

# GLOUCESTER CITY MIDDLE SCHOOL OFFICE ALTERATION

500 MARKET ST, GLOUCESTER CITY, NJ 08030

FOR THE GLOUCESTER CITY BOARD OF EDUCATION

1300 MARKET STREET GLOUCESTER CITY, NJ 08030

NJDOE PROJECT NUMBER # 07-1770-160-24-1000

## SET ISSUE 12/20/2023 ISSUED FOR BID

### PROJECT DESCRIPTION:

THE PROJECT IS AN ALTERATION TO FIRST FLOOR AND SECOND FLOOR OFFICE AREAS TO CREATE NEW OFFICES WITH NON-STRUCTURAL GYPSUM AND METAL STUD WALLS. INTERIOR DOORS, WINDOWS AND FINISHES WILL BE UPDATED INCLUDING ACOUSTICAL CEILING & LIGHTING. EXISTING ELECTRICAL, MECHANICAL, FIRE PROTECTION AND SECURITY SYSTEMS WILL BE ALTERED FOR THE NEW OFFICES. EGRESS AND OCCUPANCY REMAINS THE SAME.

### GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE-2021 NEW JERSEY EDITION AND ALL OTHER APPLICABLE CODES, ORDINANCES, ETC. FOR NEW JERSEY STATE AND THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS AND SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS AND COMMENCING WORK.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFE WORKING CONDITIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES AND JOB SITE CONDITIONS INCLUDING SAFETY. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER TO PROTECT WORKMEN, OCCUPANTS AND THE PUBLIC FROM INJURY AND ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE BY USE OF SCAFFOLDING, UNDERPINNING OR OTHER APPROVED METHOD. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE CAUSED DURING OR RESULTING FROM HIS OPERATIONS IN KIND TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN, DEBRIS FREE CONDITION. THE DUST RESULTING FROM REMOVALS SHALL BE CONTROLLED SO AS TO PREVENT ITS SPREAD TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA.
- CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS, APPROVALS, ETC. PRIOR TO COMMENCING WORK AND SHALL SECURE CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OFF SITE IN AN APPROVED MANNER. THE OWNER SHALL BE CONSULTED PRIOR TO DISPOSAL OF ANY SALVAGED OR EXCESS MATERIALS AT THE COMPLETION OF THE PROJECT.
- UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- ALL WORK SHALL BE SCHEDULED IN COMPLIANCE WITH THE OWNER'S REQUIREMENTS FOR THE USE OF THE EXISTING FACILITY.
- CONTRACTOR SHALL FURNISH ALL EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED DURING THE COURSE OF HIS WORK AND TO ENSURE THE OWNER'S FACILITY TO BE OPERATIONAL.
- THE CONTRACTOR SHALL REVIEW DRAWINGS AND FIELD VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND ADDRESS ALL QUESTIONS TO ARCHITECT PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, FILLING AND CLEANING UPON COMPLETION OF WORK.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. ALL WRITTEN OR DIMENSIONED INFORMATION TAKES PRECEDENCE OVER THE DRAWING.
- THE CONTRACTOR SHALL SUBMIT, WHERE REQUIRED, SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO THE START OF FABRICATION OF THOSE ITEMS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL PROVIDE THE OWNER AND ARCHITECT WITH CERTIFICATES OF INSURANCE PRIOR TO STARTING THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING OF EXISTING STRUCTURES AS NEEDED TO COMPLETE THE NEW WORK.
- ALL MANUFACTURER'S MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE TO WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. WHERE BRAND NAMES AND MANUFACTURED PRODUCTS ARE CALLED FOR, APPROVED EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE SUBSTITUTED WITH WRITTEN PERMISSION OF THE ARCHITECT AND THE OWNER. WHENEVER BRAND NAMES OR SPECIFIC PRODUCT SYSTEMS ARE INDICATED IT SHALL BE CLEARLY UNDERSTOOD THAT SUCH IDENTIFICATION IS FOR THE PURPOSE OF ILLUSTRATING THE TYPE OF PRODUCT AND DEGREE OF QUALITY DESIRED. SUCH IDENTIFICATION IN NO WAY PRECLUDES THE CONTRACTOR FROM USING PRODUCTS OF OTHER MANUFACTURERS WHICH CAN BE SHOWN IN ADVANCE TO BE OF LIKE AND OF EQUAL QUALITY.
- ALL CHANGES SHALL BE REQUESTED IN WRITING AND MAY ONLY BE APPROVED IN WRITING BY THE ARCHITECT AND THE OWNER PRIOR TO ANY CHANGES BEING MADE.
- THE ARCHITECT HAS THE RIGHT TO REJECT ANY PORTION OF WORK THAT IS POORLY INSTALLED, DOES NOT MEET INDUSTRY STANDARD, UNAUTHORIZED, OR WORK DONE CONTRARY TO THE INTENT OF THE CONTRACT DOCUMENTS. SUCH WORK SHALL BE REPLACED, REPAIRED OR REMOVED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD ONE YEAR AFTER RECEIVING FINAL ACCEPTANCE AND DO ALL REPAIR WORK AND REPLACEMENT AS NECESSARY DURING THAT PERIOD AT THE CONTRACTOR'S EXPENSE.
- IN NO EVENT SHALL STRUCTURAL MEMBERS BE CUT OR DRILLED WITHOUT THE WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SAFE AND SANITARY CONDITIONS WHERE DEMOLITION AND WRECKING OPERATIONS ARE BEING CARRIED ON. WORK SHALL BE EXECUTED IN SUCH A MANNER THAT HAZARD FROM FIRE, POSSIBILITY OF INJURY, DANGER TO HEALTH AND CONDITIONS WHICH MAY CONSTITUTE A PUBLIC NUISANCE SHALL BE MINIMIZED.

### BUILDING CODE ANALYSIS:

PROJECT NAME: GLOUCESTER CITY MIDDLE SCHOOL (EXISTING BUILDING 2009 CODE)  
LOCATION: 500 MARKET STREET GLOUCESTER CITY NEW JERSEY  
USE GROUP: E - EDUCATION AND B BUSINESS (MIXED NON-SEPARATED)  
CLIMATE ZONE: 4A (ASHRAE 90.1-2018, TABLE B1-1)  
CONSTRUCTION CLASSIFICATION: TYPE II-B, COMBUSTIBLE.

#### NEW JERSEY REHAB SUBCODE:

- 5.23-6.6 ALTERATIONS**  
(a) ALTERATIONS, AS DEFINED IN N.J.A.C. 5:23-6.3, SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION (COMPLIANT)  
(b) ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER. (COMPLIANT)  
(c) THE WORK SHALL NOT CAUSE ANY DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION BELOW THAT WHICH EXISTS AT THE TIME OF APPLICATION FOR A PERMIT OR THAT WHICH IS REQUIRED BY THE APPLICABLE SUBCODES OF THE UNIFORM CONSTRUCTION CODE, WHICHEVER IS LOWER, THE REPLACEMENT OR ADDITION OF FIXTURES, EQUIPMENT OR APPLIANCES SHALL NOT INCREASE LOADS ON THESE SYSTEMS UNLESS THE SYSTEM IS UPGRADED IN ACCORDANCE WITH THE APPLICABLE SUBCODE OF THE UCC TO ACCOMMODATE THE INCREASED LOAD. (1 THRU 4) (COMPLIANT)  
(d) THE FOLLOWING PRODUCTS AND PRACTICES SHALL NOT BE USED: (1 THRU 7) (COMPLIANT)  
(e) THE FOLLOWING PRODUCTS AND PRACTICES SHALL BE REQUIRED, WHEN APPLICABLE: (1 THRU 25) (COMPLIANT)  
(3) IN BUILDINGS REQUIRED BY CHAPTER 11 OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHEN SPACE IS RECONFIGURED, THE ALTERED SPACE SHALL COMPLY WITH CHAPTER 11 OF THE BUILDING SUBCODE. (COMPLIANT)  
(f) N/A (g) N/A  
(h) THE WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING WITH THE BASIC REQUIREMENTS OF THIS SUBCHAPTER THAN IT WAS WHEN THE ALTERATION WAS UNDERTAKEN. (1 THRU 2) (COMPLIANT)  
(i) ALL MATERIALS AND METHODS USED SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN N.J.A.C. 5:23-6.8, MATERIALS AND METHODS. (1 THRU 2) (COMPLIANT)  
(j) ALL NEW BUILDING ELEMENTS, AS LISTED IN N.J.A.C. 5:23-6.9, SHALL COMPLY WITH THE REQUIREMENTS OF THAT SECTION. (COMPLIANT)  
(k) ALL MATERIALS AND METHODS USED SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN N.J.A.C. 5:23-6.8, MATERIALS AND METHODS. (1 THRU 2) (COMPLIANT)  
(l) IN A BUILDING REQUIRED BY CHAPTER 11 OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHERE THE SPACE ALTERED IS A PRIMARY FUNCTION SPACE, AN ACCESSIBLE PATH OF TRAVEL TO THE ALTERED SPACE SHALL BE PROVIDED UP TO THE POINT AT WHICH THE COST OF PROVIDING ACCESSIBILITY IS DISPROPORTIONATE TO THE COST OF THE OVERALL ALTERATION PROJECT, A COST IS DISPROPORTIONATE IF IT EXCEEDS 20 PERCENT OF THE COST OF THE ALTERATION WORK. (BUILDING IS ACCESSIBLE) (1 THRU 2) (COMPLIANT)  
(m) N/A  
**5.23-6.11 BASIC REQUIREMENTS IN ALL GROUPS (a,b,c,d,e)** (COMPLIANT)  
(b) CAPACITY OF MEANS OF EGRESS: MEANS OF EGRESS SHALL BE MEASURED IN UNITS OF EXIT WIDTH OF 22 INCHES.  
TABLE 1 CAPACITY PER UNIT EGRESS WIDTH WITH AUTOMATIC SPRINKLER SYSTEM  
GROUP STAIRWAYS DOORS, RAMPS AND CORRIDORS NUMBER OF OCCUPANTS TYP. EACH DOOR  
E 113 150 (NUMBER OF OCCUPANTS)  
**5.23-6.18 BASIC REQUIREMENTS-GROUP E (A THRU N)**  
(a) EXITS: TWO EXITS SHALL BE REQUIRED FOR STORIES WITH LESS THAN 500 OCCUPANTS. (PROVIDED)  
(b) EGRESS DOORWAYS: A MINIMUM OF TWO EGRESS DOORWAYS SHALL BE REQUIRED FOR ALL ROOMS AND SPACES WITH AN OCCUPANT LOAD GREATER THAN 50 OR IN WHICH THE TRAVEL DISTANCE EXCEEDS 75 FEET. (PROVIDED)  
(c) CAPACITY OF MEANS OF EGRESS: THE CAPACITY OF THE MEANS OF EGRESS IN EACH WORK AREA SHALL BE DETERMINED IN ACCORDANCE WITH N.J.A.C. 5:23-6.11(B). (PLAN REVIEW-BUILDING, FIRE, INSPECTION-BUILDING) (PROVIDED)  
(D) DEAD END CORRIDORS: EXISTING DEAD END CORRIDORS SHALL NOT EXCEED 35 FEET IN LENGTH. EXCEPTIONS DEAD END CORRIDORS MAY BE UP TO 50 FEET IN LENGTH IN A BUILDING WITH AN AUTOMATIC ALARM SYSTEM. (COMPLIANT)  
(E) MEANS OF EGRESS LIGHTING: ARTIFICIAL LIGHTING WITH AN INTENSITY OF NOT LESS THAN ONE FOOT CANDLE AT FLOOR LEVEL SHALL BE REQUIRED. (PROVIDED)  
(F) ILLUMINATED EXIT SIGNS: ILLUMINATED EXIT SIGNS SHALL BE PROVIDED FOR ALL REQUIRED MEANS OF EGRESS IN ALL BUILDINGS, ROOMS OR SPACES REQUIRED TO HAVE MORE THAN ONE EXIT OR EXIT ACCESS. (PROVIDED)  
(G) HANDRAILS: EVERY REQUIRED EXIT STAIRWAY HAVING THREE OR MORE RISERS NA  
(H) HANDRAILS: EVERY REQUIRED EXIT STAIRWAY HAVING THREE OR MORE RISERS NA  
(I) HANDRAILS: EVERY REQUIRED EXIT STAIRWAY HAVING THREE OR MORE RISERS NA  
(J) STRUCTURAL ELEMENTS: N.J.A.C. 5:23-6.7(C), EXISTING STRUCTURAL ELEMENTS SHALL BE PERMITTED TO REMAIN. (BUILDING) (REQUIRED TO BE COMPLAINT SOUND FOR DEFLECTION AND FIXED LOADS) (NO ALTERATIONS)  
(K) PLUMBING FIXTURES: PLUMBING FIXTURES SHALL BE PROVIDED AS REQUIRED BY TABLE 7.21.1 OF THE PLUMBING SUBCODE. WHERE THE PLUMBING SUBCODE ALLOWS FOR THE SUBSTITUTION OR OMISSION OF FIXTURES, SUCH SUBSTITUTIONS OR OMISSIONS SHALL ALSO BE PERMITTED UNDER THIS SECTION. (PLUMBING) (NO ALTERATIONS)  
(L) MECHANICAL REQUIREMENTS: ALL SPACES INTENDED FOR OCCUPANCY SHALL BE PROVIDED WITH EITHER NATURAL OR MECHANICAL VENTILATION. ALL PUBLIC SCHOOL BUILDINGS SHALL BE PROVIDED WITH MECHANICAL VENTILATION. (COMPLIANT)  
(m) INTERIOR FINISHES SHALL COMPLY WITH N.J.A.C. 5:23-6.11(C). (PLAN REVIEW-BUILDING, FIRE, INSPECTION-BUILDING) (COMPLIANT)  
(N) SPECIFIC OCCUPANCY AREAS: N/A

### AREA & VOLUME

AREA	FLOOR	GROSS AREA	HEIGHT	VOLUME
OFFICE (E)	1ST FLOOR	220 SF	9' - 0"	1954 CF
OFFICE (E)	2ND FLOOR	640 SF	10' - 0"	6388 CF
TOTAL AREAS		860 SF		8342 CF

### BUILDING CODE ANALYSIS: CONTINUED

- §5.23-6.30 SPECIAL TECHNICAL REQUIREMENTS-ALL GROUPS (a-h)**  
(a) THE REQUIREMENTS OF THIS SECTION SHALL APPLY TO RECONSTRUCTION PROJECTS IN ALL GROUPS  
(b) WHEN AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED OR PROVIDED, THE SPRINKLER RISER SHALL BE SIZED TO SERVE THE ENTIRE BUILDING. SPRINKLERED  
(c) WINDOWLESS STORIES: N/A N/A  
(d) SUPERVISION OF AUTOMATIC SPRINKLER SYSTEMS: (APPROVED CENTRAL / PROPRIETARY / REMOTE LOCAL STATION SYSTEM IN ACCORDANCE WITH NFPA 72.) PROVIDED  
(e) TECHNICAL REQUIREMENTS FOR SMOKE BARRIERS: NO INCREASE  
(f) EXISTING ALARM SYSTEMS AND AUTOMATIC SPRINKLER SYSTEMS SHALL BE ACCEPTED PROVIDED THAT THEY MEET THE REQUIREMENTS OF N.J.A.C. 5:23-6.8, MATERIALS AND METHODS, OR THE STANDARDS APPLICABLE AT THE TIME OF THEIR INSTALLATION AND PROVIDED THAT THERE IS NO INCREASE IN THE HAZARD OF THE USE OR IN THE LOAD. (FIRE) NO ALTERATIONS  
(g) TECHNICAL REQUIREMENTS FOR ELEVATOR DEVICES: (NO CHANGE OF USE)  
(h) SPECIFIC OCCUPANCY AREAS: SPECIFIC OCCUPANCY AREAS, N/A  
§5.23-6.31 CHANGE OF USE (a thru i) (N/A)  
5.23-6.32 ADDITIONS (a-d) (N/A)  
5.23-6.33 HISTORIC BUILDINGS (a-d) (N/A)

### APPLICABLE CODES:

**APPLICABLE CODES**  
THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND OTHER REGULATORY AGENCIES INCLUDING, BUT NOT LIMITED TO:  
BUILDING SUBCODE (NJAC 5:23-3.14) INTERNATIONAL BUILDING CODE 2021, NJ ED  
PLUMBING SUBCODE (NJAC 5:23-3.15) NATIONAL STANDARD PLUMBING CODE 2021, NJ ED  
ELECTRICAL SUBCODE (NJAC 5:23-3.16) NATIONAL ELECTRICAL CODE (NFPA 70) 2020  
ENERGY SUBCODE (NJAC 5:23-3.18) ASHRAE 90.1-2019 (COMMERCIAL)  
MECHANICAL SUBCODE (NJAC 5:23-3.20) INTERNATIONAL MECHANICAL CODE 2021  
FUEL GAS SUBCODE (NJAC 5:23-3.22) INTERNATIONAL FUEL GAS CODE 2021  
REHABILITATION SUBCODE (NJAC 5:23-6) NJUCC, SUBCHAPTER 6  
BARRIER FREE SUBCODE (CHAPTER 11 OF IBC 2021 & NJAC 5:23-7) ICC A117.1-2017  
ELEVATOR SUBCODE (NJAC 5:23-12) AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)  
\*SEE "ASME" WITHIN CHAPTER 35 OF IBC 2021

THE ABOVE CODES AND REGULATIONS REFER TO THE LATEST EDITION OR REVISION IN FORCE ON THE DATE OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED. NOTHING ON THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THE LISTED CODES AND REGULATIONS, OR ANY OTHER REGIONAL, STATE, OR FEDERAL REGULATIONS.  
UNLESS OTHERWISE NOTED SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OF DESIGN ELEMENTS SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE OF ORDER, OR FIELD DIRECTIVE AS APPLICABLE.  
THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS ALTERATION OF THE BUILDING IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE (NEW JERSEY EDITION) AND THE NJ UNIFORM CONSTRUCTION CODE (SUBCHAPTER 6, REHABILITATION SUBCODE CATEGORY: ALTERATION), SHOULD ANY CONDITIONS BE UNRESOLVED BY THE CONTRACT DOCUMENTS WHEREIN FIXED WORK WILL NOT COMPLY WITH THE ABOVE NOTED CODES, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED PRIOR TO COMMENCEMENT OF THE WORK.

### LOCATION MAP



### DRAWING INDEX:

ARCHITECTURAL				
SHEET NO.	TITLE	DATE	CURRENT REVISION	REVISION DATE
T.01	COVER SHEET	-	BID SET	12/20/23
T.02	LIFE SAFETY & CODES	-	BID SET	12/20/23
T.03	WALL TYPES	-	BID SET	12/20/23
A1.01	DEMOLITION PLAN	-	BID SET	12/20/23
A2.01	PROPOSED FLOOR & CEILING PLANS	-	BID SET	12/20/23
A6.01	DOOR SCHEDULE, DOOR TYPES & DETAILS	-	BID SET	12/20/23

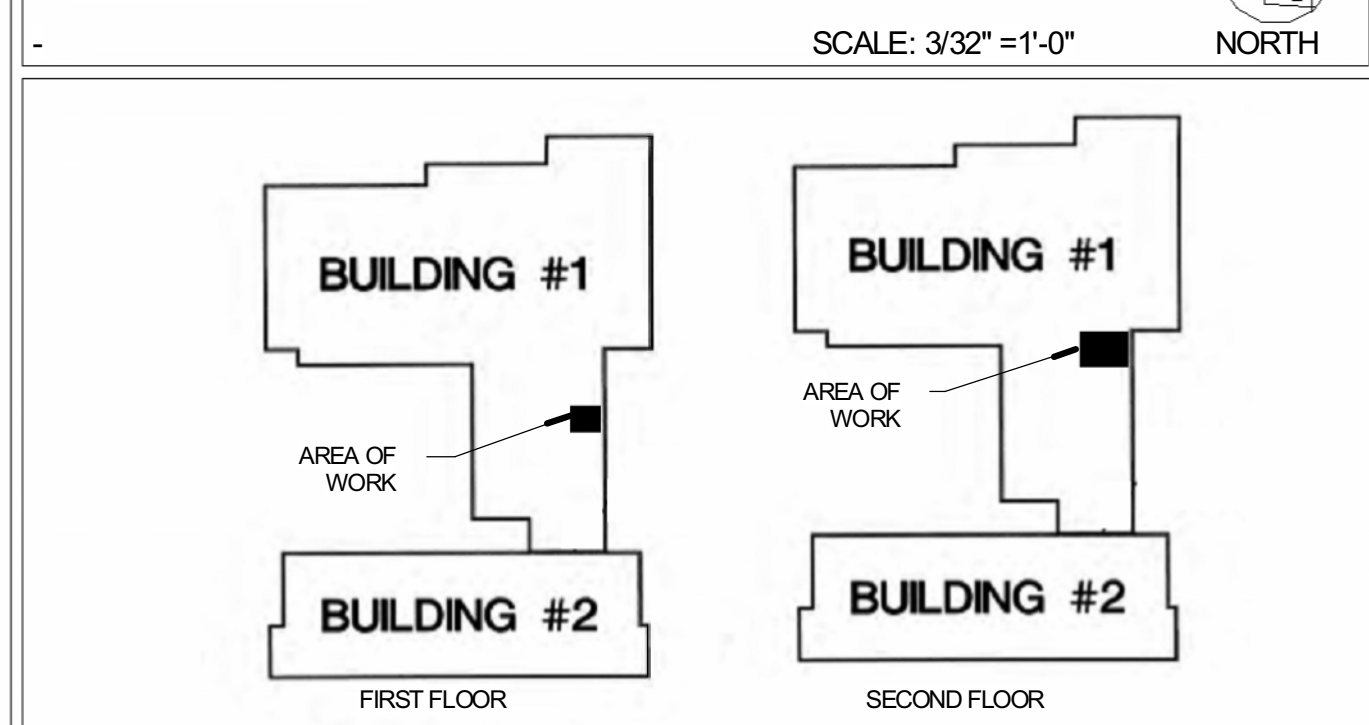
  

MECHANICAL				
M.O.	MECHANICAL NOTES, SYMBOLS ABBREVIATIONS	BID ISSUE	DATE	
M1.01	DEMOLITION MECHANICAL PLANS	BID ISSUE	12/04/23	
M2.01	PROPOSED MECHANICAL PLANS	BID ISSUE	12/04/23	

ELECTRICAL				
E.O.	ABBREVIATIONS NOTES, SYMBOLS LIST	BID ISSUE	DATE	
E1.01	DEMOLITION ELECTRICAL PLANS	BID ISSUE	12/04/23	
E2.01	PROPOSED ELECTRICAL PLANS	BID ISSUE	12/04/23	

### KEY PLAN



### CERTIFICATION

NJDOE # 07-1770-160-24-1000

GLOUCESTER CITY BOARD OF EDUCATION

THE BOARD OF EDUCATION HAS REVIEWED AND APPROVED THE DRAWINGS AND SPECIFICATIONS

Michelle Wright	11/01/2023
PRESIDENT, BOARD OF EDUCATION	DATE
Sean Gorman	11/01/2023
SUPERINTENDENT OF SCHOOLS	DATE

Eng. No.	2602787500
Arch. No.	21AC0013400
Date	-
Checked	LAN
Drawn	CSC

RONALD W. SCHWENKE III, R.A.  
REGISTERED ARCHITECT  
License No. NJ-21A02051300

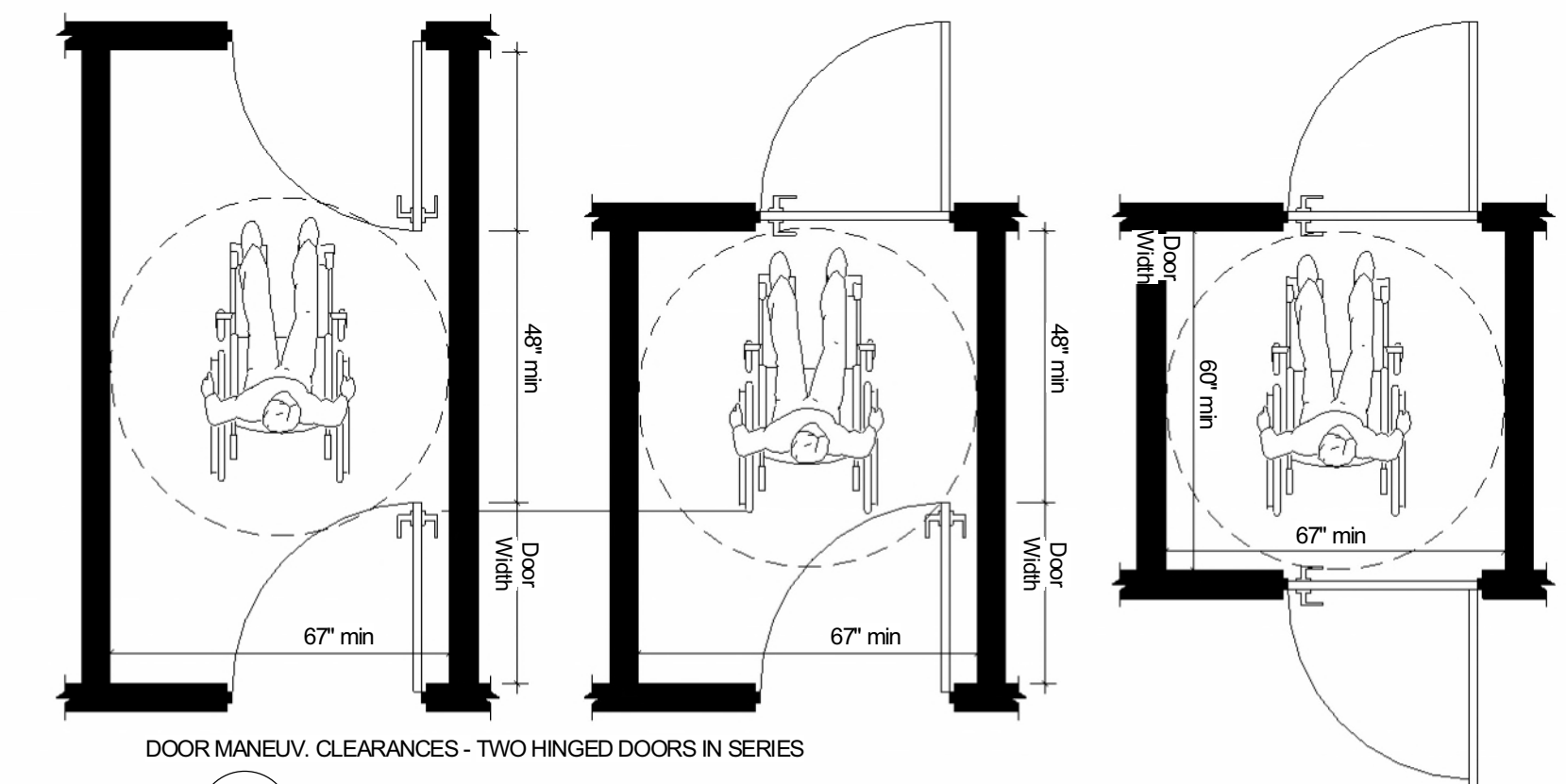
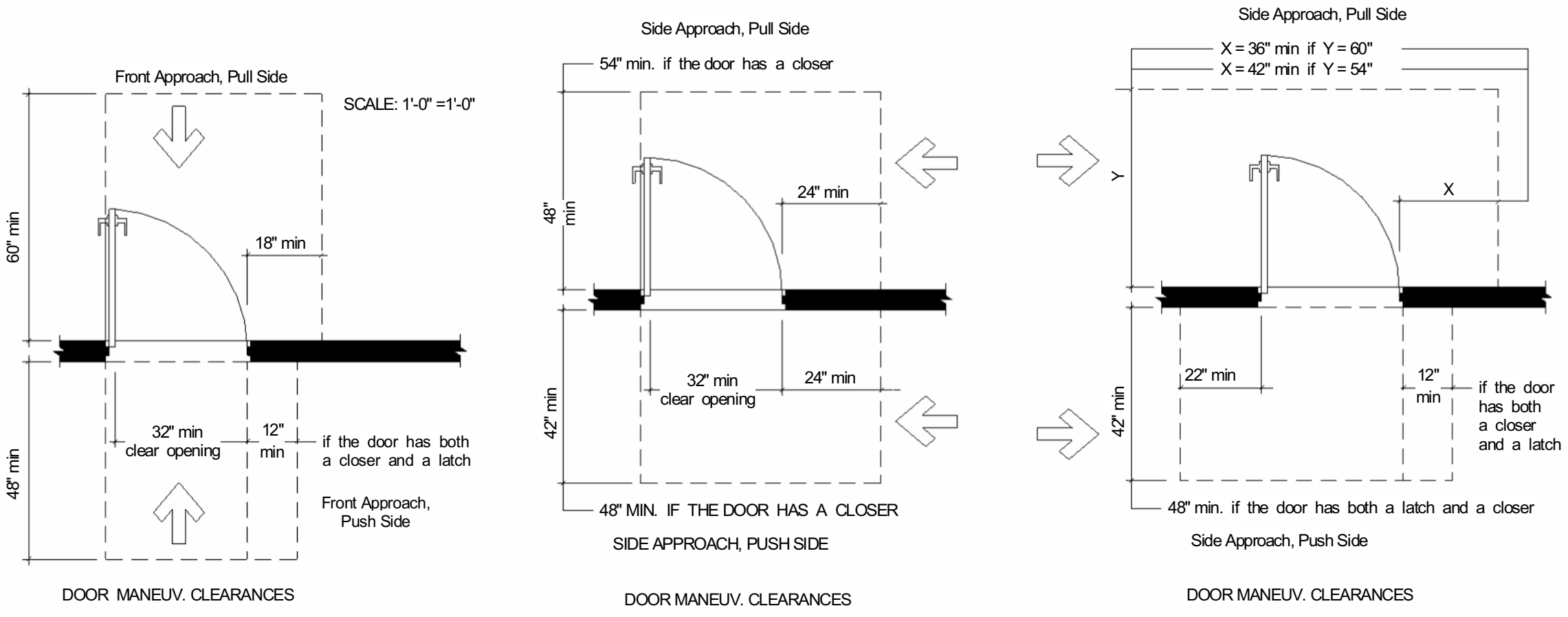
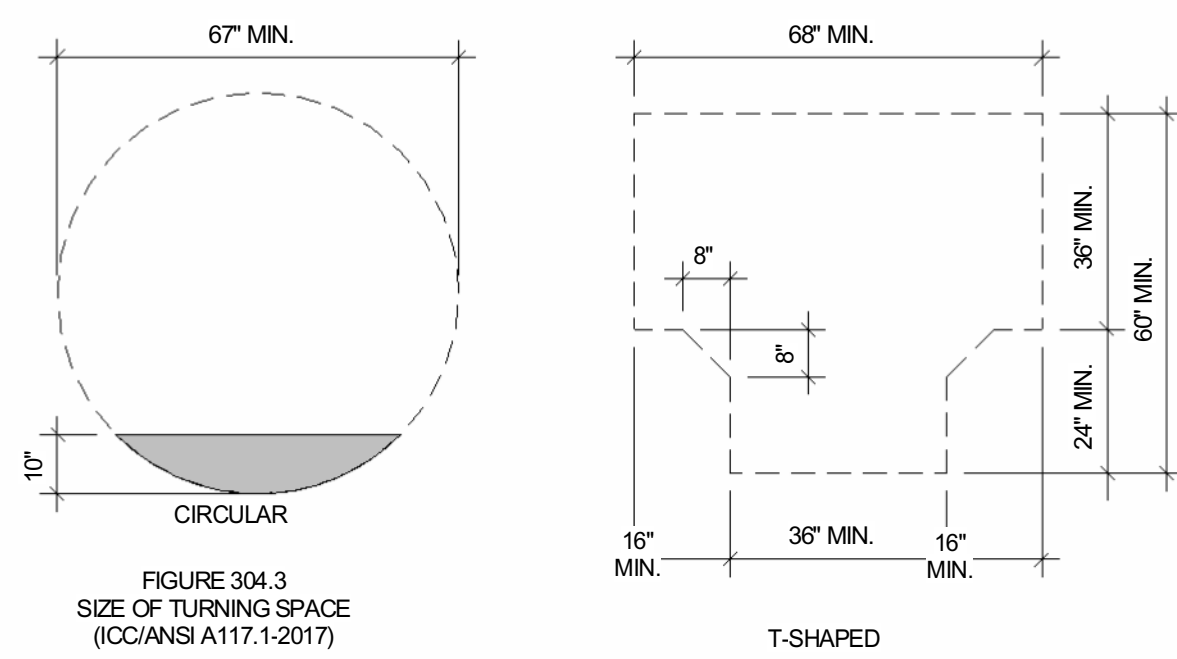
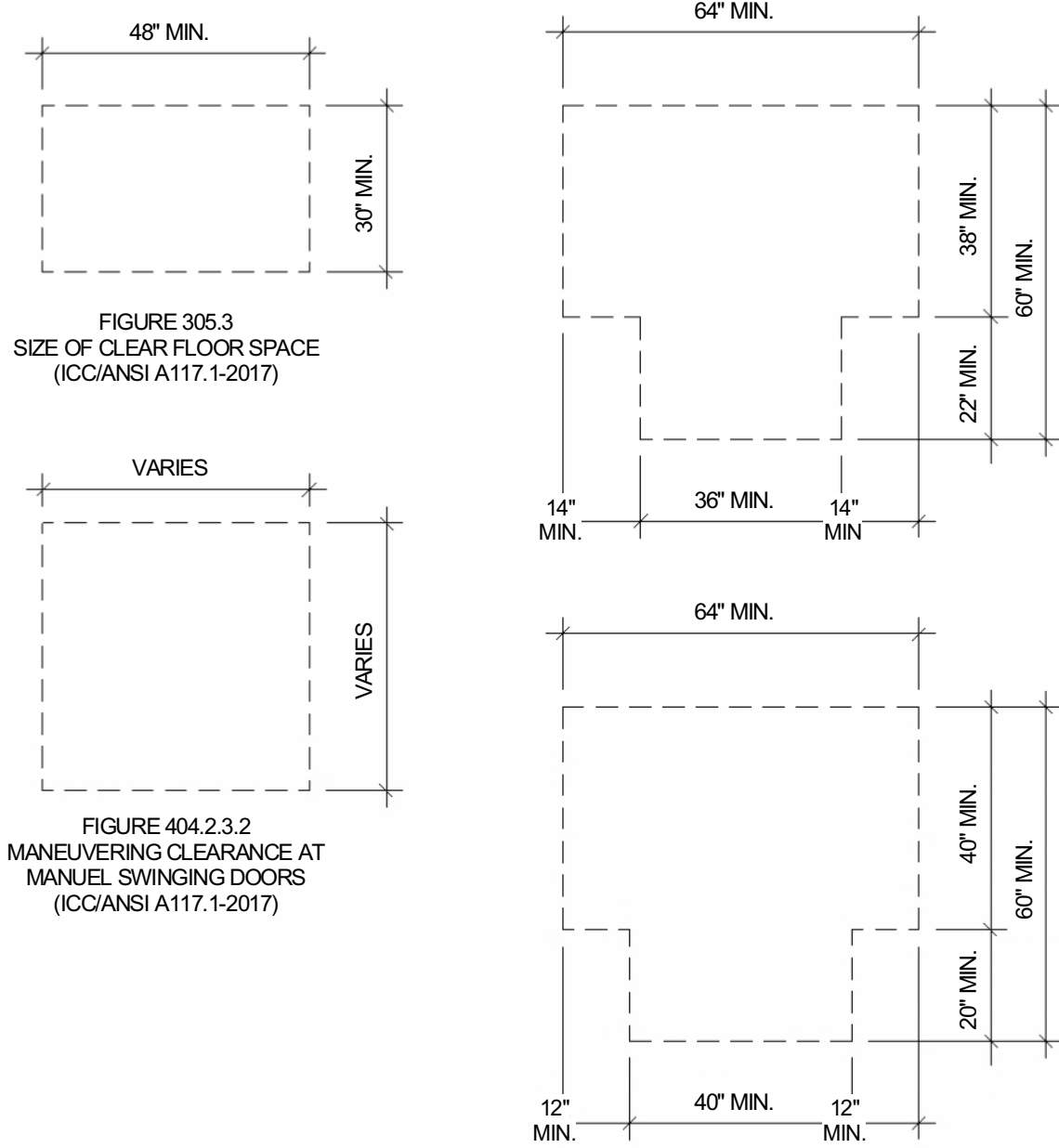
Revisions:	
Date	Description
12/20/23	BID SET

Engineering, Planning, Architecture, Surveying Inc.  
**LAN ASSOCIATES**  
1018 Laurel Oak Road Ste 11, Voorhees, NJ 08043 | t. 856-375-2701 | f. 201-447-1233

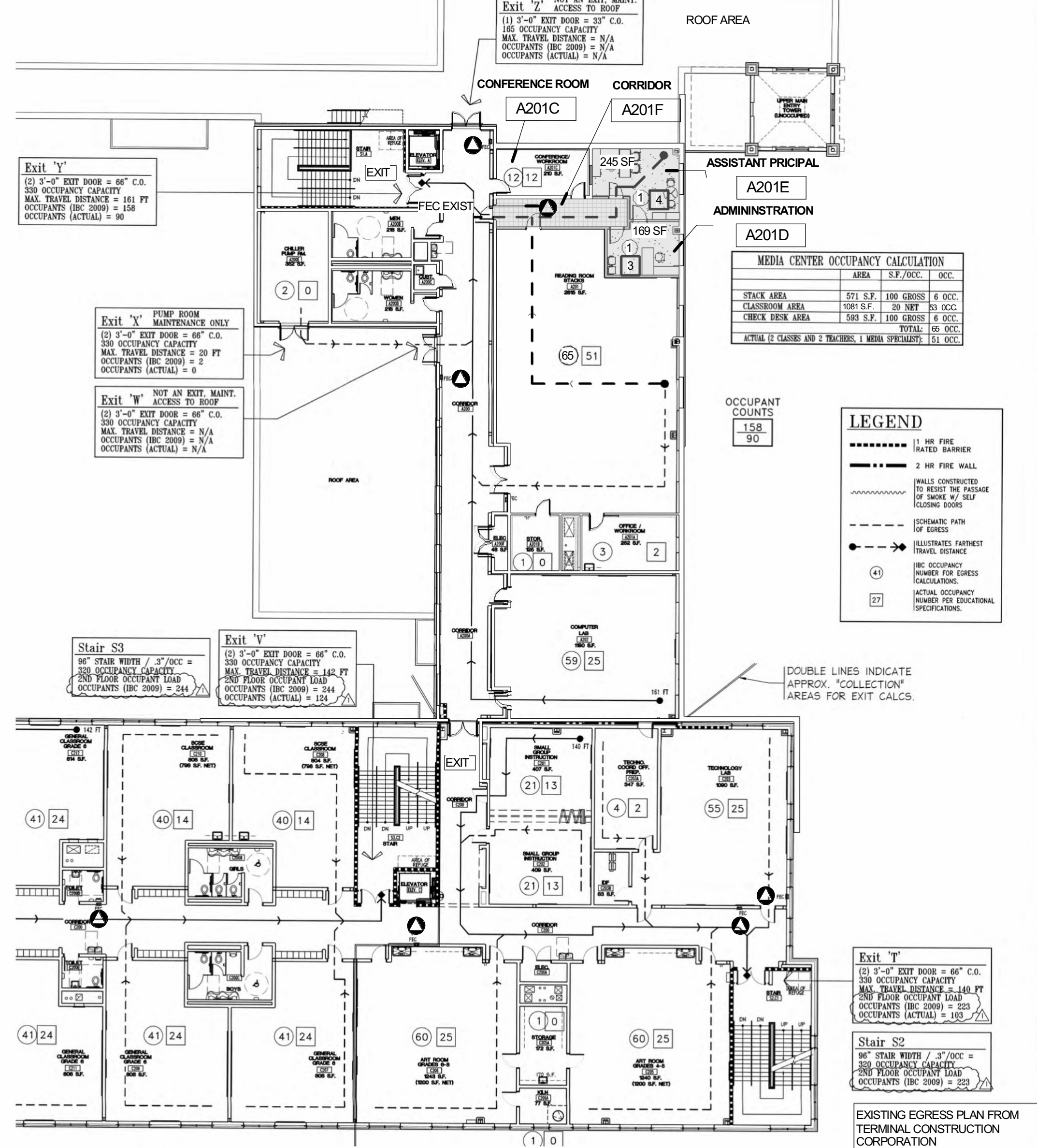
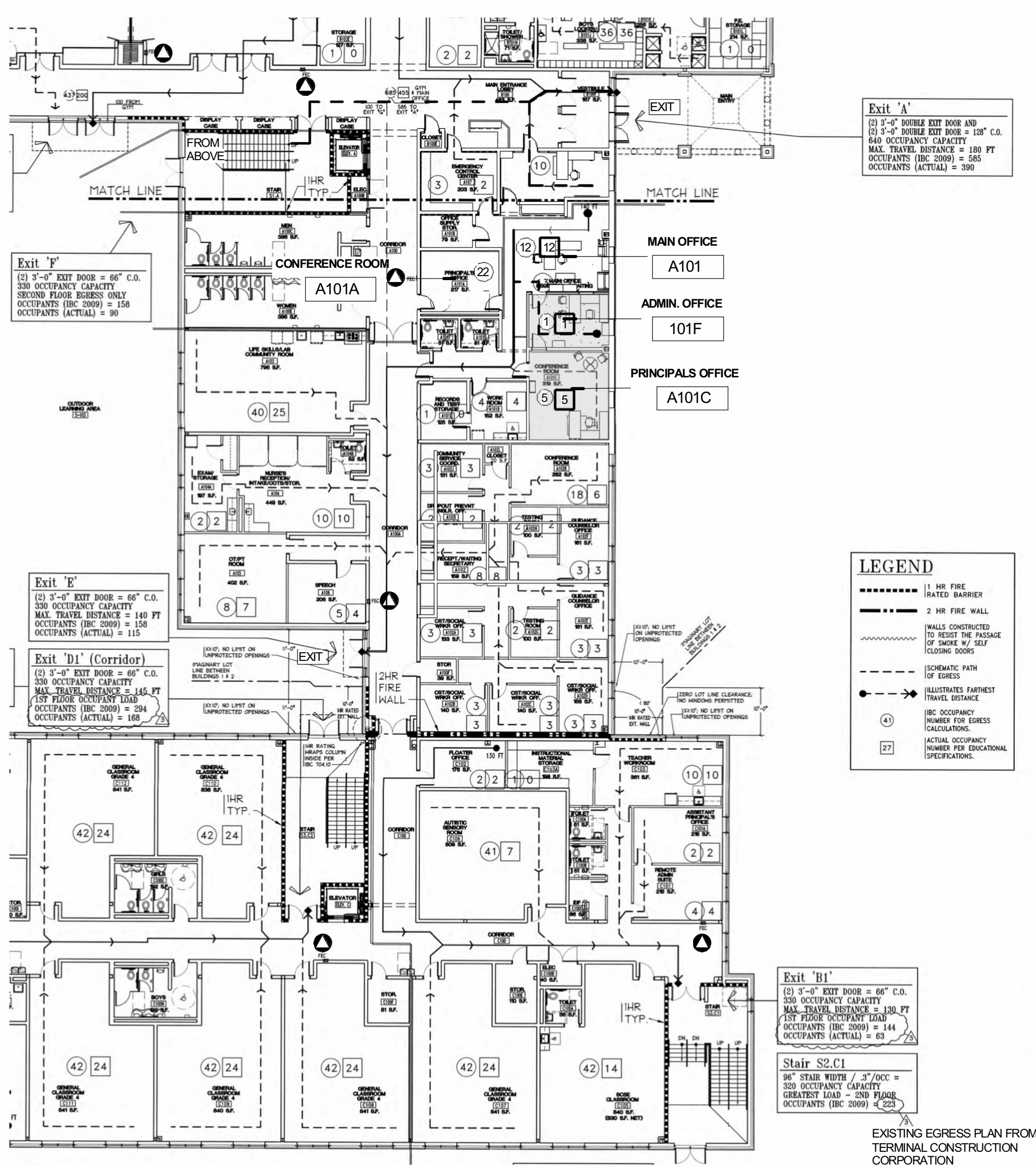
COVER SHEET  
GLOUCESTER CITY MIDDLE SCHOOL OFFICE ALTERATION  
GLOUCESTER CITY, NJ  
500 MARKET ST., GLOUCESTER CITY, NJ 08030

Job No: 20457.06  
Rev. No:  
**T.01**

**ANSI 2018 / ADA 2010:**



**EGRESS PLAN:**



**AREA BY USE GROUP**

AREA NAME	GSF
OFFICE (E)	220 SF
1:1	220 SF
OFFICE (E)	640 SF
2:1	640 SF
TOTAL SQUARE FEET	860 SF

**FIRE EXTINGUISHER SCHEDULE**

SYMBOL	DESCRIPTION	QUANTITY
A	MULTI-PURPOSE CLASS ABC (2A RATING), 10 LBS ABC DRY CHEMICAL - COSMIC 110E OR EQUAL	2
A	WET CHEMICAL CLASS (K) 15LBS CLASS K WET CHEMICAL W/ WALL BRACKET - AMBASSADOR FX2 1016 OR EQUAL	1

\* PORTABLE FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH IBC-NJ 2021, SECTION 906, AND NFPA 10.

**CLASS A (LIGHT HAZARD OCCUPANCY) LOCATIONS:**

- BASED ON ONE "2A" RATING FIRE EXTINGUISHER FOR EACH 6,000 S.F. OF FLOOR AREA OR FRACTION THERE OF
- 3,000 S.F. MAXIMUM FLOOR AREA PER UNIT OF "A", AND 11,250 S.F. OF MAXIMUM FLOOR AREA FOR EACH EXTINGUISHER
- 75' MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER
- CABINETS TO BE MOUNTED SO THAT THE TOP OF EXTINGUISHER IS NOT MORE THAN 5'-0" FROM FINISHED FLOOR.

**FLOOR AREA PER OCCUPANT**

BASED ON TABLE 1004.5 OF IBC, 2018

BUSINESS AREAS	150 GSF
ASSEMBLY (UNCONCENTRATED)	15 NSF
STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 GSF
EDUCATIONAL	20 NSF

**EGRESS PLAN - SYMBOLS & LEGEND**

NAME	ROOMSPACE NAME	MAX. EGRESS TRAVEL DISTANCE (1017.2) "E" USE GROUP = 200' NON-SP-250' SP MAX. COMMON PATH OF TRAVEL DISTANCE (1006.2.1) "E" USE GROUP = 75'
5 OCC	MAX. # OF OCCUPANTS	
300 SF	ROOMSPACE SQ. FT.	
5	TOTAL # OF OCCUPANTS	
5	EXIT ACCESS TRAVEL DISTANCE	
5	TOTAL # OF OCCUPANTS	
5	MAXIMUM EXIT ACCESS TRAVEL DISTANCE	
♿	SYMBOL DENOTES AN ACCESSIBLE MEANS OF EGRESS TO GRADE	

**EGRESS ELEMENT NOTES**

**NOTE #1**  
DOUBLE LEAF DOOR: 6'-0" (3'-0" PER LEAF)  
ACTUAL CLEAR WIDTH: 5'-8" (NO CENTER MULLION)  
EGRESS CAPACITY: (SPRINKLERED) 58.5' / 0.15' = 390 OCCUPANTS (NON-SPRINKLERED) 68.5' / 0.20' = 342 OCCUPANTS

**NOTE #2**  
SINGLE LEAF DOOR: 3'-0"  
ACTUAL CLEAR WIDTH: 2'-9.58"  
EGRESS CAPACITY: (SPRINKLERED) 33.5' / 0.15' = 223 OCCUPANTS (NON-SPRINKLERED) 33.5' / 0.20' = 167 OCCUPANTS

**NOTE #3** (IBC-NJ 1005.3.1.1 & 1005.3.2.1)  
EGRESS CAPACITY FACTOR:  
STAIRWAY = (SPRINKLERED) 0.2' PER OCCUPANT (NON-SPRINKLERED) 0.3' PER OCCUPANT  
COMPONENTS OTHER THAN STAIRWAYS = (SPRINKLERED) 0.15' PER OCCUPANT (NON-SPRINKLERED) 0.2' PER OCCUPANT

**LEGEND AND SYMBOLS**

# (0'-0') → #	PATH OF TRAVEL WITH TRAVEL DISTANCE AND MAX. # OF OCCUPANTS
---	* HEAVY DASHED LINE DENOTES MAXIMUM ACCESS TRAVEL DISTANCE
(#)	NUMBER OF OCCUPANTS
(#*)	NUMBER OF OCCUPANTS BASED ON MAXIMUM ANTICIPATED USE
---	1 HOUR RATED PARTITION N/A
---	2 HOUR RATED WALL N/A
♿	DENOTES AN ACCESSIBLE MEANS OF EGRESS TO GRADE
EXIT SIGN	EXIT SIGN (NOTE: EACH EXIT SIGN SHALL BE ACCOMPANIED BY TACTILE SIGNAGE STATING "EXIT" INSTALLED ADJACENT TO THE LATCH SIDE OF THE DOOR 60" AFF TO CL OF SIGN) (SEE RCP PLAN & ELECTRICAL DWGS)
🔊	FIRE ALARM HORN/STROBE MUST BE IN DIRECT LINE OF SIGHT, 80' - 96" AFF. RE: FIRE PROTECTION PLANS FOR ALL LOCATIONS
FCP	FIRE CONTROL PANEL

**NJ Certificate of Authorization**

Engr. No.	2602793700
Arch. No.	21AC0013400
Date	
Checked	LAN
Drawn	CSC

**RONALD W. SCHWENKE III, R.A.**  
REG. ARCHITECT  
LICENSE NO. NJZ1AD0001300

**Revisions:**

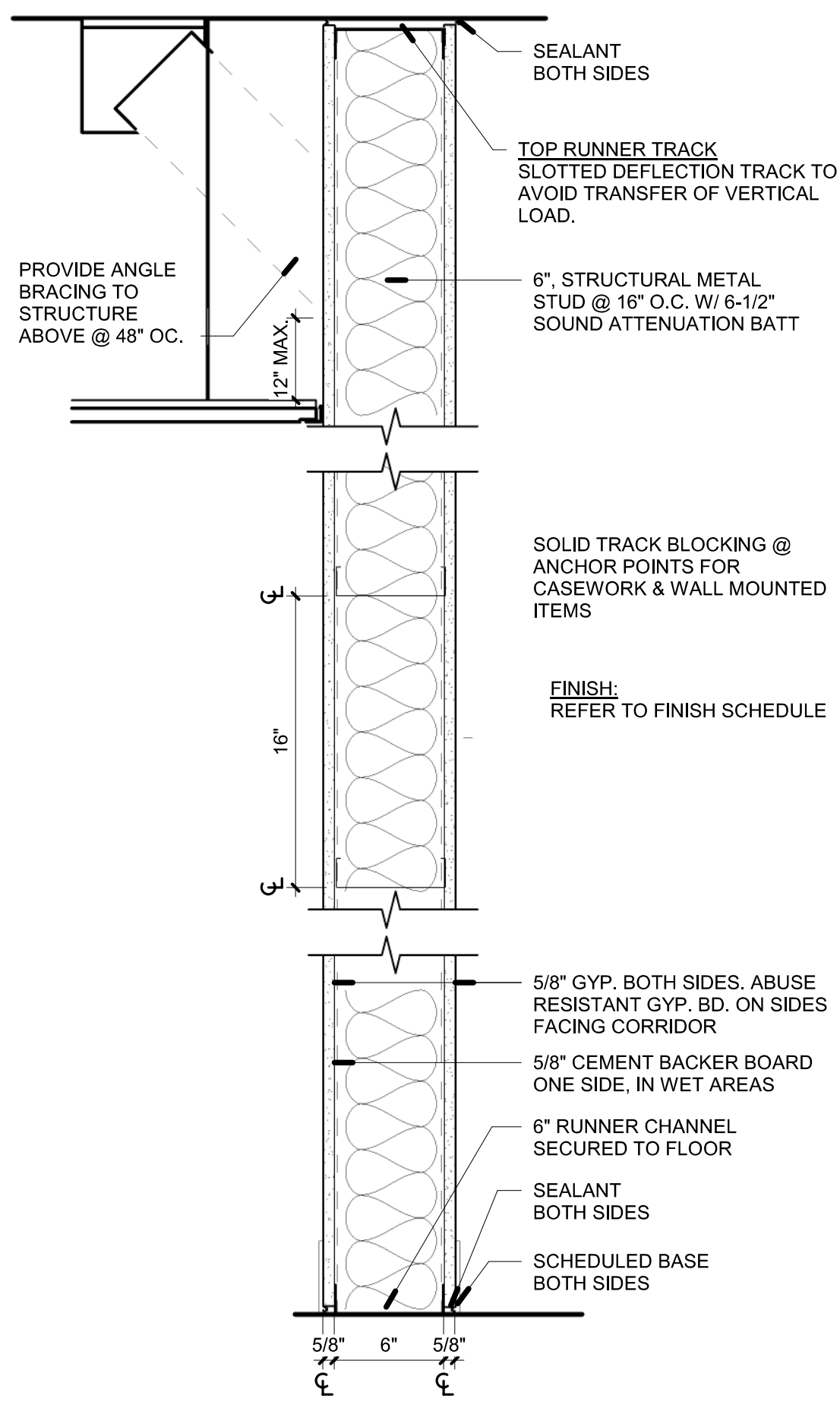
Date	Description
12/20/23	BID SET

Engineering, Planning, Architecture, Surveying Inc.  
**LAN ASSOCIATES**  
1018 Laurel Oak Road Ste 110, Voorhees, NJ 08043 | t. 201-447-1233

**LIFE SAFETY & CODES**  
GLOUCESTER CITY MIDDLE SCHOOL OFFICE ALTERNATION  
GLOUCESTER CITY BOE  
500 MARKET ST. GLOUCESTER CITY, NJ 08030

Proj No. 20457.06  
**T.02**

# WALL TYPES



**TYPE 2A:** 6 1/2" SOUND ATTENUATION 5/8" ABUSE RESISTANT GYP. BD. ON BOTH SIDES  
**TYPE 2B:** 5/8" MOISTURE RESISTANT GYP. BD. ON SIDE LOCATED IN RESTROOM & ABUSE RESISTANT GYP. BD.

## 1 PARTITION TYPES

T.03 1 1/2" = 1'-0"

# CEILING TYPES

**STC - ANSI S12.60-2002.**

ANSI S12.60-2002, "ACOUSTICAL PERFORMANCE CRITERIA, DESIGN REQUIREMENTS AND GUIDELINES FOR SCHOOLS"

STC-45 IF THE ADJACENT SPACE IS A CORRIDOR, STAIRCASE, OFFICE OR CONFERENCE ROOM.

STC-50 IF THE ADJACENT SPACE IS ANOTHER CORE LEARNING SPACE, SPEECH CLINIC, HEALTH CARE ROOM OR OUTDOORS.

STC-53 IF THE ADJACENT SPACE IS A RESTROOM.

STC-60 IF THE ADJACENT SPACE IS A MUSIC ROOM, MECHANICAL EQUIPMENT ROOM, CAFETERIA, GYMNASIUM OR INDOOR SWIMMING POOL.

CLASSROOM DOORS SHOULD BE RATED AS STC-30 OR MORE. MUSIC ROOM DOORS AS STC-40 OR MORE. ENTRY DOORS ACROSS A CORRIDOR SHOULD BE STAGGERED TO MINIMIZE NOISE TRANSMISSION.

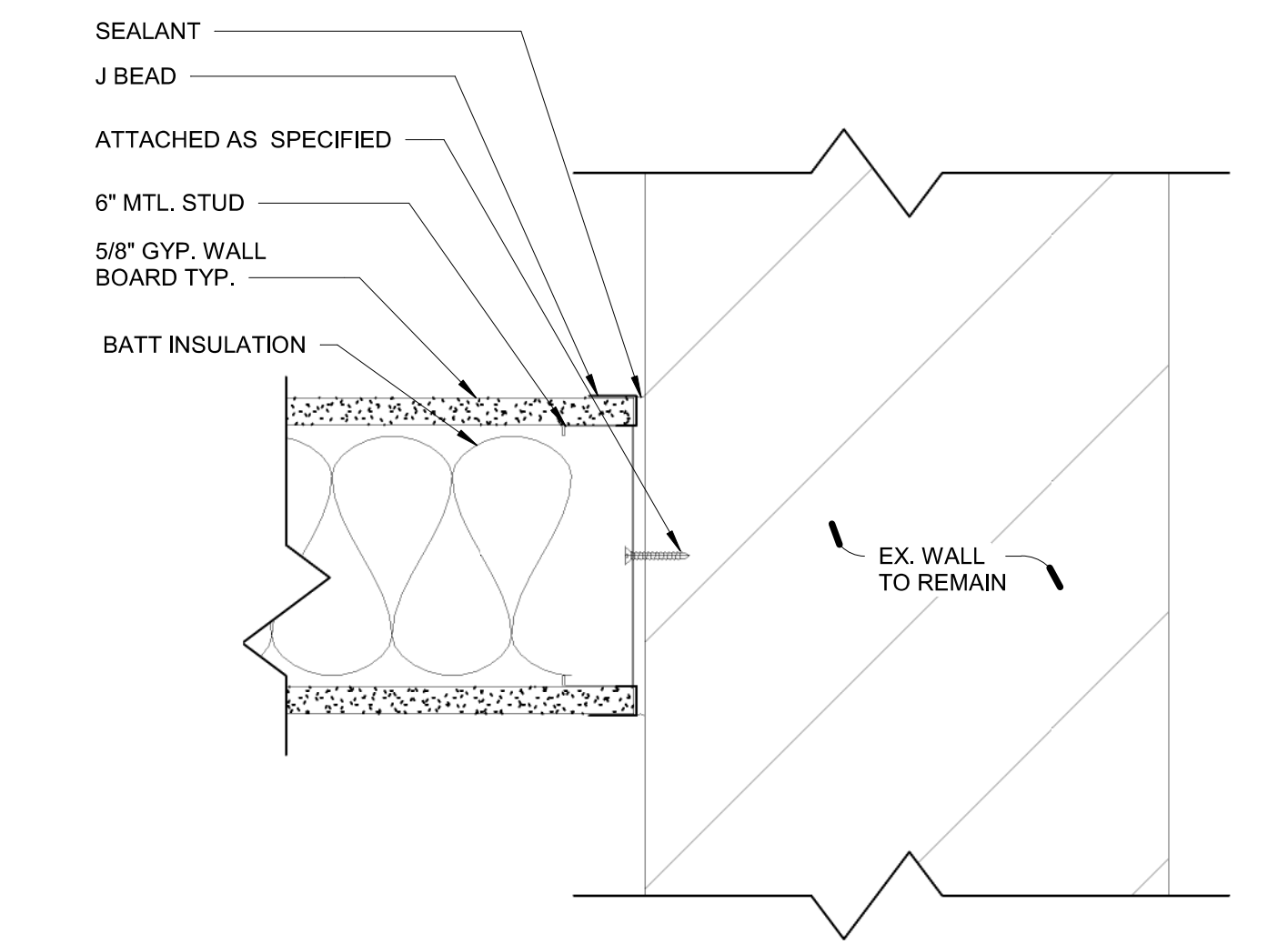
STC RATINGS RANGING FROM 45-60 ARE OUTLINED FOR ASSEMBLIES SEPARATING ANCILLARY SPACES FROM ADJACENT SPACES. (NOTE: OPEN-PLAN CLASSROOM DESIGNS WILL NOT MEET THE REQUIREMENTS OF THIS STANDARD.)

**ABBREVIATIONS:**

A.E.S.S.	ARCHITECTURAL EXPOSED STRUCTURAL STEEL
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BLDG.	BUILDING
CL.G.	CEILING
CL.	CENTER LINE
COL.	COLUMN
CONC.	CONCRETE
CONT'D	CONTINUED
EQ.	EQUAL
(E)	EXISTING
F.E.C.	FIRE EXTINGUISHER CABINET
F.R.P.	FIBER REINFORCED PANEL
G.C.	GENERAL CONTRACTOR
GYP.	GYPSUM BOARD
HT.	HEIGHT
HM	HOLLOW METAL
H.V.A.C	HEATING VENTILATING AIR CONDITIONING
MAX.	MAXIMUM
M.I.N.	MINIMUM
M.O.	MASONRY OPENING
MTL	METAL
N.T.S.	NOT TO SCALE
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
O.H.	OPPOSITE HAND
Q.C.	QUALITY CONTROL
P.T.	PRESSURE TREATED
PTD.	PAINTED
R.O.	ROUGH OPENING
S.A.F.	SELF-ADHERED FLASHING
S.F.	SQUARE FOOT (FEET)
S.I.M.	SIMILAR
S.S.	STAINLESS STEEL
S.T.	STEEL
STRUC.	STRUCTURAL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
U.N.O.	UNLESS NOTED OTHERWISE
V.C.B.	VINYL COVE BASE
VCT	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FIELD
WD	WOOD
WI	WITH

**SYMBOL LEGEND:**

	NEW DOOR. REFER TO DOOR SCHEDULE FOR MORE INFORMATION
	CONSTRUCTION KEYNOTE
	FIRE EXTINGUISHER CABINET
	BREAK LINE
	INTERIOR ELEVATION TAG
	ELEVATION CALLOUT
	SPOT ELEVATION TAG
	NEW MASONRY WALL CONSTRUCTION. REFER TO PARTITION TYPES FOR MORE INFORMATION.
	NEW METAL STUD WALL CONSTRUCTION. REFER TO PARTITION TYPES FOR MORE INFORMATION.
	DATUM POINT
	REVISION CLOUD
	ENLARGED PLAN/ PLAN DETAIL CALLOUT
	SECTION CALLOUT
	PARTITION TYPE



**2 DETAIL GYPSUM WALL TO CMU**  
 T.03 3" = 1'-0"

NJ Certificate of Authorization  
 Engr. No. 24GA2793790  
 Arch. No. 21AC0012400  
 Date -  
 Checked LAN  
 Drawn CSC

**RONALD W. SCHWENKE III, R.A.**  
 Title REGISTERED ARCHITECT License No. NJ21A02051300

**Revisions:**

Date	Description
12/20/23	BID SET
01/10/24	ADDENDUM #1

Engineering, Planning, Architecture, Surveying Inc.  
**LAN ASSOCIATES**  
 1018 Laurel Oak Road Ste 11, Voorhees, NJ 08043 | t. 856-375-2701 | f. 201-447-1233

WALL TYPES  
 GLOUCESTER CITY MIDDLE SCHOOL OFFICE ALTERATION  
 GLOUCESTER CITY BOE  
 500 MARKET ST. GLOUCESTER CITY, NJ 08030

Job No. 20457.06  
**T.03**

**DEMOLITION GENERAL NOTES**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY INSPECT THE AREA OF WORK IN ORDER TO VERIFY ACTUAL CONDITIONS AND FULL SCOPE OF DEMOLITION AND REMOVAL WORK REQUIRED. ALL DEMOLITION WORK IS REQUIRED TO BE PERFORMED IN A SEQUENCE SO AS NOT TO DELAY THE WORK OF ANY OTHER TRADE.
- THE CONTRACTOR SHALL INSPECT ALL EXISTING ITEMS AND SURFACES TO REMAIN AND PROVIDE ADEQUATE PROTECTION FROM DEMOLITION WORK. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED ITEMS AND FINISHES IN KIND TO MATCH EXISTING ADJACENT AREAS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS TO COORDINATE ALL INDICATED DEMOLITION WITH NEW CONSTRUCTION TO ENSURE PROPER LOCATION AND DIMENSIONS OF DEMOLISHED AREAS. INFORM ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL MAINTAIN EXISTING BUILDING UTILITIES IN OPERATION, AND PROTECT AGAINST DAMAGE DURING THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL OF THE OWNER'S REGULATIONS AS TO THE REQUIREMENTS FOR HANDLING OF MATERIALS, EQUIPMENT, AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH THE OWNER'S OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE OWNER, AND ARRANGED TO AVOID INCONVENIENCE TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN CLEAR EGRESS TO ALL CORRIDORS DURING AND AFTER DEMOLITION.
- THE CONTRACTOR SHALL PROVIDE DUST PROTECTION TO SEPARATE DEMOLITION AREA FROM THE REST OF THE FACILITY. PROVIDE TEMPORARY FILTERS AS REQUIRED TO PREVENT THE SPREAD OF DUST THROUGH THE BUILDING VIA THE RETURN AIR SYSTEM.
- THE CONTRACTOR IS TO MAINTAIN FIRE RATINGS OF EXISTING RATED FLOOR/CEILING, AND WALL ASSEMBLIES AS REQUIRED BY CODE. PATCH AND REPAIR OPENINGS IN AND/OR PENETRATIONS THROUGH EXISTING FIRE RATED ASSEMBLIES.
- ALL FIRE PROTECTION SYSTEMS (INCLUDING SPRINKLERS, SMOKE DETECTORS, FIRE PULL STATIONS, ETC.) ARE TO REMAIN ACTIVE DURING AND AFTER DEMOLITION.
- ALL AUTOMATIC FIRE ALARM EQUIPMENT (IF APPLICABLE) TO BE SECURED AND PROTECTED PRIOR TO DEMOLITION. ALL DAMAGED EQUIPMENT DURING DEMOLITION ARE TO BE REPLACED AND REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- NOTIFY ARCHITECT IF DETERIORATED STRUCTURAL COMPONENTS ARE UNCOVERED DURING DEMOLITION. IF UNCOVERED, ANY PREVIOUSLY HIDDEN STRUCTURAL ELEMENTS ARE TO REMAIN INTACT UNLESS OTHERWISE INSTRUCTED BY ARCHITECT.
- REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS DAILY. PREMISES MUST BE LEFT BROOM CLEAN AND READY FOR NEW CONSTRUCTION.

**DEMOLITION KEY NOTES**

- DEMOLISH LINEAR-PENDANT LIGHTS.
- REMOVE AND RELOCATE HORN STROBE.
- REMOVE AND RELOCATE SPRINKLER HEAD.
- REMOVE AND RELOCATE 2x4 FLUORESCENT LIGHTS.
- REMOVE AND RELOCATE HVAC SUPPLY.
- REMOVE AND RELOCATED LOUD SPEAKER.
- REMOVE AND RELOCATE EXIT SIGN.
- REMOVE AND RELOCATE OCCUPANCY SENSOR.
- DEMOLISH EXISTING 2x4 SUSPENDED ACOUSTICAL CEILING.
- REMOVE SECURITY SYSTEM DEVICE FOR RELOCATION.
- DEMOLISH WINDOW.
- DEMOLISH CARPETING.
- DEMOLISH ELECTRICAL THRU WALL PIPE SLEEVE.

**EXISTING LIGHT TYPES**

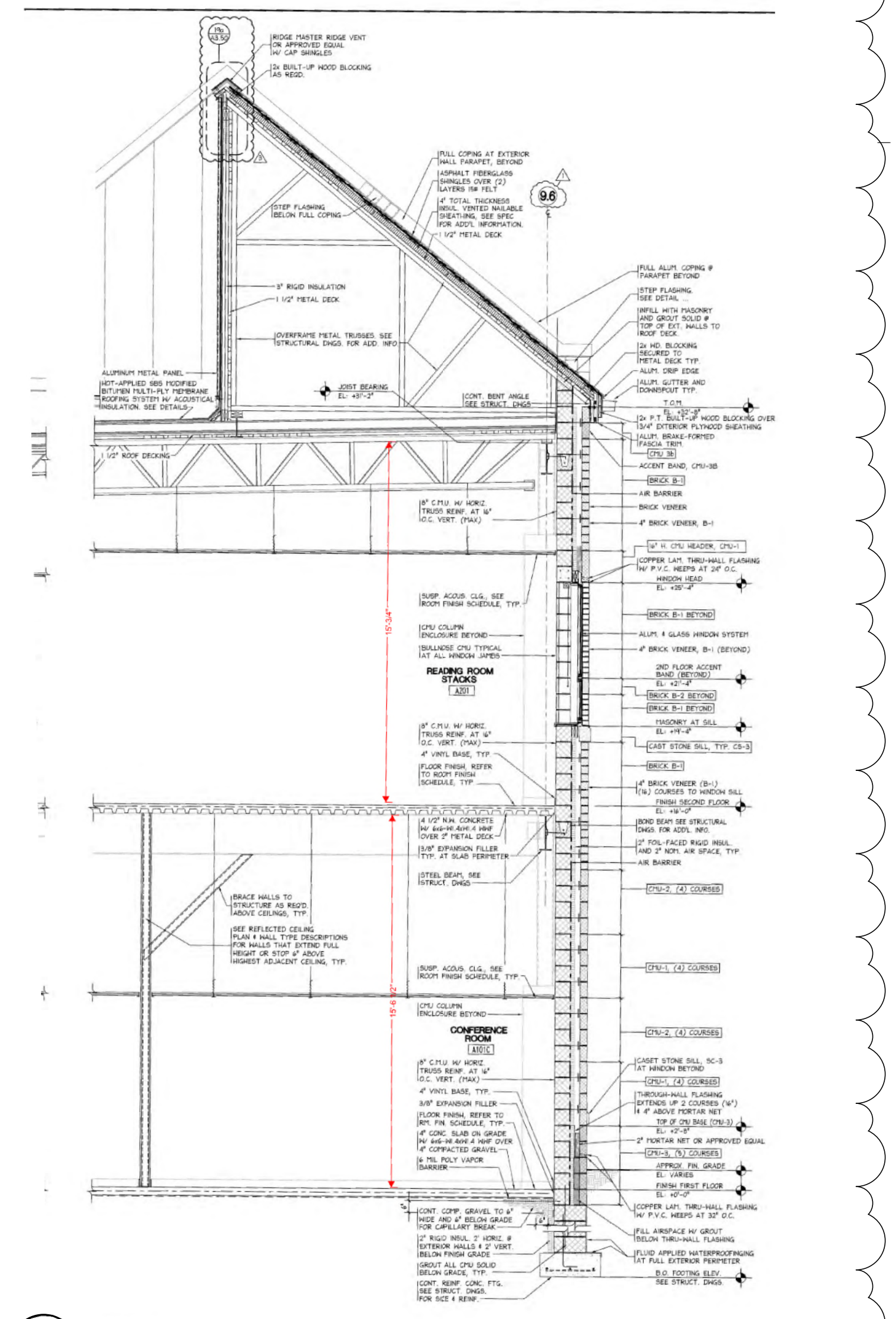
TYPE A - LITHONIA 2 LAMP PARABOLIC FLUORESCENT TROFFER WITH 18 CELLS AND 3" LOVER 2' X 4' 2PM3N-LB-232-MVOLT-GB10IS / F32T8 / 2 LAMP / 32 WATTS / 277 VOLTS

TYPE B - 4' TO 12' E-LAMP DIRECT INDIRECT FLUORESCENT PENDANT MOUNTED 8'-0" ABOVE FLOOR PEERLESS SPM4-332-CL-WHR-4FTF4-277 GB10PS-DCT-LP835-F124-C032 F32T8 / 3 LAMPS / 32 / 277 VOLTS

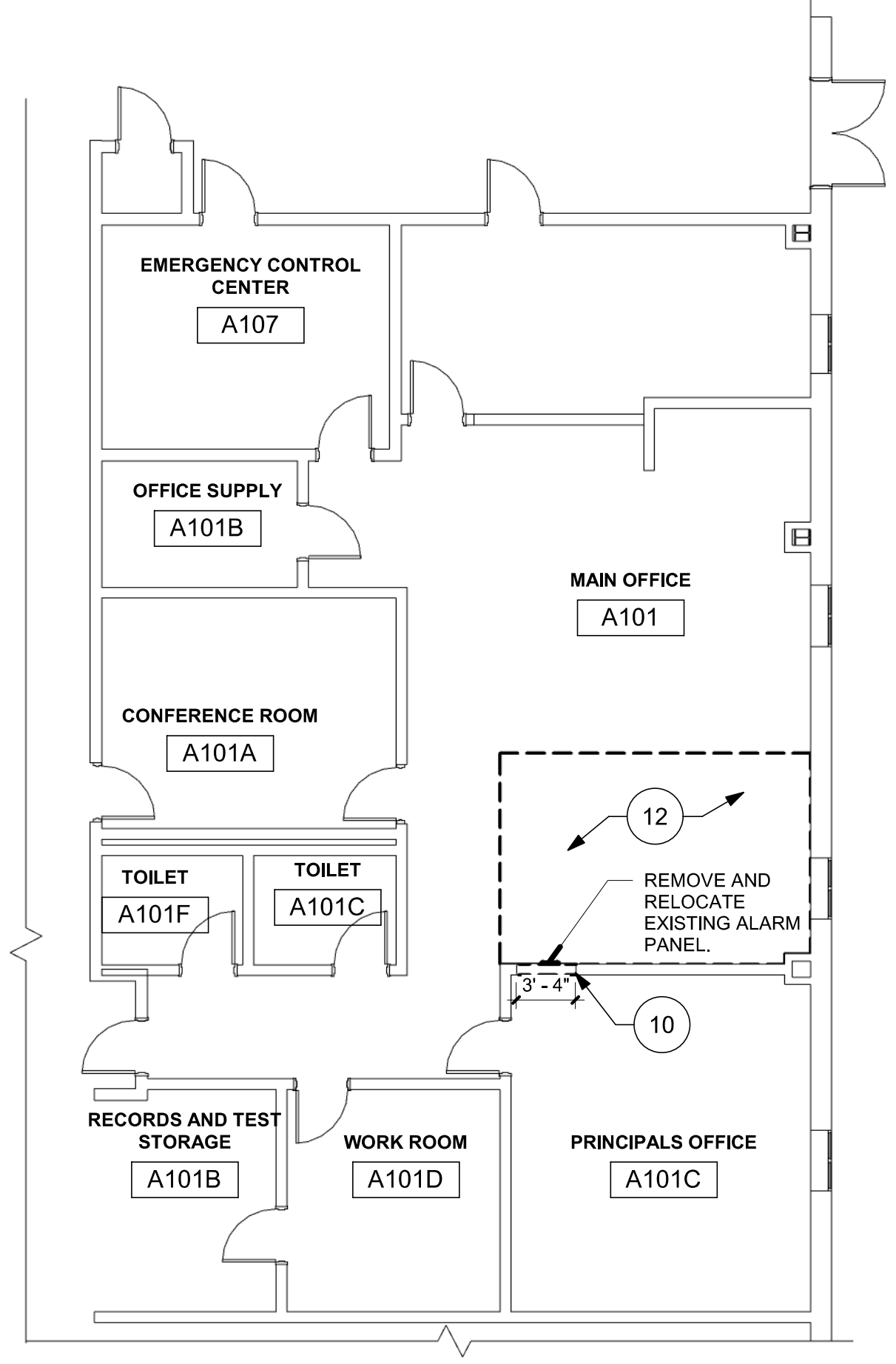
OR EQUAL

EQUAL COOPER CONTINUA CT SUSPENDED DIRECT / INDIRECT

**5 WALL SECTION**  
A1.01 EXISTING WALL SECTION FOR FLOOR TO FLOOR HEIGHTS NTS -A3.50 TERMINAL 7/21/16

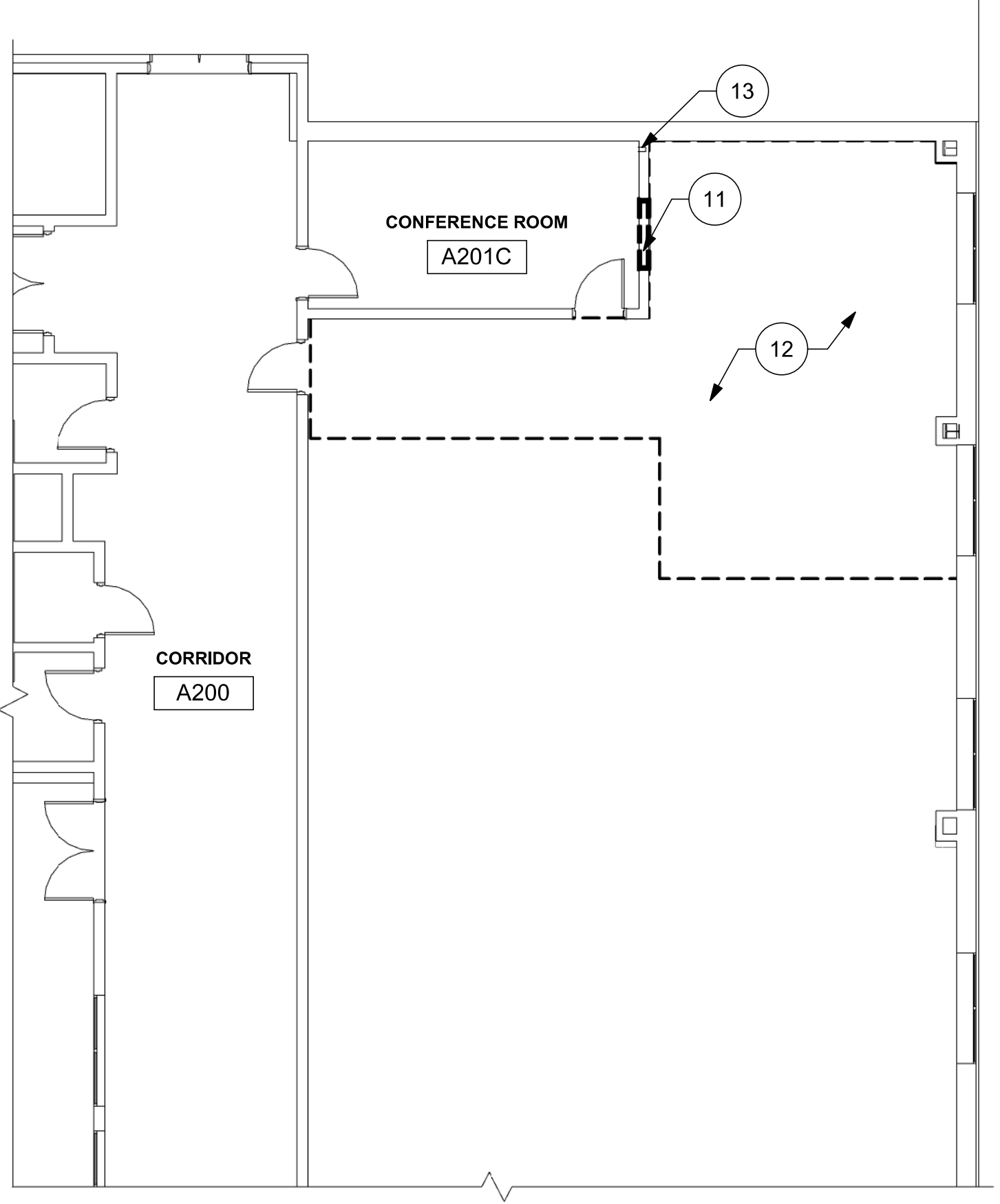


**2 1ST FLOOR DEMOLITION RCP**  
A1.01 1/8" = 1'-0"



**1 1ST FLOOR DEMOLITION PLAN**  
A1.01 1/8" = 1'-0"

**4 2ND FLOOR DEMOLITION RCP**  
A1.01 1/8" = 1'-0"



**3 2ND FLOOR DEMOLITION PLAN**  
A1.01 1/8" = 1'-0"

NJ Certificate of Authorization	
Engr. Nos.	24GA27937900
Arch. Nos.	21AC00012400
Date	-
Checked	LAN
Drawn	CSC

**RONALD W. SCHWENKE III, R.A.**  
THE REGISTERED ARCHITECT  
License No. NJ21A02051900

**Revisions:**

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01/10/24	ADDENDUM #1

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Architecture,  
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**DEMOLITION PLAN**  
GLOUCESTER CITY MIDDLE SCHOOL OFFICE ALTERATION  
GLOUCESTER CITY BOE  
500 MARKET ST. GLOUCESTER CITY, NJ 08030

Job No. 20457.06

**A1.01**

**LIGHTING LEGEND**

- 2x4 RECESSED TROFFER
- 2x2 RECESSED TROFFER
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- CEILING MOUNTED TAMPER-RESISTANT LED
- SPRINKLER
- OCCUPANCY SENSOR
- FIRE ALARM DEVICE
- LED WALL PACK
- EXTERIOR RECESSED DOWNLIGHTS
- CEILING AND/OR SURFACE MOUNTED EMERGENCY EXIT SIGN
- RECESSED SURFACE CEILING MOUNTED EMERGENCY EXIT SIGN
- CEILING MOUNTED EMERGENCY EXIT SIGN

NOTE: (X) INDICATES LENGTH OF FIXTURE (EX) EXISTING (OR UNMARKED)

**GENERAL NOTES**

- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS, USE ONLY WRITTEN DIMENSIONS.
- DIMENSIONS ARE SHOWN TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- MECHANICAL, ELECTRICAL & PLUMBING EQUIPMENT IS SHOWN FOR COORDINATION PROPOSES ONLY. SEE MEP DRAWINGS FOR FULL INFORMATION.
- SEE STRUCTURAL DRAWINGS FOR COMPLETE INFORMATION FOR FOUNDATIONS, WALLS, ROOFS, ALL ASSOCIATED STRUCTURES, STRUCTURAL STEEL, ENGINEERED STEEL STUDS AND WOOD FRAMING.
- COLUMN LINES ARE TO CENTER OF WALL OR CENTER OF COLUMN.
- REFER TO FINISH LEGEND FOR FINISH DESIGNATIONS.
- ALL EXPOSED INTERIOR CMU CORNERS TO BE BULLNOSED.
- REFER TO FINISH LEGEND FOR FINISH DESCRIPTIONS.

**CEILING LEGEND**

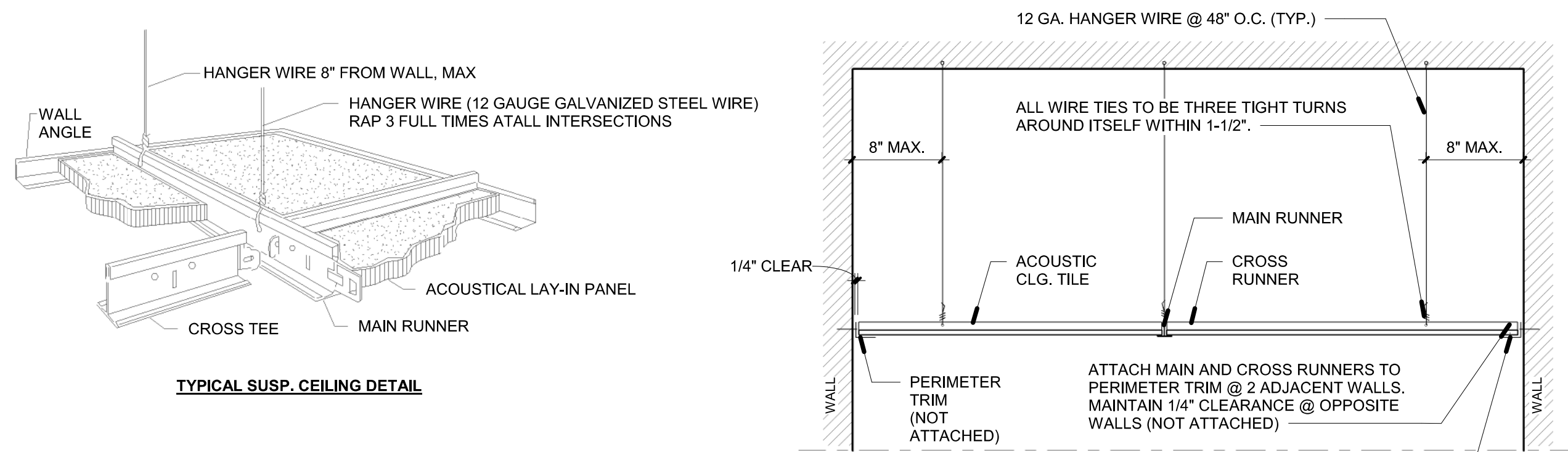
- ACT-1 → CEILING TYPE
- 12'-0" → CEILING HEIGHT
- SUSPENDED ACOUSTIC CEILING TILE  
2X4 ACT-1 EDUCATIONAL STANDARD OR APPROVED EQUAL
- METALUX 2X4 RECESSED CRUZE ST LED SPEC SHEET.

**REFLECTED CEILING PLAN GENERAL NOTES**

- ALL INDICATED CEILING HEIGHTS ARE FROM TOP OF FINISHED FLOOR.
- COORDINATE GRILLS, REGISTERS & DIFFUSERS WITH MECHANICAL DRAWINGS.

**CEILING SCHEDULE**

TYPE MARK	DESCRIPTION	MANUFACTURE	MODEL	MATERIAL	AREA	COMMENTS
ACT1	ACOUSTICAL CEILING SYSTEM 24" X 48" X 15/16" SQUARE LAY IN	ARMSTRONG	1729	WHITE FINE FISSURED	940 SF	



5 TYP. SUSP. CEILING SYSTEM

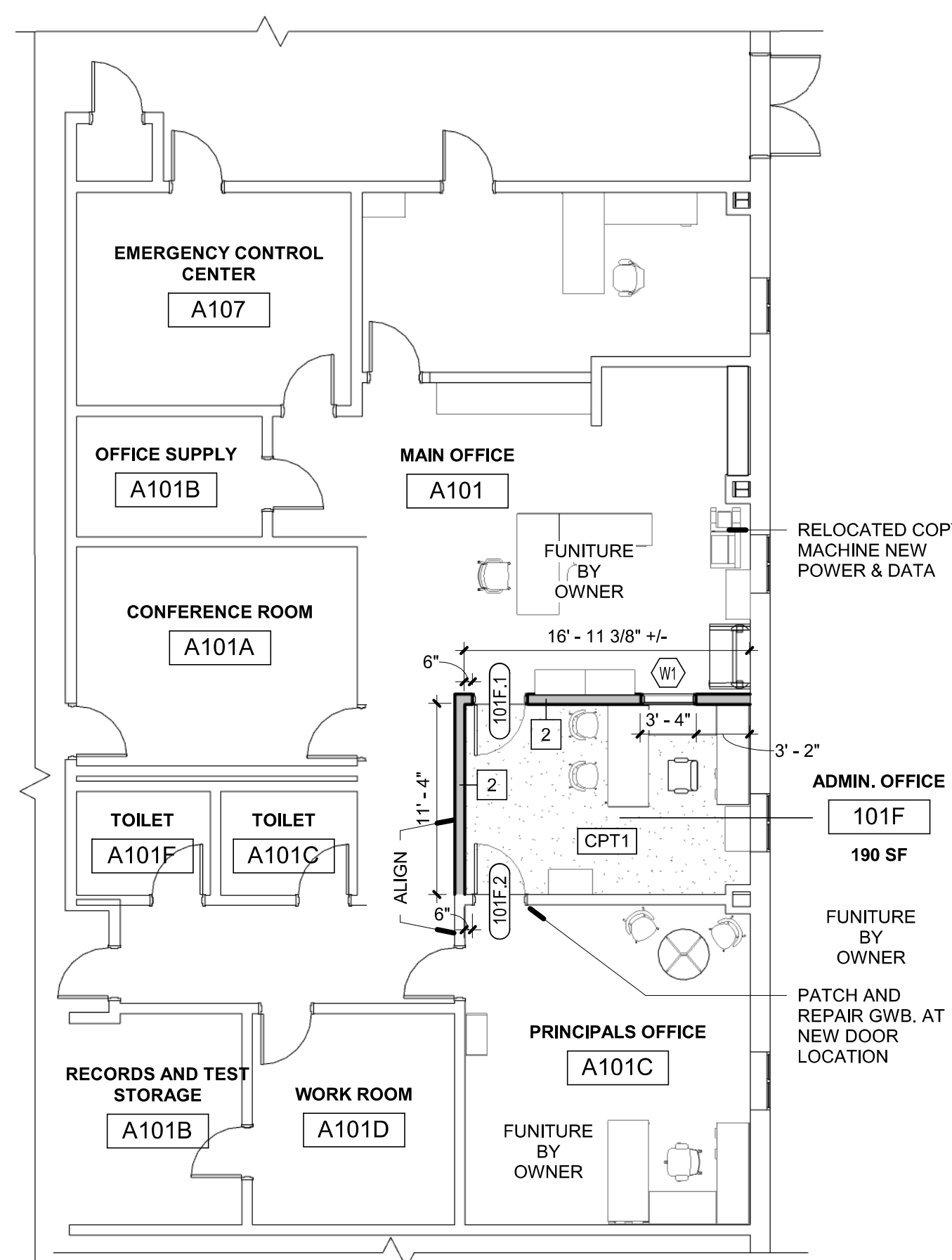
6 TYP. CEILING GRID DETAIL

**FINISH SCHEDULE**

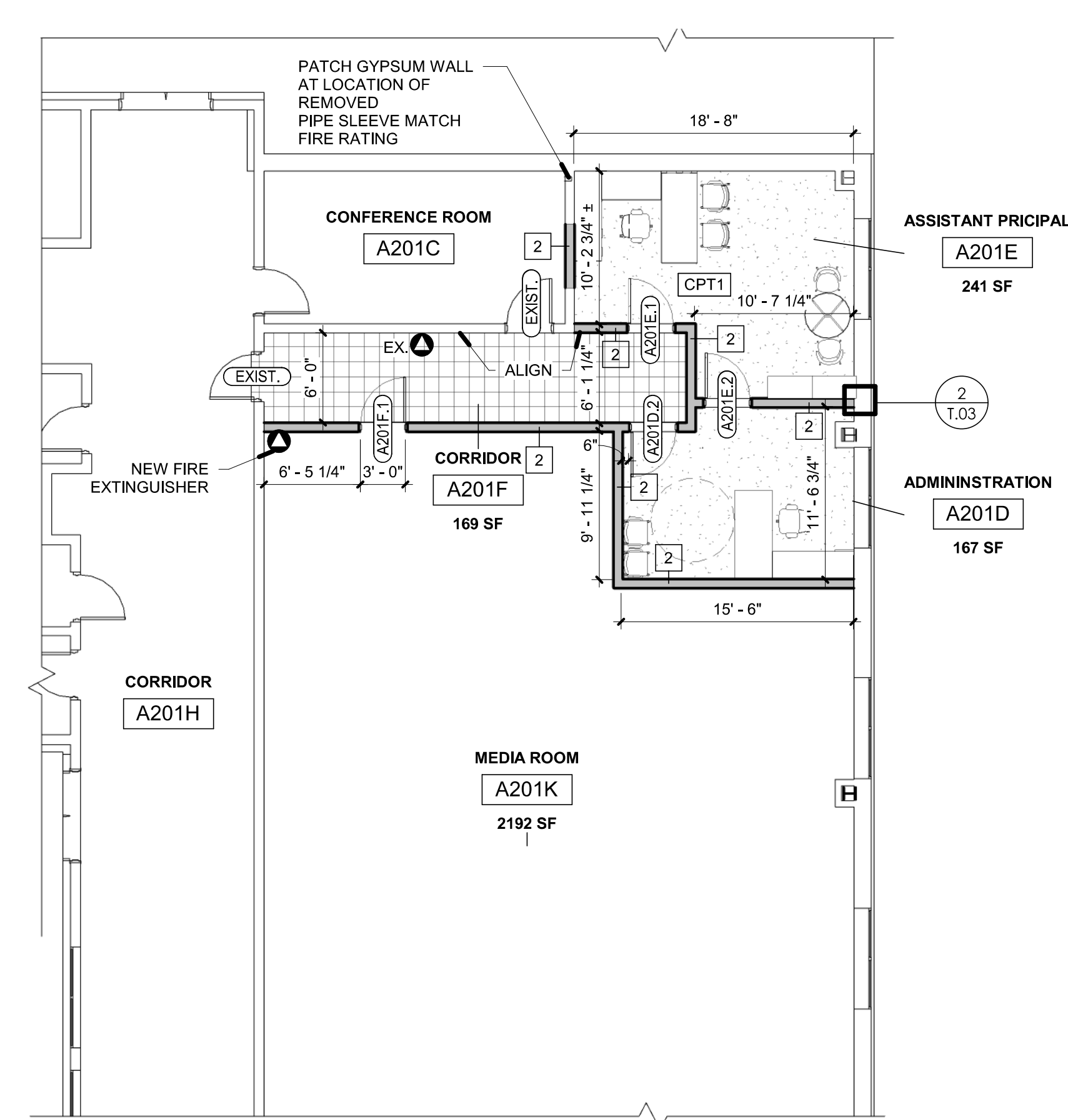
NUMBER	NAME	AREA	WALL	ACCENT	CEILING	FLOOR	BASE	TRIM	HAND/CHAIR RAIL	COMMENTS
101F	ADMIN. OFFICE	190 SF	PT1		ACT1	CPT1	B1	PT3		
A101	MAIN OFFICE	646 SF	PT1		ACT1	CPT1	B1	PT3		PATCH AND REPAIR AT NEW WALL FLOOR AND CEILING
A101C	PRINCIPALS OFFICE	320 SF	PT1		ACT1	CPT1	B1	PT3		
A201D	ADMINISTRATION	167 SF	PT1		ACT1	CPT1	B1	PT3		NEW DESK BY OWNER
A201E	ASSISTANT PRICIPAL	241 SF	PT1		ACT1	CPT1	B1	PT3		
A201F	CORRIDOR	169 SF	PT1		ACT1	CPT1	B1	PT3		
A201K	MEDIA ROOM	2192 SF	PT1		ACT1	CPT1	B1	PT3		PATCH AND REPAIR AT NEW WALL FLOOR AND CEILING

**FINISH LEGEND**

ABBREV.	DESCRIPTION
PT-1	INTERIOR WALL PAINT "BENJAMIN MOORE" - #OC-39 TIMID WHITE (MATCH EXISTING)
PT-2	INTERIOR CEILING PAINT "BENJAMIN MOORE" - #OC-67 ICE MIST (MATCH EXISTING)
PT-3	INTERIOR CEILING PAINT "BENJAMIN MOORE" - #1034 CLAY (MATCH EXISTING)
ACT-1	2X4 ACOUSTIC CEILING TILE - "ARMSTRONG" FINE FISSURED 1729 (MATCH EXISTING)
VCT-1	VINYL COMPOSITION TILE 12 IN. X 12 IN. X 1/8 IN. "ARMSTRONG" CARNIVAL WHITE: 52500
RWB-1	VINYL WALL BASE 4" IN 1/8" THICKNESS "ROPPE" 130 BUCKSKIN (MATCH EXISTING)
CPT-1	TARKETT TANDUS POWERBAND CARPET DIVIDE 03863 AVENUE 79015 (MATCH EXISTING)



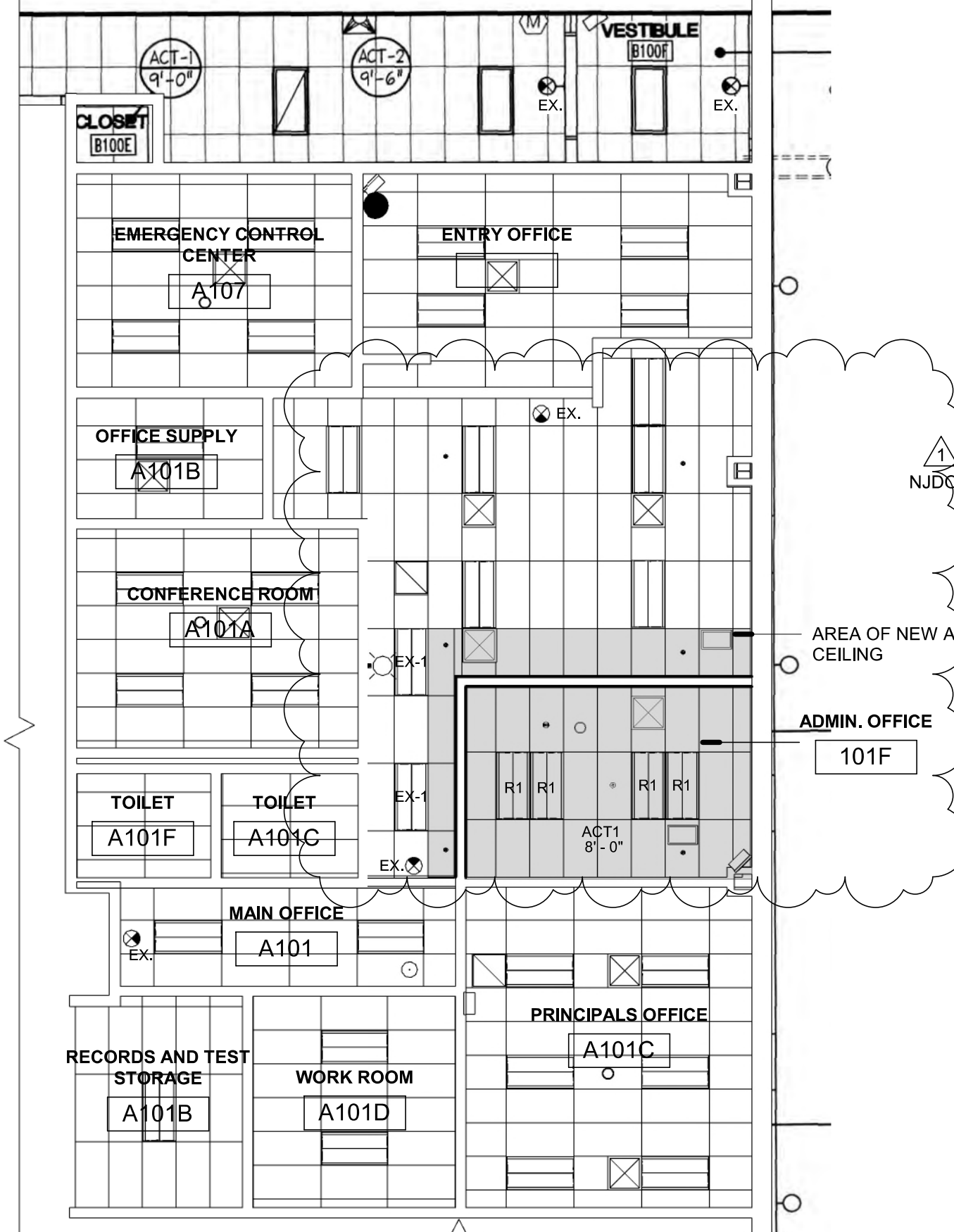
1 1ST FLOOR PROPOSED MAIN OFFICE PLAN



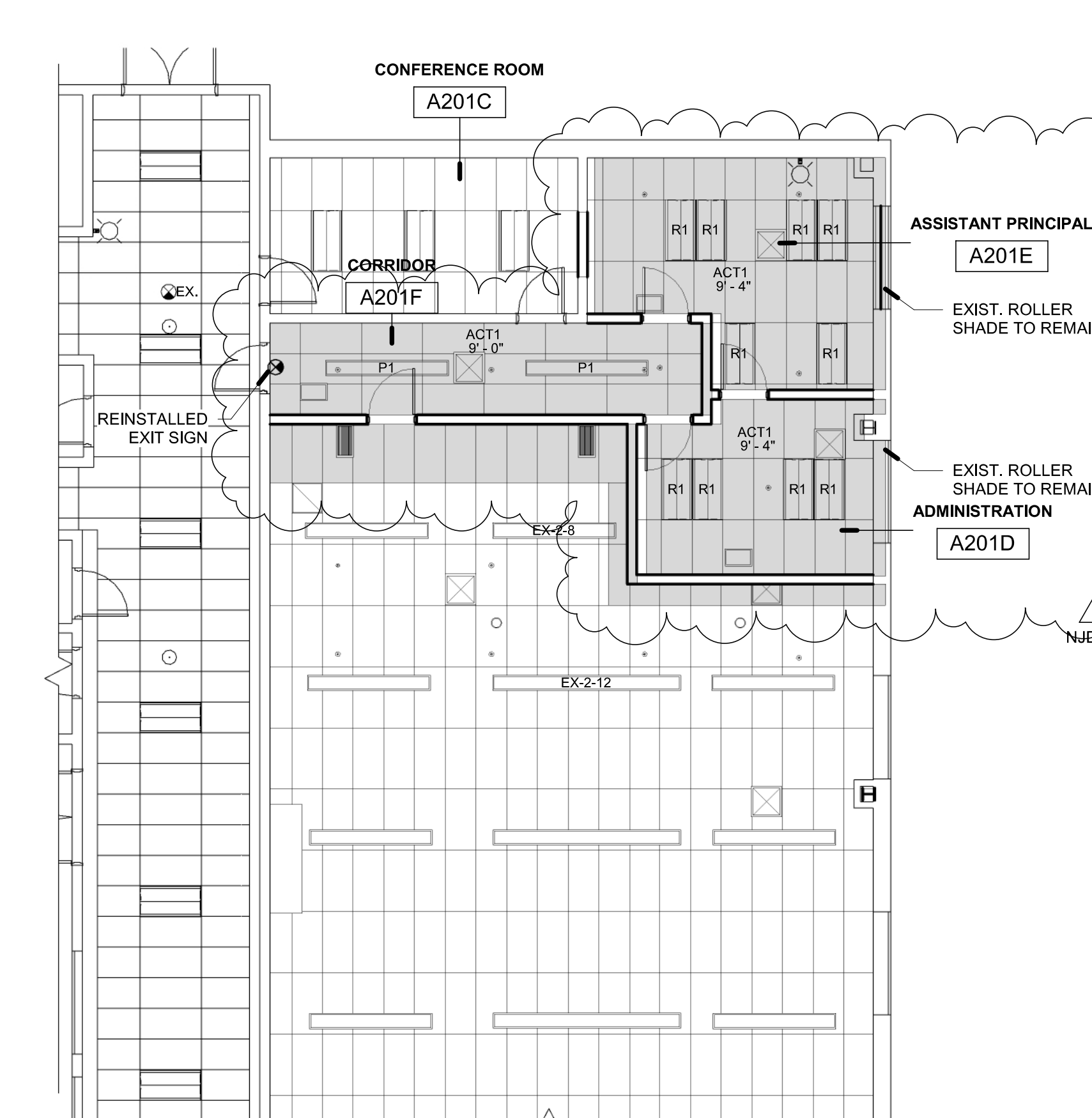
3 2ND FLOOR PROPOSED PLAN MEDIA ROOM

**LIGHTING FIXTURE SCHEDULE**

TYPE MARK	MANUFACTURER	MODEL	DESCRIPTION	LOCATION	LAMP	WATTS	VOLTS	DIMENSIONS/NOTES	# (REF. ONLY)
EX-1	EXISTING LIGHT FIXTURE								45
EX-2-8	Columbia Lighting	CBT	CBT Back-Lit Troffer						12
EX-2-12	Columbia Lighting	CBT	CBT Back-Lit Troffer						5
EX	EXISTING LIGHT FIXTURE								7
P1	Columbia Lighting	CBT	CBT Back-Lit Troffer						3
R1	AS NOTED	2x4							14



2 1ST FLOOR PROPOSED MAIN OFFICE RCP



4 2ND FLOOR PROPOSED RCP

NJ Certificate of Authorization

Engr. No. 24GA2783780

Arch. No. 21AC0012400

Date 12/18/23

Checked LAN

Drawn CSC

**RONALD M. PANICUCCI, P.E.**  
THE PROFESSIONAL ENGINEER License No. NJ24GE0391200

**Revisions:**

Date	Description
12/20/23	BID SET

Set Issue: 12/18/2023 NJDOE SUBMISSION

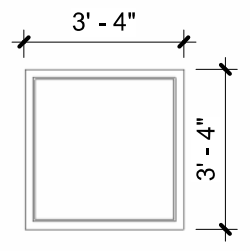
Engineering, Planning, Architecture, Surveying LLP  
**LAN ASSOCIATES**  
225 Main Street, Goshen, NY 10924 | t. 845-615-0350 | f. 845-615-0351

PROPOSED FLOOR & CEILING PLANS  
GLOUCESTER CITY MIDDLE SCHOOL OFFICE ALTERATION  
GLOUCESTER CITY BOE  
500 MARKET ST., GLOUCESTER CITY, NJ 08030

Job No. 20457.06

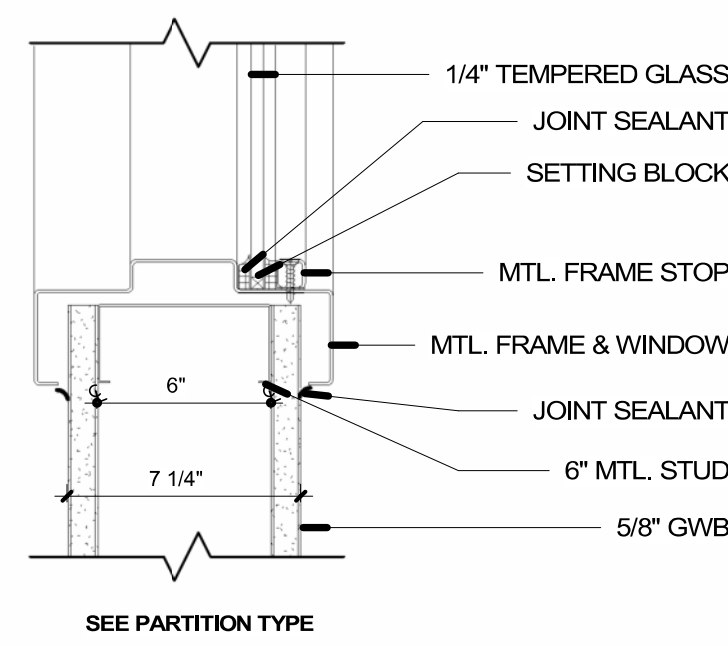
**A2.01**

TYPE MARK	DESCRIPTION	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	LEVEL
W1	HOLLOW METAL WINDOW	3'-0"	3'-0"	3'-0"	6'-0"	1ST FLOOR

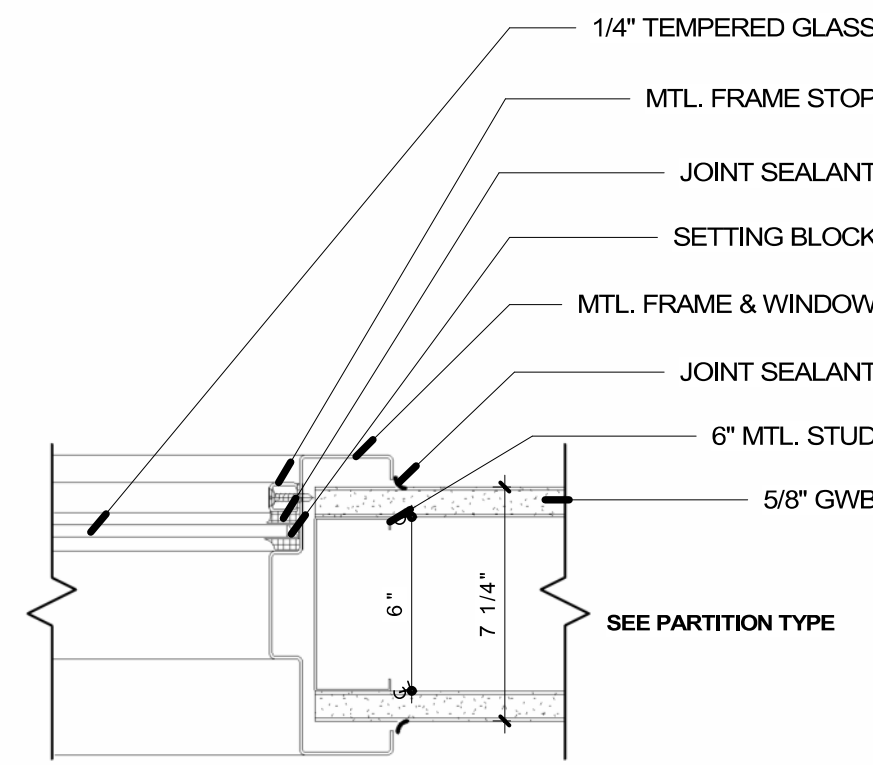


W1

**WINDOW TYPES**  
1/4" = 1'-0"



SEE PARTITION TYPE



**WINDOW NOTES:**

- GC SHALL FIELD VERIFY ALL DIMENSIONS.
- GC SHALL BE RESPONSIBLE TO CHECK AND VERIFY ACTUAL WINDOW OPENINGS BY ACCURATE FIELD MEASUREMENTS BEFORE FABRICATION, AND SHOW RECORDED MEASUREMENTS ON FINAL SHOP DRAWINGS.
- ADJUST OPERATING SASH AND HARDWARE TO PROVIDE TIGHT FIT AT CONTACT POINTS AND AT WEATHER-STRIPPING, AND TO ENSURE SMOOTH OPERATION AND WEATHER-TIGHT CLOSURE.
- SET WINDOWS PLUMB, LEVEL AND TRUE TO LINE WITHOUT WARP OR RACK OF FRAMES OR SASH. ANCHOR SECURELY IN PLACE.
- GC TO PROVIDE AND INSTALL ALL REQUIRED BLOCKING, SHIMS, AND SEALANT FOR A COMPLETE INSTALLATION.
- PROVIDE AND INSTALL WINDOW SCREENS AT ALL OPERABLE EXTERIOR WINDOWS.
- CAULK AND FLASH ALL OPENINGS FOR A COMPLETE WEATHERTIGHT INSTALLATION.
- ALL WINDOWS AND DOORS SHALL BE TEMPERED SAFETY GLAZING AS REQUIRED BY CODE.

**GLAZING SCHEDULE**

G1 = 1/4" TEMPERED GLAZING.

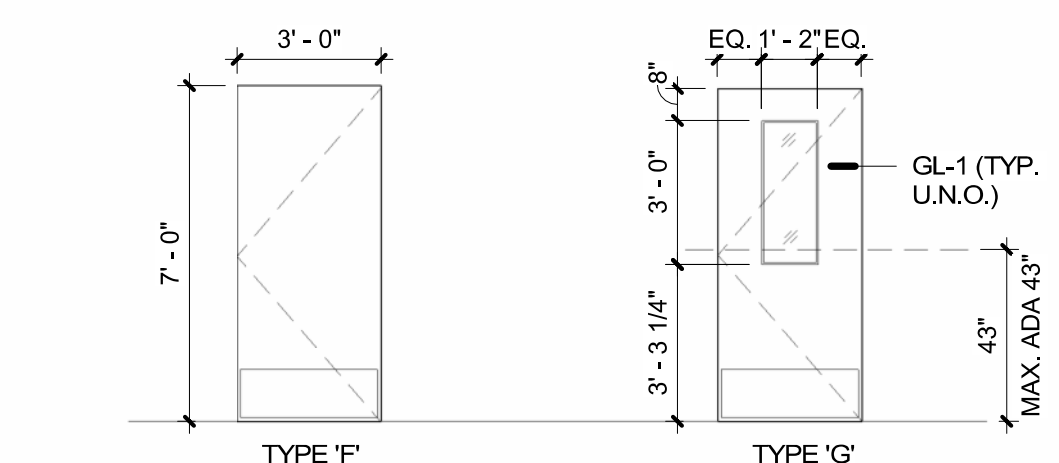
**6 HOLLOW METAL WINDOW FRAME**  
A6.01 3" = 1'-0"

**DOOR SCHEDULE COMMON**

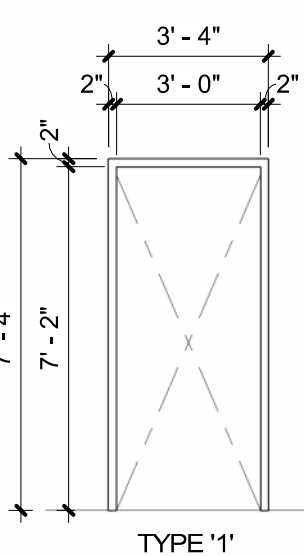
DOOR NUMBER	ROOM TO NAME	TO RM. NO.	NOMINAL DIMENSIONS		FRAME MATERIAL	JAMB/ HEAD WIDTH	DOOR STYLE	DOOR MATERIAL	THICKNESS	CLOSER	HARDWARE SET	HARDWR FUNCTION	FIRE RATING	COMMENTS
			WIDTH	HEIGHT										
<b>1ST FLOOR</b>														
101F.1	ADMIN. OFFICE	101F	3'-0"	7'-0"	HM.	0'-7 1/4"	G	WD.	0'-1 3/4"	Yes	2.0	OFFICE	N/A	
101F.2	PRINCIPALS OFFICE	A101C	3'-0"	7'-0"	HM.	0'-7 1/4"	G	WD.	0'-1 3/4"	Yes	2.0	OFFICE	N/A	
<b>1ST FLOOR: 2</b>														
<b>2ND FLOOR</b>														
A201D.2	ADMINISTRATION	A201D	3'-0"	7'-0"	HM.	0'-7 1/4"	G	WD.	0'-1 3/4"	Yes	2.0	OFFICE	N/A	
A201E.1	ASSISTANT PRINCIPAL	A201E	3'-0"	7'-0"	HM.	0'-7 1/4"	G	WD.	0'-1 3/4"	Yes	2.0	OFFICE	N/A	
A201E.2	ASSISTANT PRINCIPAL	A201E	3'-0"	7'-0"	HM.	0'-7 1/4"	G	WD.	0'-1 3/4"	Yes	2.0	OFFICE	N/A	
A201F.1	CORRIDOR	A201F	3'-0"	7'-0"	HM.	0'-7 1/4"	G	WD.	0'-1 3/4"	Yes	1.0	EGRESS	N/A	
<b>2ND FLOOR: 4</b>														
<b>Grand total: 6</b>														

**HARDWARE SETS**

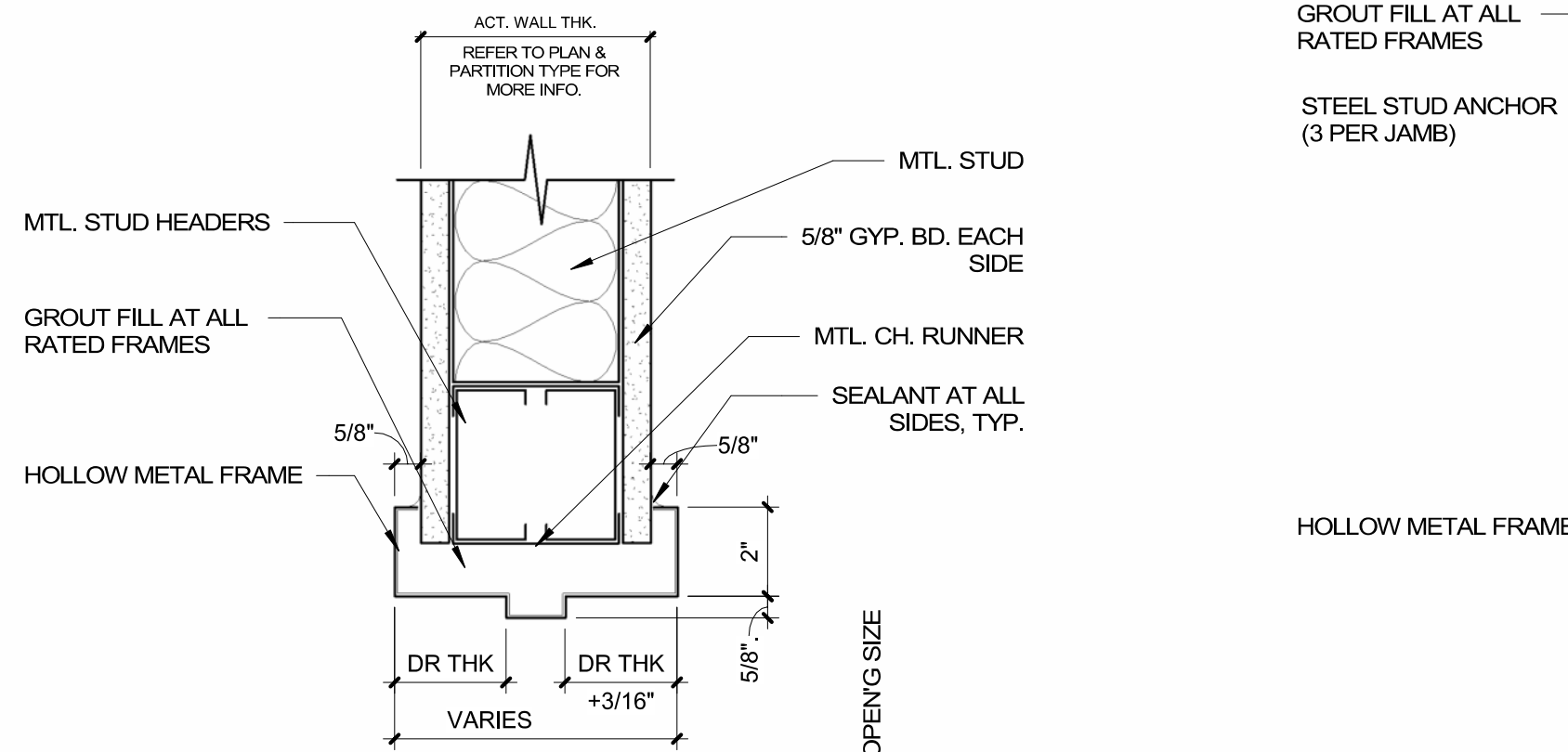
QUANTITY	PRODUCT	MODEL NUMBER	FINISH	MANUFACTURE
<b>SET -01</b>				
3	STANDARD HINGE	5BB1 4 1/2" X 4 1/2"	652	IVES
1	LOCKSET	W501HD6 AVA 626 30-197 30-148 (2 3/4 X ASA)	626	FALCON
1	CYLINDER	C606 IC CORE	626	FALCON
1	SURFACE CLOSER	SC 81A STD RW/ PA (AL) TBWMS	829	FALCON
2	KICK PLATE	8400 8X34	US32D	IVES
1	WALL DOOR STOP	WALL DOOR STOP	WS406/407CCV	IVES
1	DOOR SILENCER	Q146		STEELCRAFT
FUNCTION OFFICE / INSTALL CLOSER PARALLEL (PUSH SIDE).				
<b>SET -02</b>				
3	STANDARD HINGE	5BB1 4 1/2" X 4 1/2"	US26D	IVES
1	EXIT DEVICE	5-R-NL (512NL) LH	US26D	FALCON
1	CYLINDER	C987-6 CCA 626 MORTISE CYLINDER	626	FALCON
1	CYLINDER	C606 IC CORE	626	FALCON
1	SURFACE CLOSER	SC 81A STD RW/ PA (AL) TBWMS	829	FALCON
2	KICK PLATE	8400 8X34	US32D	IVES
1	WALL DOOR STOP	WALL DOOR STOP	WS406/407CCV	IVES
1	DOOR SILENCER			
FUNCTION EGRESS / INSTALL CLOSER PARALLEL (PUSH SIDE).				



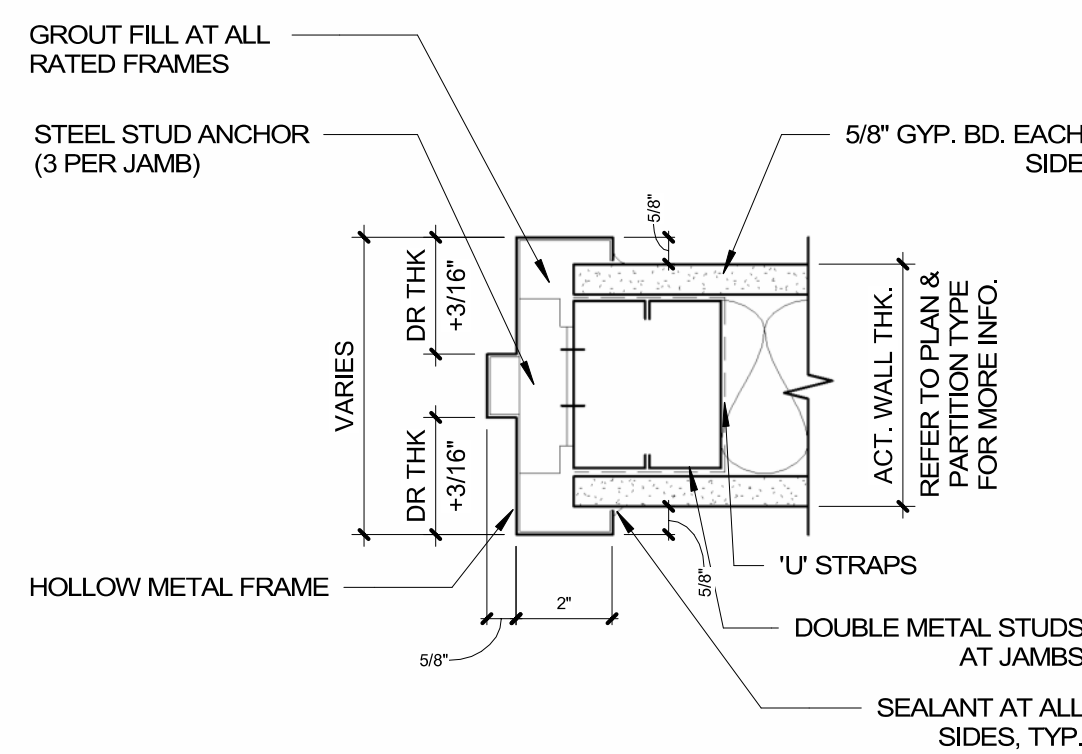
**1 DOOR TYPES**  
A6.01 1/4" = 1'-0"



**2 DOOR FRAME TYPES**  
A6.01 1/4" = 1'-0"



HEAD H-1



JAMB J-1

**3 HEAD AND JAMB DETAILS**  
A6.01 3" = 1'-0"

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 Checked LAN  
 Drawn CSC  
**RONALD M. PANICUCCI, P.E.**  
 The PROFESSIONAL ENGINEER License No. NJ246E0391200

**Revisions:**

Date	Description
12/20/23	BID SET
01/10/24	ADDENDUM #1

Set Issue:  
 12/18/2023  
 NJDOE  
 SUBMISSION

Engineering,  
 Planning,  
 Architecture,  
 Surveying LLP  
**LAN ASSOCIATES**  
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**DOOR SCHEDULE, DOOR TYPES & DETAILS**  
 GLOUCESTER CITY MIDDLE SCHOOL OFFICE ALTERATION  
 GLOUCESTER CITY BOE  
 500 MARKET ST. GLOUCESTER CITY, NJ 08030

Job No. 20457.06

**A6.01**

# GLOUCESTER CITY MIDDLE SCHOOL

## OFFICE ALTERATIONS

### 500 Market Street Gloucester City, Camden County, New Jersey

NJ Certificate of Authorization  
 Eng'r. No. 24047937500  
 Arch. No. 21AC00012400  
 Date 09/20/23  
 Checked TW  
 Drawn MB  
 THOMAS WIGHARD, P.E.  
 License No. NJ24CE04901100  
 The PROFESSIONAL ENGINEER

**Revisions:**

No.	Description

**LAN ASSOCIATES**  
 engineering • planning • architecture • surveying  
 445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)447-6400

**MECH NOTES, SYMBOLS, ABBREVIATIONS**  
 GLOUCESTER CITY MIDDLE SCHOOL  
 OFFICE ALTERATION  
 500 MARKET ST.  
 GLOUCESTER CITY, NJ 08030

Job No. 20457.06  
 File No. 2054706M001

M0.01

#### GENERAL NOTES

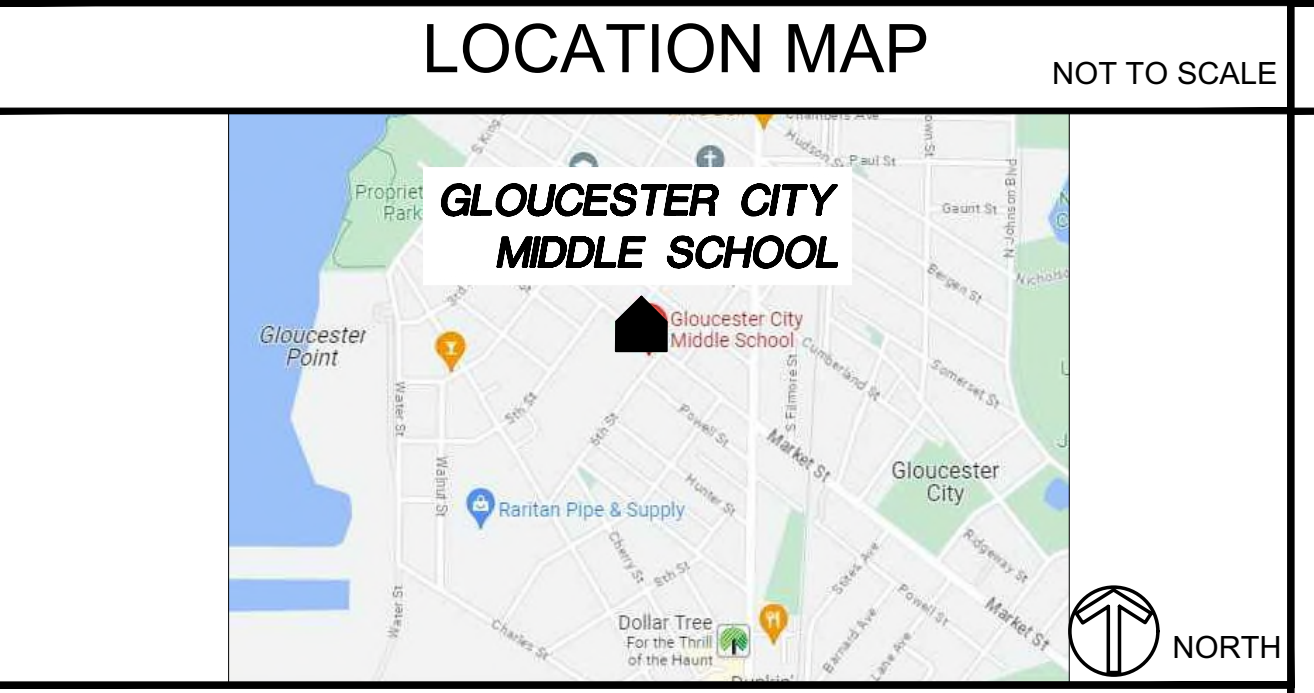
- ALL WORK SHALL CONFORM TO THE LATEST EDITIONS OF THE NEW JERSEY STATE ENERGY CODE, INTERNATIONAL MECHANICAL CODE, ASHRAE GUIDELINES, SMACNA, CAMDEN COUNTY GUIDELINES, NEC, NATIONAL STANDARD PLUMBING CODE, AND ALL OTHER APPLICABLE CODES, ORDINANCES, ETC. FOR NEW JERSEY STATE AND THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS AND SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. AND INCLUDE ALL SUCH NECESSARY WORK BASED ON THIS SITE FAMILIARIZATION IN THIS BID.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFE WORKING CONDITIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEAN & METHODS, PROCEDURES AND JOB SITE CONDITIONS INCLUDING SAFETY. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER TO PROTECT WORKMEN, OCCUPANTS AND THE PUBLIC FROM INJURY AND ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE BY USE OF SCAFFOLDING, UNDERPINNING OR OTHER APPROVED METHOD. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE CAUSED DURING OR RESULTING FROM HIS OPERATIONS IN KIND TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN, DEBRIS FREE CONDITION. THE DUST RESULTING FROM REMOVALS SHALL BE CONTROLLED SO AS TO PREVENT ITS SPREAD TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES, APPROVALS, ETC. PRIOR TO COMMENCING WORK AND SHALL SECURE CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OFF SITE IN AN APPROVED MANNER. THE OWNER SHALL BE CONSULTED PRIOR TO DISPOSAL OF ANY SALVAGED OR EXCESS MATERIALS AT THE COMPLETION OF THE PROJECT.
- UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- ALL WORK SHALL BE SCHEDULED IN COMPLIANCE WITH THE OWNER'S REQUIREMENTS FOR THE USE OF THE EXISTING FACILITY.
- CONTRACTOR SHALL FURNISH ALL EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE AND ORDERLY MANNER, AND AS NECESSARY FOR A PROPER OPERATIONAL SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED DURING THE COURSE OF HIS WORK AND TO ENSURE THE OWNER'S FACILITY TO BE OPERATIONAL.
- CONTRACTOR SHALL REVIEW DRAWINGS AND FIELD VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND ADDRESS ALL QUESTIONS TO ARCHITECT/ENGINEER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, FILLING AND CLEANING UPON COMPLETION OF WORK.
- CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. ALL WRITTEN OR DIMENSIONED INFORMATION TAKES PRECEDENCE OVER THE DRAWING.
- CONTRACTOR SHALL SUBMIT, WHERE REQUIRED BY THE ARCH/ENGR, SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL PRIOR TO THE START OF FABRICATION OF THOSE ITEMS. THIS INCLUDES EQUIPMENT, SCHEMATIC DUCTWORK LAYOUT, ETC. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL EQUIPMENT ETC WILL FIT (WITH PROPER MAINTENANCE CLEARANCES) AT ALL LOCATIONS. REVIEW OF SHOP DRAWINGS/SUBMITTALS BY THE ARCH/ENGR DOES NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE CURRENT MODEL NUMBERS, TYPE, & FEATURES OF ALL EQUIPMENTS & MATERIALS.
- CONTRACTOR SHALL PROVIDE THE OWNER AND ARCHITECT WITH CERTIFICATES OF INSURANCE PRIOR TO STARTING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING OF EXISTING STRUCTURES AS NEEDED TO COMPLETE THE NEW WORK.
- ALL MANUFACTURER'S MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE TO WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. WHERE BRAND NAMES AND MANUFACTURED PRODUCTS ARE CALLED FOR, APPROVED EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE SUBSTITUTED WITH WRITTEN PERMISSION OF THE ARCHITECT AND THE OWNER. WHENEVER BRAND NAMES OR SPECIFIC PRODUCT SYSTEMS ARE INDICATED IT SHALL BE CLEARLY UNDERSTOOD THAT SUCH IDENTIFICATION IS FOR THE PURPOSE OF ILLUSTRATING THE TYPE OF PRODUCT AND DEGREE OF QUALITY DESIRED. SUCH IDENTIFICATION IN NO WAY PRECLUDES THE CONTRACTOR FROM USING PRODUCTS OF OTHER MANUFACTURERS WHICH CAN BE SHOWN IN ADVANCE TO BE OF LIKE AND OF EQUAL OR BETTER QUALITY.
- ALL CHANGES SHALL BE REQUESTED IN WRITING AND MAY ONLY BE APPROVED IN WRITING BY THE ARCHITECT/ENGINEER AND THE OWNER PRIOR TO ANY CHANGES BEING MADE.
- THE ARCHITECT HAS THE RIGHT TO REJECT ANY PORTION OF WORK THAT IS POORLY INSTALLED, DOES NOT MEET INDUSTRY STANDARD, UNAUTHORIZED, OR WORK DONE CONTRARY TO THE INTENT OF THE CONTRACT DOCUMENTS. SUCH WORK SHALL BE REPLACED, REPAIRED OR REMOVED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD TWO (2) YEARS AFTER RECEIVING FINAL ACCEPTANCE AND DO ALL REPAIR WORK AND REPLACEMENT AS NECESSARY DURING THAT PERIOD AT THE CONTRACTOR'S EXPENSE.
- IN NO EVENT SHALL STRUCTURAL MEMBERS BE CUT OR DRILLED WITHOUT THE WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.
- CONTRACTOR SHALL PROVIDE SAFE AND SANITARY CONDITIONS WHERE DEMOLITION AND WRECKING OPERATIONS ARE BEING CARRIED ON. WORK SHALL BE EXECUTED IN SUCH A MANNER THAT HAZARD FROM FIRE, POSSIBILITY OF INJURY, DANGER TO HEALTH AND CONDITIONS WHICH MAY CONSTITUTE A PUBLIC NUISANCE SHALL BE MINIMIZED.
- ENGINEER/OWNER MAY ASK THE CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS & SUBMITTALS OF ANY/ALL PARTS OF THIS PROJECT WHICH THE ENGINEER/OWNER DEEMS NECESSARY FOR.

#### H.V.A.C. GENERAL NOTES

- PROCURE AND PAY ALL NECESSARY PERMITS AND LICENSES REQUIRED TO CARRY OUT THE WORK SHOWN. OBTAIN AND PAY FOR ALL FEES.
- COMPLY WITH ALL FEDERAL, STATE AND MUNICIPAL LAWS AND CODES, ORDINANCES, RULES AND REGULATIONS OF HEALTH, PUBLIC OR OTHER AUTHORITIES CONTROLLING OR LIMITING THE METHODS, MATERIALS TO BE USED OR ACTIONS OF THOSE EMPLOYED.
- GUARANTEE H.V.A.C. SYSTEMS FOR A PERIOD OF TWO YEARS FROM OWNER'S ACCEPTANCE TO BE FREE FROM DEFECTS AND REPAIR OR REPLACE, AT NO COST TO OWNER, FAILURES OR DEFECTS.
- H.V.A.C. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL HIS DEBRIS.
- BALANCE AIR AND WATER SYSTEMS TO QUANTITIES INDICATED. CONTRACTOR TO SUBMIT SIX (6) SETS OF AIR, WATER AND UNIT BALANCING REPORT TO ARCH/ENGR/OWNER PRIOR TO FINAL ACCEPTANCE OF THE SYSTEM.
- BIDDERS FOR THIS WORK SHALL VISIT THE PREMISES AND CAREFULLY EXAMINE ALL EXISTING CONDITIONS BEFORE SUBMITTING BIDS. NOT ALL EXISTING CONDITIONS HAVE BEEN IDENTIFIED ON DRAWINGS. CONTRACTOR SHALL NOTIFY ARCH. & ENGR. OF ALL DISCREPANCIES PRIOR TO SUBMITTING BID.
- ALL BIDDERS SHALL ALSO FAMILIARIZE THEMSELVES WITH THE MEANS OF ENTRANCE AND EXIT AT THE PROPERTY AND ALL OTHER INFORMATION NECESSARY TO PROPERLY CARRY OUT THE WORK.
- THE CONTRACTOR SHALL, WITH THE APPROVAL OF THE ENGINEER AND WITHOUT ADDITIONAL COST TO THE OWNER, MAKE ALL NECESSARY CHANGES OR MODIFICATIONS TO LOCATIONS AS MAY BE NECESSARY TO SUIT REQUIREMENTS AND CONDITIONS FOR THE PROPER AND CONVENIENTLY ACCESSIBLE LOCATIONS OF ALL PARTS OF EACH SYSTEM.
- SMALL DETAILS ARE NOT USUALLY SHOWN OR SPECIFIED BUT ALL MATERIALS & COMPONENTS NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OR WORK SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL NOTE THAT ALL SERVICE CONNECTIONS MAY NOT BE SHOWN IN TRUE POSITIONS. EACH BIDDER IS CAUTIONED, THEREFORE, TO VERIFY SAME WITH FIELD CONDITIONS.
- CONTRACTOR SHALL CHECK FOR INTERFERENCE AND VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR INSTALLATION OF DUCTWORK.
- IF AN ITEM OF EQUIPMENT OTHER THAN THE ITEM(S) SPECIFIED IS APPROVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADDITIONAL COST ARISING OUT OF ADDITIONAL OR CHANGED GENERAL CONSTRUCTION AND MECHANICAL WORK REQUIRED TO ACCOMMODATE THE SUBSTITUTED EQUIPMENT.
- ALL EQUIPMENT INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS AND RECOMMENDATIONS.
- CONTRACTOR TO SUBMIT SIX (6) SETS OF DUCT AIR LEAKAGE TESTING REPORT FOR REVIEW.
- PROVIDE FIRE DAMPERS/ACCESS DOORS AT ALL DUCT PENETRATIONS THROUGH CORRIDORS, SLABS AND OTHER RATED PARTITIONS, IRRESPECTIVE OF WHETHER IT IS INDICATED ON THE DRAWINGS OR NOT.
- PROVIDE FIRE STOPPING AROUND ALL OPENINGS FOR DUCT PENETRATIONS THROUGH CORRIDORS, SLABS AND OTHER RATED PARTITIONS.
- MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RESTORATION OF AREAS OF MECHANICAL REMOVALS.
- MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONTAINER SERVICES AND LABOR TO KEEP THE BUILDING FREE OF DEBRIS.
- CONTRACTOR TO THOROUGHLY CLEAN ALL EXISTING DUCTWORK WHICH IS TO REMAIN (SUPPLY, RETURN AND OUTDOOR AIR). PROVIDE SIX (6) COPIES OF REPORT INCLUDING COLOR PHOTOS INDICATING DUCTWORK CONDITION BEFORE & AFTER CLEANING.
- PROVIDE NEW VOLUME DAMPERS IN EXISTING DUCTWORK (SUPPLY/RETURN) WHICH IS TO BE REUSED WHERE THERE ARE NO EXISTING VOLUME DAMPERS (TYPICAL FOR ALL).
- CONTRACTOR TO NOTE THAT BOTH DWGS. & SPECS. ARE COLLECTIVELY A PART OF BID REQUIREMENTS. IN CASE OF ANY DIFFERENCES BETWEEN VARIOUS DWGS. OR BETWEEN DWGS. & SPECS, THE MOST STRINGENT REQUIREMENT WILL PREVAIL.
- CONTRACTOR TO PROVIDE SIX (6) SETS AND AN ELECTRONIC COPY OF AS-BUILT DRAWINGS OF THE ENTIRE SYSTEM.

#### GENERAL CONSTRUCTION NOTES

- MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE CUTTING OF ALL WALLS, FLOORS, CEILING ETC. FOR ALL PIPE & DUCT PENETRATIONS. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ROOF/FLOOR/WALL STRUCTURAL SUPPORT.
- MECHANICAL CONTRACTOR IS REQUIRED TO PATCH (TO MATCH EXISTING), IMMEDIATELY AFTER REMOVAL, ALL WALL, FLOOR & CLG. OPENINGS WHERE EXISTING DUCT IS BEING REMOVED. SEAL OPENING WITH 3 HOUR FIRE BARRIER CAULK. SEE GENERAL LOCATIONS ON MECHANICAL DEMOLITION PLAN.
- MECHANICAL CONTRACTOR TO REFER TO MECHANICAL DRAWINGS FOR PAINTING OF DUCTWORK, FURNISHING AND INSTALLING ACCESS PANELS, CUTOUT LOCATIONS, ETC.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING & RELOCATING EXISTING ELECTRICAL, FIRE ALARM & COMMUNICATION DEVICES TO ACCOMMODATE THE INSTALLATION OF NEW DUCTWORK. CHECK IN FIELD.
- GENERAL CONTRACTOR SHALL REMOVE EXISTING CEILING TILES AND CEILING GRID TO ACCOMMODATE THE INSTALLATION OF NEW DUCTWORK. RE-INSTALL ALL CEILING TILES BACK TO MATCH EXISTING. REMOVE & REPLACE ALL DAMAGED TILES & CEILING GRID. CHECK IN FIELD.
- CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE EXTENT AND SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS OR COMMENCING WORK.
- CONTRACTORS SHALL REVIEW DRAWINGS AND FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK. THE CONTRACTORS SHALL REPORT ANY DISCREPANCIES, AND ADDRESS ALL QUESTIONS TO ARCHITECT/ENGINEER PRIOR TO COMMENCING WORK.
- THE CONTRACTORS SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS, FEES, AND INSPECTIONS PRIOR TO COMMENCING WORK. UPON COMPLETION OF WORK THE CONTRACTOR SHALL SECURE CERTIFICATE OF OCCUPANCY.
- CONTRACTORS SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OF SITE IN AN APPROVED MANNER.
- DOWN-TIME FOR THE TIE-IN OR SWITCHOVER SHALL BE KEPT TO A MINIMUM. COORDINATE SCHEDULE WITH THE OWNER.



#### H.V.A.C. MATERIALS

**DUCTWORK:**

- INDOOR SUPPLY, RETURN AND EXHAUST DUCTWORK, EXCEPT AS INDICATED BELOW, SHALL BE GALVANIZED STEEL CONSTRUCTION. WEIGHTS AND CONSTRUCTION DETAIL SHALL BE IN ACCORDANCE WITH THE LATEST ASHRAE GUIDE AND/OR SMACNA STANDARDS.
- FLEXIBLE DUCTWORK: SHALL NOT EXCEED FOUR (4) FEET IN LENGTH. FOR ANY HORIZONTAL FLEX DUCT BRANCH TO A CEILING DIFFUSER, FURNISH A 90° BRACE TO MAINTAIN A LONG RADIUS ELBOW TO THE DIFFUSER ("TITUS" MAKE, MODEL "FLEXRIGHT").

**INSULATION:**

- EXTERNAL DUCT INSULATION: 1" THICK, MIN. 1.5 LB. DENSITY FIBERGLASS DUCT INSULATION WITH REINFORCED FOIL FACED FLAME RESISTANT KRAFT VAPOR BARRIER, ADHERED TO DUCT W/ SEALED LAPS AND TAPED JOINTS.

**AIR DEVICES:**

- SAD - TITUS MAKE, MODEL OMNI
- RAR - TITUS MAKE, MODEL 350-RL
- TGO - TITUS MAKE, MODEL 300-RL
- TGI - TITUS MAKE, MODEL 350-RL

**NOTES:**

- ALL CEILING DIFFUSERS LOCATED IN ACOUSTIC CEILING GRID SHALL BE PROVIDED WITH FRAME TYPE FOR GRID MOUNTING. IF THE TILE IS SMALLER THAN TILE SIZE, THE DIFFUSER SHALL BE PROVIDED WITH FRAME TYPE FOR CEILING TYPE.
- PROVIDE FACTORY INSTALLED 90° BLANK-OFF PLATE(S) IN ALL 2 AND 3 WAY DIFFUSERS.
- COLOR OF AIR OUTLETS/INLETS SHALL MATCH THE CEILING COLOR.
- ALL AIR OUTLETS/INLETS TOILETS, CORRIDORS, AND KITCHEN SHALL BE ALUMINUM CONSTRUCTION

#### CODE REVIEW INFORMATION

- Applicable Building Codes
  - International Building Code / 2021 New Jersey Edition
  - ASHRAE 90.1-2019
  - International Mechanical Code / 2021
  - National Electrical Code / 2020
  - National Standard Plumbing Code / 2021
- Rehabilitation Sub Code
  - Project Designed in accordance with the Rehabilitation Sub-code, NIAC 5:23-6,
  - Category: Renovation and Alterations

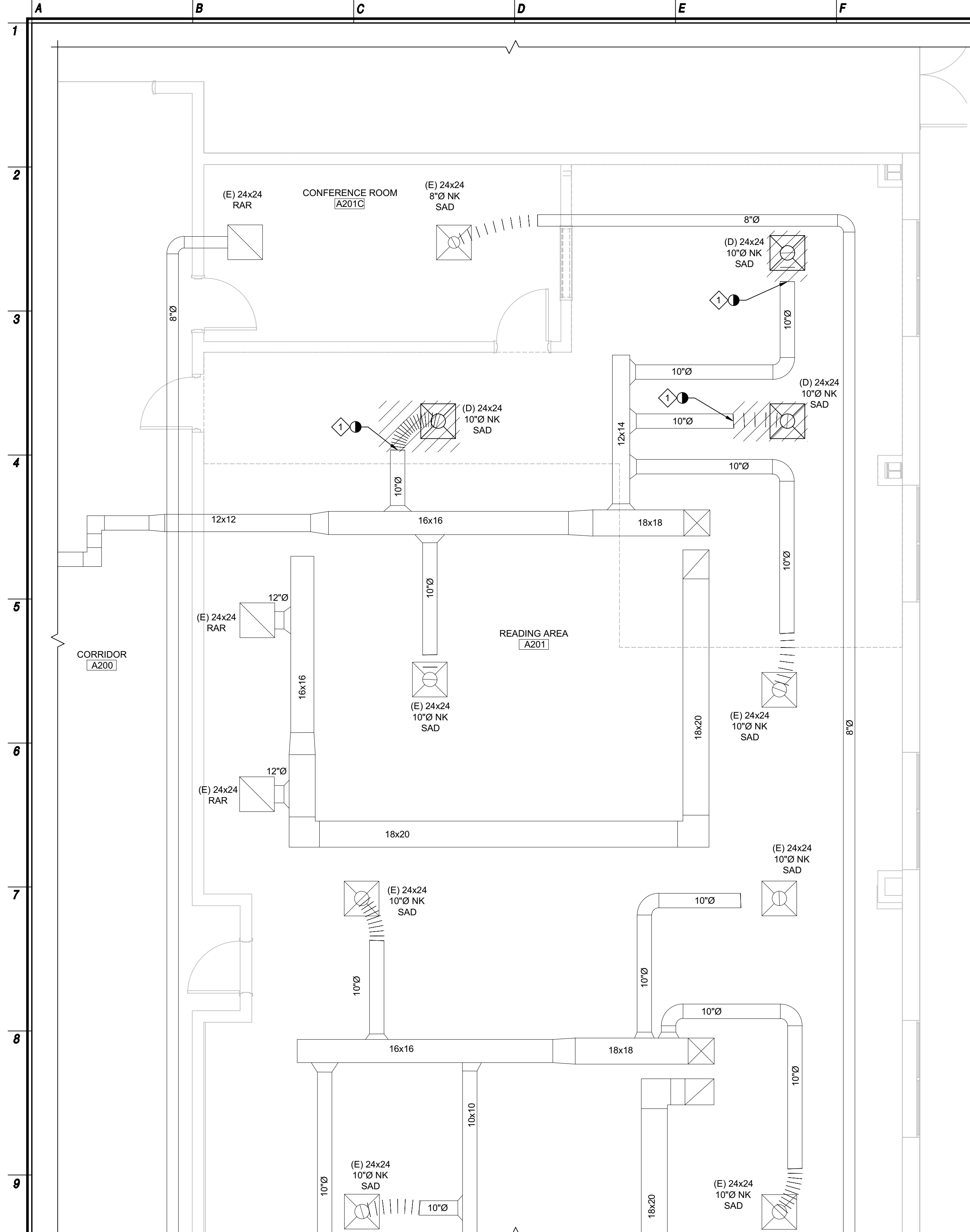
#### SYMBOLS

NOT TO SCALE

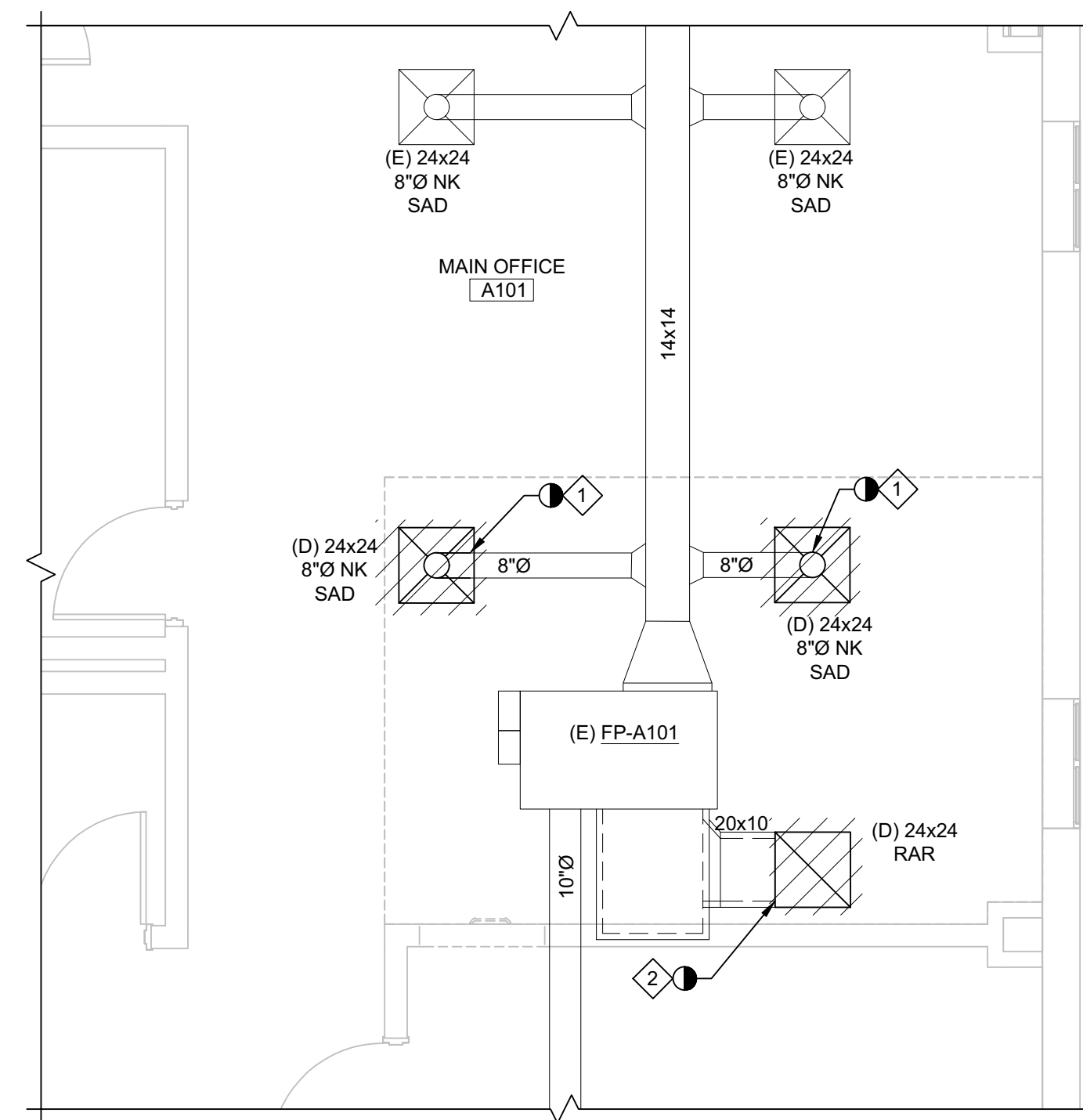
	= SUPPLY AIR CEILING DIFFUSER (SAD) WITH NECK SIZE AND AND CFM INDICATED ON PLANS
	= 3-WAY SUPPLY AIR CEILING DIFFUSER (SAD) WITH NECK SIZE AND AND CFM INDICATED ON PLANS.
	= 2-WAY SUPPLY AIR CEILING DIFFUSER (SAD) WITH NECK SIZE AND AND CFM INDICATED ON PLANS.
	= RETURN AIR REGISTER (RAR) WITH NECK SIZE AND CFM INDICATED ON PLANS
	= POINT OF CONNECTION OF NEW PIPING/DUCTWORK TO EXISTING
	= POINT OF DISCONNECTION OF NEW PIPING/DUCTWORK TO EXISTING
	= INDICATES HARD DUCT (DIMENSIONS ARE INSIDE CLEAR WIDTH & DEPTH)
	= INDICATES FLEXIBLE DUCT (DIMENSIONS ARE INSIDE CLEAR DIAMETER; LENGTH NOT TO EXCEED FOUR (4) FEET)
	= DUCT TURN UP (SUPPLY, RETURN, EXHAUST)
	= DUCT TURN DOWN (SUPPLY, RETURN, EXHAUST)
	VD = VOLUME DAMPER
	BDD = BACK DRAFT DAMPER
	//// = INDICATES EXISTING TO BE REMOVED
	NORTH = PROJECT NORTH
	CLOSET 101 = ROOM NAME
	△ = REVISION

#### ABBREVIATIONS

&	= AND	IN	= INCH
@	= AT	INSUL	= INSULATION
∅	= DIAMETER OR ROUND	MAX	= MAXIMUM
ABV	= ABOVE	MECH	= MECHANICAL
ADD'L	= ADDITIONAL	MEP	= MECHANICAL/ ELECTRICAL/ PLUMBING
ADJ	= ADJUSTABLE	MFR	= MANUFACTURER
ALT	= ALTERNATE	MIN	= MINIMUM
BDD	= BACK DRAFT DAMPER	MISC	= MISCELLANEOUS
BLDG	= BUILDING	(N)	= NEW
CLG	= CEILING	N.A.	= NOT APPLICABLE
CONT	= CONTINUOUS	NK	= NECK SIZE
CORR	= CORRIDOR	NTS	= NOT TO SCALE
(D)	= DEMO	OA	= OUTSIDE AIR
DET	= DETAIL	RA	= RETURN AIR
DIM	= DIMENSION	RAR	= RETURN AIR REGISTER
DWG	= DRAWING	RTU	= ROOF TOP HV/HVAC UNIT
(E)	= EXISTING	SA	= SUPPLY AIR
EA	= EACH	SAD	= SUPPLY AIR DIFFUSER
ENGR	= ENGINEER (ING)	SAR	= SUPPLY AIR REGISTER
EQ	= EQUAL	SPEC	= SPECIFICATION
EQUIP	= EQUIPMENT	TG	= TRANSFER AIR GRILLE
FCU	= FAN COIL UNIT	TYP	= TYPICAL
FD	= FIRE DAMPER	VD	= VOLUME DAMPER
FLR	= FLOOR	VIF	= VERIFY IN FIELD
GALV	= GALVANIZED	W/	= WITH
HVAC	= HEAT/VENT/AIR COND	W/O	= WITHOUT
		WT	= WEIGHT



**1 SECOND FLOOR READING AREA RENOVATIONS**  
 1/4" = 1'-0" DEMOLITION PLAN

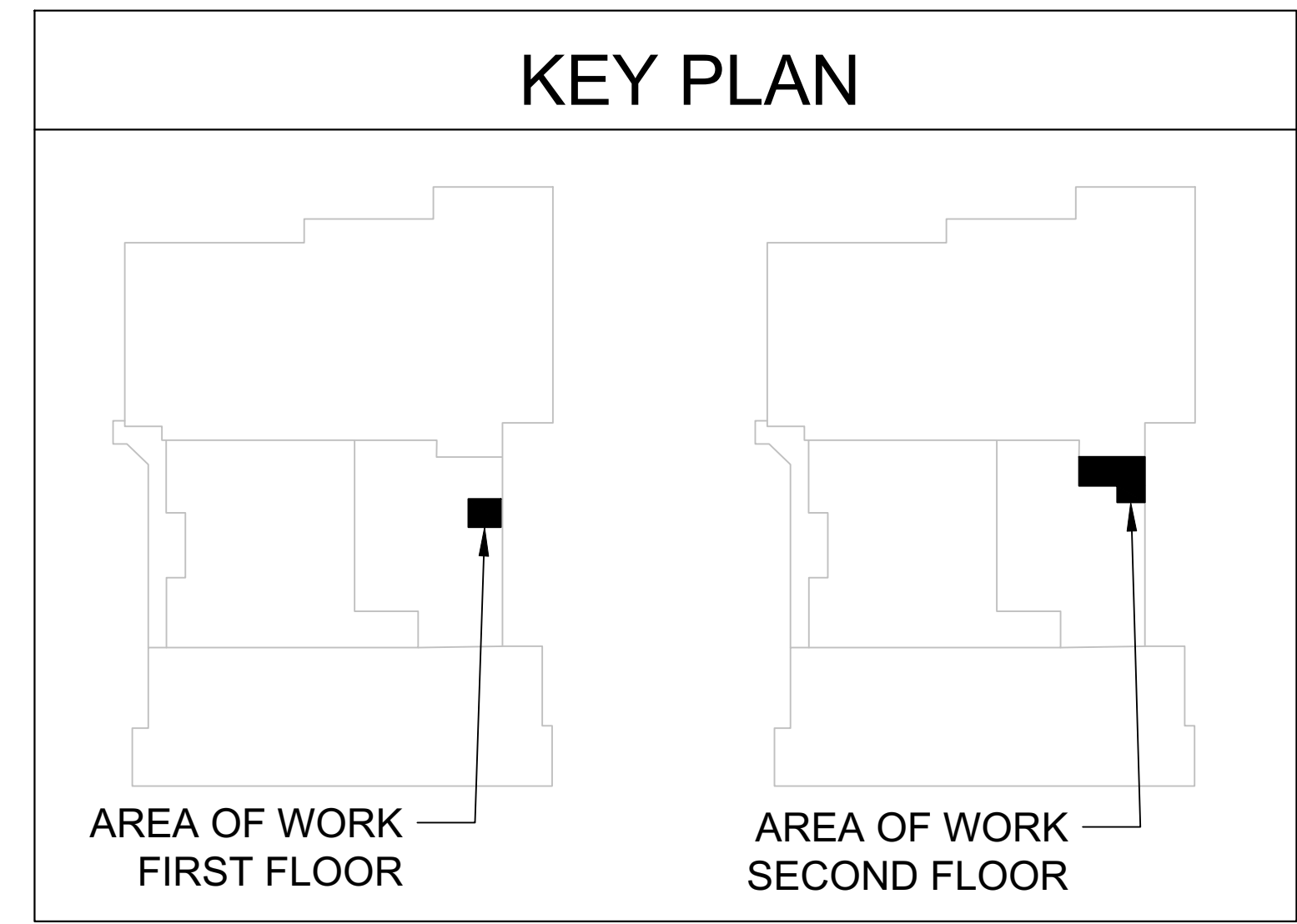


**2 FIRST FLOOR MAIN OFFICE RENOVATIONS**  
 1/4" = 1'-0" DEMOLITION PLAN

**DEMOLITION KEYNOTES**

1 DISCONNECT AND REMOVE SUPPLY AIR DIFFUSER. COMPLETE WITH REMOVAL OF ALL ASSOCIATED DUCTWORK, DAMPERS, INSULATION, ETC. UP TO POINT SHOWN. TEMPORARY CAP DUCTWORK FOR PROPOSED WORK OF THE PROJECT.

2 DISCONNECT AND REMOVE RETURN AIR REGISTER. COMPLETE WITH REMOVAL OF ALL ASSOCIATED DUCTWORK, DAMPERS, INSULATION, ETC. UP TO POINT SHOWN. TEMPORARY CAP DUCTWORK FOR PROPOSED WORK OF THE PROJECT.



Eng. No.	24047937500
Arch. No.	214000012400
Date	09/20/23
Checked	TW
Drawn	MB

**THOMAS WIGHARD, P.E.**  
 THE PROFESSIONAL ENGINEER  
 License No. NJ24GE04901100

**Revisions:**

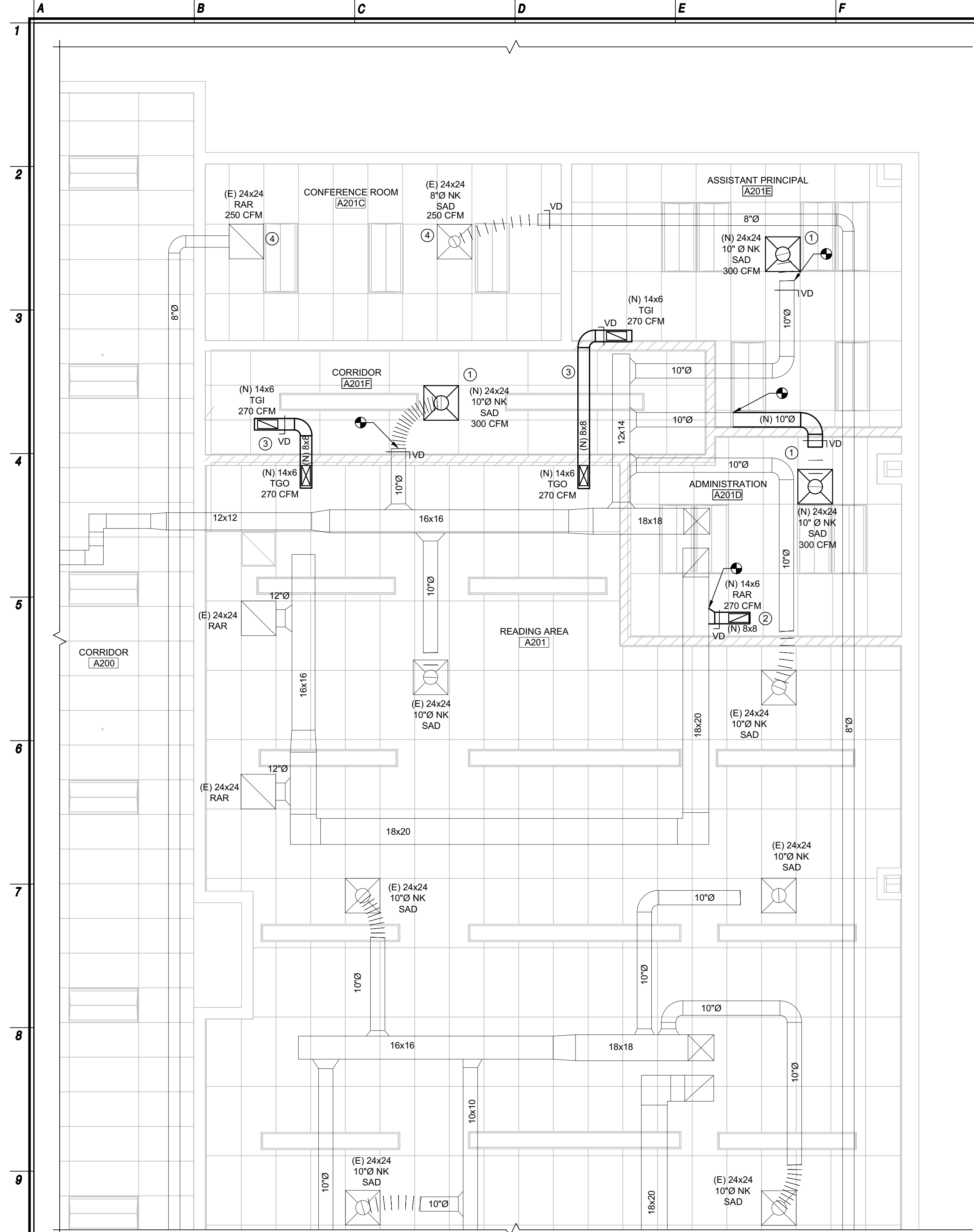

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 445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)447-6400

**DEMOLITION MECHANICAL PLANS**  
 GLOUCESTER CITY MIDDLE SCHOOL  
 OFFICE ALTERATION  
 500 MARKET ST.  
 GLOUCESTER CITY, NJ 08030

Job No. 20457.06  
 File No. 2054706M201

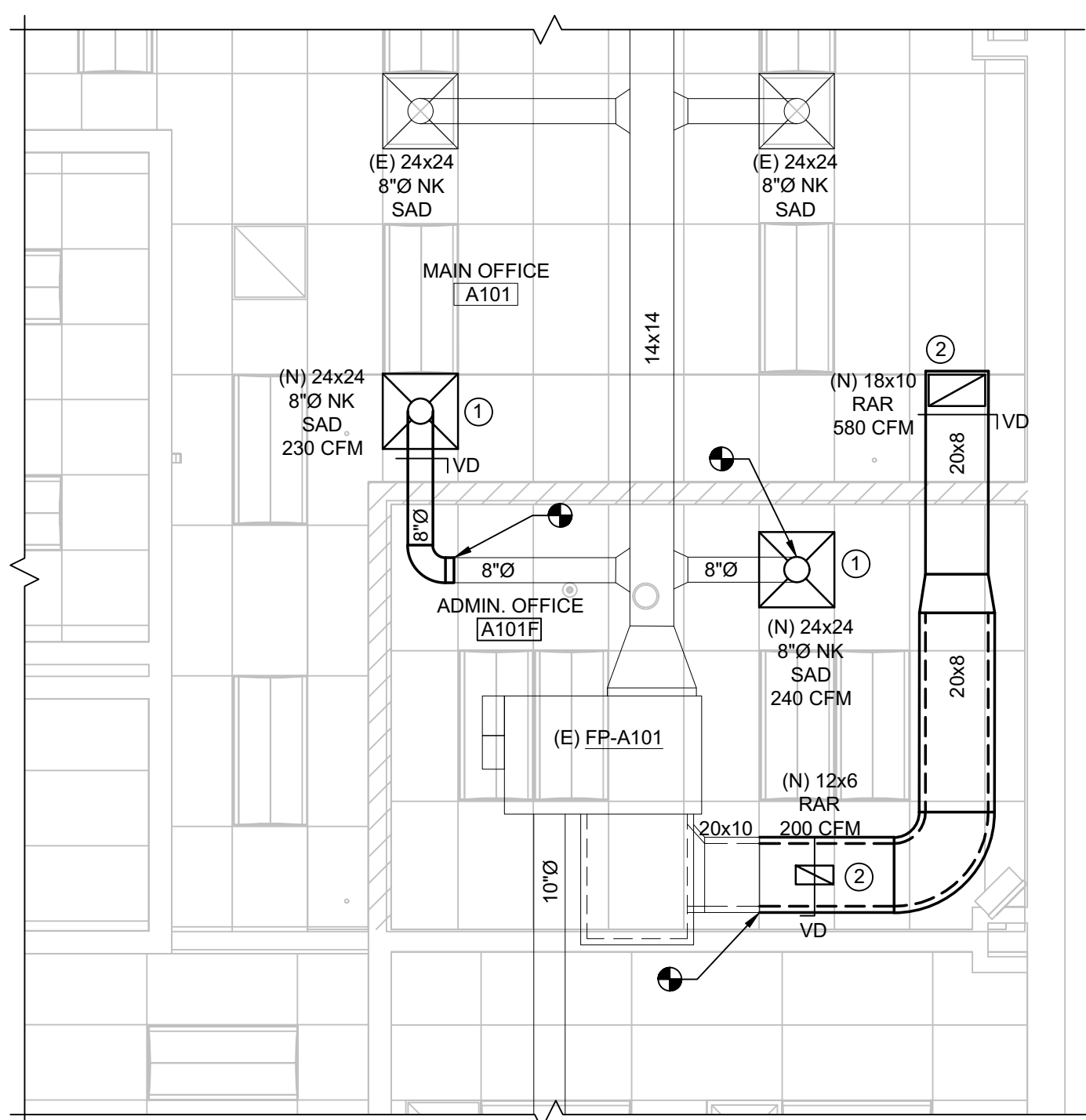
**M1.01**



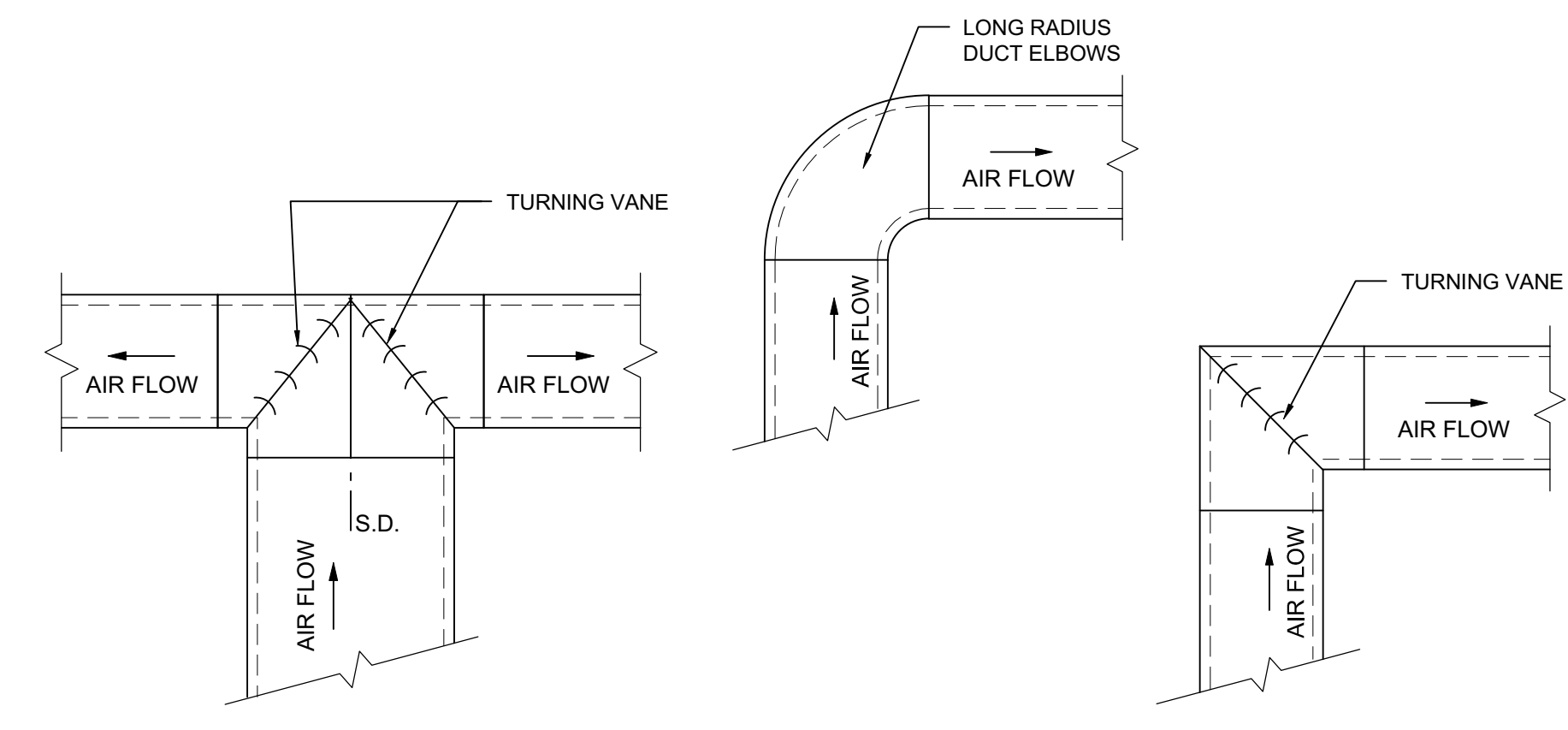


**1 SECOND FLOOR READING AREA RENOVATIONS**  
1/4" = 1'-0" PROPOSED PLAN

VENTILATION INDEX									
ROOM NAME	UNIT SERVED	FLOOR AREA (Sq Ft)	MAX OCCUPANTS	REQUIRED OA CFM/SqFt	REQUIRED OA for SPACE	REQUIRED OA per PERSON	OA For OCCUPANTS	MIN OA REQUIRED	DESIGN OA (CFM)
ADMIN. OFFICE 101F	FP-A101	190	1	0.06	11	5	5	16	41
CORRIDOR A201F	RTU-9	175	-	0.06	11	-	-	11	66
ADMINISTRATION A201D	RTU-9	170	1	0.06	10	5	5	15	66
ASSISTANT PRINCIPAL A201E	RTU-9	250	2	0.06	15	5	10	25	66
CONFERENCE ROOM A201C	RTU-9	210	6	0.06	13	5	30	43	55

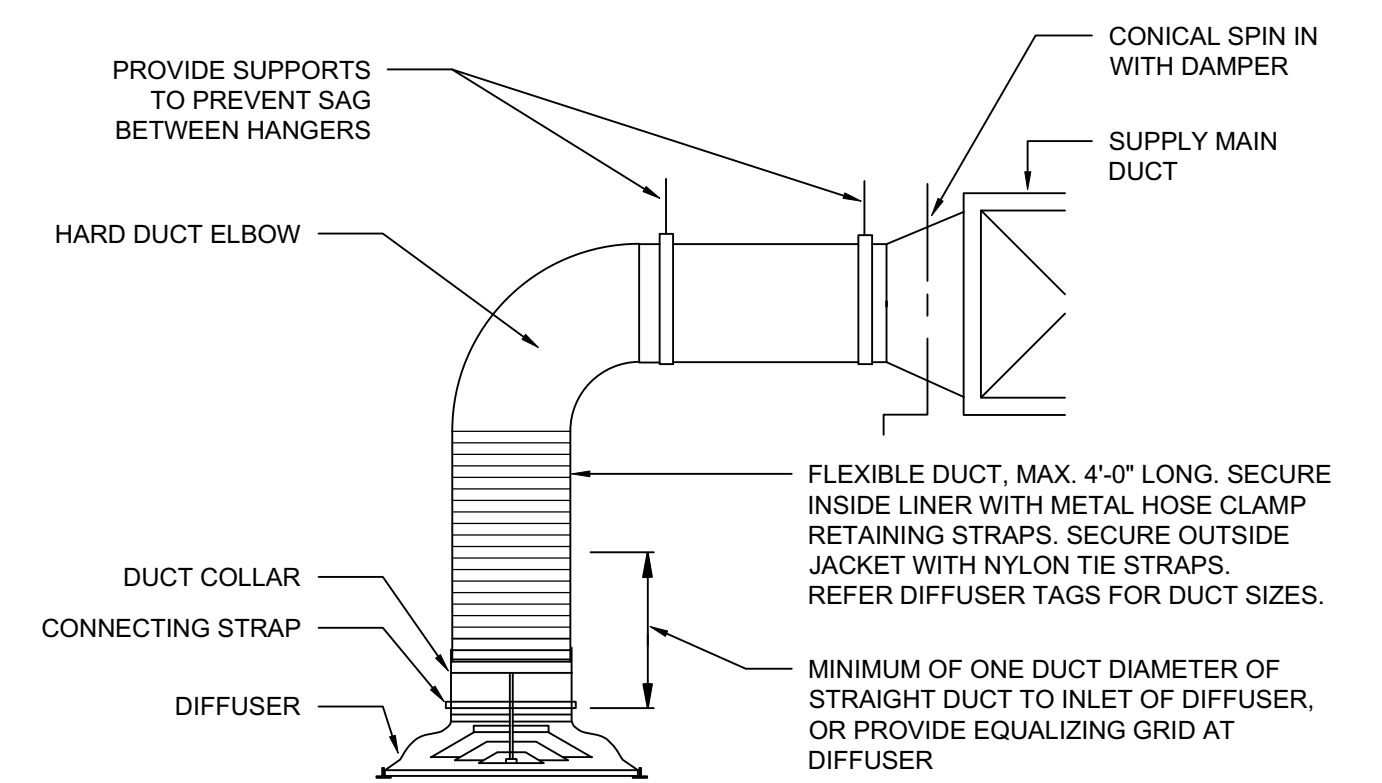


**2 FIRST FLOOR MAIN OFFICE RENOVATIONS**  
1/4" = 1'-0" PROPOSED PLAN



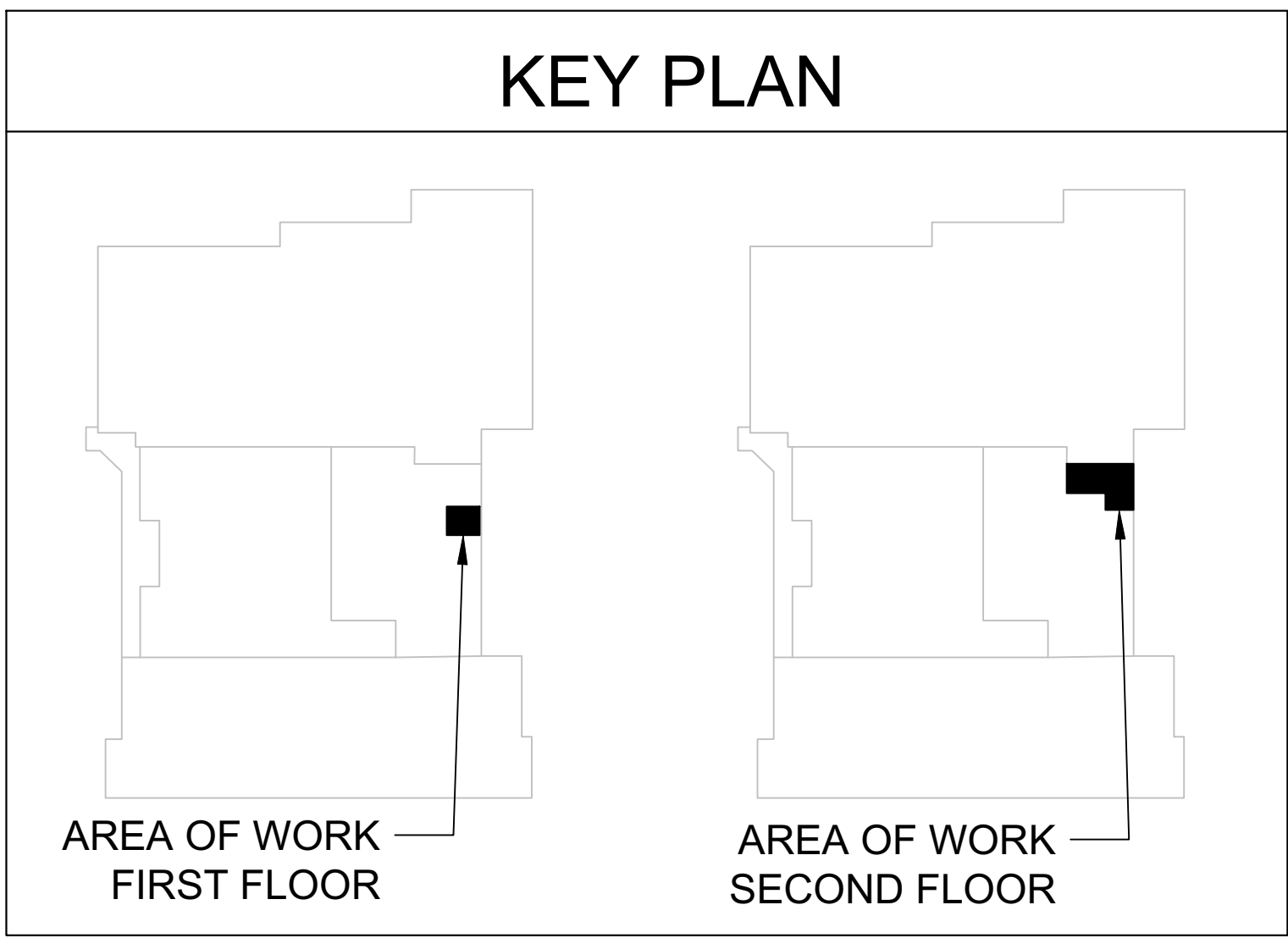
**4 DUCT TURN DETAIL**  
N.T.S.

**5 DUCT / DIFFUSER TAKE-OFF DETAIL**  
N.T.S.



**3 DIFFUSER FLEXIBLE DUCT CONNECTION**  
N.T.S.

- PROPOSED KEYNOTES**
- INSTALL NEW SAD COMPLETE WITH DUCTWORK ABOVE CEILING AS SHOWN ON THE DRAWINGS. SIZE IS INDICATED ON THE DRAWINGS. COORDINATE WITH PROPOSED REFLECTED CEILING PLAN.
  - INSTALL NEW RAR COMPLETE WITH DUCTWORK ABOVE CEILING AS SHOWN ON THE DRAWINGS. SIZE IS INDICATED ON THE DRAWINGS. COORDINATE WITH PROPOSED REFLECTED CEILING PLAN.
  - INSTALL NEW TGI/TGO COMPLETE WITH DUCTWORK ABOVE CEILING AS SHOWN ON DRAWINGS. SIZE INDICATED ON THE DRAWINGS. COORDINATE WITH PROPOSED REFLECTED CEILING PLAN.
  - REBALANCE AIR TO QUANTITIES INDICATED.



**KEY PLAN**  
AREA OF WORK FIRST FLOOR  
AREA OF WORK SECOND FLOOR

NJ Certificate of Authorization  
 Eng'r. No. 24047937500  
 Arch. No. 21AC00012400  
 Date 09/20/23  
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**M2.01**

Devices

Table with columns SYMBOL and DESCRIPTION. Symbols include simple and duplex receptacles, emergency duplex receptacles, floor receptacles, combination receptacles, and overhead cord receptacles.

Table with columns ABBR. and DEFINITION. Abbreviations include Counter Height, Ceiling Mounted, Emergency Power Off, Ground Fault Current Interrupter Rated, Horizontal Mount, Isolated Ground, In Use Cover, NEMA Rating, Split Controlled, Television Box, USB Charging Ports, and Weatherproof.

Distribution

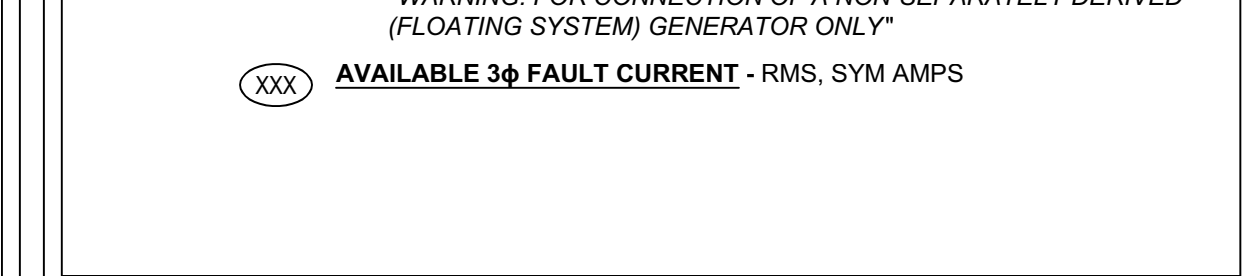
Table with columns SYMBOL and DESCRIPTION. Symbols include surface mounted panelboards (BPLA1, BPLA2, BPLA3), surface mounted panelboards (BPFA1, BPFA2, BPFA3), pad mounted switchboards, transformers (T-1), automatic transfer switches (ATS-1), uninterruptible power supplies (UPS-A), and enclosures (ECS).

Circuitry

Table with columns SYMBOL and DESCRIPTION. Symbols include homerun conductors and conductor indicators.

One-Line Riser Diagram

Table with columns SYMBOL and DESCRIPTION. Symbols include circuit breakers, fused disconnect switches, disconnect switches, transformers, equipment bus & rating data, electronic metering devices, electronic trip devices, fused disconnect switches, earth ground connections, frame/chassis ground connections, panelboards, generators, motors, automatic transfer switches, surge protection devices, utility meters, enclosures, troughs, and generator docking stations.

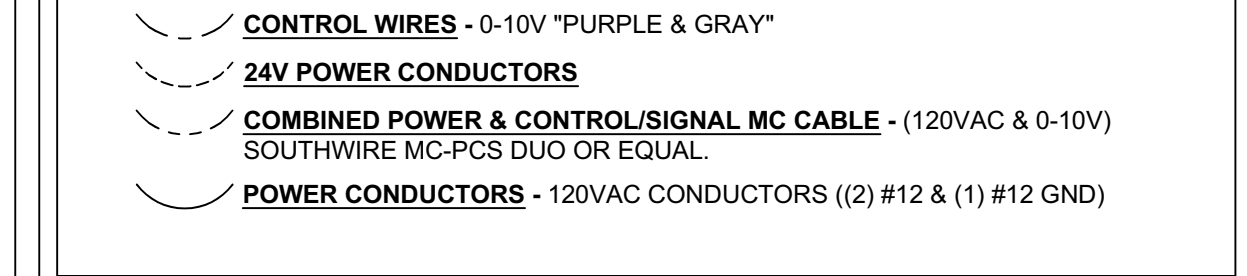


Equipment Naming Convention

Table with columns SYMBOL and DESCRIPTION. Symbols include subfeed panels, sequences of panels, building floors, building locations, voltages, panel type designations, emergency standby system designations, and examples of naming conventions.

Lighting

Table with columns SYMBOL and DESCRIPTION. Symbols include emergency lighting, recessed mounted ceiling luminaires, wall mounted luminaires, wall & ceiling mounted single faced exit signs, wall & ceiling mounted double faced exit signs, dual head emergency lights, wall mounted combination exit/sign/ward emergency lights, single head pole mounted luminaires, double head pole mounted luminaires, switches, ceiling mounted occupancy sensors, ceiling mounted OCC sensors with integral daylight sensors, wall mounted OCC sensors, outdoor photocells, power relay packs, control wires, 24V power conductors, combined power & control/signal MC cable, and power conductors.



Lighting (continued)

Table with columns SYMBOL and DESCRIPTION. Symbols include smoke detectors, beam detectors, single station smoke detectors, duct smoke detectors, combination smoke detectors/heat detectors, heat detectors, manual pull stations, carbon monoxide detectors, notification appliances, and interface devices.

Fire Alarm

Table with columns SYMBOL and DESCRIPTION. Symbols include fire alarm control panels, fire alarm annunciators, microphones, amplifiers, notification circuit power boosters, remote test stations, initiating devices, and notification appliances.

Table with columns SYMBOL and DESCRIPTION. Symbols include addressable input monitors and addressable output monitors.

Miscellaneous Devices

Table with columns SYMBOL and DESCRIPTION. Symbols include magnetic door holders, security devices, speakers, and general notes regarding device installation and naming.

Low Voltage/Communication/Data

Table with columns SYMBOL and DESCRIPTION. Symbols include telephone outlets, data outlets, flush floor boxes, flush wall boxes, and counter heights.

Abbreviations

Table listing various abbreviations used in the drawings, such as AT (ampere), AC (armored cable), AMP (ampere), ABV (above), AF (amp frame), AFC (above finished ceiling), AFF (above finished floor), AIC (ampere interrupting capacity), AL (aluminum), ALT (alternate), AM (ammeter), ANNUN (annunciator), ANT (antenna), ARCH (architect), AS (amper switch), AT (amp trip), ATC (automatic temperature control), ATS (automatic transfer switch), AUX (auxiliary), BD (bus duct), BIL (basic impulse level), BKBD (backboard), BKR (breaker), C (conduit), COT (conduit cabinet), CAB (cabinet), CB (circuit breaker), CBL (cable), CC (case/work), CON (contractor), CKT (circuit), CLG (ceiling), CNBD (could not be determined), CONN (connection), CONST (construction), CONT (continuous), CONTR (contractor), CPT (control power transformer), CT (current transformer), CU (copper), DEMO (demolition), DC (direct current), DIA (diameter), UNFUSED (unfused), DISC (disconnect), DIST (distribution), DWG (drawing), DP (distribution panel), E (emergency), EA (each), EC (electrical), EOP (equipment ground), ELEV (elevator), EMT (electrical metallic tubing), ENCL (enclosure), ENCL (electrically operated), ETR (existing to remain), ER (existing relocated), EQIP (equipment), EWC (electric water cooler), EX (existing to remove), F (fused), FA (fire alarm), FBO (furnished by owner), FEED (feeder), FHC (fire hose cabinet), FIL (film illuminator), FLOR (floor), FLUR (fluorescent), FS (flow switch), FUT (future), EGC (equipment ground conductor), GA (gauge), GC (general contractor), GFI (ground fault interrupter), GPF (ground fault protection), GFSC (ground fault sensing relay), GND (ground), GSC (system circuit ground conductor), HID (high intensity discharge), PWR (power), HOA (hand-off-automatic), HORIZ (horizontal), HP (horsepower), HT (height), HV (high voltage), HVAC (heating, ventilating, air conditioning), ID (inside dimension), ILL (illumination), IMC (intermediate metal conduit), INV (invert), JB (junction box), JUNC (junction), KVA (kilovolt-ampere), KW (kilowatt), KWH (kilowatt-hour), LA (lightning arrester), LCP (local control panel), LIM (line isolation monitor), LU (lugs only), LS (limit switch), LT (light), LTG (lighting), LV (low voltage), M (main), MAX (maximum), MC (mechanical), MECH (mechanical), MFC (mechanical fault collector), MC (metal clad cable), MCB (main circuit breaker), MCC (motor control center), MCP (motor circuit protector), ME (modify existing), MFR (manufacturer), MIN (minimum), MO (mechanically), MLO (main lugs only), MTD (mounted), MTS (manual transfer switch), N (neutral), NC (normally closed), NIC (not in contract), NO (normally open), NTS (not to scale), ON (on center), OCB (oil circuit breaker), OCP (overcurrent protection), OS (outside dimension), P (pole), PB (pull box), PL (plumbing), PC (contractor), PF (power factor), PH (phase), PI (pilot light), PNL (panel), PRI (primary), PSL (pull station), PSI (pounds per square inch), PT (potential transformer), PWR (power), RCVR (receiver), RE (remove existing), REQ (required), SEC (secondary), SGL (single line diagram), SLV (sleeve), SPEC (specification), SS (substation), ST (standard), STD (standard), STR (starter), SW (switch), SWB (switchboard), SWG (switchgear), SYS (system), TEL (telephone), TEM (temperature), TERM (terminal), TV (television), TYP (typical), UL (undercounter), UNF (unfused), UL (underwriters' laboratory), UON (unless otherwise noted), UV (under voltage), V (volt), VMT (vertical), VOL (voltage), W (watt), WTR (weatherproof), X (existing), XFR (transfer), XMT (transmitter), XPD (explosionproof transponder).

Revisions

Table for recording revisions to the drawing, including revision number, description, and date.

Professional Engineer information for Thomas Wighard, P.E., License No. NJ-24269-901100. Includes contact information for LAN ASSOCIATES and the drawing title E0.01.

**Proposed Demolition Notes:**

- REFER TO SHEET E0.01 FOR ABBREVIATIONS, NOTES, & SYMBOL LIST.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT AND PERFORM ALL OPERATIONS NECESSARY FOR THE DEMOLITION OF ELECTRICAL WORK AS INDICATED ON THE DRAWINGS AND AS HEREIN SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO COMMENCING WORK.
- PLANS ARE GENERALLY DIAGRAMMATIC. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION AND REMOVAL OF ALL AFFECTED ELECTRICAL EQUIPMENT, SWITCHES, CONDUITS, WIRING, ASSOCIATED ELECTRICAL SUPPORTS, ETC. WITHIN THE DEMOLITION AREAS IDENTIFIED ON PLANS.
- ALL CIRCUITS ELIMINATED DURING DEMOLITION SHALL BE PROPERLY IDENTIFIED AND TAGGED AT JUNCTION BOX AND IDENTIFIED AS SPARE IN EXISTING ELECTRICAL PANEL.
- PROVIDE BLANK PLATES AT ALL OPEN BOXES WHERE DEVICES ARE REMOVED AND SURFACE IS NOT SCHEDULED TO BE PATCHED AND RE-FINISHED.

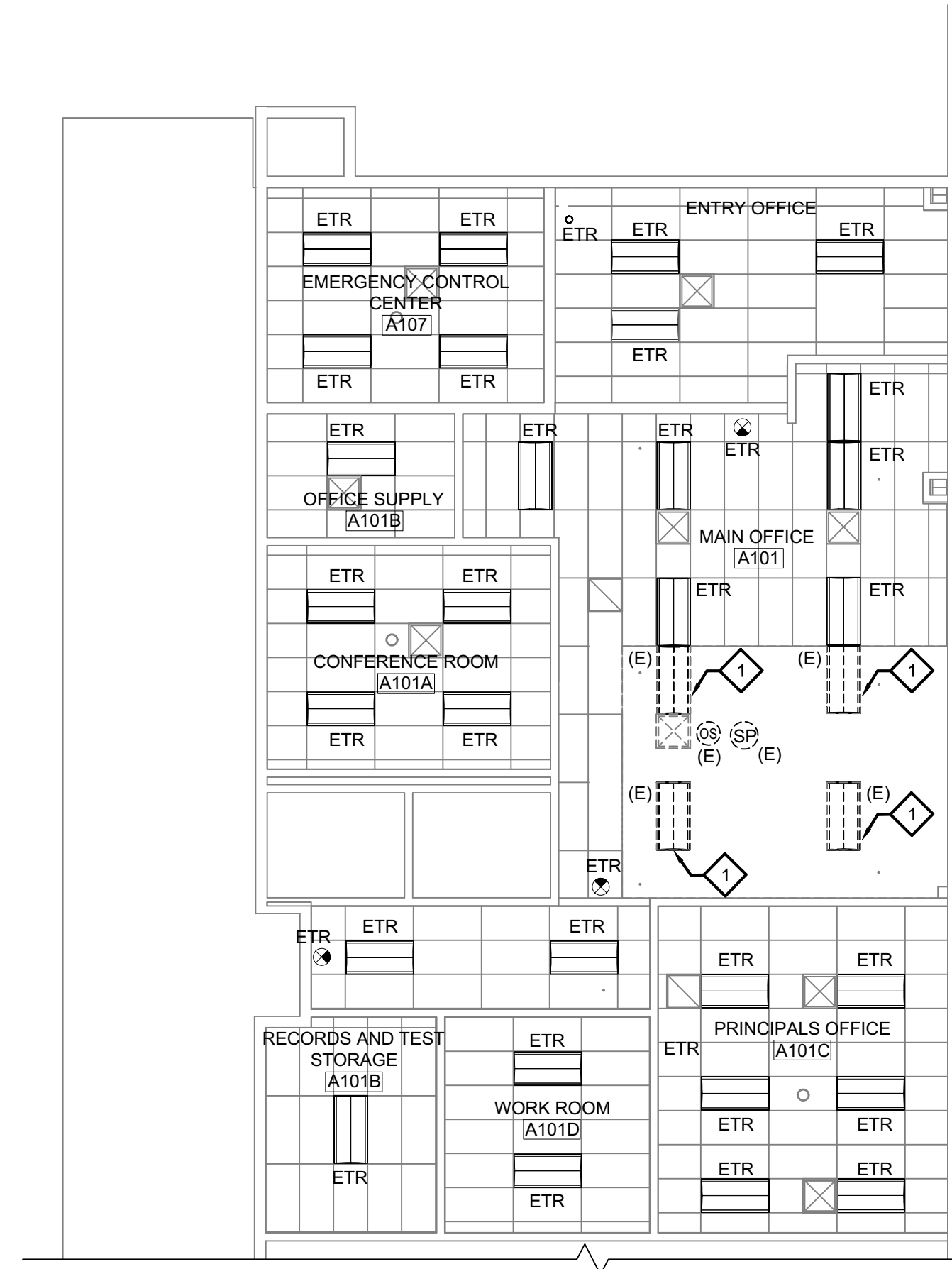
**Proposed Demolition Key Notes**

◆ SYMBOL INDICATES DEMO. KEY NOTE

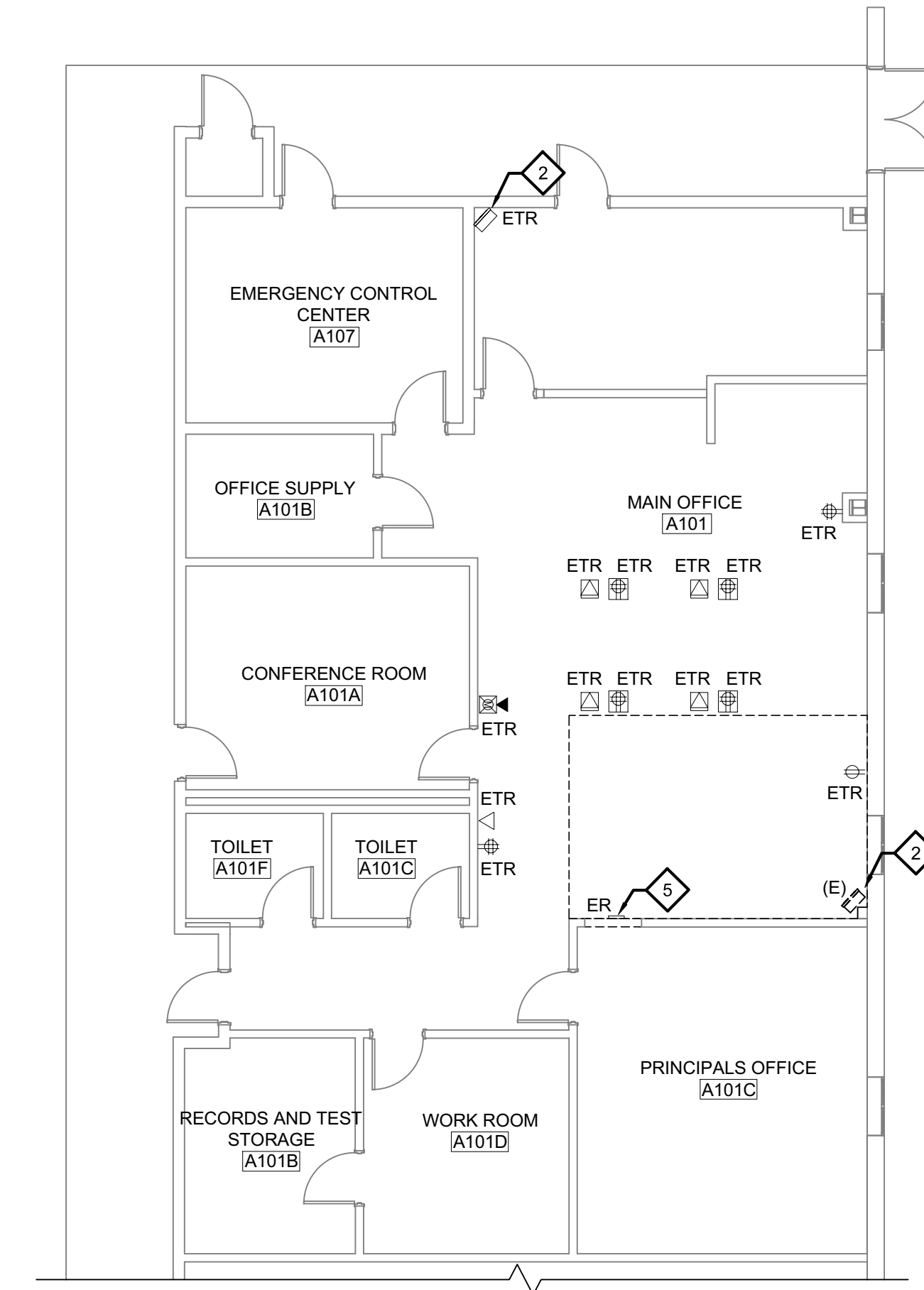
- DISCONNECT AND REMOVE THE WIRES FROM THE EXISTING LIGHTING FIXTURE. BRANCH CIRCUITS THAT REMAIN IN SERVICE SHALL BE SPICED IN ACCESSIBLE U.L. APPROVED JUNCTION BOXES SIZED PER NEC 2020. THE EXISTING LIGHTING FIXTURE SHALL BE REMOVED AND RETURNED TO THE OWNER. REFER TO PROPOSED KEY NOTE #1 ON SHEET E2.01.
- EXISTING SECURITY DEVICE.
- EXISTING STROBE.
- THE EXISTING EXIT SIGN SHALL BE REMOVED AND SAVED TO BE RE-INSTALLED WHEN THE NEW WORK IS COMPLETED.
- EXISTING FIRE ALARM SYSTEM ANNUCIATOR TO BE RELOCATED. REFER TO PROPOSED KEY NOTE #4 ON SHEET E2.01.
- DISCONNECT AND REMOVE THE OCCUPANCY SENSOR AND SPEAKER.

**Symbol List:**

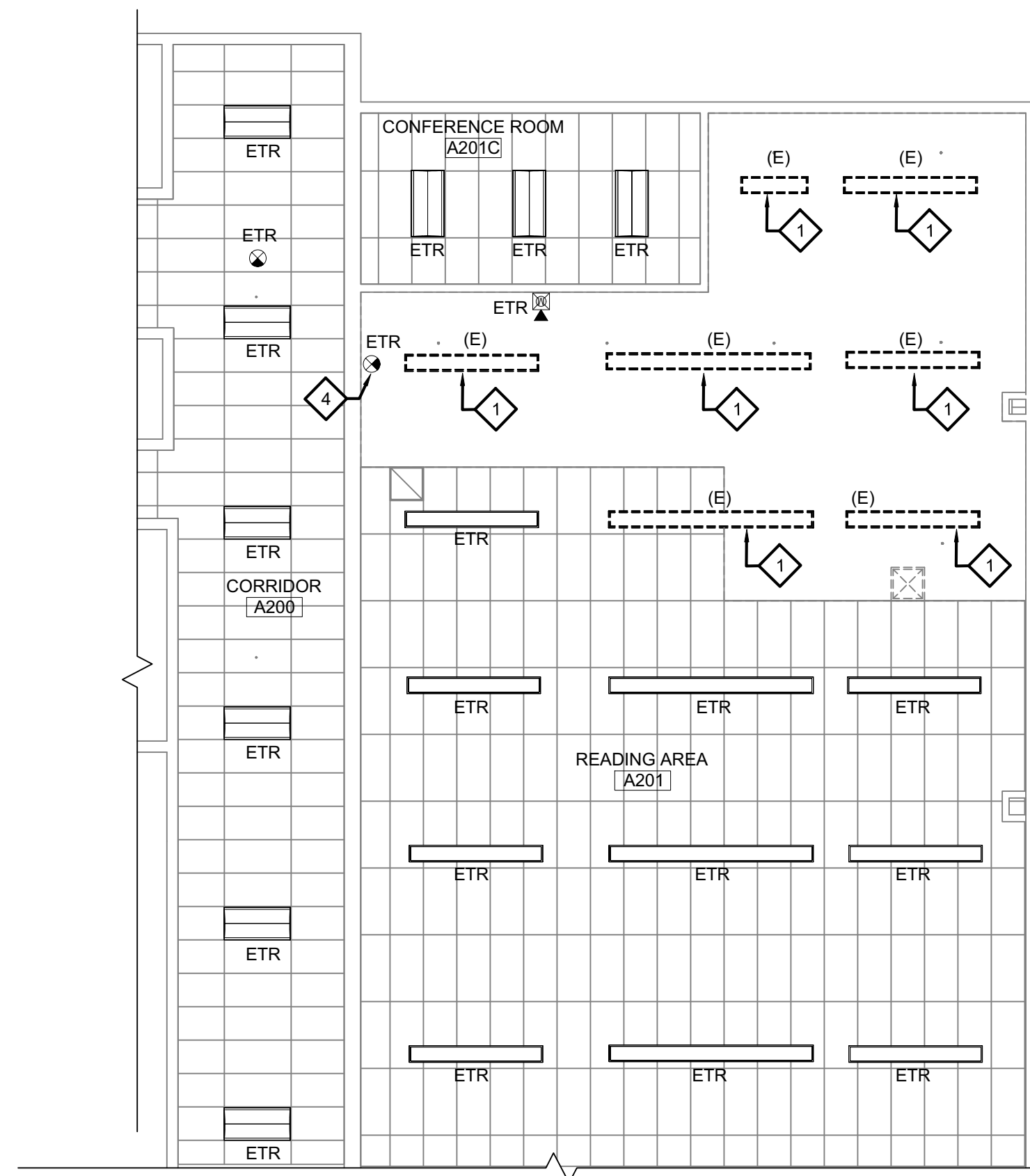
- ▭ 2' x 4' Recessed Lighting Fixture
- ▬ Linear Lighting Fixture



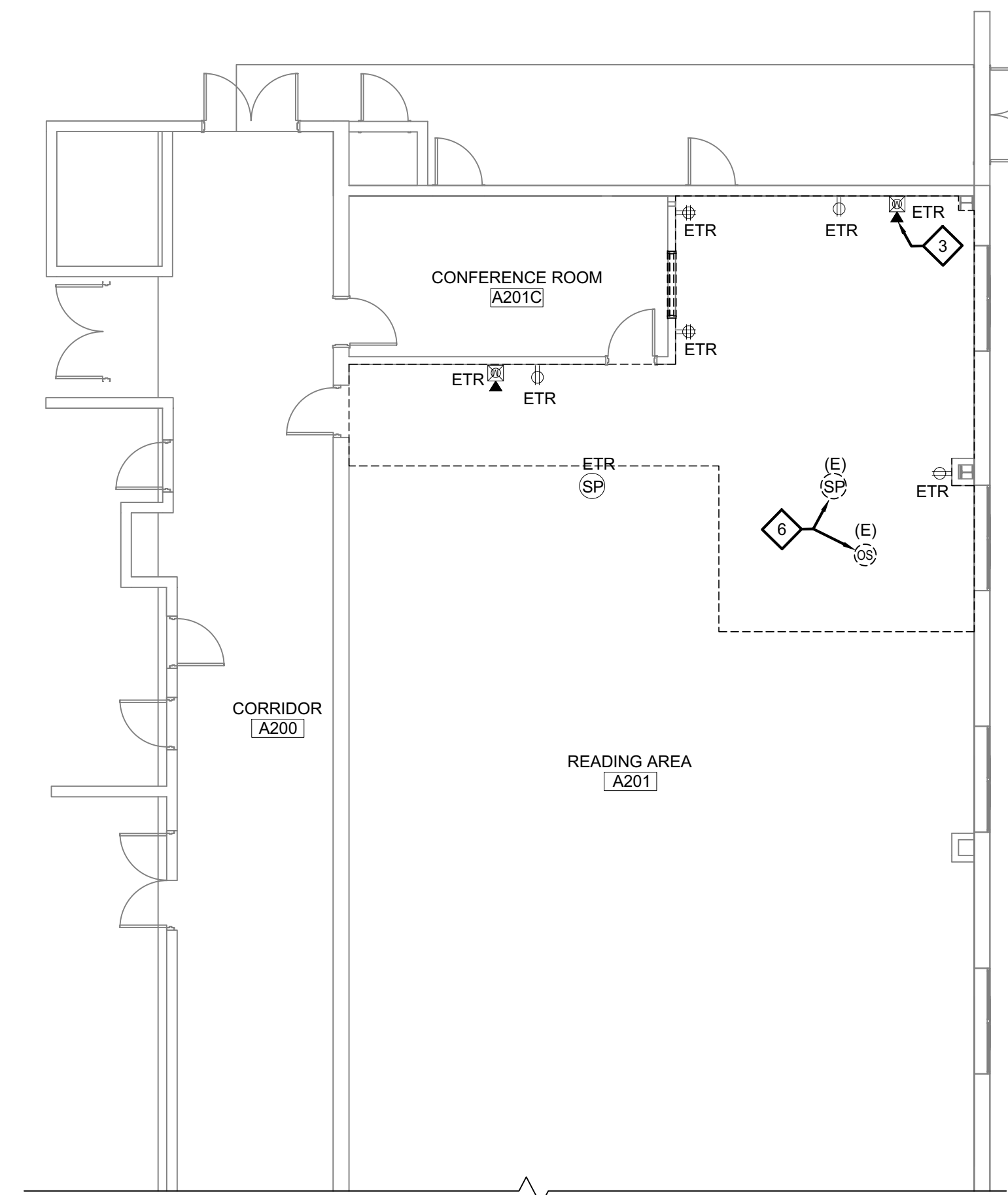
1 E2.01 1/8" = 1'-0"



2 E2.01 1/8" = 1'-0"



3 E2.01 1/8" = 1'-0"



4 E2.01 1/8" = 1'-0"

Eng. No.	24047937500
Arch. No.	21AC00012400
Date	09/20/23
Checked	TW
Drawn	HP

**THOMAS WIGHARD, P.E.**  
THE PROFESSIONAL ENGINEER  
 License No. NJ24GE04901100

**Revisions:**

**LAN ASSOCIATES**  
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**DEMOLITION ELECTRICAL PLANS**  
 GLOUCESTER CITY MIDDLE SCHOOL  
 OFFICE ALTERATION  
 500 MARKET ST.  
 GLOUCESTER CITY, NJ 08030

Job No. 20457.06  
 File No. 2054706E101

**E1.01**

**General Proposed Electrical Notes:**

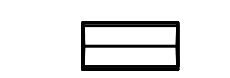
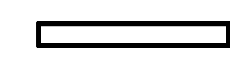
1. REFER TO SHEET E0.01 FOR ABBREVIATIONS, NOTES & SYMBOL LIST.
2. ALL CUTTING AND PATCHING REQUIRED FOR INSTALLING THE ELECTRICAL WORK SHALL BE FURNISHED BY THE CONTRACTOR. ALL CUTTING SHALL BE PATCHED AND FINISHED TO MATCH SURROUNDING AREA, SATISFACTORY TO OWNER.
3. FURNISH AND INSTALL WIRING, BOXES, CONDUITS, SUPPORT HANGERS, HARDWARE TO COMPLETE THE INSTALLATION PER NEC REQUIREMENTS.
4. CONTRACTOR SHALL FURNISH AND INSTALL PULL AND JUNCTION BOXES WHERE SHOWN ON DRAWINGS AND ANY ADDITIONAL BOXES AS MAY BE REQUIRED TO FACILITATE WIRE AND/OR CABLE TO PREVENT DAMAGE TO INSULATION.
5. PENETRATIONS OF ABOVE GRADE FLOOR SLABS, FIRE PARTITIONS AND FIRE WALLS SHALL BE FIRE STOPPED BY SEALING WITH MATERIAL APPROVED FOR THE APPLICATION.
6. MINIMUM REQUIREMENT FOR EQUIPMENT GROUNDING SHALL BE GOVERNED BY THE NEC. ALL GROUNDS, BONDING, ETC SHALL MEET THESE REQUIREMENTS, THE CONTRACTOR SHALL FURNISH AND INSTALL ANY AND ALL ITEMS NECESSARY TO MEET THESE REQUIREMENTS AT NO EXTRA COST, EVEN IF SUCH ITEMS ARE NOT DETAILED ON THE DRAWINGS.

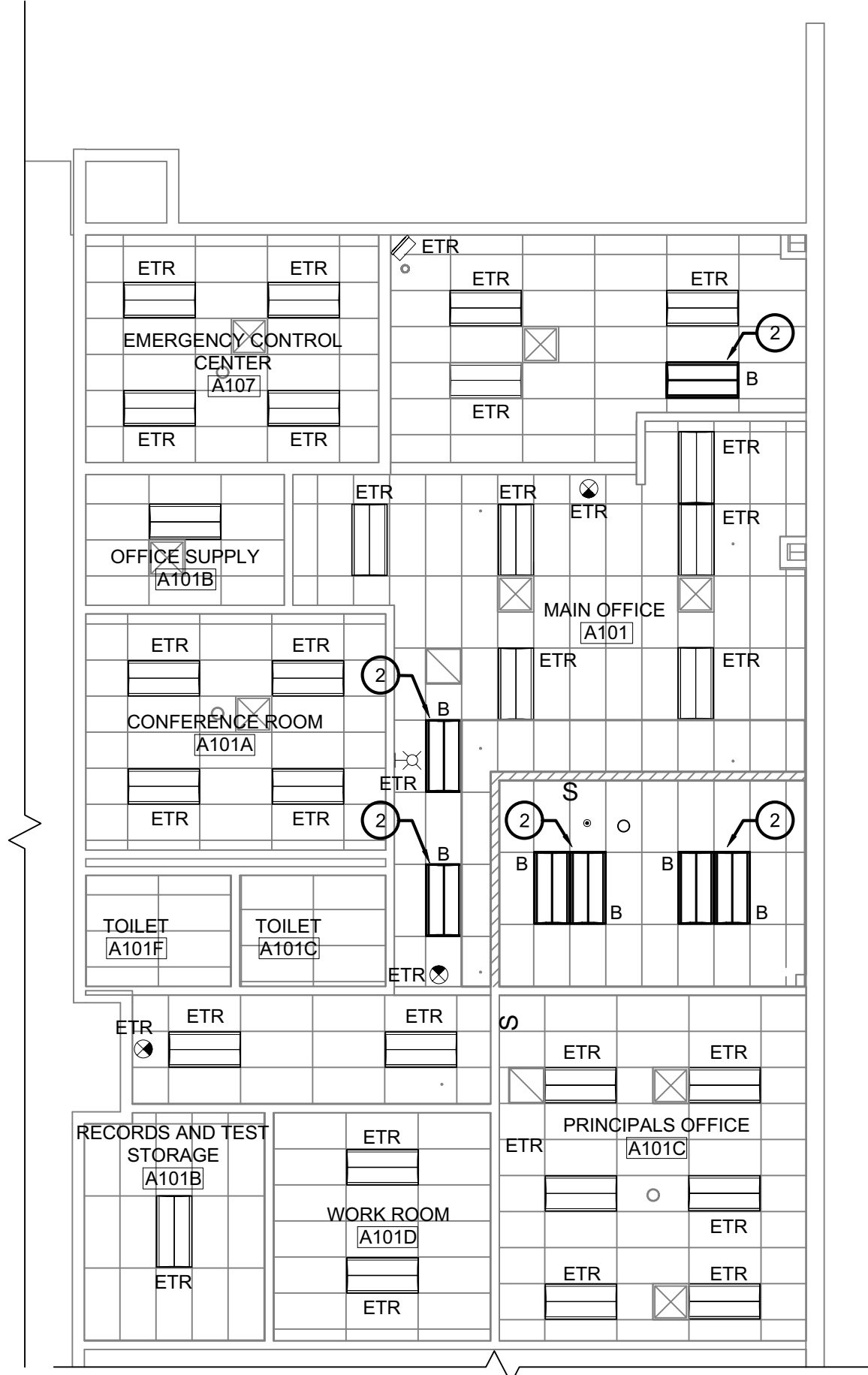
**Proposed Electrical Key Notes**

# SYMBOL INDICATES ELECT. KEY NOTE

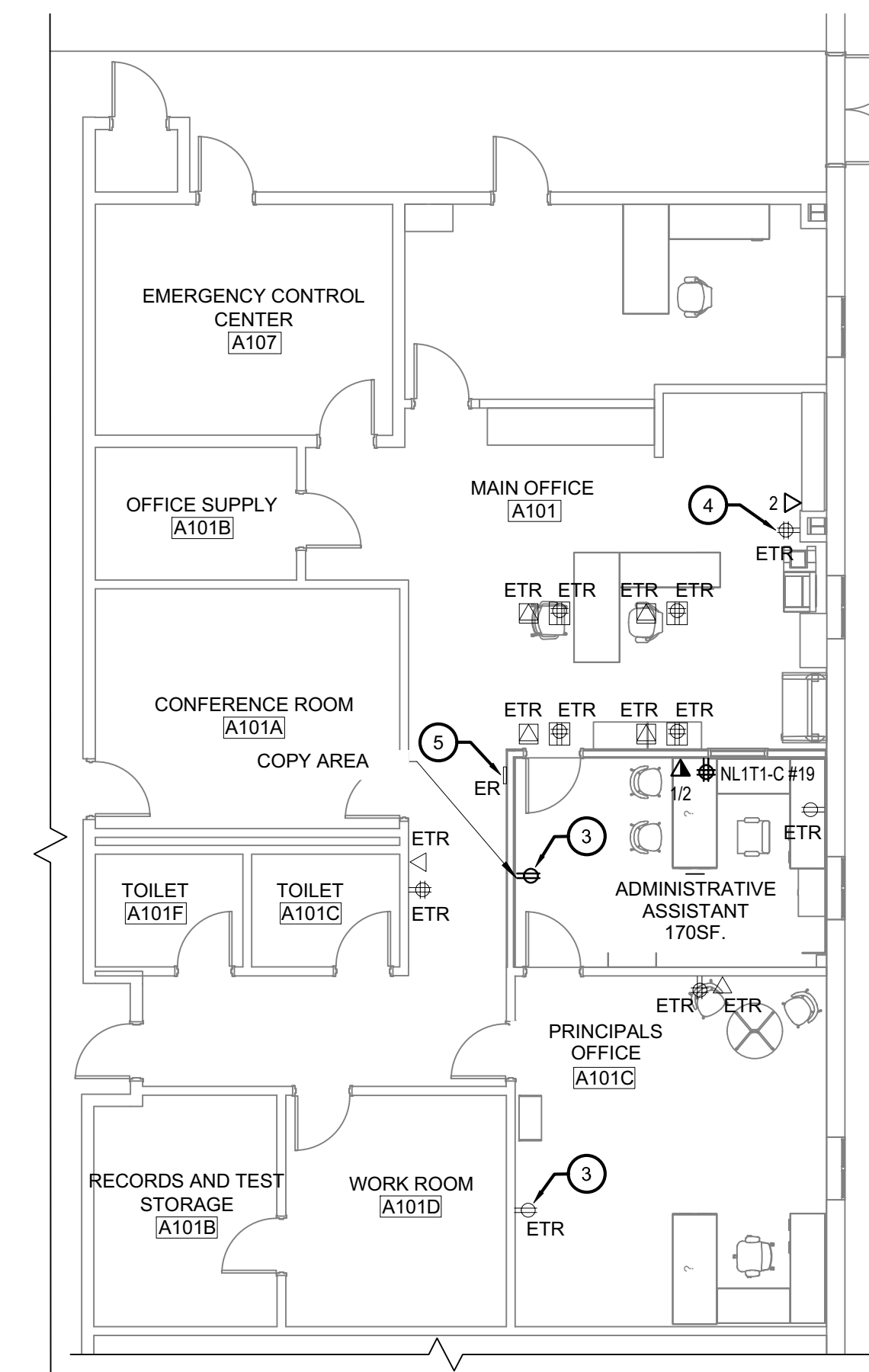
1. THE NEW LIGHTING FIXTURES TYPE 'A' SHALL MATCH THE EXISTING ONES, SAME ELECTRICAL CHARACTERISTICS, SAME DIMENSIONS. REUSE THE EXISTING WIRES THAT BECOME AVAILABLE AFTER DEMO, EXTEND IT IF NECESSARY TO FEED THE NEW LIGHTING FIXTURES. REFER TO DEMOLITION KEY NOTE #1 ON SHEET E1.01.
2. THE NEW LIGHTING FIXTURES TYPE 'B' SHALL MATCH THE EXISTING 2' x 4' FIXTURES, SAME ELECTRICAL CHARACTERISTICS. REUSE THE EXISTING WIRES THAT BECOME AVAILABLE AFTER DEMO, EXTEND IT IF NECESSARY TO FEED THE NEW LIGHTING FIXTURES. REFER TO DEMOLITION KEY NOTE #1 ON SHEET E1.01.
3. INTERCEPT THE EXISTING WIRES TO CONNECT THE NEW RECEPTACLE TO THE SAME CIRCUIT. PROVIDE NEW WIRES THAT MATCH THE ELECTRIC CHARACTERISTICS OF THE EXISTING.
4. EXISTING QUAD SHALL BE USED TO FEED THE COPIER.
5. RELOCATED EXISTING FIRE ALARM SYSTEM ANNUNCIATOR. EXTEND THE WIRES IF NECESSARY. REFER TO DEMOLITION KEY NOTE #5 ON SHEET E1.01.

**Symbol List:**

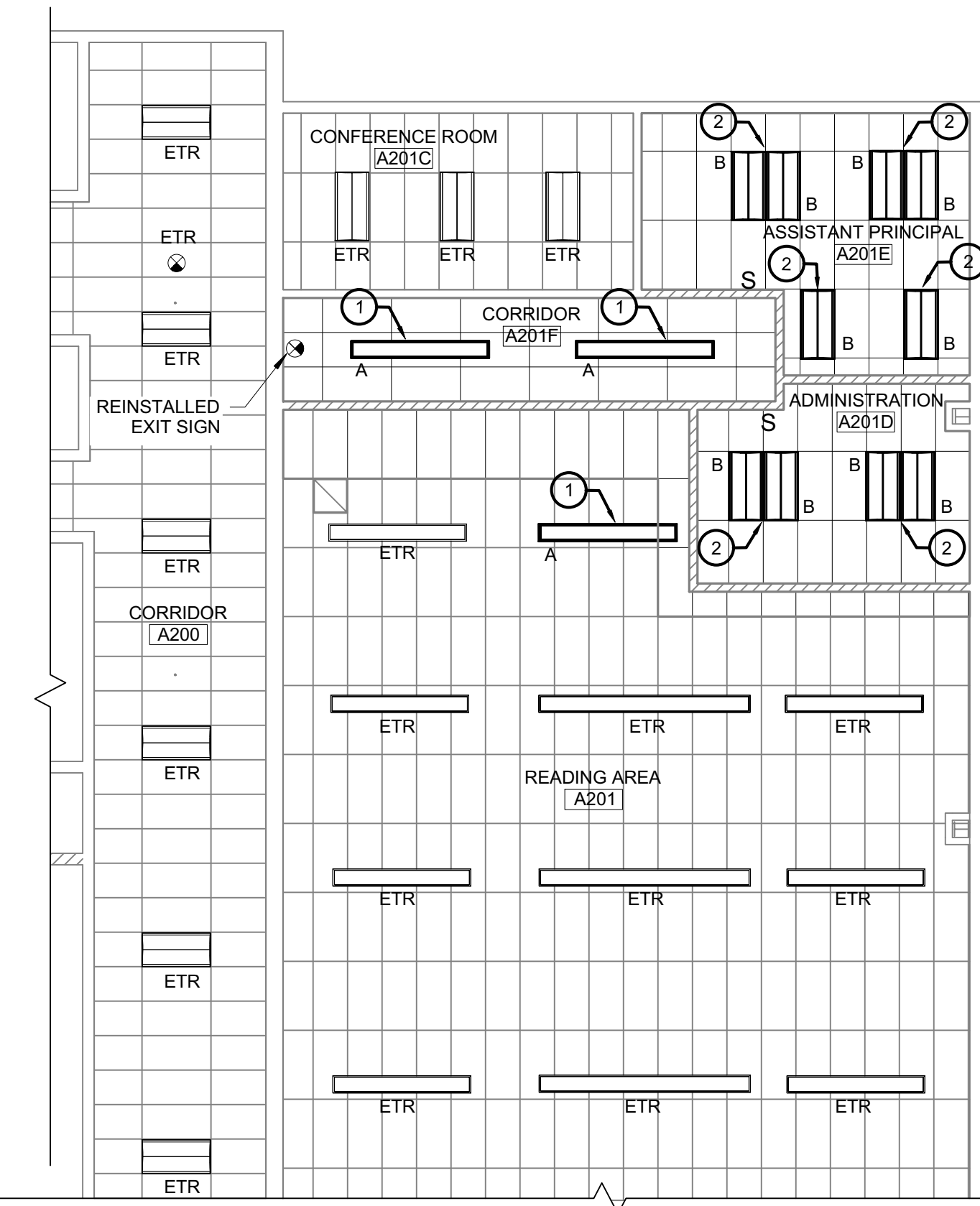
-  2' x 4' Recessed Lighting Fixture
-  Linear Lighting Fixture



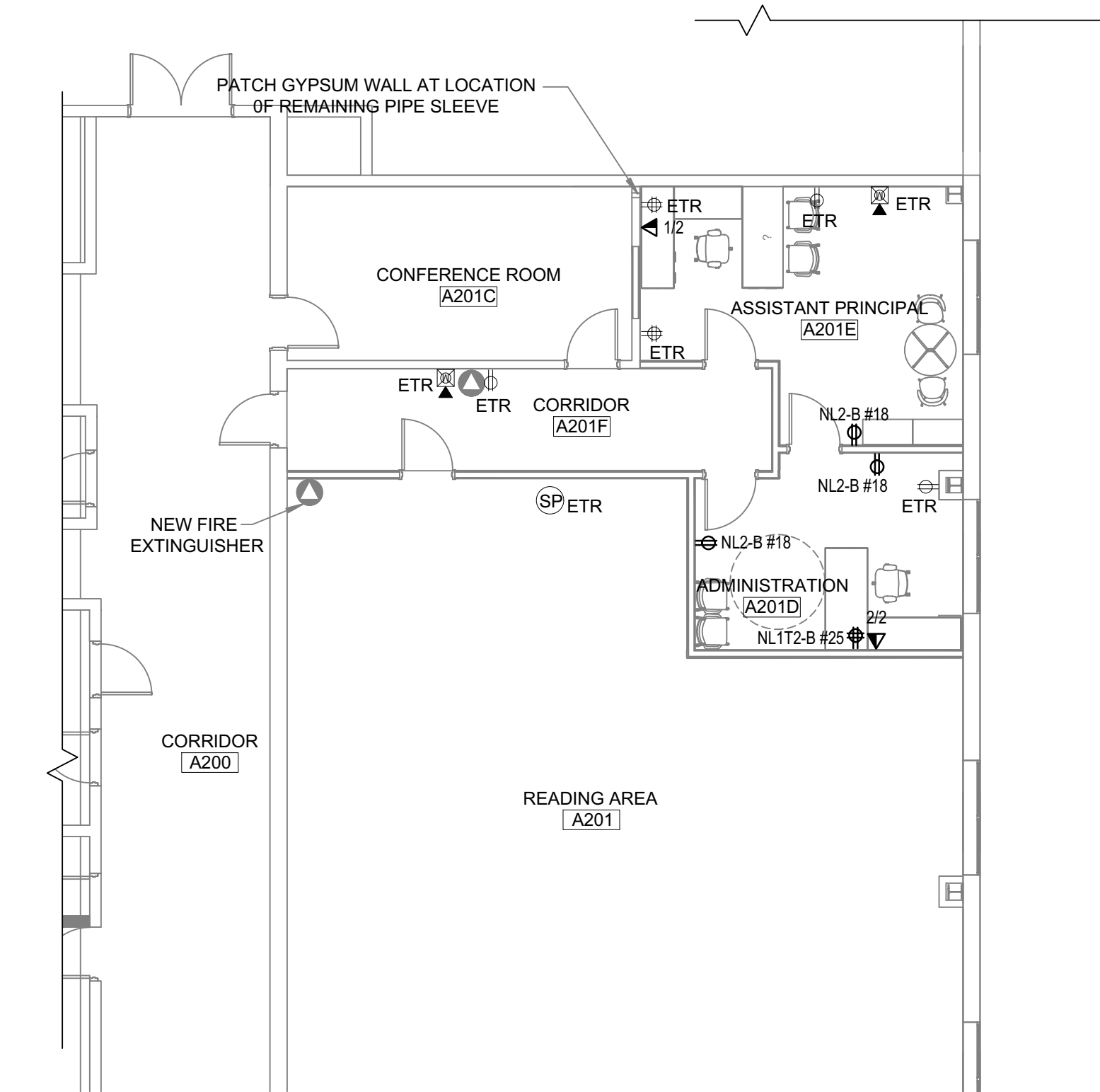
**1 1ST FLOOR PROPOSED MAIN OFFICE RCP**  
E2.01 1/8" = 1'-0"



**2 1ST FLOOR PROPOSED MAIN OFFICE PLAN**  
E2.01 1/8" = 1'-0"



**3 2ND FLOOR PROPOSED RCP**  
E2.01 1/8" = 1'-0"



**4 2ND FLOOR PROPOSED PLAN MEDIA ROOM**  
E2.01 1/8" = 1'-0"

Eng. No.	24047937500
Arch. No.	21AC00012400
Date	09/20/23
Checked	TW
Drawn	HP

**THOMAS WIGHARD, P.E.**  
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**Revisions:**

**LAN ASSOCIATES**  
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**PROPOSED ELECTRICAL PLANS**  
GLOUCESTER CITY MIDDLE SCHOOL  
OFFICE ALTERATION  
500 MARKET ST.  
GLOUCESTER CITY, NJ 08030

Job No. 20457.06  
File No. 2054706E201

**E2.01**

**FIRE PROTECTION NOTES**

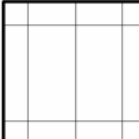


1. CONTRACTOR TO NOTE THAT THE LOCATIONS OF EXISTING SPRINKLER HEADS ARE APPROXIMATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATIONS IN FIELD.
2. NEW SPRINKLER LINES SHALL BE SCH 40, STANDARD WEIGHT PIPE, WITH SCREWED, OR "FIT" FITTINGS. BRANCH SIZES TO BE 1-1/4"
4. HANGERS TO BE PER NFPA #13, LATEST EDITION AS MODIFIED BY THE IBC, NJ EDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR SHUTDOWN OR ISOLATE SECTIONS OF SPRINKLER SYSTEM, AND DRAINING OF THE SYSTEM TO ACCOMMODATE THE MODIFICATION OF SPRINKLER PIPING. RESTORE THE SYSTEM AS REQUIRED
6. CONTRACTOR SHALL PERFORM A HYDROSTATIC TEST FOR A MINIMUM OF TWO (2) HOURS AT 200 PSI WITH NO LEAKAGE AND PROVIDE A CONTRACTORS MATERIAL AND TEST CERTIFICATE TO THE AUTHORITIES HAVING JURISDICTION.

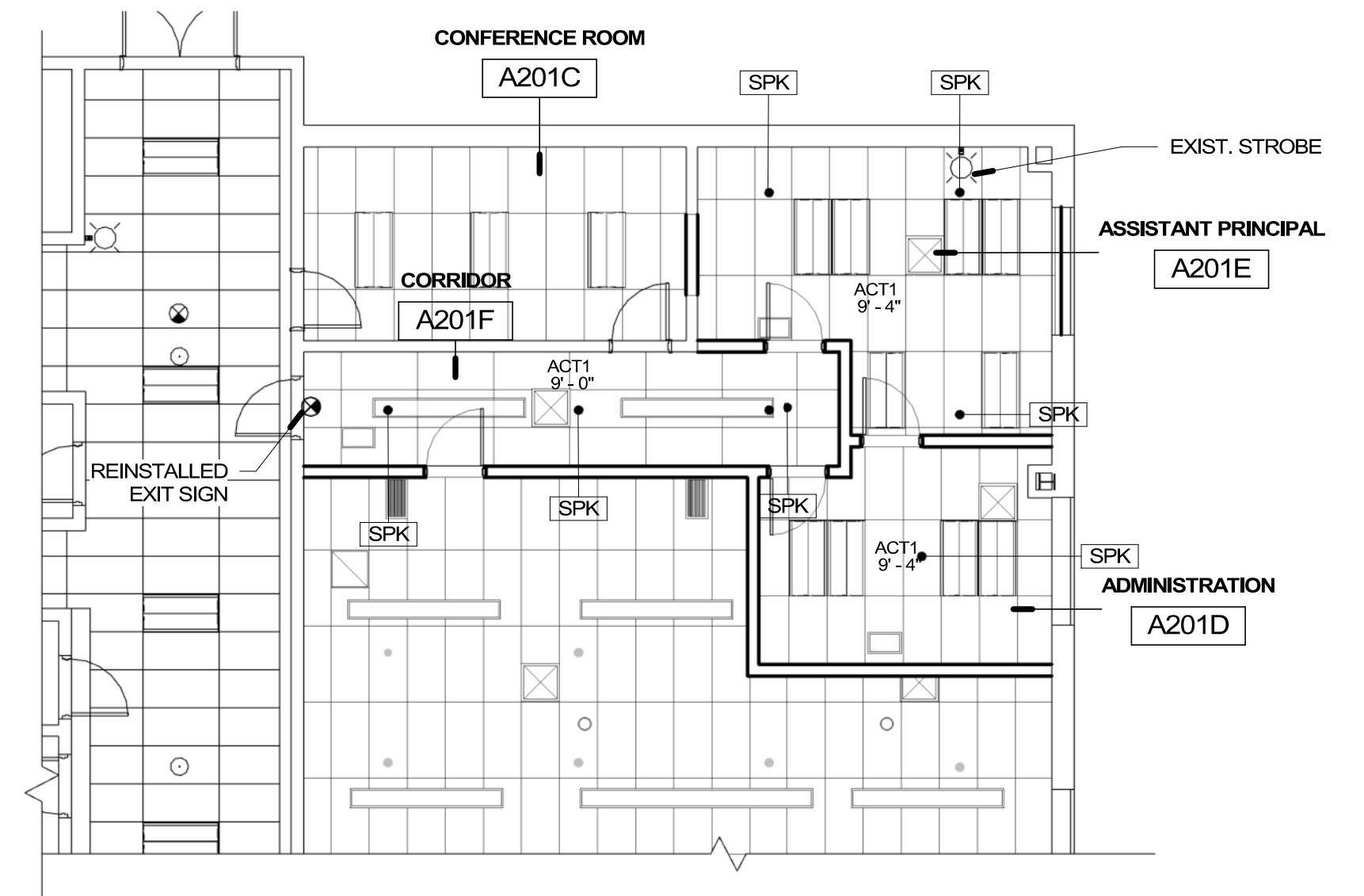
**FIRE PROTECTION CRITIA FROM EXISTING BUILDING DRAWINGS**

**FIRE PROTECTION PERFORMANCE REQUIREMENTS:**

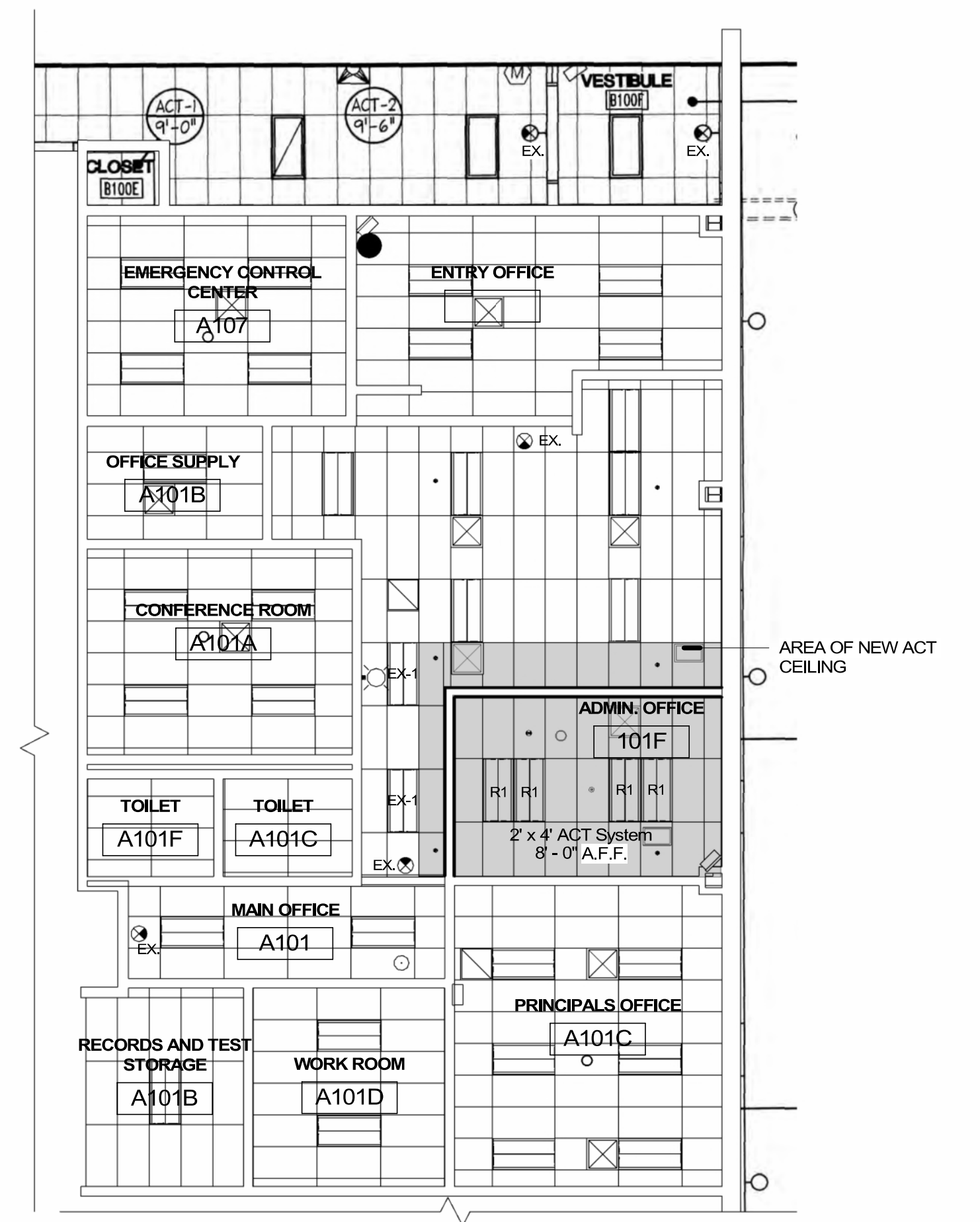
1. CONTRACTOR SHALL PROVIDE RECORD FLOW TEST PRIOR TO AND SHOP DRAWING DESIGN OR SUBMITTALS.
2. SPRINKLER SYSTEM DESIGN:
  - a. MARGIN OF SAFETY FOR AVAILABLE WATER FLOW AND PRESSURE: 20 PERCENT, INCLUDING LOSSES THROUGH WATER-SERVICE PIPING, VALVES, AND BACKFLOW PREVENTERS.
  - b. SPRINKLER OCCUPANCY HAZARD CLASSIFICATIONS:
    - 1) BUILDING SERVICE AREAS: ORDINARY HAZARD, GROUP 1.
    - 2) ELECTRICAL EQUIPMENT ROOMS: ORDINARY HAZARD, GROUP 1.
    - 3) GENERAL STORAGE AREAS: ORDINARY HAZARD, GROUP 1.
    - 4) LAUNDRIES: ORDINARY HAZARD, GROUP 1.
    - 5) LIBRARY STACK AREAS: ORDINARY HAZARD, GROUP 2.
    - 6) MECHANICAL EQUIPMENT ROOMS: ORDINARY HAZARD, GROUP 1.
    - 7) OFFICE AND PUBLIC AREAS: LIGHT HAZARD.
    - 8) FOOD SERVICE AREAS: ORDINARY HAZARD, GROUP 1.
3. MINIMUM DENSITY FOR AUTOMATIC-SPRINKLER PIPING DESIGN:
  - a. LIGHT-HAZARD OCCUPANCY: 0.10 GPM OVER 1500-SQ. FT. .
  - b. ORDINARY-HAZARD, GROUP 1 OCCUPANCY: 0.15 GPM OVER 1500-SQ. FT..
  - c. ORDINARY-HAZARD, GROUP 2 OCCUPANCY: 0.20 GPM OVER 1500-SQ. FT..
4. MAXIMUM PROTECTION AREA PER SPRINKLER ACCORDING TO UL LISTING AND NFPA 13.

**SYMBOL LEGEND**

- ACT-1 → CEILING TYPE
- 12'-0" → CEILING HEIGHT
-  SUSPENDED ACOUSTIC CEILING TILE  
2X4 ACT-1 EDUCATIONAL STANDARD OR APPROVED EQUAL
-  NEW K5.6 QR IT RECESS PENDENT SPRINKLER BAIS OF DESIGN RA1414
-  EXISTING RECESSED SPRINKLER PENDANT



**2 2ND FLOOR FIRE PROTECTION PLAN**  
FP.01 1/8" = 1'-0"



**1 1ST FLOOR FIRE PROTECTION PLAN**  
FP.01 1/8" = 1'-0"

Engr. No.	24GA2793790
Arch. No.	21AC00012400
Date	01/10/24
Checked	-
Drawn	CSC

**THOMAS WIGHARD, P.E.**  
Title: PROFESSIONAL ENGINEER License No. NJ242604901001 Exp.

**Revisions:**

Date	Description
01/10/24	ADDENDUM #1

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**FIRE PROTECTION PLAN**  
GLOUCESTER CITY MIDDLE SCHOOL OFFICE  
ALTERATION  
GLOUCESTER CITY BOE  
500 MARKET ST. GLOUCESTER CITY, NJ 08030

Job No. 20457.06  
File No.

**FP.01**