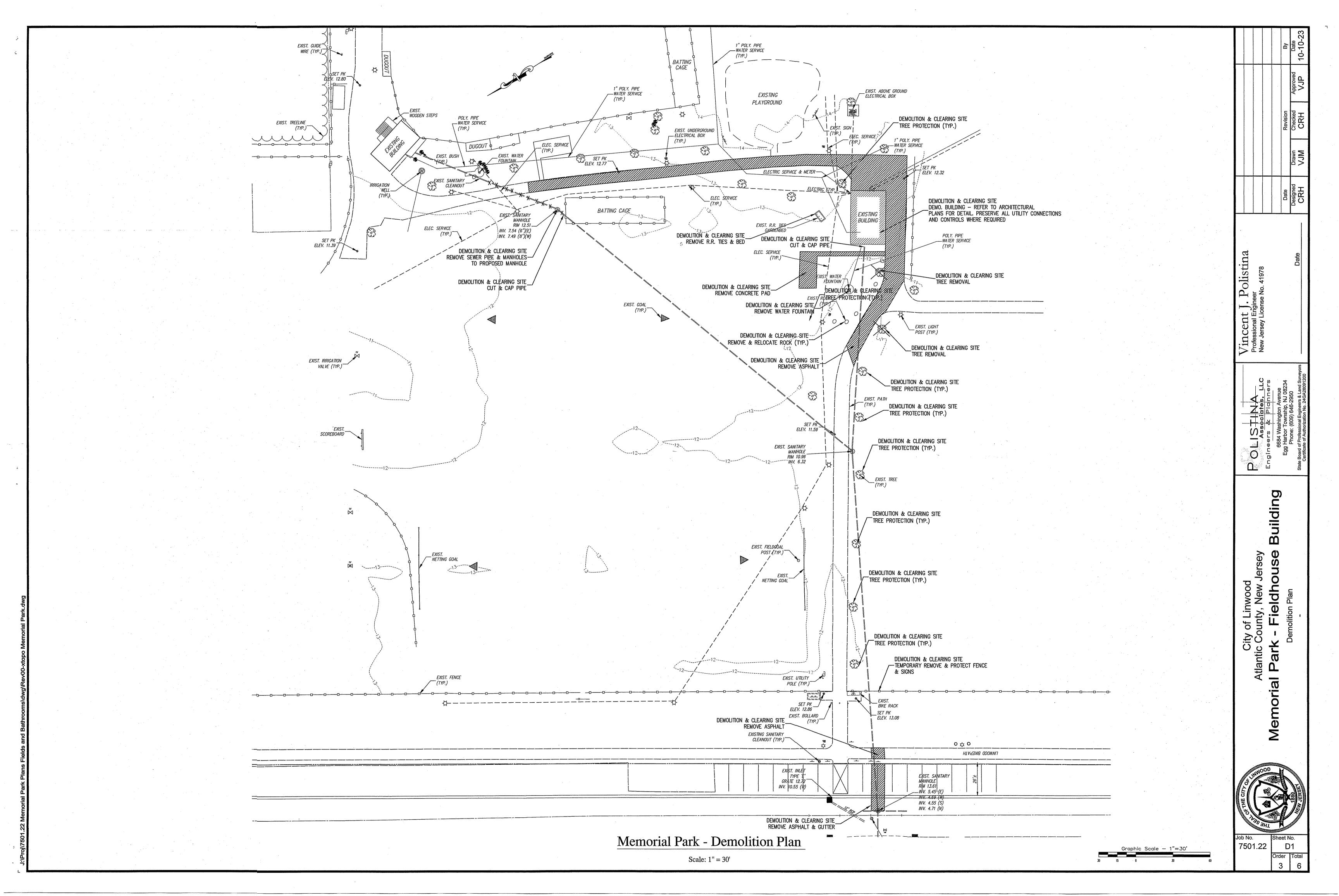
25. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ANY IRRIGATION LINES ENCOUNTERED DURING CONSTRUCTION. THERE WILL BE NO ADDITIONAL COMPENSATION FOR THIS WORK.

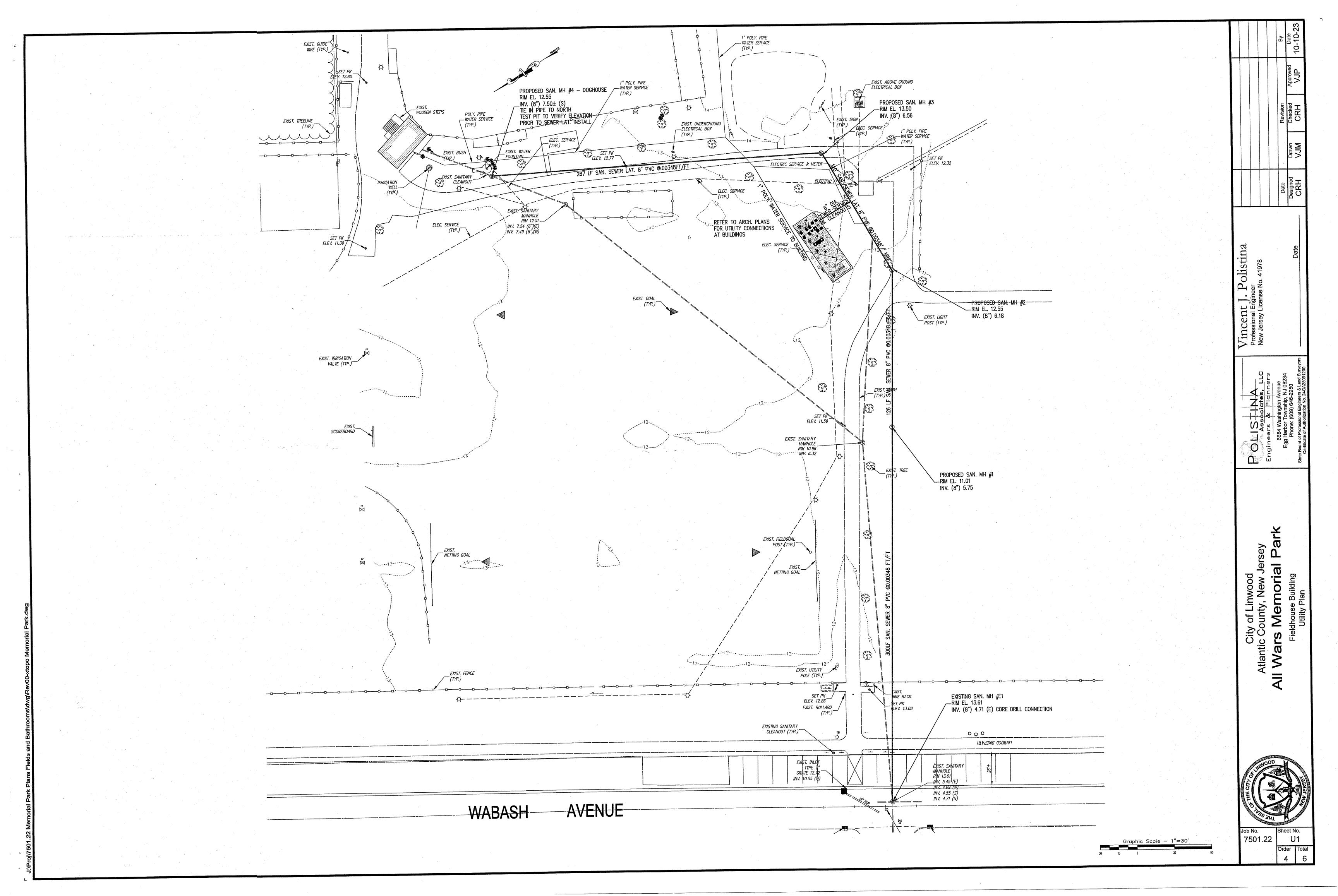
26. ALL USEABLE EXCAVATED MATERIAL SHALL BE UTILIZED ON SITE AS BORROW OR STRUCTURAL FILL. PAYMENT FOR EXCAVATION WILL BE MADE FOR MATERIALS TRUCKED OFF SITE FOR DISPOSAL, WITH THE EXCEPTION OF TEST PITS.

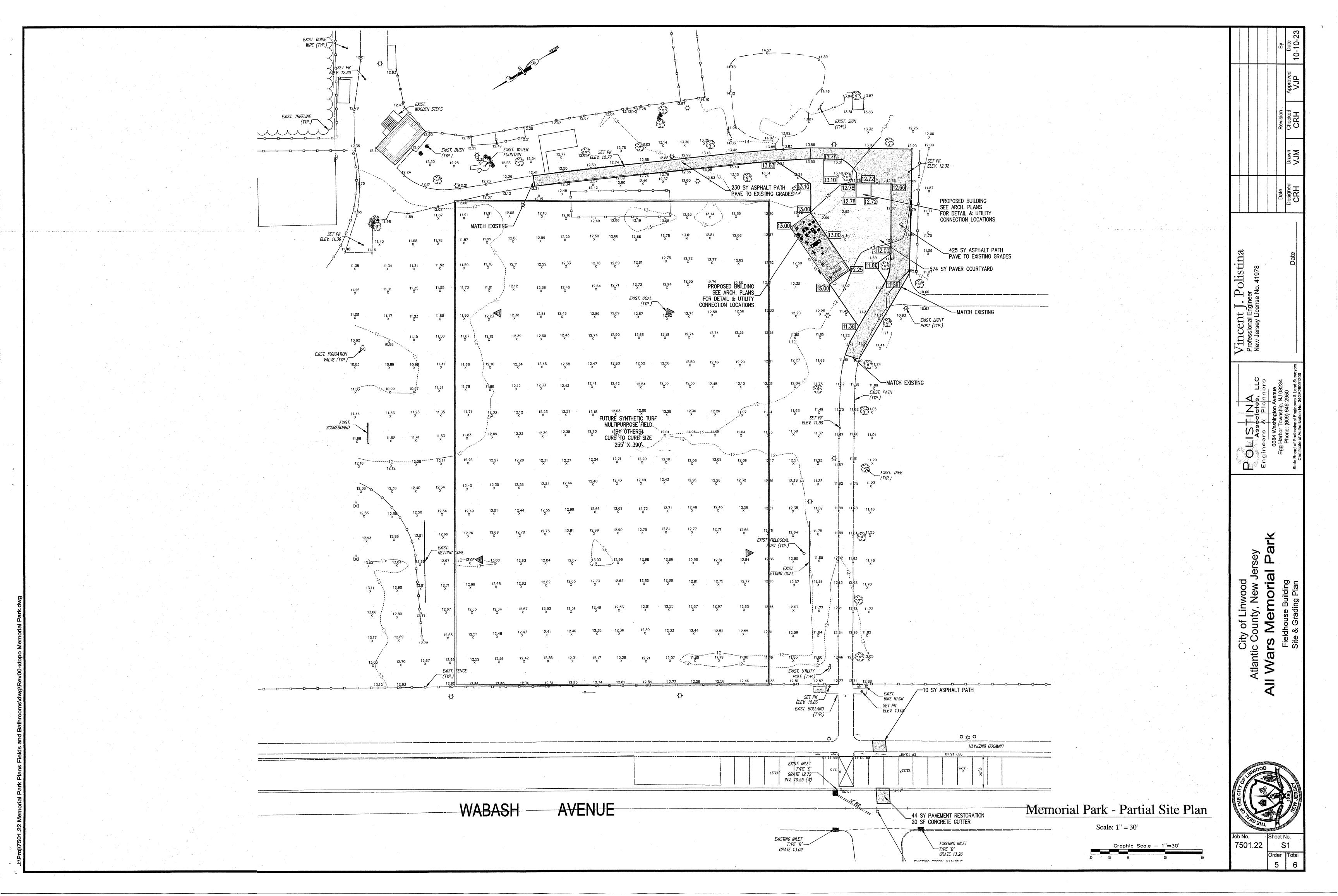
Vincent J. Polistina

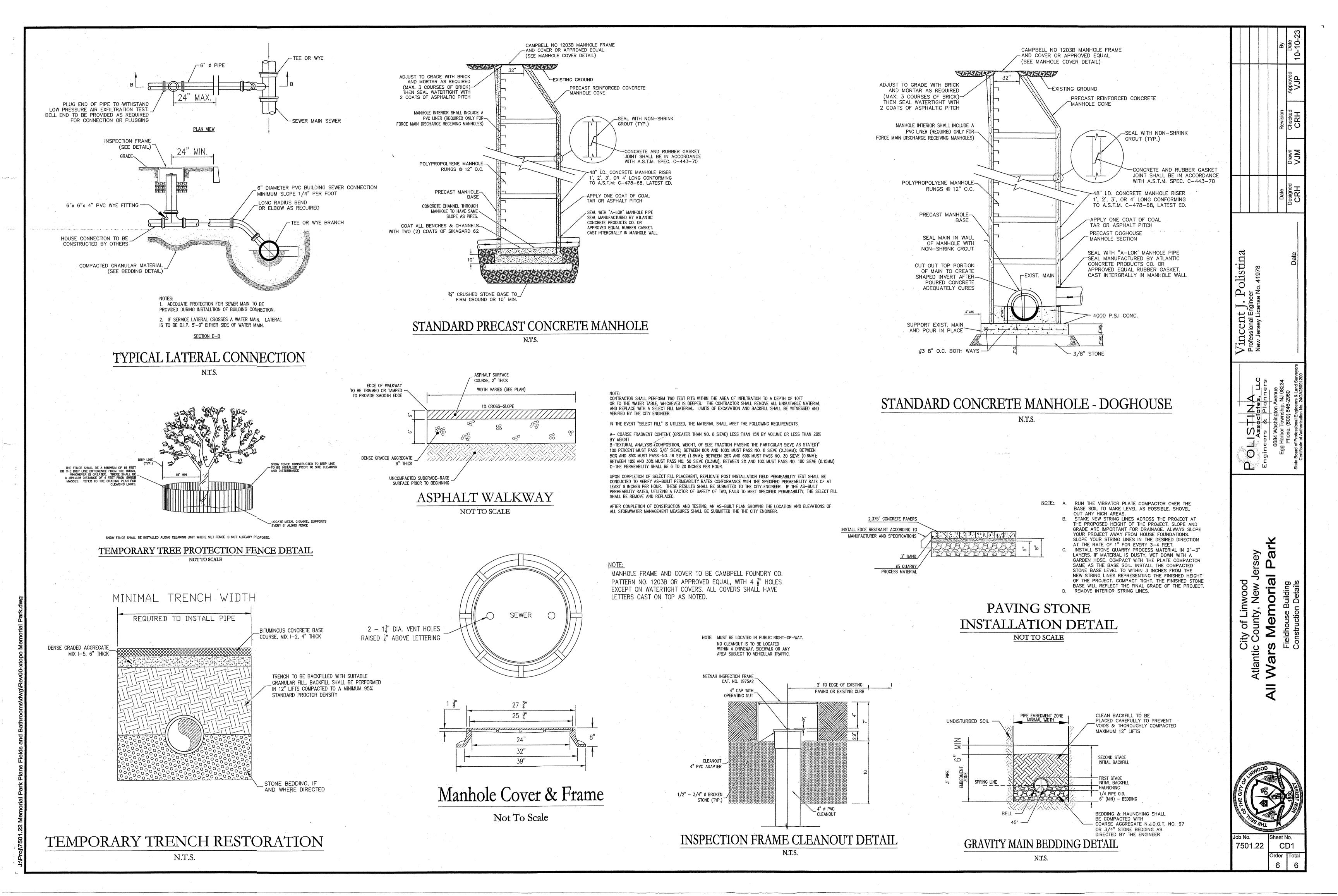
Professional Engineer New Jersey License No. 41978











#### **GENERAL NOTES**

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23) AND ALL APPLICABLE MODEL BUILDING SUBCODES, INCLUDING BUT NOT LIMITED TO:

NEW JERSEY INTERNATIONAL BUILDING CODE, 2021 ICC/ANSI 117.1, 2017 ACCESSIBLE AND USABLE BUILDING AND FACILITIES INTERNATIONAL MECHANICAL CODE, 2021 NATIONAL ELECTRICAL CODE, 2020

NATIONAL STANDARD PLUMBING CODE, 2021

ALL WORK SHALL BE PERFORMED DURING NORMAL WORK HOURS, AS SET FORTH IN THE MUNICIPAL ORDINANCE WHICH HOLDS JURISDICTION OVER THE AREA OF WORK, UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THESE CONTRACT DOCUMENTS, SPECIFICATIONS, OR OTHER WRITTEN AGREEMENTS BETWEEN OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK-SITE AND PROTECT ALL BUILDING MATERIALS FROM THE ELEMENTS AND FROM ON-GOING CONSTRUCTION WORK AS NECESSARY TO MAINTAIN THE MATERIAL

THE AREA OF WORK SHALL BE SEPARATED FROM ALL OTHER OCCUPIED AREAS BY MINIMUM 6 MIL POLY ETHYLENE DUST CURTAIN. WHERE AREAS OF WORK ARE ADJACENT TO PUBLIC AREAS TO BE OCCUPIED AND CONSTRUCTION PARTITIONS ARE NOT SPECIFIED IN OTHER AREAS OF THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, THE AREA OF WORK SHALL BE SEPARATED BY A UL DESIGN U465 ONE HOUR CONSTRUCTION PARTITION FROM FLOOR TO CEILING ABOVE THE MIN. 5/8" G.W.B. EACH SIDE OF 3-5/8" METAL STUD FRAMING AT 16" O.C. AND 3" S.A.F.B. IN THE STUD CAVITY. ALL CONSTRUCTION PARTITION REQUIREMENTS SHALL COMPLY WITH NJAC 5:23-9.6(C) IN ALL CASES.

WHEN NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION OVER THE PROJECT AREA AND ICC/ANSI 117.1, 2017

GROUT IN NEW DRAIN W/ NON-SHRINK

CAST IRON INDIRECT WASTE DRAIN W/ FLANGE

CORE-DRILL EX'G SLAB. PROVIDE FIRESTOPPING

DRAIN FLANGE PER MFR'S RECOMMENDATIONS

4 MIL EPDM WATERPROOF MEMBRANE, LAP

SCHEDULE FOR TILE SPEC.

AROUND PIPE PENETRATION - SEE TYPICAL DETAILS

NEW TILE FLOORING OVER LATEX PORTLAND CEMENT MORTAR BED. PITCH FLOOR TO DRAIN. REFER TO FIN

GROUT IN NEW DRAIN W/ NON-SHRINK QUIK-CRETE

QUIK-CRETE

ALL LANDSCAPING SHALL BE INSTALLED AT SUCH TIME SO AS TO BE IN HEALTHY CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION. ANY LANDSCAPE MATERIALS NOT IN SUCH CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, GROWING SEASON, AND CONSTRUCTION SCHEDULE IN SCHEDULING INSTALLATIONS AFTER SUBSTANTIAL COMPLETION.

ALL BEARING SOIL SHALL BE UNDISTURBED OR 100% COMPACTED SOIL TO ACCOMMODATE THE INSTALLATION OF FOOTINGS, FOUNDATION WALLS. PILINGS, ETC. WHEN NOT INDICATED OTHERWISE IN THESE CONTRACT DOCUMENTS AND SPECIFICATIONS VIA SOIL REPORT, BEARING CAPACITY OF THE SOIL IN THE AREA OF WORK SHALL BE CONSIDERED TO BE 3,000 PSI WITHOUT DETRIMENTAL SETTLEMENT. IN SUCH CASES, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TESTING TO VERIFY THIS CONDITION PRIOR TO COMMENCEMENT OF WORK.

FOOTINGS SHALL BE LOCATED A MINIMUM OF 30" BELOW GRADE, UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS.

IN PERFORMING ANY EARTHWORK, ALL EXCAVATED AREAS SHALL BE PROVIDED WITH TEMPORARY SUPPORTS AND/OR SHARING TO PREVENT ANY COLLAPSE. EXCAVATED SOILS, FILL, ETC. SHALL BE STORED SO AS NOT TO EXCEED THE ANGLE OF REPOSE FOR EACH TYPE. ALL BEARING SOIL, WHEN EXCAVATED AND STORED SHALL BE PROPERLY PROTECTED FROM THE ELEMENTS UNTIL BACKFILLING.

BACKFILLING SHALL BE PERFORMED IN MAX. 6" LIFTS UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS, EACH LIFT SHALL BE TAMPED PRIOR TO CONTINUING WORK.

ALL MISCELLANEOUS WOOD SHALL BE MIN. NO. 1 OR BETTER DOUGLASS FIR. WOOD NAILERS, BLOCKING, ETC. IN FOUNDATION CONSTRUCTION SHALL BE TREATED TO RESIST DECAY.

ALL CRAWL SPACES AND SLAB ON-GRAD CONDITIONS SHALL BE PROVIDED WITH 6 MIL. POLYETHYLENE VAPOR BARRIER FOR THE ENTIRE FOOTPRINT AND MIN. 24" WIDE 2" RIGID INSULATION AT THE ENTIRE PERIMETER OF THE BUILDING FOOTPRINT.

ALL CONCRETE TO BE PROVIDED SHALL BE MIN. 4,000 PSI IN 28 DAYS UNLESS INDICATED OTHERWISE IN THESE DOCUMENTS.

ALL CONCRETE MASONRY UNITS WHEN LOAD-BEARING SHALL CONFORM TO ASTM C34-84. IN NON-LOAD-BEARING APPLICATIONS MASONRY UNITS SHALL COMPLY WITH C56-81.

ALL DOORS AND WINDOWS AT EXTERIOR WALLS SHALL BE PROVIDED WITH ALUM. SILL FLASHING UNDER THE ENTIRE WIDTH OF THE OPENING. AT WINDOW AREAS, FLASHING SHALL HAVE UPTURNED EDGES WITH SOLDERED CORNERS AND PITCH TO THE EXTERIOR. ALL WINDOWS AND DOORS SHALL BE PROVIDED WITH SHIM SPACES AT THE PERIMETER TO ENSURE A PLUMB AND TRUE INSTALLATION.

ALL GLAZING IN HAZARDOUS AREAS AS DEFINED IN 2406.2 SHALL BE TEMPERED GLAZED SAFETY GLASS AND SHALL BE IMPACT-RESISTANT GLAZED OPENINGS.

ALL GYPSUM WALL BOARD TO BE 5/8" FIRECODE 'C' UNLESS INDICATED OTHERWISE IN THE DOCUMENTS.

ALL BATHROOM AND KITCHEN AREAS SHALL BE PROVIDED WITH WATER-RESISTANT G.W.B., TYPICAL. ALL TILE AREAS SHALL BE PROVIDED WITH CEMENTITIOUS BOARD BACK-UP UNLESS INDICATED OTHERWISE.

IN ALL PAINTED WALL AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 4 FINISH.

IN ALL WALL-COVERED AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 4. FINISH.

SHOP DRAWINGS SHALL BE REQUIRED FOR ALL MILLWORK.

ALL THRESHOLDS AND OTHER FLOORING TRANSITIONS SHALL COMPLY WITH THE FLOOR LEVEL CHANGES CONSTITUTED IN ICC/ANSI 117.1, 2017.

ALL SPECIALTIES, ACCESSORIES, OR OTHER WALL-MOUNTED EQUIPMENT, FIXTURES, ETC. SHALL BE PROVIDED WITH NON-COMBUSTIBLE BLOCKING IN THE WALL CAVITY FOR SUPPORT UNLESS SPECIFICALLY NOTED OTHERWISE.

ALL ELEVATOR PITS (WHERE APPLICABLE) SHALL BE PROVIDED WITH SUMP PUMP CONNECTED TO THE BUILDING STORM WATER SYSTEM. THE PIT SHALL BE PROVIDE WITH A GALV. STEEL ACCESS LADDER MOUNTED IN AN OSHA COMPLIANT LOCATION WITH WORK LIGHT AND SWITCH ACCESSIBLE FROM THE POINT OF ENTRY. ALL ELEVATOR DOORS SHALL BE PROVIDED WITH STRUCTURAL STEEL SILL ANGLES AS REQUIRED BY THE MANUFACTURER.

### **NEW CONSTRUCTION:** LINWOOD SOCCER BUILDING **ALL WARS MEMORIAL PARK LINWOOD, NJ 08221**

OWNER:

CITY OF LINWOOD 400 W POPLAR AVENUE LINWOOD, NJ 08221

ARCHITECT:

WILLIAM MCLEES ARCHITECTURE 5 MACARTHUR BOULEVARD SOMERS POINT, NJ 08244 CONTACT: WILLIAM MCLEES, AIA 609.927.0888

#### **BUILDING CODE ANALYSIS**

This work is governed by the New Jersey Uniform Construction Code, New Jersey Edition of the 2021 International Building Code and all other applicable subcodes as adopted therein. This work shall qualify as **NEW CONSTRUCTION** under the requirements and definitions of the New Jersey U.C.C.

Total Building Areas: FIRST FLOOR: SECOND FLOOR: 1,104 S.F.

**Building Footprint:** Use Group: Construction Class:

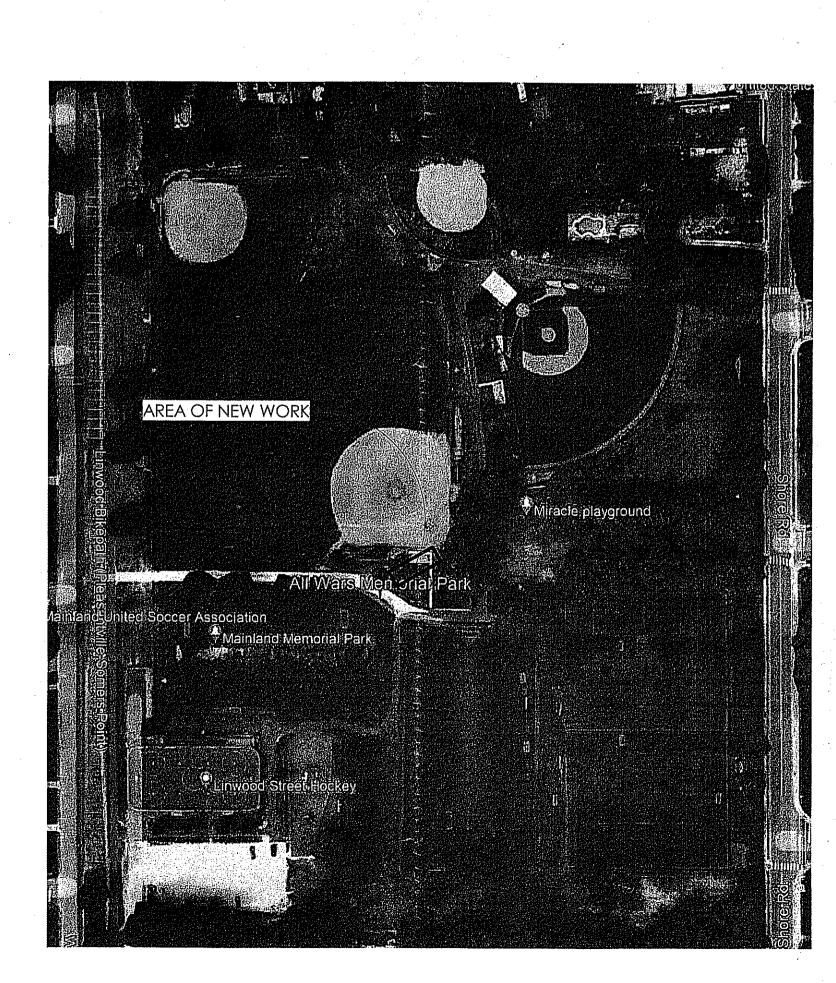
Enclosed

1,104 S.F.

2,208 S.F.

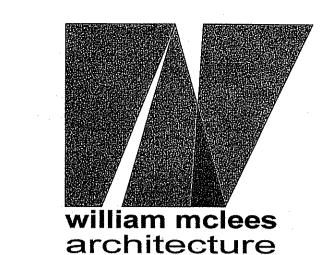
1,104 S.F.

**DRAWING LIST** CURRENT REVISION NUMBER SHEET NAME DATE Drawn By DATE REVISION G0.00 COVER SHEET 09/01/23 A1.00 PROPOSED PLANS, ELEVATIONS, SECTIONS and DETAILS 09/01/23 JAS A2.00 PROPOSED PLANS, ELEVATIONS, SECTIONS and DETAILS 09/01/23 JAS A3.00 PROPOSED REFLECTED CEILING PLANS, SCHEDULES and DETAILS 09/01/23 A4.00 ELECTRICAL & PLUMBING NOTES, SCHEDULES and DIAGRAMS 09/01/23 JAS A5.00 LIGHTING CONTROL BUILDING PLANS, SECTION, ELEVATIONS and NOTES 09/01/23 JAS









5 Macarthur Boulevard | Somers Point, NJ 08244 t:609.927.0888 | f. 609.927.0889 www.wmarch.net

William C. McLees AIA, LEED AP

New Jersey State License Pennsylvania State License



AI 14054

RA403479

William McLees Architecture, LLC

New Jersey State Certificate of Authorization # 21AC00055500

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NEW CONSTRUCTION LINWOOD SOCCER BUILDING

ALL WARS MEMORIAL PARK LINWOOD, NJ 08221

BID ISSUE

NOT FOR CONSTRUCTION

No.	Description	<u>Date</u>
	191-1471/AMILE	
		·

**COVER SHEET** 

As indicated

09/01/23 GO.00

NOTE: PROVIDE 4" DEEP TRAP SEAL

2 FLOOR DRAIN DETAIL
3" = 1'-0"

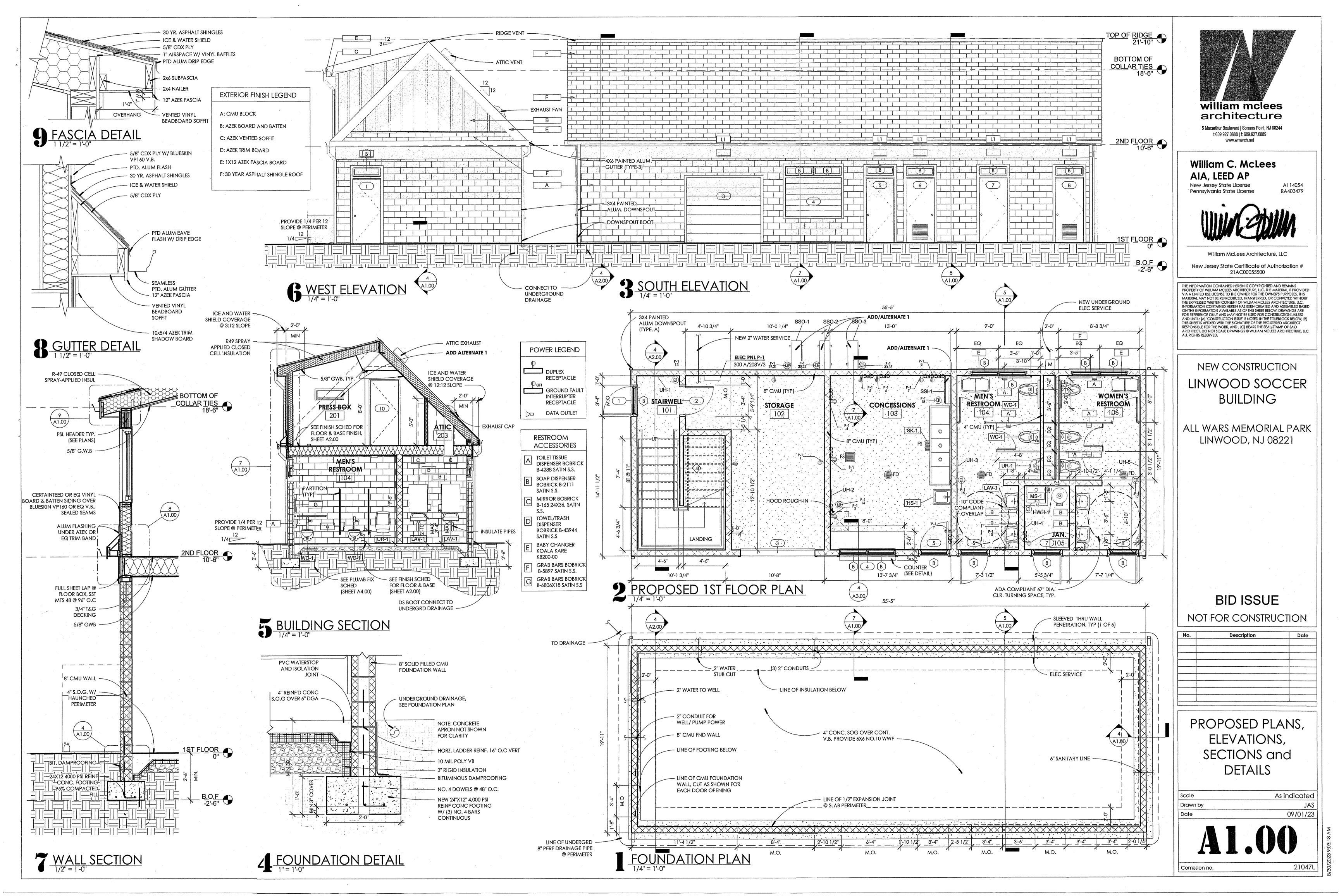
3" = 1'-0"

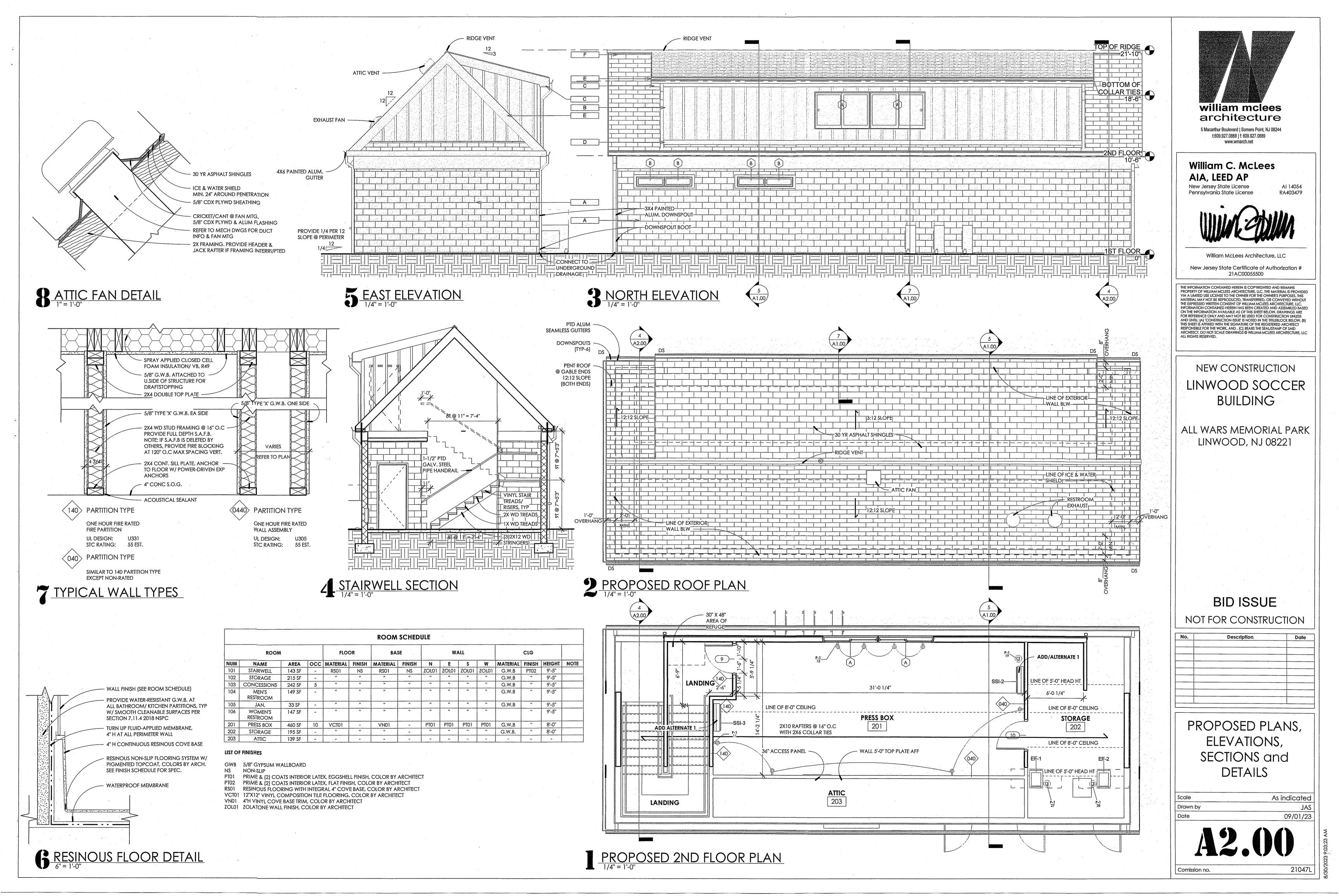
FLOOR SINK DETAIL

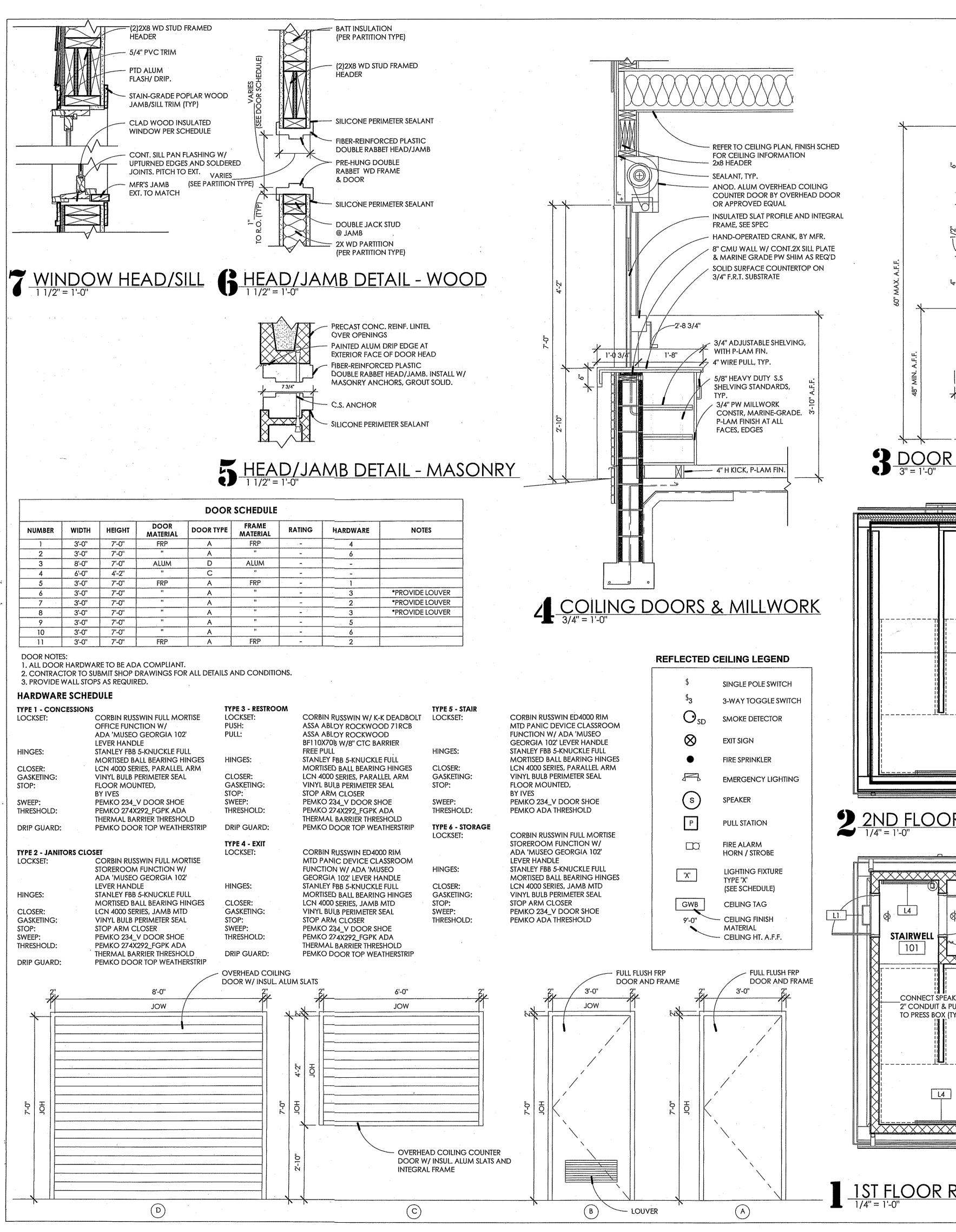
PROPOSED SITE PLAN

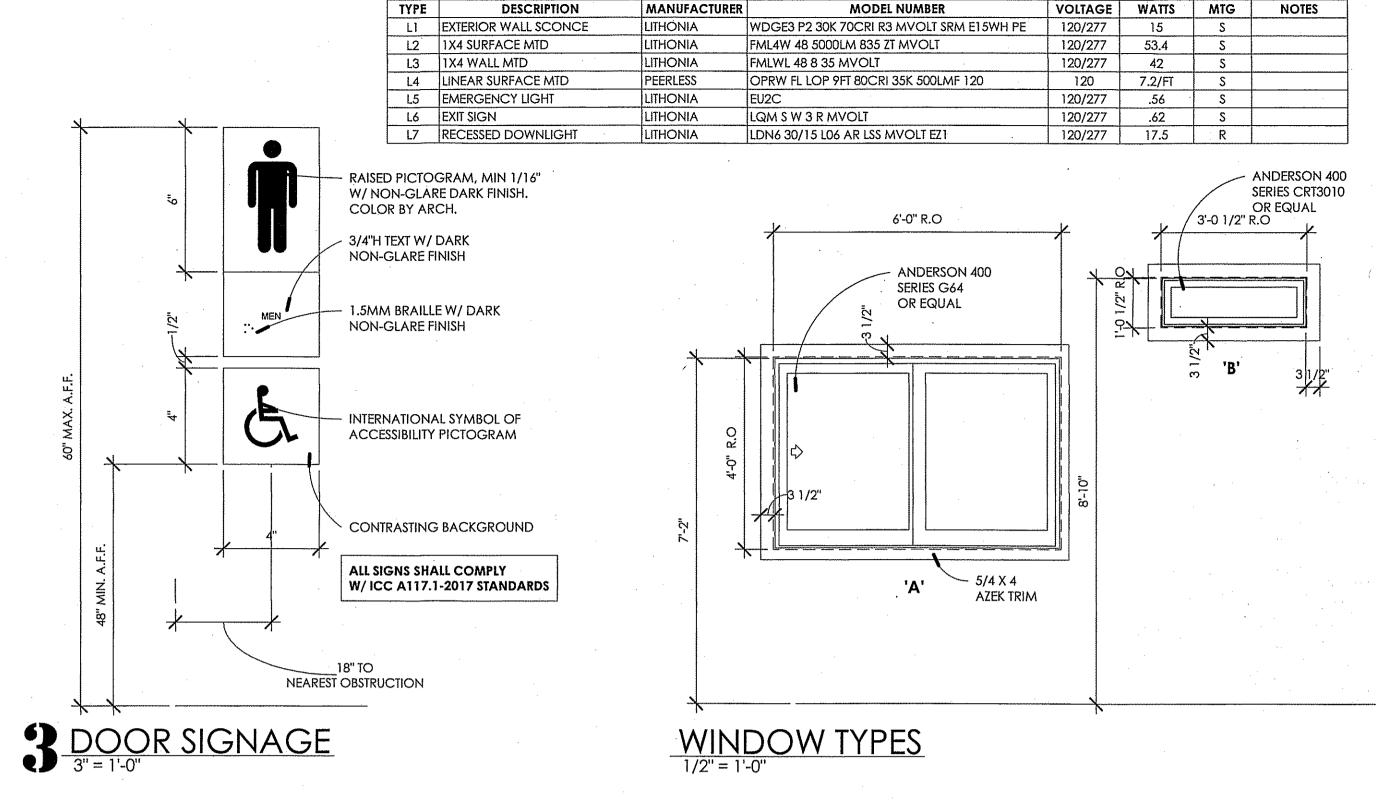
1" = 50'-0"

NEW 2-STORY MASONRY
& WD FRAMED UTILITY
BUILDING

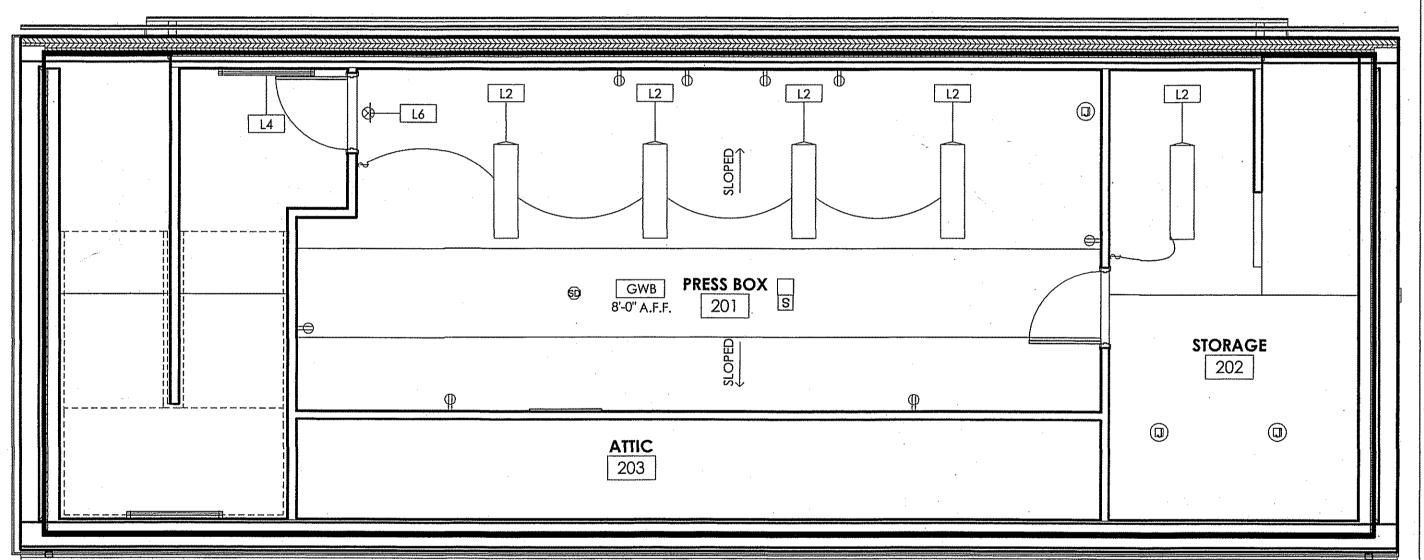




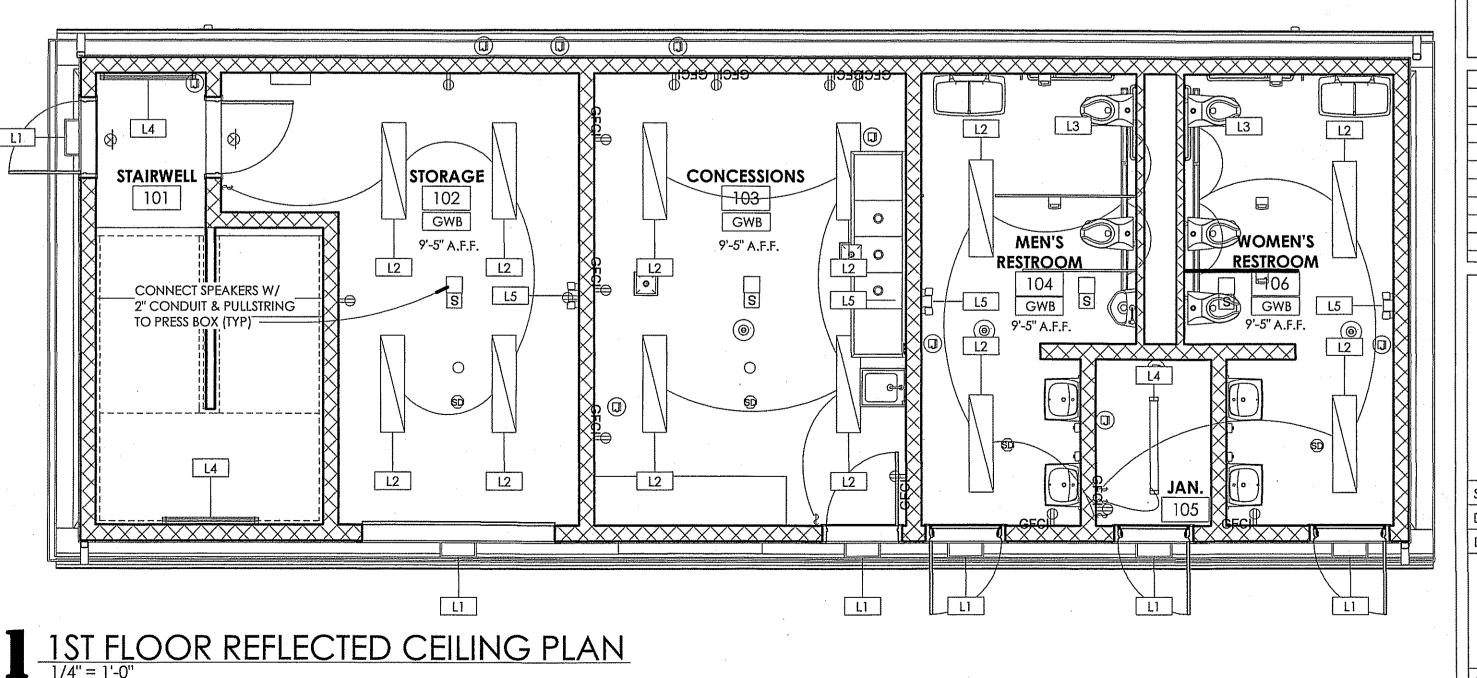


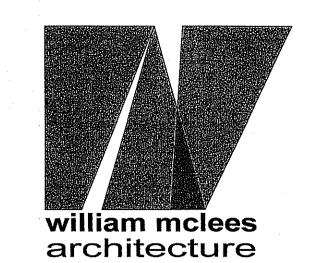


LIGHTING FIXTURE SCHEDULE



2ND FLOOR REFLECTED CEILING PLAN





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t:609.927.0888 | f: 609.927.0889

www.wmarch.net

William C. McLees

AIA, LEED AP New Jersey State License

Pennsylvania State License



AI 14054

RA403479

New Jersey State Certificate of Authorization # 21AC00055500

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NEW CONSTRUCTION LINWOOD SOCCER BUILDING

ALL WARS MEMORIAL PARK LINWOOD, NJ 08221

**BID ISSUE** 

NOT FOR CONSTRUCTION

No.	Description	Date

PROPOSED REFLECTED CEILING PLANS, SCHEDULES and DETAILS

Drawn by

Comission no.

As indicated

09/01/23

#### GENERAL

1. ALL ELECTRICAL WORK TO BE INSTALLED IN ACCORDANCE WITH THE 2020 EDITION OF THE NATIONAL ELECTRICAL CODE ADOPTED BY THE UNIFORM CONSTRUCTION CODE - STATE OF NEW JERSEY AND ANY OTHER PARTY HAVING JURISDICTION.

2. ALL ELECTRICAL MATERIALS AND EQUIPMENT FOR THE PROJECT SHALL BE NEW AND APPROVED BY UNDERWRITERS LABORATORY (U.L.) OR ANY OTHER NATIONALLY RECOGNIZED TESTING AGENCY UNLESS NOTED OTHERWISE ON DRAWINGS.

3. ALL NECESSARY PERMITS, INSPECTIONS, AND LICENSES SHALL BE PROCURED AND ALL FEES PAID BY THE CONTRACTOR. SUBMIT TO THE OWNER DUPLICATE CERTIFICATES OF INSPECTION FROM THE APPROVED INSPECTION AGENCY.

4. UPON COMPLETION OF THE WORK, THE ENTIRE WIRING SYSTEM SHALL BE FREE FROM GROUNDS, SHORT CIRCUITS, OPENS, OVERLOADS AND IMPROPER VOLTAGES.

5. PRIOR TO FINAL ACCEPTANCE OF THE WORK, A WRITTEN STATEMENT SHALL BE SUBMITTED TO THE OWNER GUARANTEEING ALL EQUIPMENT AND SYSTEMS AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP FOR ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. UPON NOTICE ALL DEFECTIVE EQUIPMENT, MATERIALS AND SYSTEMS SHALL BE PROMPTLY REPAIRED AT NO EXPENSE TO THE OWNER.

6. THIS SET OF DRAWINGS IS DIAGRAMMATIC IN NATURE AND INDICATES THE GENERAL ARRANGEMENT OF THE VARIOUS SYSTEMS AND APPROXIMATE LOCATIONS OF THE EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THAT THERE IS ADEQUATE SPACE AT THE LOCATIONS INDICATED FOR ALL EQUIPMENT PRIOR TO INSTALLATION OF SAME, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

7. ELECTRICAL CONTRACTOR SHALL SECURE SHOP DRAWINGS FROM OTHER CONTRACTORS AND VERIFY EXACT ELECTRICAL CHARACTERISTICS OF EQUIPMENT TO BE WIRED PRIOR TO ROUGH-IN. IF DISCREPANCIES ARE NOTED BETWEEN THE ELECTRICAL CONTRACT DRAWINGS AND OTHER CONTRACTOR SHOP DRAWINGS, ELECTRICAL CONTRACTOR IS TO NOTIFY ENGINEER AT ONCE. FAILURE TO PERFORM THIS DUTY WILL NOT RELIEVE THE ELECTRICAL CONTRACTOR OF THE RESPONSIBILITY TO CORRECT WIRING DEFICIENCIES AT NO EXPENSE TO THE OWNER.

8. ALL DEVICES OR EQUIPMENT SHOWN IN SYMBOL FORM SHALL BE WIRED TO ITS RESPECTIVE

9. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL AN ARC FLASH WARNING PLACARD THAT SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE TO QUALIFIED PERSONS BEFORE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF SWITCHBOARDS, PANELBOARDS. INDUSTRIAL CONTROL PANELS, AND MOTOR CONTROL CENTERS IN ACCORDANCE WITH ARTICLE 110.16 OF THE 2020 NEC.

10. ALL INTERIOR WIRING SHALL BE INSTALLED IN ELECTRICAL NONMETALLIC TUBING OR NONMETALLIC CABLE AND CONCEALED IN WALLS OR IN HUNG CEILING SPACE. ENT SHALL CONFORM TO ARTICLE 362 AND NM CABLE SHALL CONFORM TO ARTICLE 334 OF THE 2020 EDITION OF THE NATIONAL ELECTRICAL CODE. WHERE WIRING CANNOT BE CONCEALED IN FINISHED AREAS, IT SHALL BE RUN EXPOSED IN A NEAT MANNER VIA SURFACE RACEWAY. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE.

11. ALL WIRING, CONNECTIONS AND DEVICES SHALL BE PROVIDED TO COMPLY WITH THE GROUNDING REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND THE DRAWINGS UNLESS NOTED OTHERWISE. ALL EXPOSED NON-CURRENT CARRYING ELECTRICAL EQUIPMENT METALLIC PARTS, RACEWAY SYSTEMS AND WIRING SYSTEM GROUNDING CONDUCTORS SYSTEM SHALL BE GROUNDED.

12. PROVIDE A SEPARATE, GREEN-COLORED, INSULATED EQUIPMENT GROUNDING CONDUCTOR WITHIN EACH FEEDER AND BRANCH CIRCUIT RACEWAY. THIS CONDUCTOR SHALL BE SEPARATE FROM THE ELECTRICAL SYSTEM NEUTRAL CONDUCTOR. TERMINATE EACH END OF THIS GROUNDING CONDUCTOR ON A U.L. LISTED LUG, BUS OR BUSHING. THE GROUNDING CONDUCTOR SIZE SHALL BE IN ACCORDANCE WITH NEC, TABLE 250.122.

13. ALL CUTTING AND PATCHING REQUIRED FOR THE ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.

14. PANEL BOARD DIRECTORIES SHALL BE TYPED, AND UPDATED INDICATING NEW CIRCUITING AND DEVICE DESCRIPTION AS SHOWN ON DRAWINGS.

15. EXISTING EQUIPMENT FIXTURES, COMPONENTS, AND ALL OTHER RELATED APPURTENANCES WHICH ARE NO LONGER REQUIRED AS INDICATED ON DRAWINGS SHALL BE REMOVED AND BECOME PROPERTY OF THE OWNER.

16. ALL COMPONENTS OF EXISTING SYSTEMS REQUIRED TO BE MODIFIED, EXTENDED OR REUSED SHALL BE INSPECTED AND RETURNED TO A FIRST-CLASS OPERATING CONDITION. COMPONENTS SHALL BE CLEANED AND REPAINTED IF NECESSARY.

17. ALL DEMOLISHED MATERIALS SHALL BE CAREFULLY REMOVED FROM THE PREMISES BY THE MOST DIRECT PATH. ANY DAMAGE INCURRED BY THE REMOVAL PROCESS SHALL BE REPAIRED TO MATCH THE SURROUNDING WORK AND LEFT IN SATISFACTORY CONDITION. ALL AREAS SHALL BE CLEANED OF ALL DIRT AND DEBRIS RESULTING FROM DEMOLITION.

18. ALL HOLES OR VOIDS CREATED TO ROUTE CONDUIT OR METAL CLAD CABLE THROUGH FIRE RATED FLOORS AND WALLS SHALL BE SEALED WITH AN INTUMESCENT MATERIAL CAPABLE OF EXPANDING UP TO 8 TO 10 TIMES WHEN EXPOSED TO A TEMPERATURE OF 250 DEGREES FAHRENHEIT AND ABOVE. ACCEPTABLE SEALING MATERIAL SUCH AS 3M FIRE BARRIER CAULK, PUTTY, STRIP AND SHEET FORM SHALL HAVE I.C.B.O. AND BOCA APPROVED RATING OF 3 HOURS PER ASTM E-814 (U.L. 1479) AS PER NEC ARTICLE 300.21.

19. THE ELECTRICAL WORK RELATING TO THE PROJECT IS SHOWN. OTHER EXISTING ELECTRICAL AND SYSTEMS COMPONENTS HAVE BEEN LEFT OFF THE DRAWING OR CLARITY.

20. TWO OR THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP TYPE. SINGLE POLE BREAKERS WITH YOKED HANDLE WILL NOT BE PERMITTED.

21. THE ELECTRICAL CONTRACTOR SHALL NOT UTILIZE A "COMMON NEUTRAL" ON MULTIPLE BRANCH CIRCUITS. EACH SUCH CIRCUIT SHALL BE RUN WITH ITS OWN DEDICATED NEUTRAL WIRE.

22. WHERE CONDUIT RUNS CROSS STRUCTURAL EXPANSION JOINTS, LIQUID-TIGHT FLEXIBLE METAL CONDUIT SHALL BE USED TO TRANSITIONAL CONDUIT SYSTEM FROM ONE STRUCTURAL SECTION

23. THERMAL OVERLOAD PROTECTION SHALL BE IN COMPLIANCE WITH MOTOR MANUFACTURER'S SPECIFICATIONS.

24. WHERE CIRCUIT BREAKERS OR FUSES ARE APPLIED IN COMPLIANCE WITH THE SERIES COMBINATION RATINGS MARKED ON THE EQUIPMENT BY THE MANUFACTURER, THE EQUIPMENT ENCLOSURE(S) SHALL BE LEGIBLY MARKED IN THE FIELD TO INDICATE THE EQUIPMENT HAS BEEN APPLIED WITH A SERIES COMBINATION DEVICE RATING. THE MARKING SHALL BE READILY VISIBLE AND CONFORM TO ARTICLE 110.22 OF THE 2020 EDITION OF THE NATIONAL ELECTRICAL CODE.

25. PROVIDE NECESSARY COMMON GROUNDS BETWEEN THE ELECTRICAL SERVICE, TELEPHONE SERVICE, UNDERGROUND METALLIC PIPING, CONDUIT, AND FOUNDATION/FOOTING REBAR PER NEC ARTICLES 250.50 & 250.52

26. CONTRACTOR TO PROVIDE RECEPTACLES TO MATCH PLUGS FURNISHED WITH EQUIPMENT.

27. ALL LIGHTING AND POWER PANELS SHALL HAVE THEIR TOPS AT 6'-6" ABOVE FINISHED FLOOR.

28. PANEL BOARDS SHALL BE DEAD-FRONT, SAFETY-TYPE AND SHALL CONTAIN MAIN LUG RATINGS, BRANCH CIRCUIT BREAKERS, SPACES AND BUSSES AS INDICATED ON THE DRAWINGS.

29. PANEL BOARDS SHALL BE SUITABLE FOR FLUSH MOUNTING OR SURFACE MOUNTED

WITH MILLWORK CONSTRUCTOR AND ARCHITECT PRIOR TO ROUGH-IN.

INSTALLATION AS REQUIRED

30. ELECTRICAL CONTRACTOR SHALL LOCATE LIGHTING FIXTURES TO SUIT STRUCTURAL AND

ARCHITECTURAL CONDITIONS IN THOSE ROOMS WHERE BEAMS, DROPPED SOFFITS, ACCESS PANELS OR SIMILAR OBSTRUCTIONS REQUIRE A CHANGE IN LIGHTING FIXTURE LAYOUT.

31. ELECTRICAL CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL ELECTRICAL DEVICES

32. ALL LIGHTING CIRCUITS SHALL BE EQUIPPED WITH A DEVICE FOR DIMMING CONTROL. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE ARCHITECT, AND THE LIGHTING MANUFACTURER THE MEANS OF DIMMING.

**Branch Panel: P-1** 

Location: STORAGE 102 Supply From: Mounting: Surface

Enclosure: Type 1

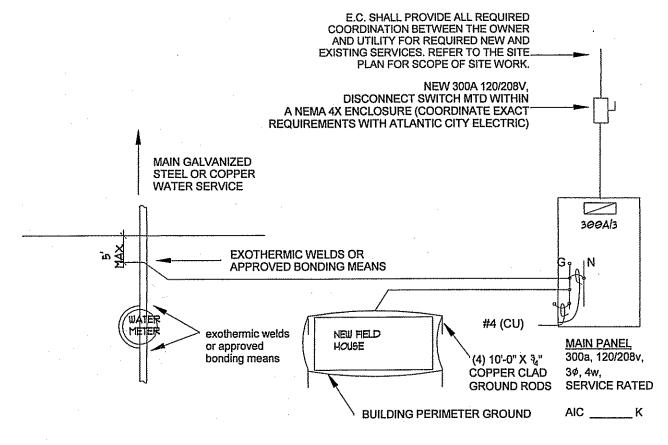
Volts: 120/208 Wye Phases: 3

A.I.C. Rating: Mains Type: Mains Rating: 100 A

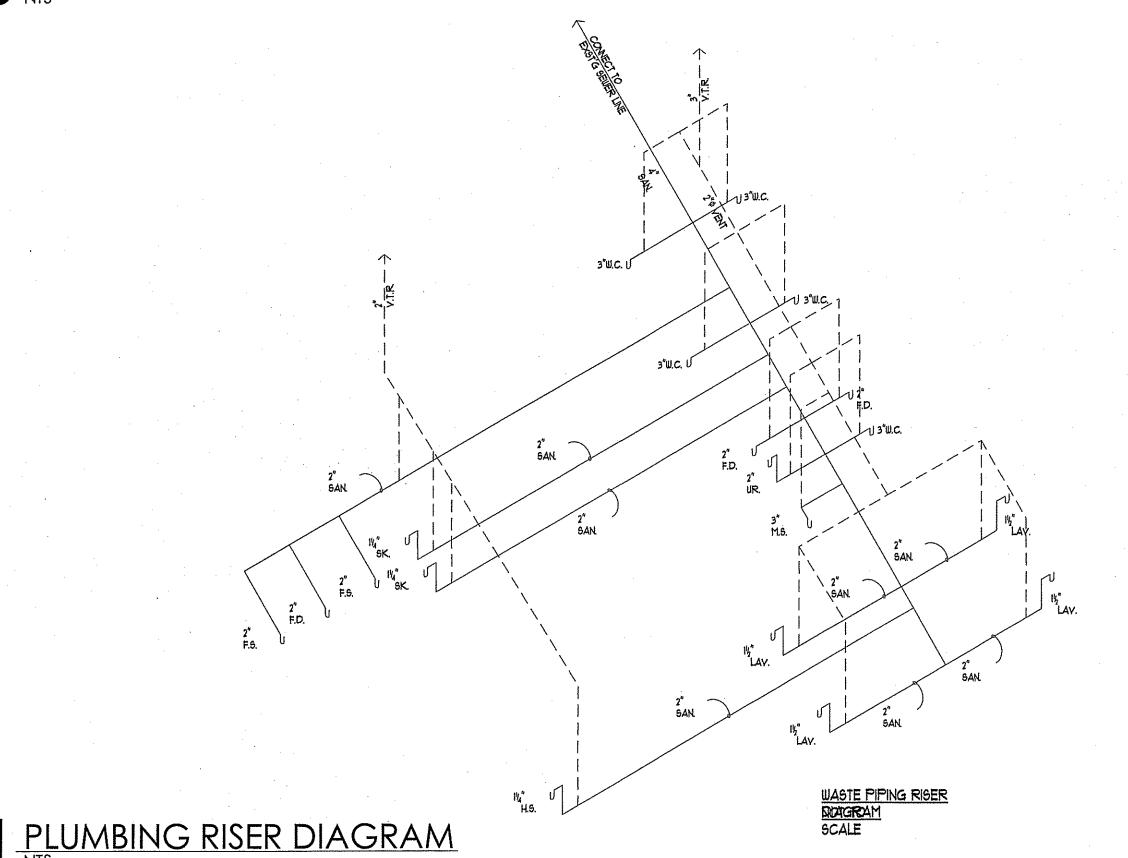
MCB Rating: 300 A

CK T	Circuit Description	Trip	P		Ą	ļ	В			P	Trip	Circuit Description	CK T
1	Receptacle	20 A	1	540 VA	180 VA		10.000		金花沙	1	20 A	Receptacle	2
3	Receptacle	20 A	1		and Children Children	180 VA	180 VA			1	20 A	Receptacle	4
5	Receptacle	20 A	1	35/25/1				180 VA	180 VA	1	20 A	Receptacle	6
7	Receptacle	20 A	1	180 VA	180 VA					1	20 A	Receptacle	8
9	Receptacle	20 A	1			180 VA	540 VA			1	20 A	Receptacle	10
11	Receptacle	20 A	1					720 VA	720 VA	1	20 A	Receptacle	12
13		20 A	1	500 VA	500 VA				73.00	1	20 A	Power	14
15	Power	20 A	1			500 VA	500 VA			1	20 A	Power	16
17	Power	20 A	1	19.55		100		500 VA	500 VA	1	20 A	Power	18
19	Power	20 A	1	500 VA	500 VA					1	20 A	Power	20
21				12/2/201	THE STATE		512 VA			1	20 A	Lighting	22
23	Lighting	20 A	1		A LOS M			256 VA	320 VA	1	20 A	Lighting	24
25		20 A	1	0 VA	0 VA					1	20 A	Lighting	26
27	Power	20 A	1			500 VA	500 VA			1	20 A	Power	28
29	Power	20 A	2				No Francis	250 VA	250 VA	2	20 A	Power	30
31			_	250 VA	250 VA					*****		-	32
33	Power	20 A	2	<b>经</b> 营运		250 VA							34
35				3.00				250 VA			-		36
37			1				I PARTY						38
39			1							-			40
41			1		3322								42
		Total L	oad:	358	O VA	382	0 VA	410	1 VA		·		

	i otal 30 A	32 A	34 A			
Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel	Totals	
Lighting	1088 VA	125.00%	1360 VA			
Power	6500 VA	125.00%	8125 VA	Total Conn. Load:	11499 VA	
Receptacle	3960 VA	125.00%	4950 VA	Total Est. Demand:	14373 VA	
				Total Conn. Current:	32 A	
	-			Total Est. Demand	40 A	
			:			
	·					



## 2 ELECTRICAL SINGLE LINE DIAGRAM



#### **PLUMBING NOTES**

#### GENERAL

1. ALL PLUMBING SHALL COMPLY WITH THE 2021 EDITION OF THE NATIONAL STANDARD PLUMBING CODE AS ADOPTED BY THE NEW JERSEY UNIFORM CONSTRUCTION CODE.

2. CONTRACTOR SHALL PROVIDE AND PAY ALL FEES AND PERMITS. THE DRAWINGS ARE INTENDED TO SHOW APPROXIMATE AND RELATIVE LOCATIONS

3. OF MATERIALS AND EQUIPMENT. DRAWINGS SHALL NOT BE SCALED TO DETERMINE EXACT POSITIONS AND CLEARANCES. BECAUSE OF DIAGRAMMATIC LAYOUT AND SMALL SCALE OF DRAWINGS, NOT ALL RISES, DROPS, OFFSETS, VENTS, TRAPS AND RELATED SPECIALTIES ARE INDICATED. PROVIDE ALL SUCH PIPING, FITTINGS, VALVES AND SPECIALTIES REQUIRED IN SUCH CASES TO INSURE A COMPLETE AND PROPERLY OPERATING INSTALLATION IN ACCORDANCE WITH CODES AND WITHOUT EXTRA COST TO

4. WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN PARTICULAR TRADE INVOLVED, THAT IS, PLUMBING WORK SHALL BE PERFORMED BY PLUMBERS, ELECTRICAL WORK SHALL BE PERFORMED BY ELECTRICIANS, MECHANICAL WORKED PERFORMED BY STEAM FITTERS AND SHEET METAL MECHANICS. ALL WORK SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROPER

5. AUTHORITIES HAVING JURISDICTION. CERTIFIED COPIES OF THESE APPROVALS SHALL BE DELIVERED TO THE OWNER BEFORE FINAL PAYMENT.

6. ESCUTCHEON PLATES SHALL BE PROVIDED ON ALL PIPE WHICH PASS THROUGH WALL PARTITIONS, FLOORS OR CEILINGS. PLATES SHALL BE ONE PIECE, CHROME FINISHED BRONZE. THE INSTALLATION OF ALL INSULATION SHALL BE PERFORMED BY AN EXPERIENCED.

7. CRAFTSMAN IN A NEAT WORKMAN-LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS FOR SERVICE INTENDED.

#### **CONTINUITY OF EXISTING SYSTEMS**

1. ALL WORK SHALL BE PERFORMED AT SUCH TIME AND IN SUCH MANNER AS WILL LEAST INTERFERE WITH MAINTENANCE AND OPERATION OF OWNER'S ACTIVITIES. PROVISIONS SHALL BE MADE TO PERMIT OWNER'S USE OF ALL THE BUILDING AND OF EXISTING SYSTEMS AT ALL TIMES. PROVIDE TEMPORARY FACILITIES TO SECURE THESE CONDITIONS. REMOVE TEMPORARY FACILITIES WHEN PERMANENT WORK HAS BEEN PLACED INTO SERVICE.

2. FULLY COORDINATE WITH ARCHITECT, OWNER AND ALL OTHER TRADES, ALL WORK INVOLVING SHUT-DOWN AND INTERRUPTION OF EXISTING SYSTEMS AND SERVICE.

3. SHUT-DOWN OF EXISTING SERVICES WHERE REQUIRED TO INSTALL NEW SYSTEMS OR ALTER EXISTING SHALL BE PERFORMED IN A MANNER THAT WILL NOT INTERFERE WITH OWNER'S OPERATIONS. ALL COSTS FOR PERFORMING THIS WORK SHALL BE BORNE BY THE CONTRACTOR AND WITHOUT "EXTRA" COST TO THE OWNER.

4. EXISTING SYSTEMS AND SERVICES THAT ARE TEMPORARILY DISCONNECTED, BUT ARE TO REMAIN IN USE, SHALL BE PERMANENTLY RECONNECTED AND RETURNED TO PROPER OPERATION.

5. FULLY COORDINATE WITH ARCHITECT, OWNER AND OTHER TRADES TO ENSURE COMPLETE CONTINUITY OF ALL SYSTEMS AND SERVICES.

#### GAS PIPING NOTES

1. GAS PIPING SHALL BE SIZED & INSTALLED AS PER 2021 INTERNATIONAL FUEL GAS CODE (IFGC) CHAPTER 4.

2. GAS PIPING 2" & SMALLER SHALL BE ASTM A53 SCH 40 BLACK STEEL PIPE WITH THREADED JOINTS IN ACCORDANCE WITH ANSI/ASME B1.20.1. THREAD JOINT COMPOUND SHALL BE RESISTANT TO THE ACTION OF NATURAL GAS.

GAS PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IFGC 2021 SECTION 407 & ANSI/MSS SP-58. HANGER SPACING SHALL BE IN ACCORDANCE WITH IFGC 2018 SECTION 415.

4. DRIP LEGS SHALL BE INSTALLED AT ANY POINT WHERE CONDENSATE COULD COLLECT AND AS REQUIRED BY AUTHORITY HAVING JURISDICTION, PIPING SHALL BE SLOPED NOT LESS THAN 1/4" IN 15 FEET TO PREVENT TRAPS.

5. PRIOR TO ACCEPTANCE & INITIAL OPERATION, ALL PIPING SHALL BE INSPECTED AND TESTED TO DETERMINE THAT THE INSTALLATION COMPLIES WITH THE REQUIREMENTS OF IFGC 2021 SECTION 406.

WATER CONDITIONING

AND BLADDER TANK

### EVHALIST EAM SCHEDILLE

				EVUM03	I LWIA 9	CHEDGE	.E				
UNIT	TYPE	MFGR	SERVING	MODEL NO	CFM	STATIC	DRIVE TYPE	RPM	HP	VOLTAGE	NOTES
F- [	INLINE	GREENHECK	MENS	BSQ70	150	.5	DIRECT	1445	1/4	120/1	1
2	INLINE	GREENHECK	WOMENS	BSQ70	200	.5	DIRECT	1577	1/4	120/1	

PROVIDE COMBINATION DISCONNECT SWITCH, BACKDRAFT DAMPER, HANGING RODS AND VIBRATION ISOLATION KIT, & ADJUSTABLE PULLEYS AND SHEAVES

	UNIT HEATER SCHEDULE												
UNIT	MFGR	MODEL	. CFM	KW	VOLTAGE	NOTES							
UH-1	QMARK	LFK151F	100	1500	120/1								

PROVIDE FAN ONLY OPERATION, SURFACE MOUNT KIT, TAMPER-PROOF COVER, INTEGRAL DOUBLE POLE THERMOSTAT, & BUILT-IN DISCONNECT

HOT WATER HEATER SCHEDULE											
UNIT	MFGR	MODEL NO	CAPACITY	RECOVERY	WATTS	VOLTAGE	NOTES				
HWH-1	BRADFORD WHITE	LE350S3-3	50 GAL	18 GAL	4500	208/1					

#### ADD/ALTERNATE #1

SPLIT SYSTEM A/C UNIT (INDOOR) SCHEDULE												
UNIT	MFGR	SS MODEL	COOLING	HEATING	AIRFLOW RATE	VOLTAGE	MCA	FUSE				
SSI-1	MITSUBISHI	PKA-A12LA	12,000	18,000	455	208/1	1					
SSI-2	MITSUBISHI	PKA-A12LA	12,000	18,000	455	208/1	1					
SSI-3	MITSUBISHI	PKA-A12LA	12,000	18,000	455	208/1	1					

SPLIT SYSTEM A/C UNIT (OUTDOOR) SCHEDULE											
Mark	MFGR	MODEL	COOLING	HEATING	VOLTAGE	MCA	NOTES				
)-1	MITSUBISHI	PUZ-A12NKA7-BS	12,000	18,000	208/1	11					
)-2	MITSUBISHI	PUZ-A12NKA7-BS	12,000	18,000	208/1	11					
)-3	MITSUBISHI	PUZ-A12NKA7-BS	12,000	18,000	208/1	11					

PROVIDE AND INSTALL SCHEDULED MECHANICAL EQUIPMENT ALONG WITH ALL ASSOCIATED SYSTEMS INCLUDING, BUT NOT LIMITED TO: EXTERIOR HOUSEKEEPING PAD, ELECTRICAL POWER FEED AND DISCONNECT SWITCHES, CONDENSATE LINES, AND MOUNTING HARDWARE.

KEY	DESCRIPTION	MANUFACTURER	MODEL	COLOR	CONNECTIONS					
					DCW	DHW	55	PROP		
WC	water closet	KOHLER	KINGSTON K-4325	WH	1"		4"	44.		
		· 🔄	K-4731-GC-O	44	-					
		SLOAN:	SOUS 8111-1.28	SS	73.	<b>-</b> 3.	57	u <del>a</del>		
UR	มกักal	KOHLER	BARDON K-4991-ET	WH	3/4"		2*			
		SLOAN	SOUS 8186-1.0	SS						
LAV	lavatory	KOHLER	K-2084-N K-8998	WH "	# <b>9</b> '	r.#	**	27		
		SLOAN	EBF-500	CP	1/2"	1/2"	1-1/4"			
MS	mop sink	FIAT	T5B3010	501						
		FIAT	830AA	Ç₽	1/2"	1/2"	3"			
ŀĺŜ	hand sink	ELKAY	EHS-18TSX	ŚŚ	3/8"	3/8"	1-1/4"			
SK .	3-comp sink	rb	3C-18X-18-0X	SS	_					
		<u></u>	LK940DSZOLZI4	SS	3/8"	3/8"	1-1/4"			
BC	baby changer	KOALA KARE	K8200-00	WH	43	p.e.	**	11.		

ALL DOMESTIC WATER PIPING ABOVE CELING AND IN WALLS!

PER NSPC 10.14.1, ALL WATER

A55E 1010 \$ PDI WH-201, TYP.

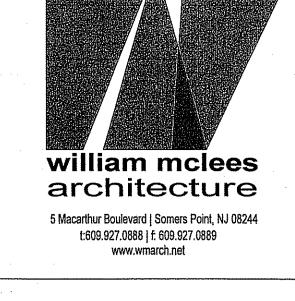
HAMMER ARRESTERS SHALL BE JR SMITH FIGURE 5005 THRU 5030

AS APPLICABLE & CERTIFIED TO

BE TESTED IN ACCORDANCE WITH

2° INSULATION.

CHASES SHALL BE INSULATED W/



William C. McLees AIA, LEED AP

New Jersey State License Pennsylvania State License



AI 14054

RA403479

William McLees Architecture, LLC

New Jersey State Certificate of Authorization # 21AC00055500

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NEW CONSTRUCTION LINWOOD SOCCER BUILDING

ALL WARS MEMORIAL PARK LINWOOD, NJ 08221

BID ISSUE

NOT FOR CONSTRUCTION

No.	Description	Date
-		
<u> </u>		

ELECTRICAL & PLUMBING NOTES SCHEDULES and DIAGRAMS

As indicated Drawn by

09/01/23

Comission no.

WATER PIPING RISER ROAGRAM SCALE

#### MECHANICAL NOTES

I. GENERAL NOTES, SYMBOLS, LISTS AND DETAILS ARE APPLICABLE TO ALL MECHANICAL DRAWINGS LABELED "M."

2. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK, MATERIALS AND LABOR TO PROVIDE COMPLETE AND WORKING MECHANICAL SYSTEMS WHETHER SPECIFIED OR IMPLIED.

3.THE ENTIRE MECHANICAL INSTALLATION SHALL CONFORM TO ALL THE LOCAL CODE, STATE

4. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS AS REQUIRED.

LAWS, AGA, BOCA, NBFU, NSPC, ASME AND ALL OTHER GOVERNING AUTHORITIES.

5. DO NOT SCALE THE DRAWINGS FOR EXACT DIMENSIONS. VERIFY ALL FIGURES, CONDITIONS, DIMENSIONS, ETC. AT THE JOB SITE.

6. CONTRACTOR SHALL GUARANTEE THE COMPLETE INSTALLATION AGAINST DEFECTS IN THE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE FINAL PROVIDE ALL NECESSARY CROSS-BREAKING AND DUCT REINFORCING AS REQUIRED PER ACCEPTANCE. THIS GUARANTEE SHALL BE BINDING REGARDLESS OF THE MANUFACTURER'S GUARANTEE AND THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DEFECTIVE MATERIALS OR PARTS REGARDLESS OF CAUSE (EXCLUDING DEFECTS TRACEABLE TO IMPROPER MAINTENANCE OR MALICIOUS DESTRUCTION OR ACTS OF GOD AFTER THE SYSTEM HAS BEEN ACCEPTED BY THE OWNER.)

7. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES TO PREVENT INTERFERENCE BETWEEN BEAMS, STRUCTURES, PIPING, LIGHTING, FIXTURES, ETC.

8. ALL MECHANICAL EQUIPMENT SHALL NE LOCATED AT A MINIMUM FLOOR ELEVATION OF 10.0 INSTALLED AS HIGH AS POSSIBLE. MSL OR EQUAL. PROVIDE ALL NECESSARY STRUCTURES.

9.ALL MATERIALS USED IN CONSTRUCTION SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS, A SMOKE DEVELOPMENT RATING OF 50 OR LESS, AND A FUEL CONTRIBUTED RATING OG 25 OR LESS. ALL MATERIALS SHALL BE "SELF-EXTINGUISHING."

10. ALL PIPING, CONDUIT AND DUCT PENETRATIONS OF "FIRE RATED BUILDING CONSTRUCTION" SHALL BE SLEEVED AND SEALED WITH A FIRE BARRIER MATERIAL EQUAL TO 3M "PENETRATION SEALING SYSTEMS," REFER TO ARCHITECTURAL DRAWINGS FOR FIRE RATING OF BUILDING CONSTRUCTION.

11. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS.

12. CONTRACTOR SHALL PROVIDE THREE (3) COMPLETE SETS OF BOUND OPERATING AND MAINTENANCE INSTRUCTIONS, CONTRACTOR SHALL INSTRUCT THE OWNER OR HIS AGENT WITH REGARD TO THE PROPER USE OF THE SYSTEM UNTIL SUCH INSTRUCTION IS COMPLETE TO THE OWNER'S SATISFACTION. OPERATION AND MAINTENANCE MANUAL SHALL INCLUDE A VALVE SCHEDULE IF VALVES ARE INSTALLED AS PART OF THE NEW WORK.

13. MECHANICAL CONTRACTOR SHALL LABEL ALL NEW MECHANICAL EQUIPMENT, PIPING AND CHASSES OR SUSPENDED CEILING. VALVES (INDOORS AND OUTDOORS) IN A PERMANENT MANNER. MECHANICAL PIPING SHALL BE LABELED WITH SELF-ADHESIVE PIPE MARKERS EQUAL TO MARKING SERVICES INC. (MSI) SERIES 12. PROVIDE RETURN AIR OPENINGS AS REQUIRED. OPENING SHALL BE SIZED FOR REQUIRED CFM MS-900 MARKERS. COMPLY WITH ASME A 13.1 FOR LETTERING SIZE, LENGTH OF COLOR FIELD, COLORS, AND VIEWING ANGLES OF IDENTIFICATION. DIRECTION OF FLOW SHALL BE IDENTIFIED WITH MS-900 FLOW DIRECTIONAL ARROW TAPE. VALVES SHALL BE IDENTIFIED WITH BRASS VALVE 13. SUPPORTS FOR DUCTS SHALL BE INSTALLED AT INTERVALS OF NOR MORE THAN 10 FEET. TAGS, ATTACHED WITH SOLID BRASS CHAINS AND "S" HOOKS. VALVE TAGS SHALL BE COORDINATED WITH VALVE SCHEDULE PROVIDED IN OPERATION AND MAINTENANCE MANUEL 14.FLEXIBLE DUCTWORK CONCEALED ABOVE CEILING SHALL BE EQUAL TO THERMAFLEZ PRO MECHANICAL EQUIPMENT SHALL BE LABELED WITH ENGRAVED PLASTIC TAGS WITH MOUNTING HOLES AND STAINLESS STEEL SCREWS. ALL LABELING SHALL HAVE HIGH CONTRAST BETWEEN LETTER AND BACKGROUND COLORS AND SHALL BE LOCATED FOR EASY VISIBILITY.

14. ALL MECHANICAL EQUIPMENT AND APPLIANCES INSTALLED SHALL BEAR THE LABEL OF AN APPROVED AGENCY.

15. THE ENTIRE MECHANICAL INSTALLATION SHALL BE MADE IN ACCORDANCE WITH THE 2021 INTERNATIONAL MECHANICAL CODE AND ANY SUPPLEMENTS.,

6. PROVIDE VIBRATION ISOLATION MOUNTINGS FOR ALL MOTOR OPERATED EQUIPMENTS AND AS RECOMMENDED BY THE MANUFACTURER.

17. ALL EXTERIOR WALL OPENINGS SHALL BE SLEEVED, PROPERLY CAULKED AND SEALED WITH A

18. MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR WHO SHALL PROVIDE POWER WIRING TO ALL MECHANICAL EQUIPMENT. MECHANICAL CONTRACTOR SHALL FURNISH LOOSE MOTOR STARTERS AND DISCONNECT SWITCHES FOR INSTALLATION AND WIRING BY THE ELECTRICAL CONTRACTOR. MECHANICAL CONTRACTOR SHALL PROVIDE ALL CONTROL AND INTERLOCK WIRING BY THE ELECTRICAL CONTRACTOR. MECHANICAL CONTRACTOR SHALL PROVIDE ALL CONTROL AND INTERLOCK WIRING AND ALL THERMOSTATS AND ACCESSORIES.

19. PROVIDE BALANCING OF ALL AIR SYSTEMS PER AABC OR NEBB STANDARDS. SUBMIT TEST DATA AND DEMONSTRATE IN FIELD. INCLUDE SOUND TESTING AS MAY BE REQUIRED.

20. SUBMIT 3/8" SCALE SHOP DRAWINGS FOR APPROVAL TO FABRICATION. COORDINATE WITH

21. SUBMIT TO THE ARCHITECT FOR APPROVAL, DUPLICATE SPECIFICATION SHEETS OF ALL EQUIPMENT SUPPLIED OR INSTALLED, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

AIR HANDLING UNITS EXHAUST FANS

**ELECTRIC HEATERS** 

GRILLES AND DIFFUSERS DUCTWORK AND INSULATION

CONTROLS.

22. A COMPLETE SET OF "AS-BUILT" DRAWINGS, (1) SET HARD COPY REPRODUCIBLE AND (1) SET ELECTRONIC FILES PRODUCED IN AUTOCAD FORMAT RELEASE 14 (MIN.) SHALL BE FURNISHED (1/8"=1'-0" SCALE MIN.) TO THE OWNER AND ENGINEER UPON REQUEST.

23. EQUIPMENT AND APPLIANCES HAVING AND IGNITION SOURCE AND LOCATED IN HAZARDOUS LOCATIONS AND PUBLIC GARAGES, PRIVATE GARAGES, REPAIR GARAGES, AUTOMOTIVE MOTOR FUEL-DISPENSING FACILITIES AND PARKING GARAGES SHALL BE ELEVATED INSULATION SHALL BE JOHN-MANVILLE "MICROLITE" OR APPROVED EQUAL. SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR SURFACE ON WHICH THE EQUIPMENT OR APPLIANCE RESTS. THE THE PURPOSE OF THIS SECTION (IBC 406.2.9.1), ROOMS OR SPACES THAT ARE NOT PART OF THE LIVING SPACE OF A DWELLING UNIT AND THAT COMMUNICATION DIRECTLY WITH A PRIVATE GARAGE THROUGH OPENINGS SHALL BE CONSIDERED PART OF THE PRIVATE GARAGE.

#### AIR HANDLING EQUIPMENT

. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL VIBRATION ISOLATION EXTERNAL OR INTERNAL TO BOTH AIR HANDLING UNITS AND ALL MOTOR OPERATED DEVICES. EXPECTED NOISE LEVELS SHALL CONFORM TO THE PREFERRED CRITERIA RECOMMENDATIONS AS SET FORTH IN ASHRAE 1991 HVAC APPLICATIONS HANDBOOK CHAPTER 42, PAGE 42.5. IT WILL BE THE MECHANICAL CONTRACTOR'S RESPONSIBILITY TO SELECT AND INSTALL VIBRATION ISOLATORS WHICH WILL ENABLE THE AFOREMENTIONED NOISE CRITERIA TO BE MET.

2. ALL EQUIPMENT SHALL BE TESTED, RATED AND CERTIFIED IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS SUCH AS AMCA, ARI, ASHARE AND IRB SHALL ALSO APPLY. EQUIPMENT SHALL BEAR LABELS OR APPROVAL BY APPLICABLE AGENCIES.

FAN MANUFACTURER SHALL SUBMIT FOR APPROVAL, TWO CERTIFIED PERFORMANCE CURVES FOR EACH FAN, ONE SHALL BE IN ACCORDANCE WITH AMCA TEST STANDARDS, THE OTHER SHALL INDICATE THE "DE-RATING" DUE TO ALL NECESSARY ALLOWANCE. NOT THAT THE "DE-RATING" CONDITIONS SHALL SATISFY THE DUTIES, AND SHALL BE CONFIRMED BY ACTUAL FIELD

4. DRIVES FOR ALL BELT DRIVEN EQUIPMENT SHALL INCLUDE PROPERLY SELECTED SHEAVES, MATCHED V-BELTS, ALL RATED FOR 150 PERCENT OF MOTOR HORSEPOWER.

5. PROVIDE FLEXIBLE DUCT CONNECTIONS ON SUPPLY, RETURN AND OUTDOOR AIR DUCTS TO ALL AIR HANDLING EQUIPMENT.

6. PROVIDE ROOF CURBS AND COUNTERFLASHING FOR ALL ROOF MOUNTED AIR HANDLING EQUIPMENT. BASE FLASHING SHALL BE BY OTHERS.

#### **DUCTWORK**

1. UNLESS OTHERWISE NOTED, ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL, G90 GRADE PER SMACNA. ALL DUCTS CONSTRUCTED OF GALVANIZED STEEL SHEET METAL SHALL HAVE MINIMUM GAUGE THICKNESS AS FOLLOWS:

**GRILLES, REGISTERS AND DIFFUSERS** 

**CONDENSATE PIPING** 

FINISHED INSULATIONS.

PVC FISTING COVERS.)

USING 95-5 TIN/ANTINOMY SOLDER.

PLUMBING LINES AS INDICATED ON DRAWINGS.

1. ALL SIZES OF CEILING DIFFUSERS, EXHAUST GRILLES AND RETURN GRILLES SHOWN ON DRAWINGS

4. ALL SIDEWALL MOUNTED SUPPLY GRILLES SHALL BE DOUBLE DEFLECTION UNLESS OTHERWISE NOTED.

2. ALL CEILING DIFFUSERS SHOWN ON DRAWINGS ARE 4-WAY UNLESS OTHERWISE NOTED.

5.ALL CEILING DIFFUSERS SHALL BE OF ALUMINUM CONSTRUCTION UNLESS OTHERWISE NOTED.

2.PROVIDE DIELECTRIC UNIONS IN PIPING WHERE DISSIMILAR METALS ARE JOINED TOGETHER.

4.ALL COOPER PIPING SHALL BE AS SHOWN IN THE DRAWINGS, OR NOT SHOWN, AS REQUIRED.

5. ALL CONDENSATE DRAIN LINES SHALL BE PIPED TO FULL SIZE OF THE UNITS DRAIN OUTLET AND

PROVIDED WITH A "P" TRAP SIZED AT MINIMUM TO EXCEED FAN STATIC PRESSURE. CONNECT

6. CONDENSATE DRAINAGE: DWV COPPER TUBING, PITCHED DOWN A MINIMUM OF 1/8" PER FOOT

7. INSULATION SHALL CARRY THROUGH ALL WALL AND FLOOR PENETRATIONS AND PIPE HANGERS

8. PROVIDE GALVANIZED METAL SHIELDS FORMED TO FIT THE INSULATION BETWEEN HANGERS AND

9.INSULATE CONDENSATE PIPING WITH 1/2" THICK "MICRO-LOK" AP INSULATION (PROVIDE ZESTON

1.REFRIGERANT PIPING SHALL BE TYPE "L" OR TYPE "ACR' HARD DRAWN COPPER WITH WROUGHT

5. CONDENSATE DRAIN PIPING SHALL BE DWV COPPER WITH WROUGHT COPPER FITTINGS, JOINED

6. ALL CONDENSATE DRAIN LINES SHALL BE PIPED TO FULL SIZE OF THE UNITS DRAINS AND PROVIDED

OVERFRAMED ROOF DOOR\_-

W/ AZEK BOARD & BATTEN

2X8 @ 16" O.C. WD RAFTER.

AZEK FASCIA BOARD &

2X6 @ 16"O.C. WD CEILING

JOIST W/ 5/8" PLYWD

PT 6X6 W/ AZEK TRIM

WRAP, PROVIDE SST

MOMENT POST BASE.

4" REINF'D CONC S.O.G W/

HAUNCHED PERIMETER

95% COMPACTED FILL

OVER 6" DGA

8" SOLID FILLED

CMU WALL

SHEATHING & 1/2" AZEK

2X6 WD SUBFASCIA

(3)2X12 WD

5/8" SHEATHING . ICE & WATER

SHEATHING

30 YEAR ASPHALT

SHINGLE ROOF

WITH A "P" TRAP AT MINIMUM TO EXCEED FAN STATIC PRESSURE. CONNECT CONDENSATE DRAINS TO

COPPER FITTINGS, JOINED USING 45% SILVER BRAZING SOLDER AND SILVER BRAZING FLUX.

PROVIDE LIQUID LINE REFRIGERANT SIGHT GLASS/MOISTURE INDICATOR.

4. INSULATE REFRIGERANT SUCTION LINE WITH 1/2" THICK ARAMAFLEX INSULATION.

3. PROVIDE LIQUID AND SUCTION LINE FILER/DYERS AS REQUIRED.

7. ALL CEILING DIFFUSERS SHALL BE 24"x24" LAY-IN MODULES UNLESS OTHERWISE NOTED.

1. PIPING SHALL BE RIGIDLY SUPPORTED AT INTERVALS OF NOT MORE THAN 10 FEET.

ARE MODEL SIZES, NECK SIZES ARE INDICATED WITH THE ABBREVIATION OF "NK."

3. ALL CEILING DIFFUSERS SHALL HAVE OPPOSED BLADE DAMPERS.

CONDENSATE DRAINS TO PLUMBING AS INDICATED ON DRAWINGS.

6. PROVIDE SQUARE TO ROUND ADAPTERS AS NECESSARY.

THROUGH -OVER

THROUGH

SMACNA RECOMMENDATIONS.

2.ALL DUCTWORK SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED PER SMACNA STANDARDS. 3. THE SIZE OF ALL PIPING SHALL BE JOINED USING 95-5 TIN/ANTIMONY SOLDER.

3. DUCT SIZES SHOWN ON DRAWINGS ARE CLEAR DIMENSIONS.

4. COORDINATE LOCATION OF DUCT WORK, PIPING, AND DIFFUSERS WITH ALL OTHER TRADES.

5.ALL DUCTWORK AND PIPING ABOVE CEILING AND IN AREAS WITHOUT CEILINGS SHALL BE

6. PROVIDE VOLUME DIAMETERS AT ALL DUCT BRANCHES AND RUNOUTS. PROVIDE OPPOSED BLADE VOLUME DAMPERS AT ALL REGISTERS, GRILLES, AND DIFFUSER NECKS IN SUPPLY, RETURN AND EXHAUST DUCTWORK WHETHER SHOWN ON DRAWINGS OR NOT.

7. PROVIDE AT MINIMUM 10 GAUGE STEEL SLEEVES FOR ALL DUCT PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS. PROVIDE PIPE SLEEVES FOR ALL MECHANICAL PIPING PENETRATING THROUGH FIRE RATED WALLS, FLOORS, AND PARTITIONS. SEAL ALL ANNULAR SPACE BETWEEN SLEEVES AND DUCTWORK OR PIPING WITH A FIRE BARRIER MATERIAL EQUAL TO 3M "PENETRATING SEALING SYSTEM."

8. THE INSIDE DUCTWORK VISIBLE THROUGH A GRILLE OR DIFFUSER SHALL BE PAINTED FLAT BLACK. REFRIGERANT PIPING NOTES

9.THE MECHANICAL CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF MASONRY RETURN AIR OPENINGS AND RECESSED EQUIPMENT WITH THE GENERAL CONTRACTOR.

10. ALL RETURN AIR OPENINGS SHALL BE ABOVE CEILING UNLESS NOTED OTHERWISE. PROVIDE AND INSTALL WIRE MESH SCREENS ON ALL OPENINGS.

11. ALL PIPING AND DUCTS IN FINISHED ROOMS OR SPACES SHALL BE CONCEALED IN FURRED

AT A VELOCITY NOT TO EXCEED 500 FEET PER MINUTE. PROVIDE LINTELS AS REQUIRED.

SERIES G-KM INSULATED FLEXIBLE DUCT (R-VALUE=4.2) WITH POLYETHYLENE VAPOR BARRIER JACKETING, FLEXIBLE DUCT EXPOSED TO VIEW SHALL BE EQUAL TO THERMOFLEX M-KE INSULATED FLEXIBLE DUCTWORK WITH REINFORCING METALLIZED VAPOR BARRIER JACKETING. FLEX DUCT SHALL BE U.L. LISTED AND LABELED AS A CLASS 1 AIR DUCT, STANDARD 181. FLEX DUCT SHALL BE CONNECTED TO BRANCHES AND MAINS USING CONICAL FITTINGS AND SHALL NOT EXCEED 10'-0" IN LENGTH INCLUDING ONE ELBOW. FLEXIBLE DUCTWORK SHALL NOT BE USE AS RETURN AIR OR EXHAUST DUCTWORK.

15.ALL DUCTWORK SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED PER SMANCA STANDARDS AND FOR PRESSURES OF 2" E.S.P. SEAL ALL LONGITUDINAL SEAMS AND TRANSVERSE JOINTS WITH THE FIRE-PROOF SEALANT FOR "AIR-TIGHT" APPLICATION.

16. PROVIDE TYPE "B, DYNAMIC FIRE DAMPERS IN DUCTS WHERE DUCT PENETRATES FIRE-RATED WALLS, FLOORS, CEILINGS, ETC. WHERE SHOWN ON DRAWINGS AND AS REQUIRED BY THE INTERNATIONAL MECHANICAL CODE 2015. FIRE DAMPERS SHALL COMPLY WITH REQUIREMENTS Of UL 555. DAMPERS SHALL HAVE A MINIMUM OF 1.5 HOURS FOR PENETRATIONS OF LESS THAN 3-HOUR FIRE-RESISTANCE-RATED ASSEMBLIES AND A MINIMUM RATING OF 3-HOURS FOR PENETRATION OF 3-HOUR OR GREATER FIRE-RESISTANCE-RATED ASSEMBLIES. PROVIDE ACCESS DOORS FOR ALL DAMPERS OR OTHER APPROVED MEANS OF ACCESS. 24"x24" LAY-IN MODULES UNLESS OTHERWISE NOTED.

17.DUCT SMOKE DETECTORS AND ASSOCIATED AUDIO/VISUAL DEVICES SHALL BE FURNISHED AND WIRED BY ELECTRICAL CONTRACTOR. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL DUCT SMOKE DETECTORS AND INSTALL ALL REQUIRED CONTROL WIRING TO AUTOMATICALLY SHUT DOWN FANS AS OUTLINED IN SPECIFICATIONS.

18. DUCTWORK FOR DISHWASHER SHALL BE CONSTRUCTED OF STAINLESS STEEL. ALL SEAMS AND JOINTS ARE TO BE WELDED.

19. EXTERIOR LOUVERS ARE INDICATED FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL EXTERIOR LOUVERS.

20. COORDINATE ALL ROOF PENETRATIONS WITH WORK OF OTHER TRADES AND WITH FLASHING REQUIREMENTS.

#### DUCTWORK INSULATION

1. AL SHEET METAL SUPPLY AND RETURN AIR DUCTWORK SHALL BE WRAPPED WITH 1-1/2" THICK FIBERGLASS DUCT INSULATION HAVING AN INSTALLED R-VALUE OF 4.5, A THERMAL CONDUCTIVITY OF .27 AT MEAN TEMPERATURE OF 75 DEGREE F, AND A DENSITY OF 1.0 PCF, INSULATION SHALL BE JOHN-MANVILLE "MICROLITE" OR APPROVED EQUAL.

2. OUTDOOR AIR DUCTWORK BETWEEN OA INTAKE DEVICE AND UNIT SHALL BE WRAPPED WITH 2" THICK FIBERGLASS DUCT INSULATION HAVING AN INSTALLED R-VALUE OF 4.5, A THERMAL CONDUCTIVITY OF .27 AT MEAN TEMPERATURE OF 75 DEGREES F, AND A DENSITY OF 1.0 PCF.

3.EXHAUST DUCTWORK SHALL BE UNINSULATED EXCEPT BETWEEN BACKDRAFT DAMPER AND ROOF CURB. EXHAUST DUCTWORK BETWEEN BACKDRAFT DAMPER AND CURB SHALL BE INSTALLED IN THE SAME MANNER AS OUTDOOR AIR DUCTWORK.

4.INSULATION MUST BE FIRE-RATED FOR FLAME SPREAD OF 25 OR LESS AND SMOKE DEVELOPED

SOUTH ELEVATION

1/4" = 1'-0"

5. INSULATION TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

EAST ELEVATION

1/4" = 1'-0"

BUILDING SECTION

1/2" = 1'-0"

WEST ELEVATION

1/4" = 1'-0" NORTH ELEVATION

1/4" = 1'-0"

STRUCTURAL NOTES

WOOD FRAMING:

ALL STRUCTURAL FRAMING LUMBER SHALL BE FINGER JOINTED HEM FIR #2, DOUGLAS FIR- IN 28 DAYS UNLESS SPECIFICALLY NOTED OTHERWISE. LARCH #2 OR BETTER.

LUMBER DESIGN IS BASED ON THE FOLLOWING: EXTREME FIBER BENDING.

..1000 PSI (SINGLE MEMBER USES) AND LOCAL CODES. ..1150 PSI (REPETITIVE MEMBER USES) .1,400,000 PSI MODULUS OF ELASTICITY... HORIZONTAL SHEAR.. ...75 PSI

COMPRESSION PERPENDICULAR TO THE GRAIN...400 PSI

PARALLEL STRAND LUMBER BEAMS (PSL) DESIGN IS BASED ON THE FOLLOWING: EXTREME FIBER BENDING.. MODULUS OF ELASTICITY... ...2,000,000 PSI HORIZONTAL SHEAR.. ..285 PSI

COMPRESSION PERPENDICULAR TO THE GRAIN...500 PSI

PREFABRICATED WOOD "I" BEAM JOISTS, COMPOSED OF LAMINATED TOP AND BOTTON CHORDS AND PLYWOOD WEBS, MANUFACTURED BY TRUS-JOIST OR AN APPROVED EQUAL SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE N.J. I.B.C. AND A.I.T.C. STANDARDS TO SUPPORT THE LOADINGS AS SPECIFIED ON THE DRAWINGS AND CERTIFIED BY THE MANUFACTURER'S ENGINEER, LICENSED IN THE STATE OF NEW JERSEY. CERTIFIED SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

ALL BEAMS SHALL BE FLUSH FRAMED UNLESS SPECIFICALLY NOTED THUS "DROP"

USE 3½"X9 ½" PSL HEADERS UNLESS NOTED OTHERWISE.

FRAME ALL EXTERIOR WALLS WITH 2X6 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.

FRAME ALL INTERIOR WALLS WITH 2X4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.

PROVIDE A (3)2X STUDS MIN. AT EACH BEAM/HEADER BEARING LOCATION AND (2) 2X STUDS AT EACH WINDOW MULLION UNLESS NOTED OTHERWISE. ALL POSTS MUST RUN

ALL STUDS MUST RUN CONTINUOUS TO EITHER BEAM SUPPORTS OR THE FOUNDATION.

CONTINUOUS TO EITHER BEAM SUPPORTS OR THE FOUNDATION. INSTALL DOUBLE-JOISTS UNDER EACH PARTITION RUNNING PARALLEL TO THE JOIST SPAN.

NAILING OF ALL FRAMING SHALL BE IN ACCORDANCE WITH TABLE 2305.2 FASTENING SCHEDULE OF THE N.J. I.B.C.

STUD SIZE AND CORRESPONDING MAXIMUM EXTERIOR WALL HEIGHT SHALL BE AS FOLLOWS: 2X4 AT 16"O.C. WALL HEIGHT LESS THAN 8'-6"

WALL HEIGHT LESS THAN 13'-6' 2X6 AT 16"O.C. 2X8 AT 16"O.C. WALL HEIGHT LESS THAN 17'-6' CONCRETE AND REINFORCING NOTES:

ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI

ALL CONCRETE SHALL BE REINFORCED AND ERECTED IN ACCORDANCE WITH THE BUILDING REGULATIONS FOR REINFORCED CONCRETE AS ADOPTED BY ACI 301

THIS WORK SHALL CONFORM TO ACI 301 STANDARD SPECIFICATIONS FOR REINFORCED CONCRETE.

ALL REINFORCING SHALL BE DEFORMED BARS INTERMEDIATE GRADE ASTM A615 GRADE 60. DETAILS OF REINFORCEMENT AND ACCESSORIES SHALL BE FABRICATED AND PROVIDED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. BARS SHALL BE LAPPED A MINIMUM OVERLAP OF 36 BAR DIAMETERS AT SPLICES UNLESS INDICATED OTHERWISE. WELDED WIRE FABRIC (ASTM A185) SHEETS SHALL LAP 8" MIN. AT SPLICES.

MASONRY NOTES:

ALL STRUCTURAL MASONRY SHALL BE A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AND SHALL BE MANUFACTURED USING LIGHTWEIGHT AGGREGATES.

ALL MORTAR SHALL BE TYPE 'S' MINIMUM, COLOR BY ARCHITECT.

ALL MASONRY WALLS SHALL BE REINFORCED WITH MINIMUM 9 GAGE TRUSSED WALL REINFORCING AT 16" O.C. VERTICAL, LAP AT ALL CORNERS AND INTERSECTIONS.

ALL BLOCK MASONRY IN BEARING WALL CONDITIONS SHALL BE MANUFACTURED, TESTED AND INSTALLED IN ACCORDANCE WITH THE SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

THE CONTRACTOR/INSTALLER SHALL BE RESPONSIBLE FOR BRACING OF ALL MASONRY WORK UNTIL BUILDING IS CLOSED IN AND COMPLETE.

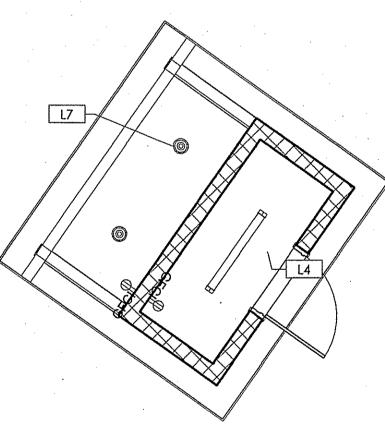
DESIGN LOAD SCHEDULE:

AS GOVERNED BY THE 2021 N.J. I.B.C.

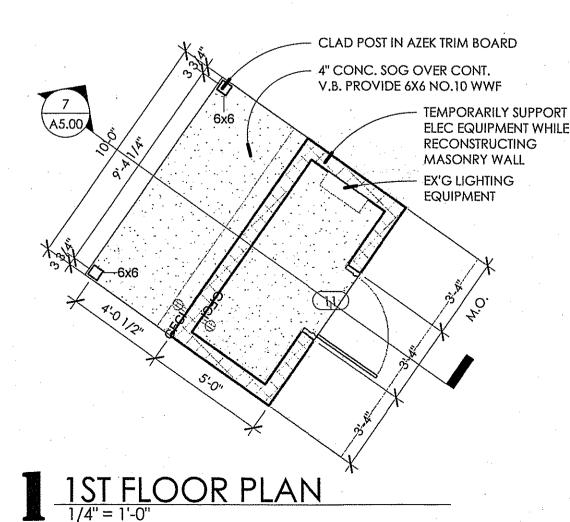
WEIGHT OF ALL BUILDING COMPONENTS COMMERCIAL LIVE LOAD: RESIDENTIAL 40 PSF SLEEPING AREAS ATTIC SPACES 20 PSF ROOF LOADS: LIVE 20 PSF ROOF EXPOSURE FACTOR = 0.7 SNOW IMPORTANCE FACTOR = 1.0

WIND LOADS: 125 MPH BASIC WIND SPEED (3-SECOND GUSTS) EXPOSURE CLASSIFICATION D WIND IMPORTANCE FACTOR = 1.0

AV = AA = HAZARD EXPOSURE GROUP II SOIL PROFILE TYPE S4 - COEFFICIENT = 2.0 PERFORMANCE CATEGORY B RESPONSE MODIFICATION FACTOR R = 4.5DEFLECTION AMPLIFICATION FACTOR CD



2 1ST FLR REFL. CLG. PLAN



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NEW CONSTRUCTION LINWOOD SOCCER

ALL WARS MEMORIAL PARK LINWOOD, NJ 08221

BID ISSUE

NOT FOR CONSTRUCTION

LIGHTING CONTROL BUILDING PLANS, SECTION, ELEVATIONS and NOTES

As indicated 09/01/23

Comission no.