

Collier County Community Redevelopment Agency

IMMOKALEE CRA

The Place to Call Home!

IMMOKALEE LOCAL ADVISORY BOARD MEETING

March 17, 2021

9:00 A.M.



Immokalee
Florida in the 21st century

IMMOKALEE

CRA Collier County Community
Redevelopment Agency



2021

CRA Meetings held every third Wednesday of the month.

MSTU Meetings held every fourth Wednesday of the month.

January							February							March							April						
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31																											

May							June							July							August						
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September							October							November							December							
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- CRA Meeting
- MSTU Meeting
- Special Meeting
- Joint Meeting
- Cancelled

All meetings held at CareerSource SWFL located at 750 South 5th Street, Immokalee FL unless otherwise noted.

All meetings are held at the CareerSource SWFL Conference Room located at 750 South 5th Street, Immokalee, FL 34142 unless otherwise noted. CRA Meetings are held every third Wednesday of the month. MSTU Meetings are held every fourth Wednesday of the month.

◆ Hybrid Remote Public Meeting

Some of the Board Members and staff may be appearing virtually, with some Board Members and staff present in person. The public may attend either virtually or in person. Space will be limited.

CRA Board

Commissioner
William McDaniel, Jr.
Co-Chair

Commissioner
Rick LoCastro

Commissioner
Burt L. Saunders

Commissioner
Penny Taylor

Commissioner
Andy Solis, Esq

CRA Advisory Board

Frank Nappo
Chair

Anne Goodnight
Vice-Chair

Mike Facundo
Andrea Halman
Mark Lemke
Francisco Leon
Estil Null
Edward "Ski" Olesky
Yvar Pierre

**MSTU Advisory
Committee**

Bernardo Barnhart
Chair

Andrea Halman
Vice- Chair

Norma Garcia
Christina Guerrero
Peter Johnson
Cherryle Thomas
David Turrubiarz Jr.

CRA Staff

Debrah Forester
Director

Christie Betancourt
Operations Manager

Yvonne Blair
Project Manager

Monica Acosta
Administrative
Assistant

**Meeting of the Community Redevelopment Agency Immokalee Local Redevelopment
Advisory Board.**

AGENDA

**Hybrid Remote Public Meeting
(*Please see details below)**

Immokalee Community Redevelopment Agency
750 South 5th Street
CareerSource SWFL Conference Room 1
Immokalee, FL 34142
239.867.0025

March 17, 2021 - 9:00 A.M.

- A. Call to Order.
- B. Prayer and Pledge of Allegiance.
- C. Roll Call and Announcement of a Quorum.
- D. Voting Privileges for Board Members via Zoom. (Action Item)
- CRA Board Action
- E. Approval of Agenda. (Action Item)
- CRA Board Action
- F. Approval of Consent Agenda. (Action Items)
 1. Minutes
 - i. Budget and Work Plan Workshop for February 17, 2021 (Enclosure 1)
 - ii. Joint CRA & MSTU Committee Meeting for February 24, 2021 (Enclosure 2)
 2. Budget Reports (Enclosure 3)
 3. Community Meetings (Enclosure 4)**- CRA Board Action**
- G. Announcements.
 1. Communications Folder
 2. Public Comment speaker slips
 3. Annual Workshop – April 6, 2021 @ 9:00 a.m. (Immokalee – 10 a.m.)
 4. Community Redevelopment Plan Update Surveys
- H. New Business.
 1. 2020 Annual Report (Enclosure 5)
- I. Old Business.
 1. Immokalee Local Redevelopment Advisory Board Bylaws (Enclosure 6)
 2. Immokalee Area Master Plan
 - i. IAMP Policies – LDC Amendments - Richard Henderlong, GMD
 - a. 6.1.3 Downtown Ped Amenities
 - b. 6.1.4 Central Business District (Enclosure 7a-7d)
- J. Staff Reports
 1. Operations Manager Report (Enclosure 8)
 2. Project Manager Report (Enclosure 9)

- K. Other Agency.
 - 1. Code Enforcement updates (Enclosure 10)
 - 2. FDOT updates
 - 3. Collier EDO/Immokalee Culinary Accelerator
- L. Citizen Comments.
- M. Next Meeting Date. CRA will meet on April 21, 2021 at 9:00 at CareerSource SWFL.
- N. Adjournment.

*** Hybrid Remote Public Meeting**

Some Advisory Board members and staff will be appearing virtually, with some present in person. The public may attend wither virtually or in person.

If you would like to provide public comment, participate, and/or attend the meeting, please contact Monica Acosta via email at Monica.Acosta@colliercountyfl.gov by March 15, 2021 at 4:00 P.M. You may attend the meeting in person on March 17, 2021 at the CareerSource SWFL Conference Room, 750 South 5th Street, Immokalee, FL 34142. **Space will be limited.**

The public is reminded that the CDC and Department of Health recommend social distancing and avoiding public gatherings when possible.

All meetings will be publicly noticed in the W. Harmon Turner Building (Building F), posted at the Immokalee Public Library and provided to the County Public Information Department for distribution. Please contact Christie Betancourt at 239.867.0028 for additional information. In accordance with the American with Disabilities Act, persons needing assistance to participate in any of these proceedings should contact Christie Betancourt at least 48 hours before the meeting. The public should be advised that members of the CRA/MSTU Advisory Committee are also members of other Boards and Committees, including, but not limited to: the Immokalee Fire Commission. In this regard, matters coming before the Advisory Committee/Board may come before one or more of the referenced Board and Committees from time to time.

MINUTES

Budget and Work Plan Workshop Meeting of the Immokalee Community Redevelopment Agency Advisory Board and the Beautification MSTU Advisory Committee on February 17, 2021.

The Advisory board members, staff, and public appeared virtually and in person.

Hybrid Remote Public Meeting

Immokalee CRA Office

750 South 5th Street, Suite C

Immokalee, FL 34142

A. Call to Order.

The meeting was called to order by Dr. Frank Nappo, CRA Chair at 9:10 A.M.

B. Pledge of Allegiance and Prayer

Dr. Frank Nappo, CRA Chair, led the Pledge of Allegiance and Pastor Rick Heers opened with prayer.

C. Roll Call and Announcement of a Quorum.

Christie Betancourt opened roll call. A quorum was announced for the CRA board. No quorum for the MSTU committee.

CRA Advisory Board Members Present:

Dr. Frank Nappo, Patricia “Anne” Goodnight, Edward “Ski” Olesky, Yvar Pierre, Francisco “Frank” Leon, and Mark Lemke.

CRA Advisory Board Members Present via Zoom:

Andrea Halman

CRA Advisory Board Members Absent/Excused:

Michael “Mike” Facundo and Estil Null.

MSTU Advisory Committee Members Present:

Peter Johnson

MSTU Advisory Committee Members Present via Zoom:

Andrea Halman and Bernardo Barnhart

MSTU Advisory Committee Members Absent/Excused:

Cherryle Thomas and Norma Garcia

Others Present:

Pastor Richard Heers and Jodi Walborn

Staff: Debrah Forester, Christie Betancourt, Yvonne Blair, and Monica Acosta.

Other Present via Zoom:

Silvia Puente, Amy Howard, Dottie Cook, Mark Beland, Lupita Vazquez Reyes, Armando Yzaguirre, Trinity Scott, Michael Tisch, Mike Taylor, David Turrubiardez Jr., and William “Bill” McDaniel.

D. Approval of Agenda.

Staff presented agenda to the board for approval.

Action: *Mr. Ski Olesky made a motion to approve the agenda as presented. Ms. Anne Goodnight seconded the motion and it passed by unanimous vote. 6-0.*

E. Announcements.

1. Communications Folder

Staff reviewed the communications folder with the board and members of the public.

2. Public Comment speaker slips

CRA staff reiterated the public 3-minute speaker slip policy. The board will give more time if they feel it necessary.

F. New Business

1. Budget and Work Plan Presentation

Staff presented the Budget and Work Plan presentation. Included in the presentation were the 2020 priorities, the revenue for 2020/2021, operating expense for 2020/2021, MSTU operating expense for 2020/2021, CRA projects recommended for funding for 2020/2021, CRA projects recommended for funding for 2021/2022, MSTU projects recommended for funding for 2020/2021, MSTU projects recommended for funding for 2021/2022, joint CRA 7 MSTU projects recommended for funding 2021/2022, and the CRA & MSTU projects annual budget items.

****Presentation is attached to the minutes for the record.***

2. Project Status and Funding Priorities (Enclosure 1)

Ms. Christie Betancourt presented project status and funding priorities as shown on enclosure 1.

Dr. Frank Nappo had a concern with the bus shelter that is being put in on Roberts Avenue.

Staff will get the information from Public Transportation & Neighborhood Enhancements (PTNE) about the shelter in question.

Ms. Andrea Halman mentioned that at the Bicycle/Pedestrian Advisory Committee (BPAC) meeting the committee announced that they are looking for areas that are interested in bicycling and walking trail installation. The deadline for the request is July 20, 2021.

Commissioner William “Bill” McDaniel announced that the Immokalee Library and the Immokalee Sports Complex received close to 3 million dollars of CDBG post Irma money. that was awarded to Immokalee.

Ms. Debrah Forester mentioned the Redevelopment Plan and how vital it is to have public input, but also asked the boards to look at the enclosure to see if what is listed is still the priorities for Immokalee or if they have any other suggestions.

Staff also met with code enforcement about the demolitions and the properties left behind. It would be nice to see them redeveloped rather than just have someone buy the tax certificate and not develop the property.

Another item is FHERO, they have helped with monies for different studies that help with economic development in Immokalee, this year they will be helping with a commercial demand study and a site improvement plan for the Immokalee Airport.

The site improvement plan will help with any company interested in opening a business at the Airport and can be used as a recruitment tool to attract businesses to our area.

Mr. Bernardo Barnhart asked if we could entice people to redevelop those properties that have been cleared by demolition by waving the impact fees.

Ms. Debrah Forester commented that the impact fees could not be waived but an Impact Fee Payment program could be started to pay the impact fees for redevelopment on those properties.

Ms. Lupita Vasquez-Reyes is concerned about the speeding down Roberts Avenue. She was wondering what could be done about that, either speed bumps or lowering the speed limit in that area. There are parks and schools and the speeding are a real concern especially at night.

Ms. Debrah Forester commented that Roberts Avenue is part of the TIGER grant area. They will be making improvements with sidewalks and lighting, as well as the intersection improvements.

Ms. Andrea Halman commented that Lupita could actually call the police department to let them know that there are speeders in the area so that more patrolling can be done.

Ms. Lupita Vasquez-Reyes is more concerned about the infrastructure than just having more of a police presence in that area.

Sherriff Mike Taylor commented that the first thing they would do is put the speed sign up so that people actually know that they are speeding, then they could also add a “dummy” patrol car. They do try to do more than just send patrolling in the area, they give warnings before giving a ticket.

Mr. David Turrubiardez Jr. asked if it was possible to get some more shaded areas or trees at the Airport Park.

Ms. Christie Betancourt commented that the problem with the Airport Park is that there is only so much height that can be used because of the aviation in the area. Staff will try and find out what can be done.

Ms. Anne Goodnight commented that they should take into consideration that the DOT bypass that will be going through that area in the next five years.

Ms. Lupita Vasquez-Reyes would like to see more area or gallery space for students to showcase their art. She wondered if there were any initiatives to build or bring about space for the talent in Immokalee. She also wondered if areas that are “open spaces” due to the demolitions could be used for a community garden.

After much discussion board agreed with the priorities staff listed on Enclosure 1.

3. 2020/2021 Budget (Enclosure 2)

Staff presented the 2020/2021 budget as shown in enclosure 2.

G. Citizens Comments.

No Citizens Comments

H. Next Meeting Date.

Joint CRA MSTU will next meet on February 24, 2021 at 9:00 A.M. at CareerSource SWFL., Conference Room 1.

I. Adjournment.

Meeting Adjourned @ 11:02 A.M.

02.17.2021

Budget & Work Plan

Immokalee Community Redevelopment Area




February 17, 2021



1

2020 Priorities


- Complete Carver/5th Street Sidewalk Project
- Complete Design for First Street Corridor
- Coordinate with FDOT to complete Main Street – New Banners
- Develop Main Street Concept Plan for revitalizing Main Street Corridor
- Redevelopment Plan -update
- TIGER Grant Coordination - Intersection Improvements/Lighting
- Complete Welcome Signs
- Continue to coordinate and leverage Immokalee Funds with our agencies
- Revise Commercial Grant Program



2

Budget 2020-2021

Collier County Community Redevelopment Agency Immokalee



3

2020/2021 REVENUE

CRA	186/176	\$2,249,411.00
MSTU	162/111	\$1,680,557.80
Grant	715	<u>\$ 676,365.00</u>
Total		\$ 4,606,333.80

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2020/2021 CRA Operating Expenses - \$ 317,800

Fund 186

634207 IT CAP ALLOCA	2,400.00	647110 PRINTING AND	2,000.00
634210 IT OFFICE AJUT	11,200.00	648160 OTHER ADS	200.00
634212 IT MS OFFICE	0.00	648170 MARKETING AND	5,000.00
634970 INDIRECT COST	49,400.00	649030 CLERKS RECORD	100.00
634980 INTERDEPT PAY	20,000.00	649100 LEGAL ADVERTI	1,000.00
634999 OTHER CONTRAC	100,000.00	649990 OTHER MISCELL	300.00
640200 MILEAGE REIMB	500.00	651110 OFFICE SUPPLI	3,000.00
640300 TRAVEL PROF D	5,500.00	651210 COPYING CHARG	3,000.00
641230 TELEPHONE ACQ	600.00	651910 MINOR OFFICE	200.00
641400 TELEPHONE DIR	6,000.00	651930 MINOR OFFICE	1,000.00
641700 CELLULAR TELE	3,000.00	651950 MINOR DATA PR	2,000.00
641950 POST FREIGHT	200.00	652210 FOOD OPERATIN	1,500.00
641951 POSTAGE	100.00	652490 FUEL AND LUBE	500.00
643100 ELECTRICITY	1,000.00	652920 COMPUTER SOFT	1,000.00
643400 WATER AND SEW	3,800.00	652990 OTHER OPERATI	1,000.00
644100 RENT BUILDING	35,000.00	652999 PAINTING SUPPLIES	1,000.00
644620 LEASE EQUIPMENT	2,000.00	654110 BOOKS PUB SUB	500.00
645100 INSURANCE GEN	1,700.00	654210 DUES AND MEMB	3,500.00
646180 BUILDING RM IS	1,000.00	654360 OTHER TRAININ	2,300.00
646430 FLEET MAINTENANCE	300.00		

Reserves: \$974,300

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2020/2021 MSTU Operating Expenses - \$572,178.80

Fund 111

634990 LANDSCAPE INCIDENT	12,600.00
634999 OTHER CONTRACTUAL	175,000.00
643100 ELECTRICITY	9,000.00
643300 TRASH AND GARBAGE	4,000.00
643400 WATER AND SEWER	10,000.00
646311 SPRINKLER SYSTEM	1,000.00
646318 MULCH	6,000.00
652310 FERT HERB CHEM	300.00

Fund 162

631400 ENG FEES	114,560.80
631650 ABSTRACT FEES	400.00
634970 INDIRECT COST	2,200.00
634999 OTHER CONTRACTUALS	111,218.00
639980 INTERDEPT PAY	20,000.00
643300 TRASH AND GARBAGE	1,000.00
645100 INSURANCE GEN	800.00
646311 SPRINKLER SYS	15,000.00
646451 LIGHTING MAIN	85,000.00
649010 LICENSES AND	2,000.00
649100 LEGAL ADVERTI	200.00
651110 OFFICE SUPPLI	500.00
651910 MINOR OFFICE	1,000.00
652210 FOOD OPERATING	500.00
652990 OTHER OPERATING	100.00

MSTU Reserves: \$805,200

6

5

6

CRA Projects recommended for funding in 2020/2021

1. Redevelopment Plan update	\$ 79,710
2. Carver Street additional funds	<u>\$220,070</u>
Total	\$ 299,780

7

7

CRA Projects recommended for funding in 2021/2022

1. West Eustis Avenue Match funds	\$20,000
2. Neighborhood Focus Area	\$15,000
3. Main Street Initiative	\$50,000
4. Demolition Program	\$20,000
5. Stormwater	<u>\$50,000</u>
Total	\$155,000

8

8

MSTU Projects recommended for funding in 2020/2021

1. Monuments (SR29)	\$ 5,999
2. Lighting Assessment	\$43,872
3. Zocalo Improvements	\$20,141
4. Main Street Lightpole Improvements	TBD
5. Holiday Decorations	<u>TBD</u>
Total	\$70,012

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MSTU Projects recommended for funding in 2021/2022

1. Monuments (SR29)	\$50,000
2. Reconfiguring light poles (blue poles)	\$150,000
3. TIGER Grant/other area maintenance	\$100,000
4. Design Streetscape on Main Street	\$200,000
5. Design of West Eustis Ave Sidewalk Project	<u>\$60,000</u>
Total	\$560,000

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Joint MSTU & CRA Projects recommended for funding 2021

1. Zocalo Improvements	\$10,000 (Short-term)
2. Main Street Improvements	\$300,000 (Multi-year)
3. First Street Improvements	\$100,000 (Multi-year)
4. Holiday Decorations	\$25,000 (Annually)
5. Street Lighting Lake Trafford	TBD

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CRA & MSTU Projects annual budget items

1. Commercial Façade Grant	\$40,000
2. Commercial Sweat Equity Grant	\$15,000
3. Zocalo Maintenance *	<u>\$20,000</u>
Total	\$75,000

* Agreement with Parks & Recreation for maintenance cost.

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Questions and open
Discussion

13

MINUTES

Joint Meeting of the Community Redevelopment Agency Immokalee Local Redevelopment Advisory Board and the Immokalee Lighting and Beautification MSTU Advisory Committee on February 24, 2021. The Advisory board members, staff, and public appeared virtually and in person.

Hybrid Remote Public Meeting

CareerSource
750 South 5th Street
Immokalee, FL 34142

A. Call to Order.

The meeting was called to order by Dr. Frank Nappo, CRA Chair at 9:01 A.M.

B. Pledge of Allegiance and Prayer.

Dr. Frank Nappo led the Pledge of Allegiance and Pastor Michael “Mike” Facundo the prayer.

C. Roll Call and Announcement of a Quorum.

Christie Betancourt opened roll call. A quorum was announced for the CRA board and the MSTU board (9:03).

MSTU Action:

Action: Mr. Peter Johnson made a motion to allow board member on Zoom the ability to vote. Ms. Andrea Halman seconded the motion and it passed by unanimous vote. 4-0.

CRA Advisory Board Members Present in Person:

Frank Nappo, Patricia “Anne” Goodnight, Francisco “Frank” Leon, Edward “Ski” Olesky, Estil Null, Yvar Pierre, Michael “Mike” Facundo, Mark Lemke, and Andrea Halman.

CRA Advisory Board Members Absent/Excused:

None.

MSTU Advisory Committee Members Present:

Bernardo Barnhart (9:03), Andrea Halman, Peter Johnson, and Cherryle Thomas

MSTU Advisory Committee Members Present via Zoom:

David Turrubiarz Jr.

MSTU Advisory Committee Members Absent/Excused:

Norma Garcia and Christina Guerrero

Others Present in Person:

Adam Ahmad

Others Present via Zoom:

Silvia Puente, Armando Yzaguirre, Annie Alvarez, Isrrael Peña, Dottie Cook, Lupita Vasquez Reyes, Mark Beland, Victoria Peters, Richard Henderlong, Michael Tisch, Marina Guirguis, Mike Bosi, Marmi Sica, Liz Soriano, Omar DeLeon, Brent Trout, Fritzel Saint Louis, Trinity Scott, Marlene Messam, Bill Gramer, Tom Ross, and Commissioner William “Bill” McDaniel.

Staff Present in Person: Debrah Forester, Christie Betancourt, Yvonne Blair, and Monica Acosta.

D. Approval of Agenda.

Staff presented the agenda to the boards for approval. Agenda was approved as presented.

CRA Action:

Action: *Ms. Anne Goodnight made a motion to approve the agenda as presented. Mr. Ski Olesky seconded the motion and it passed by unanimous vote. 9-0.*

MSTU Action:

Action: *Ms. Andrea Halman made a motion to approve agenda as presented. Mr. Peter Johnson seconded the motion and it passed by unanimous vote. 5-0.*

E. Approval of Consent Agenda.

1. Minutes
 - i. CRA Advisory Board Meeting January 20, 2021 (Enclosure 1)
 - ii. MSTU Advisory Committee Meeting for January 27, 2021 (Enclosure 2)
2. Budget Reports (Enclosure 3)
3. Community Meetings (Enclosure 4)

CRA Action:

Action: *Ms. Anne Goodnight made a motion to approve the Consent Agenda as presented. Mr. Estil Null seconded the motion and it passed by unanimous vote. 9-0.*

MSTU Action: *Ms. Andrea Halman made a motion to approve the Consent Agenda as presented. Mr. Peter Johnson seconded the motion and it passed by unanimous vote. 5-0.*

F. Announcements.

1. Communications Folder
Staff reviewed the communications folder with the board and members of the public. The folder contained the public notice for this meeting, redevelopment plan survey flyer in English and Spanish, and the Lipman 5K Run for Backpacks information.
2. Public Comments speaker slips
CRA Staff reiterated the public 3-minute speaker slip policy. The board will give more time if they feel it necessary.
3. Annual Workshop – April 6, 2021 @ 9:00 A.M.
Staff reminded board member of the Board of County Commissioners Annual Workshop meeting in Naples on April 6, 2021 at 9:00 A.M.
4. Community Redevelopment Plan Update – Surveys
Staff announced the roll-out of the online surveys for the Community Redevelopment Plan. There will be a new survey every week for the next five weeks. Everyone is encouraged to take it and share with everyone in the community. Flyers will be distributed, and the established QR code will remain the same throughout the five weeks. A link to the survey can be accessed by going to the Immokalee CRA webpage at www.Immokaleecra.com

G. New Business.

1. TIGER Grant – Presentation

Mr. Adam Ahmad introduced himself and gave a presentation of the Immokalee Complete Streets Project as part of the first phase of the TIGER Grant. The purpose of this project is to enhance access, completing areas without sidewalks, improving lighting for safety, fixing stormwater drainage to reduce flooding, and supporting hurricane recovery and resiliency in the event of future storms. The TIGER grant is a federal grant not a state grant. The total project cost is \$16,415,864. 3 million of that money is matched funds by Collier County the rest is from the TIGER grant. The project is for approximately 20 miles of new sidewalks, a bike boulevard network, a shared-use path, street lighting, bus shelters, a new transit center, landscaping, drainage improvements, and intersection and traffic calming retreats. They are hoping to complete the design criteria package for the complete streets as well as transit station by mid-March. The planned Design/Build contract will be awarded on April 23, 2021 and the official start date will be the same. The construction substantial completion and open to traffic date is slated for August 21, 2023, and the project closeout date is May 21, 2025.

Ms. Anne Goodnight questioned if the Immokalee Water and Sewer have been contacted.

Mr. Adam Ahmad commented that they are working with Immokalee Water and Sewer.

Mr. Mark Lemke questioned if there was a timeline for phase II.

Mr. Adam Ahmad said that at this time there isn't funding for phase II, they are looking for additional funding to be able to complete phase II so at this time there is not a timeline for when that part of the project will be started.

Mr. Bernardo Barnhart questioned if there would be a difference in pricing when this is done.

Mr. Adam Ahmad explained that there will be no difference in pricing, they are going to price out the quantities that they have and use the FDOT average running cost for the last six months that they have paid on their projects. They will come up a cost but if the price comes in more than what they estimated then they will reduce the quantities to make it fit within the grant money they have.

Mr. David Turrubiardez Jr. asked about the area of the new transit station. Will there be lighting added to that area? Will there be a bike lane added?

Mr. Adam Ahmad explained that in terms of security and people waiting outside the transit station it should be added to the final design. The bike lanes are difficult to add because of the width, with most of the roads in that area not being wide enough there is little possibility for that. There is not road widening scheduled with this project.

Ms. Lupita Vasquez Reyes asked through chat, in terms of drainage improvements how would the private utilities be involved, what would be their role or responsibility? Also, in regard to lighting, will light pollution, from an environmental standpoint, be taken into consideration.

Mr. Adam Ahmad explained that both he and Michael Tisch, Collier County Project Manager, are coordinating with the utility companies to make sure that all utilities are shown on the plans. With regards to lighting, light pollution is taken into consideration, the purpose for lighting is safety.

****Presentation is attached to the minutes for the record.***

2. Board Vacancies

- i. Yvar Pierre Reappointment Application (Enclosure 5)
Staff presented Yvar Pierre's reappointment application.

CRA Action:

Action: Mr. Mark Lemke made a motion to approve Yvar Pierre's reappointment application. Ms. Anne Goodnight seconded the motion and it passed by unanimous vote. 7-0.

- ii. Patricia Anne Goodnight Reappointment Application (Enclosure 6)
Staff presented Patricia Anne Goodnight's reappointment application.

CRA Action:

Action: Mr. Estil Null made a motion to approve Patricia Anne Goodnight's reappointment application. Mr. Mark Lemke seconded the motion and it passed by unanimous vote. 7-0.

- iii. Estil Null Reappointment Application (Enclosure 7)
Staff presented Estil Null's reappointment application.

CRA Action:

Action: Ms. Anne Goodnight made a motion to approve Estil Null's reappointment application. Mr. Mark Lemke seconded the motion and it passed by unanimous vote. 7-0.

- iv. ILRAB Attendance Log 2019-2021 (Enclosure 8)
Staff presented the attendance log for the last two years, there was one correction. Board member Andrea Halman did not have an absence, the log should show zero.

Mr. Michael "Mike" Facundo addressed the board to explain the excessive amount of absences on his part. Due to COVID there was a scheduling issue with his work and the meetings. His heart is still with this board and plans on attending the meetings moving forward. He did mention frequently meeting with staff to stay abreast of things that were happening.

Mr. Mark Lemke asked if there was anything in the by-laws as to what is excessive and what can the board as a whole do about the situation.

Ms. Christie Betancourt explained that the by-laws say more than three missed meetings are considered excessive and then staff will reach out to the board member.

Usually the board member will resign on their own. When staff reached out to Mike Facundo, he did explain his situation and said he wanted to continue to be on the board.

Ms. Lupita Vasquez Reyes commented that the representation and diversity of representation should be open to other people if possible, to represent the population at large. She would also like the possibility of evening meeting to allow others a chance to voice their opinion.

Ms. Andrea Halman commented that she has wondered if it is time for her to step down but up until now there really hasn't been an outside interest in others wanting to join and commit to the board. It might be beneficial to have anyone that is interested in being on the board to make it known.

Dr. Frank Nappo asked for every board member to comment on this matter.

Mr. Francisco "Frank" Leon commented that he really liked that now there are others willing to engage. When he first came on to the board there really wasn't much public participation. Zoom has made it possible for more participation.

Ms. Yvar Pierre commented that she agreed with Mr. Leon and that this board does have representation of Immokalee.

Mr. Mark Lemke commented that he misses seeing everyone have the ability to come and join the meeting in person. He feels that once the public is able to come to the meeting in person and be a part of the meetings that the indicator of who wants to participate will be known. He also agrees that a few meetings should be held in the evenings to have more participation.

Mr. Estil Null also agreed that the board has had more attention now than ever before and it's a good idea. He is looking forward to a time when we can have regular in person meetings and have good participation.

Ms. Anne Goodnight commented that it is great that you graduate from Immokalee and choose not to return but for those that do return like the majority of the board members, Immokalee is our home, we want what's best for our community. She would like to see more participation from the public because it's important to have a replacement for those of us that are going to be "gone." It's important for the future board to understand what is going on in the community and be able to serve as we all have.

Dr. Frank Nappo commented that Mike's skill set is needed for this board. He is very optimistic of Immokalee's future.

Ms. Andrea Halman commented that people that live outside of Immokalee but have businesses here are part of the community as well.

Commissioner William “Bill” McDaniel shared that he is currently in talks with the Governor to give board’s relief as to the physical quorum in the room. In an age where Zoom is readily available and much more desired by the public it would be helpful to not have that stipulation hinder the progression of work that needs to be done in the community. In an administration standpoint, staff may want to make a short-term adjustment in the by-laws to adjust the quorum requisite so that decisions and votes needed can still be made.

Mr. Israel Peña commented that he would like to see recruitment and training a younger generation to be prepared for the future.

Mr. Mike Facundo commented that something that may be explored setting terms or limits to being on the board. He is excited that the younger generation is getting involved but it would be nice to see them participate more and be given the chance to be on the board, maybe even given the opportunity to learn by being chair for a meeting.

Ms. Andrea Halman suggested that maybe the High School should be invited to participate in the meeting to be able to get that younger generation involved now for their future.

Dr. Frank Nappo also liked the idea of limits but cautions that the ex-board members should be given a supportive capacity to be able to contribute information that they have, especially when it comes to contacts and expertise as a support system.

Ms. Anne Goodnight commented that her vast knowledge is what she wants to give before she leaves.

H. CRA & MSTU Old Business.

1. Immokalee Area Master Plan – Update

Staff explained that Collier County Staff will present at the March 17, 2021 CRA meeting. The topic of discussion will be policy 6.1.4 which is the Central Business District.

Commissioner William “Bill” McDaniel asked about the Land Development Code that was supposed to be designated for Immokalee, specifically through the Immokalee Area Master Plan.

Ms. Christie Betancourt explained that this would be part of the presentation at the March 17th meeting.

2. Contractor Maintenance Reports

i. A & M Property Maintenance

a. Maintenance Report & Schedule (Enclosure 9)

Staff reviewed the schedule of maintenance with the board. Work will be done on the right of way on 1st street, main street, and triangle area. The mulching has been completed. Their contract has been renewed.

ii. Project Manager Observation Field Report (Enclosure 10)

Ms. Yvonne Blair reviewed the project manager observation field report as shown in enclosure 12 with the boards. The FDOT project has been completed.

Mr. Mark Lemke is concerned with the new light at 3rd and Main. He wondered if there was a way to educate the community on how to cross safely. The people that use that area are not use to the new light.

Staff is aware of the issue and so is the Sherriff's department.

Ms. Lupita Vasquez Reyes has witnessed the issue at that crossing intersection. Coalition of Immokalee workers is trying to educate through their radio station.

I. Staff Reports

1. Operations Manager Report (Enclosure 11)

Ms. Christie Betancourt reviewed the operations manager report as shown in enclosure 11. The presentation of the survey information will be done at the Redevelopment Plan kick-off meeting scheduled for March 31, 2021. That meeting will be at 5:30 that evening at the CareerSource building and will be available by Zoom.

Dr. Frank Nappo would like staff to ask Robert Wiley with Stormwater to give the board an update.

Commissioner William "Bill" McDaniel announced the Town Hall meeting that will be happening at the CareerSource building on April 21, 2021. This will be a Hybrid meeting as well and there will be lots of updates with all the different projects happening in Immokalee.

2. Project Manager Report (Enclosure 12)

Ms. Yvonne Blair reviewed the project managers report as shown in enclosure 12. The project on Carver and 5th street is moving right along. Hannula Landscaping will be installing the landscape on the Welcome sign at 1st and Eustis. Lykins has been given the go ahead with the triangle welcome sign. CAT will be providing a video on how to use the platform for those with a mobility device.

Mr. Omar DeLeon addressed the board and explained the situation at the bus stop on Roberts Avenue and the purpose of the elevated platform.

J. Other Agencies

3. Code Enforcement (Enclosure 13)

Staff provided board updates for Code Enforcement as shown on enclosure 13.

4. FDOT updates

Ms. Victoria Peters updated the board with the Westclox and SR29 full signal, they will be making some changes to the Southbound and Northbound left turn lanes from SR29 onto Westclox and onto New Market Road. The final plan revisions will take about another three weeks. She will give us a timeline as soon as it becomes available. There will be a safety summit on March 4, 2021 at 9:00 A.M., it is virtual, and the summit is FHWA and FDOT how they are addressing safety.

5. Collier EDO/Immokalee Culinary Accelerator

No updates.

Ms. Silvia Puente with the Immokalee Library addressed the boards, the library is open and willing to help any person that needs assistance with the survey. The hours of operation at the library are still the same, Monday through Friday from 10:00 A.M. until 5:00 P.M.

Mr. Brent Trout with the Immokalee Pioneer Museum updated the boards, the major thing going on at Roberts Ranch is the bids coming back for the Roberts Ranch Home Restoration Project. This is funded through the Division of Historical Resources and is a \$453,000 grant. They are also beginning the process of Master Planning for the museum. He will reach out to everyone as they get closer to starting that, he wants everyone's input as to how Roberts Ranch should look like for the 10 to 15 years. They will be doing a COVID friendly Easter egg hunt on April 3, 2021 from 10:00 A.M. to 3:00 P.M. If anyone is interested in volunteering, sponsorship, or has ideas please let him know. They need candy! They are looking at having 5,000 to 8,000 eggs so they will need help stuffing the eggs.

Mr. Omar DeLeon with Collier Area Transit (CAT) updated the boards, they have recently finished the transit development plan which is a 10-year plan for the transit agency. He will bring back information on their public input meeting date for Immokalee. CAT is turning 20 years old. They will be hosting a car show at their radio road facility. On Friday, February 26th, 2021 from 10:00 A.M. until 12:00 P.M., everyone is welcome to come.

K. Citizens Comments.

Ms. Lupita Vasquez Reyes commented that a group will be going out to 3rd street to help educate people on how to use the crosswalk correctly. She wondered if anyone had a handout or flyer that the CRA could help with so that they could pass out.

K. Next Meeting Date.

The next CRA meeting will be on March 17, 2021 at 9:00 A.M. at the CareerSource SWFL located at 750 South 5th Street Immokalee, Fl.

The next MSTU meeting will be on March 24, 2021 at 8:30 A.M. at the Career Source SWFL located at 750 South 5th Street Immokalee Fl.

L. Adjournment.

Meeting Adjourned @ 11:19 A.M.

**** Zoom Meeting chat is attached to the minutes for the record.***

Fund 186 Immokalee Redevelopment

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Amendments	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/CI								
*** 186 IMMOKALEE REDEVELOP								
** REVENUE Sub Total	1,888,200.00-	1,888,200.00-	133,266.00-		2,021,466.00-	194,044.51	531,583.56-	337,539.68
* REVENUE - OPERATING Su	12,000.00-	12,000.00-			12,000.00-		894,305.47-	1,125,737.79-
361170 OVERNIGHT INT							1,005.47-	9,571.79-
361180 INVESTMENT IN	12,000.00-	12,000.00-					711.37	711.37
* CONTRIBUTION AND TRANS	1,876,200.00-	1,876,200.00-	133,266.00-		2,009,466.00-		1,716.84-	10,283.16-
481001 TRANS FRM 001	728,400.00-	728,400.00-			728,400.00-		893,300.00-	1,116,166.00-
481111 TRANS FRM 111	164,900.00-	164,900.00-			164,900.00-		728,400.00-	
481162 TRANS FRM 162	85,000.00-	85,000.00-			85,000.00-		164,900.00-	
489200 CARRY FORWARD	898,500.00-	898,500.00-			898,500.00-			85,000.00-
489201 CARRY FORWARD			133,266.00-		133,266.00-			898,500.00-
489900 NEG 5% EST RE	600.00	600.00			600.00			133,266.00-
** EXPENSE Sub Total	1,888,200.00	1,888,200.00	133,266.00		2,006,466.00	189,407.01	355,702.12	1,463,276.84
* PERSONAL SERVICE	194,700.00	194,700.00			194,700.00	14,196.50	83,340.38	97,163.12
* OPERATING EXPENSE	307,800.00	307,800.00			317,800.00	175,210.51	89,571.24	53,018.25
634207 IT CAP ALLOCA	2,400.00	2,400.00			2,400.00	1,200.00	1,200.00	
634210 IT OFFICE AUT	11,200.00	11,200.00			11,200.00	5,600.00	5,600.00	
634970 INDIRECT COST	49,400.00	49,400.00			49,400.00	24,700.00	24,700.00	
634980 INTERDEPT PAY	20,000.00	20,000.00			20,000.00	2,499.96	2,499.96	17,500.04
634999 OTHER CONTRAC	90,000.00	90,000.00			100,000.00	70,300.00	17,844.16	11,855.84
639967 TEMPORARY LAB	45,000.00	45,000.00			45,000.00	34,581.97	10,420.03	2.00-
639990 OTHER CONTRAC						1,395.00		1,395.00-
640200 MILEAGE REIMB	500.00	500.00			500.00			500.00
640300 TRAVEL PROF D	5,500.00	5,500.00			5,500.00			5,500.00
641230 TELEPHONE ACC	600.00	600.00			600.00			600.00
641400 TELEPHONE DIR	6,000.00	6,000.00			6,000.00	4,548.15	1,451.85	
641700 CELLULAR TELE	3,000.00	3,000.00			3,000.00	2,381.82	618.18	
641950 POST FREIGHT	200.00	200.00			200.00			200.00
641951 POSTAGE	100.00	100.00			100.00			100.00
643100 ELECTRICITY	1,000.00	1,000.00			1,000.00	518.17	481.83	
643400 WATER AND SEW	3,800.00	3,800.00			3,800.00	1,490.26	2,309.74	
644100 RENT BUILDING	35,000.00	35,000.00			35,000.00	20,411.16	14,579.40	9.44
644620 LEASE EQUIPME	2,000.00	2,000.00			2,000.00	1,391.00	609.00	
645100 INSURANCE GEN	1,700.00	1,700.00			1,700.00	850.00	850.00	
645260 AUTO INSURANC	500.00	500.00			500.00	250.00	250.00	
646180 BUILDING RM I	500.00	500.00			500.00			500.00
646430 FLEET MAINT I	100.00	100.00			100.00		40.00	60.00
646445 FLEET NON MAI	200.00	200.00			200.00		19.52	180.48
647110 PRINTING AND	2,000.00	2,000.00			2,000.00			2,000.00
648160 OTHER ADS	200.00	200.00			200.00	200.00		
648170 MARKETING AND	5,000.00	5,000.00			5,000.00	1,600.00		3,400.00
649030 CLERKS RECORD	100.00	100.00			100.00			100.00
649100 LEGAL ADVERTI	1,000.00	1,000.00			1,000.00	1,000.00		
649990 OTHER MISCELL	300.00	300.00			300.00			300.00
651110 OFFICE SUPPLI	3,000.00	3,000.00			3,000.00		186.54	2,813.46
651210 COPYING CHARG	3,000.00	3,000.00			3,000.00	2,792.98	707.02	500.00-

Fund 186 Immokalee Redevelopment

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Amendments	Tot Amend Budget	Commitment	Actual	Available
651910 MINOR OFFICE	200.00	200.00			200.00			200.00
651930 MINOR OFFICE	1,000.00	1,000.00			1,000.00		764.25	235.75
651950 MINOR DATA PR	2,000.00	2,000.00			2,000.00			2,000.00
652210 FOOD OPERATIN	1,500.00	1,500.00			1,500.00			1,500.00
652490 FUEL AND LUB	500.00	500.00			500.00		106.42	393.58
652920 COMPUTER SOFT	1,000.00	1,000.00			1,000.00		933.90	66.10
652990 OTHER OPERATI	1,000.00	1,000.00			1,000.00		50.74	949.26
652999 PAINTING SUPP	1,000.00	1,000.00			1,000.00		53.42	946.58
654110 BOOKS PUB SUB	500.00	500.00			500.00			500.00
654210 DUES AND MEMB	3,500.00	3,500.00			3,500.00		3,265.28	234.72
654360 OTHER TRAININ	2,000.00	2,000.00			2,000.00			2,000.00
654370 ORGANIZATIONA	300.00	300.00			300.00		30.00	270.00
* CAPITAL OUTLAY	3,500.00	3,500.00			3,500.00			5,419.97
762200 BUILDING IMPROVEMENT						4,637.50		4,637.50-
763100 IMPROVEMENTS GEN					15,000.00	8,442.53		6,557.47
764900 DATA PROCESSI	2,000.00	2,000.00			2,000.00			2,000.00
764990 OTHER MACHINE	1,500.00	1,500.00			1,500.00			1,500.00
* GRANTS AND DEBT SERVIC	125,000.00	125,000.00			125,000.00			125,000.00
883100 PAY IN LIEU O	20,000.00	20,000.00			20,000.00			20,000.00
884200 RESIDENTIAL R	105,000.00	105,000.00			105,000.00			105,000.00
* TRANSFERS	257,900.00	257,900.00	133,266.00		391,166.00		182,790.50	208,375.50
910010 TRANS TO 001	53,800.00	53,800.00			53,800.00		53,800.00	
911870 TRANS TO 187	74,100.00	74,100.00			74,100.00		74,100.00	
917160 TRANS TO 716	100,000.00	100,000.00	133,266.00		233,266.00		24,890.50	208,375.50
921110 ADV/REPAY TO	30,000.00	30,000.00			30,000.00		30,000.00	
* RESERVES	999,300.00	999,300.00			974,300.00			974,300.00
991000 RESV FOR CONT	62,400.00	62,400.00			62,400.00			62,400.00
993000 RESV FOR CAPI	936,900.00	936,900.00			911,900.00			911,900.00

Fund 162 Immokalee Beautification

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	CarryF Amendme	Amendments	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/CI								
*** 162 IMMOKALEE BEAU						111,024.03	302,036.57-	191,012.54
** REVENUE Sub Total	1,292,200.00-	1,292,200.00-	170,457.80-		1,462,657.80-		353,023.94-	1,109,633.86-
* REVENUE - OPERATING Su	437,000.00-	437,000.00-			437,000.00-		353,023.94-	83,976.06-
311100 CUR AD VALORE	430,000.00-	430,000.00-			430,000.00-		330,287.65-	99,712.35-
311200 DEL AD VALORE							356.92-	356.92
361170 OVERNIGHT INT							620.82-	620.82
361180 INVESTMENT IN	7,000.00-	7,000.00-			7,000.00-		1,576.10-	5,423.90-
361320 INTEREST TAX							29.59-	29.59
369130 INS CO REFUNDS							20,152.86-	20,152.86
* CONTRIBUTION AND TRANS	855,200.00-	855,200.00-	170,457.80-		1,025,657.80-			1,025,657.80-
486600 TRANS FROM PR								
486700 TRANS FROM TA								
489200 CARRY FORWARD	877,100.00-	877,100.00-			877,100.00-			877,100.00-
489201 CARRY FORWARD								170,457.80-
489900 NEG 5% EST RE	21,900.00	21,900.00	170,457.80-		21,900.00			21,900.00
** EXPENSE Sub Total	1,292,200.00	1,292,200.00	170,457.80		1,462,657.80	119,466.55	42,538.16	1,300,653.09
* OPERATING EXPENSE	278,500.00	278,500.00	75,778.80		354,278.80	106,386.53	33,789.22	214,103.05
631400 ENG FEES	50,000.00	50,000.00	64,560.80		114,560.80	44,555.80	22,735.00	47,270.00
631650 ABSTRACT FEES	400.00	400.00			400.00			400.00
634970 INDIRECT COST	2,000.00	2,000.00			2,000.00	1,000.00	1,000.00	
634980 INTERDEPT PAY	20,000.00	20,000.00			20,000.00		3,220.97	16,779.03
634999 OTHER CONTRAC	100,000.00	100,000.00	11,218.00		111,218.00	42,408.70	5,200.00	63,609.30
639990 OTHER CONTRAC						1,395.00		1,395.00-
643300 TRASH AND GA	1,000.00	1,000.00			1,000.00			1,000.00
645100 INSURANCE GEN	800.00	800.00			800.00	400.00		
646311 SPRINKLER SYS	15,000.00	15,000.00			15,000.00			15,000.00
646451 LIGHTING MAIN	85,000.00	85,000.00			85,000.00	15,627.03		69,372.97
649010 LICENSES AND	2,000.00	2,000.00			2,000.00			2,000.00
649100 LEGAL ADVERTI	200.00	200.00			200.00	1,000.00		800.00-
651110 OFFICE SUPPLI	500.00	500.00			500.00			500.00
651910 MINOR OFFICE	1,000.00	1,000.00			1,000.00			1,000.00
652210 FOOD OPERATIN	500.00	500.00			500.00			500.00
652990 OTHER OPERATI	100.00	100.00			100.00		1,233.25	1,133.25-
* CAPITAL OUTLAY	110,000.00	110,000.00			110,000.00	13,080.02		96,919.98
762200 BUILDING IMPR						4,637.50		4,637.50-
763100 IMPROVEMENTS	100,000.00	100,000.00			100,000.00	8,442.52		91,557.48
764990 OTHER MACHINE	10,000.00	10,000.00			10,000.00			10,000.00
* TRANSFERS	85,000.00	85,000.00	94,679.00		179,679.00			179,679.00
911860 TRANS TO 186	85,000.00	85,000.00			85,000.00			85,000.00
917160 TRANS TO 716			94,679.00		94,679.00			94,679.00
* TRANSFER CONST	13,500.00	13,500.00			13,500.00		8,748.94	4,751.06
930600 PA BUDGET TR	4,200.00	4,200.00			4,200.00		1,636.06	2,563.94
930700 TC BUDGET TR	9,300.00	9,300.00			9,300.00		7,112.88	2,187.12
* RESERVES	805,200.00	805,200.00			805,200.00			805,200.00

Fund 111 Immok Rd SR29

Fund / Comm Item	BCC Adopt Budget	Tot Adopt Budget	Tot Amend Budget	Commitment	Actual	Available
**** Grand Total-Fund/CI						
*** 163805 IMMOK RD & SR 29	217,900.00	217,900.00	217,900.00	36,043.88	85,916.32	95,939.80
** EXPENSE Sub Total	217,900.00	217,900.00	217,900.00	36,043.88	85,916.32	95,939.80
* OPERATING EXPENSE	217,900.00	217,900.00	217,900.00	36,043.88	85,916.32	95,939.80
634990 LANDSCAPE INC	12,600.00	12,600.00	12,600.00	3,000.00	9,600.00	
634999 OTHER CONTRAC	175,000.00	175,000.00	175,000.00	13,953.00	66,047.00	95,000.00
643100 ELECTRICITY	9,000.00	9,000.00	9,000.00	6,283.58	3,216.42	500.00-
643300 TRASH AND GA	4,000.00	4,000.00	4,000.00	3,072.32	927.68	
643400 WATER AND SEW	10,000.00	10,000.00	10,000.00	8,808.35	3,191.65	2,000.00-
646311 SPRINKLER SYS	1,000.00	1,000.00	1,000.00	926.63	73.37	
646318 MULCH	6,000.00	6,000.00	6,000.00		2,860.20	3,139.80
652310 FERT HERB CHE	300.00	300.00	300.00			300.00



Upcoming Community Events

Updated 3/08/2021

Parks and Recreation Advisory Board (PARAB)

Date: 3/17/2021 at 2:00 p.m.

Location: Immokalee Community Park

321 North 1st Street

Immokalee, FL

For more information contact: Miguel Rojas 252-4031

Immokalee Water & Sewer District Board Meeting

Date: 3/17/2021 at 4:30 p.m.

Location: 1020 Sanitation Road

Immokalee, FL. 34142

Immokalee Fire Department Regular Board Meeting

Date: 3/18/2021 at 6:00 p.m.

Location: 502 New Market Road East

Immokalee, FL

For more information contact: 657-2111

Immokalee Municipal Service Taxing Unit Advisory Committee Meeting

Date: 3/24/2021 at 8:30 a.m.

Location: Hybrid Remote Zoom/ CareerSource Conference Room

750 South 5th Street

Immokalee, FL. 34142

For more information contact: Monica Acosta 867-0025

Community Redevelopment Plan Kick-Off Meeting

Date: 3/31/2021 at 5:30 p.m.

Location: Hybrid Remote Zoom/ CareerSource Conference Room

750 South 5th Street

Immokalee, FL. 34142

For more information contact: Monica Acosta 867-0025

Immokalee Chamber of Commerce Meeting

Date: 4/07/2021 at 8:30 a.m.

Location: Lozano's Mexican Restaurant
405 New Market Road
Immokalee, FL

Metropolitan Planning Organization (MPO)

Date: 4/09/2021 at 9:00 a.m.

Location: Board of County Commissioners Chambers
3299 E. Tamiami Trail
Naples, FL
For more information contact: 252-5814

Immokalee Interagency Council Meeting

Date: 4/14/2021 at 11:30 a.m.

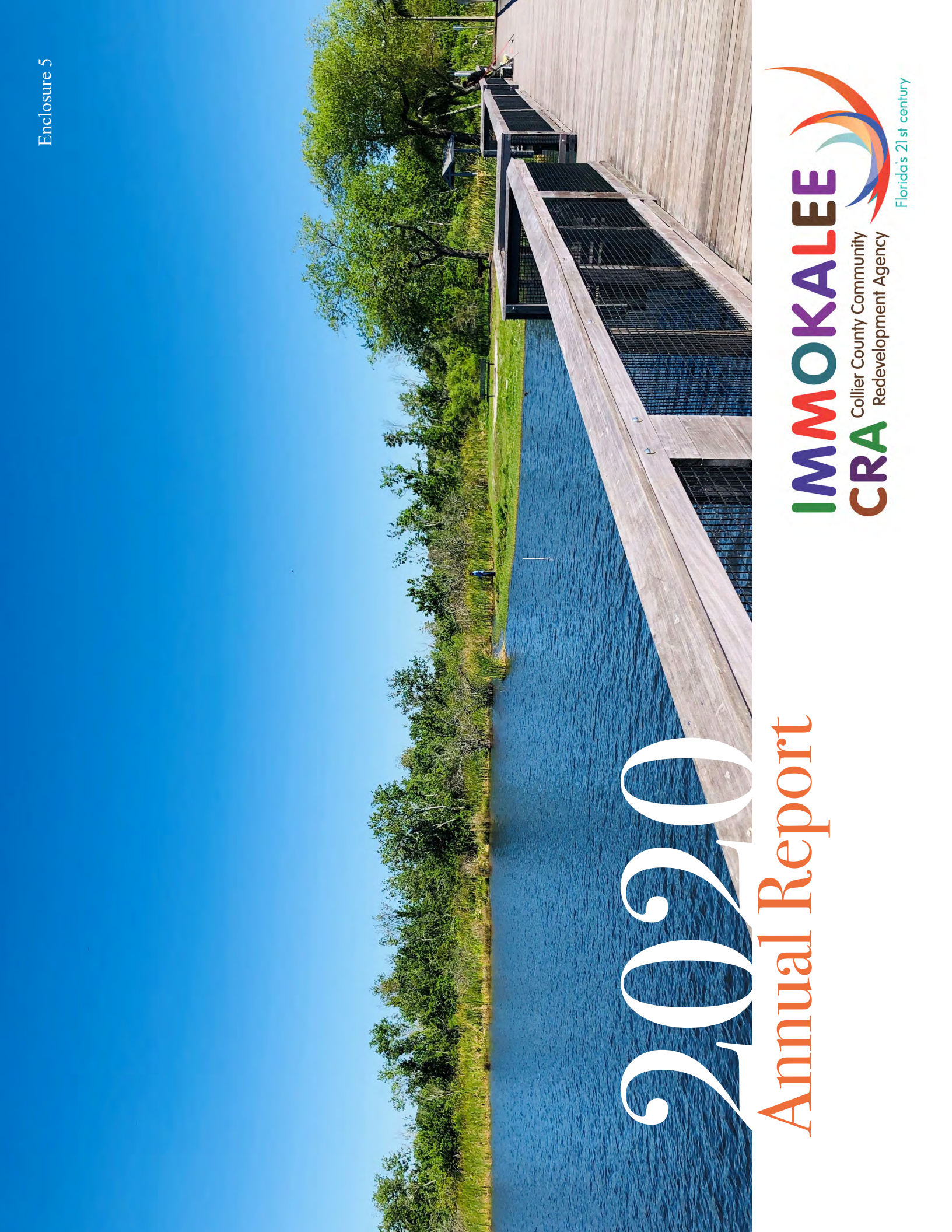
Location: Virtual
For more information contact: Mark Beland 285-9300

Immokalee Local Community Redevelopment CRA Advisory Board Meeting

Date: 4/21/2021 at 9:00 a.m.

Location: Hybrid Remote Zoom/ CareerSource Conference Room
750 South 5th Street
Immokalee, FL. 34142
For more information contact: Monica Acosta 867-0025

If you have a community event you would like us to add to the list, please send to
Christie.Betancourt@colliercountyfl.gov



2020 Annual Report

IMMOKALEE
Collier County Community
Redevelopment Agency

CRA



Florida's 21st century



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Mission Statement

“Those of us who live and work in Immokalee envision a future for our town. We see new business and job opportunities in international trade and distribution, agri-business, ecotourism, recreation and entertainment, and the construction industry.

We see Immokalee as an attractive, sustainable community with affordable workforce housing, parks and outstanding schools – a place where people walk and bicycle to do their errands, and where parents are returning to school to finish their education and master new job skills. Main Street will have a Latin flavor – colorful plazas, outdoor cafes, shops and entertainment – attracting both the local community and the tourists who come to explore our unique ecology or entertainment at the Casino.”

-Immokalee Area Master Plan 2019

MY Immokalee

History

Immokalee is an unincorporated area in Collier County. Originally known as Gopher Ridge by the Seminoles and Miccosukee Indians, Immokalee means “My Home” in the Mikasuki language, and also in Miccosukee, Mikisúki or Hitchiti-Mikasuki, a Muskogean language. The area is one of the major tomato growing centers in the United States.

Transportation

The Immokalee Airport is a general aviation airport located one mile northwest of the central business district. This County-owned facility provides a great opportunity for business recruitment and economic diversification.

- Collier Area Transit (CAT) provides local bus service and para-transit.
- The main road through Immokalee is State Road 29.
- Other important county roads through the region are CR 29A (New Market Road) and CR 846.

Community & Education

Immokalee is the center of the region’s agriculture industry and home to many families who work the vast fields that produce a large amount of the United States’ fresh produce.

The District School Board of Collier County is responsible for all public schools in Immokalee including five elementary schools, Immokalee Middle School and Immokalee High School. iTECH technical college and Bethune Education Center provide additional training. RCMA Charter School and Pace Center for Girls are also in the community and provide alternative education programs. Ave Maria University is approximately 6 miles away in the community of Ave Maria.

Demographics

U.S. Census Bureau, 2015 - 2019 American Community Survey

- Population – 26,597
- Median age - 29 years
- Median household income - \$30,885

Collier County

Board of County Commissioners



Rick LoCastro
District 1



Andy Solis
District 2



Burt Saunders
District 3



Penny Taylor,
District 4,
BCC Chair & CRA
Board Co-Chair



William L. McDaniel, Jr.
District 5
BCC Vice-Chairman &
CRA Board Co-Chair

Local Redevelopment Advisory Board

Dr. Frank Nappo, Chair
Anne Goodnight, Vice-Chair
Michael Facundo
Estil Null
Andrea Halman
Frank Leon
Edward "Ski" Olesky
Yvar Pierre
Mark Lemke

Lighting and Beautification MSTU

Bernardo Barnhart, Chair
Peter Johnson, Vice-Chair
Norma Garcia
Andrea Halman
Cherryle Thomas

Meetings

Public hybrid meetings for the Immokalee CRA are held the third Wednesday of every month at 9:00 a.m. Public hybrid meetings for the Immokalee MSTU are held the fourth Wednesday of every month at 8:30 a.m. All meetings are at 750 South Fifth Street, Immokalee, Florida 34142 unless otherwise noticed.

CRA

Board Co-chair



William L. McDaniel, Jr. was born in Franklin, Pennsylvania. He majored in accounting and computer programming with a minor in economics from Clarion State University. To pay for college, William worked as a carpenter. In 1981, William moved to Naples for a job building a stable for Naples Therapeutic Riding Center - he has lived in the area ever since.

William L. McDaniel, Jr.
District 5
BCC Vice-Chairman &
CRA Board Co-Chair

William has founded multiple companies including; Reality Company, in 1987; Big Island Excavating, Inc in 1988; and Marine National Bank, in 1999. William currently owns and operates Lazy Springs Recreational Park and employs more than 30 people.

William is the chairman of the Strategic Planning Committee of Goodwill of Southwest Florida and has served on the Board of Directors since 1998. He is founder and current president of the Corkscrew Island Neighborhood Association. From 2007 until early 2009, he served as the chairman of the Board of County Commissioners-appointed East of 951 Horizon Study Committee. He also served for two years on the Board of County Commissioners-appointed Rural Lands Stewardship Overlay Review Committee. In 2013, he was appointed by Gov. Rick Scott to the Collier County Housing Authority and served until his election as Collier County Commissioner in 2016 and re-elected in 2020.

William has two children: Kelley Marie, a 24-year-old graduate of Florida Gulf Coast University, and William III, who is a 20-year-old carpenter/contractor. In their free time, the family enjoys outdoor activities like hunting, fishing, and boating.

Advisory Board Chairs



Dr. Frank Nappo
Immokalee CRA Chair

- Board Member Emeritus Residential Options of Florida
- Past President of Immokalee Housing and Family Services
- Past President of Drug Free Collier
- Past President of the Naples Art Association



Bernardo Barnhart
Immokalee MSTU Chair

- Board Member of Immokalee Chamber of Commerce
- Past President of Immokalee Chamber of Commerce
- Member of Rotary Club of Immokalee
- Member of IHS Booster Club

CRA Staff

Debrah Forester
Director, Collier County CRA

Debrah has over 25 years experience in redevelopment, community planning, and economic development. She joined the team in 2017, coming from Charlotte County CRA.

Christie A. Betancourt
Operations Manager

Christie has worked for Collier County a total of 20 years. She joined the team in 2008 and manages the day to day operations.

Yvonne Blair
Project Manager

Yvonne joined the Immokalee CRA Team in September 2020. She has over 23 years of sales experience including key roles with Premier Sotheby's International Realty and WCI.

Monica Acosta
Administrative Assistant

Monica is tasked with assisting with active community projects and providing the community with public meeting information.



Immokalee What is a CRA?

Community Redevelopment Agency (CRA) refers to a public entity created by Collier County to implement the activities outlined under Chapter 163 of the Florida Statutes. The Board of County Commissioners (BCC), is the ex-officio governing Board of the CRA.

On March 14, 2000, the BCC adopted Resolutions 2000-82 and 2000-83, establishing the Collier County CRA and identifying two areas within unincorporated Collier County as areas in need of redevelopment. On June 13, 2000 the BCC adopted Resolution 2000-181 adopting the Community Redevelopment. The Plan lays out the framework of goals, objectives, and strategies to support the community vision. The first amendment to the plan was approved on April 23, 2019.

In 2016, Resolution 2016-198 was adopted to revise the bylaws to clarify the membership and terms of office of the Immokalee Local Redevelopment Advisory Board. The purpose of this nine-member committee is to be the primary vehicle for community and professional input to the CRA for matters relating to the Immokalee Redevelopment Area. Terms are for three years.

How is CRA funding created?

Property values in the CRA are capped, or frozen, at the assessed value for an established base year (2000). Thereafter, any tax revenues due to increases in property values in excess of the base are dedicated to the redevelopment area. The generated revenue is known as tax increment and is used in the Immokalee CRA to leverage its redevelopment efforts.



Immokalee

CRA Plan Updates

Since the adoption of the 2000 Redevelopment Plan, much has changed within the Immokalee redevelopment area. In April 2019, the first amendment of the redevelopment plan focused on the Bayshore Gateway Triangle redevelopment area. The Board directed staff to update the plan to reflect the changes and needs in the Immokalee Community Redevelopment Area.

Johnson Engineering was hired to provide planning support services for the Immokalee Community Redevelopment Plan Update. Their proposal of \$79,710 is based on planning support services for the CRA staff's update to the plan. Staff issued the Notice to Proceed to Johnson Engineering on December 1, 2020. Johnson Engineering has completed the initial research of past plans and goal validation. The plan update is expected to be completed in March 2022.



Immokalee CRA Projects

Immokalee Impact Fee Installment Payment Pilot Program

On July 11, 2017, the BCC adopted Ordinance 2017-34 that established an Impact Fee Installment Payment Pilot Program for the Immokalee CRA. The ordinance provides an alternative to paying impact fees in full as a prerequisite for the issuance of a Certificate of Occupancy.

A fee payer may pay impact fees in installments rather than a lump sum by entering into an impact fee installment payment program agreement with Collier County. This arrangement allows installment payments as a special assessment levied as non-ad valorem tax against the subject property. The program took effect October 1, 2017.

Collier County Opportunity Zone Program:

Low Tax Opportunity Zones, established by the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for many job creators. They enhance the ability to attract businesses, developers and financial institutions to invest in targeted areas by allowing investors to defer capital gains taxes through investments in federally established Opportunity Funds.

These zones allow private investors to support distressed communities through private equity investment in business and real estate ventures. The incentive is deferral, reduction and potential elimination of certain federal capital gains taxes. U.S. investors hold trillions of dollars in unrealized capital gains in stocks and mutual funds alone, a significant untapped resource for economic development. Immokalee has 3 Census Tracts included in the Opportunity Zone. The Immokalee airport has parcels of shovel-ready land in the Opportunity Zone.

Immokalee Regional Airport

CERTIFIED SITE
SoLar County

Land Information:
Located in a Federal Opportunity Zone
Free-Trade Zone Site 213-3
960 Acres

Transportation:
Commercial Airport: SWFL International
36 Miles to SWFL Airport
Travel Time: 60 minutes
Closest Interstates: US 41 (N-S), I-75 (E-W)

50-Mile Radius from Property:
Population: 1,151,244

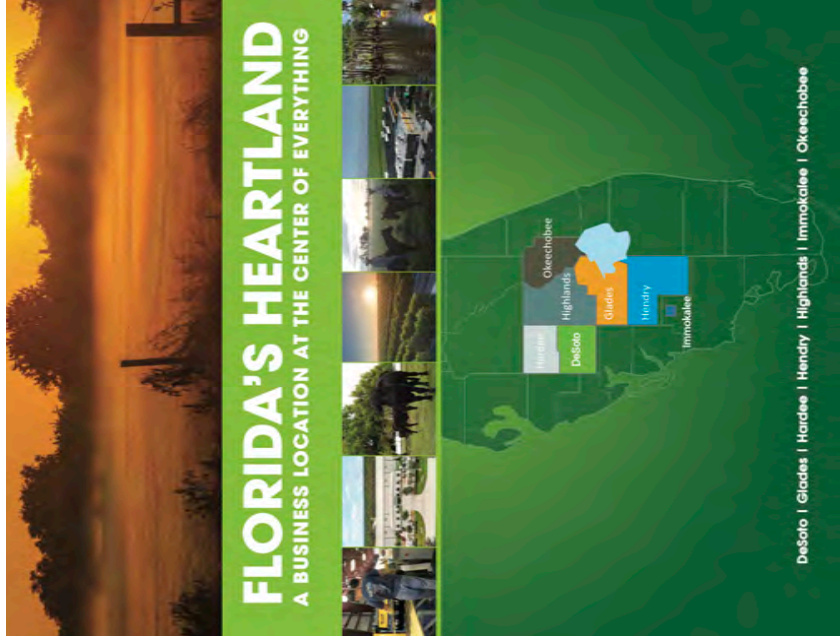
Land Uses:
Commercial and Industrial
Agriculture
Construction
Manufacturing
Transit
US Postal Service
Communications
Wholesale Trade
Public Administration
Recreation
Aircraft hangars
Storage facilities
Fueling facilities

Available Sites & More Info

Immokalee CRA Projects Cont.

Florida Heartland Economic Region of Opportunity (FHERO)

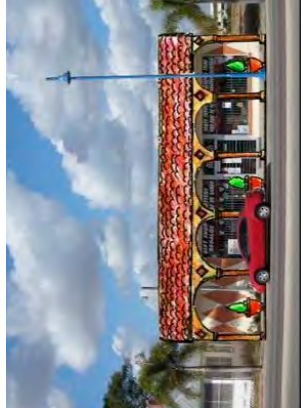
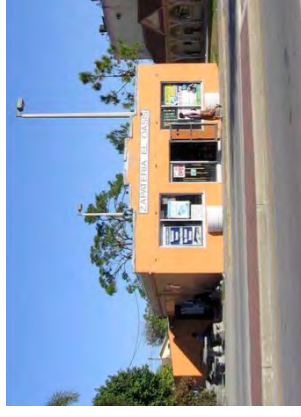
In 2019, FHERO was awarded a Regional Rural Development Grant in the amount of \$97,500 which included \$22,000 for the development of a Strategic Economic Development Plan for the Immokalee community. The consultant, VisionFirst, conducted the site tour on March 13, 2020 and developed an overview of their findings that will be incorporated into the redevelopment plan update. Immokalee was also included in the 2020 FHERO guide.



Commercial Façade Grant Program

In accordance with Objective 1.2 in the Immokalee Area Master Plan, the CRA continued to provide financial incentives to businesses in Immokalee via the Commercial Façade Improvement Grant program. The CRA implemented the Program in October 2008. Since that time, 17 façade grants have been awarded to local businesses for a total of \$294,621.67.

Eligible applicants may receive grant funding up to \$20,000 as reimbursement, using a one-half (1/2) to 1 match with equal applicant funding for façade improvements to commercial structures.



Immokalee What is a MSTU?

A **Municipal Service Taxing Unit (MSTU)** is a funding mechanism where community members, with Board approval, assess themselves to make improvements to their neighborhood and/or community area and provide additional services based on community desires.

This seven-member committee was established by Ordinance No. 11-39, as amended by Ordinance No. 20-47, to assist the Board of County Commissioners in the business affairs of the Immokalee Beautification Taxing District and prepare and recommend an itemized budget to carry out the business of the district for each fiscal year. The CRA serves as administrator and manager of the Immokalee MSTU.

Membership on the advisory committee represents the population within the Immokalee Beautification Taxing District. Members must be electors of Collier County and qualify in one of the following categories: Four members must be permanent residents within the MSTU and three members may be an owner of a business or commercial property within the MSTU or may be an appointed representative of a non-profit entity operating within the MSTU. Terms are four years.

How is MSTU funding created?

The MSTU's enabling ordinance establishes the maximum millage rate that can be levied to implement the mission of the MSTU. Annually, the Board of County Commissioners approves the millage rate and budget to implement the yearly work plan.



Projects

Landscape Maintenance Contract

Services of the Immokalee Beautification MSTU consist of managing the maintenance of all public areas along Main Street (SR 29) and First Street (CR 846) within the limits of the Immokalee Urban Area. A&M Property Maintenance, a local Immokalee vendor, has been providing great service by performing various maintenance and repair services, such as lawn mowing, sidewalk and gutter cleaning, landscape maintenance, irrigation system management, and installing banners and holiday decorations.

Additional incidental services are performed on an as-needed basis such as the cutting of two dead trees on SR 29 near New Market Road Triangle, the removal of light pole #7 from the right-of-way that was struck by a vehicle and the installation of replacement brackets for decorative banners on the light poles on SR 29. New plantings were installed at the Triangle monument sign in December 2020. Monthly observation tours are conducted with the Contractor, CRA Staff and a MSTU Board Member.



Immokalee MSTU Projects

Welcome Sign

The Immokalee Beautification MSTU partnered with the United Arts Council of Collier County (UAC) to facilitate a “Call for Artists” to redesign the “Welcome” signs in Immokalee. Eleven (11) artists submitted proposals and three (3) proposals were selected to advance to community review. After a week of online voting, over 4,500 votes were cast to select the winning artist. Laura Burns, Executive Director of the UAC announced the winner and noted the overwhelming response at the September 23rd Immokalee MSTU Meeting. The majority of the online voters were locally connected to Immokalee. The Survey reflected voting participants as: 68% lived-in Immokalee, 50% worked-in Immokalee and 76% were raised or attended schools in Immokalee.

Congratulations to the winning artist, Martha M. Cantu, for her “Field of Dreams” proposal receiving over 60% of the votes. Ms. Cantu completed the mural on the sign located downtown on First Street and Eustis Avenue. The installation of the lighted lettering has been completed and landscaping shall follow as per original design. The monument area is expected to be completed in March 2021. The sign on the corner of State Road 29 and New Market Road will be completed in Spring 2021. Construction of the Panther Crossing sign is expected to be complete in late 2021.



Immokalee MSTU Projects

First Street Corridor Conceptual Plan

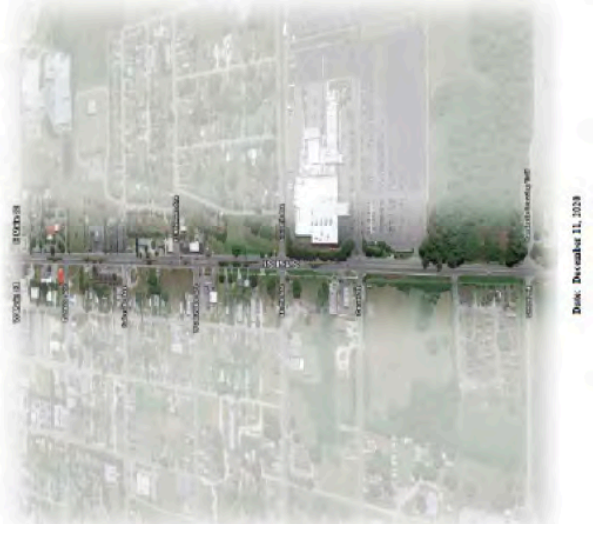
Q. Grady Minor & Associates, P.A (Grady Minor) has been hired to provide professional services for future street lighting and pedestrian safety improvements along South First Street (from Main Street to School Road/Seminole Crossing Trail) in Immokalee.

The work includes feasibility studies and conceptual plans for the purpose of relocating existing decorative light poles with the consideration of future street lighting and pedestrian safety improvements. Additionally, it includes reviewing and providing recommendations for the location of new pedestrian crosswalks, landscape and hardscape elements. Estimated project costs and long-term maintenance costs will be included with the feasibility studies. The Work Order was processed on September 2, 2020.



First Street Bus Shelter

EXISTING LIGHTING, PEDESTRIAN SAFETY, AND LANDSCAPE EVALUATION REPORT FOR SOUTH FIRST STREET IMMOKALEE, FLORIDA



Tom Hollis Engineering Consultants, Inc. will provide sub-consultant assistance for determining lighting requirements, light pole locations, and lighting specifications. The total project cost for the evaluation is \$43,872. Notice to Proceed was issued on September 16, 2020. The in-field survey and on-site visits by the Consultants were completed in November; and in December Staff discussed some conceptualizing ideas with the Consultants such as the feasibility of utilizing the old street light poles removed from SR 29 from 1st Street to 9th Street by FDOT for this project. Preliminary plans are to be completed for Staff's review in February 2021 and the consultant's work is scheduled to be completed late 2021.

Community Projects

Immokalee Sidewalk Project - Carver

In June 2020, through a competitive bid process the county received six proposals for the construction of the sidewalks. Coastal Concrete Products LLC d/b/a Coastal Site Development (Coastal Concrete) was the second lowest bidder and provided certification as a "Section 3 Business". Coastal Concrete agreed to match the lowest bidder (Andrew Sitework, LLC) in the amount of \$821,756, as permissible per the Affidavit for Certification for Claiming Status on a Section 3 Business, as award shall be made to the Section 3 Business. The total project is estimated at \$991,114.

Funding Sources

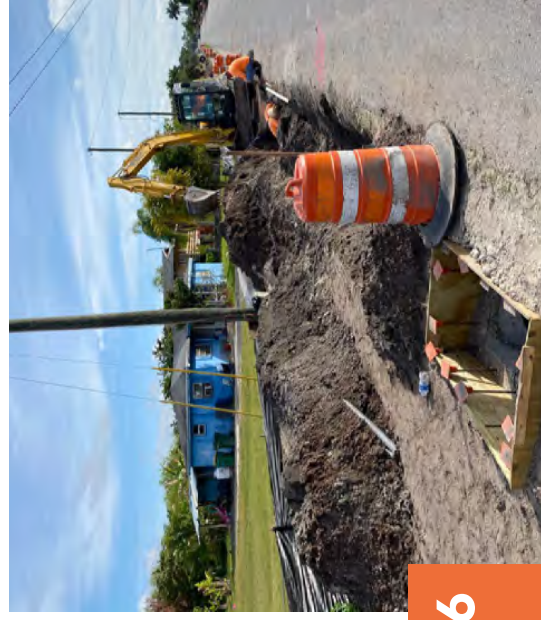
CDBG - \$676,365

CRA - \$220,070

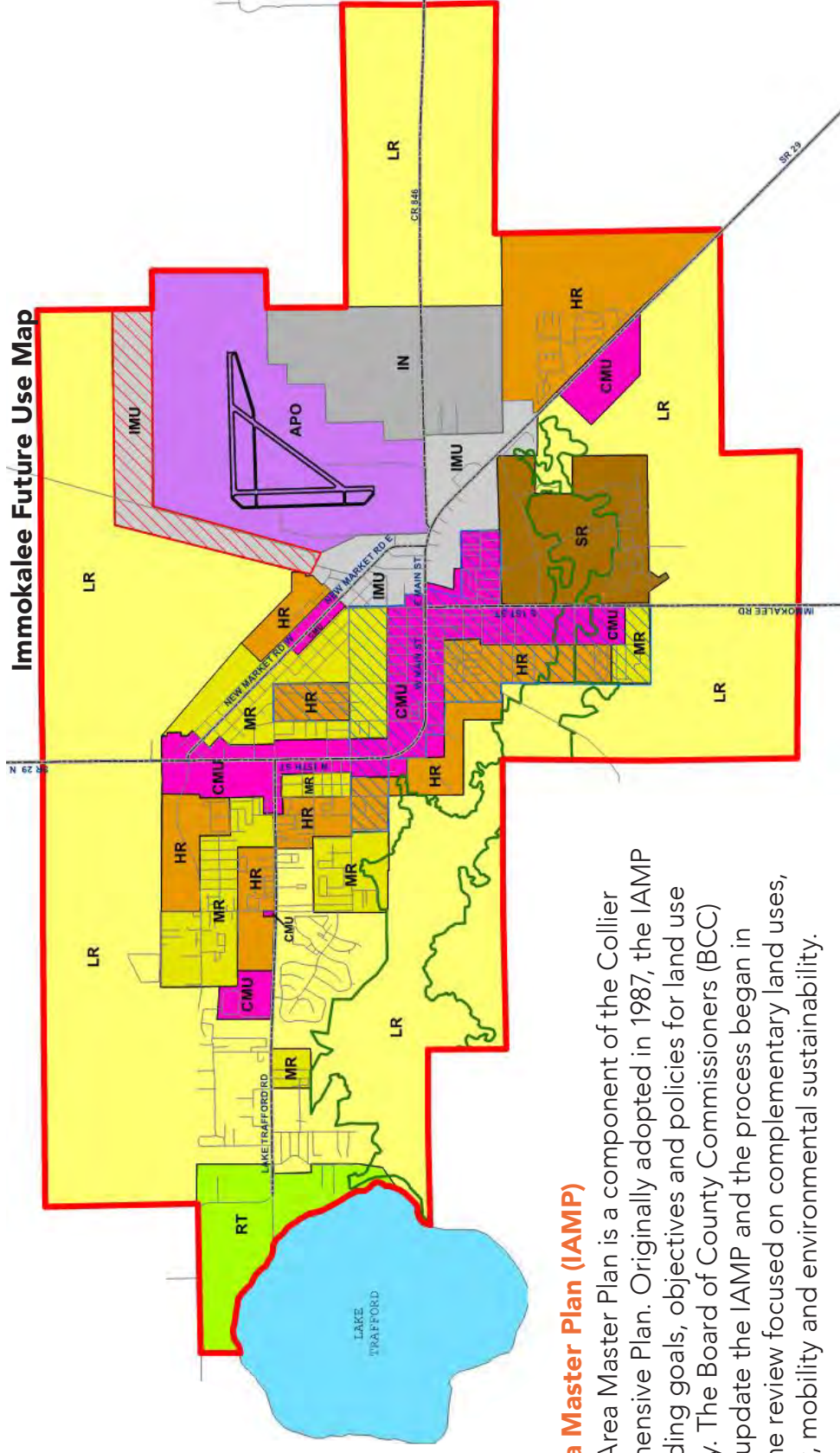
MSTU - \$94,679

\$991,114

This project is part of a sidewalk implementation program in Immokalee, which will provide many benefits including safety, mobility, a healthier community. The sidewalks will make the community more attractive to potential businesses, thus increasing job opportunities. Construction commenced on September 16, 2020 and is expected to be completed in March 2021.



Joint Community Projects



Immokalee Area Master Plan (IAMP)

The Immokalee Area Master Plan is a component of the Collier County Comprehensive Plan. Originally adopted in 1987, the IAMP provides the guiding goals, objectives and policies for land use in the community. The Board of County Commissioners (BCC) directed staff to update the IAMP and the process began in January 2018. The review focused on complementary land uses, economic vitality, mobility and environmental sustainability.

The Immokalee restudy public participation process included extensive engagement through meetings at the Immokalee Community Redevelopment Agency Advisory Board, Immokalee MSTU Advisory Board, Immokalee Chamber of Commerce and six advertised public workshops. Public workshops were announced and advertised in English, Creole and Spanish.

The IAMP was approved by the Board of County Commissioner on May 14, 2019 for transmittal to Department of Economic Opportunity (DEO). DEO provided comments on June 21, 2019. The plan was approved by the Collier County Planning Commission on October 31, 2019 and was approved by the BCC for final adoption on December 10, 2019. (Ordinance 2019-47).

Joint Community Projects

Immokalee Main Street Pedestrian Safety Improvements Project

Florida Department of Transportation (FDOT) partnered with the Community Redevelopment Agency (CRA) and the Municipal Service Taxing Unit (MSTU) to program a project on SR 29 in Immokalee due to a history of high bicycle and pedestrian crashes and activity.

The MSTU provided an advance deposit of \$125,342 to FDOT for installation of holiday attachments on 30 light poles and all efforts associated with adding the attachments, including banner arms, GFCI outlets, additional conductors, mobilization and maintenance of traffic at SR29 from 1st Street North to 9th Street North in Immokalee. Improvements also include a new signal at Third Street, consolidating the mid-block crossing and signage. The construction contract was awarded in December 2019. Construction began in May 2020 and is expected to be completed in March 2021. The total project cost is estimated at 1.85 Million.

Transportation Investment Generation Economic Recovery (TIGER) Grant

It includes design and construction of 20 miles of concrete sidewalks, a bike boulevard network, a shared-use path, street lighting, bus shelters, a new transit center, landscaping, drainage improvements, and intersection and traffic calming retreats.

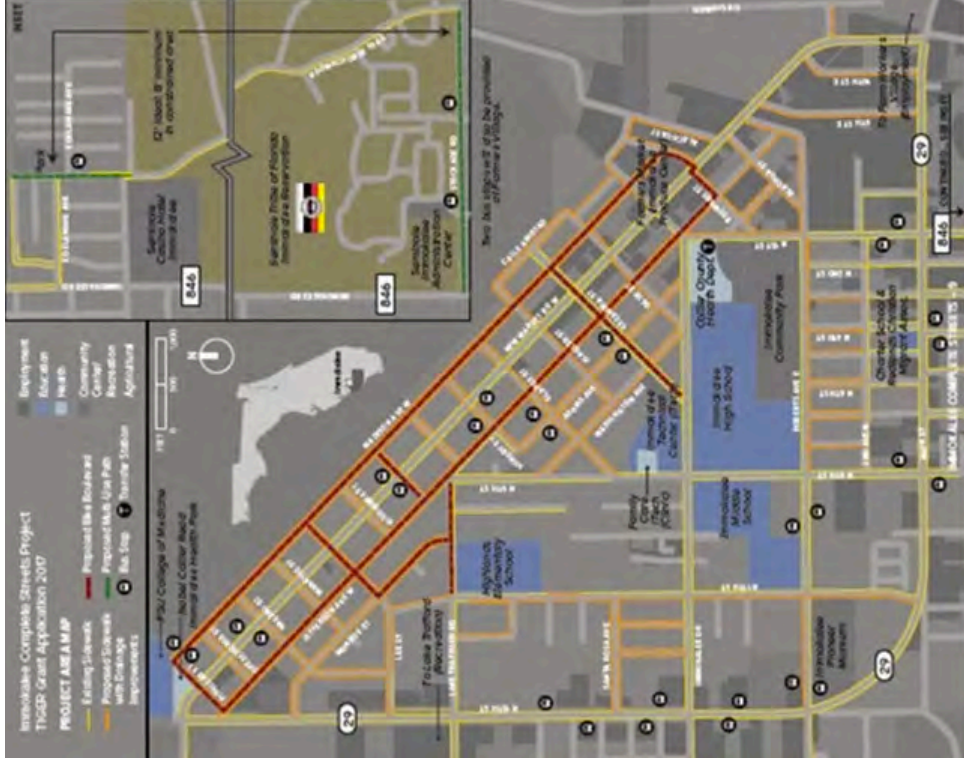
Collier County has provided the CRA with an overview of estimated schedule with milestones. The design/build portion of this project is set to start Spring 2021 and construction is set to be substantially completed in Winter 2023.

Funding Sources

FHWA Grant Funds
\$13,132,691

County Match Funds
\$3,283,173

\$16,415,864



Stormwater Improvements

The original Immokalee Stormwater Master Plan (ISWMP) was prepared by H.W. Lochner (2005). Camp Dresser & McKee (CDM) was contracted in 2010 to prepare construction plans for the Downtown Immokalee and Immokalee Drive projects plus update the ISWMP. On November 28, 2018 county staff presented the follow-up analysis.

Lake Trafford Road Area

The single negotiated contract for designing both the stormwater treatment facility in the SE corner (Tract 3) of Arrowhead Reserve and the pathway and needed drainage improvements along Lake Trafford Road from Little League Road to Tippins Terrace is being scheduled for Board of County Commissioners approval in 2021. County staff is looking at phasing the construction, with Phase 1 being the Arrowhead Tract 3 site and Phase 2 being the pathway and drainage west of Little League Road. The goal is to finalize the Phase 1 design by first quarter of 2021 and start bidding for its construction in FY 21. Staff plan on bidding the Phase 2 construction in fiscal year FY22.

Madison Avenue Channel Project

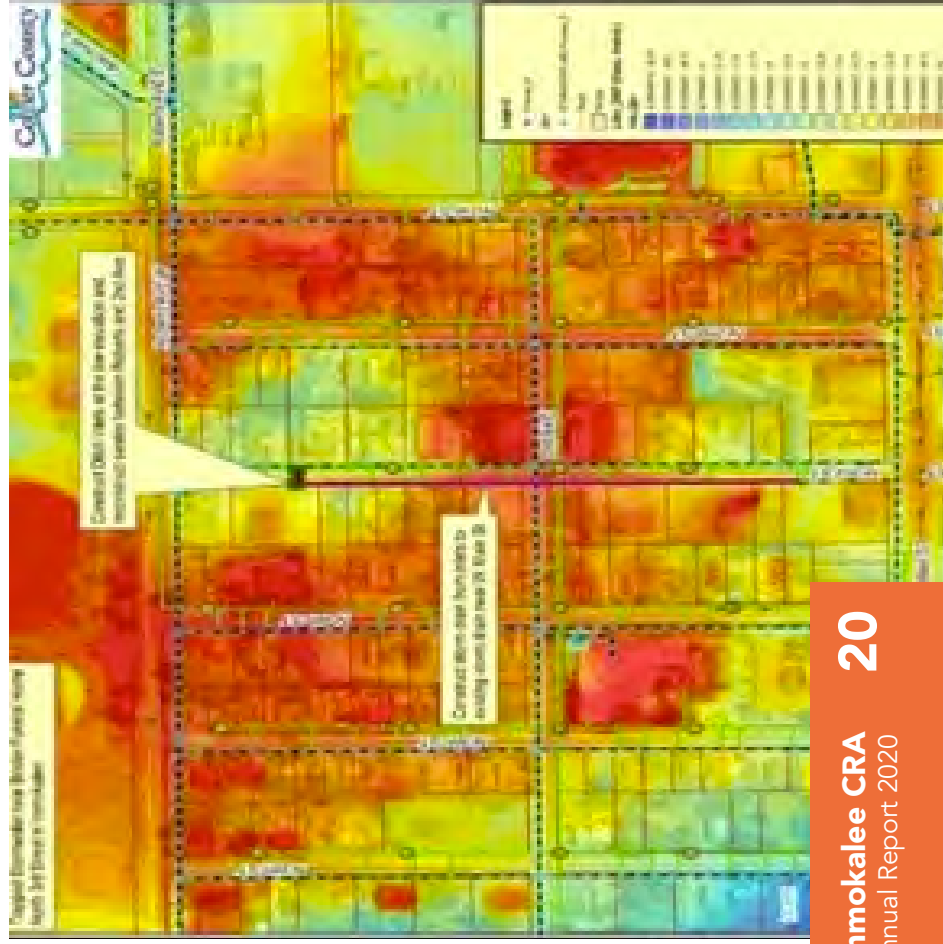
On the northeastern side of Immokalee, county staff obtained BCC approval to purchase a 6-acre parcel east of the Immokalee Foundation Career Path Learning Lab site. That site will provide a pond site to improve stormwater quality from the outfalls along Madison Ave. Additionally, county staff is working with FDOT's design firms to coordinate the alignment of the SR-29 bypass loop so they can avoid having to route the stormwater from the Madison Avenue channel all the way around the north and east sides of the airport.



Stormwater Improvements

North 3rd St. and Westclox St. Project

The North 3rd Street Drainage proposed project is located on North 3rd Street between 2nd Avenue and Roberts Avenue West. The project would include roadside swales, installation of inlets on 3rd Street, construction of a storm drainpipe system to alleviate ponding and allow conveyance southward to the storm drain system on West Main Street. Cost for repairs is estimated at \$600,000. The grant funding contract is now finalized, and the project is entering the contractor bidding phase.



Eden Garden Bypass Drainage Improvement Proposed Project

The Eden Garden Bypass Drainage Improvement proposed project is located in the area south of Westclox St., east of Boxwood Dr., west of Carson Rd., and generally north and northeast of Eden Gardens. The project will construct a new ditch along the northern boundary of Eden Gardens, install a 24" pipe under Boxwood Dr. to tie into the existing ditch along the northwest boundary of Eden Gardens to convey flows further west. Cost for repairs is estimated at \$600,000. The County applied for CDBG-DR grant funding for this project.



Road Projects



Rendering of roundabout

SR 82 Road Widening Project Gator Slough Lane to SR 29

In 2019 the Florida Department of Transportation (FDOT) began construction of the four lane roadway widening project which includes a roundabout. When completed improvements will be made to a stretch of 3.2 miles of roadway. Construction is set to be completed in 2022. Estimated cost is \$29 Million.

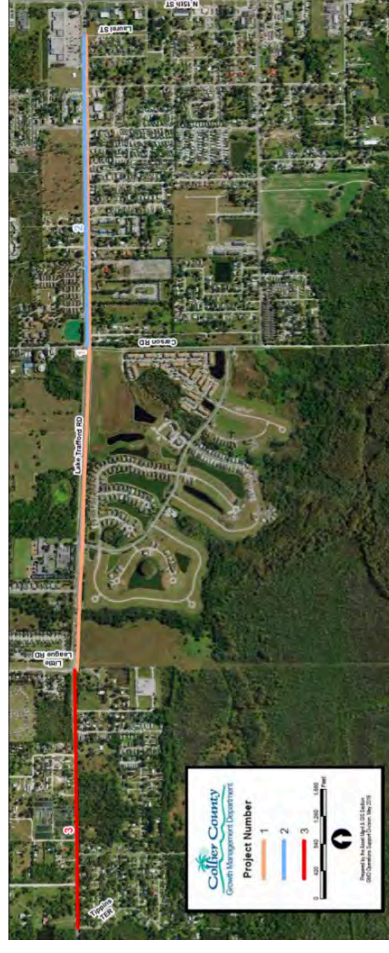
Carson Road Project

Safe Route to School:
Eden Park Elementary School
School Sidewalks
6' Sidewalk on the south and west side of the road.
Construction costs \$663,000. Funded with Safe Routes to School funds in FY 21/22.



Lake Trafford Road Projects

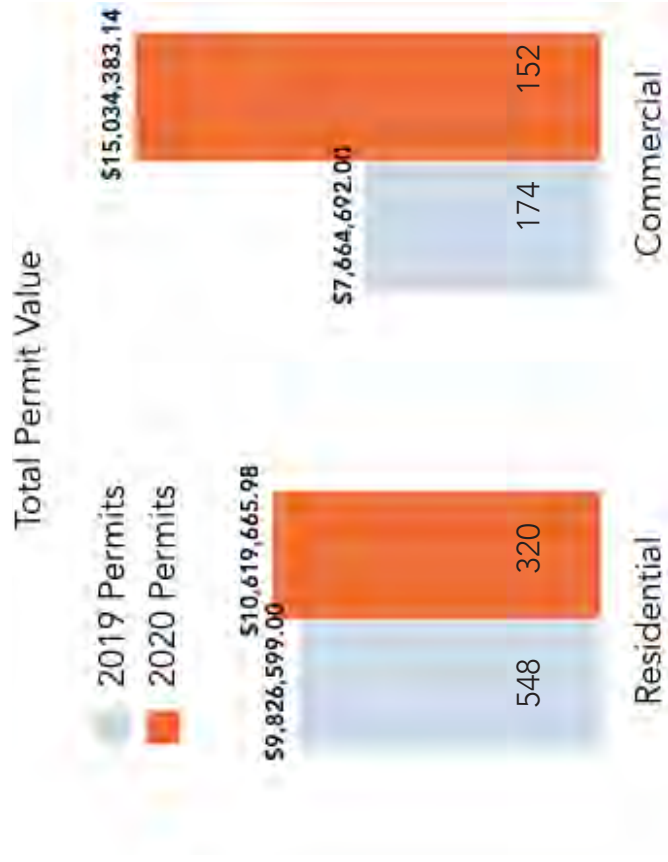
Design for Projects 1&2 (Lake Trafford) will be awarded in 2021. Construction 2022-2023



Construction Highlights

2020 was a busy year for both business development and expansion, as well as infrastructure improvements in the community. Due to Covid-19 Staff, the CRA and MSTU advisory boards were not able to attend various ribbon-cutting ceremonies but provided virtual support.

Permits



McDonald's new build at the corner of Immokalee Drive and N. 15th Street (SR29) was completed in December 2020.



Before



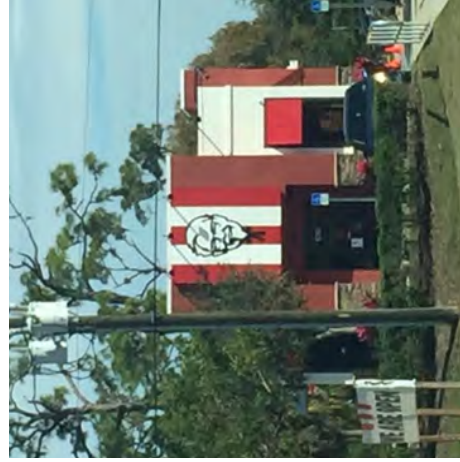
After

Construction Highlights

Ribbon Cutting held for Shelly Stayer Shelter on May 26, 2020.



KFC remodeling (old Taco Bell building) on 15th Street was completed in January 2021.



Arrowhead development.



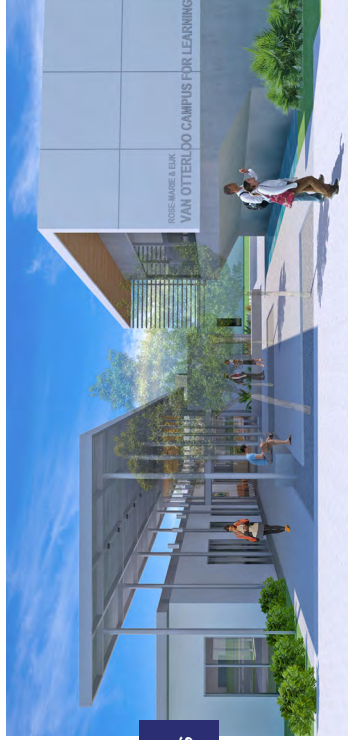
Proposed 7 Eleven at corner of 9th and Main Street.



Construction Highlights

Guadalupe Center van Otterloo Campus for Learning

On October 30, 2020 the Guadalupe Center broke ground on the van Otterloo Family Campus for Learning. When complete, the 9.5 acre campus will feature two academic buildings with multiple classrooms, a library, learning lab, cafeteria and kitchen, playground, administrative offices, mentor lounges, commons areas, a medical and dental suite, outdoor gardens and a student wall of fame. The campus will accommodate up to 154 students in Guadalupe Center's Early Childhood Education Program, as well as 125 high school students in the college-preparatory Tutor Corps Program.



van Otterloo Campus

Immokalee Foundation Learning Lab 18-Home Subdivision

The Immokalee Foundation Learning Lab 18-home subdivision is currently under construction. Collier Enterprises donated the 8 acres of land for a housing subdivision that will serve as a hands-on learning laboratory for students in the foundation's program, Career Pathways: Empowering Students to Succeed. BCB Homes, will be serving as the general contractor.



MONAGHAN FAMILY
EARLY CHILDHOOD EDUCATION CAMPUS

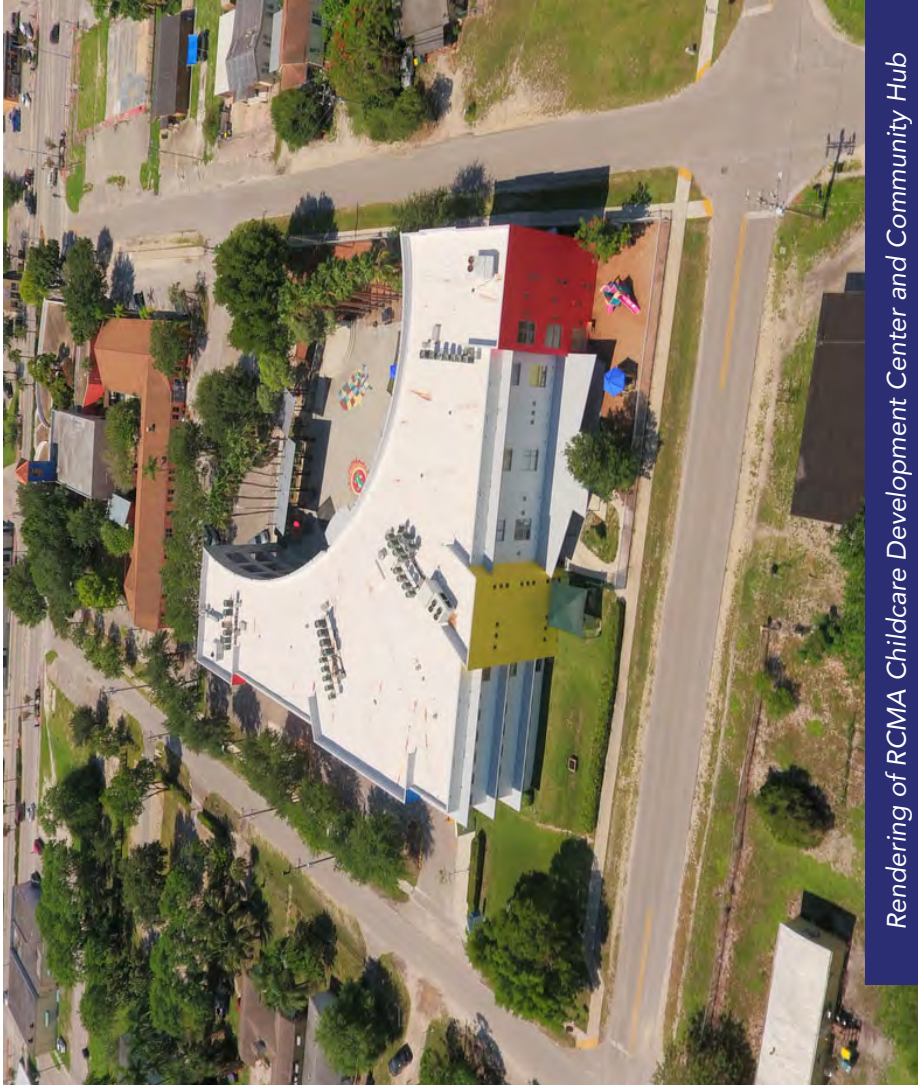


Immokalee Foundation Learning Lab construction site.

Construction Highlights

Redlands Christian Migrant Association (RCMA) Childcare Development Center and Community Hub

The RCMA proposed childcare center and community hub consist of childcare classrooms, area office, and playground. The development will accommodate 234 children and 30 employees. RCMA will be presenting the project to the CRA Advisory Board at a future meeting.



Rendering of RCMA Childcare Development Center and Community Hub

Immokalee Fair Housing Alliance (IFHA)

The Immokalee Fair Housing Alliance proposed housing development will be located on the corner of Lake Trafford Road and North 19th Street on 9.52 acres of land. The development will consist of 8 buildings with 16 apartments each or 128 units in all. Construction will progress in phases. Housing units will be two- and three-bedroom apartments ranging in size from about 750 to 950 square feet.



COVID

Working Through the Pandemic

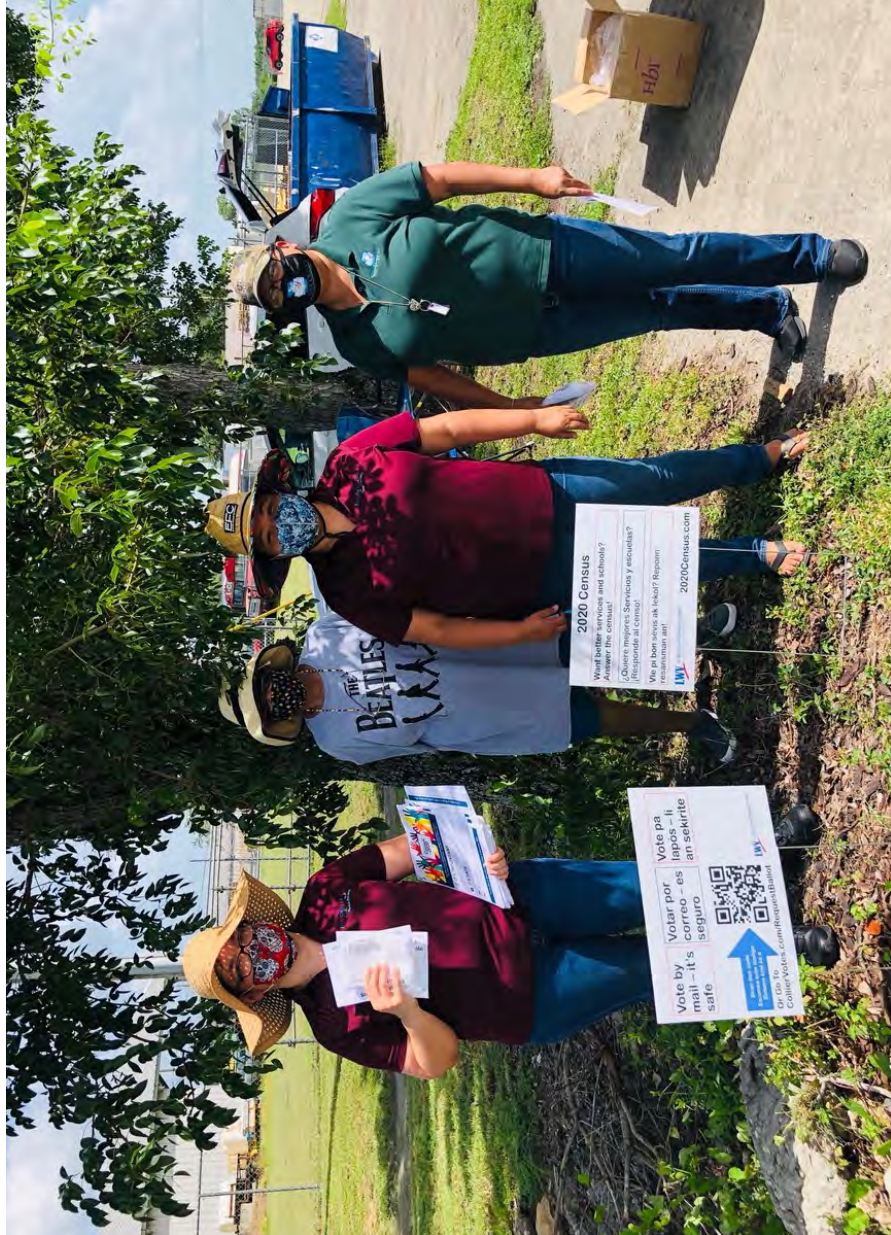
In March 2020, the CRA office closed due to COVID-19. Staff worked from home and conducted all meetings virtually. The CRA and MSTU advisory board meetings were canceled from February 2020 – May 2020. In June 2020, the advisory board meetings were conducted virtually via Zoom. In November 2020, the advisory board meetings commenced via Hybrid Zoom.

Please be assured that CRA staff is committed to caring for your health and well-being during this time. As a result of the COVID-19 event, we are practicing social distancing, and are conducting in person meetings by appointment only.



Zoom call to discuss the Immokalee Redevelopment Plan Update.

Community Outreach



Census 2020/Vote 2020
 Doing our part to help with Census and voting outreach at the Benison Distribution Center.



7th Annual Tree Lighting at Zocalo Park



7 Eleven Public Meeting
 Public Meeting held at Lozano's Restaurant for the 7 Eleven project.

20 Years

Immokalee Community Redevelopment Area

**Early Years
2000-2006**

Activities focused on public safety, adding lighting to various areas in the community, roadway improvements and supporting the establishment of the Weed and Seed program, a national initiative to weed out criminal activities and seed the community with resources.

2007

Immokalee CRA allocated \$250,000 in TIF funds to assist with the establishment of a Florida State University (FSU) School of Medicine rural health training center in Immokalee.



2008

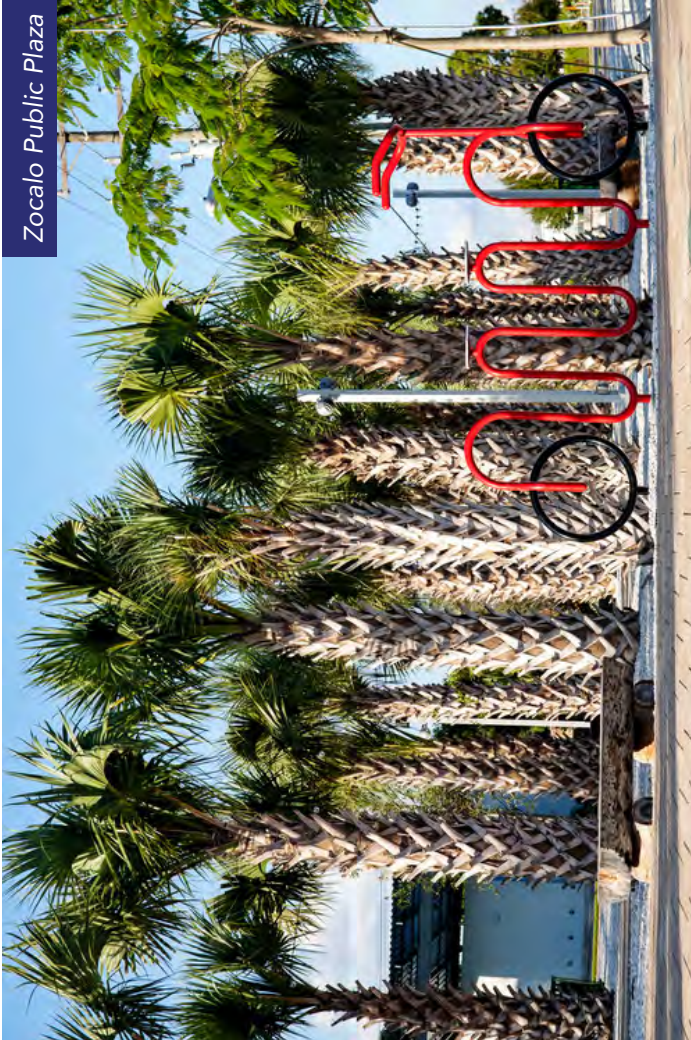
Immokalee CRA allocated \$600,000 for the development of Esperanza Place. This affordable housing development was built jointly by two not-for-profit developers, the Empowerment Alliance of Southwest Florida and Florida Non-Profit Services, Inc. and provided 176 rental units for Farmworker families and 60 single family homeownership units.



2012

The Downtown Immokalee Stormwater Improvement Project was completed. The project consists of approximately 17,000 linear feet of new concrete drainage pipe, 200 drainage structures, 1100 square yards of asphalt restoration, 52,000 square yards of sod and a 6.5-acre stormwater retention pond.

The CRA was awarded \$994,000 in Community Development Block Grant from Collier County Community and Human Services to purchase land at the corner of 1st Street and Main Street and establish an entry way into the Immokalee Community.



Zocalo Public Plaza

2014 Construction of the First Street "Zocalo" Public Plaza was completed.

The plaza received many awards which include:

- The National Community Development Association 2014 Audrey Nelson Award for Community Development
- The Collier Building Industry Association (CBIA) 2014 Sand Dollar award to Surety Construction Company for outstanding achievement in construction, category: Best Public Works Project Under \$1,000,000
- The Collier Building Industry Association (CBIA) 2014 Sand Dollar award to Surety Construction Company for outstanding achievement in construction, category: Best Specialty Feature by a Builder
- The American Institute of Architects (AIA) Design Excellence Award

In 2014, the Immokalee CRA awarded two construction contracts related to the continued implementation of the Immokalee Storm-water Master Plan. Construction for the two sites began on March 2015 and was completed on August 2015.



Eustis Sidewalk

The CRA was awarded \$600,000 in Community Development Block Grant funds from Collier County Humans Services to construct sidewalk and stormwater improvements along South Ninth Street, West Eustis Avenue, and a portion on South Fifth Street.

The CRA awarded a reimbursement grant totaling \$30,000 to Residential Options of Florida (ROOF). ROOF is a 501(c)(3) corporation that promotes safe, inclusive, affordable housing opportunities for individuals with developmental disabilities.

2018

CRA 2020 Goals & Projects

REDEVELOPMENT GOALS/PROJECTS	RELEVANT PROJECTS	INITIATED	STATUS	BUDGET CRA FY20	BUDGET MSTU FY20	OTHER* BUDGET 2020	BUDGET 2021
LAND USE PLANNING Collier County Community Redevelopment Plan	Immokalee Redevelopment Plan updates	Staff issued Notice to Proceed to Johnson Engineering on December 1, 2020 to provide planning support services for the Immokalee Community Redevelopment Plan. Completion of this project is set for March 31, 2022 (485 days).	This effort is specific to Section 4 of the Collier County Community Redevelopment Agency Community Redevelopment Plan, amended May 2019.	\$79,710			
Collier County Growth Management Plan	Immokalee Area Master Plan adopted updates	County staff prioritized implementation schedule.	County staff initiated according to priority.				
DEVELOPMENT							
Streamline and clarify development process	Commercial Façade Grant Program	In accordance with Objective 1.2 in the Immokalee Area Master Plan, the CRA continued to provide financial incentives to businesses in Immokalee via the Commercial Façade Improvement Grant program.	Eligible applicants may receive grant funding up to \$20,000 as reimbursement, using a one-half (1/2) to 1 match with equal applicant funding for funding for façade improvements to commercial structures.	\$40,000			TBD
Streamline and clarify development process	Sweat Equity Commercial Grant Program	In accordance with Objective 1.2 in the Immokalee Area Master Plan, the CRA continued to provide financial incentives to businesses in Immokalee via the Sweat Equity Commercial Grant program.	Eligible applicants may receive grant funding up to \$1,000 as reimbursement 50% of the cost of material for external improvements to existing commercial structures, buildings and surrounding property.	\$15,000			TBD
Streamline and clarify development process	Economic Development Incentive Program						TBD
Streamline and clarify development process	Demolition Program						\$20,000
Streamline and clarify development process	Florida Heartland Economic Region of Opportunity (FHERO) Site Improvement Plan DEO Grant	CRA was awarded grant totaling \$13,540	Professional Services for Airpark Blvd. The proposed scope of work includes general consulting, engineering, planning, and survey services to evaluate the subject site for commercial development.			\$13,540	
Streamline and clarify development process	Florida Heartland Economic Region of Opportunity (FHERO) Retail Demand Analysis DEO Grant	CRA was awarded grant totaling \$7,700	Professional Services for assessment of retail demand in the Immokalee Community.			\$7,700	
Streamline and clarify development process	Economic Development Strategy						TBD

CRA 2020 Goals & Projects

REDEVELOPMENT GOALS/PROJECTS	RELEVANT PROJECTS	INITIATED	STATUS	BUDGET CRA FY20	BUDGET MSTU FY20	OTHER* BUDGET FY20 2020	BUDGET 2021
INFRASTRUCTURE (TRANSPORTATION, CONNECTIVITY, & WALKABILITY)							
Increase safety, comfort, and connectivity for pedestrians	Immokalee Sidewalk Project - Phase I - Carver & S. Fifth Street.	Design was completed in 2020.	Construction began in September 2020 and is expected to be completed in March 2021.	\$220,070	\$94,679	\$676,361	
Increase safety, comfort, and connectivity for pedestrians	Immokalee Sidewalk Project - Phase II - W. Eustis Ave.	Design FY21 - \$60,000 MSTU funds	Construction FY23-\$320,000. Apply for FY23 CDBG Funding for construction			\$60,000	
Increase safety, comfort, and connectivity for active transportation modes	TIGER Grant Coordination - Lighting Improvements	MSTU to pay for Utility fees					TBD
Increase safety, comfort, and connectivity for active transportation modes	Main Street Pedestrian Safety Improvement Project: SR29 from 1st Street North to 9th Street North	MSTU provided advance deposit to FDOT for installation of holiday attachments on 30 light poles including banner arms, GFCI outlets, additional conductors, mobilization and maintenance of traffic.	Construction began in May 2020 and is expected to be completed in March 2021. The total project cost is estimated at 1.85 Million.		\$125,342		TBD
Increase safety, comfort, and connectivity for active transportation modes	Main Street Conceptual Plan Project: SR29 from 1st Street North to 9th Street North	Design FY2021/22 MSTU Funds. Develop concept plan for revitalizing Main Street Corridor	Construction fund allocated for upcoming years.				\$200,000
Increase safety, comfort, and connectivity for active transportation modes	First Street Corridor Conceptual Plan Project: South First Street from Main Street to School Road/Seminole Crossing Trail.	Design for future street lighting & pedestrian safety improvements. Preliminary plans in 2/21 and the consultant's work is scheduled to be completed 3/21	Estimated project costs and long-term maintenance costs will be included with the feasibility studies..		\$43,872		TBD
Ensure infrastructure will effectively achieve its primary purpose.	Stormwater Improvement Program	Allocate CRA funds for priority project					\$50,000
Improve the public transit connection	Collier Area Transit Bus Shelter #353 located on Roberts Avenue West in front of Roberts Senior Center.	Partnered with PTNE - CAT to complete shelter. Shared cost between the CRA, MSTU and PTNE grant to complete bus stop improvement to include ADA compliance, bench, bike rack, trash can, stormwater improvements and a shelter.	The contractor has completed the concrete work for site 353, and added a bench while waiting for the shelter, bike rack and trash to arrive. The shelter and amenities were ordered but are not anticipated to arrive until late Spring or early Summer.	\$15,000	\$15,000		
PUBLIC SPACE, PARKS & OPEN SPACE							
Ensure a clean and well maintained public realm	CRA Property Maintenance South 9th Street	Ongoing maintenance of CRA property	Maintained by Landscape Contract	\$6,500			\$6,500
Ensure a clean and well maintained public realm	CRA Property Maintenance First Street Zocalo Park	Ongoing maintenance of CRA property	Maintained by Park staff	\$10,000	\$10,000		\$20,000
Ensure a clean and well maintained public realm. Improve the public area.	First Street Corridor Zocalo Improvements	Design completed in 2020.	Electrical upgrades and Installation and Relocation of Kiosk and Bike Rack will be completed in 2021.		\$20,141		TBD
COMMUNITY SAFETY AND CLEANUP							
Improve Community Neighborhoods	Prioritize Neighborhood initiative						TBD
Improve Community Safety	Community Safety and Clean Up Strategy-code enforcement issues and safety	Develop Education Program					TBD
COORDINATION							
Improve range of Human Services							
Improve approaches and tools for communicating	5 Year Capital Improvement Plan	Part of Redevelopment Plan					
Coordinate with Collier County & Regulatory Agencies							
Coordinate with MSTU							
Seek Grant Funds/Leverage Funds							
* GRANT FUNDS							
TBD - Funding amount and funding source is to be determined							

Immokalee

Tax Increment 2000-2020

Fiscal Year	Taxable Value	Taxable Value		Total TIF Provided
		Value	% Change	
FY00	148,645,590			
FY01	156,720,943	8,075,353	5.4%	33,335
FY02	176,095,104	27,449,514	12.4%	123,000
FY03	196,490,394	47,844,804	11.6%	212,900
FY04	214,158,072	65,512,482	9.0%	291,500
FY05	228,019,489	79,373,899	6.5%	353,200
FY06	259,056,291	110,410,701	13.6%	491,400
FY07	341,537,872	192,892,282	31.8%	803,800
FY08	392,444,888	243,799,298	14.9%	889,000
FY09	374,317,144	225,671,554	-4.6%	822,900
FY10	288,108,618	139,463,028	-23.0%	560,600
FY11	261,857,985	113,212,395	-9.1%	460,400
FY12	235,844,805	87,199,215	-9.9%	354,600
FY13	214,569,564	65,923,974	-9.0%	268,000
FY14	227,275,140	78,629,550	5.9%	319,800
FY15	236,186,328	87,540,738	3.9%	356,000
FY16	256,919,738	108,274,148	8.8%	440,300
FY17	279,791,067	131,145,477	8.9%	544,600
FY18	300,041,620	151,396,030	7.2%	628,800
FY19	318,430,132	169,784,542	6.1%	705,000
FY20	330,799,753	182,154,163	3.9%	756,600
Grand Total				9,415,735

Immokalee CRA

Schedule of Revenues & Expenditures

Budget to Actual

Budget Year 2020 - Fund 186

Description	Adopted		Amended		Actual	Variance to	
	Budget	Budget	Budget	Budget		Amended	Budget
Revenues							
Beginning Balance	\$ 779,900	\$ 888,850	\$ 925,400	\$ 36,550			
Interest	11,400	11,400	20,832	9,432			
Trans Grant Match	60,000	314,749	86,804	(227,945)			
Tax Increment	756,600	756,600	756,600	- 0			
Mgt. Fee	85,000	85,000	85,000	- 0			
Misc. Rev	- 0	- 0	12,207	12,207			
Grant & Reimburse	- 0	676,365	- 0	(676,365)			
Total Sources	\$ 1,692,900	\$ 2,732,964	\$ 1,886,843	\$ (846,121)			
Less: Intrafund Transfers	(60,000)	(220,000)	(86,804)	133,196			
Net Sources	\$ 1,632,900	\$ 2,512,964	\$ 1,800,039	\$ (712,925)			
Expenditures							
Personal Services	\$ 257,300	\$ 212,300	\$ 146,119	\$ (66,181)			
Operating Exp.	252,700	348,123	201,376	(146,747)			
Capital Outlay/Projects	3,500.00	1,003,141	98,365	(904,776)			
Grant Programs	75,000	50,000	- 0	(50,000)			
Transfers	151,600	151,600	151,600	- 0			
Trans Grant Match	60,000	220,070	86,804	(133,266)			
Reserves/Est. Carry Forward	892,800	747,730	1,202,579	454,849			
Total Uses	\$ 1,692,900	\$ 2,732,964	\$ 1,886,843	\$ (846,121)			
Less: Intrafund Transfers	(60,000)	(220,000)	(86,804)	133,196			
Net Uses	\$ 1,632,900	\$ 2,512,964	\$ 1,800,039	\$ (712,925)			

The Redevelopment Trust Fund was established in 2000, which set the tax base at \$148,645,590. The January 2020 assessed real property value was reported at \$330,799,753. The related tax increment value for the 2020 budget was \$182,154,163 which resulted in a tax increment budget of \$756,600.

In accordance with Section 163.371 Florida Statute, the annual report for the Immokalee Community Redevelopment Area (CRA) has been filed with Collier County. This report includes information on activities for fiscal year 2020. Complete financial statements setting forth assets liabilities, income and operating expenses, as of the end of the fiscal year are contained in the 2020 Collier County Comprehensive Annual Financial Report (CAFR) that is on file at the Collier County Clerk of Court, www.collierclerk.com.

Immokalee Beautification Municipal Services Taxing Unit

Schedule of Revenues & Expenditures Budget to Actual

Budget Year 2020 - Fund 162

Description	Adopted Budget		Amended Budget		Actual		Variance to Amended Budget
Revenues							
Beginning Balance	\$	731,900	\$	738,981	\$	870,700	\$ 131,719
Ad Valorem Taxes		375,252		375,252		378,440	3,189
Interest		6,648		6,648		19,023	12,375
Misc., TC & PA Trans		-		-		78,089	78,089
Total Sources	\$	1,113,800	\$	1,120,881	\$	1,346,253	\$ 225,372
Expenditures							
Operating Exp.	\$	273,600	\$	280,681	\$	112,443	\$ (168,238)
Capital Outlay/Projects		105,000		105,000		-	(105,000)
Mgt. Fee		85,000		85,000		85,000	0
Cost of Tax Collection		12,300		12,300		11,320	(980)
Transfers		-		94,679		-	(94,679)
Reserves/Est. Carry Forward		637,200		542,521		1,137,490	594,969
Total Uses	\$	1,113,100	\$	1,120,181	\$	1,346,253	\$ 226,072

Immokalee CRA Managed Road Segment - Immokalee Road & SR 29

Schedule of Revenues & Expenditures Budget to Actual

Budget Year 2020 - Fund 111-163805

Description	Adopted Budget		Amended Budget		Actual		Variance to Amended Budget	
Revenues								
Net Cost Unincorp Gen'l Fund	\$	215,700	\$	215,700	\$	199,905	\$	(15,795)
Total Sources	\$	215,700	\$	215,700	\$	199,905	\$	(15,795)
Expenditures								
Landscape Material	\$	42,300	\$	42,300	\$	10,570	\$	(31,730)
Contractual Maintenance		140,000		140,000		168,338		28,338
Trash		11,000		11,000		1,340		(9,660)
Water & Electricity		19,000		19,000		19,526		526
Sprinkler/Other Supplies		3,400		3,400		131		(3,269)
Total Uses	\$	215,700	\$	215,700	\$	199,905	\$	(15,795)



Collier County Community Redevelopment Agency - Immokalee

CareerSource Southwest Florida
750 South Fifth Street, Suite C
Immokalee, FL 34142
www.ImmokaleeToday.com
239-867-0025



**BYLAWS OF THE IMMOKALEE LOCAL REDEVELOPMENT
ADVISORY BOARD OF COLLIER COUNTY, FLORIDA**

ARTICLE I. NAME AND PURPOSE

SECTION 1. Name: The local Advisory Board shall be known as Immokalee Local Redevelopment Advisory Board (the Advisory Board).

SECTION 2. Redevelopment Area: The area of operation of the Advisory Board consists of that certain geographical area identified in CRA Resolution No. 2000-01 by the Community Redevelopment Agency (CRA) and Resolution No. 2000-181 by the Board of County Commissioners, and referred to therein as the Immokalee Redevelopment Area (the Redevelopment Area).

SECTION 3. Purpose: The Advisory Board is intended to be the primary vehicle for community and professional input to the CRA for matters relating to the Redevelopment Area. The Advisory Board will consider and make recommendations to the CRA concerning the Immokalee Redevelopment Plan (the Redevelopment Plan), the hiring, measurement, and firing of staff, amendments to the Redevelopment Plan, the Redevelopment Area work program and its implementation, proposed acquisitions under the Redevelopment Plan, and any redevelopment or other public projects proposed for the Redevelopment Area. The CRA retains all executive authority and must approve any programs, actions, budgets, and capital expenditures contemplated by the Advisory Board. More specifically, the purpose and duties of each Advisory Board shall be as follows:

- (a) review the applicable Redevelopment Area's Redevelopment Plan and when necessary recommend to the CRA any changes to the Plan;
- (b) develop plans and budgets including expected personnel costs to realize the goals of the Redevelopment Plan including developing an annual work program, identifying project priorities, identifying appropriate capital expenditures, and developing incentives to further the redevelopment efforts and effectuate the purposes and provisions of the Act in the Redevelopment Area to be reviewed and approved by the CRA prior to each fiscal year;
- (c) consistent with the plans and budgets approved by the CRA, identify and employ or retain by contract such staff, personnel, technical experts, legal counsel, and other such agents and employees, permanent or temporary, as it requires, and determine their qualifications and duties. The Advisory Board may request and recommend contracts either with the County or with other persons, firms and individuals to provide services for and on behalf of the CRA.

(d) receive input from members of the public interested in redevelopment of the Redevelopment Area and to report such information to the CRA; and

(e) review and recommend CRA action on any redevelopment or other public projects proposed in the Redevelopment Area as authorized under Chapter 163, Part III, *Florida Statutes*.

(f) maintain general oversight of all activities, acquisitions, or other undertakings consistent with the power and authority delineated in Part III, Chapter 163 *Florida Statutes* that may further the interests of the Redevelopment Area and facilitate realization of the Redevelopment Plan.

ARTICLE II. ADVISORY BOARD

SECTION 1. Function: The Advisory Board is established to carry out those purposes that are outlined in Article I, Section 3 hereof.

SECTION 2. Authority; Standing Rules: The Advisory Board shall be subject to the direct supervision of the CRA. The Advisory Board may prepare and adopt standing rules of procedure. Preparation, adoption and amendment of any such standing rules shall be at the discretion of the Advisory Board and must be consistent with these Bylaws, CRA Resolution No. 2000-01 and BCC Resolution No. 2000-181 which adopted the Redevelopment Plan, BCC Resolution No. 2000-83 which declared the BCC to be the CRA and authorized the creation of the Advisory Boards, the adopted Redevelopment Plan and the Act. Proposed standing rules or amendments to such rules shall be submitted by the Advisory Board to the CRA for a determination of consistency with all of the above. Any proposed rules or amendments to the rules will be effective upon that determination.

Members of the Advisory Board shall serve without compensation, but may be entitled to receive reimbursement for expenses reasonably incurred in the performance of their duties upon prior approval of the CRA Board.

SECTION 3. Appointment and Qualifications: The Advisory Board shall nominate members for review and approval by the CRA.

Consideration should be given to appointing members that have experience in the following professions: finance, banking, architecture, engineering, education, law enforcement, social work, real estate sales and development, planning or design and building construction.

Each member of the Advisory Board shall engage in business in the Redevelopment Area. For purposes of these bylaws, an individual who "engages in business" means an individual who owns real property or a business, practices

a profession or performs a service for compensation, or serves as an officer or director of a corporation or other business entity so engaged.

Any group, committee or board existing at the time of adoption of these Bylaws may present one or more of its members for appointment as long as consideration is given to balancing the Advisory Board with representatives from the above-recommended professions.

SECTION 4. The Immokalee Local Redevelopment Advisory Board: Consideration should be given to appointing members of the Advisory Board for the Immokalee ~~Component~~ Redevelopment Area as follows:

- (a) ~~Three (3)~~ Two (2) Immokalee residents;
- (b) ~~Three (3)~~ Two (2) individuals representing Immokalee businesses;
- (~~e~~) ~~Three (3)~~ representatives from local law enforcement to include County Code Enforcement, Sheriff's Office or Immokalee Fire Control District;
- (~~d~~) (c) One (1) Immokalee Lighting and Beautification Municipal Service Taxing Unit (MSTU) Representative;
- (~~e~~) (d) One (1) individual representing a non-profit operating in the Immokalee ~~Component~~ Redevelopment Area;
- (~~f~~) (e) Three (3) at-large representatives who reside or engage in business, or both, in the Immokalee ~~Component~~ Redevelopment Area.

~~One (1) individual representing the Immokalee Chamber of Commerce.~~

SECTION 5. Application Procedures: Applicants must be residents and electors of Collier County. Given Immokalee's close proximity to both Lee and Hendry County's, waivers to the residency requirement can be awarded by the BCC to individuals who fall into one of the categories identified in Section 64, bullets a. thru g.

Residents interested in applying to serve on the Advisory Board shall submit an application requesting such appointment and containing a brief resume to the County Attorney's Office. The Advisory Board will review those applications submitted and forward its recommendations to the ~~County Attorney's Office~~ BCC Advisory Board Coordinator. Guidelines for appointing the members to the Advisory Board will be consistent with those procedures outlined in BCC Resolution No. 2006-83.

SECTION 6. Terms: Advisory Board members shall serve for ~~two (2)~~ three (3) year terms, ~~with no more than two reappointments permitted.~~ The terms of office shall be staggered.

SECTION 7. Vacancies: Vacancies occurring on the Advisory Board shall be publicized, but need not be advertised, in a publication of general circulation within the County; and vacancy notices are to be posted in the County libraries, at

the County Government Center and on the internet by the ~~Office of the County Attorney~~ BCC Advisory Board Coordinator. Appointment to fill vacancies will be administered as provided in Section 5 of this Article. The term of an Advisory Board member appointed to fill a vacancy expires at the time the term of the vacating member would have expired.

SECTION 8. Attendance, Removal and Resignation: It is the intent and strong desire of the CRA that there be full attendance of Advisory Board members at all meetings, recognizing, however, that it may be necessary for board members to be absent from a meeting due to unusual or emergency circumstances. The following requirements are established:

(a) Any Advisory Board member who is absent for more than two-thirds of the Advisory Board's meetings in a given fiscal year shall be deemed to have tendered his or her resignation from the Advisory Board. The CRA shall, as soon as practicable after such resignation, declare the position vacant and shall promptly fill the position. The affected Advisory Board member shall not serve at any meeting after his or her position is declared vacant by the CRA.

(b) In the event that any Advisory Board member is absent from two consecutive Advisory Board meetings without an excuse acceptable to the Advisory Board, the Advisory Board chairman shall state such fact at the next regularly scheduled Advisory Board meeting and shall thereafter notify, in writing, the CRA of the Advisory Board member's failure to attend without a satisfactory excuse. The CRA shall review the notification at a CRA meeting and shall declare the Advisory Board member's position to be vacant if the CRA concurs that the Advisory Board member was absent from two consecutive Advisory Board meetings without a satisfactory excuse and shall promptly fill that position pursuant to the provisions of Article II, Section 7.

(c) For purposes of this Section 8, attendance means presence at the meeting no later than fifteen minutes after the meeting is called to order as verified by the Secretary on the attendance record.

(d) A member may resign at any time by delivering notice thereof to the Advisory Board and the CRA Chairman. A resignation is effective when the notice is delivered to the CRA Chairman unless the notice specifies a later effective date and the CRA accepts the future effective date. The pending vacancy may be filled before the effective date provided that the successor does not sit on the Advisory Board at a meeting until the effective resignation date.

ARTICLE III. OFFICERS AND SECRETARY

SECTION 1. Officers: The officers of the Advisory Board shall be a Chairman and a Vice Chairman. The Secretary shall be the individual assigned from CRA staff, but shall have no vote.

SECTION 2. Role of Chairman: The Chairman shall preside at all meetings and hearings of the Advisory Board and shall have the duties normally conferred by parliamentary usage on such office. The Chairman shall call special meetings, serve as the Advisory Board liaison to the CRA, and shall perform such other duties as are customary for the Chairman.

SECTION 3. Role of Vice Chairman: The Vice Chairman shall act for the Chairman in the Chairman's absence. The Vice Chairman shall also perform such duties as are delegated by the Chairman.

SECTION 4. Role of Secretary: It is the duty of the secretary to (a) keep the minutes of the proceedings of the meetings of the Advisory Board, (b) provide all notices in accordance with the provisions of these Bylaws or as required by law, (c) post or cause to be posted all meeting notices as required and notify members, (d) maintain custody of the Advisory Board records, and (e) in general perform all duties from time to time as may be prescribed by the Chairman or the Advisory Board.

SECTION 5. Officer Absences: In the absence of the Chairman and Vice Chairman, the quorum present shall select a Chairman for the meeting.

SECTION 6. Election of Officers: Officers shall be elected annually at the first regular meeting of the year. Election requires nomination from the floor and an affirmative vote by a majority of the Advisory Board members present and voting, provided a quorum is present at such meeting. Officers shall be seated immediately upon their election.

SECTION 7. Terms of Office: Each officer duly elected by the Advisory Board shall serve a term of one year until the next annual election (or as otherwise determined by the standing rules of the Advisory Board). All officers shall hold office until their successors have been elected or until their earlier resignation, removal from office or death. No person may simultaneously hold more than one office on the Advisory Board.

SECTION 8. Officer Vacancies: If a vacancy exists for any office, the Advisory Board shall elect a new officer by the affirmative vote of a majority of the Advisory Board members present and voting at a meeting of the Advisory Board, to fill the incomplete term of the vacated office.

SECTION 9. Removal or Resignation: The Advisory Board may remove an officer at any time with or without cause by the affirmative vote of a majority of the Advisory Board members present and voting at a duly constituted meeting of the Advisory Board. An officer may resign at any time by delivering notice

thereof to the Advisory Board. A resignation is effective when the notice is delivered to the Advisory Board unless the notice specifies a later effective date and the Advisory Board accepts the future effective date. The pending vacancy may be filled before the effective date provided that the successor does not take office until the effective date.

ARTICLE IV. SUBCOMMITTEES

SECTION 1. Creation: The Advisory Board may create, from time to time, such subcommittees as shall be necessary or desirable to carry out the functions, purposes, and objectives of the Advisory Board. Any such subcommittees shall be subordinate to the Advisory Board, shall be assigned a specific purpose and objective, and shall be given a date certain to complete its tasks, at which time the subcommittee shall be dissolved, unless said date is extended by the affirmative vote of a majority of the Advisory Board members present and voting at a duly constituted meeting of the Advisory Board.

SECTION 2. Members: The members of such subcommittee shall be elected by the Advisory Board for such term and shall have qualifications as the Advisory Board may desire.

SECTION 3. Removal: The Advisory Board may remove any subcommittee member with or without cause by the affirmative vote of a majority of Advisory Board members present and voting at any meeting of the Advisory Board.

SECTION 4. Rules and Procedures: The subcommittees shall be subject to the same parliamentary procedures as the Advisory Board and Florida's Government in the Sunshine Law.

ARTICLE V. MEETINGS

SECTION 1. Meetings: Regular meetings of the Advisory Board shall be held on such day, time and place as may be determined by the Advisory Board, and at a minimum once a month. The purpose of the meetings is to discuss and to then prepare recommendations and advice to the CRA on matters brought before the Advisory Board.

SECTION 2. Quorum and Voting: At all regular or special meetings of the Advisory Board, a majority of the membership of the Advisory Board shall constitute a quorum. Voting shall be by voice unless a member of the Advisory Board requests a roll call. The roll shall be in alphabetical order with the first name called rotating with each motion upon which the vote is called. The Chairman shall always vote last. A record of the roll call shall be kept as part of the minutes.

SECTION 3. Special Meetings: Special meetings may be called by the Chairman at anytime provided adequate notice is given pursuant to this Article. The

Chairman may also call a special meeting when requested to do so in writing by a majority of the members of the Advisory Board or by a CRA staff member. The notice of such a meeting shall specify the purpose of such a meeting and no other business may be considered except by unanimous consent of the Advisory Board. All members of the Advisory Board shall be notified in advance of such special meetings by the Secretary.

SECTION 4. Notice and Publication: The Secretary shall give notice and keep a record of such notice of its meetings and the meetings of the subcommittees including the date, time, and location of each regular and special meeting. Notice shall be forwarded to the County Communications and Customer Relations Department for posting at the County Government Center and other appropriate locations as recommended by the Advisory Board and at the County Communications and Customer Relations Department.

SECTION 5. Open Meetings: All meetings of the Advisory Board or its subcommittees shall be open to the public and governed by the provisions of Florida's Government in the Sunshine Law.

SECTION 6. Minutes: The minutes of all meetings shall be promptly recorded, and such records shall be open to public inspection, in accordance with applicable law. Approved minutes should be forwarded to the Board's Minutes and Records Department.

SECTION 7. Location: Meetings of the Advisory Board, or any of its subcommittees shall be held in a location accessible to the public.

SECTION 8. Meeting Agenda: The agenda for each meeting of an Advisory Board or any of its subcommittees shall be outlined by the Chairman and submitted to the Secretary for preparation. Any Advisory Board member or subcommittee member may place an item on its own agenda by submitting it to the Chairman for forwarding to the Secretary prior to the deadline for publishing the notice of such meeting.

SECTION 9. Order of Business: The order of business at regular meetings shall be:

- (a) Call to Order
- (a)(b) Roll Call
- (b)(c) Adoption Approval of the Agenda
- (c)(d) Adoption Approval of Minutes from Previous Meeting
- (d)(e) Communications
- (e)(f) Old Business
- (f)(g) New Business
- (g)(h) Citizen Comments
- (h)(i) Adjournment

SECTION 10. To provide for the orderly and efficient conduct of its meetings, each Advisory Board shall follow Roberts Rules of Order.

ARTICLE VI. CONFLICT

The provisions of these bylaws shall apply to the Advisory Board except as otherwise provided by Collier County Ordinance No. 95-22, as amended. ~~It is the intent of the CRA that Collier County Ordinance No. 2001-55, as amended, shall not apply to the Advisory Boards.~~

ARTICLE VII AMENDMENTS

These Bylaws may be amended at any duly constituted meeting of the CRA by an affirmative vote by a majority of the CRA members present and voting after the proposed amendment has been listed on the agenda and submitted to the CRA for review and discussion.



CRA RESOLUTION NO. 2016- 198

A RESOLUTION OF THE COMMUNITY REDEVELOPMENT AGENCY OF COLLIER COUNTY, FLORIDA, AMENDING AND RE-ADOPTING CRA RESOLUTION 2001-98, AS AMENDED, AS IT RELATES TO THE BYLAWS OF THE IMMOKALEE LOCAL REDEVELOPMENT ADVISORY BOARD, CONFIRMING THE MEMBERSHIP, AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on March 27, 2001, the Collier County Community Redevelopment Agency (CRA), approved CRA Resolution Number 2001-98, which adopted bylaws for the CRA and its Advisory Boards; and

WHEREAS, CRA Resolution Number 2001-98, has been amended multiple times the most recent being CRA Resolution Number 2015-217; and

WHEREAS, the CRA wishes to update the bylaws of the Immokalee Local Redevelopment Advisory Board to reduce the number of Advisory Board members to be consistent with other CRA Advisory Board representation and provide for staggered, three year terms of office; and

WHEREAS, the CRA has determined that all requirements necessary to amend these bylaws have been met; and

WHEREAS, the CRA wishes to clarify and confirm the current membership and terms of office of the Immokalee Local Redevelopment Advisory Board.

NOW, THEREFORE, BE IT RESOLVED, BY THE COLLIER COUNTY COMMUNITY REDEVELOPMENT AGENCY that:

1. The terms and classifications for the following members of the Immokalee Local Redevelopment Advisory Board are confirmed as follows:
 - a. MICHAEL FACUNDO, whose current term expires on April 4, 2019, was formerly classified as "Non-profit Community Based Organization representative" and is hereby reclassified as "Resident."
 - b. ESTIL NULL, whose current term expires on April 4, 2018, shall continue in the classification of "Resident".
 - c. EDWARD "SKI" OLESKY, whose current term expires on April 4, 2017, shall continue in the classification of "Business."
 - d. CYNTHIA LOZANO, whose current term expires on April 4, 2017, shall continue in the classification of "Business".
 - e. ANDREA HALMAN, whose current term expires on April 4, 2019, was formerly classified as "Resident" and is hereby reclassified as "Immokalee Lighting and Beautification MSTU Representative".

- f. FRANK NAPPO, whose current term expires on April 4, 2019, shall continue in the classification of "Non-profit Representative".
 - g. The three currently vacant terms shall be reclassified as "At-Large Resident/Business in the Immokalee Redevelopment Area" and when filled will expire on staggered years.
2. As a result of the reduction in the number of seats on this board, the terms of office for the following Immokalee Local Redevelopment Advisory Board members are terminated upon adoption of this Resolution:
- a. JULIO ESTREMER, in the classification "Non-profit Community Based Organization";
 - b. JOSEPH MUCHA in the classification "Local Code Enforcement Agency";
 - c. JAMES WALL, in the classification "Southwest Florida Workforce Development Board"; and
 - d. MARTHA WILLIAMS, in the classification "Business".
3. The bylaws of the Immokalee Local Redevelopment Advisory Board attached hereto and incorporated by reference herein are hereby approved and re-adopted as revised and amended.
4. Except as modified above, the bylaws adopted by CRA Resolution Number 2001-98, as shall remain in full force and effect.
5. The attached bylaws as revised and amended with words ~~stricken through~~ are deleted; words underlined are added, shall be effective upon adoption of this Resolution.

This Resolution adopted after motion, second and majority vote this 27th day of September, 2016.

ATTEST:
DWIGHT E. BROCK, Clerk

THE COLLIER COUNTY COMMUNITY
REDEVELOPMENT AGENCY

by: *Dwight E. Brock*
Deputy Clerk

By: *Tim Nance*

Attest as to Chairman's
signature only
Approved as to form
and legality:

TIM NANCE, CHAIRMAN

JAB
Jennifer A. Belpedio
Assistant County Attorney

JAB
8/25/16



History of Land Development Code Planning

2008- CRA hired RWA, Inc. to update the complete a rewrite of the Immokalee Area Master Plan, a Transportation Plan, Immokalee specific Land Development Codes and a Capital Improvements Plan. RWA, Inc. completed the Master Plan re-write and community review within six months. In September 2008, the contract was amended to include a Public Realm component. On December 3, 2008, the Draft Master Plan was submitted to the Collier County Comprehensive Planning Department in the form of a Comprehensive Plan Amendment for review and submittal to the Florida Department of Community Affairs.

2009 – the Immokalee Area Master Plan continued to be reviewed and revised to meet the community needs.

2009 – Draft Form Based Code and Public Realm guidelines were completed

February 2010 – Form Based Code and Public Realm was presented to BCC but no action took place

June 2010 – Draft Immokalee Area Master Plan was approved by the BCC and submitted to Department of Community Affairs (DCA) for review.

September 2011 – Review for DCA completed with objections and recommendations to modify the plan. Anticipated completion early 2011.

June 2010, the BCC adopted interim LDC amendments to facilitate development until new land development codes were adopted. The new land development code was put on hold until the Immokalee Area Master Plan was adopted.

2011 – Immokalee Area Master Plan update put on hold.

2015 – GMD requested the Form Base Code to be brought back to the Advisory Board for review and consideration.

Sept 15, 2015 Special Meeting of Advisory Board reviewed the document.

2015 – After further discussion with GMD, it was decided the Immokalee Area Master Plan update was required prior to the Land Development Code moving forward

2019 – Immokalee Area Master Plan was adopted.

2021 – Land Development Code Revision Process begins

CENTRAL BUSINESS DISTRICT FORM-BASED GUIDELINES

IMMOKALEE CRA

Community Redevelopment Agency
iThe Place to Call Home!



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I. INTRODUCTION

INTRODUCTION

The Immokalee community has been recognized as a prime winter agricultural center serving the entire country. This reputation has been changing in recent years and although agriculture will continue to form an important part of the character of the community, it is important for Immokalee to reaffirm its character as a sustainable community housing a variety of cultures and traditions. These design guidelines are intended to reinforce that character through the design of the urban form and its buildings.

The Central Business District Form-Based Guidelines is a companion document to the Immokalee CRA Public Realm Plan (PRP). The PRP establishes a distinct “brand” for Immokalee through signature improvements to public spaces within an area defined as the Central Business District (CBD). These improvements consist of an updated streetscape design, new way-finding and signage recommendations, and two new public plazas. The CBD includes the Main Street/State Road 29 corridor from 9th Street to the east and East 2nd Street to the west, and the South 1st Street corridor from Pine Street on the north and the Seminole Casino on the south.

PURPOSE

The intent of these design guidelines is to direct development within the Immokalee community toward creating a cohesive urban pattern of buildings and streetscapes that balances the pedestrian and traffic needs of residents, while protecting and enhancing the original pattern of development. These guidelines will provide a reference document for parties interested in infill development and redevelopment in the CBD and will be utilized in the creation of Immokalee-specific Land Development Regulations (LDRs).

The design guidelines are intended to be flexible in nature and encourage design diversity within a unified theme. While the County and the CRA promote economic growth and commercial development in areas with access to arterial and collector roadways, they also encourage protection of residential and rural interests from the impacts of non-residential development. Through the implementation of these design guidelines and subsequent LDRs, a framework for developing a vibrant, sustainable downtown will be created. In addition, these guidelines will allow for Crime Prevention Through Environmental Design (CPTED) strategies (Natural Surveillance, Territorial Reinforcement, Natural Access Control and Target Hardening) to be fostered by maximizing a pedestrian-friendly environment of connectivity and access throughout the overlay area. By encouraging infill development and greater use of the downtown through design such as, improvements in architectural guidelines, improvements in pedestrian and bicycle facilities, and the use of local materials, the CRA will be promoting smart growth principles and encouraging future growth to develop in a sustainable manner.


APPLICABILITY

The design guidelines contained in this document will apply to all new construction or substantial redevelopment of non-residential, mixed-use and multi-family uses within the Central Business District Design Overlay. The guidelines will be implemented through the Immokalee-specific LDRs being currently developed and the creation of a special area zoning overlay.

For the purpose of this report, the proposed guidelines cover an area slightly greater than the defined CBD boundaries. This area is divided into three subdistricts: the South 1st Street Subdistrict, and the Main Street Subdistrict, which fall within the CBD, and the 15th Street Subdistrict, which is optional area that could eventually be incorporated in the CBD.

Figure 1: Central Business District Design Overlay



 Optional area that could be included within the CBD.

The 15th Street Subdistrict is more suburban in nature than the rest of the CBD; however, due to its proximity to the CBD and potential for future commercial and mixed-use development, it is included as a potential future expansion area. Each subdistrict contains design guidelines tailored to the unique character and existing conditions found in the area. See **Figure 1** for the location of the Main Street Subdistrict, the First Street Subdistrict and the Fifteenth Street Subdistrict.

The guidelines and the forthcoming LDRs are intended to create, over time, a distinctive pedestrian-friendly business district. The intent is not to require existing buildings to conform to these new regulations unless they are subject to substantial renovations. As property owners decide to renovate their buildings, they will be encouraged to conform to the guidelines contained in this document. **Figure 2** shows conceptual examples of minor façade improvements that would help reinforce the character of the Immokalee CRA.

Before

After



Figure 2: Opportunity for Façade Improvements within the Design Overlay

II. THE IMMOKALEE DESIGN OVERLAY DISTRICT

The Immokalee Design Overlay District has an area of approximately 513 acres, comprised of 671 parcels. The Existing Conditions Report describes in detail the prevalent development patterns in the area. This section summarizes those findings and describes the character/image expected to be created with the implementation/enforcement of the standards contained in this report.

A. SUMMARY OF EXISTING CONDITIONS

1. Main Street Subdistrict:

The portion that runs east-west (Main Street) from Second Street East and Hancock Street is characterized by a traditional urban commercial storefront development, with heavy pedestrian use and buildings close to the street. Most buildings are one story.



2. First Street Subdistrict:

The First Street corridor from Eustis Avenue to West Main represents a major entrance to the community and a connection between the Seminole Casino and the Main Street corridor. Development along this street is characterized by a mix of business, institutional and residential buildings typically close to the street.



3. Fifteenth Street Subdistrict(Optional) :

This sub district is an optional area that could eventually be incorporated within the CBD. area along Fifteenth Street between Hancock Street and 11th Street changes to a more suburban setting with buildings setback farther from the street, numerous

driveways along the south side of the street, and a more prominent presence of automobile-related uses.



The

area (curve) between 11th Street and Roberts Avenue is characterized by a suburban cross-section. The character of this area is dominated by a vehicular orientation, resulting in little to no pedestrian friendly features. Currently, there are no commercial buildings fronting on this street.

CENTRAL BUSINESS DISTRICT FORM-BASED GUIDELINES

II. THE IMMOKALEE DESIGN OVERLAY DISTRICT

The character of the corridor between Roberts Avenue and Immokalee Drive is not well defined, but instead is a mix between both the Main Street and First Street corridor characteristics. Some buildings have located close to the street, while others are behind parking areas.



B. DESIRED IMAGE

In order to maintain and enhance the urban development character of downtown Immokalee, to maintain its existing pattern of development, and to reinforce the diversity of cultures in the Immokalee area, general design standards were created for new development and redevelopment within the design overlay district.

The following are development goals established for the specific subareas within the Design Overlay district. Development Standards were created to fulfill these goals.

1. Main Street Corridor:

- Goal 1:** Strengthen the pedestrian orientation of this area by ensuring the sidewalk/public activity areas are widened.
- Goal 2:** Encourage the development of storefront buildings along the Main Street corridor.
- Goal 3:** Encourage two story mixed-use buildings, while allowing for the smaller building types that have historically located along this corridor.
- Goal 4:** Require key architectural elements to create an identifiable cultural theme.

2. First Street Corridor:

- Goal 1:** Require new buildings to locate close to the street.
- Goal 2:** Encourage the development of storefront buildings along the 1st Street corridor.
- Goal 3:** Provide building continuity along the block to encourage pedestrian activity.
- Goal 4:** Emphasize the importance of architecture in creating a gateway into downtown Immokalee.

3. Fifteenth Street Corridor(Optional):

- Goal 1:** Transition the urban form to a less urban pattern of development by requiring new buildings to locate close to the street; however, allowing for more flexibility in the block/building continuity along the sidewalk.

4. Interior Streets:

All streets running perpendicular and parallel to the main corridors noted above.

- Goal 1:** Develop a pedestrian-oriented character by requiring new buildings to locate close to the street.
- Goal 2:** Allow narrower sidewalks than those along the main corridors in order to provide a transition between the prominent urban corridors of Main Street, First Street and Fifteenth Street to the more residential areas adjacent to the downtown.

III. DEVELOPMENT STANDARDS

A. BLOCK LAYOUT

The configuration of blocks and lots is very critical for corridors that are designed predominantly for foot traffic rather than vehicular traffic. To maintain and enhance the pedestrian-friendly urban character of the Main Street and First Street Subdistricts, as well as to achieve a balance between the automobile and pedestrian activities, it is important to preserve the current size of the blocks, rather than allowing the consolidation of smaller blocks into mega blocks. New development should not be allowed to vacate existing rights-of-way, including alleys, to form mega/super blocks. **Figure 3** shows the current block layout within the design Districts.

In the Fifteenth Street district, new development should consider the creation of new streets to improve vehicular and pedestrian connectivity in the area.

B. BUILDING PLACEMENT

1. Building Setbacks

Buildings should be located as close to the street as possible. However, it is important that sufficient width is preserved along the sidewalk to provide for adequate walking space. **Table 1** lists the required front/corner and side yard setbacks for new development within the various design subareas. Rear yard setbacks shall follow the requirements for the zoning district.

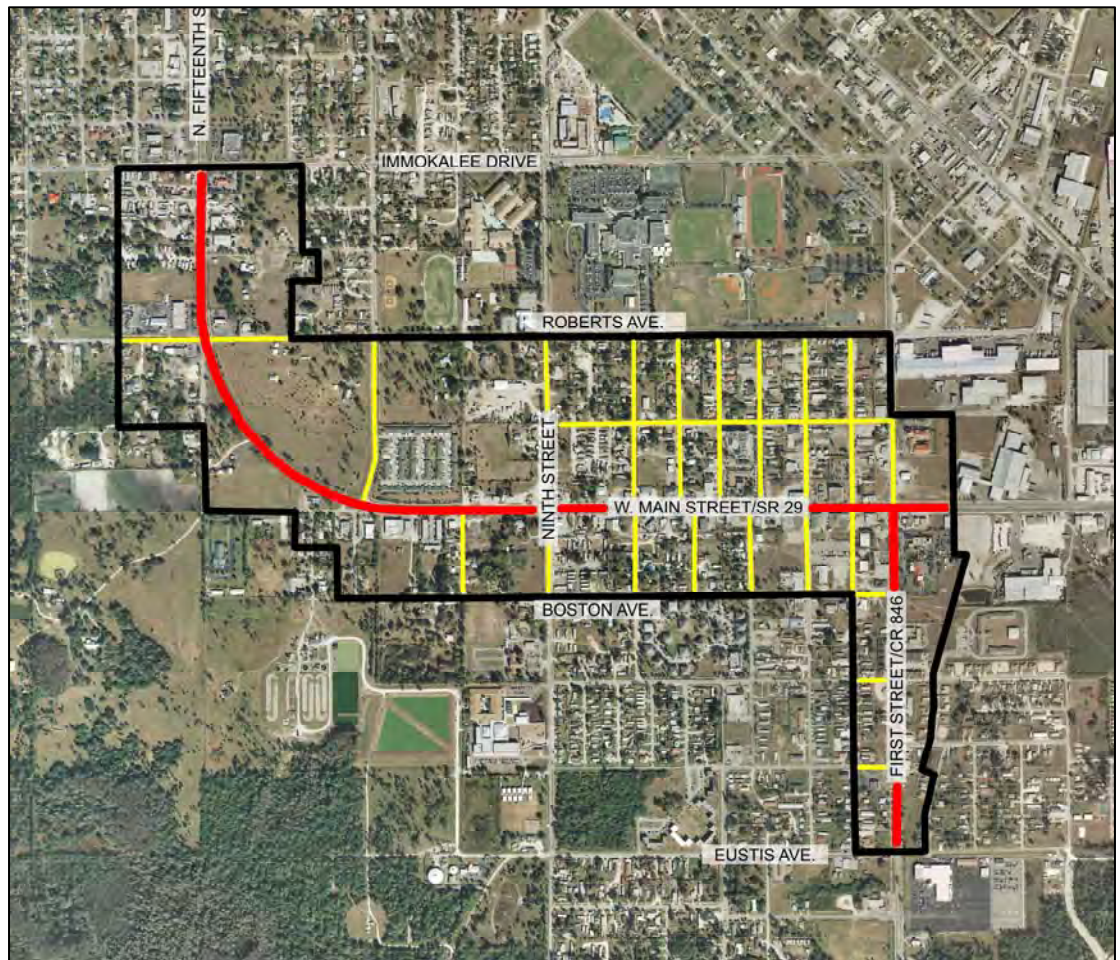


Figure 3: Existing Block Structure in Downtown Immokalee

Table 1: Immokalee Design Overlay Setbacks

Design District	Setback from the Street (front/corner)	Side Yard Setback
Main Street	0' from property line or 10' maximum from the back of the curb*, whichever is greater (see Fig. 4 & 5)	Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Fig. 7) Max. = 50% of lot width (both sides combined) (see Fig. 8)
First Street	0' from property line or 8' maximum from the back of the curb*, whichever is greater (see Fig. 4 & 5)	Min. = 0' if neighboring building has 0' setback, otherwise maintain a building separation of 10' (see Fig. 7) Max. = 50% of lot width (both sides combined) (see Fig. 8)
Fifteenth Street	0' from property line or 8' maximum from the back of the curb*, whichever is greater (see Fig. 4 & 5)	Per LDC
All Other Streets	5' maximum for the first two stories, plus 5' additional setback for buildings over two stories; measured from property line (see Fig. 6)	Per LDC

*Setback measured from the back of the curb at the sidewalk's narrowest segment within the same block (e.g. not including bump outs).

Figure 4: General Building Setbacks Plan View

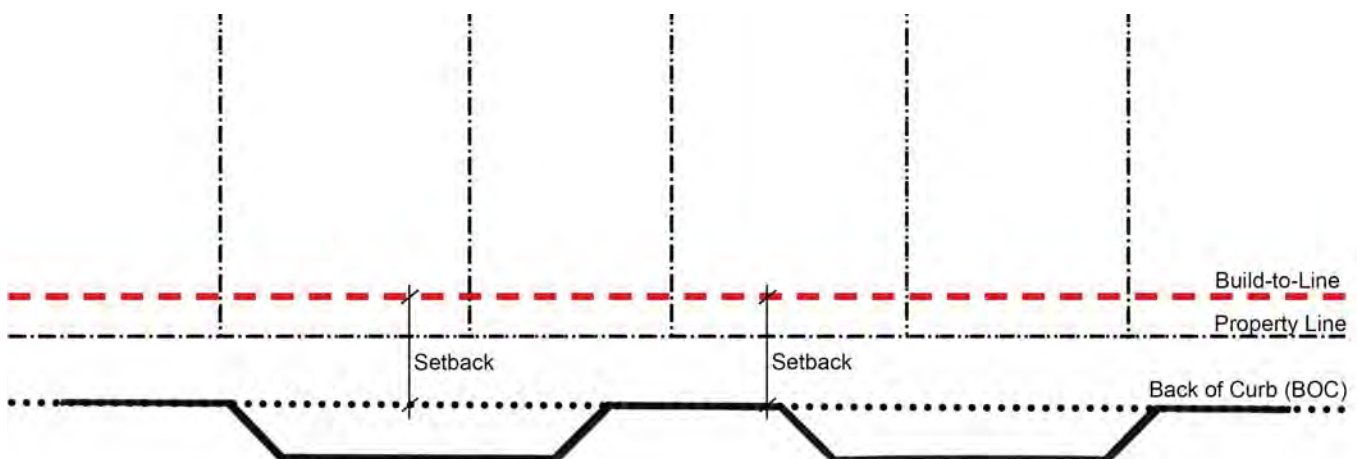


Figure 5: General Building Setbacks Cross Sections

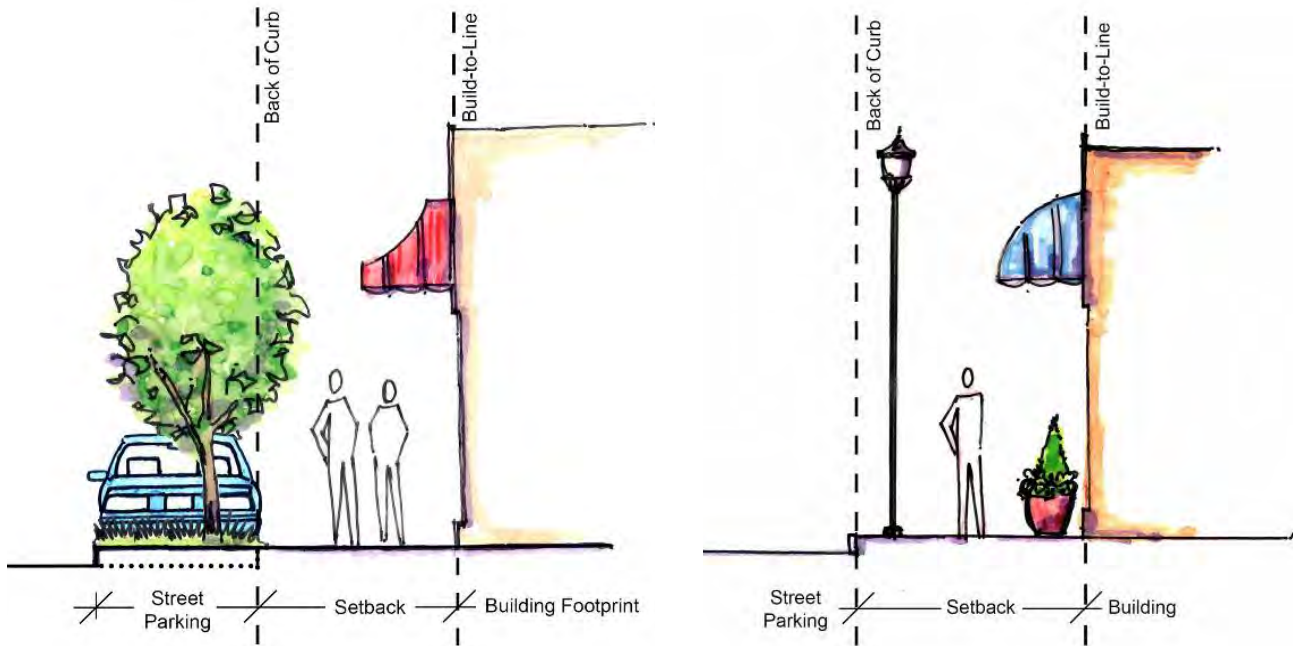


Figure 6: Setback Requirements along Side Streets

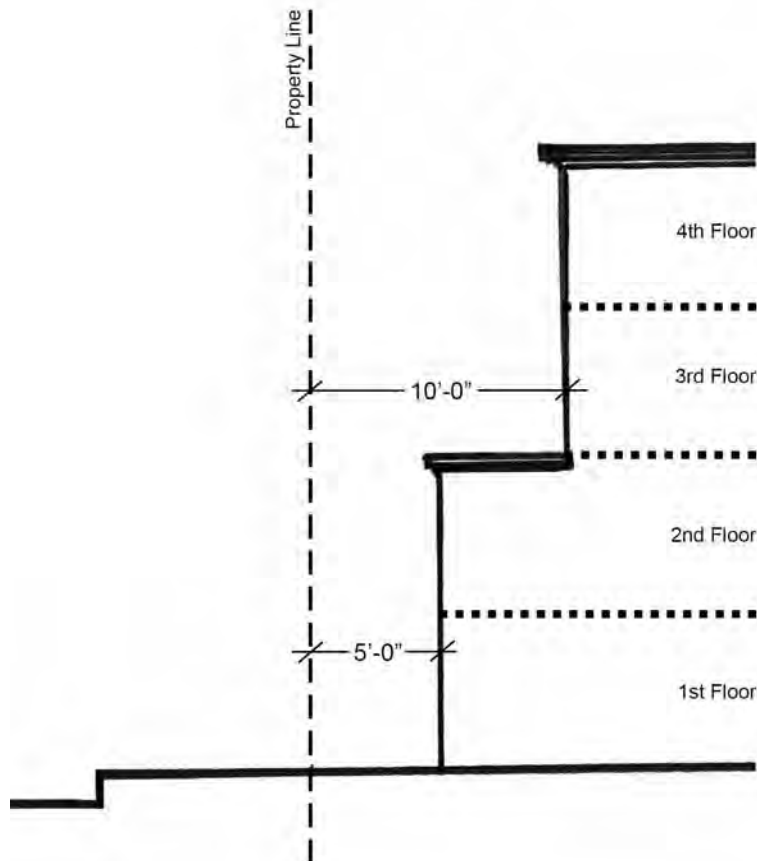


Figure 7: Side Yard Setback Requirements – Alternative 1

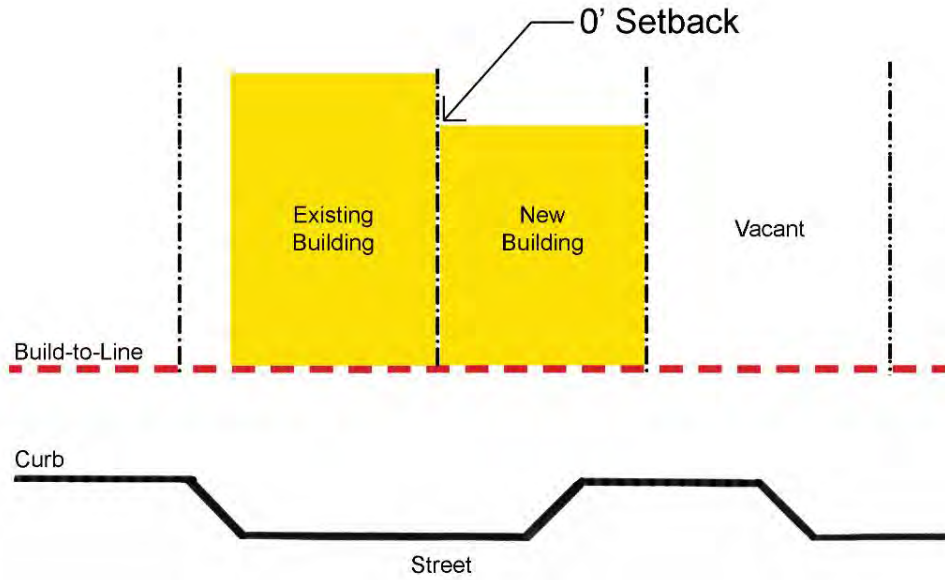
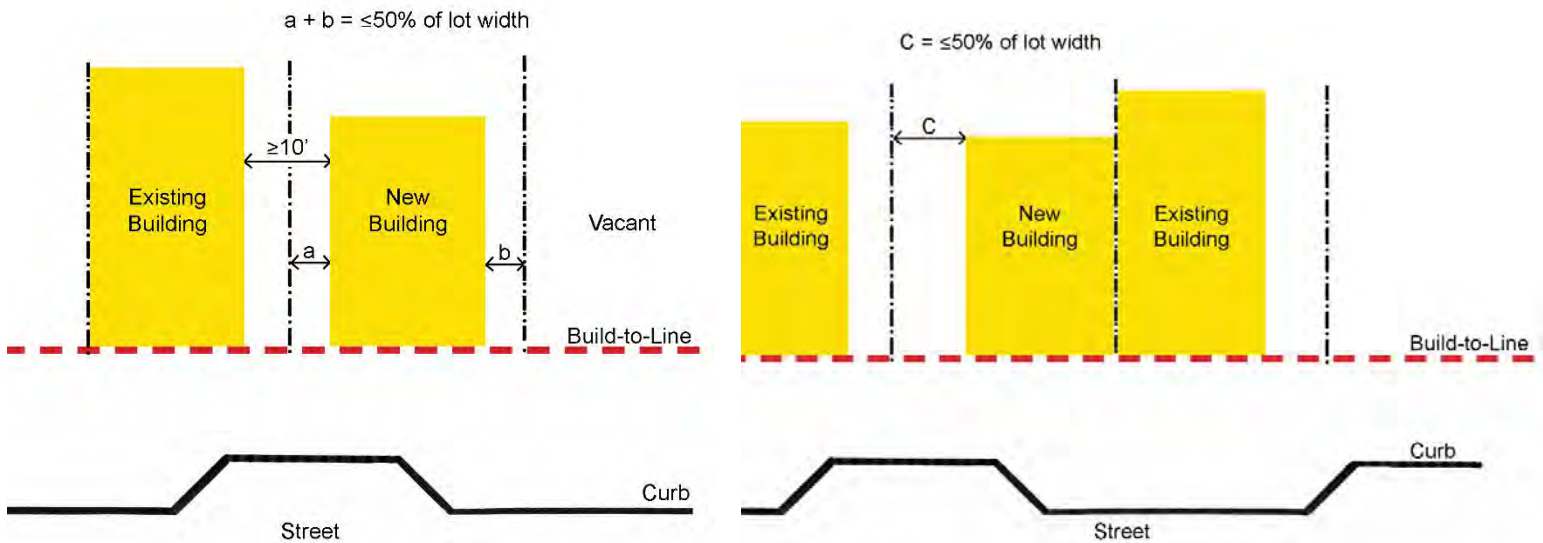


Figure 8: Side Yard Setback Requirements – Alternative 2



2. Exceptions to Building Setback Requirements

Public Space: The street setback may be permitted to extend up to thirty (30) feet if pedestrian courtyards, plazas, cafes, fountains or other public gathering places are provided in front of the recessed portion of the building (see **Fig. 9 & 11**). For building greater than 40 feet in width, the increased setback area shall not exceed fifty (50) percent of the building frontage and shall incorporate a street wall along the original setback line.

Arcades: The use of arcades is encouraged and therefore allowed to extend up to the property line (see **Fig. 10 & 11**). They may have enclosed space, balconies or verandas above them. Arcades should be open and non-air conditioned.

Figure 9: Setback Exception for Public Space

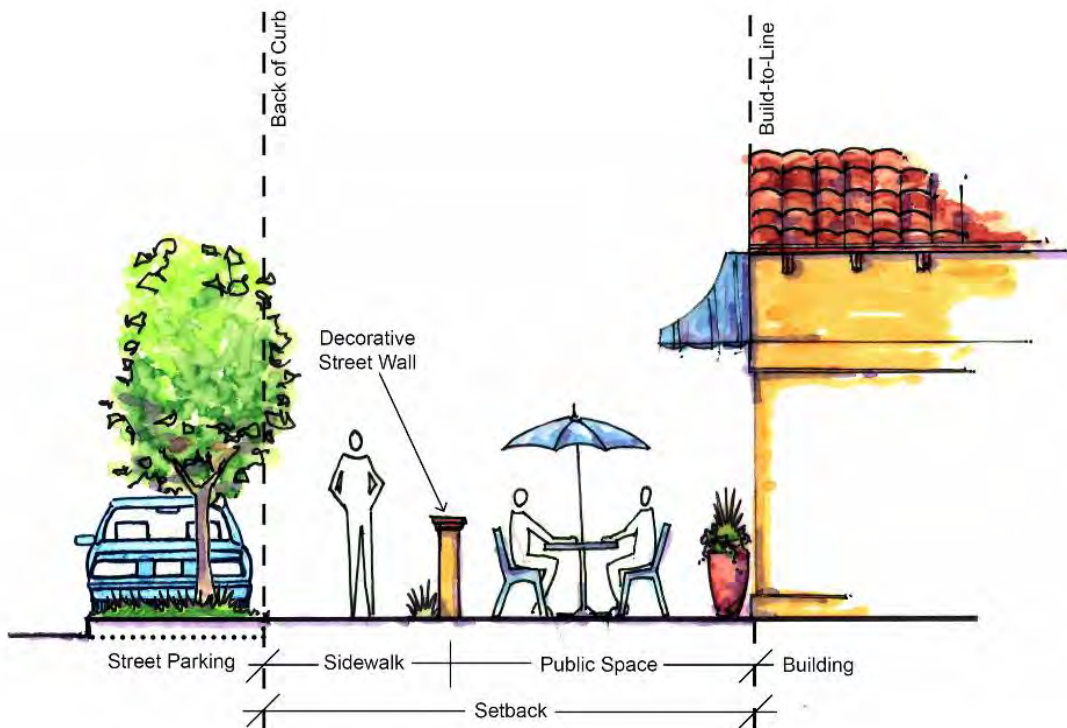
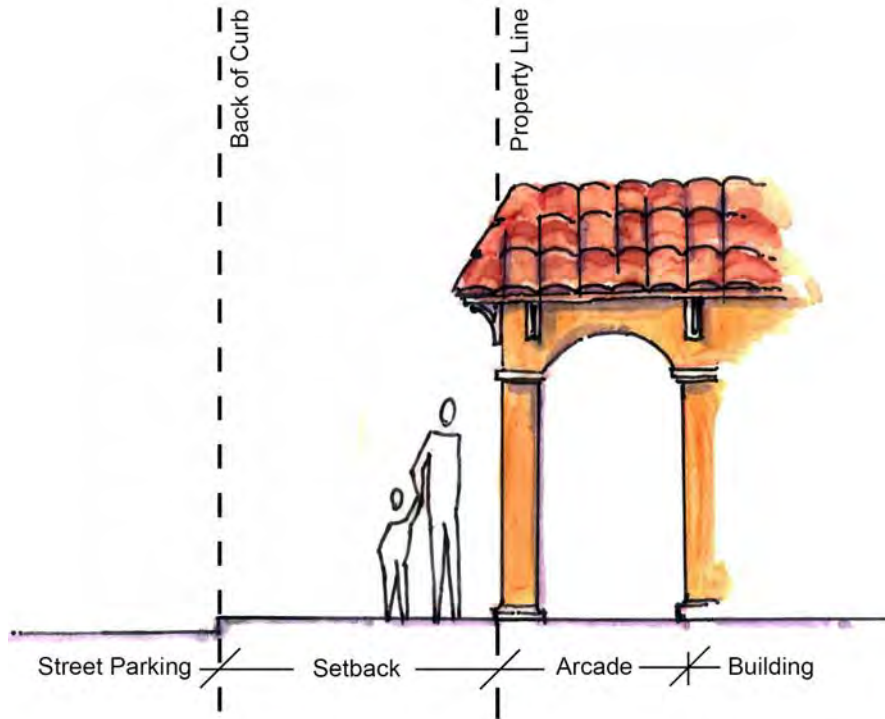


Figure 10: Setback Exception for Arcades



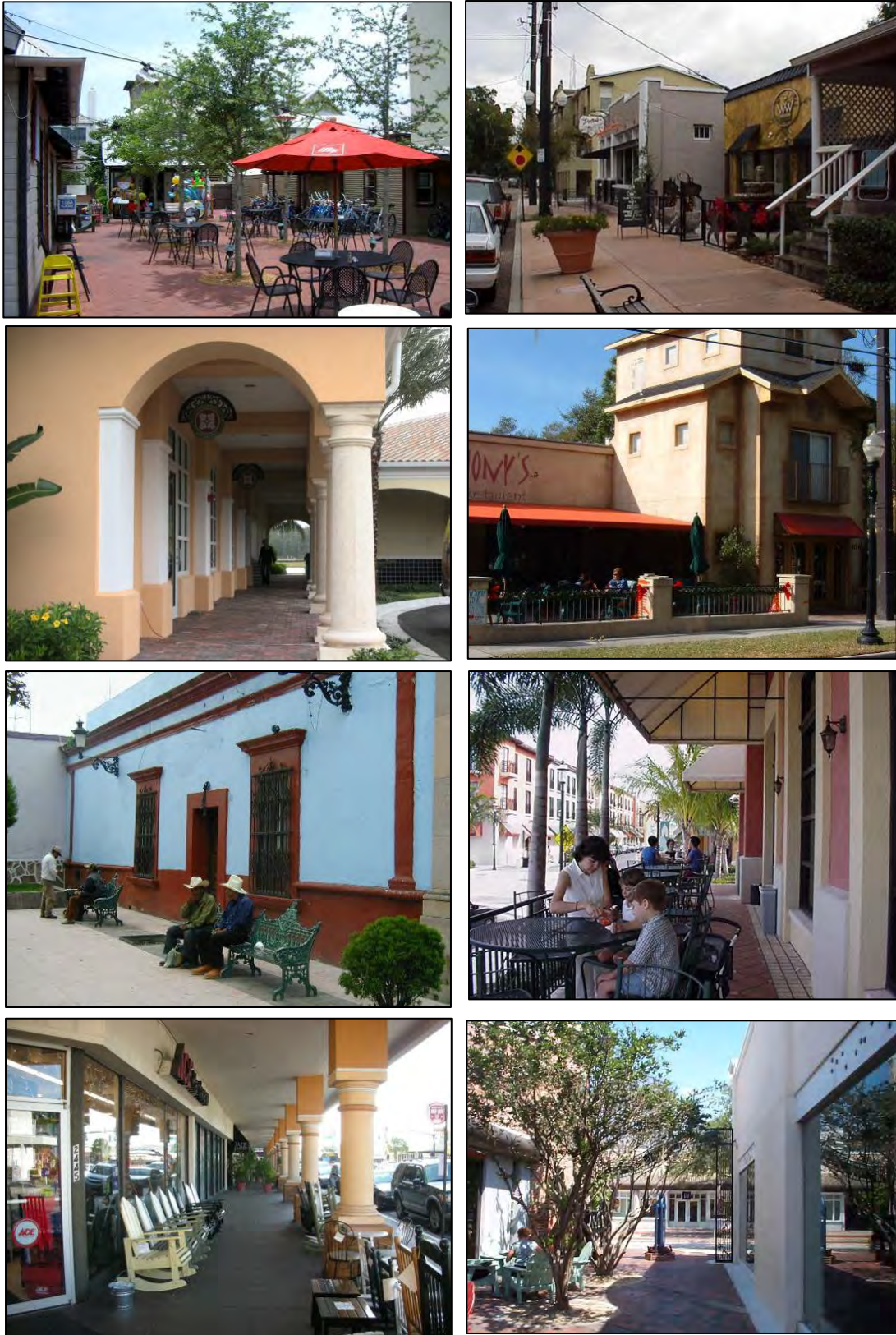


Figure 11: Examples of Public Gathering Spaces

3. BUILDING ORIENTATION

Building orientation refers to the location of the primary, secondary and rear façades and entrances to a building. The placement and orientation of a building on a site has a major impact on the appearance of the built environment. The orientation of the front façade is important for the pedestrian viability of an area. Buildings that turn perpendicular to the public right-of-way or only have access from rear parking lots create an environment along the public right-of-way that is unfriendly for pedestrians.

- New buildings should be located parallel to the right-of-way they front.
- New buildings should orient the primary façade to the public right-of-way (see **Fig. 12**). If the building fronts on more than one public-right-of-way, all the facades facing the public right-of-way shall be designed consistent with the front façade.
- Parking and stormwater shall be located in the rear of the site. In the event that parking or stormwater extend to the side of the building, it shall be screened from public rights-of-way by a street wall (See **Section I: Walls and Fences**)

4. BUILDING ARCHITECTURE

Buildings should complement the historic and architectural heritage of an area. According to Census data, the Hispanic population in Immokalee represents 82% of the total population in the area (81% being of Mexican ancestry), 9% is of Haitian ancestry, and 9% West Indian. With the many cultures represented in Immokalee, the architecture should reflect this cultural variety.

The main type of building present along the Main Street corridor is the “commercial storefront” building. This type of building is expected to continue dominating the architecture along the Main Street corridor. It is currently not as prominent along First Street, and not present along Fifteenth Street, but should be encouraged in all three districts. Commercial storefront buildings are typically rectangular in form. Their façades are comprised of three main elements (see **Fig. 13**): the *storefront* (entrance and display windows); the *upper façade*, which consists of transom windows, awnings and/or a sign, or in the case of two-story buildings, it consists of a second floor with evenly spaced windows; and the *building “top”*, which typically consists of a parapet with a cornice (hiding a flat or gabled roof).

Figure 12: Façade Orientation to the Public Right-of-Way

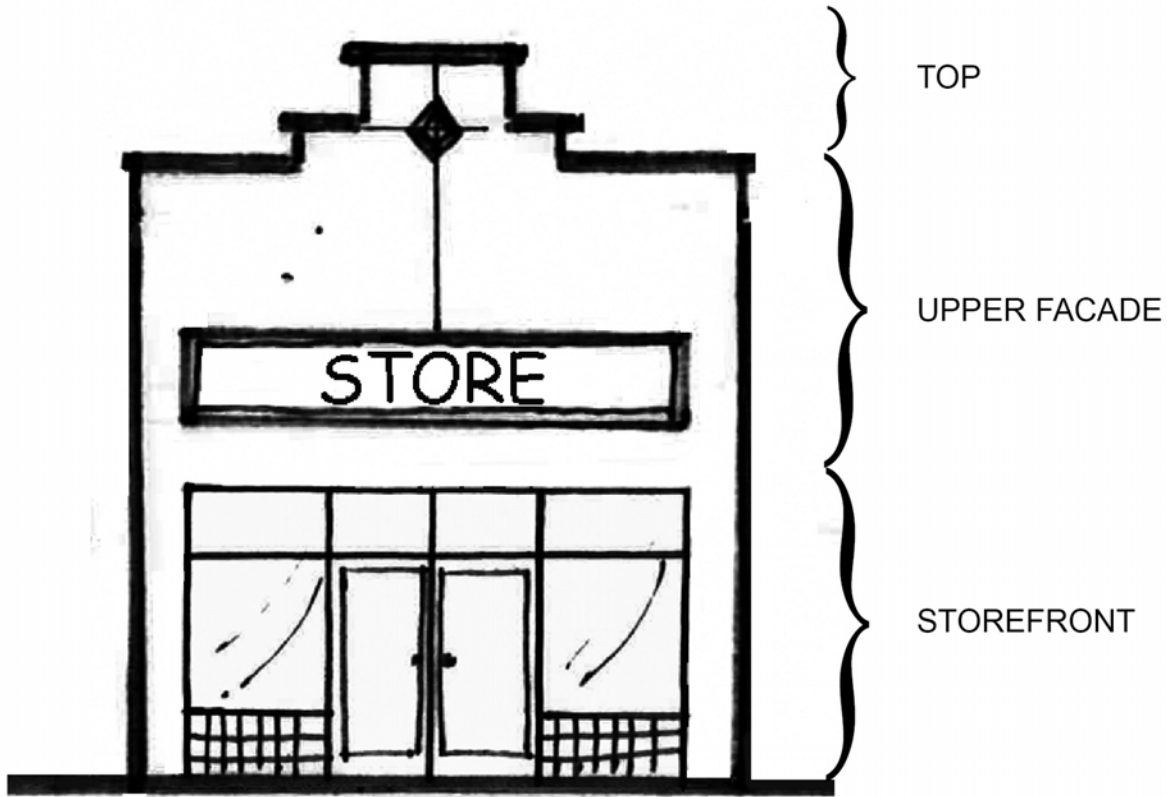


Recommended



Prohibited

Figure 13: Typical Storefront Building Elements



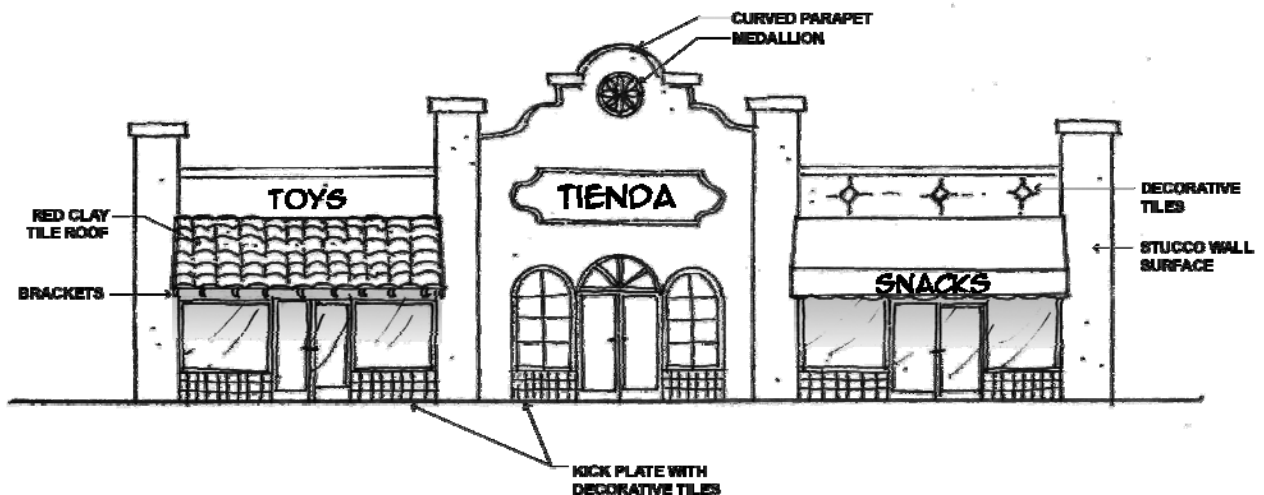
Throughout the United States, the style of “storefront” buildings has evolved over the years, as buildings have adopted architectural embellishments to reflect particular architectural styles (e.g. Craftsman, Italianate, Victorian, etc.). Given the strong Hispanic and Caribbean influence in the Immokalee community, all new buildings within the design overlay district, including storefront buildings, are required to adopt architectural elements that celebrate the following types of architecture (See Appendix [A](#) : Architectural Styles for detailed descriptions and characteristics of each style):

1. Spanish Vernacular:

- A. **Mediterranean Style:** Also known as Spanish Eclectic or Spanish Colonial Revival. Characteristics include red tile, low-pitched roofs usually with little or no overhang, parapets, arches, stucco and asymmetrical façades.



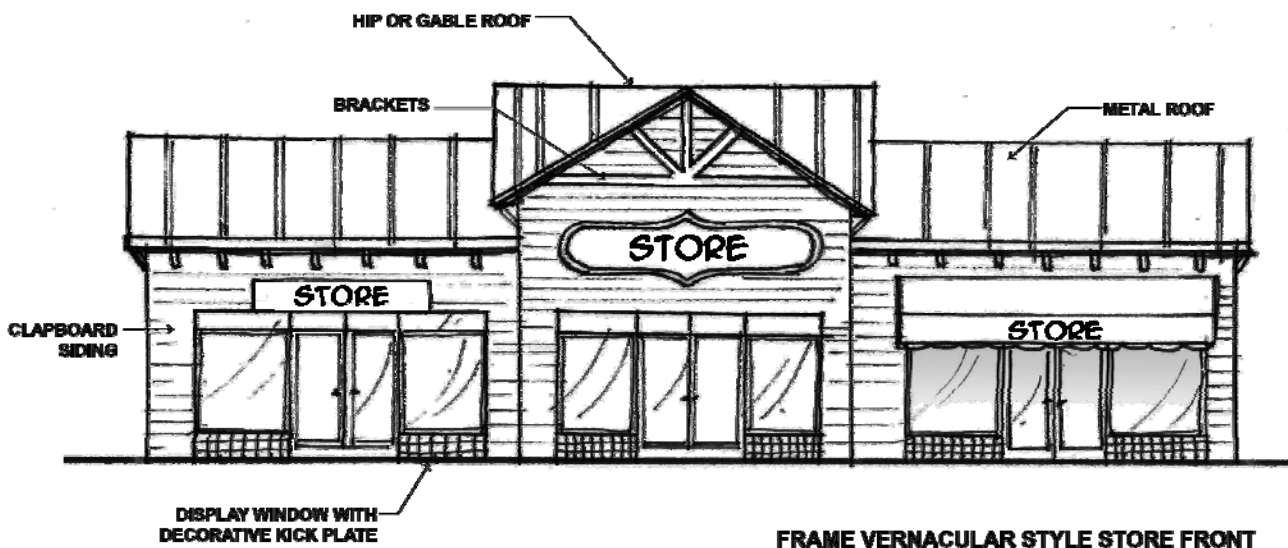
- B. **Mission Style:** Influenced by the Spanish Colonial Style. Characteristics include red barrel clay tile roofs, arches, earth tone colors, and asymmetrical façades finished in stucco. Similar to the Mediterranean Style, but exhibiting much less ornamentation and detailing.



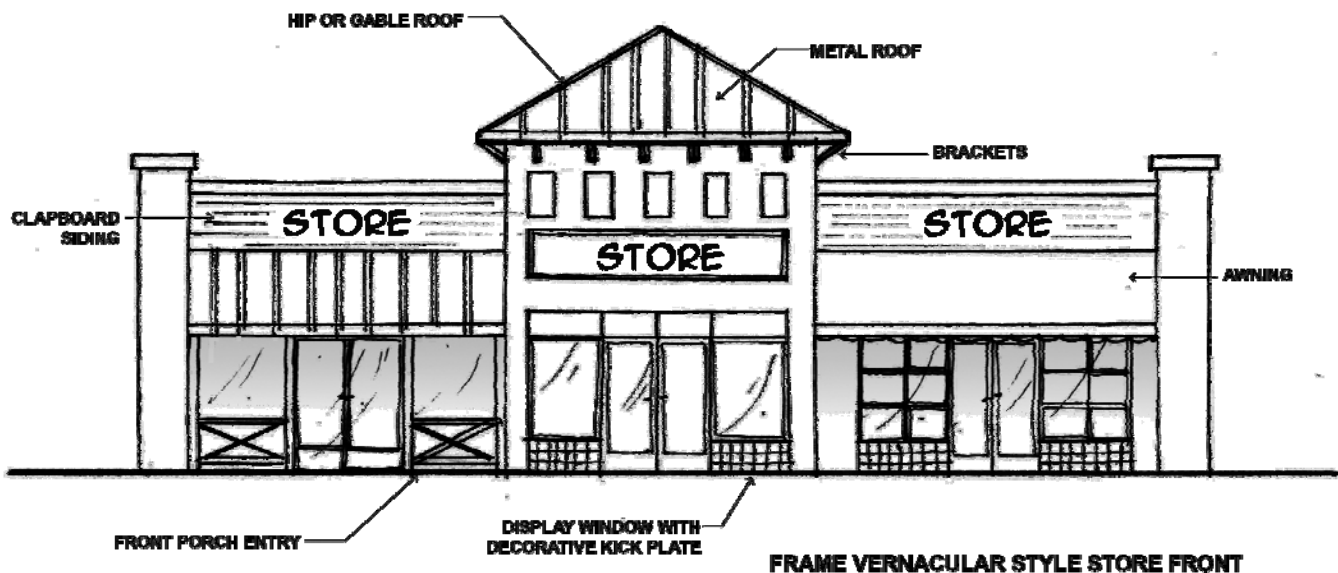
2. Frame Vernacular:

Also known as Florida Cracker or Key West Style. Some frame vernacular buildings in Florida exhibit a Caribbean influence, while others are more utilitarian or rural in nature. Most familiar elements of this style are the use of horizontal siding for façade finish, elaborate wood balustrades, large porches, and metal roofs.

For a building to be considered designed in a particular style, there are certain characteristics that need to be present. Appendix A: Architectural Styles outlines those elements for each style. All the elements that comprise a building, including the building form, should also be consistent with the style of architecture selected.



FRAME VERNACULAR STYLE STORE FRONT



FRAME VERNACULAR STYLE STORE FRONT

E. BUILDING FORM/COMPOSITION

Buildings are the most important component of the urban streetscape form. They set the mass, scale and tone of the built environment. As such, all of the various elements of a building's architectural makeup are important in putting together a complete composition. Elements such as materials, colors, surface details, texture, doors, windows, and roof shape contribute to a well-designed urban fabric. The following section ensures adequate building composition and structural form relevant to all architectural styles. Thus, these regulations are to be used in conjunction with the specific details that define a particular style as outlined in section D. Building Architecture, and described in Appendix A: Architectural Styles.

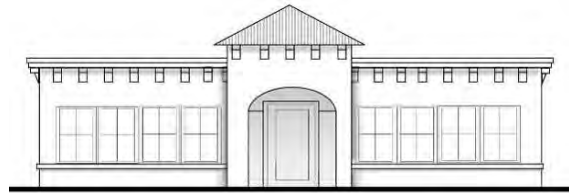
1. Massing

- Buildings shall not extend for more than fifty (50) horizontal feet without a major volume shift or a substantial break in volume. Such break may be achieved with an architectural volume that projects up and out (a tower, bay or similar element), and/or a substantial recess into the building. The difference in plane should be a minimum of three (3) feet.
- The width of the projection/recess shall be no less than twenty (20) feet.
- Changes in mass must be related to entrances, the integral structure and the organization of interior spaces and activities, and not merely for cosmetic effect.

2. Façade Design

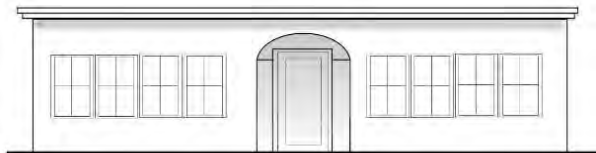
Buildings shall have architectural features and patterns that provide visual interest from the perspective of the pedestrians and motorists. All additions and alterations shall be compatible with the principal structure in design, color and materials.

Figure 14: Building Massing



Allowed

(Appropriate Massing: tower, variation in roof height)



Not Allowed

(Not Enough Massing, inappropriate massing. No variation, changes in plane)

A. Façade Variation

The design of the primary façade is critical for the atmosphere that will be created along the street front. Primary building façades shall be enhanced by the use of vertical and horizontal elements. The design of secondary and rear façades shall be consistent with the front façade. See **Figure 15** for representations of these elements in architectural styles applicable to Immokalee.

- Primary façades shall not exceed twenty (20) horizontal feet and ten (10) vertical feet, without three (3) of the following elements. When selecting these elements, there shall be a combination of vertical and horizontal elements in order to create variation in the façade.
 - ◊ A change in plane, such as an offset, reveal, or projecting rib (columns, built in planters, arches, voids, etc.). Such plane projections or recesses shall have a width of no less than twenty (20) inches, and a depth of at least six (6) inches.
 - ◊ Awnings
 - ◊ Arcades/colonnades
 - ◊ Balconies
 - ◊ Complementary change in material/texture
 - ◊ Doors and/or windows
 - ◊ Decorative architectural elements (tiles, medallions, etc.)
 - ◊ Raised bands/cornices
- Secondary façades shall include at least two (2) elements from the primary façade list above. In addition to the list above a mural or wall art may be substituted for (2) façade elements. The mural or wall art is to be approved by the CRA and follow the guidelines established in Section K.2. Murals and Wall Art.
- Major architectural treatments, such as cornices, arches, exposed brackets, overhangs, and architectural details, should be continued around all sides of the building.
- Facades located at the side property line are exempt from the requirements of this section.

CENTRAL BUSINESS DISTRICT FORM-BASED GUIDELINES

III. DEVELOPMENT STANDARDS

Figure 15: Examples of Façade Variation Elements



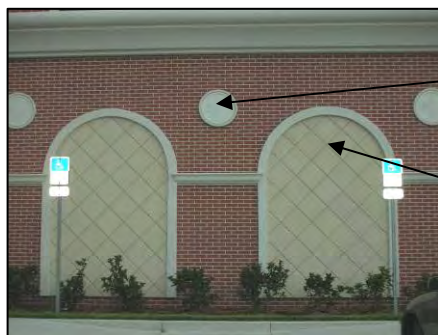
Columns
Change in material/
texture
Balconies



Arcade/Colonnade



Raised Bands/
Awnings



Decorative Tiles/
Medallions
Decorative Arches



B. Multiple Frontage Lots

Buildings on lots with more than one street frontage shall incorporate façade elements on all façades facing a street.

Lots at major intersections (Main Street and First Street, Main Street and Ninth Street, Fifteenth Street and Roberts Road, Fifteenth Street and Immokalee Drive, Fifteenth Street and Lake Trafford Road) shall be designed with architectural embellishments to emphasize their location. These buildings shall include at least one (1) of the following embellishments:

- Corner entrance
- Corner tower
- Clock/bell tower
- Pedestrian plaza with artwork or fountains at the corner
- Other similar design features/elements

Figure 16: Corner Buildings



Allowed

Not Allowed

C. Façade Continuity

(Applicable to Main Street Only)

Façades along Main Street should limit the number of building gaps along the block. If a gap is created between two buildings, the following should be provided:

- A pedestrian courtyard (connecting to rear parking areas or alleys) (see Fig. 17 & 18), or
- A decorative façade connecting the two buildings (see Fig. 17 & 19), or
- A low street wall along that portion of the lot along the right-of-way not devoted to pedestrian or vehicular access (see Fig. 17 & 20).



The buildings are close together creating a continuous block front

Figure 17: Continuity in Façade Plan View Example



Figure 18: Pedestrian Courtyard



Figure 19: Decorative Façade

Decorative façade creates building continuity along block filling in the gap between buildings



Figure 20: Low Street Wall



3. Entrances

- The following are design standards for entrances to multi-family and non-residential developments:
- Corner buildings along the Main Street, First Street or Fifteenth Street corridor shall orient the primary entrance to the principal street.
- All primary entrances shall have a protruding front gable, pilasters, columns, a stoop or other projection or recession in the building footprint that clearly identifies the entrance.

Figure 21: Well-Defined Entrances



- In addition, every primary entrance shall have two (2) other distinguishing features from the list below:
 - ◊ Variation in building height;
 - ◊ Canopy or portico;
 - ◊ Raised cornice or parapet over door;
 - ◊ Arches/columns;
 - ◊ Ornamental and structural architectural details
- Protection from the sun and adverse weather conditions for patrons should be considered for the entranceways. Protection methods may include awnings, canopies, colonnades, porticoes or similar treatments meeting the intent of this section.

4. Fenestration

The arrangement of windows and doors should be consistent with the architectural style of the building. Windowless façades facing the public right-of-way are prohibited. Transparency requirements include the following:

- The ground floor building wall facing the street shall contain windows and doors occupying at least fifty (50) percent of the first floor façade. The first floor windows shall be located between three (3) and eight (8) feet measured from ground level. All other floors and elevations shall contain at least 25% fenestration.
- Clear glass (88% light transmission) should be installed on the first floor. Tinted glass allowing a minimum of fifty percent (50 %) light transmission should only be allowed on second floor windows and above. Stained or art glass is allowed only if it is in character with the style of the building, such as in a church.
- Multi-family residential and office uses shall have front exterior walls containing a minimum of twenty-five percent (25%) transparent or translucent materials on each story. The side exterior walls (facing the street) shall each con-

Figure 22: Transparency Examples



Appropriate



Inappropriate

tain a minimum of fifteen percent (15%) transparent or translucent materials on each story.

- Transparent materials on walls that are not parallel or approximately parallel to the public right-of-way and on doors shall not be counted toward the minimum transparency requirement.
- Garage or service bay doors shall not be included in the transparency/ translucency calculation.

5. Building Materials

Building materials have a strong visual effect on building design. Materials should be selected on the basis of compatibility with the building style and district character (see Appendix A for specific roof types typical of each architectural style). The following guidelines apply to all styles.

A. Façade Materials

- Building materials should reflect quality and stability in terms of durability, finish and appearance.
- To establish a unified design theme unique to Immokalee, decorative ceramic tiles may be used in conjunction with any architectural style.
- Corrugated and smooth concrete block, if determined to be appropriate for a building, may only be allowed for up to thirty-three (33%) percent of the façade area.
- Cedar shakes, unfinished block, corrugated or reflective metal panels, textured plywood, and plastic siding are not permitted.
- Mirrored glass and glass walls are prohibited.
- The exterior façade material for an addition or renovation shall either be the same as the existing building, a material that simulates the original material, or a combination of the two.
- The CRA may approve an alternative material for building additions if it is shown to be compatible with the materials used on the existing structure.

Figure 23: Prohibited Façade Treatments
(Corrugated Metal, Mirrored Glass)



Figure 24: Basic Color Wheel



6. Color Palette

- Intense, deep colors are appropriate for creating a Spanish influenced architectural character. Building trims (window sills, door frames, ornamental features, etc.) should be highlighted with a different color from that of the building body color.
- In contrast, the Frame Vernacular architectural style reflects less intense, softer color shades highlighting architectural details in bright white.
- Specific building color shall be selected from the Immokalee Design District Color Palette, shown below as **Figure 25**. Note that due to variations in printed materials these swatch samples are for listing purposes only. True color swatch samples are available at the Immokalee CRA office (for viewing only) and from a Valspar authorized dealer using the name and number of the desired swatch from this list. Any brand of paint may be used as long as the color matches the district colors.
- **Figure 26** illustrates examples and recommendations for color combinations appropriate for downtown Immokalee and the selected architectural styles.
- No more than three (3) different colors or color shades should typically be used on a single building.
- Colors used on a building should not be used to advertise the business. Clashing trim colors will not be permitted.
- A solid color band or color stripes shall not be used for architectural detail, unless the band is consistent with the style and the color of the building.








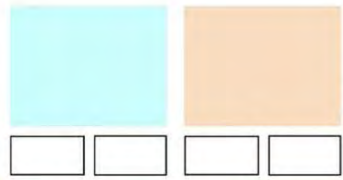

Figure 25: Central Business District Design Overlay Color Palette



'AMERICAN TRADITION' BY VALSPAR

Note: Color variations may occur due to printing or scanning. True color swatches may be obtained from the Immokalee CRA office and/ or a Valspar authorized dealer. Swatches should be referred to by name and listed reference number.

Figure 26: Suggested Color Combinations by Architectural Style

<p>Body Color</p>	<p>Spanish Vernacular Color Palette</p> <ul style="list-style-type: none"> • deep, dark colors • rich, intense hues 	 
<p>Trim Color</p>	<p>Accent Color</p>	 
<p><i>Color Sample Legend</i></p>		
		
<p>Masonry Vernacular Color Palette</p> <ul style="list-style-type: none"> • traditionally earth tones • bright colors encouraged 		
		
		
<p>Frame Vernacular Color Palette</p> <ul style="list-style-type: none"> • soft, pastel colors • trim in bright white 		
		
		

7. Roof Design

The style of the roof must be consistent with the style of the building and shall adhere to the following requirements:

A. Flat Roofs:

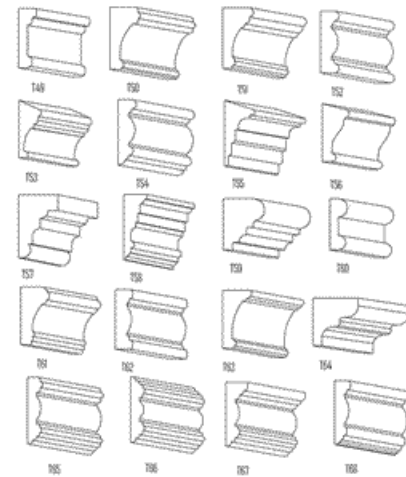
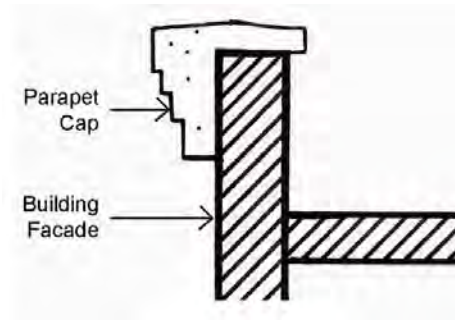
- Flat roofs shall be concealed behind a parapet of no less than three (3) feet in height.
- Parapets used to screen mechanical equipment shall be no less than the maximum height of the equipment.
- Parapet height shall not exceed one-third of the height of the supporting wall.
- Flat roofs shall not exceed 50 feet in width without variation in height (e.g. tower, steps or curves) (see Fig. 27).

Figure 27: Variation in Parapets



- Parapets shall be capped with a three-dimensional cornice (see **Fig. 28**). They may include straight or curved moldings, and should not exceed twenty-four (24) inches in width; twelve (12) inches in height, and a minimum of three (3) vertical changes in plane.

Figure 28: Cornice Example (Allowed)



B. Sloped Roofs:

- Sloping roofs shall not exceed the average height of the supporting walls (see **Fig. 29**).
- Sloped roofs shall not extend for more than fifty (50) feet along a façade without a roof design variation (see **Fig. 30**).
- Roofs shall have a minimum overhang of two (2) feet beyond the building wall. Roof support brackets are encouraged if consistent with the building style (see **Fig. 31**).
- Pitched roofs should be enhanced by the addition of dormers, belvederes, chimneys, cupolas, clock towers and similar elements.
- Acceptable materials for sloping roofs include metal (standing seam, 5V crimp), terracotta tiles and architectural asphalt shingles, depending on the building style.
- False mansard roofs shall be prohibited (see **Fig. 32**).

Figure 29: Roof Height

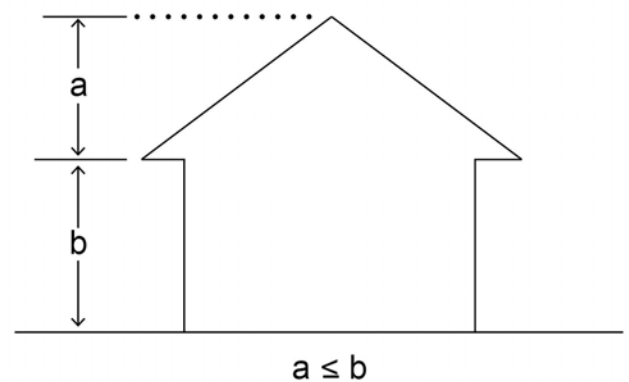
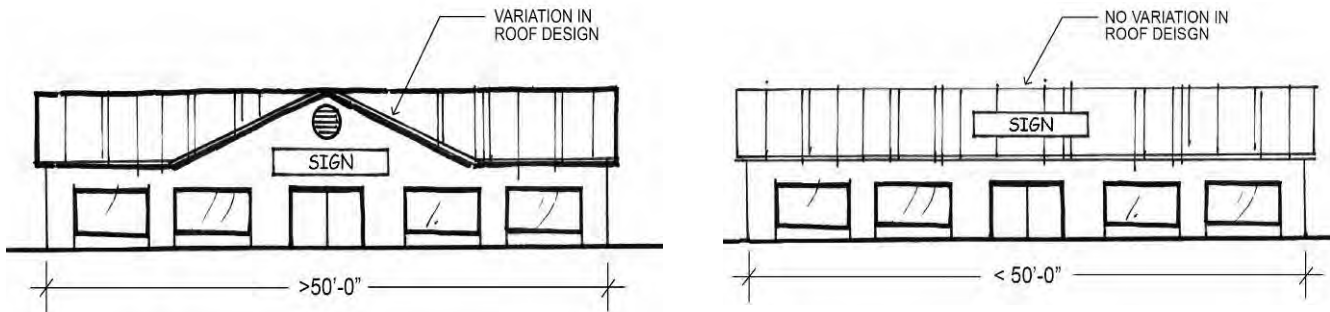


Figure 30: Example Variation in Sloped Roofs



Appropriate



Inappropriate

Figure 31: Examples of Appropriate Roof Brackets

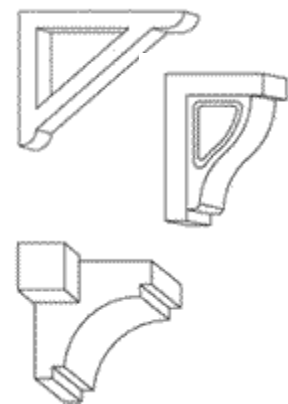
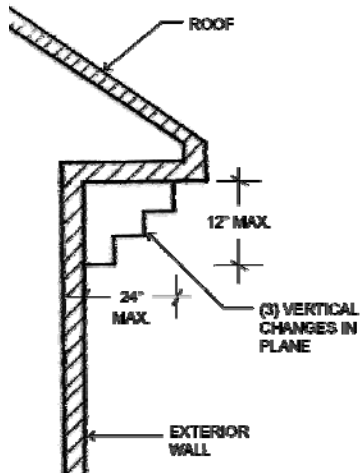


Figure 32: Examples of Prohibited False Mansard Roofs



F. SPECIFIC USES

1. Corporate Trademark Design

Corporate franchises should not be allowed to create visual clutter and to use architecture and building colors to act as signage. Therefore, exceptions to these guidelines shall not be made for corporate franchises. National corporate chains that typically design their buildings to read as signage have been known to modify their designs to blend with the character of a district or neighborhood (see Fig. 33: Corporate Design Standards). These examples shall be used as models for future corporate design and development within the Central Business District Design Overlay.

Figure 33: Corporate Design



No Design
Guidelines



With Design
Guidelines

2. Civic and Institutional Buildings

Many communities are recognizable by their public squares, plazas and civic structures. Civic structures often become landmarks and public gathering places that participate in establishing an identity for the community through distinguishing architectural design.

Civic buildings contain uses of special public importance, such as municipal services, churches, libraries, schools, recreation facilities, and places of assembly. Civic uses should be placed in central locations as highly visible focal points. Where feasible, they should be close to transit stops for ease of use by pedestrians. Civic structures should not be located within storefronts, shopping centers or malls and should not blend with adjacent developments, but rather they should stand out. They are monuments to be recognized as landmarks and appreciated by residents and visitors alike. These types of structures are intended to break the continuity of the streetscape. However, the design, materials and colors should be tasteful and not garish.

3. Drive-Through Establishments

Drive-through facilities shall be prohibited along Main Street, and First Street in the CRA because of the potential conflicts with pedestrian traffic, and the interruption of façade continuity necessary for vehicular access. In all other areas, the following standards shall apply:

- ◊ Only one drive-through window per business, with stacking for 3 cars, shall be allowed.
 - ◊ Drive-through windows shall be oriented to the side or the rear of the site so that they are not directly visible from the public right-of-way.
 - ◊ Drive-through lanes must be designed with pedestrian safety as the first priority.
 - ◊ Drive-through structures must have the same detail, materials and roof design of the principal structure.
- A dense hedge of evergreen shrubs shall be provided for the entire length of the drive-through queuing or stacking area in the following manner to screen drive-through windows from the public right-of-way:

Figure 34: Example of Civic Uses



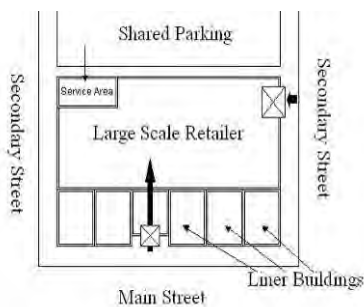
- ◇ At initial planting and installation, shrubs shall be at least thirty (30) inches in height and shall be planted thirty-six (36) inches or less on center.
 - ◇ Within one (1) year of initial planting and installation, shrubs shall have attained, and be maintained at, a minimum height of four (4) feet and shall provide an opaque vegetative screen between the street and the drive-through.
- A pass-through lane shall be required for all drive-through facilities. The pass-through lane shall be constructed adjacent to the stacking lane(s) in order to provide a way out of (or around) the stacking lane(s).

4. Big Box Development

Anchor stores that exceed 30,000 square feet have been referred to in the past as “big box” developments. The nickname resulted from many of the buildings designing their stores in the shape of a box with no architectural style and very little detail.

To prevent this box appearance, smaller retail shops (or liner buildings) shall be located close to the street facing the public right-of-way. The liner buildings could be subdivided into several small shops or simply have the appearance of several small shops with window-shopping opportunities. The liner buildings provide a transition from the street to the larger anchor store.

Figure 35: Example Liner Buildings



G. SITE ACCESS, CIRCULATION, AND PARKING

The following standards are intended to guide the design of access, parking and circulation system to achieve both safety and functionality, and to enhance vehicular connectivity throughout the district.

1. Pedestrian Access and Circulation

- The Immokalee CRA supports the use of alternative modes of transportation to provide access for all residents, including the elderly, youth and physically-impaired. Safe, comfortable and consistent pedestrian connections are required.
- Sidewalks are required on both sides of all streets .
- Sidewalks/walkways shall be provided to connect the primary building to public streets, external sidewalks and outparcels.
- Pedestrian walkways within the development shall be differentiated from the driving surface through a change in material and color.
- Sidewalks within private developments shall be a minimum of five (5) feet wide.

- To increase pedestrian safety, sidewalks and walkways shall be slightly raised at a different grade than the vehicular parking lot, and shall be landscaped and have pedestrian scale lighting.
- Whenever feasible, walkways should be shaded by canopy trees, arbors, awnings or a combination of these.

Figure 36: Pedestrian Walkways



2. Vehicular Access, Circulation and Surface Parking

The following standards are intended to avoid large expanses of asphalt and increase the coordination between property owners to achieve a continuous and safe environment for both automobile and pedestrians.

- Not more than ten (10) continuous parking spaces may be allowed without a landscape island of 200 square feet minimum .
- Each landscaping island shall have one (1) acceptable canopy tree or three (3) understory trees, five (5) shrubs and grass cover.
- Parking should be located behind the front building façade to prevent it from dominating the image of the site. Where this is not possible due to site conditions and the parking use extends to the side of the building, a street wall will be required to screen the parking area.

Figure 37: Surface Parking Examples

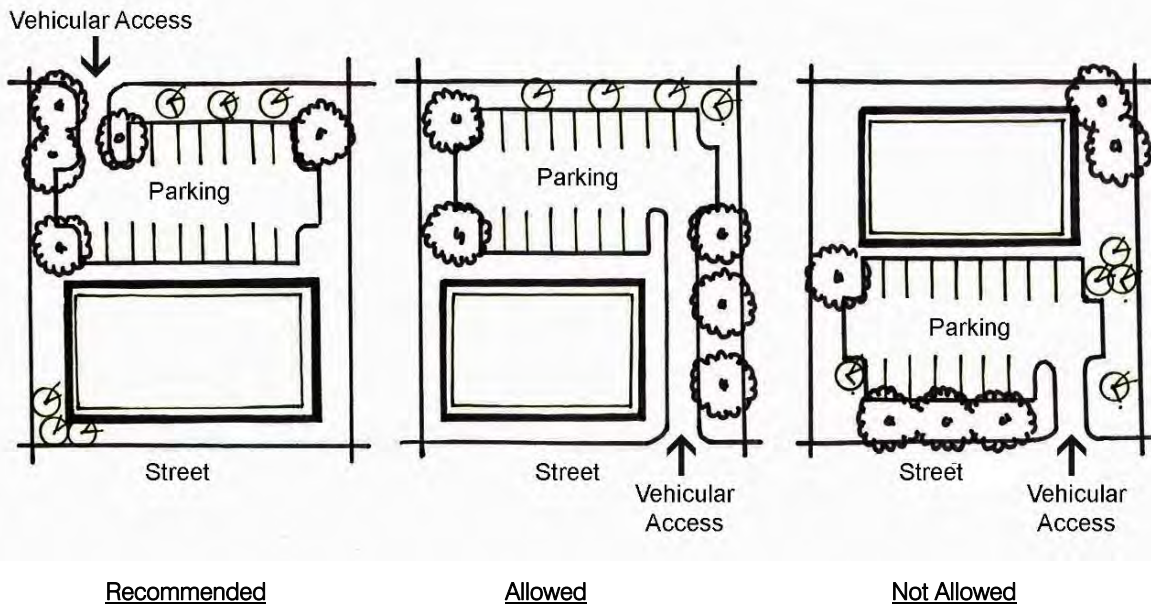


Appropriate



Inappropriate

Figure 38: Parking Lot Placement Examples



Recommended

Allowed

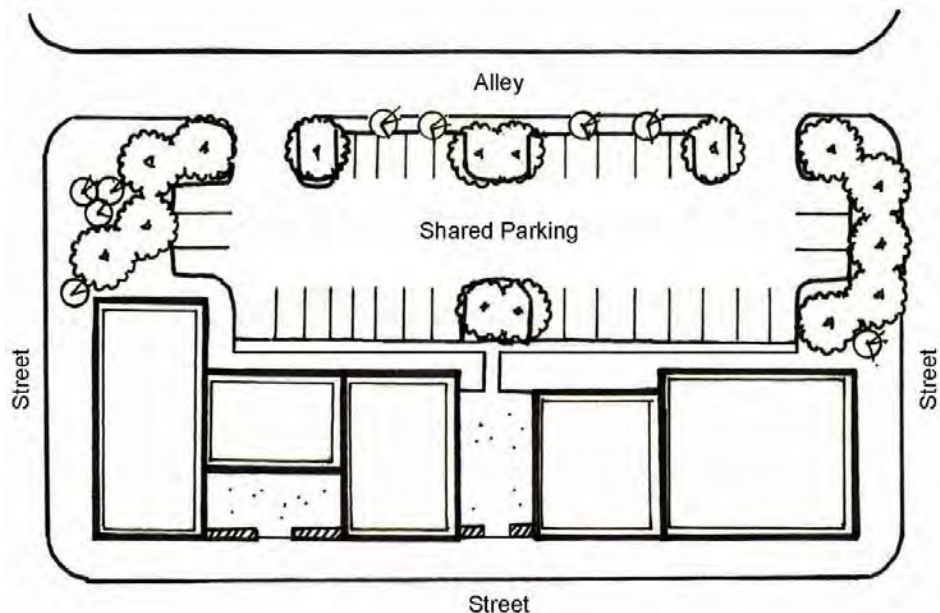
Not Allowed

Figure 39: Vehicular Access to Parking behind a Building Façade



- The use of joint access easements is required between sites to reduce the number of access points and driveway area, and to increase the amount of landscaping.
- Access driveway width should be limited to fifteen (15) feet for one-way driveways and twenty-four (24) feet for two-way driveways.
- When it is feasible to provide vehicular access to a commercial site from a secondary street, without negatively impacting single-family residential uses, it shall be required.
- Should a vehicular access from the main road be necessary due to the lack of access to rear parking from a side street, an alley, or an adjacent property (shared use agreement necessary), the driveway width in this case should not exceed twelve (12) feet and a streetwall, gateway, arch or similar feature should be provided to preserve the block continuity.
- Trailers and boat parking shall be located behind the buildings and shall be fully screened from the view of adjacent properties and roadways.

Figure 40: Shared Parking



H. LANDSCAPING AND BUFFERS

Landscaping helps create a unified urban appearance; define outdoor spaces; buffer from sun, sound and weather; screen from view; reduce heat island effect; and accentuate building elements and vistas.

Existing native trees shall be maintained to the extent possible and shall be protected during construction, as outlined in LDC 3.05.07, Preservation Standards. When possible, service and utility easements shall be located away from mature trees (eight (8) inch DBH or larger) that can be saved.

Landscape design shall enhance architectural features, visually screen dissimilar uses and unsightly views, reduce noise impacts from major roadways, create barriers between incompatible uses, strengthen important vistas, and reinforce neighboring site design and architecture. Buffers shall not be required in front of the buildings within the design district.

Wherever possible, Florida-friendly landscape techniques and water-saving irrigation practices shall be used to promote green design and sustainability.

I. WALLS AND FENCES

Walls and fences must meet the following standards:

- Posts and columns should be incorporated into the design of the fence and shall be spaced at six (6) to twelve (12) foot intervals depending on the material and overall length of the wall or fence.
- Posts or columns may include a cap piece extending up to twelve (12) inches above the allowable fence height.
- Chain link and lattice fences are not permitted anywhere in the district.

1. Privacy Fences and Walls

- Fences and walls shall be constructed of brick, vinyl, masonry, stone, or other decorative materials.
- All fences shall have their finished side facing outward.

Figure 41: Examples of Privacy Fences



Figure 42: Examples of Privacy Fences



2. Streetwalls

- Streetwalls are required to screen off-street parking facilities (spaces or driveways) from the right-of-way.
- Streetwalls shall be a minimum of three (3) feet and a maximum of five (5) feet in height. Streetwalls greater than three (3) feet in height above grade shall be no more than fifty (50) percent solid. (See **Fig. 43**)
- Streetwalls should be designed to complement the principal building style, materials and colors.

Figure 43: Streetwall Height

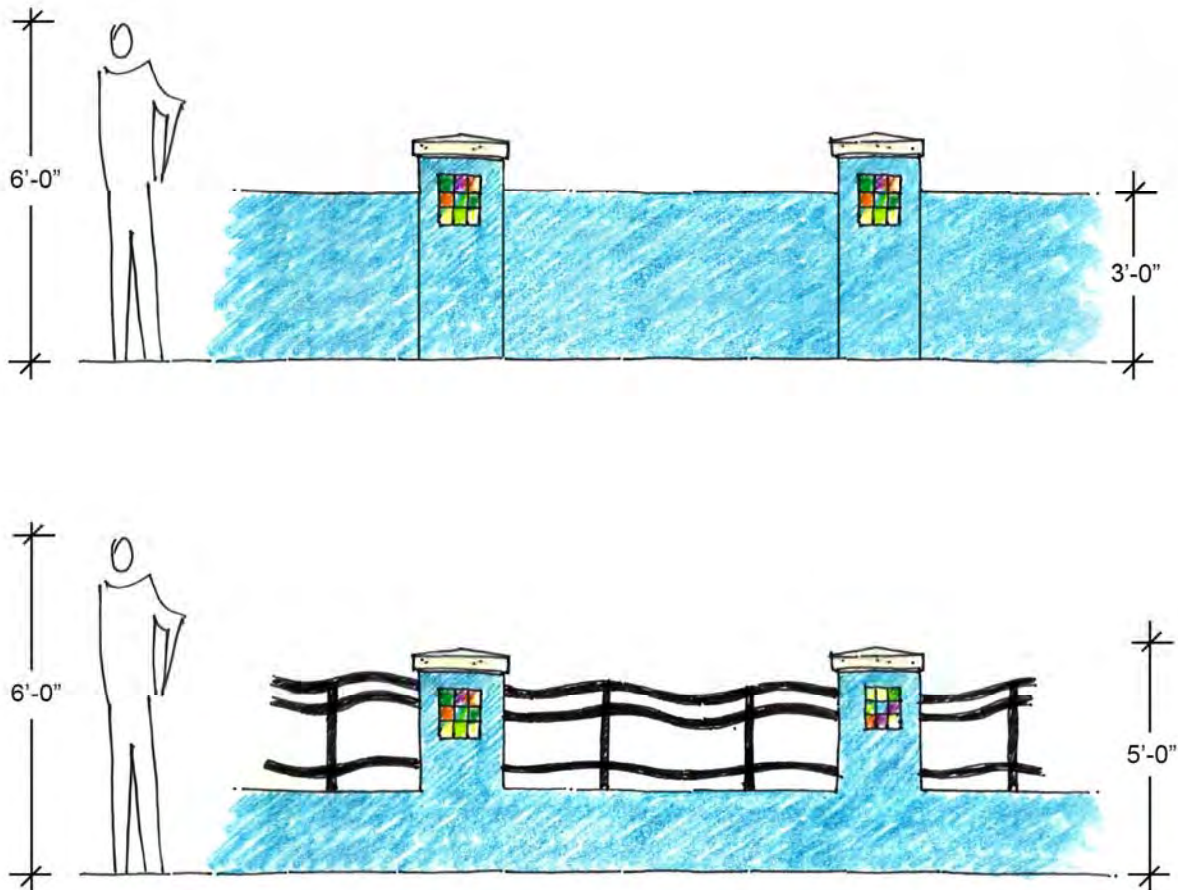


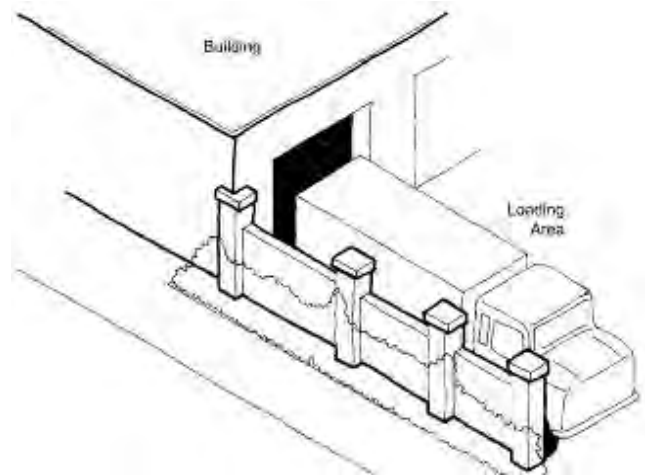
Figure 44: Examples of Streetwalls



3. Utilities/Service Areas

- Accessory structures shall have the same architectural detail, design elements and roof design as the primary structure.
- Rooftop mechanical equipment should be integrated into the overall mass of a building by screening it behind parapets or by recessing equipment into hips, gables, parapets or similar features. Plain boxes as the only screening mechanism are not acceptable.
- Equipment installed at ground level shall be screened by low walls or landscaping.
- Areas for outdoor storage, trash collection, and loading shall be incorporated into the primary building design. The materials used shall be of comparable quality and appearance as those of the primary building.
- Loading areas or docks, outdoor storage, waste disposal, mechanical equipment, satellite dishes, truck parking, and other service support equipment shall be located behind the building line and shall be fully screened from the view of public rights-of-way.

Figure 45: Support Service Screening



J. SIGNS AND MURALS

1. Signs

In addition to LDC Section 5.06.00, the following regulations shall apply to all businesses within the Immokalee CRA Design Overlay district. If any of the provisions noted in this chapter conflict with the current sign code, the most restrictive shall apply.

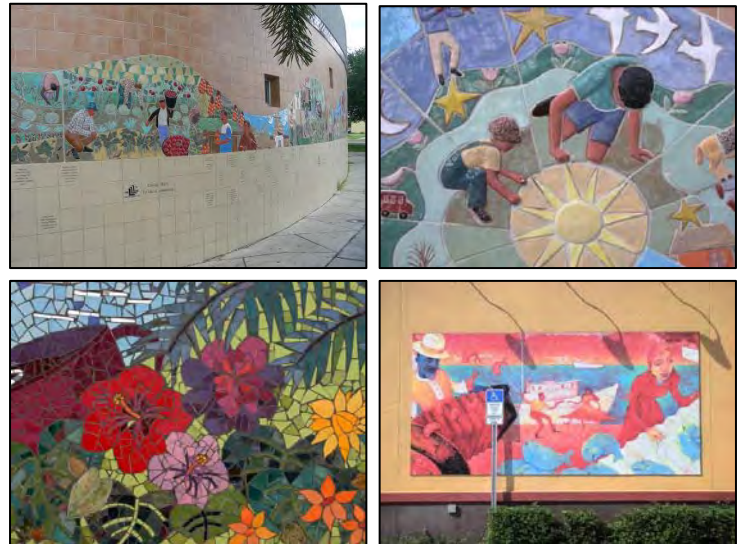
a. Freestanding Signs

- Ground signs are allowed if the building is set-back more than fifteen (15) feet from the front property line, regardless of the site width. This would apply to non-conforming uses such as a gas station within the CBD.
- The design of the ground sign shall be architecturally compatible with the style, composition, materials, colors and level of detail of the principal structure.

b. Attached Signs

- Signs shall not cover architectural detailing, windows or building ornamentation
- Pedestrian signs placed under a canopy or arcade perpendicular to the street shall be exempt from signage requirements as long as they do not exceed eight (8) square feet in area. (current restrictions on under canopy or arcade signs?)
- Where possible, signs located on buildings within the same block shall be placed at the same height in order to create a unified sign band.
- Wall signs shall not exceed seventy-five (75) percent of the width of the wall where they are placed, and shall not exceed 10% of the square footage of the façade where the sign is placed.
- The copy area of canopy or marquee signs should not exceed seventy-five (75) percent of the canopy or awning face vertically or horizontally.
- Awning signs shall not be placed on the curved or diagonal portion of the awning. The width of the sign shall not exceed seventy-five (75) percent of the width of the awning.

Figure 44: Example Murals and Wall Art



- Marquee signs shall be erected only within the face of the marquee and shall not extend outside the edge of marquee.

2. Murals and Wall Art

One (1) mural may be allowed per building subject to the following standards:

- The mural shall be placed only on walls with no doors or windows or architectural details/ornamentation. They require approval from the CRA to ensure the artwork does not constitute a sign otherwise permitted or prohibited and that the artwork complements the design of the building in color, shape and location.
- The mural area shall not exceed the square footage of the façade.

K. PUBLIC SPACE AMENITIES

When public space amenities are grouped together or chosen based on like attributes, such as materials, styles or colors they can create a particular aesthetic or strengthen and unify a design theme. Public space amenities for Immokalee such as fountains, pottery, benches, trash receptacles, public art, etc. can create the rich cultural aesthetic encouraged in Immokalee. The following are examples of public amenities in styles and colors relevant to Immokalee. For full recommendations see the Immokalee Public Realm Report, which can be requested from the CRA office.

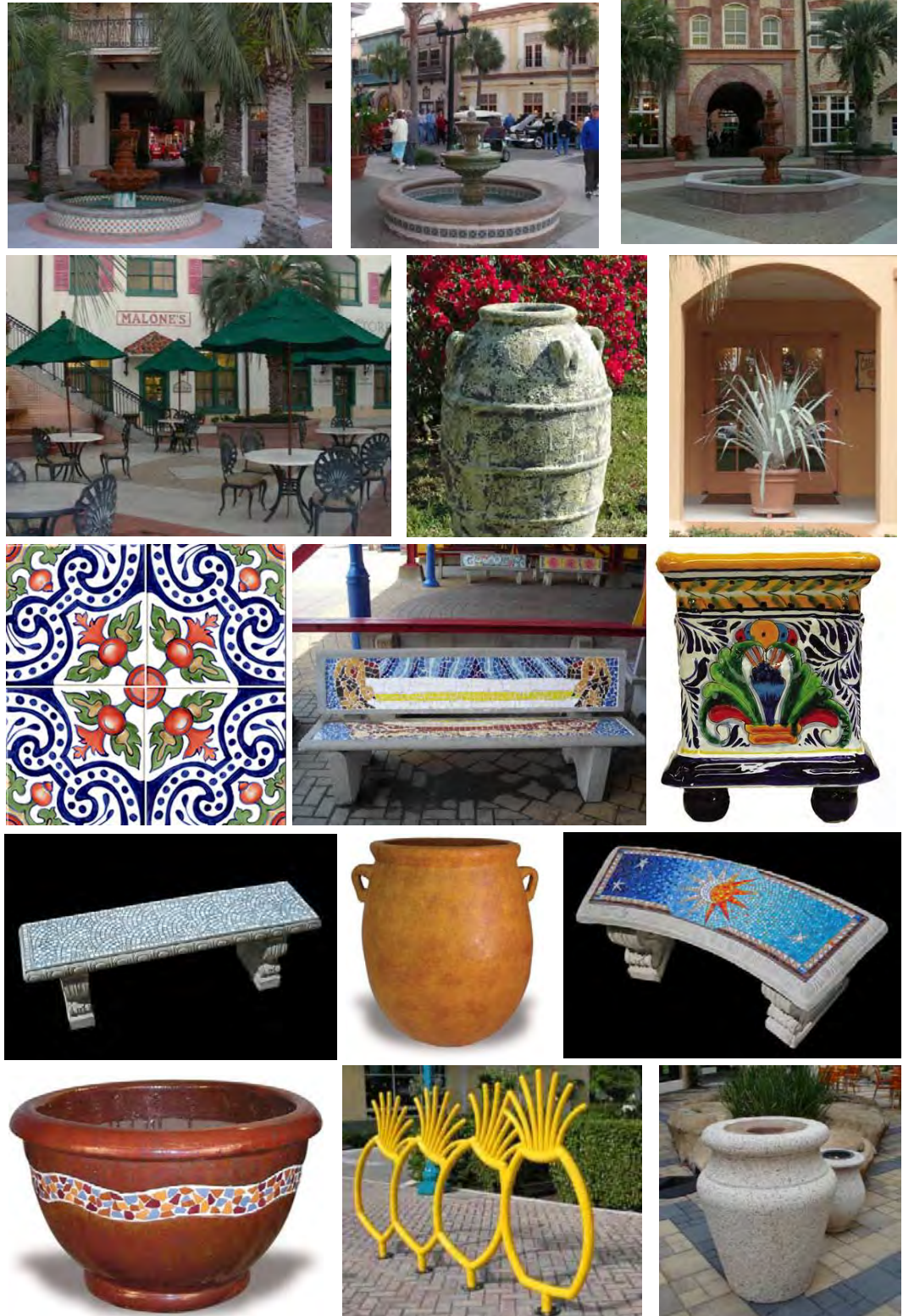


Figure 46:
Examples of Public
Amenities Appropriate for
Downtown Immokalee

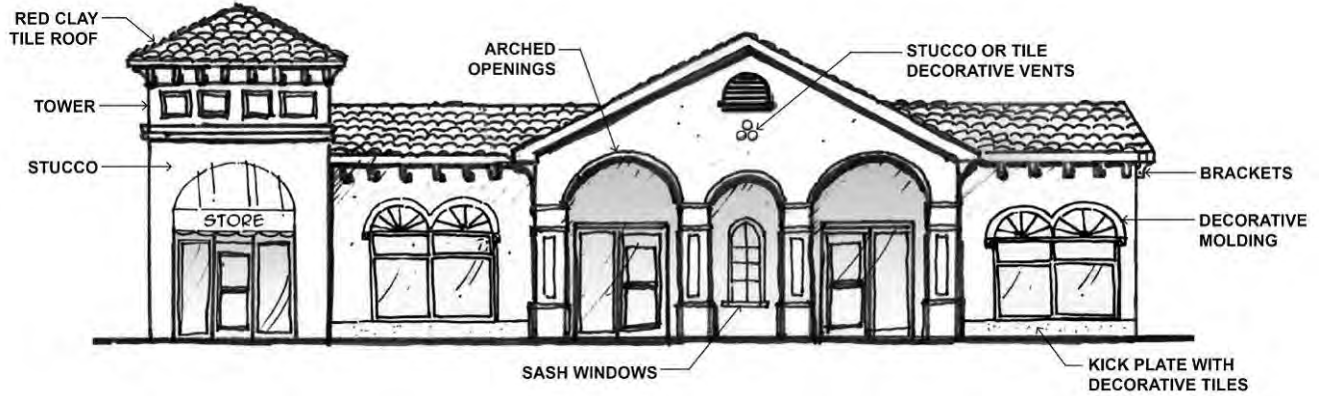
Appendix: ARCHITECTURAL STYLES

ARCHITECTURAL STYLES

The following table outlines the main characteristics of each architectural style chosen for the Immokalee Design District. For a building to be considered of a particular style, the elements highlighted in red text, at minimum, shall be used. The following sections show examples of the elements mentioned below.

	Spanish Vernacular		Frame Vernacular
	Mediterranean	Mission	
Roof Types	<i>Multi-level roofs</i> Gable Hip Pent/Visor Parapets	<i>Flat roof with curvilinear parapets are most common</i> Gable and Hip also used Pent/Visor	Gable Hip Pent/Visor Dormers
Roof Materials	<i>Red Clay Barrel Tile (half cylinders) or Spanish Tile (s-curved shape) in red and earth tones.</i>	<i>Red Clay Barrel Tile (half cylinders) or Spanish Tile (s-curved shape)</i>	<i>Metal roof (5v panels or narrow standing seam)</i>
Façade Materials	<i>Stucco with sand finish or hand troweled</i>	<i>Stucco with sand finish or hand troweled</i>	<i>Lapped siding with corner boards (wood or vinyl)</i> Vertical board & batten siding Pattern shingles (for accent)
Windows	<i>Arched windows (some triple-arched)</i> Vertical in proportion Half round transom above windows Sashed	Vertical Half round transom Sashed	Tall and narrow proportion Sashed Window and door trim projects out from wall cladding
Building Color	Typically earth tones; however, due to heavy influence from Central & South America brighter colors are encouraged	Typically earth tones; however, due to heavy influence from Central & South America brighter colors are encouraged	Typically pastel colors with white trim/accent; however, due to heavy influence from Central & South America brighter colors are encouraged
Ornamentation	Arcades Balconies <i>Full arches</i> Wrought iron, wood or cast stone railings <i>Patterned tiles or single tiles used for accent</i> Carved stone work Wood or iron window grilles Tile vents	Arcades Balconies <i>Full arches</i> Wrought iron, wood or cast stone railings Patterned tiles or single tiles used for accent Carved stone work Wood or iron window grilles Tile vents	Porches Columns, spindles (square or round) <i>Gable end or eave brackets</i> Shutters Transom windows
Fences	Combination of masonry and wrought iron	Combination of masonry and wrought iron	Wood picket fences

A. SPANISH VERNACULAR ARCHITECTURE 1. Mediterranean Style Architecture



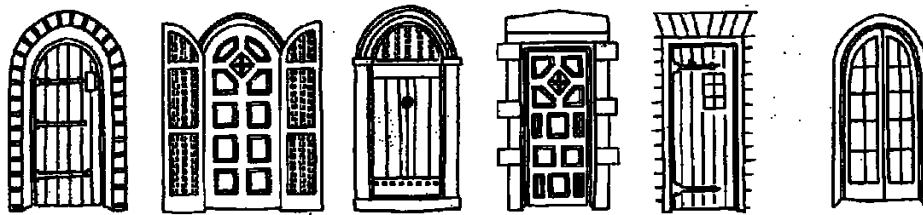
Clay Tile



Patterned Tile



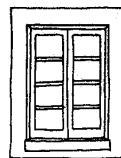
Arches



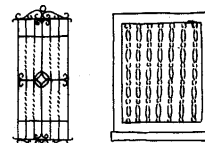
Typical Doors
and Door
Moldings



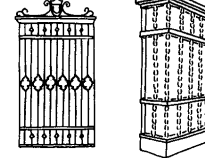
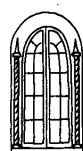
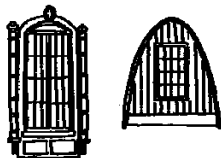
Focal Windows



Casement Windows



Window Grilles



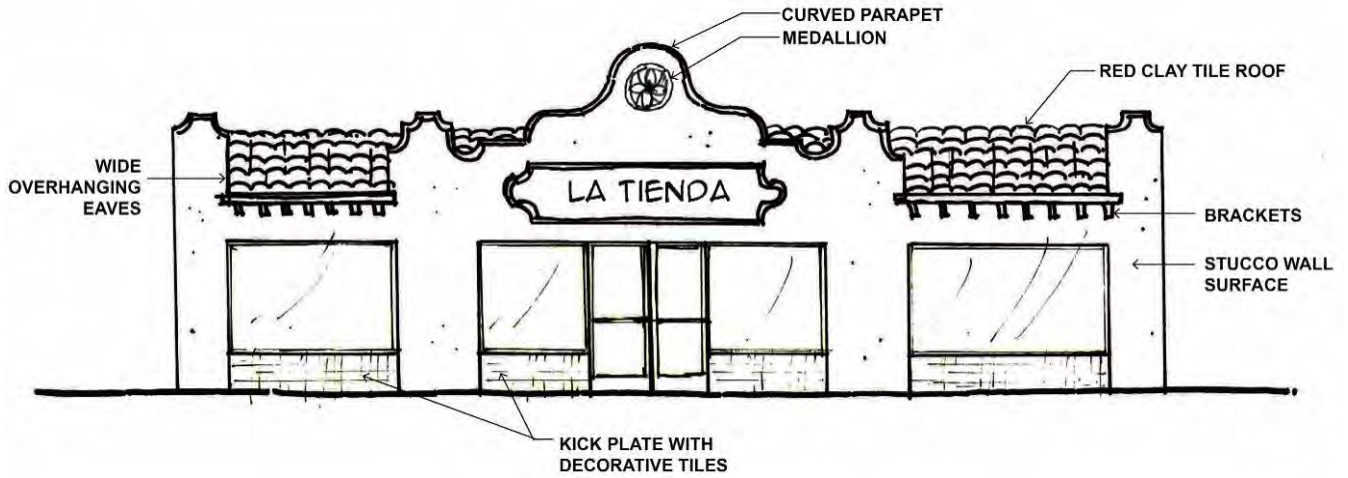
Streetwalls



Examples of Mediterranean Buildings



2. Mission Style Architecture



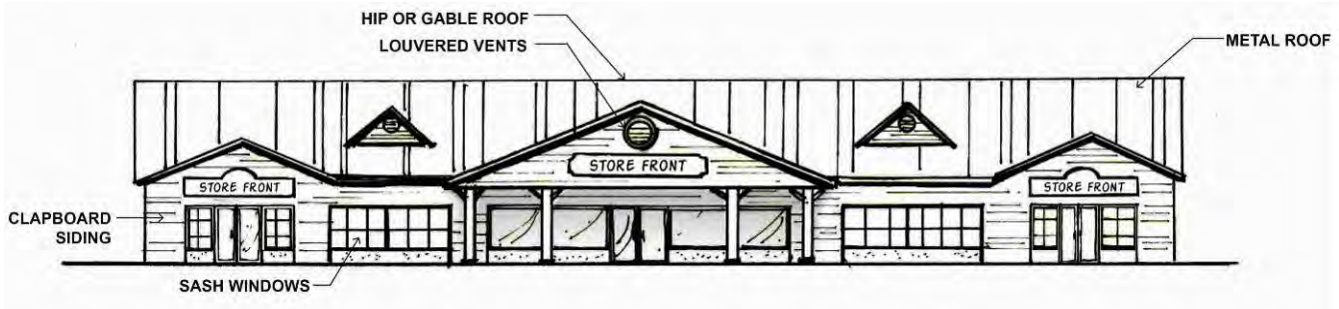
Streetwalls



Examples of Mission Buildings



B. FRAME VERNACULAR ARCHITECTURE



Streetwalls



Examples of Frame Vernacular Buildings







Public REALM PLAN

IMMOKALEE CENTRAL BUSINESS DISTRICT

Prepared by:



Prepared for:

IMMOKALEE CRA

Community Redevelopment Agency
iThe Place to Call Home!



Click [HERE](#) for a complete copy of the
Public Realm Plan (91 pages)

Operations Manager Report

March 12, 2021

1. Immokalee Area Master Plan (IAMP) Restudy

(PL201880002258) Approved by BCC for final adoption on 12/10/2019.

Copy of IAMP as amended by Ordinance 2019-47 can be found at www.ImmokaleeToday.com website.

Implementation schedule was provided at the November meeting.

County staff will discuss IAMP Policy 6.1.3 Downtown Ped Amenities and 3.1.4 Central Business District on March 17, 2021 Meeting.

2. CRA Office

CareerSource SWFL building is open by appointment only.

Job Bank Assistant – staff is continuing to use temp service until further action is taken.

3. Redevelopment Plan

Staff issued Notice to Proceed to Johnson Engineering on December 1, 2020 to provide planning support services for the Immokalee Community Redevelopment Plan. Their proposal of \$79,710 is based on planning support services for the CRA staff’s update to the Immokalee Community Redevelopment Plan. This effort is specific to Section 4 of the Collier County Community Redevelopment Agency Community Redevelopment Plan, amended May 2019. The Immokalee Community Redevelopment Plan will be prepared consistent with the policies of the Immokalee Area Master Plan adopted as part of the County’s Growth Management Plan on December 10, 2019. Completion of this project is set for March 31, 2022 (485 days). On February 16, we began a weekly online survey with a variety of questions to solicit public input on the following topics: Cultural Survey, Recreation Survey, Housing Survey, Economic Development Survey, and Transportation Survey. We hope you will take a few minutes of your time each week to participate. The input gathered from the survey will be shared with the public at the Community Kickoff Meeting to be held March 31, 2021 @ CareerSource SWFL at 5:30 p.m. Over the next six months, there will be various public outreach events to gather additional input and comments on proposed changes.

Community Kickoff Meeting with be held on March 31, 2021 @ CareerSource at 5:30 p.m.

4. Infrastructure Projects in Immokalee

1) ***Carson Road Project - Eden park Elementary Safe Routes to School***

- 6’ Sidewalk on the south and west side of the road.
- Construction costs \$663,000.
- Funded with Safe Routes to School funds in FY 21/22.
- Construction in FY 22/23



2) **Lake Trafford Road**

- Design for projects 1&2 (Lake Trafford) has not started. In Negotiations.
- BCC award of Design has been pushed back to February 2021.
- Construction 2022/2023
- Project 3 is discussed under Stormwater projects.



Design of bicycle and pedestrian features on Lake Trafford Road from Little League Road to Laurel Street. The project length is approximately 1.850 miles. Specifically, the design will provide for bicycle lanes on each side of the roadway within the project limits and design of a 6' sidewalk on the south side of the roadway from Carson Road to Krystal Lane and from North 18th Street to Laurel Street. Includes adjustment or relocation of the existing signalization at the intersection of Carson Road and 19th Street, if required. Constrained right-of-way at 19th Street intersection may require bike lane tapers to sidewalks and minor incidental intersection improvement at this location.

3) **TIGER (Transportation Investment Generating Economic Recovery) Grant**

Immokalee Complete Streets TIGER Grant – \$16,415,864 Project total. Funding sources are FHWA grand funds (80%) = \$13,132,691 County match funds (20%) = \$3,283,173.

Includes design and construction of 20 Miles of concrete sidewalks, a bike boulevard network, a shared-use path, street lighting, bus shelters, a new transit center, landscaping, drainage improvements, and intersection and traffic calming retreats.

Collier County has provided the CRA with an overview of estimated schedule with milestones. The design/build portion of this project is set to start early 2022 and construction is set to be completed early 2024.

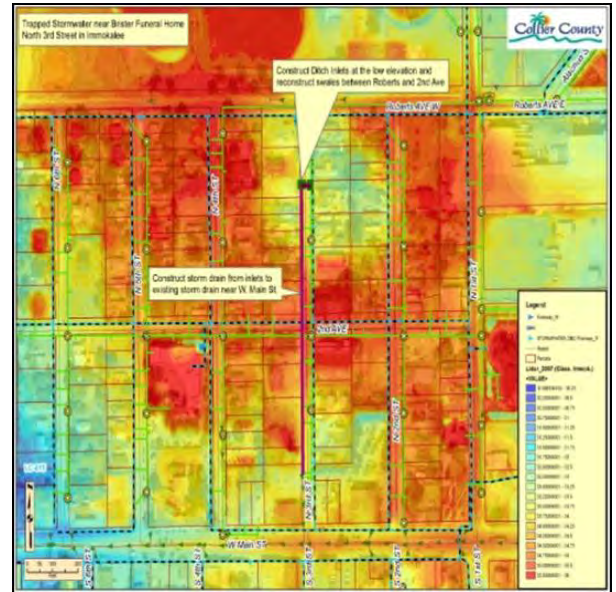


4) **Stormwater Improvements**

The original Immokalee Stormwater Master Plan (ISWMP) was prepared by H.W. Lochner (2005). Camp Dresser & McKee (CDM) was contracted in 2010 to prepare construction plans for the Downtown Immokalee and Immokalee Drive projects plus update the ISWMP. A draft update document was prepared but not finalized. On November 28, 2018 county staff presented the follow-up analysis.

**Immokalee Stormwater Project updates:
North 3rd Street Stormwater Improvements:**

The North 3rd Street Drainage proposed project is located on North 3rd Street between 2nd Avenue and Roberts Avenue West. The project would include roadside swales, installation of inlets on 3rd Street, construction of a storm drainpipe system to alleviate ponding and allow conveyance southward to the storm drain system on West Main Street. Cost for repairs is estimated at \$600,000. The grant funding contract is now finalized, and the project is entering the contractor bidding phase. The new project manager is Brittany Lazo with Collier County Stormwater Management. The contractor procurement process typically takes 5 or 6 months, but the process is moving forward.



Eden Gardens project:

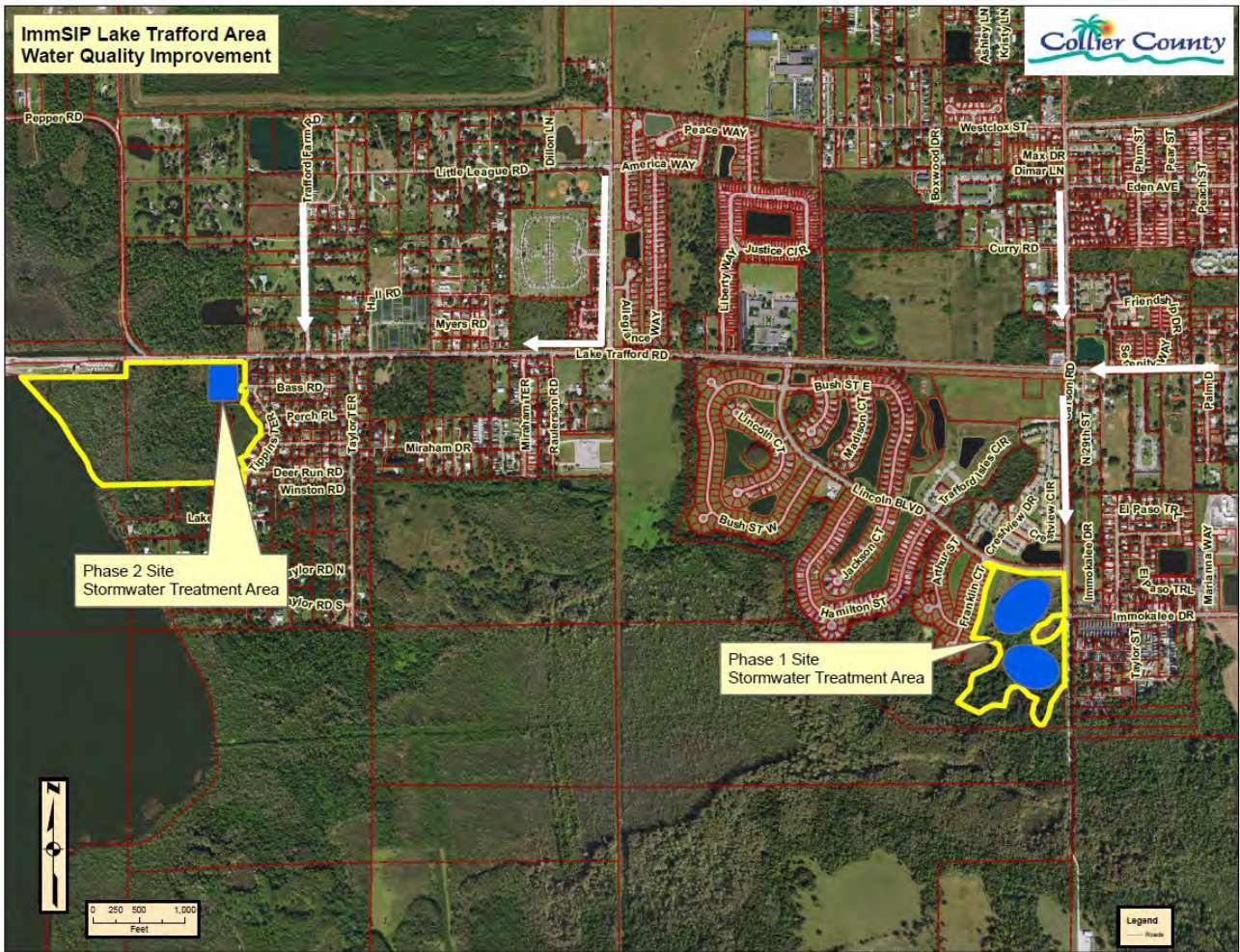
The County has again applied for CDBG-DR grant funding for this project. The application is now in the review and response to questions stage. The Eden Garden Bypass Drainage Improvement proposed project is located in the area south of Westclox St., east of Boxwood Dr., west of Carson Rd., and generally north and northeast of Eden Gardens. The project would construct a new ditch along the northern boundary of Eden Gardens, install a 24” pipe under Boxwood Dr. to tie into the existing ditch along the northwest boundary of Eden Gardens to convey flows further west. Cost for repairs is estimated at \$600,000.

Madison Avenue Channel project:

On the northeastern side of Immokalee, county staff obtained Board of County Commissioners approval to purchase a 6-acre parcel just to the east of the Immokalee Foundation Career Path Learning Lab site. They are still working through the closing with the owner. That site will provide a pond site to improve stormwater quality from the outfalls along Madison Ave. Additionally, county staff is working with FDOT’s design firms to coordinate the alignment of the SR-29 bypass loop so they can avoid having to route the stormwater from the Madison Avenue channel all the way around the north and east sides of the airport. So far, this coordination looks favorable.

Lake Trafford Road Area:

The single negotiated contract for designing both the stormwater treatment facility in the SE corner (Tract 3) of Arrowhead Reserve and the pathway and needed drainage improvements along Lake Trafford Road from Little League Road to Tippins Terrace is being scheduled for Board of County Commissioners approval in October. County staff sent draft executive summary to Procurement on 09/28/2020. County staff is looking at phasing the construction, with Phase 1 being the Arrowhead Tract 3 site and Phase 2 being the pathway and drainage west of Little League Road. The goal is to get the Phase 1 design done by roughly late February/early March 2021 so county staff can then start bidding for its construction start in FY 20/21. Staff plan on bidding the Phase 2 construction in the following fiscal year FY 21/22.



5. Commercial Façade Grant

Program is in place and being reviewed for revisions. On June 19, 2019 CRA board approved Lozano’s Mini Mart for a \$20,000 façade grant for improvements to property located at 102 New Market Rd.

Staff met with Mini Mart owners to complete package for BCC submittal.
No update.



6. FHERO

Florida Heartland Economic Region of Opportunity – updates Staff continues to attend monthly meetings.

FHERO was awarded a \$22,000 grant to prepare an Economic Strategic Plan for Immokalee. Site Tour was conducted by VisonFirst on March 13, 2020. Staff provided VisonFirst with updates to draft Strategic plan. Final copy will be presented at a future meeting.



The new digital flip-book edition of the **FHERO Guide** is live, active and public. For complete 32 page guide please visit http://passportpublications.com/FHERO_Guide.html

Staff processed annual membership fee in the amount of \$2,415.40. Pursuant to Executive Order 16-150, the RAO designation for the area around Immokalee included within the Round II Federal Rural Enterprise Community located in northeast Collier County shall be in effect for five years and will expire on June 27, 2021.

The CRA was awarded through FHERO a Site Improvement Plan DEO Grant totally 13,540 for Professional Services for Airpark Blvd. The Proposed scope of work include general consulting, engineering, planning, and survey services to evaluate the subject site for commercial development.

The CRA was also awarded through FHERO a Retail Demand Analysis DEPO Grant totally \$7,700 for Professional Services for assessment of retail demand in the Immokalee Community.

7. Immokalee Unmet Needs Coalition

The Housing Committee is updated the Immokalee Disaster Recover Resiliency Plan and funding options for future projects. The Immokalee Unmet Needs Coalition (IUNC) is a long-term recovery group that formed in the fall of 2017 as the result of Hurricane Irma. This group is composed of non-profits, faith based, local, state or national organizations who work together to meet the unmet of Immokalee residents impacted by disaster. Housing committee meetings are held the second Friday of every month via zoom.

8. EPA Brownfields Coalition Assessment Grant

Awarded to the Southwest Florida Regional Planning Council. Immokalee site identified in the grant was the **Immokalee Regional Airport** (165 Airpark Blvd., Immokalee, FL. 34142). Airport staff is coordinating with Terracon to complete assessment. Terracon provided staff with a draft report of the airport sites.

9. Development in Immokalee1) *Guadalupe Center van Otterloo Campus for Learning*

The Guadalupe Center broke ground on October 30th for a new educational campus that will create lasting, transformational change for students in Immokalee. The van Otterloo Family Campus for Learning will feature two academic buildings with multiple classrooms, a library, learning lab, cafeteria and kitchen, playground, administrative offices, mentor lounges, commons areas, a medical and dental suite, outdoor gardens and a student wall of fame.

The campus will accommodate up to 154 students in Guadalupe Center’s Early Childhood Education Program, as well as 125 high school students in the college-preparatory Tutor Corps Program. Guadalupe Center named the campus in honor of Rose-Marie and Eijk van Otterloo, whose generous \$5 million matching gift helped launch the project and inspired others to give. Within the campus, Brynne & Bob Coletti Hall will become the new home for the Tutor Corps Program. Barron Collier Companies donated 9.5 acres for the new campus. For more information please visit www.guadalupecenter.org



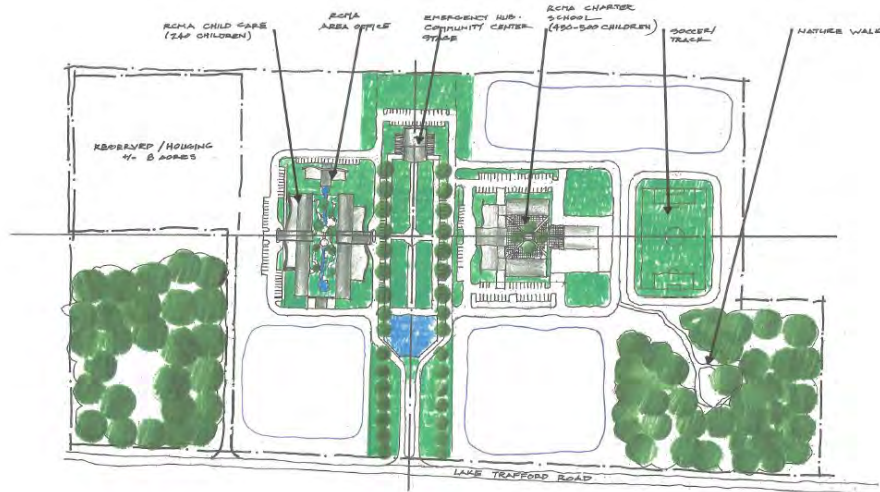
2) ***Immokalee Foundation Learning Lab 18-home subdivision***

The Immokalee Foundation Learning Lab 18-home subdivision is currently under construction. Collier Enterprises donated the 8 acres of land for a housing subdivision that will serve as a hands-on learning laboratory for students in the foundation’s program., Career Pathways: Empowering Students to Succeed. BCB Homes, will be serving as the general contractor.



3) ***Redlands Christian Migrant Association (RCMA) Childcare Development Center and Community Hub***

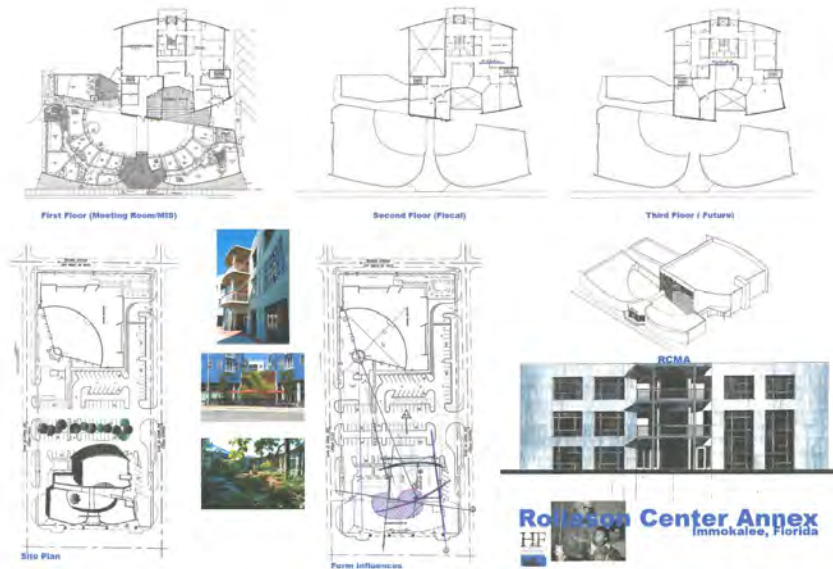
The RCMA proposed childcare center and community hub consist of Childcare classrooms, Area office, and playground. The development will accommodate 234 children and 30 employees. RCMA will be presenting to the CRA at a future meeting.



HF RCMA at Lake Trafford Road
 Schematic Overall Site Plan
 January 14, 2021

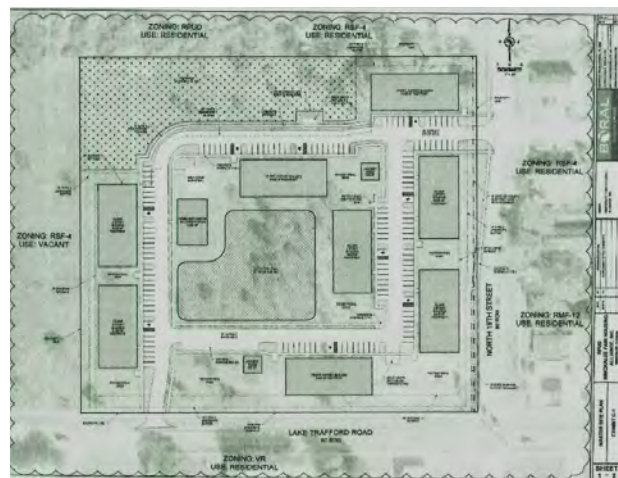
4) **Redlands Christian Migrant Association (RCMA) Rollason Center Annex Building located at 402 W. Main Street (Headquarters)**

The proposed three-story office building design is currently in discussion for development if funding permits.



5) **Immokalee Fair Housing Alliance (IFHA)**

The Immokalee Fair Housing Alliance proposed housing development consist of 8 buildings with 16 apartments each or 128 Units in all. Construction will progress in phases. Housing units will be two- and three-bedroom apartments ranging in size from about 750 to 950 square feet. For my information please visit <http://www.ifha.info/>



6) Proposed **7 Eleven** at corner of 9th and Main Street



10. The Face of Immokalee

On December 12, 2018 Michelle Tricca, a local Artist, presented The Face of Immokalee, a proposed outdoor photography installation celebrating the soul of Immokalee. CRA board supported the project and have formed a subcommittee to move the project forward.

The subcommittee last met on December 9, 2019 to discuss the art wall options for the old McCrory's building (S&O Grocery), Lipman Produce (trucks/building), site on 1st Street (Gadsden blue building), and the Zocalo plaza. Committee supported rendering provided by artist with minor changes. Ms. Tricca's photos were selected to be displayed at the BCC Chambers through February 29, 2020.

On October 22, 2020 CRA staff and Lipman staff met with Michelle Tricca to discuss project status.

On October 29, 2020 WGPU did a story on Ms. Tricca's public art installation for the Phase 1 portion of the project. Please see link to the WGPU Face of Immokalee story. [WGPU Face of Immokalee Story](#)

On November 18, 2020 both the CRA and MSTU board supported The Face of Immokalee project and made a motion to allow the use of Zocalo Plaza Art Wall as a canvas for the project.

11. Impact Fee Installment Payment Program

The program is for areas within the Immokalee CRA Boundary. The program took effect on October 2017.

- 1) Pay your impact fees in installments over 20 years.
- 2) Non-ad valorem special assessment on property tax bill.
- 3) One-time application fee:
 - o Residential Single Family - \$500.
 - o Residential Multi-Family or Commercial - \$1000.
- 4) Property Appraiser and Tax Collector Reimbursement:
 - o \$200 one-time fee.
- 5) An approved agreement must be executed and recorded prior to issuance of a Certificate of Occupancy or payment of impact fees.
- 6) For complete program requirements call Brandi Pollard at 239-252-6237 or email her at Brandi.Pollard@colliercountyfl.gov.

12. Collier County Opportunity Zone Program

A new community and economic development tool to drive long-term private investment in low-income communities!

Collier County hopes to leverage Opportunity Zones as an important tool to support the development of jobs, affordable housing and economic vitality in five areas in Golden Gate, Naples Manor and in and around Immokalee.

Low Tax Opportunity Zones, established by the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for many job creators. They enhance the ability to attract businesses, developers and financial institutions to invest in these targeted areas — distressed communities — by allowing investors to defer capital gains taxes through investments Low Tax Opportunity Zones, established by the federal Tax Cut and Jobs Act of 2017, encourage long-term investment and job creation in targeted communities by reducing taxes for many job creators. The zones enhance local communities' ability to attract businesses, developers, and financial institutions to invest in targeted areas by allowing investors to defer capital gains taxes through investments in federally established Opportunity Funds.

It's an economic and community development tax incentive program that provides a new impetus for private investors to support distressed communities through private equity investments in businesses and real estate ventures. The incentive is deferral, reduction, and potential elimination of certain federal capital gains taxes.

U.S. investors hold trillions of dollars in unrealized capital gains in stocks and mutual funds alone, a significant untapped resource for economic development!

To become a Qualified Opportunity Fund, an eligible corporation or partnership self-certifies by filing [Form 8996](#), Qualified Opportunity Fund, with its federal income tax return.

Three areas in and around Immokalee, from Lake Trafford to the west to the county line to the east

- 1) [Census Tract 112.05](#) area surrounding Immokalee
- 2) [Census Tract 113.01](#) area surrounding Immokalee
- 3) [Census Tract 114](#) Immokalee

Report by:

Christie Betancourt, Operations Manager

Project Manager Report
3/10/2021



1. Community Development Block Grants (CDBG) Sidewalk Projects

i. Immokalee Sidewalk Project Phase II

Carver Street and S. 5th Street (funded with CDBG and CRA funds) Project #33588.1

In June 2019, through a competitive process, the Immokalee CRA was selected and awarded grant funds for additional sidewalk improvements along the southside of Immokalee. The CRA received a total of \$676,365 of HUD funding allocation for CDBG projects.

In June 2020, through a competitive bid process Coastal Concrete Products LLC d/b/a Coastal Site Development (Coastal Concrete) provided certification as a Section 3 Business and was awarded the contract in the amount of **\$821,756.00**. Total project cost is estimated at \$991,114.



S 5th St. on 3.9.21



Construction Schedule		
Commencement of Work		9/16/2020
Notice to Suspend		9/24/2020
Notice to Resume Work		10/9/2020
CO1 approved on 3.9.21 Completion Date		3/17/21
With Proposed CO#2 Final Completion Date		Was 3/17/21 Now 3/30/2021*
Total	180 Days	
Closeout Monitoring		Now 3/17/2021 & Proposed for 3/30/21 with approval of CO#2

*Rain Days – November 9, 10 & 11, 2020 for Hurricane Eta will add 3 days to work schedule and 4 Holidays in November and December 2020 and January 1, 2021 subject to CO#2 approval.



At 7/11 on Carver St. 3.9.21



South Side Carver St near Immokalee Rd. 3.9.21



Carver St 3.3.21



S 5th St. 3.3.21



Headwall installed at Carver St and Immokalee Rd. 3.3.21

Current Activities:

Construction Budget	Amount	Percentage
CDBG Funds	\$676,365.00	82%
CRA Funds	\$145,391.00	18%
Awarded Bid	\$821,756.00	100%

11/30/2020 extended to 3/12/21

Staff has processed CDBG reimbursement request to CHS for Applications #1 (\$20,750), #2 (\$56,353.35), #3 (\$263,943.40) and #4 (255,612.45) totaling \$596,659.20 or 88.2% of the CDBG funds in invoices for payment for Coastal Concrete (less retainage) with another invoice due on 3.15.21 for work completed 3.1.21 – 3.12.21 to utilize the balance of the CDBG Funds.

A Change Order to the Construction Contract was prepared to extend the project completion from 2.28.21 to 3.17.21 to add an additional 17 days to the construction contract due to scheduling delays, modifications to shop drawings and weather conditions to allow for project completion. Change Order #2 with a Work Directive is being processed for the timely completion of necessary in-field work. Utility, Roadway & Drainage Allocations totaling \$15,786.99 together with the extension of 13-days is directed in the proposed CO#2 and the Work Change Directive described below. No additional funds are required.

Description of Work Change Directive is as follows:

- 1.) Deflect from the unknown Seminole Tribe’s force main that was discovered in the field when preparing the site for the installation of the headwall on 2.19.21 and installed on 2.24.21. The urgent work was unforeseen because the Tribe’s force main was not mapped or recorded.
- 2.) Cut and remove a portion of the existing pavement adjacent to the newly poured sidewalk on Carver Street for proper drainage to the new storm water drains on Carver Street
- 3.) Adjustment to structure S10099 to close up North side opening. Revised connection of existing 12” drainage line at middle of run of 18” pipe with pipe collar between S10093 and S10099.
- 4.) Adjustment to Structure S101107 and S10104 and pipe run in between due to existing sewer main being in conflict.

County Inspection on 3.9.21 revealed several minor issues that have mostly been corrected (e.g. open cuts have temporary asphalt, MOT signage up and placement of turf). Progress Meetings are conducted biweekly in March on 3.4.21 and 3.18.21 with Staff, Contractor, CEI and Engineer. Staff is evaluating the need for an asphalt overlay on Carver St and a portion of Booker Drive.

ii. Immokalee Sidewalk Project Phase III – Eustis Avenue



On February 6, 2020 the CRA applied for a Community Development Block Grant (CDBG) for the construction of sidewalks along Eustis Avenue. Project area is highlighted in yellow from South 5th Street to South 1st Street (about .3 mile). Current and completed projects are highlighted in orange.

The total cost for the project (design and construction) is estimated at \$380,000. The MSTU (Fund 162) will design the project, and the anticipated cost is \$60,000. On March 6, 2020 CRA staff presented to CHS panel and staff for the grant project. In April 2020, staff were informed that they were not awarded the requested grant amount. Staff is moving forward with the Direct Select process for a Contractor to design this project to have it ready for consideration of grant funding in 2022. No Update.

2. Beautification Enhancements

i. Welcome Sign (Monuments)



Immokalee Welcome Sign – First St/Eustis Ave 3.1.21



Lykins-Signtek approved sign for Triangle Welcome Sign

On the 1st/Eustis monument sign the “Field of Dreams” painted mural by artist, Martha M. Cantu, was completed on 12.24.2020. The Monument permit and the ROW permit were extended for the work to be complete on the sign. Lykins added the lettering “Welcome To” and “Immokalee My Home” and the installation of the planter pots, irrigation & electrical hookup and landscaping plantings were completed by Hannula Landacaping & Irrigation Inc. on 3.1.21 when it was discovered that the bottom of the pots are welded to the upper portion. Where this weld connects, the pots leak water when the irrigation is activated for a period of time. In addition, overnight some of the new landscape was stolen. A police report regarding the stolen plants was filed on 3.2.21 and the Landscape Architect provided corrective measures on the pots and the Manufacturer has been contacted to coordinate a resolution to the pots.



6 missing Penta 3.2.21



3 missing foxtail ferns 3.2.21

Lykins has extended the permit to resume work on the Triangle sign project and is doing a print on a ACM substrate to attach to the Triangle sign with the lighted lettering underneath.

The Farm Worker’s Village sign (Panther Crossing/SR 29) is pending the recording of the conveyance of an easement and the subordination, consent and joinder documents before Staff can proceed. The coordination of securing the required documentation is being managed by the Collier County Real Property Management Department (RPMD). The Housing Authority has approved the easement and has signed off. A Subordination on the mortgage is needed and it is anticipated to have the release signed within a few weeks so hopefully next month RPMD will be able to close.

The 100 bricks are stored at road maintenance, and Staff has prepared a draft Small Projects Request for Quote to obtain bids. No Update.

3. **First Street Corridor Conceptual Plan**

Q. Grady Minor & Associates, P.A (Grady Minor) is to provide professional services for future street lighting and pedestrian safety improvements along South First Street (from Main Street to School Road/Seminole Crossing Trail) in Immokalee. The work includes feasibility studies and conceptual plans for the purpose of relocating existing decorative light poles, considering the future street lighting and pedestrian safety improvements. Additionally, it includes reviewing and providing recommendations for the location of new pedestrian crosswalks and the location of new landscape and hardscape elements. Tom Hollis Engineering Consultants, Inc. will provide sub-consultant assistance for determining lighting requirements, light pole locations, and lighting specifications.

On 3.2.21 it had been verified that all the lights on 1st St from Main St. to the casino are DOT lights. They are on steel poles. LCEC's first light starts at 105 Carver St. and is straight across from the casino. The LCEC lights go south on the corridor from Carver Street. A coordination meeting was scheduled for 3.11.21 with Staff, the consultants, Traffic Operations and Transportation to review the preliminary plans. These coordination efforts necessitated the processing of a Change Order #1 for an extension with no additional costs. The total project cost for the evaluation remains \$43,872.



LCEC lights south of Casino on S 1st St and DOT lights north of Casino on S 1st S to Main St

4. **Trash Cans and Garbage Pickup**

Staff is continuing cleanup efforts with our Maintenance Contractor. Staff is working on setting up an Interagency discussion for a solution and funding. Some possible solutions are daily walk throughs and clean up by workers, a local educational effort to keep the sidewalks clean and/or the removal of the benches from Main Street to stop the homeless from loitering and littering.

5. **Main Street Improvements & Lighting (Post-FDOT's completed lighting project)**

In addition to trash removal, another issue is that mulch in the medians is coming into the roadway. Chickens are making beds in the mulch. The solution is to remove the chickens and to remove the dirt in the medians and replant in the problem areas. Commissioner William "Bill" McDaniel is coordinating with the Sheriff's Office to utilize "Weekend Warriors" for clean-up of excessive trash.

With the completion of the FDOT lighting project, an Observation Walk was conducted on 3.1.21 along Main Street from 1st Street to 9th Street identified safety hazards such as replacement of two tree grates, grind down bolts on cement walk from a former bike rack, the removal of three damaged benches, a sign, two irrigation boxes, old abandoned bikes on racks, dead plants and the removal of extra dirt in bulbout and transfer to fill the bulbouts with holes. An estimate for the work is \$1,200 to address these safety hazards on Main Street. The installation of plantings and mulch will commence at the historical cemetery. Staff shall order flag banners for Memorial Day and Fourth of July to celebrate the holidays for the new FDOT streetlights on Main Street and look into other seasonal banners.

Twenty-seven (27) poles on SR29 have been identified that do not have power. Staff received a quote of \$24,237.80 from Simmonds Electric to add power to these poles for holiday decorations for the Board's consideration.

6. Zocalo Plaza

i. Parks & Recreation Monthly Maintenance

Park staff continue doing monthly maintenance (painting, trimming, cleaning, and mulch) of plaza; and Staff is billing CRA & MSTU quarterly. Staff is monitoring the quality of maintenance services being provided. In addition, the chicken population is being monitored to reengage the DAS services as needed.

ii. CRA Staff

Simmonds Electric completed work (Purchase Order issued for \$15,627,03) at Zocalo for the electrical enhancements for additional loads and provide a cut-off switch in the electrical room area for the Plaza. Simmonds also completed the wiring for the proposed kiosk and better amps for holiday decorations. GEC, LLC's quote of \$4,514 was awarded as lowest bidder to purchase, permit and manage the installation of the kiosk together with the relocation of the pineapple bike rack and restoration of pavers. The contractor anticipates delivery of the kiosk from the supplier the week of 3.15.21 and installation work to be completed the last week of March. The Electrician will then finalize connectivity to the kiosk and relocate the step-down transformer to an above-ground location to keep it waterproof.

7. Roadway Improvements

i. SR 29/Westclox Street

The design for a roundabout for this intersection is completed. On 1.11.21 FDOT reported that the project is approved and is being authorized for the equipment to be purchased for a full signal light for that intersection. It should be constructed sometime early next year.



ii. SR 82 Road Widening Project Gator Slough Lane to SR 29 (Project # 430849-1).

The Florida Department of Transportation's (FDOT) contractor, Ajax Paving Industries of Florida, began work at the end of the year 2019 to widen SR 82 from Gator Slough Lane to SR 29, from a two-lane undivided roadway to a four-lane divided roadway, while allowing for a future six-lane roadway. Additional improvements on this 3.2-mile corridor include construction of 5-foot wide paved shoulders, which will also serve as bike lanes, a 54-foot wide median, a 10-foot multi-use trail along the south side, and a 5-foot sidewalk along the north side.

The intersection at SR 29 will be changed from a stop condition with flashing beacon to a roundabout. The construction is expected to be completed by summer of 2022. The community outreach manager is Lisa Macias. The Project Manager is Dennis Day.

A new temporary traffic signal has been installed at the intersection of SR 82 and SR 29 in Collier County. Law enforcement were on site to assist motorists with the new traffic pattern. FDOT announced that the temporary traffic signal will remain in place through late summer 2021 while crews continue to work on the project. Motorists should expect delays and are advised to drive with caution, courtesy, and patience as they adjust to the new traffic pattern.

For more details about the project, please visit the project website at: <http://www.swflroads.com/sr82/gatorsloughIntosr29/>

8. CAT Bus Stop #353 located on Roberts Ave W in front of Roberts Senior Center

Bus stop 353 located on Roberts Avenue West in front of the Roberts Senior Center was originally was planned for ADA improvement but after further review it was determined based on the counts it met the criteria for a bench to be incorporated into the improvements and a shelter. CAT did not have the funds to cover all the construction. CAT obtain support from the CRA and the MSTU for a total shared cost between the CRA and MSTU of \$30,000 with each paying a not-to-exceed amount of \$15,000 to complete bus stop improvement to include ADA compliance, bench, bike rack, trash can, stormwater improvements and a shelter (see below). The shelter and amenities were ordered but are not anticipated to arrive until late April 2021 to complete the installation. CAT Staff is to provide a video on how facilities are designed to work for a presentation to the CRA/MSTU and for the website.



Roberts Senior Center Bus Station 2.19.21



Signal Pole at Main St/9th St 3.10.21

9. Signalization Maintenance

On 3.10.21 Staff identified eleven (11) Mask Arm Poles (photo above) that need painted at intersections: (1) Main St/9th St – at the Handy Store and 2 on south side, (2) New Market Rd/Charlotte – all 4 poles, and Main St/1st St – all 4 poles. Staff will get a quote and may need to start a maintenance fund to start doing one intersection a year or as funding permits.

Report by: Yvonne Blair, Project Manager Dated: March 10, 2021

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Case Number	Case Type	Description	Date Entered	Inspector	Location Description	Detailed Description
CEL20210000764	LU	Closed	01/24/2021	christopherambach	CO 4071 - Citation dismissed mc 2nd Offense	AIMS complaint--outside seating in parking lot directly in front of restaurant. Recurring violation. 303 New Market Rd
CENA20210000770	NA	Closed	01/25/2021	stevenclopez-silvero	415 S. 1st Street	Litter.
CENA20210000808	NA	Closed	01/25/2021	ManiaRodriguez	707 Colorado Avenue	dumpster is open and trash is spilling out. buzzards eating out of the top. this problem is at the trailer park on Colorado near 9th street.
CEA20210000854	A	Closed	01/26/2021	stevenclopez-silvero	1419 Santa Rosa Ave	Loose chickens that are destroying the callers property. She believes they are coming from the property behind her.
CEROW20210000884	ROW	Closed	01/26/2021	ChristopherHarmon	N. 1st. St. at Immokalee Drive	sign attached to utility pole in ROW
CEROW20210000885	ROW	Closed	01/26/2021	ChristopherHarmon	N. 1st. St. near Broward	sign attached to utility pole in ROW
CEROW20210000887	ROW	Closed	01/26/2021	ChristopherHarmon	N. 1st St. at Roberts Dr.	sign attached to utility pole in ROW
CEROW20210000888	ROW	Closed	01/26/2021	ChristopherHarmon	N. 1st St. at Main St.	sign attached to utility pole in ROW
CEROW20210000889	ROW	Closed	01/26/2021	ChristopherHarmon	N. 1st St. at New Market	sign attached to utility pole in ROW
CENA20210000921	NA	Open	01/27/2021	stevenclopez-silvero	No site address/lot west of 1017 Jefferson Avenue W.	Overgrown weeds/grass.
CEPE20210000983	PE	Closed	01/28/2021	stevenclopez-silvero	802 Tippins Terrace	***Health Safety Welfare*** Walk in complaint-- Complainant advised semi and trailer parks at 802 Tippins Terr from 7:00pm overnight until 10:00am 3 to 4 times weekly. Complainant advised when driving you cannot see the semi. at night and almost caused accident. Complainant worried about small children riding bikes etc getting hurt.
CEV20210001003	V	Open	01/28/2021	stevenclopez-silvero	508 Clifton Street	Unlicensed/inoperable vehicle.
CEV20210001028	V	Closed	01/29/2021	stevenclopez-silvero	610 Clifton Street	Unlicensed/inoperable vehicle THIS WOMAN DRIVES A TRUCK TO HER TRUCKING HOME AND TENS IT OUT INS WAYS NEVER BY BUSINESS UNTIL THE COUPLE WHO IS REMOVED IT NOW are always playing loud music drinking alcohol almost everyday until 3am in the morning with loud music arguing. fighting abusing each cops been called a couple of times to the property i cant even sleep at night all i could hear is people arguing and loud music me and my family have to work and I'm always scared for my life that one day the fights can get really bad and bring
CEN20210001047	N	Closed	01/29/2021	stevenclopez-silvero	1900 8th ave lot#57, immokalee FL 34142	
CEV20210001077	V	Closed	01/29/2021	stevenclopez-silvero	2693 Marianna Way / Bldg. 2697	Unlicensed/inoperable vehicle.
CENA20210001102	NA	Open	02/01/2021	stevenclopez-silvero	1314 Plum Street	Litter/outside storage.

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CES20210001163	S	Closed	02/02/2021	ChristopherHarmon	ROW at 1402 New Market Rd. West	flutter flag
CEROW20210001174	ROW	Closed	02/02/2021	MariaRodriguez	Eustis Ave. west of S 1st St.	3 mattresses discarded in ROW
CEV20210001175	V	Open	02/02/2021	MariaRodriguez	308 W. Eustis	silver van with no license plate
CEV20210001177	V	Open	02/02/2021	MariaRodriguez	Immokalee Apts. // 601 W. Delaware (Eustis entrance)	blue van with expired tag (exp. 09-2019)
CEV20210001179	V	Open	02/02/2021	MariaRodriguez	Immokalee Apts. // 601 W. Delaware (Eustis entrance)	tan SUV with flat tire and expired tag
CEV20210001180	V	Open	02/02/2021	MariaRodriguez	Immokalee Apts. // 601 W. Delaware (Eustis entrance)	blue Honda SUV with expired tag (exp. 02-18)
CEV20210001181	V	Open	02/02/2021	MariaRodriguez	318 S 6th Court	white van with no tag displayed
CEV20210001182	V	Open	02/02/2021	MariaRodriguez	Immokalee Apts. // 601 W. Delaware (W. Delaware entrance)	white passenger car with no tag
CEV20210001183	V	Open	02/02/2021	MariaRodriguez	Immokalee Apts. // 601 W. Delaware (W. Delaware entrance)	gray Honda CRV with no tag
CEV20210001184	V	Open	02/02/2021	MariaRodriguez	Immokalee Apts. // 601 W. Delaware (W. Delaware entrance)	silver minivan with no tag
CENA20210001215	NA	Open	02/02/2021	stevenclopez-silvero	1305 Peach Street	Overgrown weeds/grass.
CENA20210001236	NA	Closed	02/03/2021	stevenclopez-silvero	2449 Sanders Pine Circle	Litter.
CEA20210001238	A	Closed	02/03/2021	stevenclopez-silvero	1206 N. 18th Terrace	Coat in rear yard.
CENA20210001267	NA	Open	02/04/2021	stevenclopez-silvero	1303 Orange Street	Litter.
CENA20210001317	NA	Open	02/04/2021	stevenclopez-silvero	1406 Orange Street	Overgrown weeds/grass.
CEROW20210001333	ROW	Closed	02/05/2021	ChristopherHarmon	Immokalee Rd. north of Sgt. Joe Jones Rd.	two mattresses discarded in the ROW
CEV20210001359	V	Open	02/05/2021	stevenclopez-silvero	No site address/across from 2711 Eden Avenue	Unlicensed/inoperable vehicle.

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CEV20210001364	V	Open	02/05/2021	stevenlopez-silvero	1412 Carson Road Unit 13	Unlicensed/inoperable vehicle.
CEV20210001395	V	Open	02/08/2021	stevenlopez-silvero	1315 Reflections Way Unit 8	Unlicensed/inoperable vehicle.
CEROW20210001413	ROW	Closed	02/08/2021	ChristopherHarmon	intsrsection of escambia street and new market rd.	stop sign knocked over and laying on the ground
CEV20210001427	V	Open	02/08/2021	stevenlopez-silvero	1130 Serenity Lane	Unlicensed/inoperable vehicle.
CEV20210001442	V	Open	02/09/2021	stevenlopez-silvero	1141 Serenity Lane	Unlicensed/inoperable vehicle.
CESD20210001457	SD	Open	02/09/2021	stevenlopez-silvero	1509 Carson Road-- Carter Mobile Home Park	Addressing Department at Growth Management received complaint from Collier County EMS/Fire in Immokalee regarding inaccurate address numbers on the units. Each unit is numbered 1 thru 15 instead of having the legal addressing number assigned and displayed on each unit, per their SIP. Please see notes added and Ariel depicting the correct address numbers for reference.
CENA20210001467	NA	Open	02/09/2021	stevenlopez-silvero	1374 Bush Street W.	Overgrown weeds/grass & litter.
CENA20210001475	NA	Open	02/10/2021	stevenlopez-silvero	1378 Bush Street W.	Overgrown weeds/grass & litter.
CEA20210001546	A	Closed	02/11/2021	stevenlopez-silvero	Faith Landing Community- 1345 Durso Ct, Immokalee, FL 34142	house in a community, homeowner raising animals. Bird cages in the back of property.
CENA20210001571	NA	Open	02/12/2021	stevenlopez-silvero	1382 Bush Street W.	Overgrown weeds/grass & litter.
CENA20210001578	NA	Open	02/12/2021	MariaRodriguez	51040040008	litter cans, freezer, plastic metal racks
CEV20210001580	V	Open	02/12/2021	MariaRodriguez	135360000	unlicensed car
CEV20210001585	V	Open	02/12/2021	MariaRodriguez	66220600004	inoperable silver suv
CEV20210001586	V	Open	02/12/2021	MariaRodriguez	66220440002	unlicensed van
CENA20210001588	NA	Open	02/12/2021	MariaRodriguez	25631080005	unlicensed silver car
CENA20210001614	NA	Open	02/16/2021	stevenlopez-silvero	1386 Bush Street W.	Overgrown weeds/grass & litter.
CEAU20210001618	AU	Open	02/16/2021	ChristopherHarmon	709 Habitat Center	Wanted to build a screened in porch like his neighbors and was told not able to do it, had to be 10 feet from the house. His neighbors is only 1 feet away. Also they have fence along to side walk and you have to pass stop sign to see if any cars are coming.

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CEV20210001644	V	Open	02/17/2021	stevenlopez-silvero	3504 Westclox Street	Unlicensed/inoperable vehicles.
CEV20210001667	V	Open	02/17/2021	stevenlopez-silvero	3418 Westclox Street	Unlicensed/inoperable vehicle.
CENA20210001681	NA	Open	02/18/2021	stevenlopez-silvero	3200 Westclox Street	Litter.
CENA20210001709	NA	Open	02/19/2021	stevenlopez-silvero	1839 Custer Avenue	Litter.
CENA20210001710	NA	Open	02/19/2021	MariaRodriguez	507-509 Boston Ave	Complaint by Domestic Animal Services regarding the condition of this property. DAS is working an active animal complaint and is requesting Code enforce any nuisance abatement/illegal outside storage issues on property. (Please see email attached including video before going on site). CAS9
CEROW20210001730	ROW	Open	02/19/2021	ChristopherHarmon	near intersection of Pinellas and Jefferson	tire discarded in ROW
CEROW20210001731	ROW	Open	02/19/2021	ChristopherHarmon	Flagler St.	mattress discarded in ROW
CENA20210001740	NA	Open	02/19/2021	MariaRodriguez		litter Refrigerator
CENA20210001743	NA	Open	02/19/2021	MariaRodriguez	127563909	litter/wood pallets
CENA20210001745	NA	Open	02/19/2021	MariaRodriguez		litter wood pallets
CENA20210001747	NA	Open	02/19/2021	MariaRodriguez	51215000307	litter wood pallets
CEV20210001749	V	Open	02/19/2021	stevenlopez-silvero	906 Pine Street	Unlicensed/inoperable vehicles.
CENA20210001750	NA	Open	02/19/2021	MariaRodriguez	73180920008	Tires