

The City of Linwood

Atlantic County, New Jersey

All Wars Memorial Park Fieldhouse

City Council

Darren Matik, Mayor
Blair Albright
June Byrnes
Stacy DeDomenicis
Eric Ford
Matthew Levinson
Todd Michael
Adam Walcoff

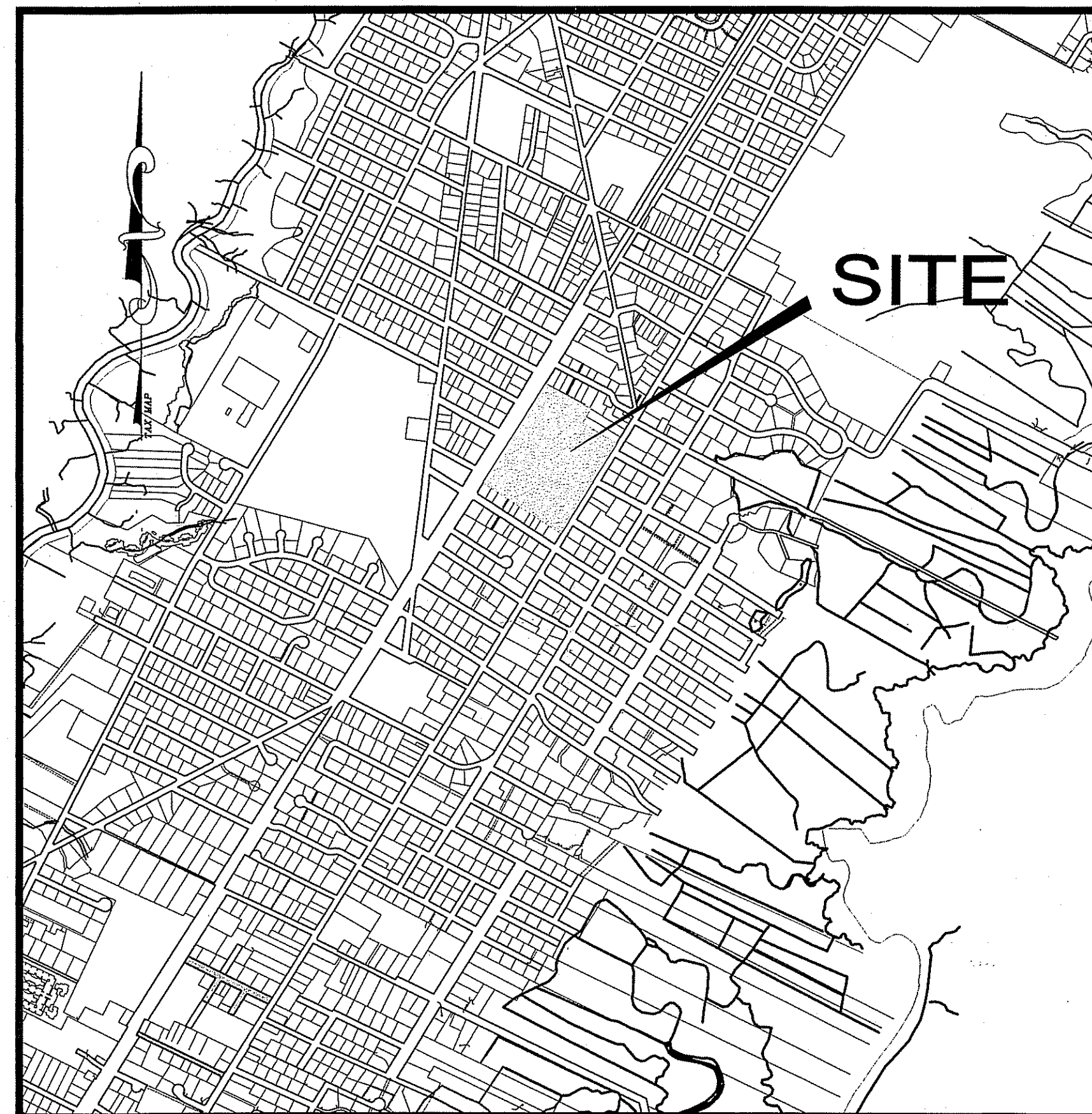
City Clerk

Leigh Ann Napoli, RMC

Contract No.40
October 2023
PA #7501.22

GENERAL NOTES

1. ALL TRAFFIC SIGN (REGULATORY, WARNING OR CONSTRUCTION SIGN) PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "STANDARD HIGHWAY SIGNS" AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
2. ALL CONSTRUCTION UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE 2019 NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, THE 2016 NJDOT STANDARD CONSTRUCTION DETAILS, AND AS AMENDED OR SUPPLEMENTED BY THE CONTRACT SPECIFICATIONS.
3. PURSUANT TO NJAC 5:23 - 2.21 (A) AND (C) OF THE UNIFORM CONSTRUCTION CODE, THE GENERAL CONTRACTOR IS HEREBY DESIGNATED AS THE "RESPONSIBLE PERSON IN CHARGE OF CONSTRUCTION" AND THE "SITE SUPERVISOR RESPONSIBLE FOR CONSTRUCTION SITE SAFETY" DURING THE COURSE OF SITE IMPROVEMENTS.
4. ALL CURBING, HANDICAP RAMPS, SIDEWALKS AND DETECTABLE WARNING SURFACES (EXISTING, NECESSARY OR PROPOSED) INSIDE PROJECT LIMITS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST DESIGN STANDARDS SET FORTH BY BARRIER-FREE DESIGN, SELECTED FEDERAL LAWS, ADA ACCESSIBILITY GUIDELINES, AND NJDOT STANDARD ROADWAY CONSTRUCTION DETAILS. CONTRACTOR SHALL PAY SPECIAL ATTENTION TO DETECTABLE WARNING SURFACE MATERIAL REQUIREMENTS. PROVIDE CROSSWALKS AS PER THE NJDOT REQUIREMENTS AND NJDOT "BASELINE DOCUMENT CHANGE ANNOUNCEMENT - BDC168-02", AND CONSTRUCT PUBLIC SIDEWALK CURB RAMPS AND CROSSWALKS IN ACCORDANCE WITH THE NJDOT DESIGN MANUAL - ROADWAY.
5. ALL MATERIAL REMOVED FROM THE CONSTRUCTION AREA BY THE CONTRACTOR SHALL BE LEGALLY AND PROPERLY DISPOSED OF AT A LAWFUL LANDFILL OR RECYCLE STATION OFFSITE. NO TREE LIMBS, TREE TRUNKS, EXCAVATED ROOT MATERIAL, OR EXCAVATED ROADWAY MATERIAL SHALL BE BURIED. ALL USABLE EXCAVATED MATERIAL SHALL BE UTILIZED ON SITE AS BORROW OR STRUCTURAL FILL.
6. CONTRACTOR DAMAGE TO ANY EXISTING FEATURES SUCH AS, BUT NOT LIMITED TO, CONCRETE CURB, CONCRETE WALK, TREES, SHRUBS, LAMP POSTS, MAILBOXES, PLANTER AREAS, PRIVATE LAWNS, DRIVES, AND IRRIGATION SYSTEMS NOT SCHEDULED FOR REMOVAL SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL VERIFY IN FIELD ALL CONDITIONS AS SHOWN ON THE PLANS AND BE RESPONSIBLE FOR FIELD MEASUREMENTS FOR ALL NEW CONSTRUCTION.
8. CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS IMPOSED BY ALL REGULATORY AGENCIES HAVING JURISDICTION AS IT RELATES TO THE CONSTRUCTION AND MAINTENANCE OF THE IMPROVEMENTS.
9. CONTRACTOR TO BE RESPONSIBLE FOR ANY CONSTRUCTION LAYOUT AND BEAR ALL EXPENSES THEREWITH. PAYMENT FOR CONSTRUCTION LAYOUT WILL BE MADE BY LUMP SUM IN ACCORDANCE WITH THE CONTRACT.
10. CONTRACTOR SHALL OBTAIN ALL UTILITY MARKOUTS PRIOR TO CONSTRUCTION BY CALLING 1-800-272-1000. CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND FEATURES, STRUCTURES AND FACILITIES BOTH HORIZONTAL AND VERTICAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF ANY UTILITIES NECESSARY. WORK WILL BE COMPLETED AT NO ADDITIONAL COMPENSATION TO THE CONTRACTOR UNLESS SPECIFICALLY NOTED ON THE CONTRACT PLANS.
11. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES A MINIMUM OF 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATED EFFORTS BETWEEN THE UTILITIES IN THE EVENT OF CONFLICTS.
12. CONTRACTOR TO NOTIFY ALL AFFECTED RESIDENTS BY MEANS OF A DOOR HANGER A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION AND PAVING. THE DOOR HANGER SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO DISTRIBUTION.
13. ALL DISTURBED EARTH SURFACES SHALL BE RESTORED AND SEEDED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AS DIRECTED BY THE ENGINEER.
14. WHERE CURB IS TO BE CONSTRUCTED IN AREAS WHERE ROADWAY WIDENING IS SCHEDULED, THE CONTRACTOR SHALL EXERCISE CARE WHEN REMOVING EXISTING CURB OR CONSTRUCTING NEW CURB SO AS TO MINIMIZE THE EXTENT OF DISTURBANCE. COST OF RESTORATION SHALL BE INCLUDED IN UNIT PRICE FOR CONCRETE CURB UNLESS NOTED OTHERWISE.
15. TOPOGRAPHICAL SURVEY PERFORMED BY POLISTINA & ASSOCIATES IN FEBRUARY & MARCH OF 2021 AND IN FEBRUARY OF 2022. BOUNDARY INFORMATION TO BE VERIFIED BY CONTRACTOR IF NECESSARY. UTILITY INFORMATION IS APPROXIMATE & BASED ON AVAILABLE INFORMATION PROVIDED BY OWNER. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
16. CONTRACTOR TO CHECK SITE TOPOGRAPHY PRIOR TO CONSTRUCTION. ANY CONFLICTS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER FOR DIRECTION.
17. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION CONFORM TO APPLICABLE STATUTES, REGULATIONS, ORDINANCES AND STANDARDS OF THE GOVERNMENTAL BODIES HAVING JURISDICTION OVER SUCH WORK.
18. THE CONTRACTOR SHALL PROCURE ALL REQUIRED PERMITS, LICENSES, AND INSPECTIONS, PAY ALL CHARGES AND FEES, AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE PROJECT, UNLESS OTHERWISE NOTED.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING, GRUBBING, RESTORING, PAVING, TOPSOILING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES.
20. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE DETAILS HEREIN AND THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
21. NO MATERIAL SHALL BE PLACED OR ANY DISTURBANCE PERMITTED BEYOND THE LIMIT OF CONSTRUCTION OR RIGHT-OF-WAY WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND SUPPORTING ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IN THE EVENT UTILITIES MUST BE REMOVED AND REPLACED, THE CONTRACTOR SHALL INCLUDE THIS COST IN THE PRICE FOR THE SEWER MAIN AND/OR STORMWATER INSTALLATION. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE UTILITY OWNER.
23. RESETTLES OF WATER VALVE BOXES, GAS VALVE BOXES OR OTHER APPURTENANCES WITHIN THE ROADWAY SURFACE THAT ARE NOT SPECIFICALLY IDENTIFIED WITHIN THE PLANS SHALL BE COMPLETED UNDER THE ITEM RESET UTILITY VALVE CASTING. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.
24. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING IRRIGATION LINES WHETHER MARKED OUT OR NOT.
25. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ANY IRRIGATION LINES ENCOUNTERED DURING CONSTRUCTION. THERE WILL BE NO ADDITIONAL COMPENSATION FOR THIS WORK.
26. ALL USABLE EXCAVATED MATERIAL SHALL BE UTILIZED ON SITE AS BORROW OR STRUCTURAL FILL. PAYMENT FOR EXCAVATION WILL BE MADE FOR MATERIALS TRUCKED OFF SITE FOR DISPOSAL, WITH THE EXCEPTION OF TEST PITS.



City of Linwood Tax Map - Key Map

Tax Map

Scale: 1" = 1,000'

POLISTINA
Associates, LLC
Engineers & Planners

6684 Washington Avenue
Egg Harbor Township, NJ 08234
609.646.2950

New Jersey State Board of Professional Engineers & Land Surveyors
Certificate of Authorization No. 24GA28091200

UTILITY NOTES

ATLANTIC CITY ELECTRIC 2542 FIRE ROAD EGG HARBOR TOWNSHIP, NJ 08234 WILLIAM EDWARDS (609) 645-4693 FAX: (609) 645-1653	LINWOOD PUBLIC WORKS 400 POPLAR AVENUE LINWOOD, NJ 08221 CHIP JONES (609)-926-7994
NEW JERSEY AMERICAN WATER CO. 3215 FIRE ROAD EGG HARBOR TOWNSHIP, NJ 08234 TIMOTHY GREEN (609) 677-8640 FAX: (609) 641-7729	SOUTH JERSEY GAS COMPANY 111 N. FRANKLIN AVENUE PLEASANTVILLE, NJ 08232 GLEN MANEK (609) 645-2690 ext. 6339 FAX: (609) 645-9752
VERIZON 1-800-VERIZON (837-4966) CENTRAL LOCATING SERVICE/NJ ONE CALL 800-272-1000 FAX: 800-705-4559	COMCAST CABLE 901 WEST LEEDS AVENUE ABSSECON, NJ 08201 BOB MAYEUX (609) 677-7332 FAX: (609) 677-7301

UTILITY NOTE

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A FIELD MARK-OUT OF SUB-SURFACE UTILITIES. CALL 1-800-272-1000.

Index of Drawings

Order	Sheet	Description
1	-	Cover Sheet
2	X1	Existing Conditions Plan
3	D1	Demolition Plan
4	U1	Utility Plan
5	S1	Site Plan
6	CD1	Construction Details

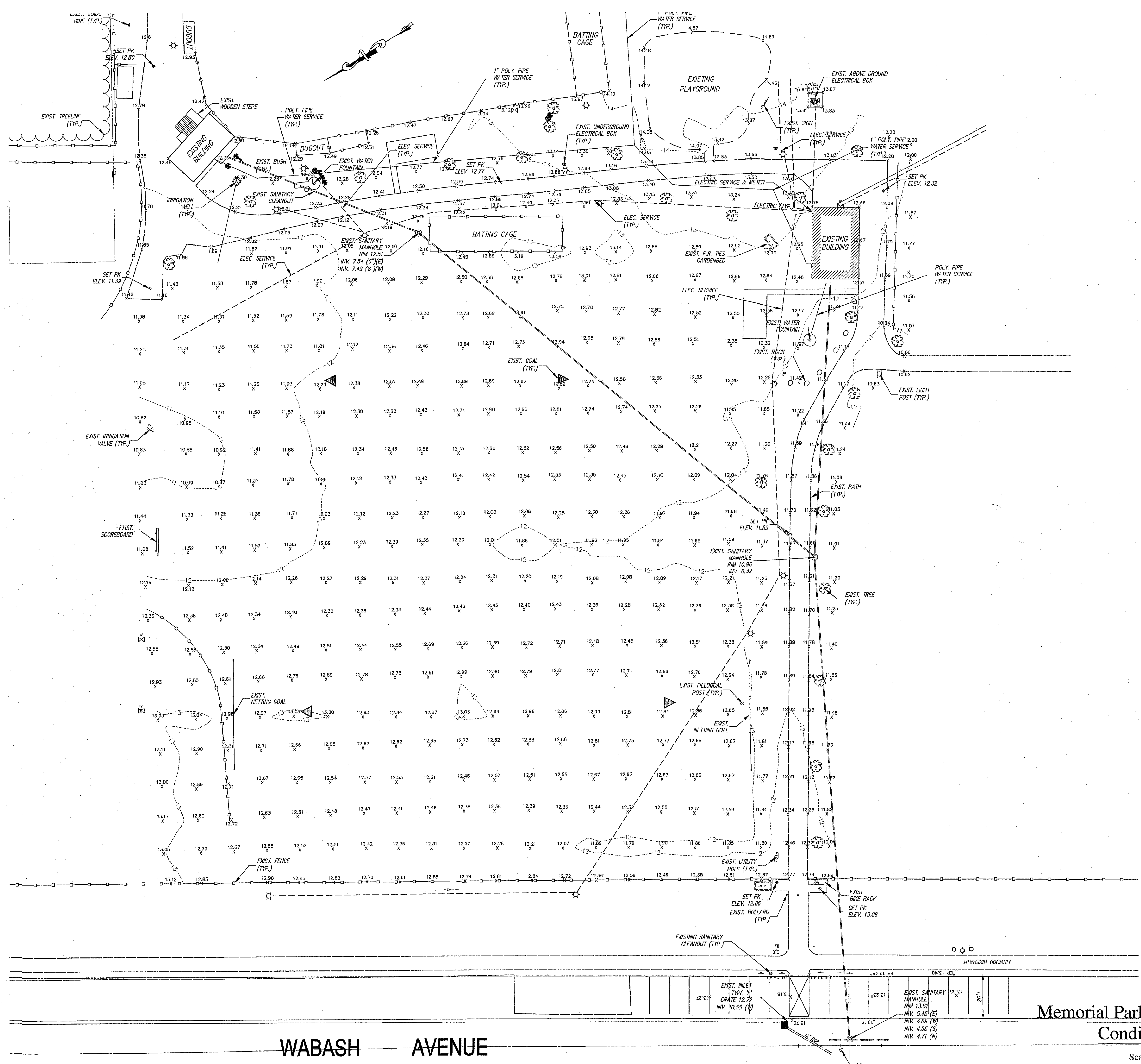
Schedule of Quantities

Item	Description	Unit	Contract Quantity
1	Mobilization & Permits	LS	1
2	Clearing Site	LS	1
3	Construction Layout	LS	1
4	Sawcutting	LF	200
5	8" PVC SDR-35, Sanitary Sewer Main (0' - 6' Deep)	LF	810
6	6" PVC SDR-35, Sanitary Sewer Lateral with Cleanout Risers	UNIT	1
7	Sanitary Sewer Doghouse Manhole (0' - 6' Deep)	UNIT	1
8	Sanitary Sewer Manhole (0' - 6' Deep)	UNIT	3
9	8" Core Drill Connection	UNIT	1
10	3/4" Crushed Stone Bedding, If & Where Directed	CY	50
11	Select Backfill, If & Where Directed	CY	500
12	Temporary Road Restoration	SY	44
13	Concrete Gutter, 8" Thick	SF	20
14	HMA Walkway, 2" Thick	SY	660
15	Concrete Pavers	SY	580
16	Traffic Markings, Thermo.	LF	40
17	Top Soil, Fertilize & Seed	SY	2,000
18	Fieldhouse Building	LS	1

Vincent J. Polistina

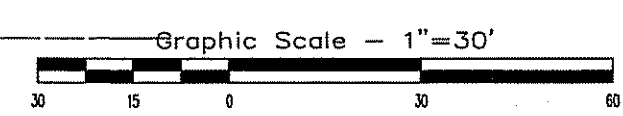
Professional Engineer
New Jersey License No. 41978

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Memorial Park - Partial Existing Conditions Plan

Scale: 1" = 30'

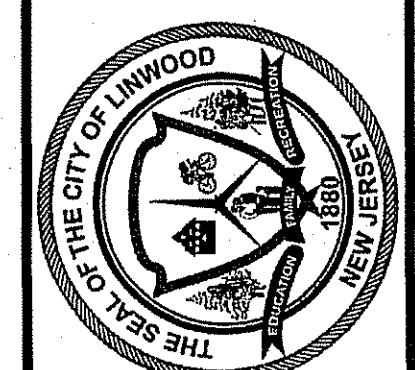


By	Date
VJP	10-10-23
Checked	CRH
Drawn	VJM
Designated	CRH

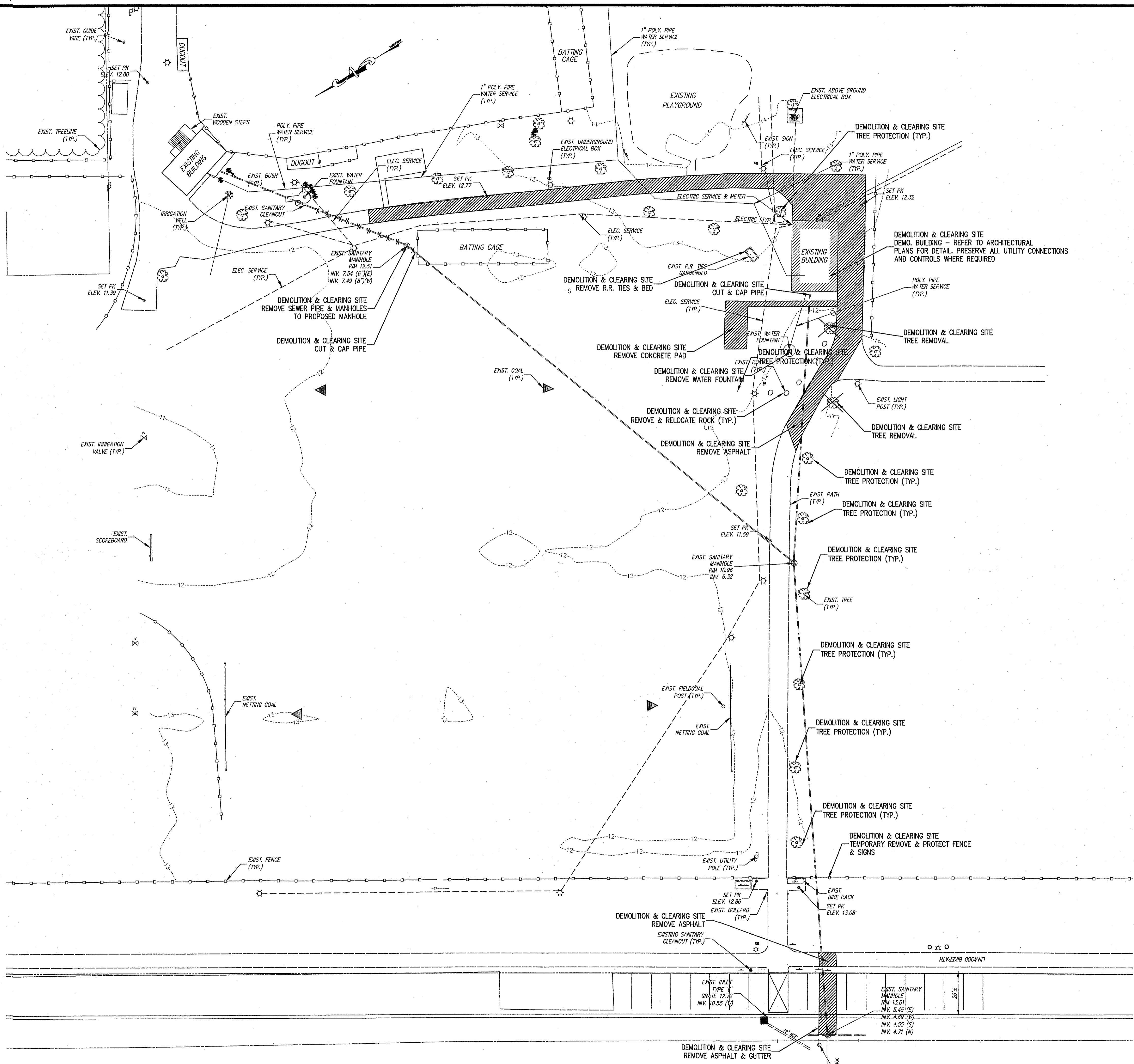
Vincent J. Polistina
Professional Engineer
New Jersey License No. 41978

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Egg Harbor Township, NJ 08224
Phone: (609) 646-2950
State Board of Professional Engineers & Land Surveyors
Certificate of Authorization No. 24G42891200

City of Linwood
Atlantic County, New Jersey
All Wars Memorial Park
Fieldhouse Building
Existing Conditions Plan

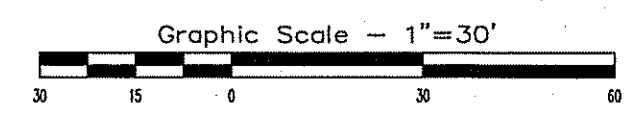


Job No.	Sheet No.
7501.22	X1
Order	Total
2	6



Memorial Park - Demolition Plan

Scale: 1" = 30'



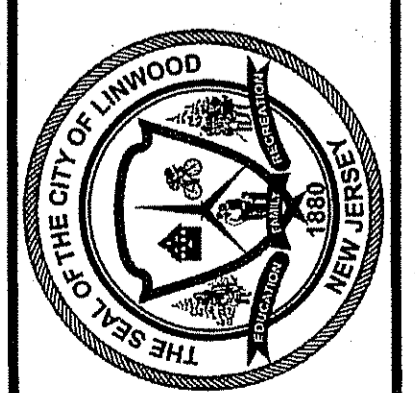
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By	VJP	Date	10-10-23
Checked	CRH	Approved	VJP
Revision	CRH	Drawn	VJM
Designated	CRH	Date	

Vincent J. Polistina
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New Jersey License No. 41978

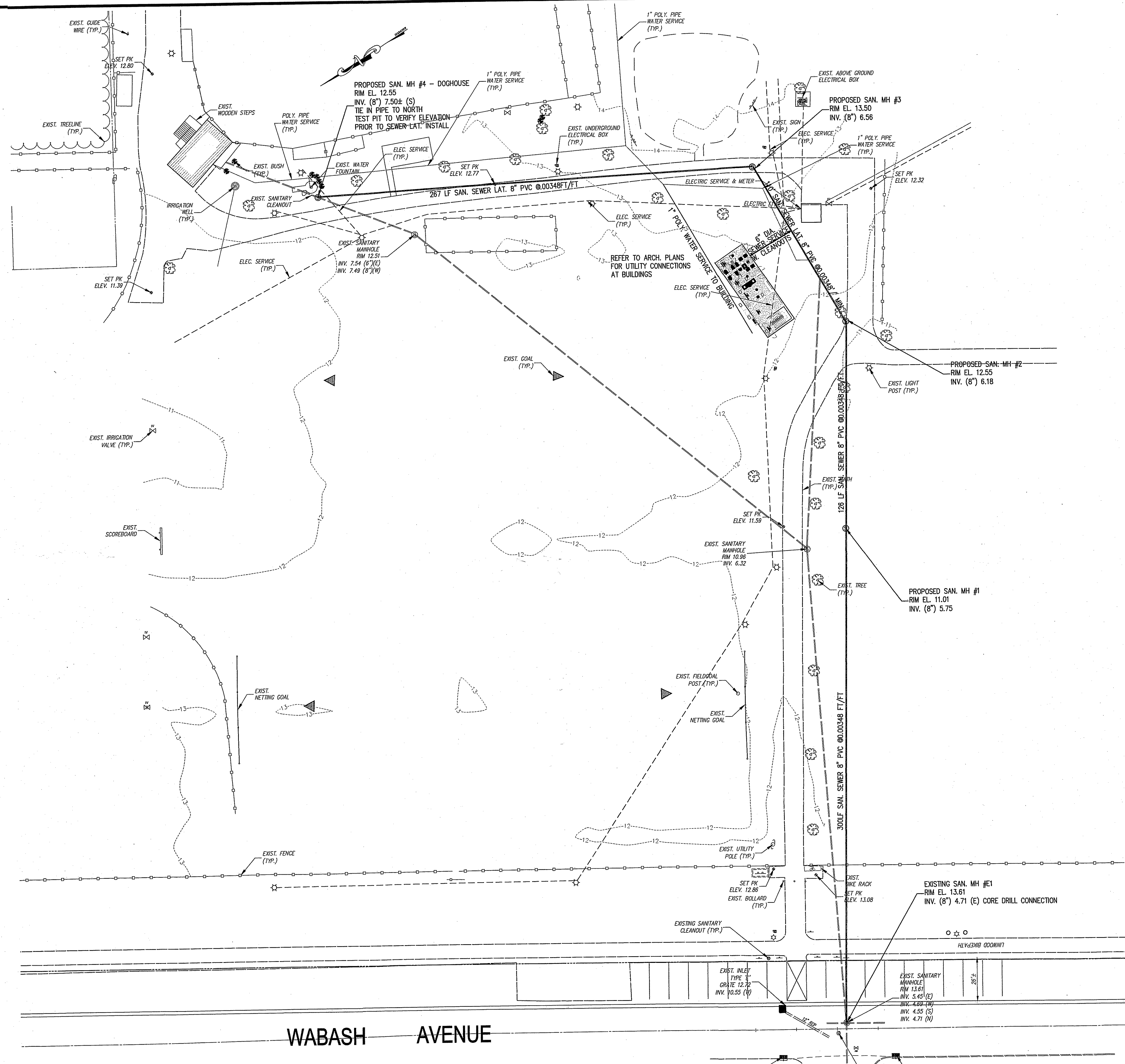
POLISTINA
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State Board of Professional Engineers & Land Surveyors
Certificate of Authorization No. 24-G-02091200

City of Linwood
Atlantic County, New Jersey
Memorial Park - Fieldhouse Building
Demolition Plan

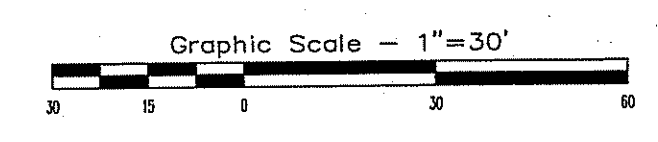


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WABASH AVENUE

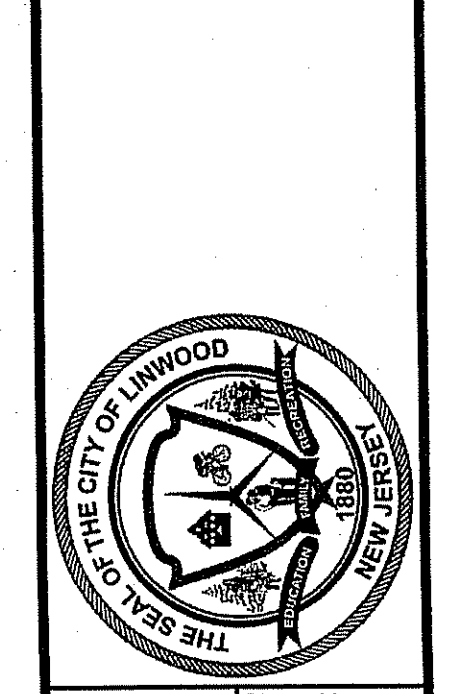


By	VJP	Date	10-10-23
Checked	CRH	Approved	VJP
Drawn	VJM	Revision	CRH
Date	CRH	Designed	CRH

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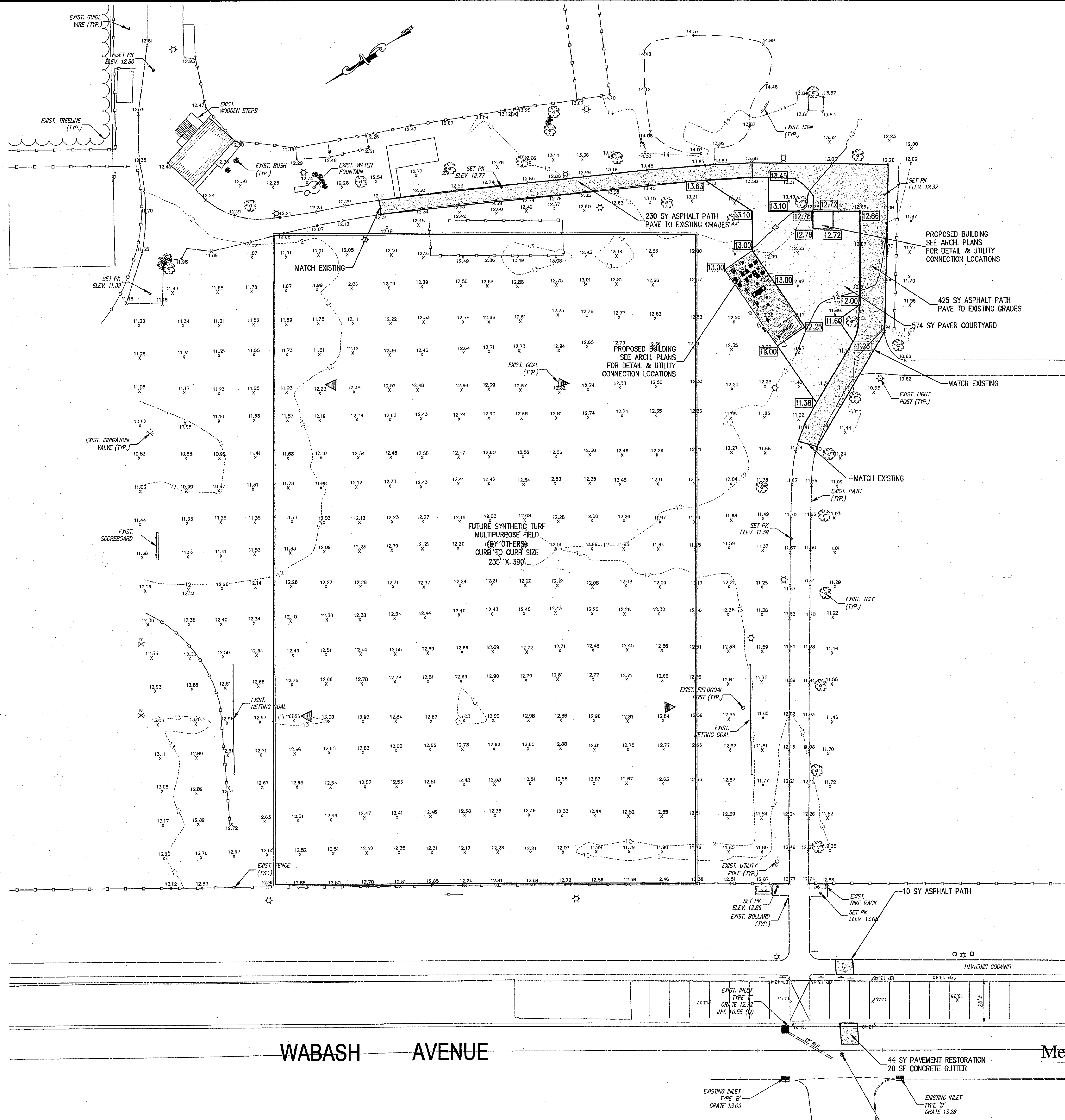
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 State Board of Professional Engineers & Land Surveyors
 Certificate of Authorization No. 246A29891200

City of Linwood
 Atlantic County, New Jersey
All Wars Memorial Park
 Fieldhouse Building
 Utility Plan



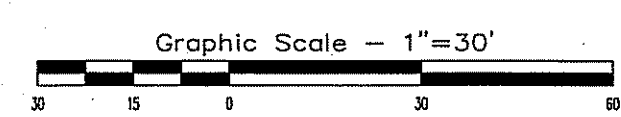
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Order	4	Total	6

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Memorial Park - Partial Site Plan

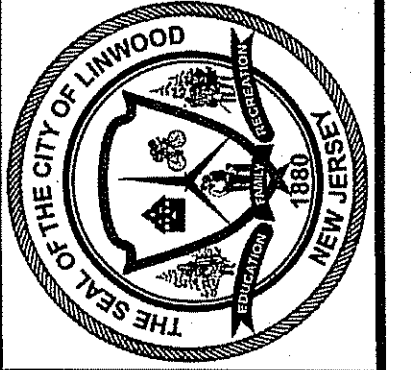
Scale: 1" = 30'



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New Jersey License No. 41978

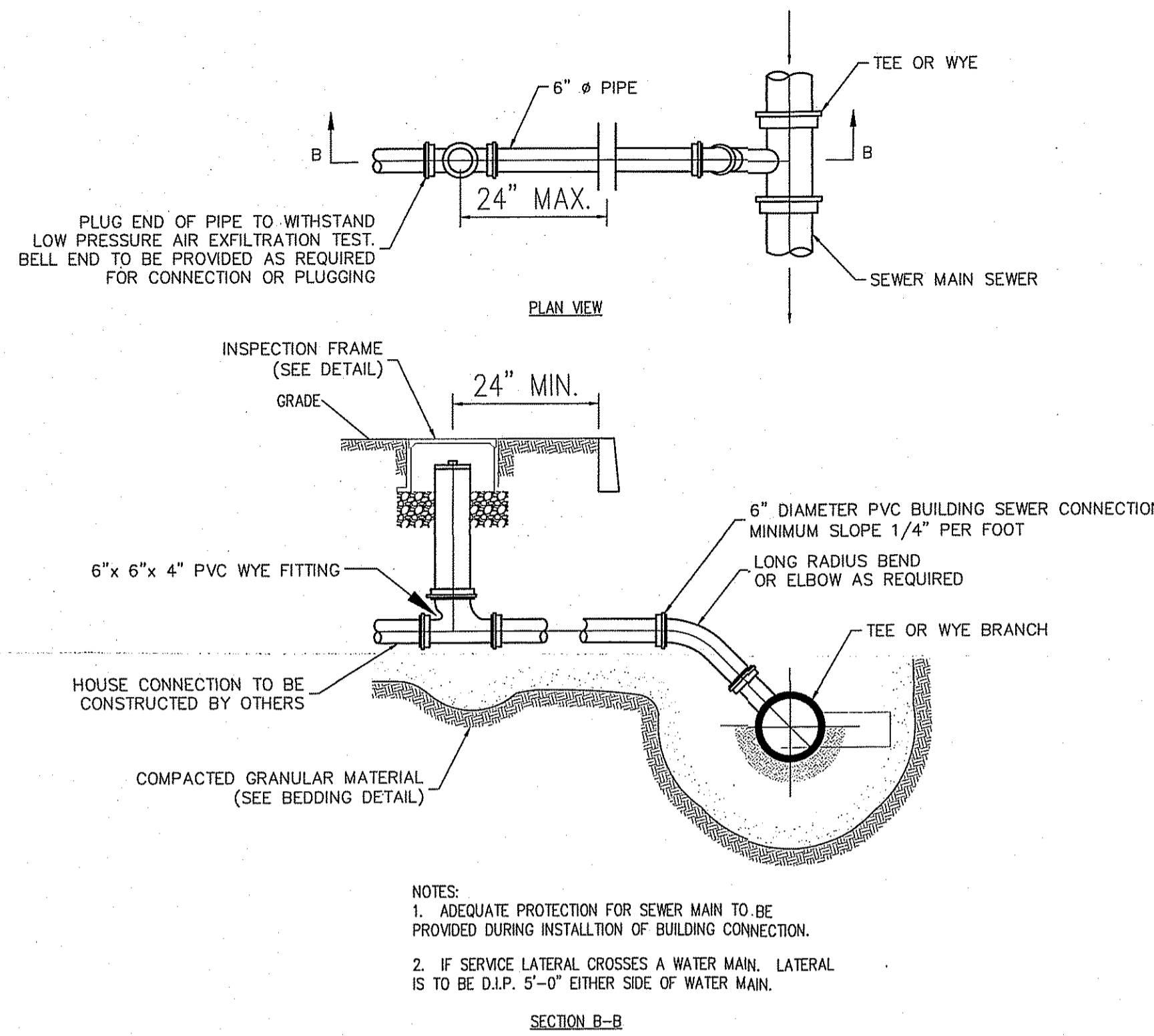
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State Board of Professional Engineers & Land Surveyors
Certificate of Authorization No. 24G42891200

City of Linwood
Atlantic County, New Jersey
All Wars Memorial Park
Fieldhouse Building
Site & Grading Plan



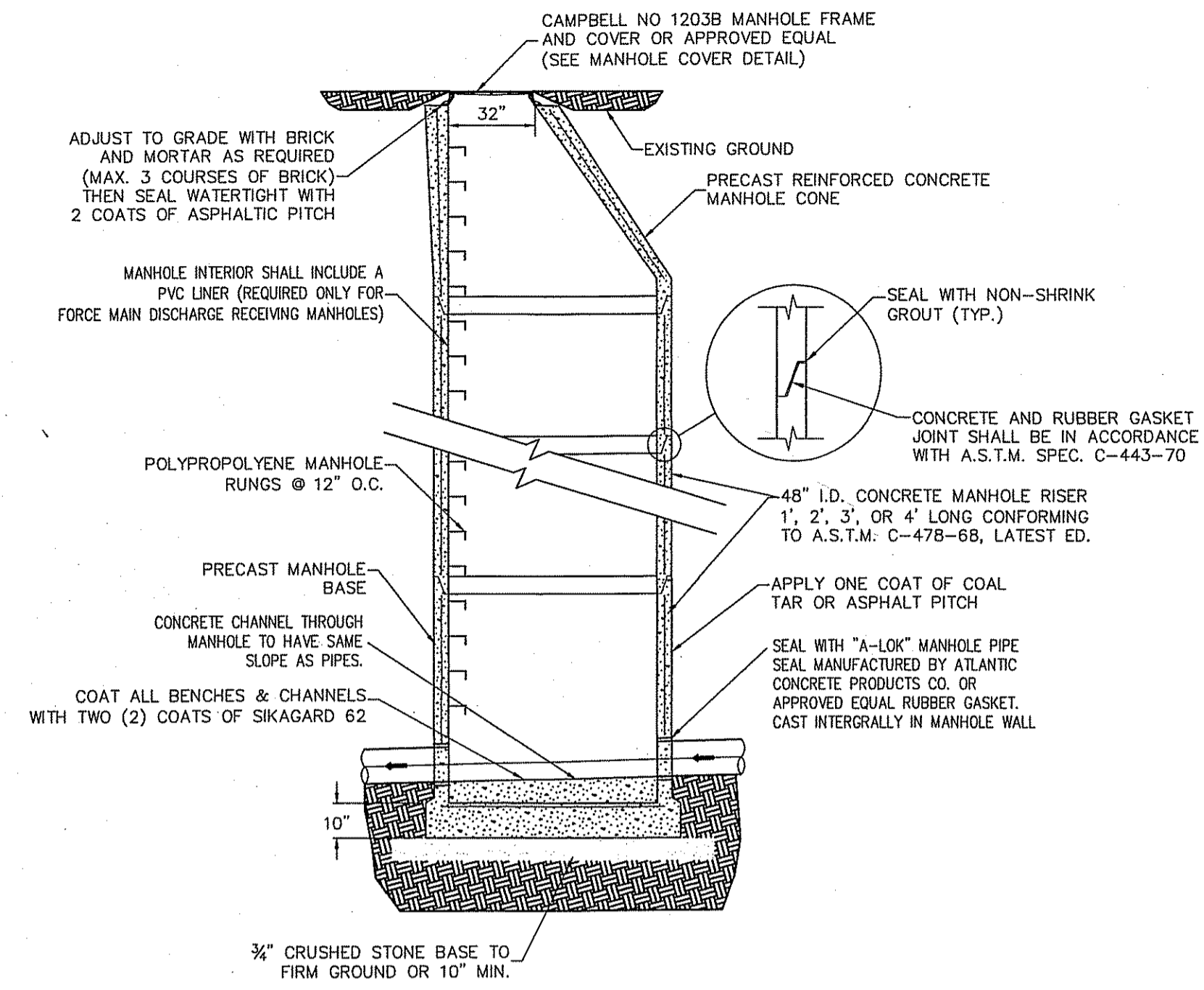
Job No.	Sheet No.
7501.22	S1
Order	Total
5	6

Date	Designed	Drawn	Revision	By
CRH	CRH	VJM	CRH	VJP
				Date
				10-10-23

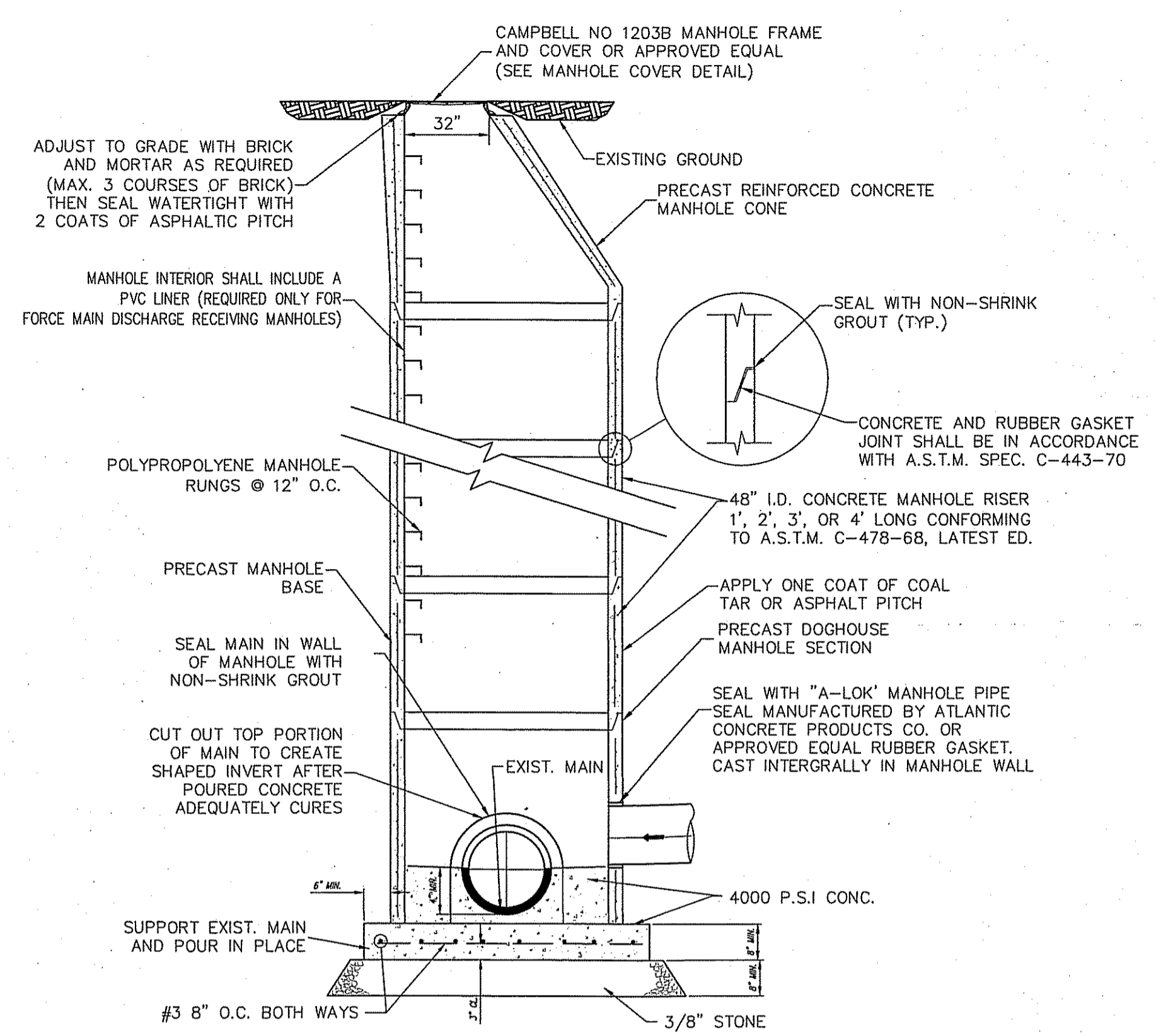


NOTES:
 1. ADEQUATE PROTECTION FOR SEWER MAIN TO BE PROVIDED DURING INSTALLATION OF BUILDING CONNECTION.
 2. IF SERVICE LATERAL CROSSES A WATER MAIN, LATERAL IS TO BE D.I.P. 5'-0" EITHER SIDE OF WATER MAIN.

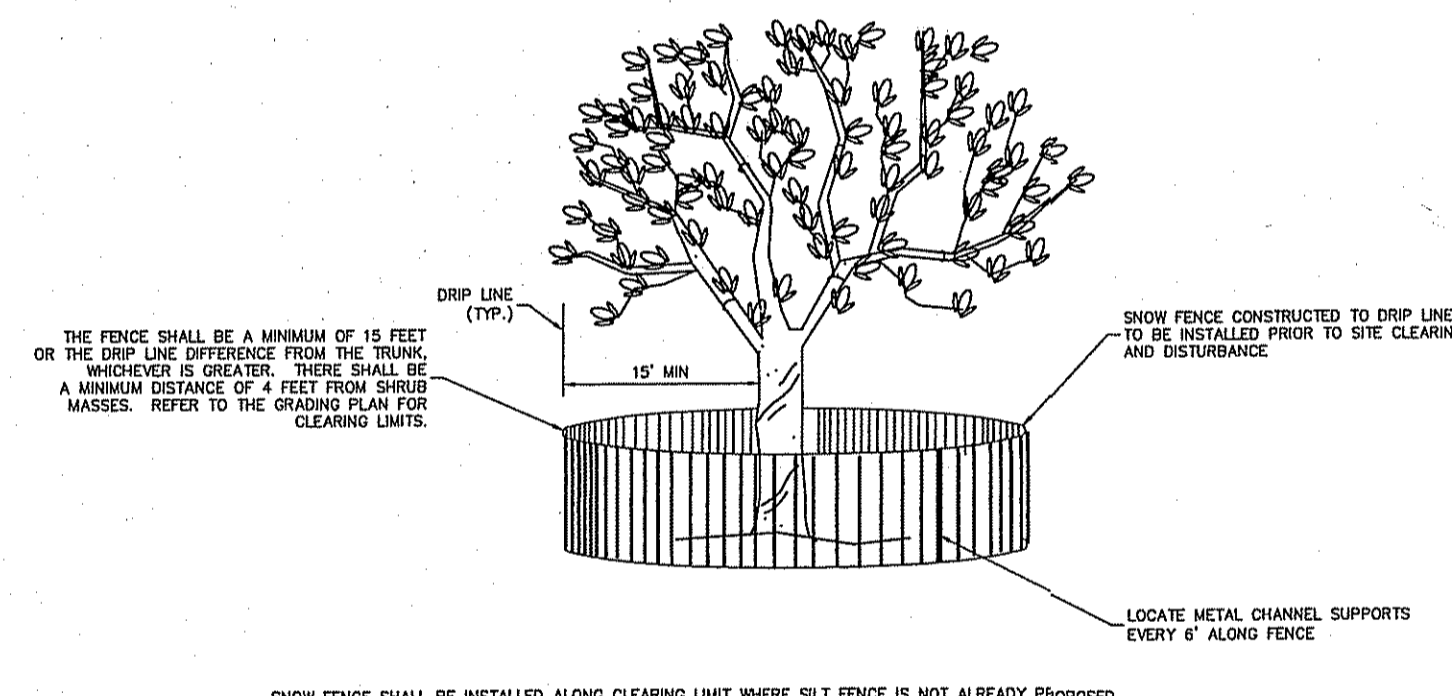
TYPICAL LATERAL CONNECTION
N.T.S.



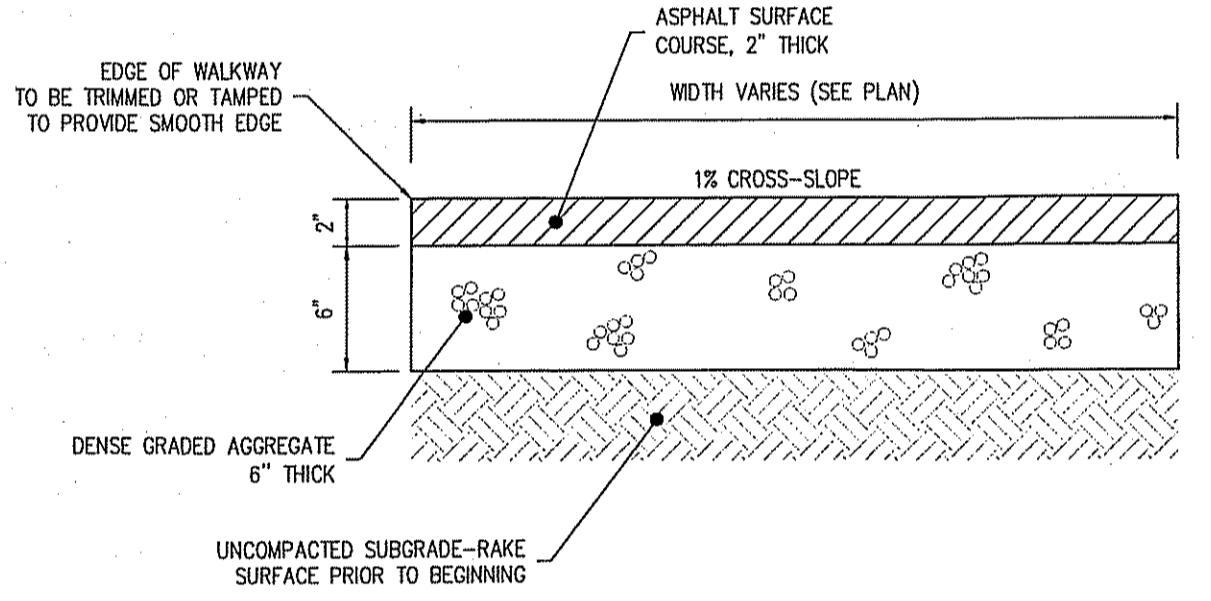
STANDARD PRECAST CONCRETE MANHOLE
N.T.S.



STANDARD CONCRETE MANHOLE - DOGHOUSE
N.T.S.



TEMPORARY TREE PROTECTION FENCE DETAIL
NOT TO SCALE



ASPHALT WALKWAY
NOT TO SCALE

NOTE: CONTRACTOR SHALL PERFORM TWO TEST PITS WITHIN THE AREA OF INFILTRATION TO A DEPTH OF 10 FT OR TO THE WATER TABLE, WHICHEVER IS DEEPER. THE CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIAL AND REPLACE WITH A SELECT FILL MATERIAL. LIMITS OF EXCAVATION AND BACKFILL SHALL BE WITNESSED AND VERIFIED BY THE CITY ENGINEER.

IN THE EVENT "SELECT FILL" IS UTILIZED, THE MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS

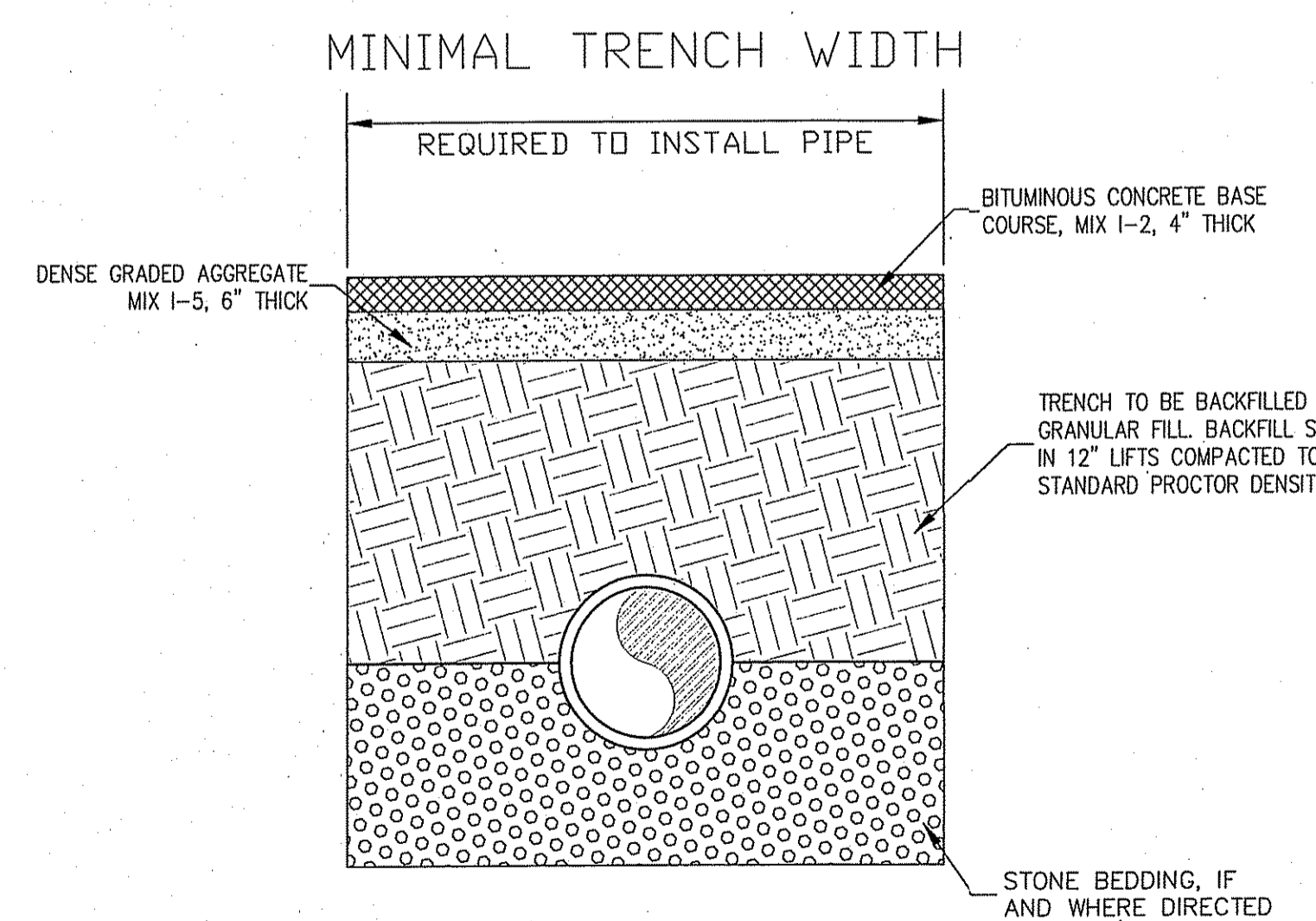
A- COARSE FRAGMENT CONTENT (GREATER THAN NO. 8 SIEVE) LESS THAN 15% BY VOLUME OR LESS THAN 20% BY WEIGHT

B- TEXTURAL ANALYSIS (COMPOSITION, WEIGHT, OF SIZE FRACTION PASSING THE PARTICULAR SIEVE AS STATED) 100 PERCENT MUST PASS 3/8" SIEVE; BETWEEN 80% AND 100% MUST PASS NO. 8 SIEVE (2.36MM); BETWEEN 50% AND 85% MUST PASS NO. 16 SIEVE (0.8MM); BETWEEN 25% AND 60% MUST PASS NO. 30 SIEVE (0.6MM); BETWEEN 10% AND 30% MUST PASS NO. 50 SIEVE (0.3MM); BETWEEN 2% AND 10% MUST PASS NO. 100 SIEVE (0.15MM)

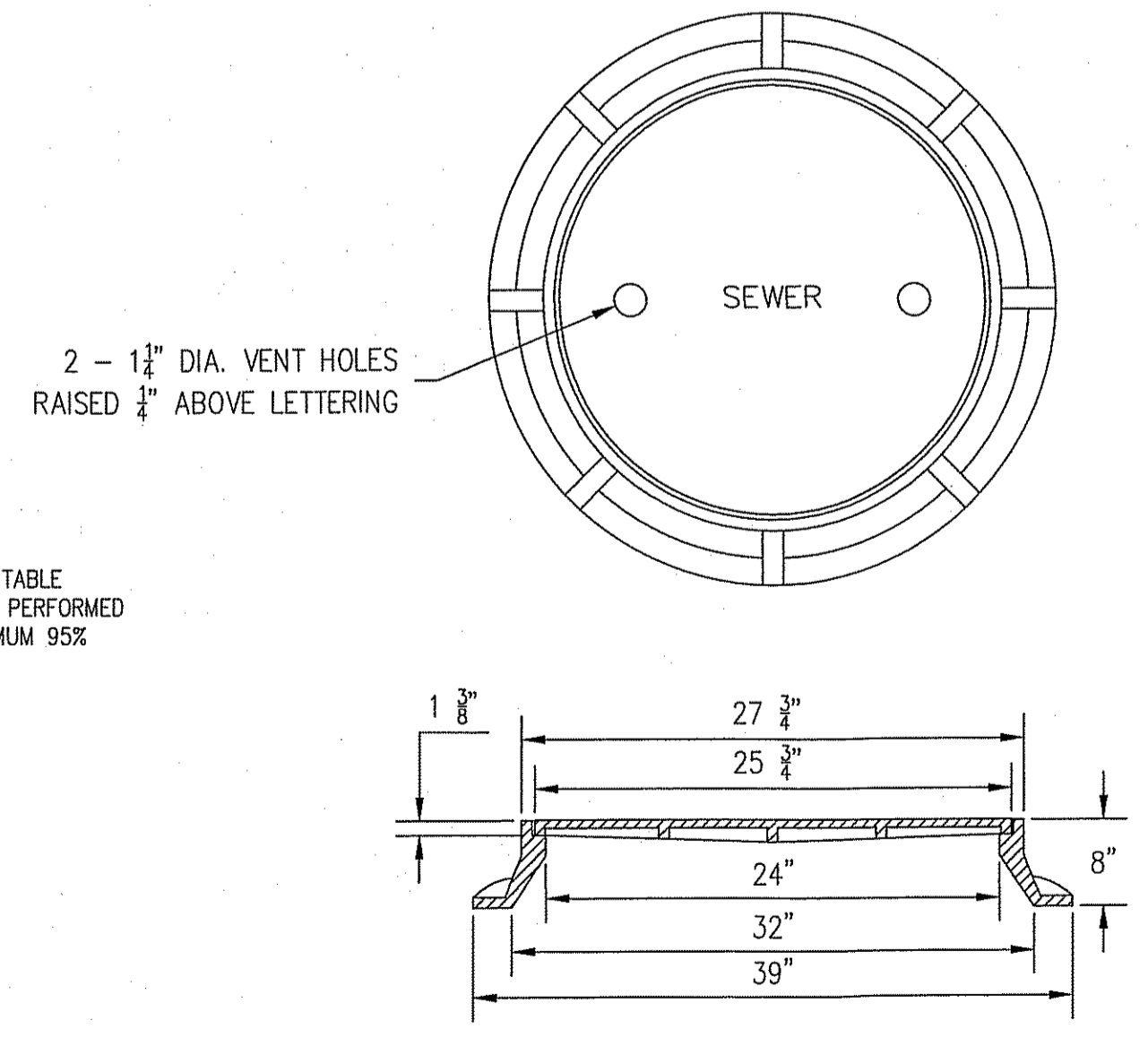
C- THE PERMEABILITY SHALL BE 6 TO 20 INCHES PER HOUR.

UPON COMPLETION OF SELECT FILL PLACEMENT, REPLICATE POST INSTALLATION FIELD PERMEABILITY TEST SHALL BE CONDUCTED TO VERIFY AS-BUILT PERMEABILITY RATES CONFORMANCE WITH THE SPECIFIED PERMEABILITY RATE OF AT LEAST 6 INCHES PER HOUR. THESE RESULTS SHALL BE SUBMITTED TO THE CITY ENGINEER. IF THE AS-BUILT PERMEABILITY RATES, UTILIZING A FACTOR OF SAFETY OF TWO, FAILS TO MEET SPECIFIED PERMEABILITY, THE SELECT FILL SHALL BE REMOVE AND REPLACED.

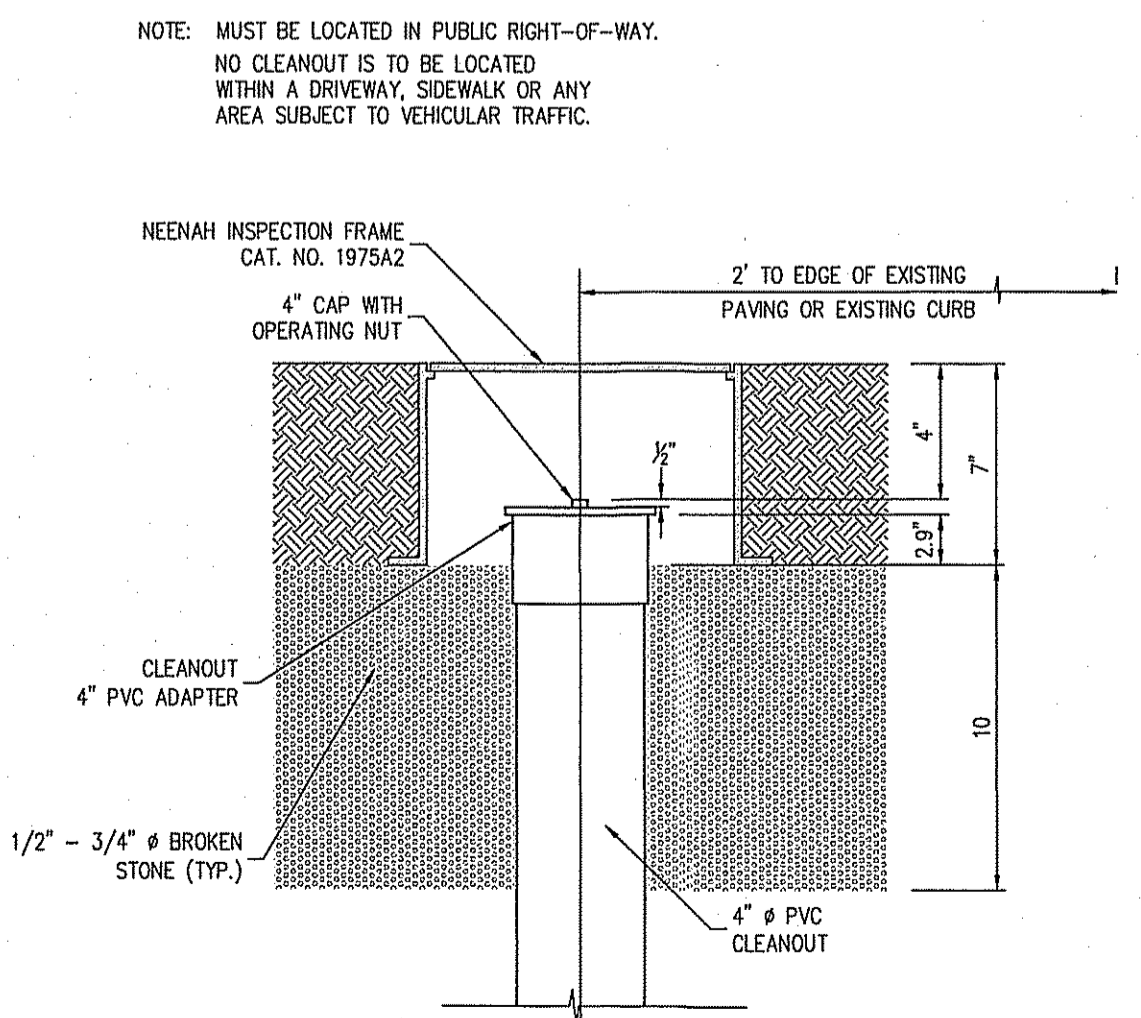
AFTER COMPLETION OF CONSTRUCTION AND TESTING, AN AS-BUILT PLAN SHOWING THE LOCATION AND ELEVATIONS OF ALL STORMWATER MANAGEMENT MEASURES SHALL BE SUBMITTED THE CITY ENGINEER.



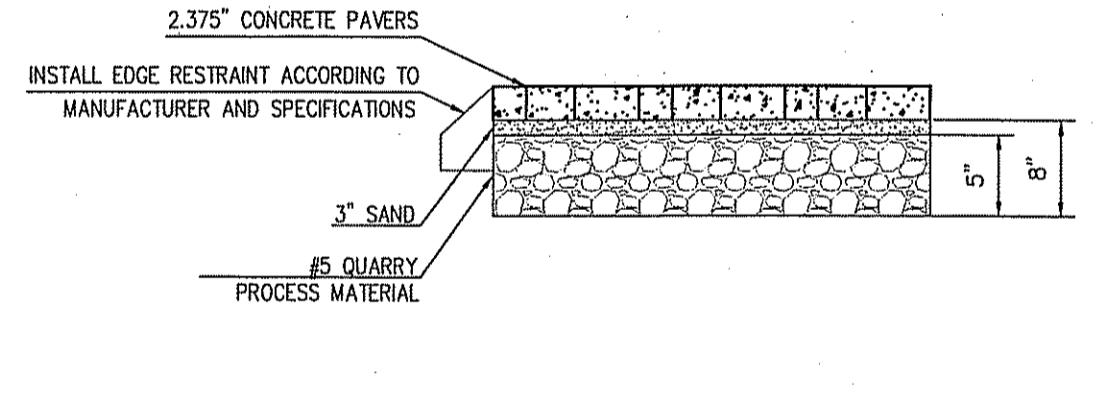
TEMPORARY TRENCH RESTORATION
N.T.S.



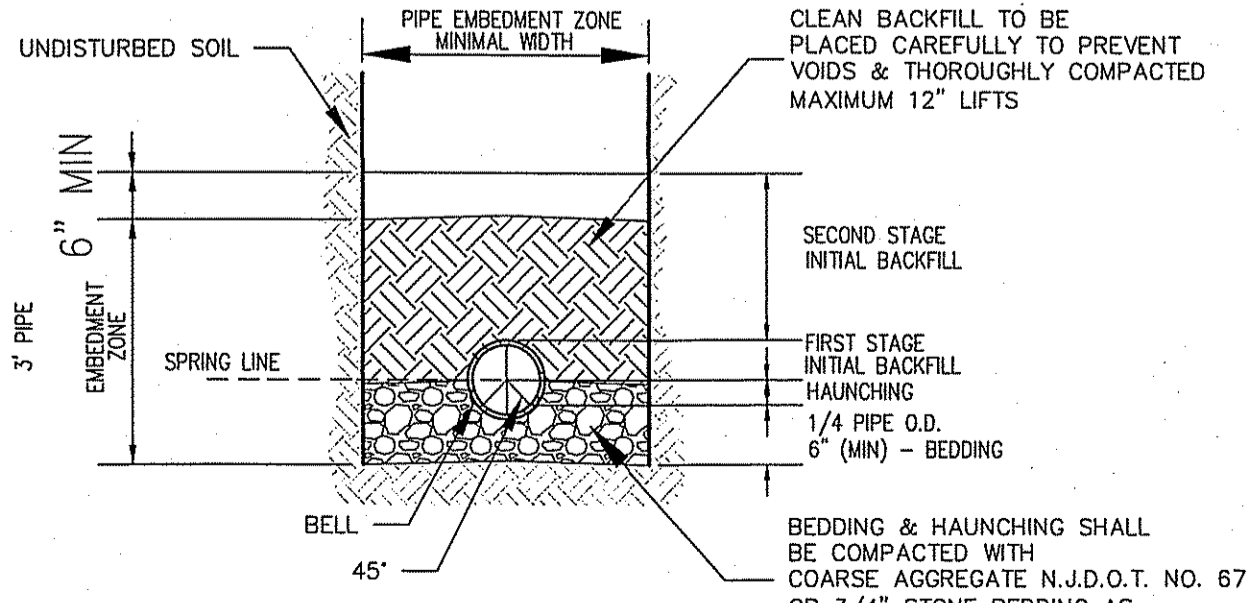
Manhole Cover & Frame
Not To Scale



INSPECTION FRAME CLEANOUT DETAIL
N.T.S.



PAVING STONE INSTALLATION DETAIL
NOT TO SCALE



GRAVITY MAIN BEDDING DETAIL
N.T.S.

By	Date	10-10-23
Approved	VJP	
Checked	CRH	
Drawn	VJM	
Date	Designed	CRH

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 New Jersey License No. 41978

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City of Linwood
 Atlantic County, New Jersey
All Wars Memorial Park
 Fieldhouse Building
 Construction Details

Job No.	7501.22	Sheet No.	CD1
Order	6	Total	6

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23) AND ALL APPLICABLE MODEL BUILDING SUBCODES, INCLUDING BUT NOT LIMITED TO:
 NEW JERSEY INTERNATIONAL BUILDING CODE, 2021
 ICC/ANSI 117.1, 2017 ACCESSIBLE AND USABLE BUILDING AND FACILITIES INTERNATIONAL MECHANICAL CODE, 2021
 NATIONAL ELECTRICAL CODE, 2020
 NATIONAL STANDARD PLUMBING CODE, 2021

ALL WORK SHALL BE PERFORMED DURING NORMAL WORK HOURS, AS SET FORTH IN THE MUNICIPAL ORDINANCE WHICH HOLDS JURISDICTION OVER THE AREA OF WORK, UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THESE CONTRACT DOCUMENTS, SPECIFICATIONS, OR OTHER WRITTEN AGREEMENTS BETWEEN OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK-SITE AND PROTECT ALL BUILDING MATERIALS FROM THE ELEMENTS AND FROM ON-GOING CONSTRUCTION WORK AS NECESSARY TO MAINTAIN THE MATERIAL INTEGRITY.

THE AREA OF WORK SHALL BE SEPARATED FROM ALL OTHER OCCUPIED AREAS BY MINIMUM 6 MIL POLY ETHYLENE DUST CURTAIN, WHERE AREAS OF WORK ARE ADJACENT TO PUBLIC AREAS TO BE OCCUPIED AND CONSTRUCTION PARTITIONS ARE NOT SPECIFIED IN OTHER AREAS OF THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, THE AREA OF WORK SHALL BE SEPARATED BY A UL DESIGN U465 ONE HOUR CONSTRUCTION PARTITION FROM FLOOR TO CEILING ABOVE THE MIN. 5/8" G.W.B. EACH SIDE OF 3-5/8" METAL STUD FRAMING AT 16' O.C. AND 3" S.A.F.B. IN THE STUD CAVITY. ALL CONSTRUCTION PARTITION REQUIREMENTS SHALL COMPLY WITH NJAC 5:23-9.6(C) IN ALL CASES.

WHEN NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION OVER THE PROJECT AREA AND ICC/ANSI 117.1, 2017

ALL LANDSCAPING SHALL BE INSTALLED AT SUCH TIME SO AS TO BE IN HEALTHY CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION. ANY LANDSCAPE MATERIALS NOT IN SUCH CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, GROWING SEASON, AND CONSTRUCTION SCHEDULE IN SCHEDULING INSTALLATIONS AFTER SUBSTANTIAL COMPLETION.

ALL BEARING SOIL SHALL BE UNDISTURBED OR 100% COMPACTED SOIL TO ACCOMMODATE THE INSTALLATION OF FOOTINGS, FOUNDATION WALLS, PILING, ETC. WHEN NOT INDICATED OTHERWISE IN THESE CONTRACT DOCUMENTS AND SPECIFICATIONS VIA SOIL REPORT, BEARING CAPACITY OF THE SOIL IN THE AREA OF WORK SHALL BE CONSIDERED TO BE 3,000 PSI WITHOUT DETRIMENTAL SETTLEMENT. IN SUCH CASES, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TESTING TO VERIFY THIS CONDITION PRIOR TO COMMENCEMENT OF WORK.

FOOTINGS SHALL BE LOCATED A MINIMUM OF 30" BELOW GRADE, UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS.

IN PERFORMING ANY EARTHWORK, ALL EXCAVATED AREAS SHALL BE PROVIDED WITH TEMPORARY SUPPORTS AND/OR SHORING TO PREVENT ANY COLLAPSE. EXCAVATED SOILS, FILL, ETC. SHALL BE STORED SO AS NOT TO EXCEED THE ANGLE OF REPOSE FOR EACH TYPE. ALL BEARING SOIL, WHEN EXCAVATED AND STORED SHALL BE PROPERLY PROTECTED FROM THE ELEMENTS UNTIL BACKFILLING.

BACKFILLING SHALL BE PERFORMED IN MAX. 6" LIFTS UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS. EACH LIFT SHALL BE TAMPED PRIOR TO CONTINUING WORK.

ALL MISCELLANEOUS WOOD SHALL BE MIN. NO. 1 OR BETTER DOUGLASS FIR. WOOD NAILERS, BLOCKING, ETC. IN FOUNDATION CONSTRUCTION SHALL BE TREATED TO RESIST DECAY.

ALL CRAWL SPACES AND SLAB ON-GRADE CONDITIONS SHALL BE PROVIDED WITH 6 MIL. POLYETHYLENE VAPOR BARRIER FOR THE ENTIRE FOOTPRINT AND MIN. 24" WIDE 2" RIGID INSULATION AT THE ENTIRE PERIMETER OF THE BUILDING FOOTPRINT.

ALL CONCRETE TO BE PROVIDED SHALL BE MIN. 4,000 PSI IN 28 DAYS UNLESS INDICATED OTHERWISE IN THESE DOCUMENTS.

ALL CONCRETE MASONRY UNITS WHEN LOAD-BEARING SHALL CONFORM TO ASTM C34-84. IN NON-LOAD-BEARING APPLICATIONS MASONRY UNITS SHALL COMPLY WITH C56-81.

ALL DOORS AND WINDOWS AT EXTERIOR WALLS SHALL BE PROVIDED WITH ALUM. SILL FLASHING UNDER THE ENTIRE WIDTH OF THE OPENING. AT WINDOW AREAS, FLASHING SHALL HAVE UP-TURNED EDGES WITH SOLDERED CORNERS AND PITCH TO THE EXTERIOR. ALL WINDOWS AND DOORS SHALL BE PROVIDED WITH SHIM SPACES AT THE PERIMETER TO ENSURE A PLUMB AND TRUE INSTALLATION.

ALL GLAZING IN HAZARDOUS AREAS AS DEFINED IN 2406.2 SHALL BE TEMPERED GLAZED SAFETY GLASS AND SHALL BE IMPACT-RESISTANT GLAZED OPENINGS.

ALL GYPSUM WALL BOARD TO BE 5/8" FIRECODE 'C' UNLESS INDICATED OTHERWISE IN THE DOCUMENTS.

ALL BATHROOM AND KITCHEN AREAS SHALL BE PROVIDED WITH WATER-RESISTANT G.W.B., TYPICAL. ALL TILE AREAS SHALL BE PROVIDED WITH CEMENTITIOUS BOARD BACK-UP UNLESS INDICATED OTHERWISE.

IN ALL PAINTED WALL AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 4 FINISH.

IN ALL WALL-COVERED AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 4. FINISH.

SHOP DRAWINGS SHALL BE REQUIRED FOR ALL MILLWORK.

ALL THRESHOLDS AND OTHER FLOORING TRANSITIONS SHALL COMPLY WITH THE FLOOR LEVEL CHANGES CONSTITUTED IN ICC/ANSI 117.1, 2017.

ALL SPECIALTIES, ACCESSORIES, OR OTHER WALL-MOUNTED EQUIPMENT, FIXTURES, ETC. SHALL BE PROVIDED WITH NON-COMBUSTIBLE BLOCKING IN THE WALL CAVITY FOR SUPPORT UNLESS SPECIFICALLY NOTED OTHERWISE.

ALL ELEVATOR PITS (WHERE APPLICABLE) SHALL BE PROVIDED WITH SUMP PUMP CONNECTED TO THE BUILDING STORM WATER SYSTEM. THE PIT SHALL BE PROVIDED WITH A GALV. STEEL ACCESS LADDER MOUNTED IN AN OSHA COMPLIANT LOCATION WITH WORK LIGHT AND SWITCH ACCESSIBLE FROM THE POINT OF ENTRY. ALL ELEVATOR DOORS SHALL BE PROVIDED WITH STRUCTURAL STEEL SILL ANGLES AS REQUIRED BY THE MANUFACTURER.

**NEW CONSTRUCTION:
 LINWOOD SOCCER BUILDING
 ALL WARS MEMORIAL PARK
 LINWOOD, NJ 08221**

OWNER: CITY OF LINWOOD
 400 W POPLAR AVENUE
 LINWOOD, NJ 08221

ARCHITECT: WILLIAM MCLEES ARCHITECTURE
 5 MACARTHUR BOULEVARD
 SOMERS POINT, NJ 08244
 CONTACT: WILLIAM MCLEES, AIA
 609.927.0888

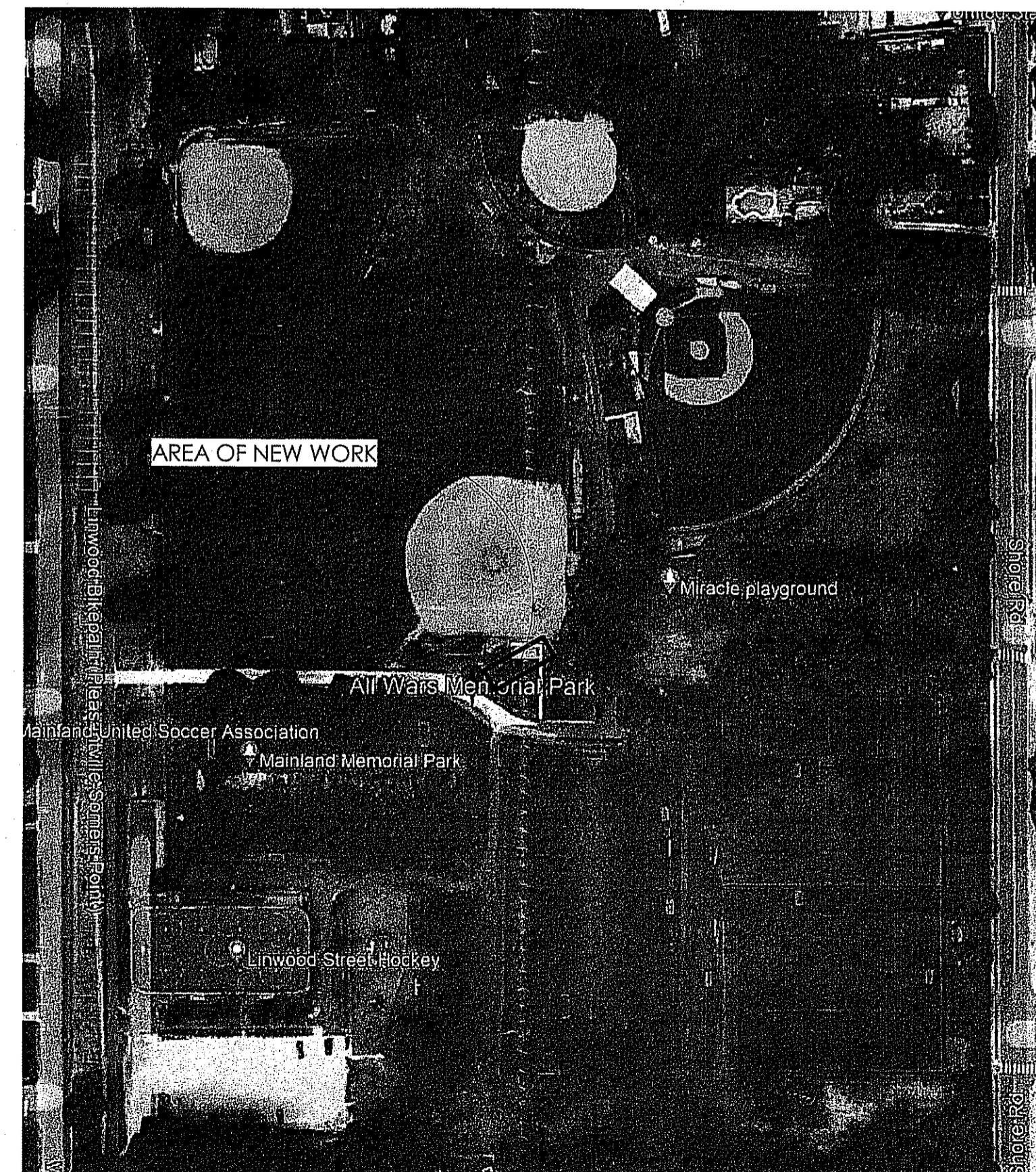
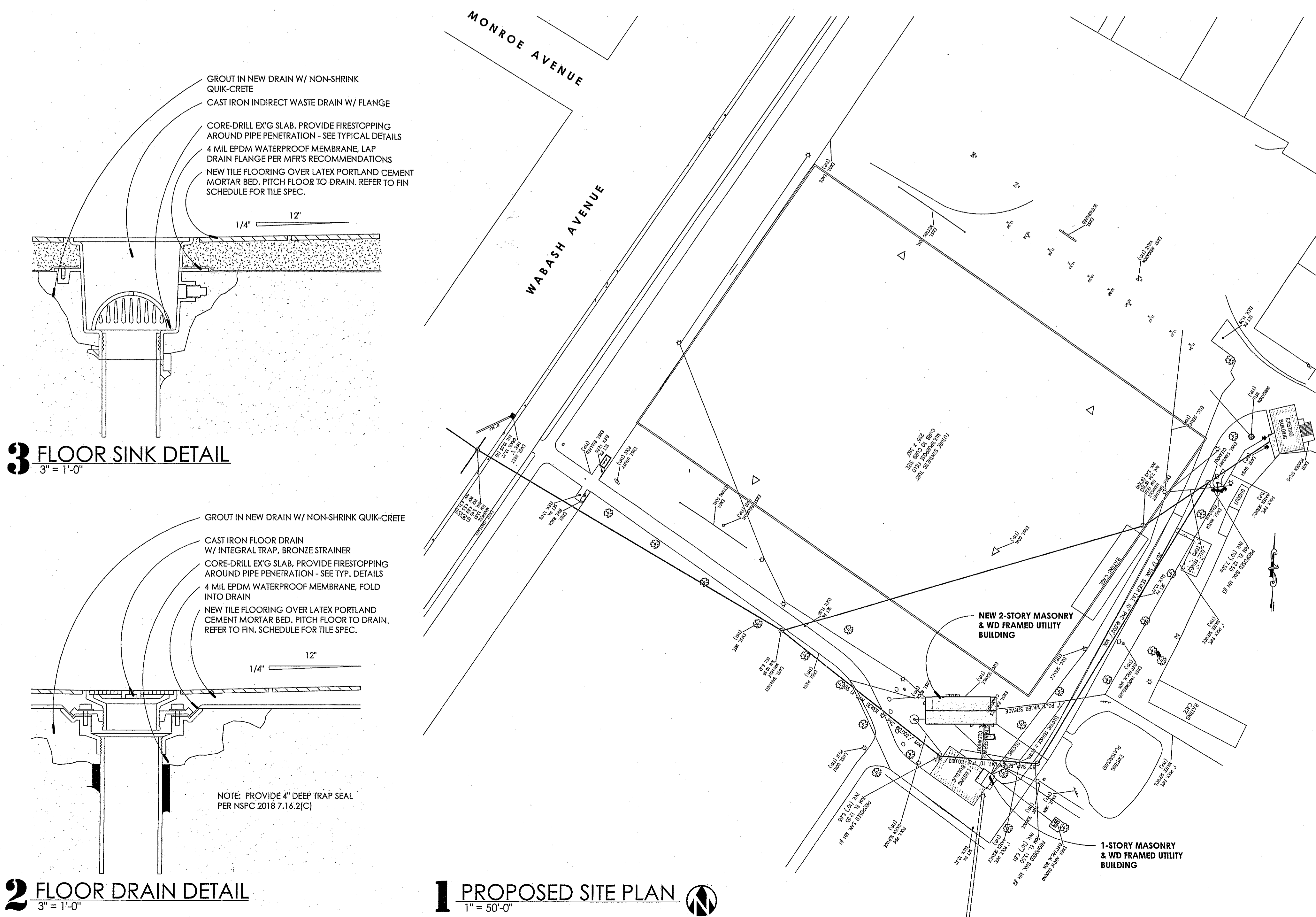
BUILDING CODE ANALYSIS

This work is governed by the New Jersey Uniform Construction Code, New Jersey Edition of the 2021 International Building Code and all other applicable subcodes as adopted therein. This work shall qualify as **NEW CONSTRUCTION** under the requirements and definitions of the New Jersey U.C.C.

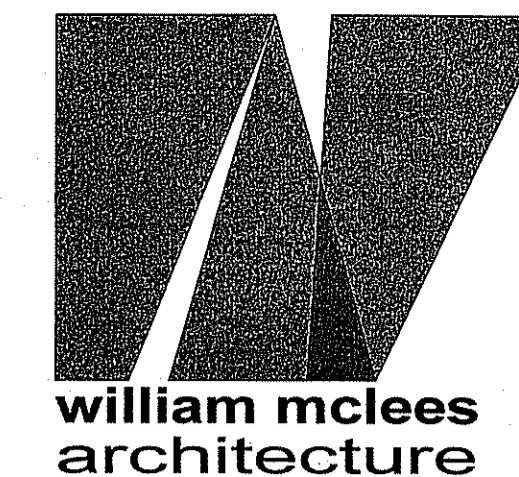
Total Building Areas: FIRST FLOOR: 1,104 S.F.
 SECOND FLOOR: 1,104 S.F.
 TOTAL: 2,208 S.F.

Building Footprint: 1,104 S.F.
 Use Group: U
 Construction Class: V-B

DRAWING LIST						
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION	REVISION DATE	Drawn By	
G0.00	COVER SHEET	09/01/23			JAS	
A1.00	PROPOSED PLANS, ELEVATIONS, SECTIONS and DETAILS	09/01/23			JAS	
A2.00	PROPOSED PLANS, ELEVATIONS, SECTIONS and DETAILS	09/01/23			JAS	
A3.00	PROPOSED REFLECTED CEILING PLANS, SCHEDULES and DETAILS	09/01/23			JAS	
A4.00	ELECTRICAL & PLUMBING NOTES, SCHEDULES and DIAGRAMS	09/01/23			JAS	
A5.00	LIGHTING CONTROL BUILDING PLANS, SECTION, ELEVATIONS and NOTES	09/01/23			JAS	



AERIAL PLAN
 NOT TO SCALE



**william mclees
 architecture**

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 www.wmarch.net

**William C. McLees
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William C. McLees

William McLees Architecture, LLC

New Jersey State Certificate of Authorization # 21AC0055500

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**NEW CONSTRUCTION
 LINWOOD SOCCER BUILDING**

ALL WARS MEMORIAL PARK
 LINWOOD, NJ 08221

**BID ISSUE
 NOT FOR CONSTRUCTION**

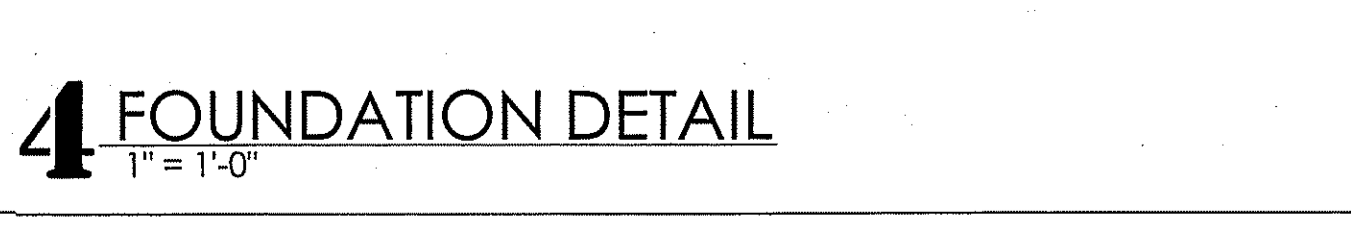
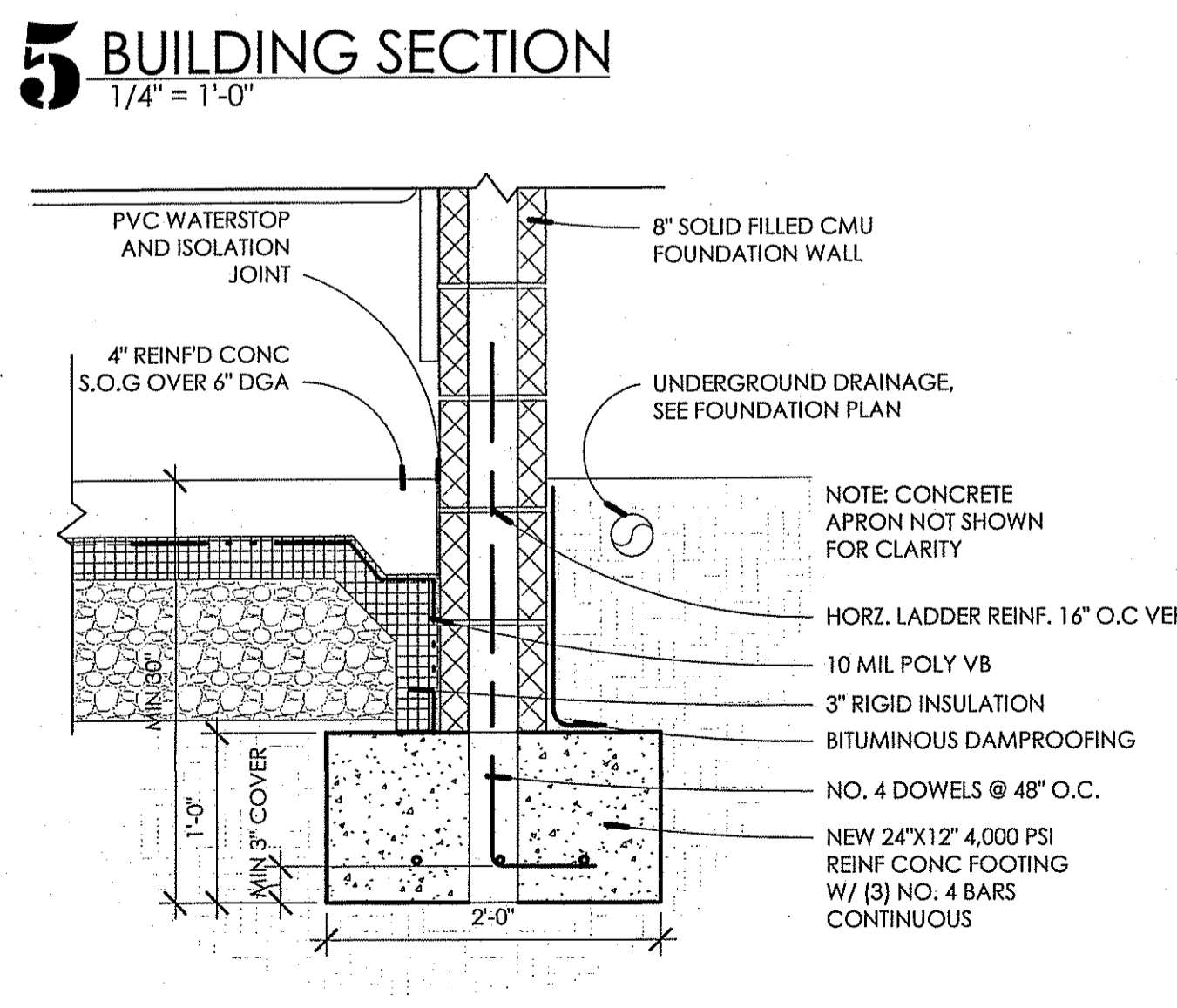
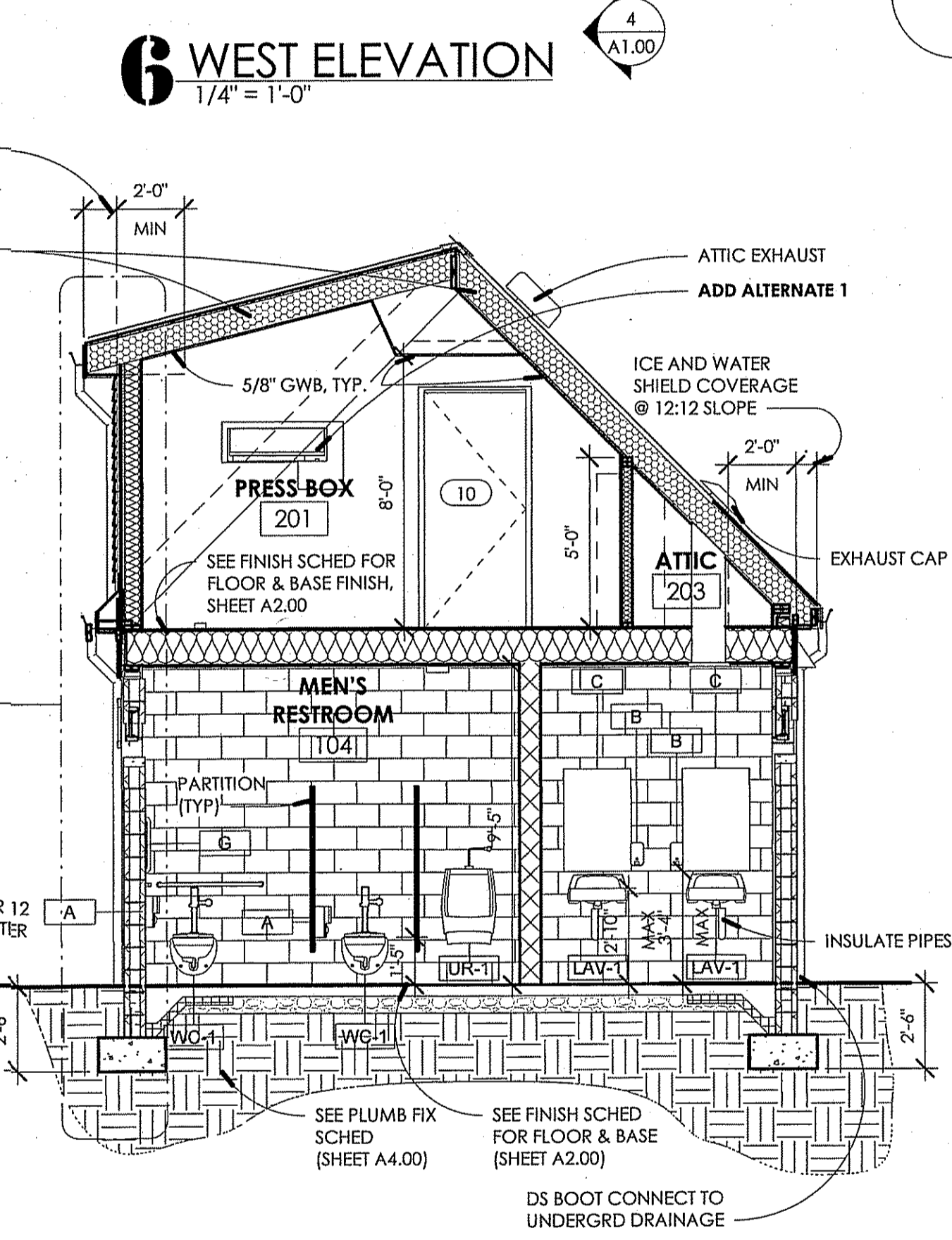
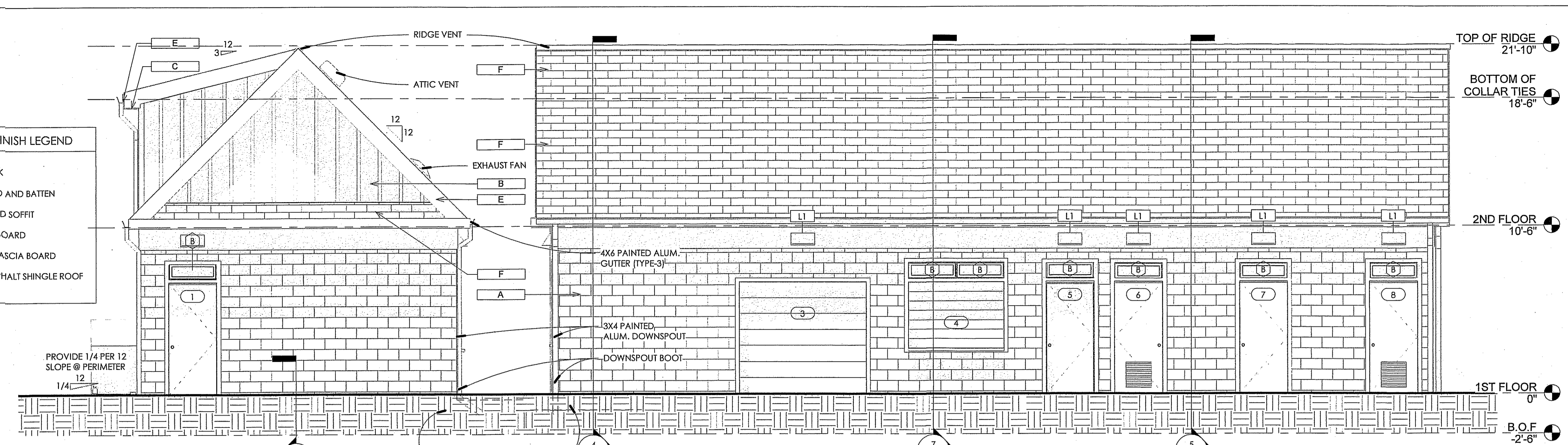
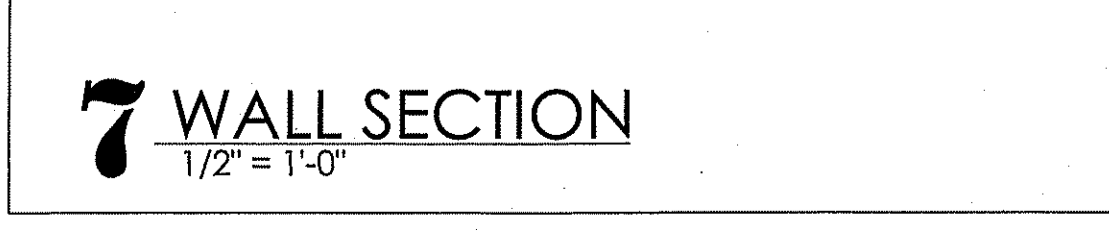
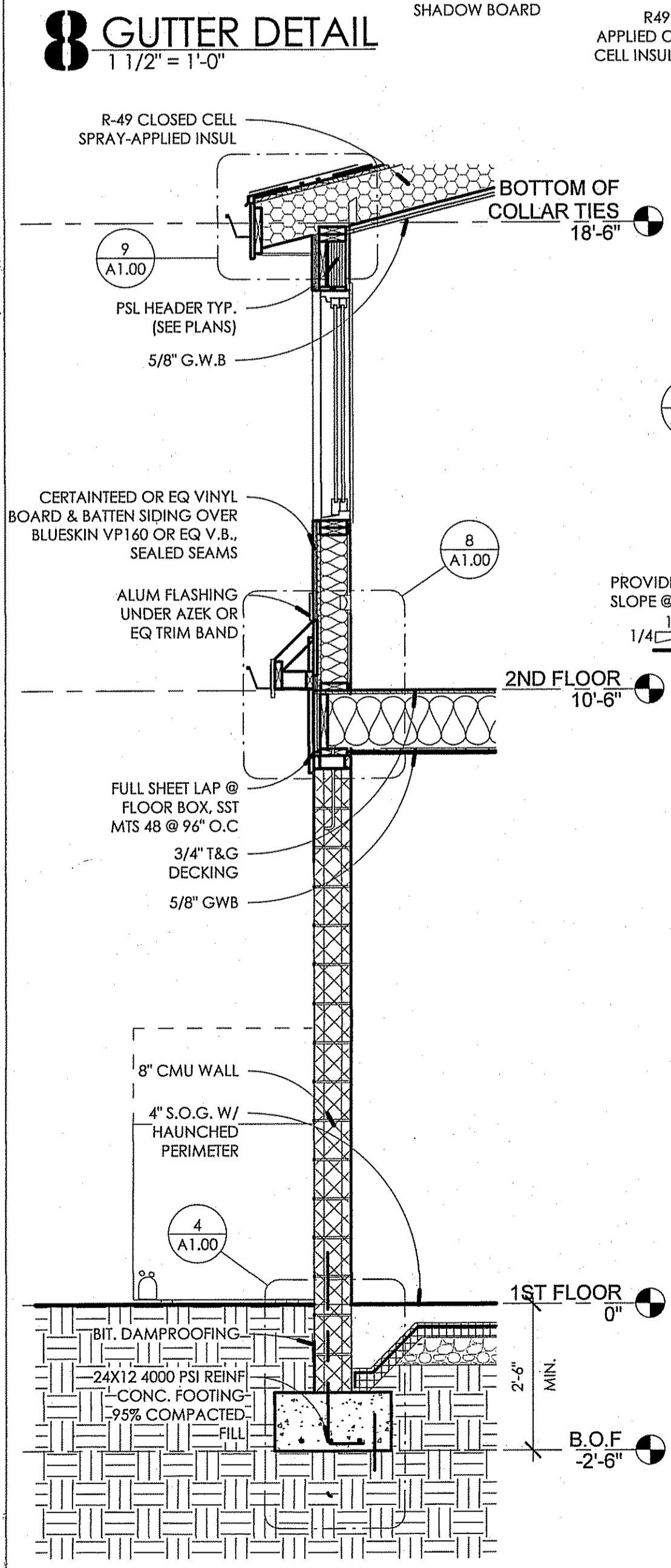
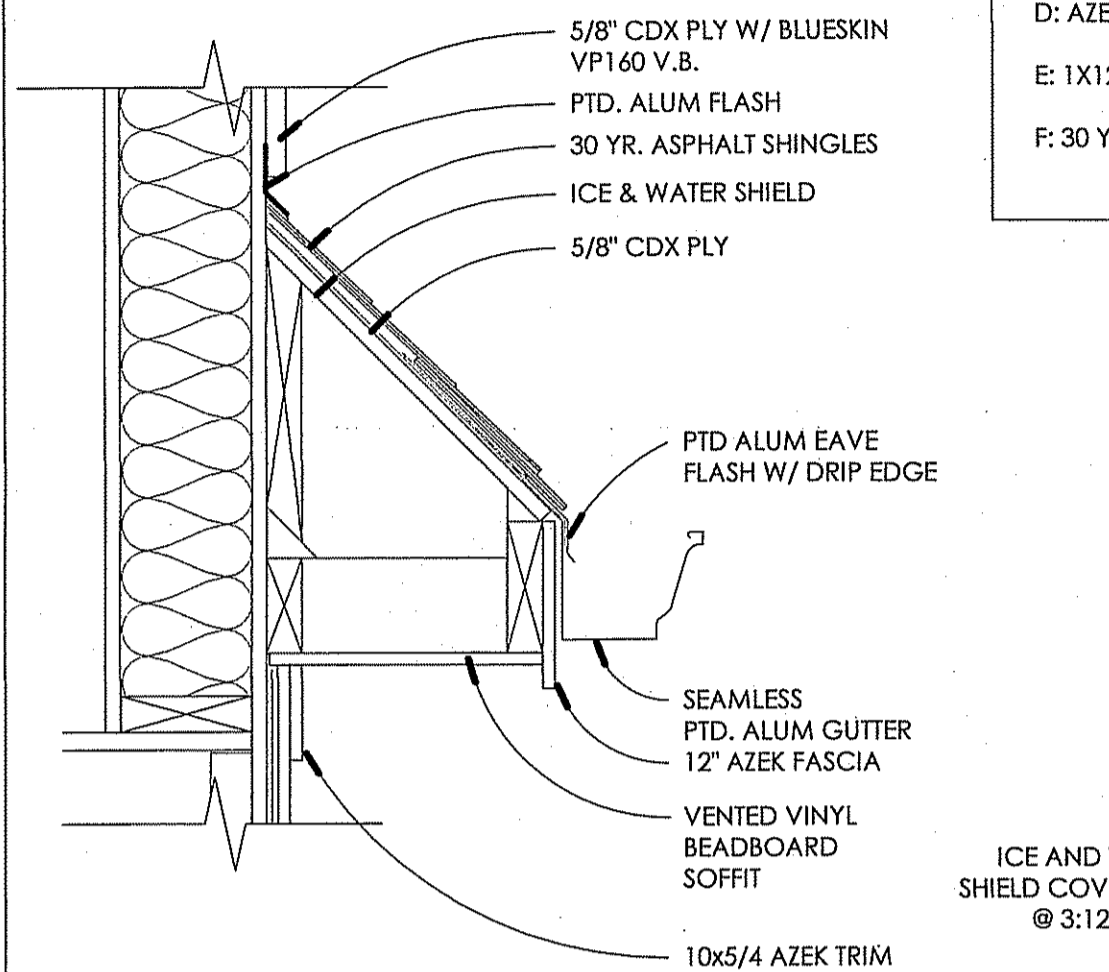
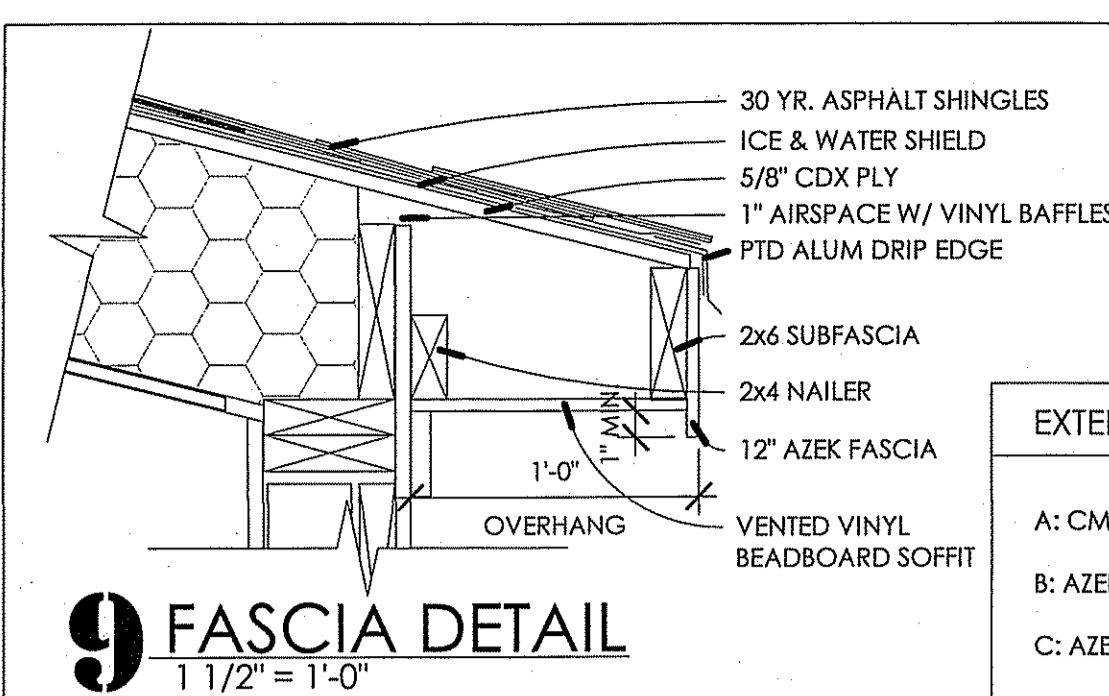
No.	Description	Date

COVER SHEET

Scale: As indicated
 Drawn by: JAS
 Date: 09/01/23

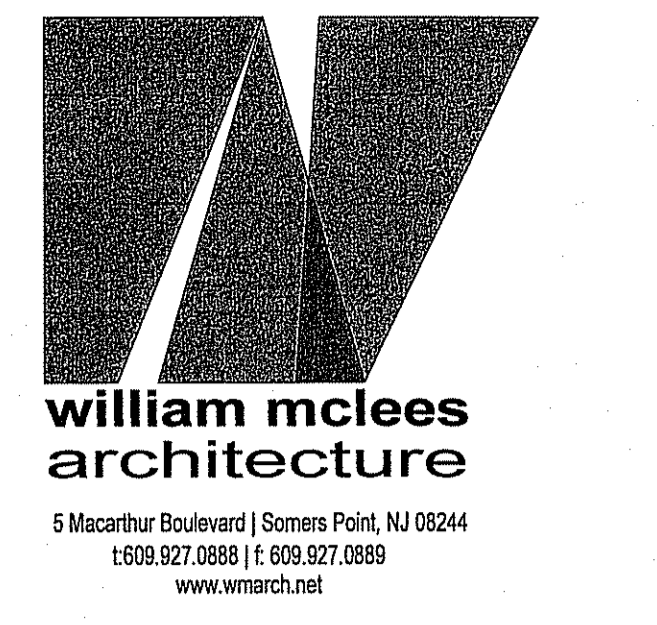
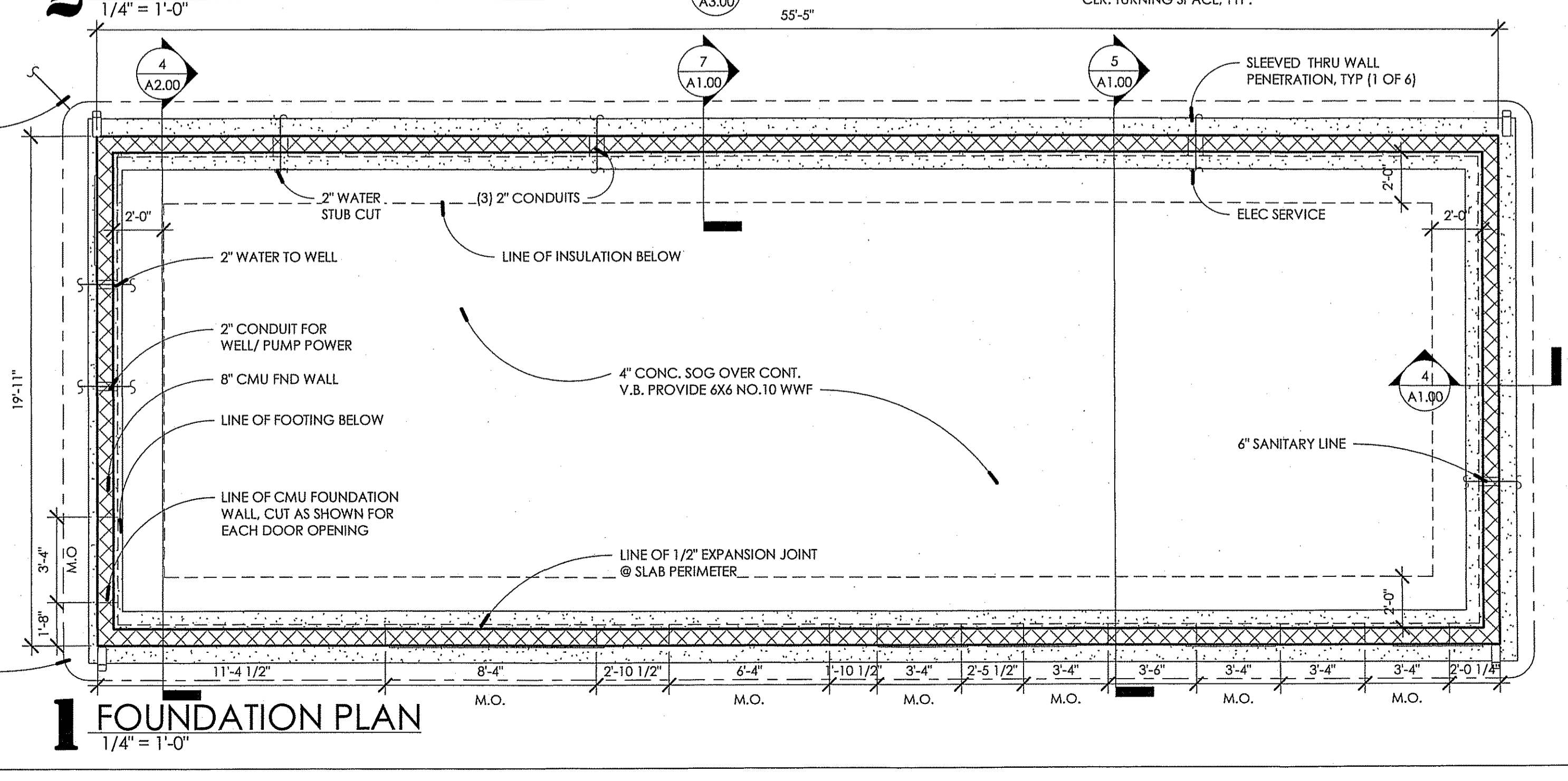
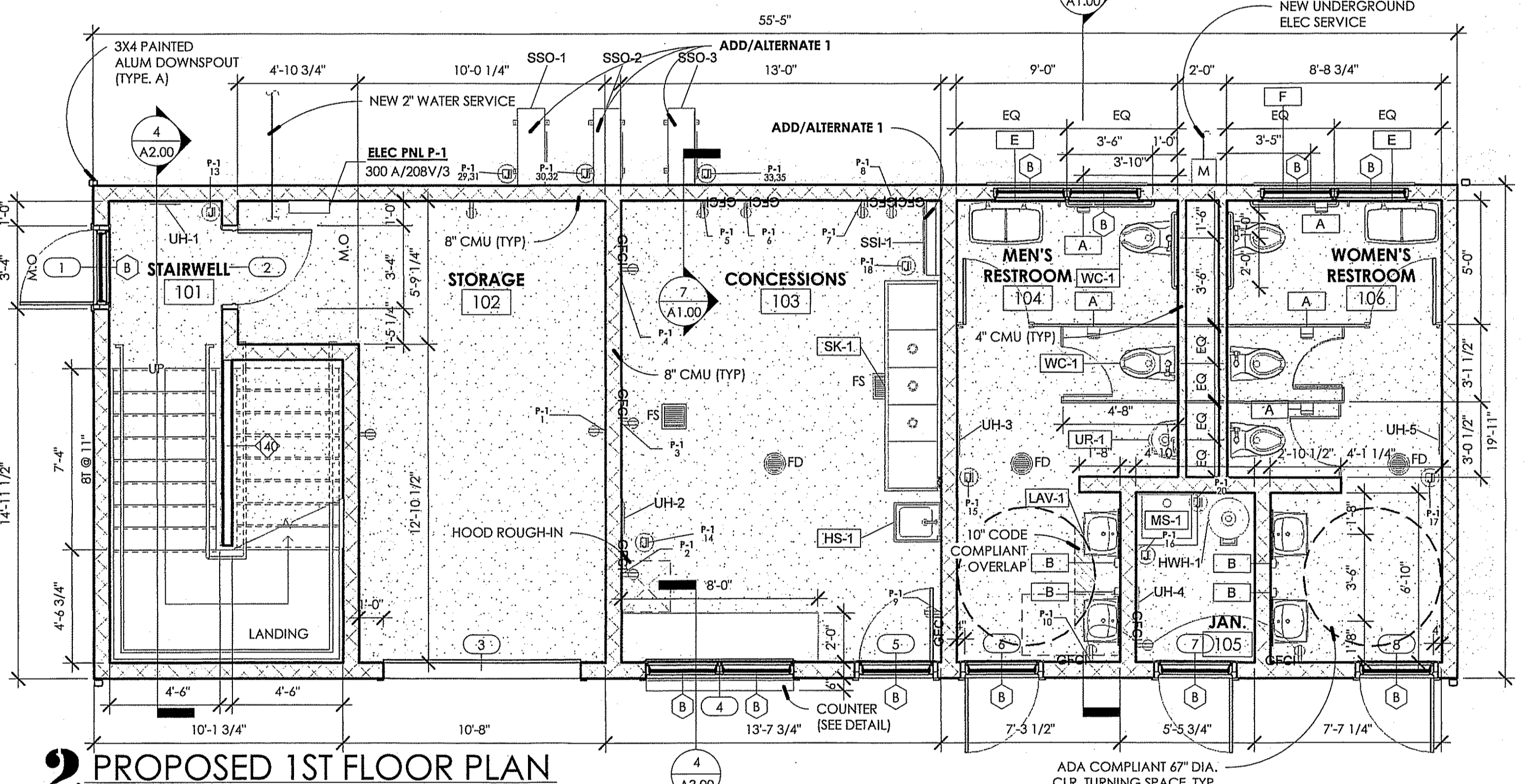
GO.00

Comission no. 21047L



- POWER LEGEND**
- DUPLEX RECEPTACLE
 - GROUND FAULT INTERRUPTER RECEPTACLE
 - DATA OUTLET

- RESTROOM ACCESSORIES**
- A TOILET TISSUE DISPENSER BOBRICK B-4288 SATIN S.S.
 - B SOAP DISPENSER BOBRICK B-2111 SATIN S.S.
 - C MIRROR BOBRICK B-165 24X36, SATIN S.S.
 - D TOWEL/TRASH DISPENSER BOBRICK B-43944 SATIN S.S.
 - E BABY CHANGER KOALA KARE KB200-00
 - F GRAB BARS BOBRICK B-5897 SATIN S.S.
 - G GRAB BARS BOBRICK B-6806X18 SATIN S.S.



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NEW CONSTRUCTION
LINWOOD SOCCER BUILDING
ALL WARS MEMORIAL PARK
LINWOOD, NJ 08221

BID ISSUE
NOT FOR CONSTRUCTION

No.	Description	Date

PROPOSED PLANS, ELEVATIONS, SECTIONS and DETAILS

Scale As indicated
Drawn by JAS
Date 09/01/23

A1.00
Comission no. 21047L

William C. McLees
AIA, LEED AP
New Jersey State License AI 14054
Pennsylvania State License RA403479



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NEW CONSTRUCTION
LINWOOD SOCCER BUILDING

ALL WARS MEMORIAL PARK
LINWOOD, NJ 08221

BID ISSUE
NOT FOR CONSTRUCTION

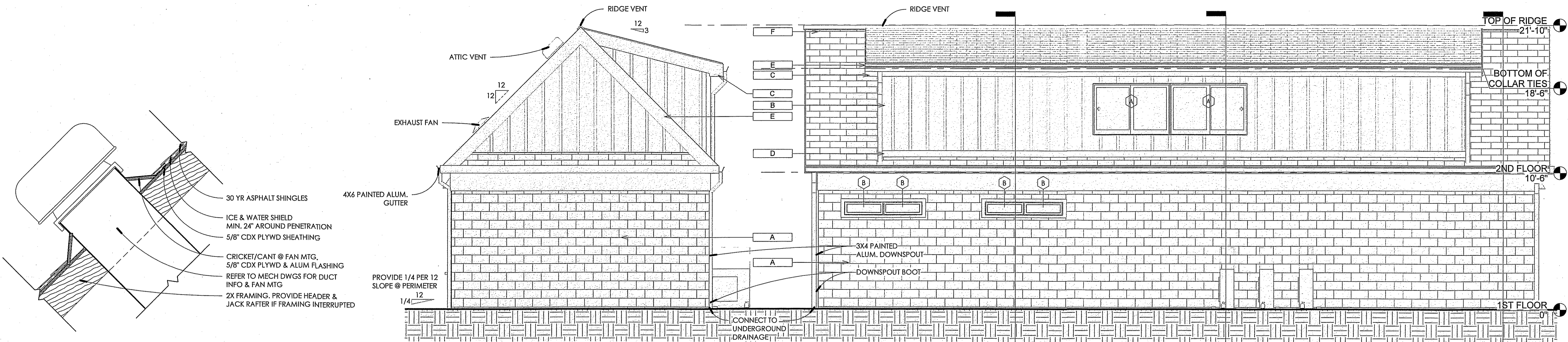
No.	Description	Date

PROPOSED PLANS,
ELEVATIONS,
SECTIONS and
DETAILS

Scale As indicated
Drawn by JAS
Date 09/01/23

A2.00

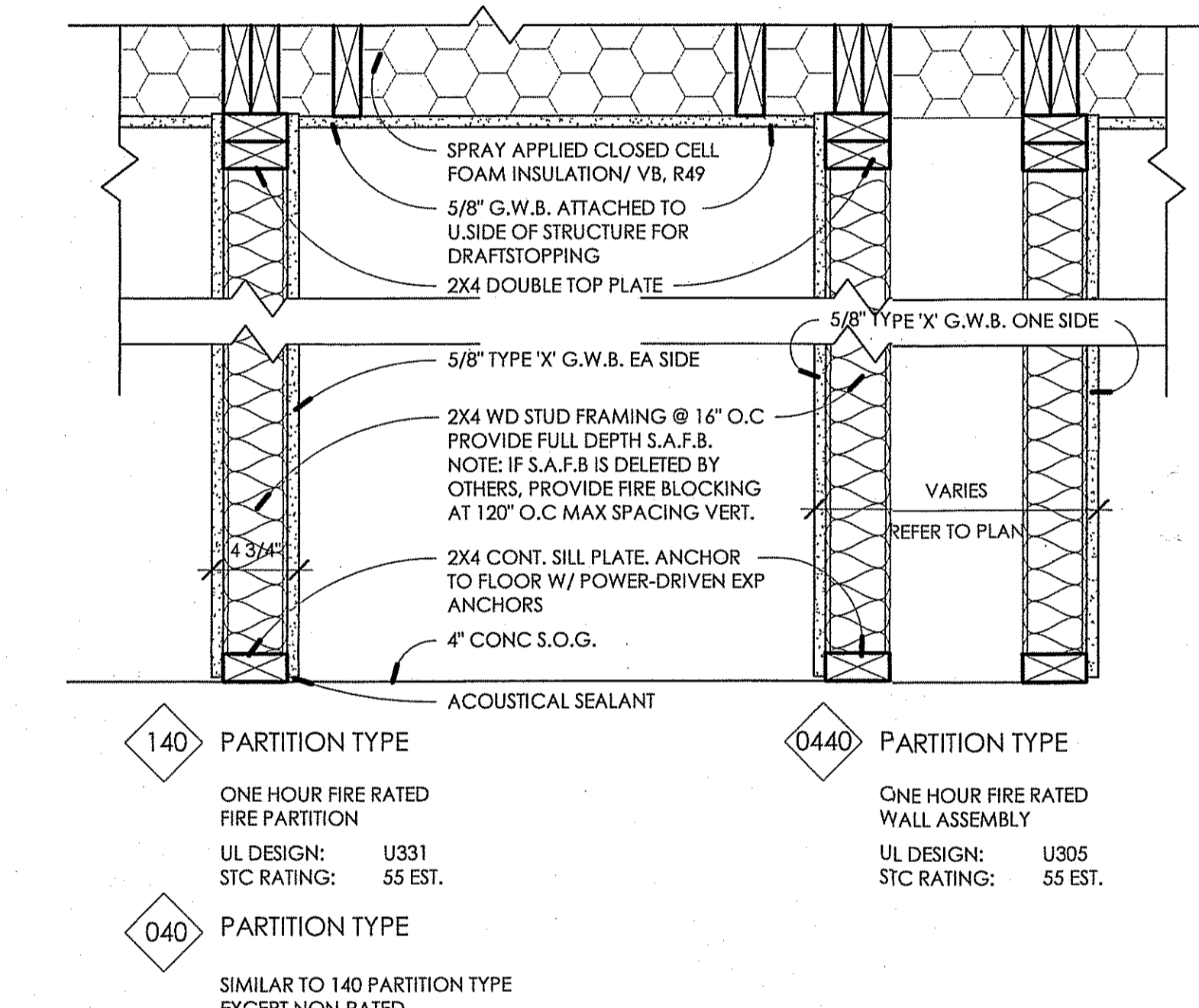
Comission no. 21047L



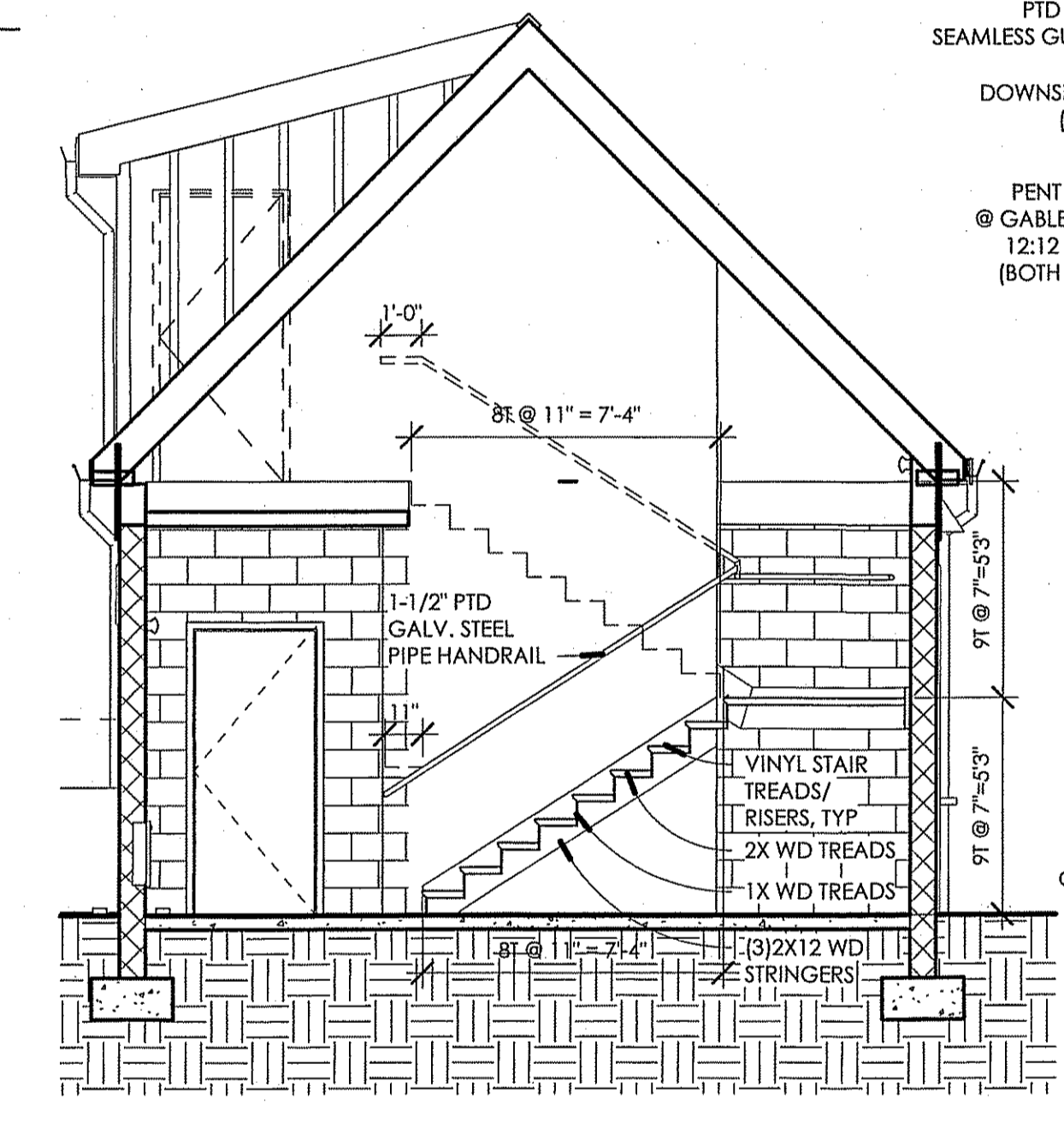
8 ATTIC FAN DETAIL
1" = 1'-0"

5 EAST ELEVATION
1/4" = 1'-0"

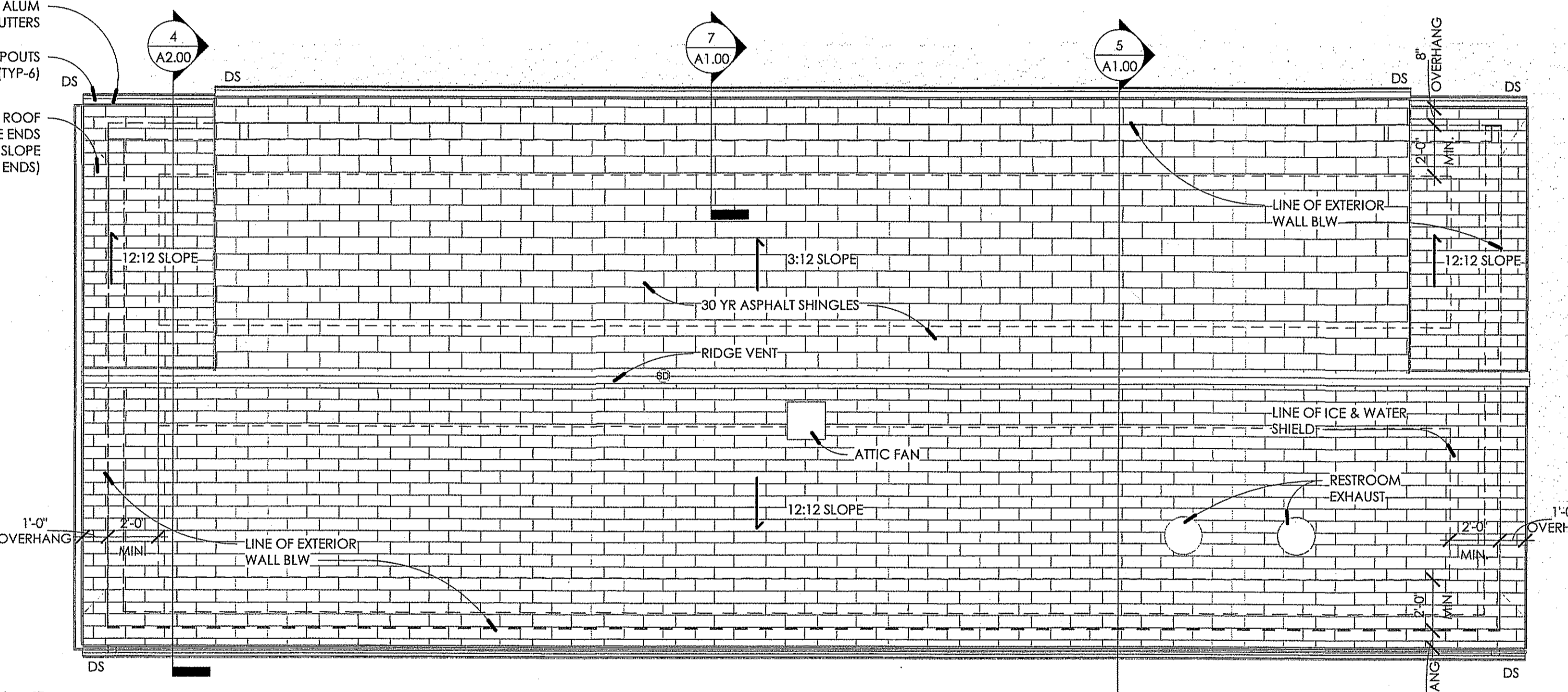
3 NORTH ELEVATION
1/4" = 1'-0"



7 TYPICAL WALL TYPES
1/4" = 1'-0"



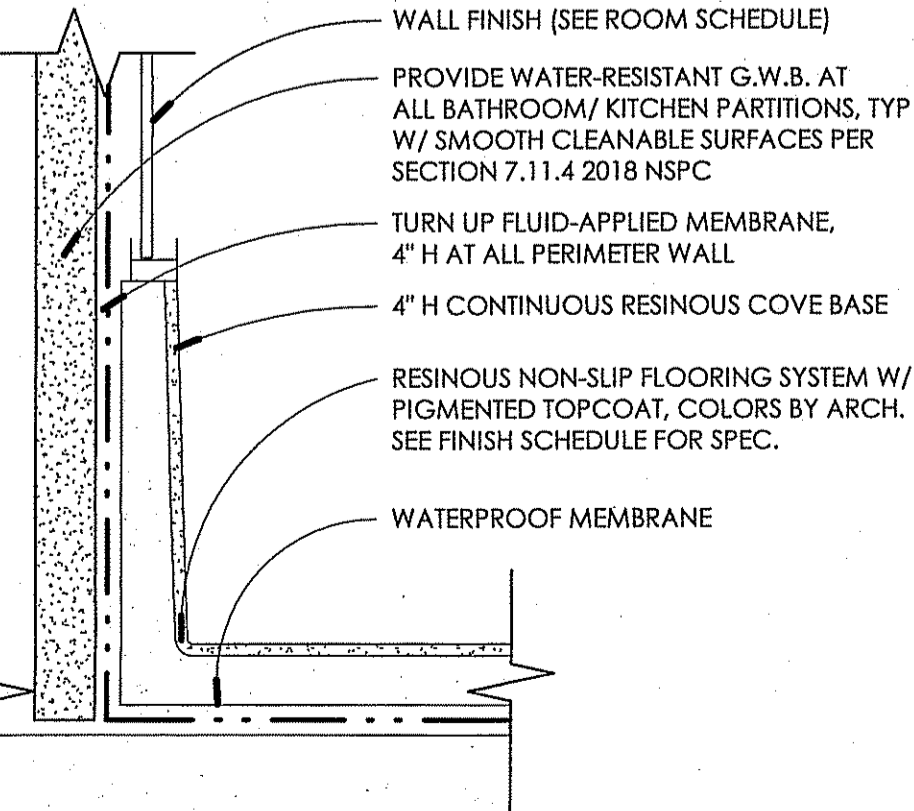
4 STAIRWELL SECTION
1/4" = 1'-0"



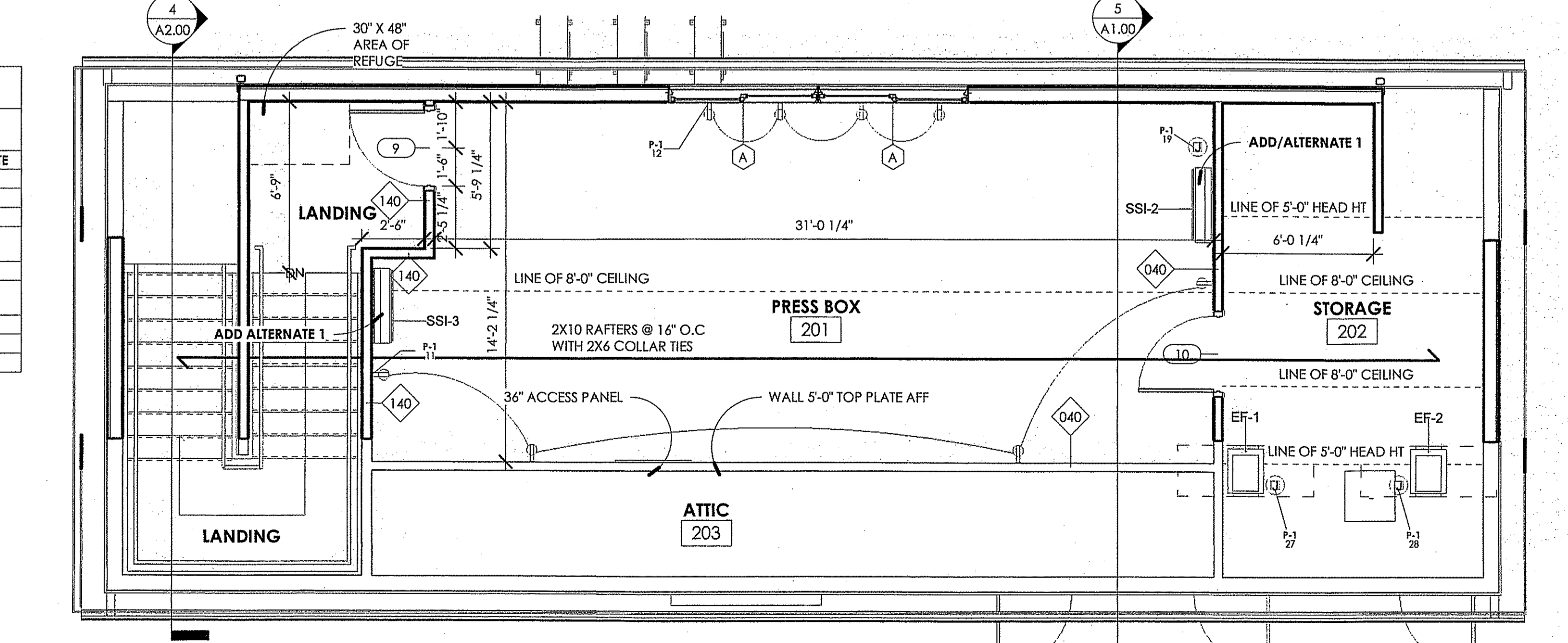
2 PROPOSED ROOF PLAN
1/4" = 1'-0"

ROOM SCHEDULE																
NUM	NAME	AREA	OCC	FLOOR		BASE				WALL				CLG		NOTE
				MATERIAL	FINISH	MATERIAL	FINISH	N	E	S	W	MATERIAL	FINISH	HEIGHT		
101	STAIRWELL	143 SF	-	RSD1	NS	RSO1	NS	ZOL01	ZOL01	ZOL01	ZOL01	G.W.B	PT02	9'-5"		
102	STORAGE	215 SF	-	"	"	"	"	"	"	"	"	G.W.B	"	9'-5"		
103	CONCESSIONS	242 SF	5	"	"	"	"	"	"	"	"	G.W.B	"	9'-5"		
104	MEN'S RESTROOM	149 SF	-	"	"	"	"	"	"	"	"	G.W.B	"	9'-5"		
105	JAN.	33 SF	-	"	"	"	"	"	"	"	"	G.W.B	"	9'-5"		
106	WOMEN'S RESTROOM	147 SF	-	"	"	"	"	"	"	"	"	G.W.B	"	9'-5"		
201	PRESS BOX	460 SF	10	VCT01	-	VN01	-	PT01	PT01	PT01	PT01	G.W.B	"	8'-0"		
202	STORAGE	195 SF	-	"	"	"	"	"	"	"	"	G.W.B	"	8'-0"		
203	ATTIC	139 SF	-	"	"	"	"	"	"	"	"	"	"	"		

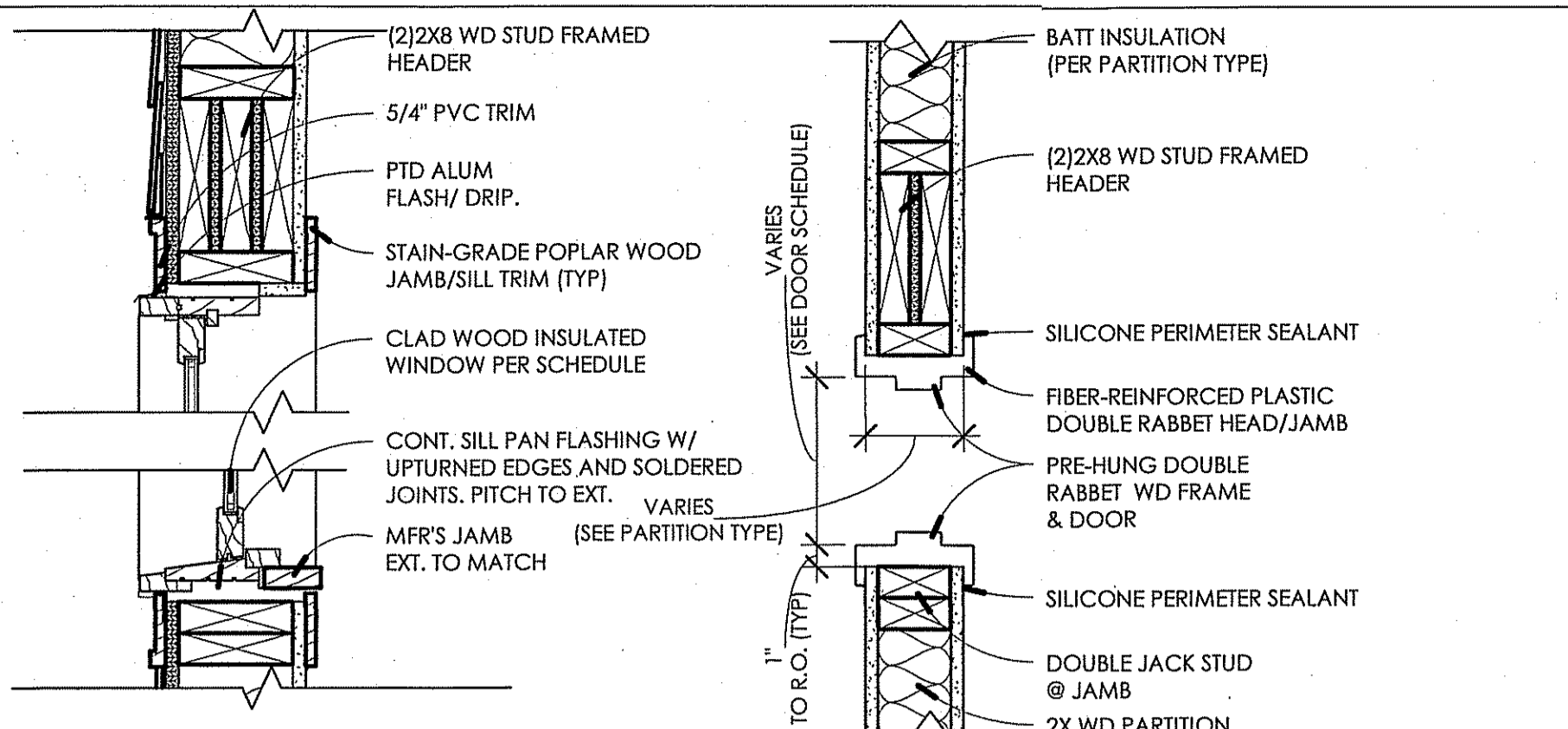
- LIST OF FINISHES**
- GWB 5/8" GYPSUM WALLBOARD
 - NS NON-SLIP
 - PT01 PRIME & (2) COATS INTERIOR LATEX, EGGSHELL FINISH, COLOR BY ARCHITECT
 - PT02 PRIME & (2) COATS INTERIOR LATEX, FLAT FINISH, COLOR BY ARCHITECT
 - RSO1 RESINOUS FLOORING WITH INTEGRAL 4" COVE BASE, COLOR BY ARCHITECT
 - VCT01 12"X12" VINYL COMPOSITION TILE FLOORING, COLOR BY ARCHITECT
 - VN01 4" VINYL COVE BASE TRIM, COLOR BY ARCHITECT
 - ZOL01 ZOLATONE WALL FINISH, COLOR BY ARCHITECT



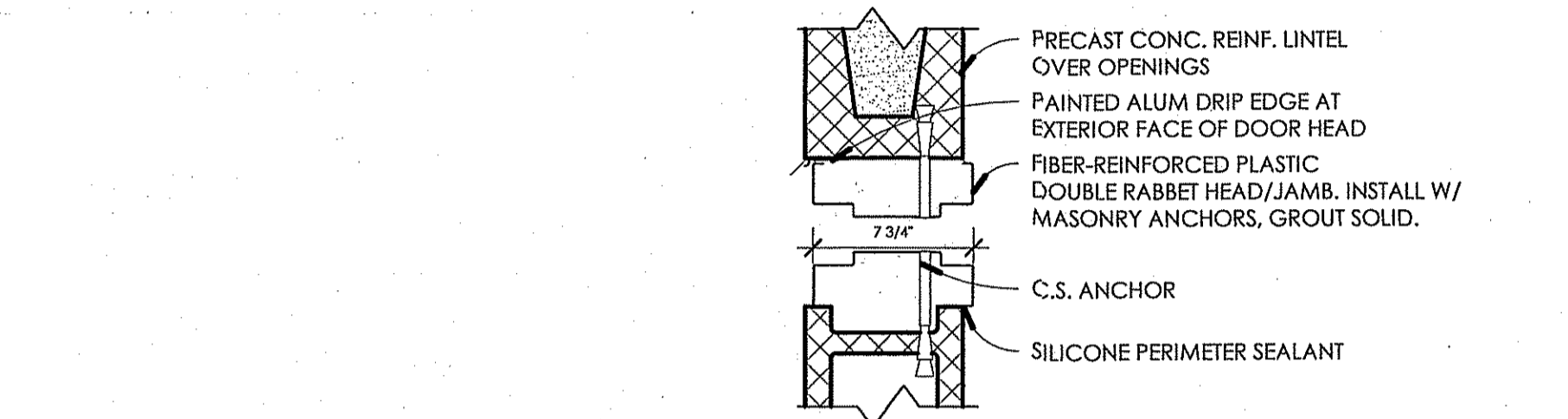
6 RESINOUS FLOOR DETAIL
6" = 1'-0"



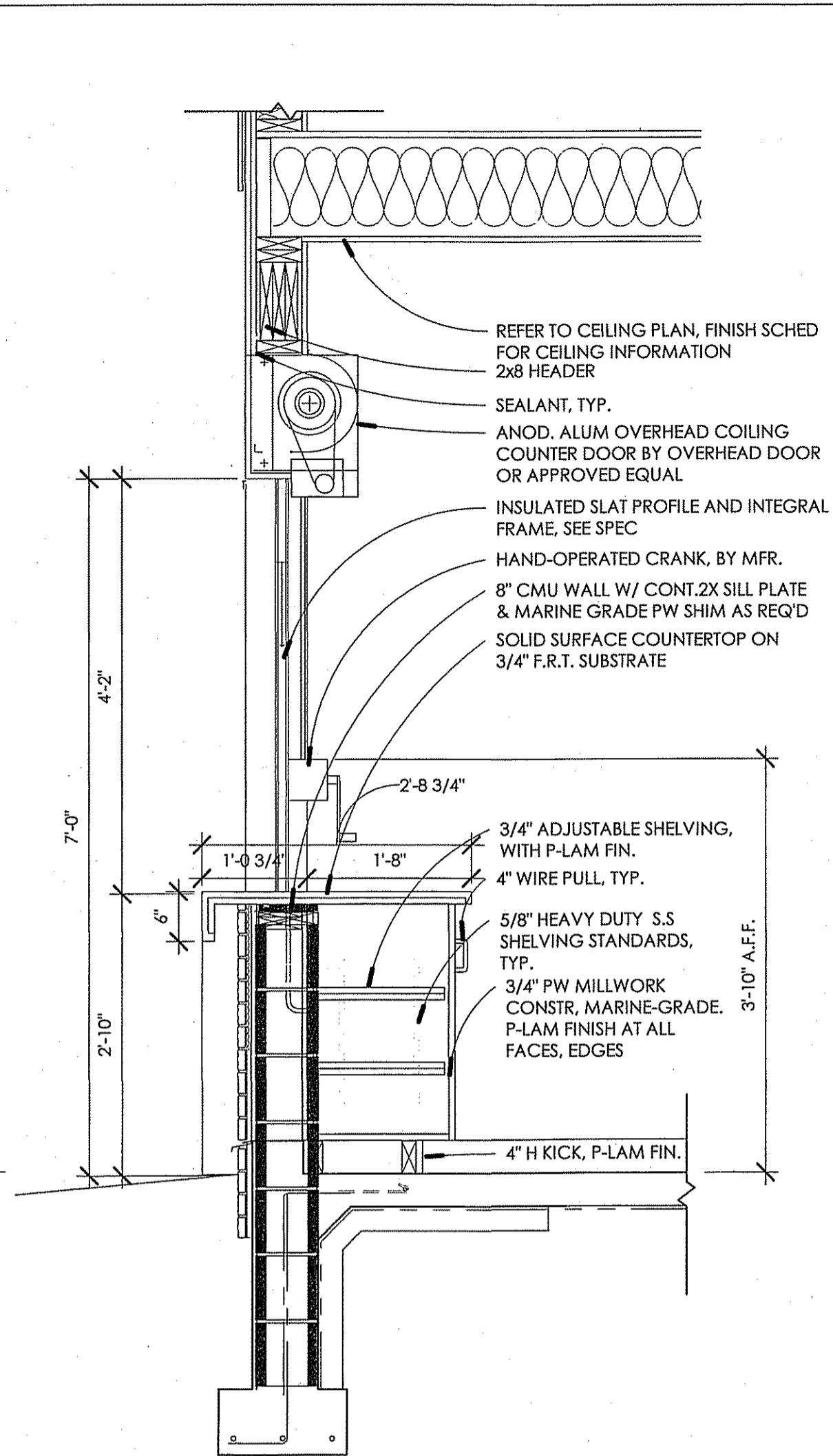
1 PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"



7 WINDOW HEAD/SILL 1 1/2" = 1'-0"
6 HEAD/JAMB DETAIL - WOOD 1 1/2" = 1'-0"



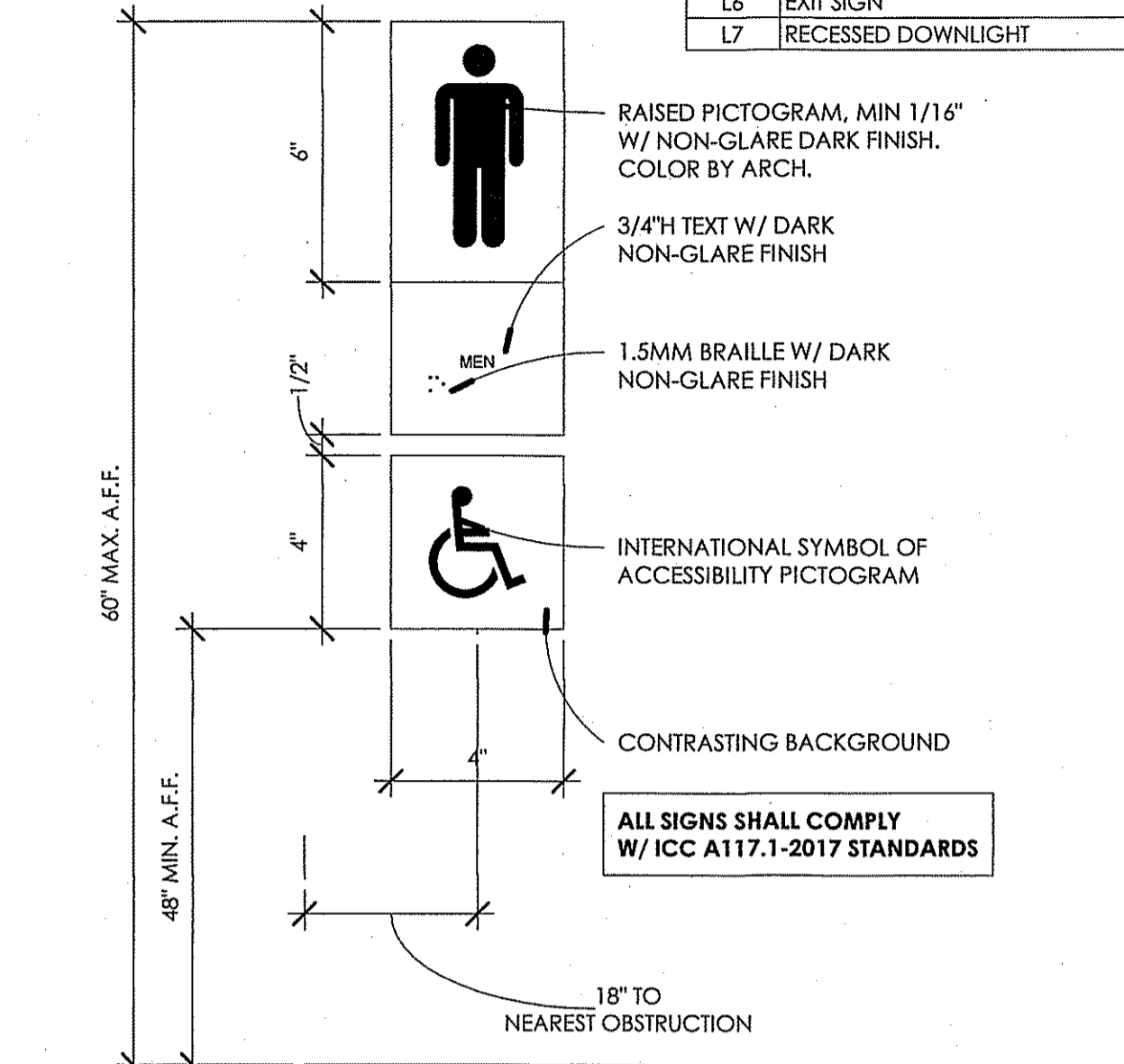
5 HEAD/JAMB DETAIL - MASONRY 1 1/2" = 1'-0"



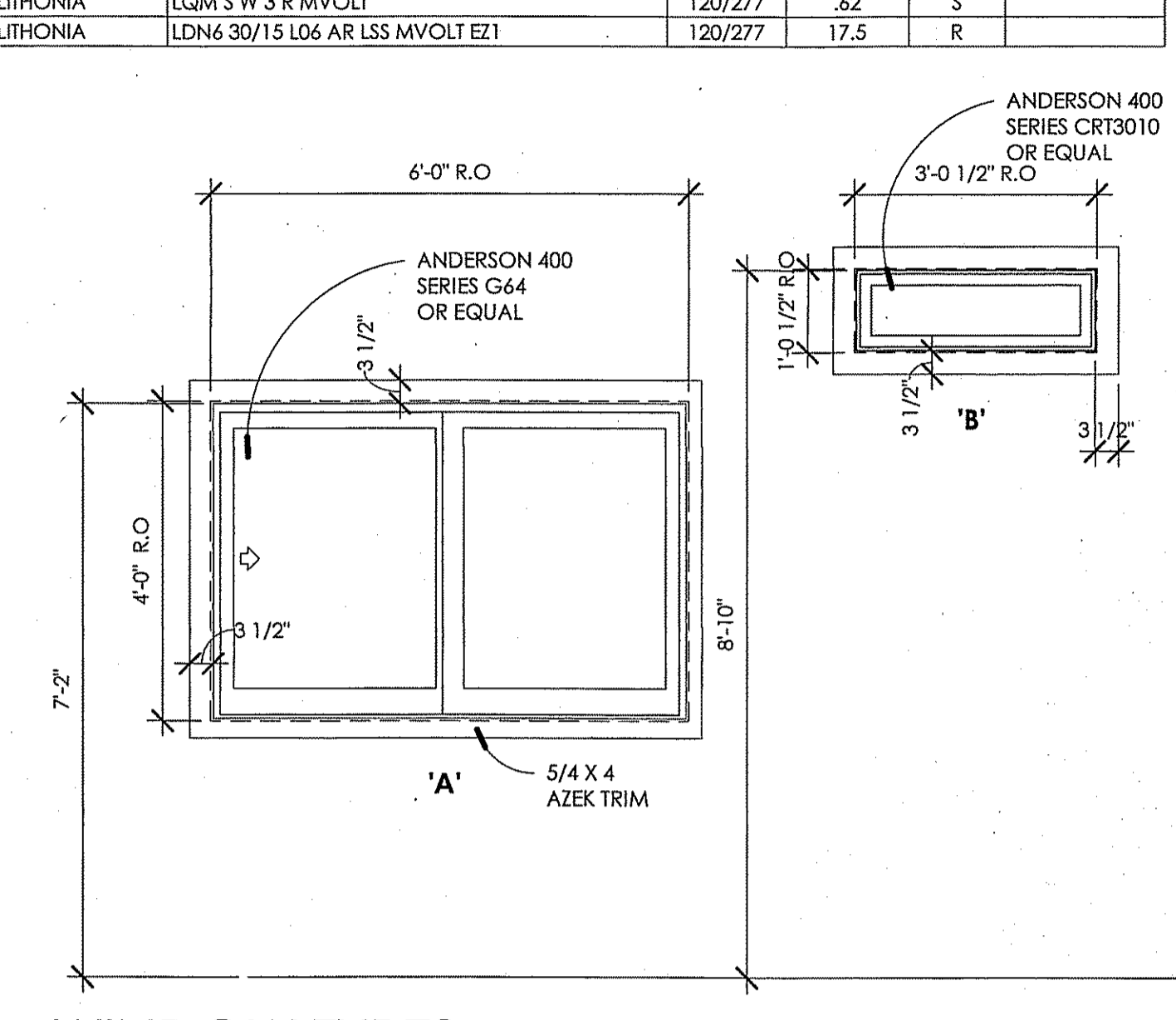
4 COILING DOORS & MILLWORK 3/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	VOLTAGE	WATTS	MTG	NOTES
L1	EXTERIOR WALL SCONCE	LITHONIA	WDGE3 P2 30K 70CRI R3 MVOLT SRM E15WH PE	120/277	15	S	
L2	1X4 SURFACE MTD	LITHONIA	FML4W 48.5000LM 835 2T MVOLT	120/277	53.4	S	
L3	1X4 WALL MTD	LITHONIA	FMLWL 48.8.35 MVOLT	120/277	42	S	
L4	LINEAR SURFACE MTD	PEERLESS	OPRW FL LOP PFT 80CRI 35K 500LMF 120	120	7.2/FT	S	
L5	EMERGENCY LIGHT	LITHONIA	EL2C	120/277	.56	S	
L6	EXIT SIGN	LITHONIA	LQM 5 W 3 R MVOLT	120/277	.62	S	
L7	RECESSED DOWNLIGHT	LITHONIA	LDN6 30/15 L06 AR L55 MVOLT EZ1	120/277	17.5	R	



3 DOOR SIGNAGE 3" = 1'-0"



WINDOW TYPES 1/2" = 1'-0"

DOOR SCHEDULE

NUMBER	WIDTH	HEIGHT	DOOR MATERIAL	DOOR TYPE	FRAME MATERIAL	RATING	HARDWARE	NOTES
1	3'-0"	7'-0"	FRP	A	FRP	-	4	
2	3'-0"	7'-0"	"	A	"	-	6	
3	8'-0"	7'-0"	ALUM	D	ALUM	-	-	
4	6'-0"	4'-2"	"	C	"	-	-	
5	3'-0"	7'-0"	FRP	A	FRP	-	1	
6	3'-0"	7'-0"	"	A	"	-	3	*PROVIDE LOUVER
7	3'-0"	7'-0"	"	A	"	-	2	*PROVIDE LOUVER
8	3'-0"	7'-0"	"	A	"	-	3	*PROVIDE LOUVER
9	3'-0"	7'-0"	"	A	"	-	5	
10	3'-0"	7'-0"	"	A	"	-	6	
11	3'-0"	7'-0"	FRP	A	FRP	-	2	

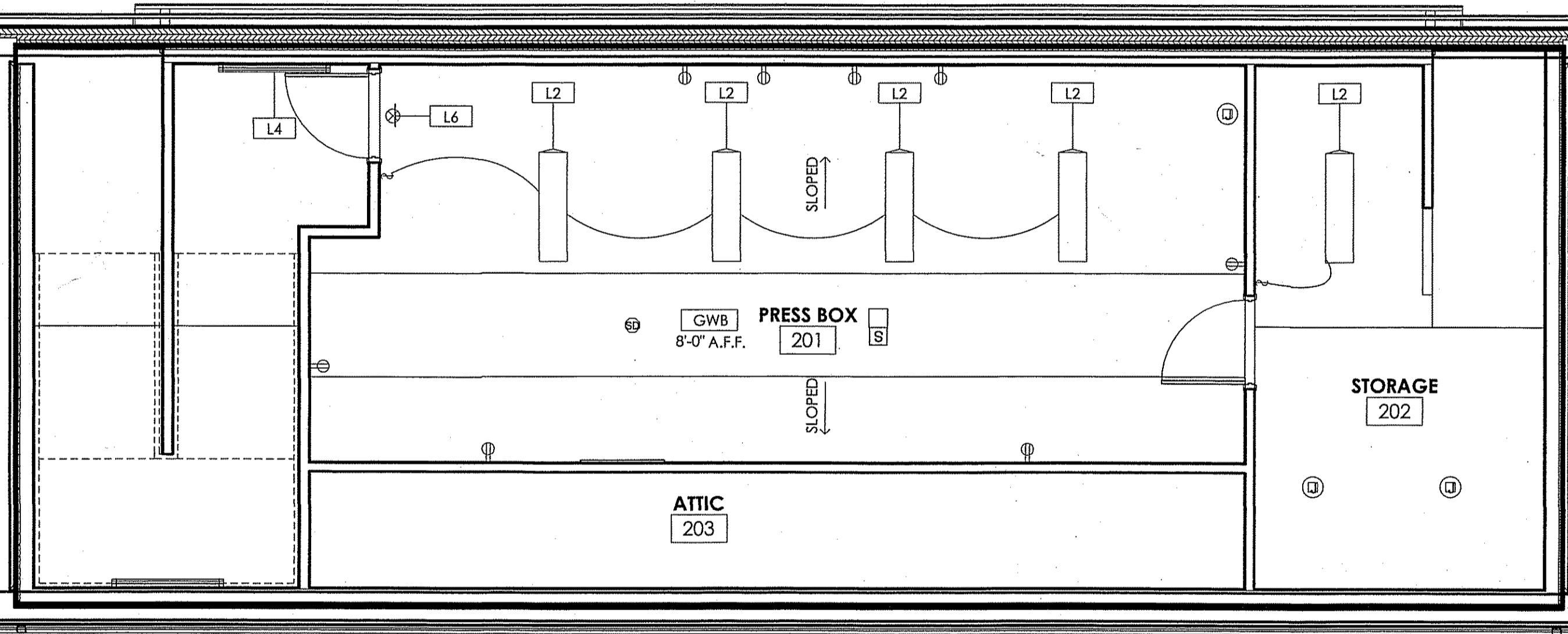
DOOR NOTES:
 1. ALL DOOR HARDWARE TO BE ADA COMPLIANT.
 2. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL DETAILS AND CONDITIONS.
 3. PROVIDE WALL STOPS AS REQUIRED.

HARDWARE SCHEDULE

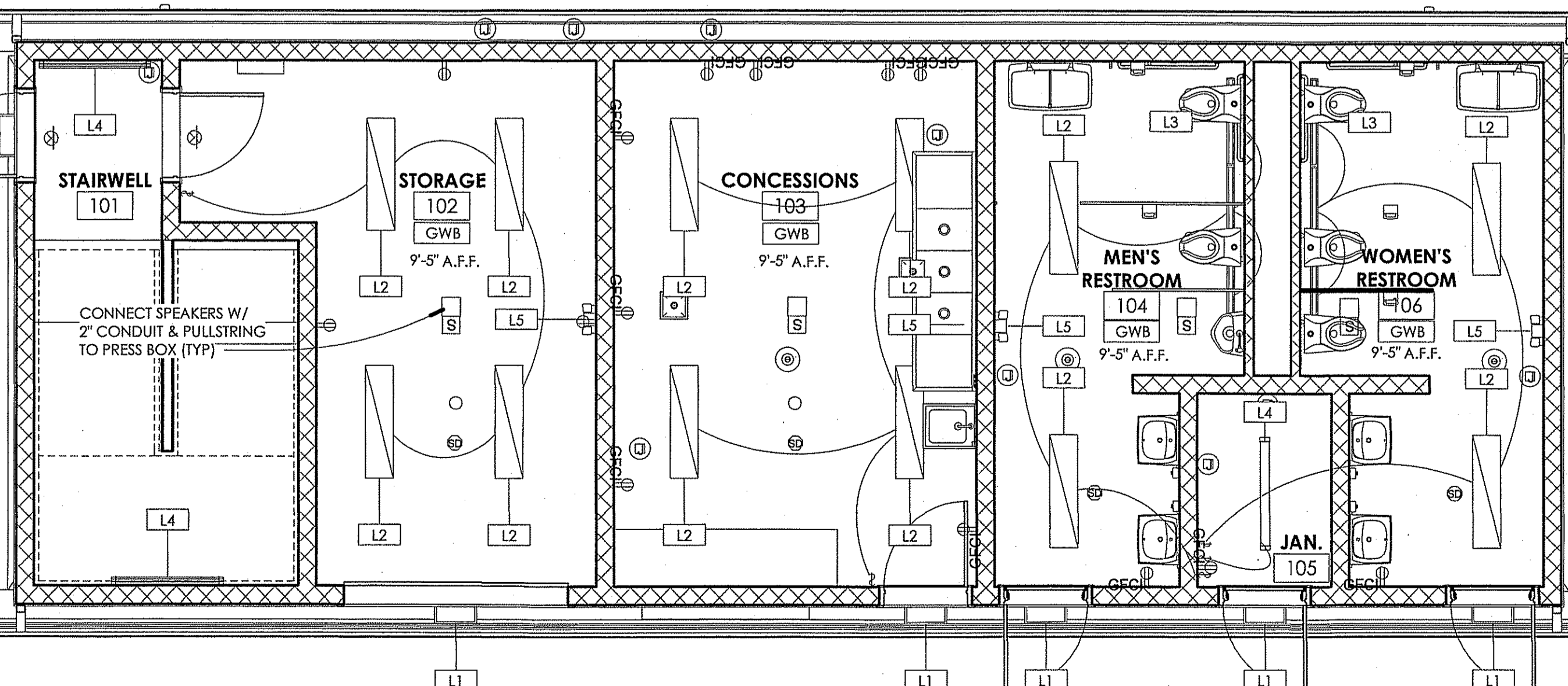
TYPE 1 - CONCESSIONS	TYPE 3 - RESTROOM	TYPE 5 - STAIR
LOCKSET: CORBIN RUSSWIN FULL MORTISE OFFICE FUNCTION W/ ADA 'MUSEO GEORGIA 102' LEVER HANDLE	LOCKSET: CORBIN RUSSWIN W/ K-K DEADBOLT ASSA ABLOY ROCKWOOD 71RCB ASSA ABLOY ROCKWOOD 8F110X70B W/8\"/>	

REFLECTED CEILING LEGEND

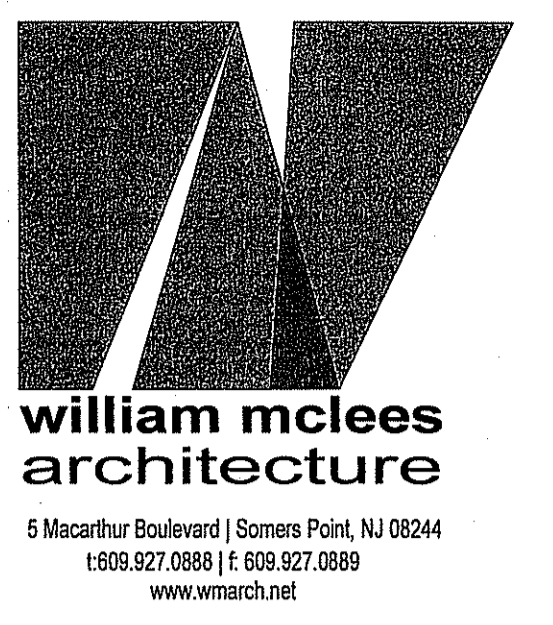
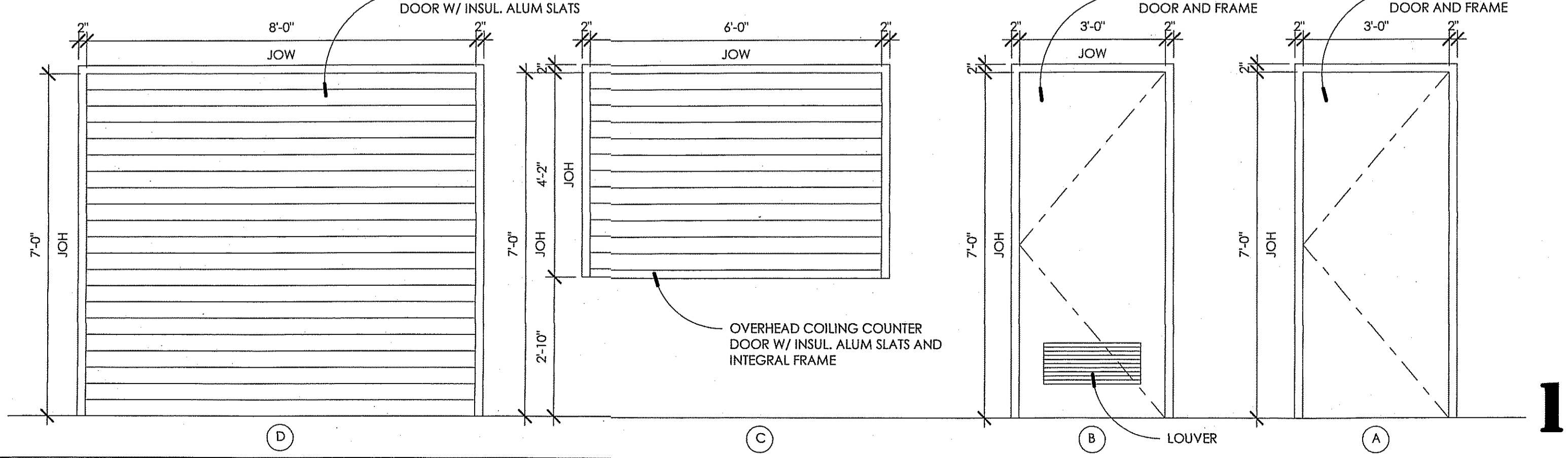
S	SINGLE POLE SWITCH
3	3-WAY TOGGLE SWITCH
SD	SMOKE DETECTOR
⊗	EXIT SIGN
●	FIRE SPRINKLER
⊕	EMERGENCY LIGHTING
S	SPEAKER
P	PULL STATION
⊠	FIRE ALARM HORN / STROBE
X	LIGHTING FIXTURE TYPE 'X' (SEE SCHEDULE)
GWB	CEILING TAG
9'-0"	CEILING FINISH MATERIAL
9'-0"	CEILING HT. A.F.F.



2 2ND FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0"



1 1ST FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0"



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NEW CONSTRUCTION
LINWOOD SOCCER BUILDING

ALL WARS MEMORIAL PARK
 LINWOOD, NJ 08221

BID ISSUE
 NOT FOR CONSTRUCTION

No.	Description	Date

PROPOSED REFLECTED CEILING PLANS, SCHEDULES and DETAILS

Scale: As Indicated
 Drawn by: JAS
 Date: 09/01/23

A3.00

Comission no. 21047L

