



**All storm water runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system.**

- 1 PROPERTY LINE
- 2 SEE G103 FOR SETBACKS AND CODE ANALYSIS
- 3 EXISTING WATER METER TO BE UPGRADED
- 4 EXISTING TEL
- 5 EXISTING TRANSFORMER
- 6 EXISTING GATE
- 7 PROPOSED PARKING
- 8 EXISTING MANHOLE
- 9 NEW FENCE
- 10 EXISTING SEWER
- 11 NEW ADDRESSING - 2664 L STREET - UNIT XX
- 12 5 NEW & 1 UPGRADED EXISTING WATER METERS WATER METER & 6
- 13 REDUCED PRESSURE BACKFLOW PREVENTORS
- 14 TRASH W/ FENCE ENCLOSURE

www.artifexwest.com  
**ArtifexWest**  
Studio

## eL Domus

2664 L STREET  
SAN DIEGO, CA 92102

project no: **22-8**

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sheet title

## PROPOSED SITE PLAN

sheet

**G101**









eLdomus

A San Diego Real Estate Development. est. July - 2024

eLdomus

2664 L street San Diego, CA 92102  
An Artifex West Studio project



Artifex West Studio

# Executive Summary

Artifex West proudly presents eL Domus, situated in the burgeoning neighborhood of Grant Hill in San Diego, California. **Comprising of 6 townhomes**, each residence boasts modern amenities including in-unit laundry, tiled bath enclosures, and upgraded fixtures throughout, creating a haven of comfort and style. Abundant natural light floods the interiors, enhancing the sense of space and serenity.

Among these residences are **six two-bedroom, 1.5-bathroom units**, featuring expansive **private rooftop decks** spanning over 300 square feet. From these vantage points, residents can soak in breathtaking views of downtown San Diego and Point Loma to the west, as well as the majestic mountains to the east. The remaining **five one-bedroom, one-bathroom ADU** units offer their own private exterior spaces and generously proportioned bedrooms with oversized sliding doors, blending indoor-outdoor living seamlessly.

A private courtyard entry welcomes residents and guests alike, creating a sense of arrival and community within this thoughtfully designed enclave. Experience the epitome of modern urban living at eL Domus, where luxury meets convenience in the heart of Grant Hill. In addition, the property offers **four parking stalls**.

Nestled in the vibrant heart of San Diego, the Grant Hill neighborhood embodies a dynamic blend of **history, community, and opportunity**. Steeped in a rich tapestry of cultural heritage, this thriving enclave boasts tree-lined streets, charming historic homes, and a welcoming atmosphere that embraces diversity and inclusivity. Conveniently located **just minutes away from downtown San Diego**, Grant Hill offers residents easy access to an array of amenities, including eclectic dining options, and boutique shops. Its central location also provides excellent transportation links, making it a hub for commuters and remote workers alike.



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## Managing Team

The partners and associates of Artifex West, Inc. have many years of experience in managing the pre-development team in the path to permit approvals and has completed the process with extreme timelines for numerous projects.

### Lars Fredrik Gullberg | Principal, Owner/Founder

Lars was born and raised in Sweden among a family of artist and architects with Scandinavian design as a part of everyday life. Being inspired by local firms he decided to relocate to California to pursue architecture where he received a Bachelor's of Science in Architecture from Woodbury University of San Diego. During and after university he had the opportunity to work on a variety of projects for multi-national clients, under different firms, until ultimately co-founding Artifex West, Inc., in 2010. With Artifex West he has been able to hone his craft in both architecture and construction, through multiple successful projects, in a variety of genres.

### Charles Linch | Principal, Owner/Founder

Charles has a lifetime of experience coming from a family of builders. Acting as a construction lead for large scale projects at a young age, he developed an appreciation for the design aspect of the industry, which lead him to obtain a Bachelor's of Science in Architecture from Woodbury University of San Diego, California. During and after university he had the opportunity to work in both architecture and construction until co-founding Artifex West, Inc. In addition to his architecture training, as a licensed general contractor, his construction knowledge puts him in a dynamic position to identify and mitigate issues before they arise in the construction phases.



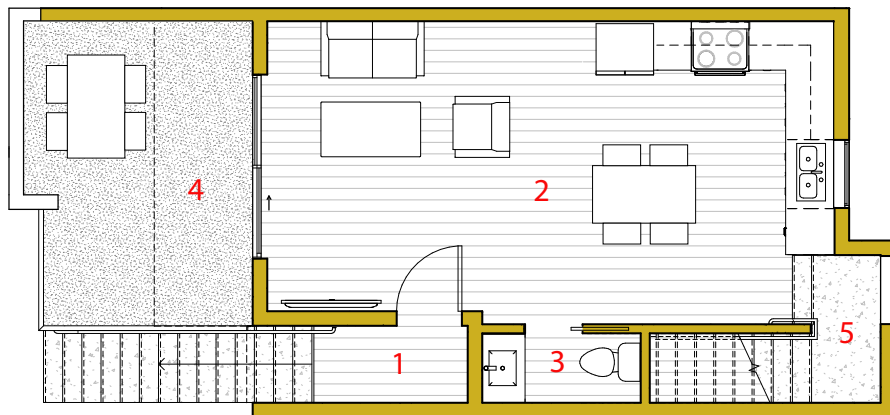
Housing Authority Annual Fundraiser





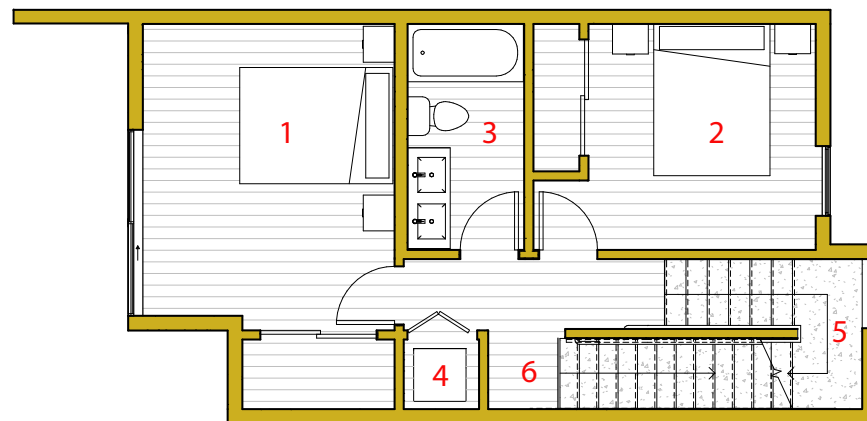
# Unit Type A

2 BED 1-1/2 BATH, YARD & ROOFTOP DECK - 900 SF



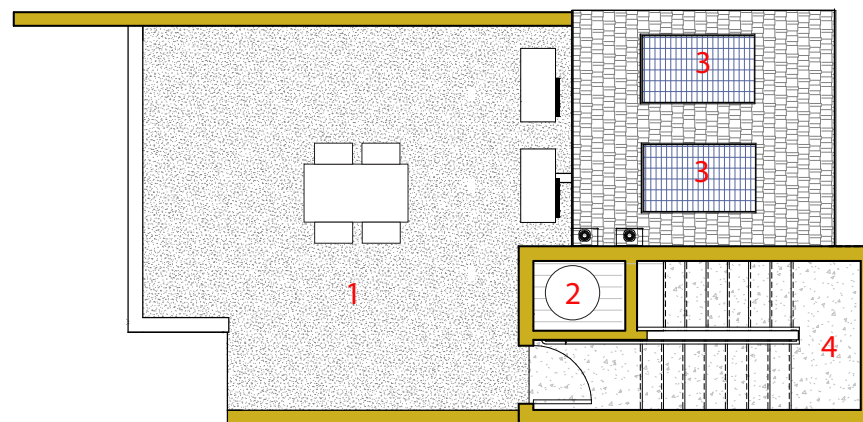
MAIN LEVEL

- 1 Entry
- 2 Kitchen/Dining/Living
- 3 Powder room
- 4 Deck
- 5 Stair to second level



UPPER LEVEL

- 1 Primary Bedroom
- 2 Bedroom 2
- 3 Bathroom
- 4 Laundry
- 5 Stairway up to rooftop deck
- 6 Stairway down to main level



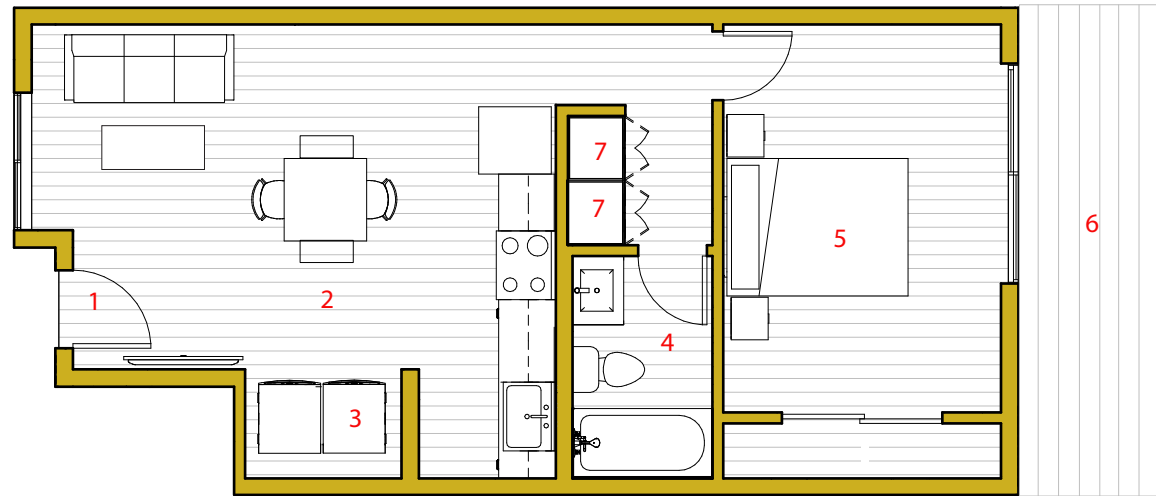
ROOFTOP DECK

- 1 Rooftop deck - 350 SF
- 2 Utility
- 3 Solar
- 4 Stairs to down

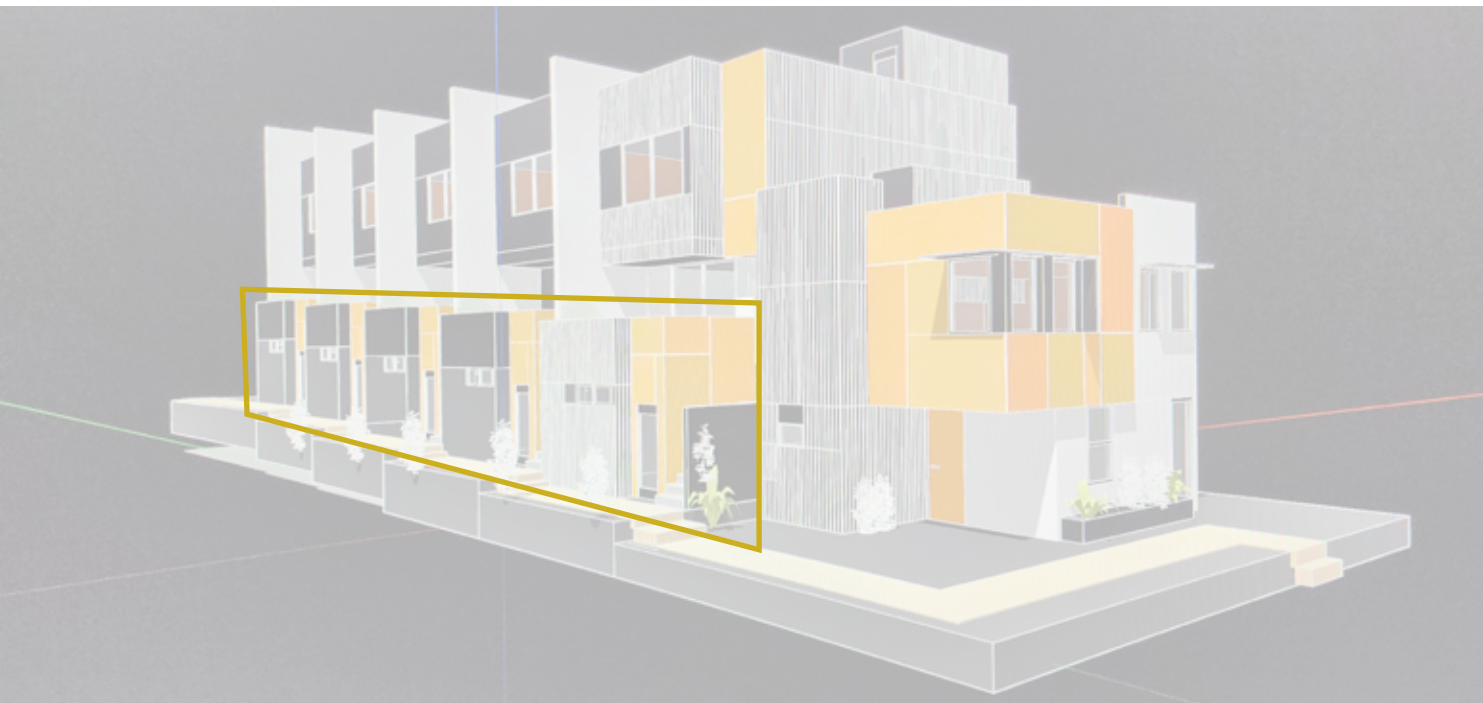
# Unit Type B

550 SF - 1 BEDROOM, 1 BATHROOM

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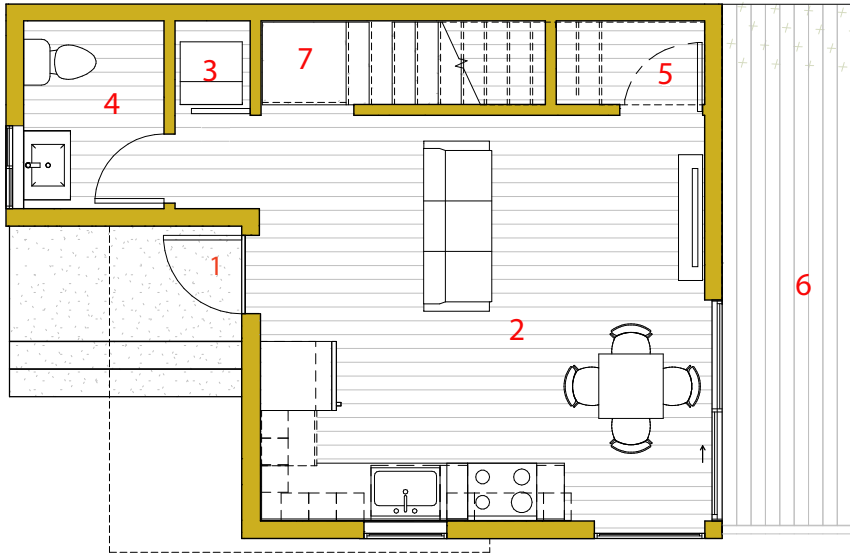


- 1 Entry
- 2 Kitchen/Dining/Living
- 3 Washer & dryer
- 4 Bathroom
- 5 Storage
- 6 Deck/Yard
- 7 Storage



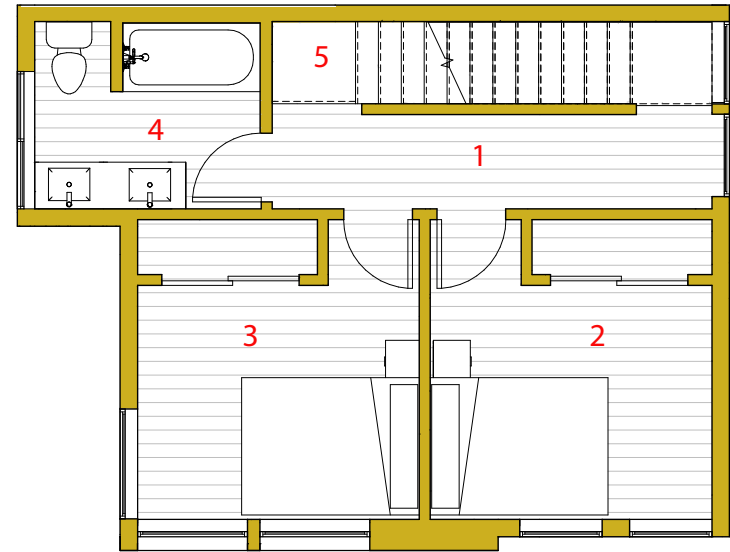
# Unit Type C

885 SF - 2 BED 1-1/2 BATH



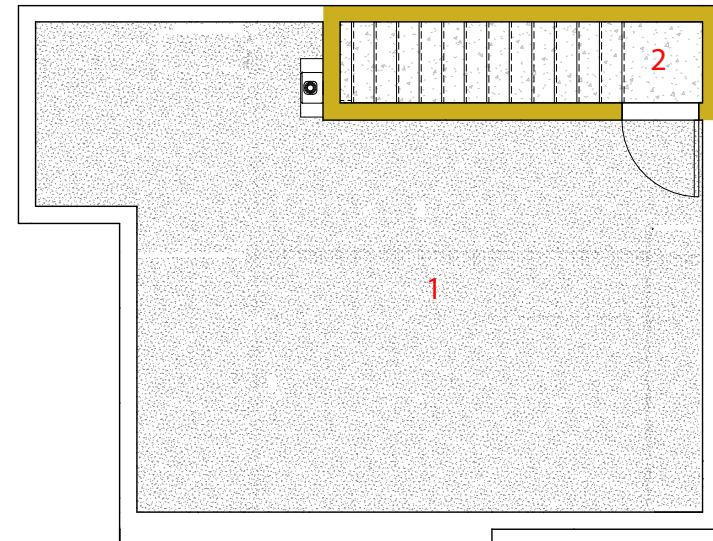
First level

- 1 Entry
- 2 Kitchen/Dining/Living
- 3 Stackable washer & dryer
- 4 Powder room
- 5 Storage
- 6 Deck
- 7 Stair to second level



Second level

- 1 Hallway
- 2 Bedroom
- 3 Primary bedroom
- 4 Primary bathroom
- 5 Stair to roofdeck



Roof

- 1 Roof-deck
- 2 Stairs to level 2