

AREAS BREAKDOWN: SITE PLAN GENERAL NOTES: PARKING BREAKDOWN: PER TPA OVERLAY 142.0528: 0 AMENITIES 142.0528(c)(1): 2 POINTS REQUIRED PROVIDING: ON-SITE PUBLIC BICYCLE REPAIR STATION PARKING SPACE PROVIDE: 4 STALLS **SURFACE TYPE LEGEND: EXISTING ROAD EXISTING SIDEWALK NEW LANDSCAPE** PROPOSED CONCRETE SURFACE **ASPHALT PARKING SURFACE** * OPEN SPACE NOTES: 1ST LEVEL OPEN SPACE = 4,347 SF TOTAL OPEN SPACE = 4,347 SF 3,900 SF TOTAL OPEN SPACE REQ'D = *SEE SHEET G102 FOR DETAILS. **RELATED PERMITS:: RIGHT OF WAY:** PRJ-1085092 **DEFERRED SUBMITTALS:** FIRE SUPPRESSION SYSTEM: SUBMIT PLANS AND SPECS FOR FIRE SUPPRESSION SYSTEM SUBMIT FOR REVIEW AND APPROVAL UNDER SEPARATE PERMIT.

AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA-13R

PV SYSTEM IF REQUIRED BY T24 UNDER SEPARATE PERMIT

Fire Sprinklers Required - Beginning Jan. 1, 2011, all new single-family dwellings,

Water meters for combined domestic water and fire sprinkler systems shall not be

Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4★, and 142.0220, permits are required to be inspected by City Inspection staff to ensure

compliance with issued construction permit. This includes, but not limited to,

Stormwater Compliance Inspection Requirements associated with each permit

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Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4★, and 142.0220, permits are required to be inspected by City Inspection staff to ensure

All storm water runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system.

installed until the fire sprinkler system has been submitted and approved by the Building

duplexes and townhomes are required to have fire sprinkler systems installed.

ENGINEERING NOTES:

NOTES:

MUD NOTES:

THIS PROJECT SHALL COMPLY WITH STORMWATER QUALITY CONTROL PLAN (SWQCP) AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.

Refer to accompanying Specifications which are to be used jointly with these drawings.

The information shown on these plans are Diagramatic. The Contractor shall establish

and verify all dimensions, openings and locations for inserts, etc. for Architectural,

If there is a conflict among Details, Specifications, or other contract Documents, the

Detail references may be shown on one, or more than one, similar condition. Detail

references are to be taken as typical for similar conditions to be constructed elsewhere,

dimension or grade is provided, verify with Architect for clarification before proceeding

The Contractor shall be responsible for verifying all dimensions, grades and conditions

The Architect must be notified of any variations from the dimensions, grades and

All materials and equipment furnished by Contractors shall be new and free from

All products and materials shall be installed in accordance with the manufacturer's

Materials, equipment, etc., not indicated on drawings or specified, but required for successful and efficient completion of the installation shall be held to be implied and

The Contractor shall be responsible to maintain the building and the site clean and

in the opinion of the Architect, maintain standards and workmanship of a craft.

Architect reserves the right to direct removal and reinstallation of work which does not,

Shop drawings are to compliment and supplement construction documents. When

conflicting information is provided in Shop Drawings and Construction Documents, verify w/ Architect prior to fabrication. Review of Shop Drawings by Architect does not relieve Contractor of responsibility for conformance with Construction Documents.

Care is required to preserve existing vegetation. Vegetation may not be removed or

Contractor shall use caution when trenching across site not to damage significant

in State of California Title 24 CCR as amended and adopted by the City of Stockton. Please recycle demolition and construction waste. Ask about possible dump sites.

Tempered glass shall be permanetly identified and visible when the unit is glazed. Lighting in the bathroom shall have high efficiency luminaire and at least one luminaire

Kitchens: All the installed wattage of luminaires in kitchens shall be high efficiency and

shall have a manual on/off in addition to a vacancy sensor or dimmer. Under cabinet

efficiency and at least one luminaire in each of these spaces shall be controlled by a

Other Rooms: All luminaires shall be high efficiency and shall have a manual on/off in

same lot shall be high efficiency luminaires and must be controlled by a manual on and

off switch, AND controlled by one of these automatic control types: Photocontrol and a 858.405.4960

XX

Outdoor lighting: All luminaires mounted to the building or to other buildings on the

motion sensor, or astronomical time clock, or Energy management control system

An electronically signed and registered Installation Certificate(s) (CF2R) posted by the installation contractor shall be submitted to the field inspector during construction at the

Lighting in bathrooms shall have all high efficiency luminaire and at least one luminaire

registration number followed by four zeros located at the bottom of each page.

The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R

Lighting in garages, laundry rooms and utility rooms: All luminaires shall be high

destroyed without expressed written consent and instructions of the Owner or Architect.

vegetation and roots. Contractor shall layout proposed routing of underground utilities

These plans and all work shall comply with the California Building Standards Code found

shall be furnished and installed at no additional cost to the Owner.

provide any and all safety provisions to ensure the public's safety.

Damaged work must be replaced at no additional cost to the Owner.

and building footprint prior to trenching for Owner approval.

The Contractor shall comply with all OSHA requirements.

building site. A registered CF2R will have a unique 21-digit

must be controlled by a vacancy sensor

lighting shall be switched separately.

addition to a vacancy sensor or dimmer.

vacancy sensor.

fabrication and installation. All beam bearing heights must be established and

Do not use scaled dimensions. Use written dimensions or grades. Where no

Mechanical, Electrical, Plumbing and associated work prior to

most restrictive Detail or Specification applies.

but not noted with a Detail reference.

conditions shown on these drawings.

instructions unless otherwise specified.

with the work.

verified by the General Contractor prior to fabrication and installation.

SITE PLAN KEYNOTES:

is reviewed and approved.

must be controlled by a vacancy sensor.

PROPERTY LINE

- SEE G103 FOR SETBACKS AND CODE ANALISYS EXISTING WATER METER TO BE UPGRADED
- EXISTING TRANSFORMER

EXISTING TEL

- **EXISTING GATE** PROPOSED PARKING
- **EXISTING MANHOLE NEW FENCE**
- 10 EXISTING SEWER
- NEW ADDRESSING- 2664 L STREET UNIT XX 12 5 NEW & 1 UPGRADED EXISTING WATER METERS WATER METER & 6
- REDUCED PRESSURE BACKFLOW PREVENTORS
- 13 TRASH W/ FENCE ENCLOSURE

eL Domus

2664 L STREET **SAN DIEGO, CA 92102**

project no:

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PROPOSED SITE

PLAN

Studio

Nader Rahmanian

Project Manager

Fredrik Gullberg

858.405.7800

Charles Linch

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linch@artifexwest.com

INITIAL SUBMIT 08/30/22

03/30/23 Delta 1

05/19/23 Delta 2

ReSubmit Date Revision

Principal

gullberg@artifexwest.com

Principal





A San Diego Real Estate Development. est. July - 2024



Executive Summary

Artifex West proudly presents eL Domus, situated in the burgeoning neighborhood of Grant Hill in San Diego, California. Comprising of 6 townhomes, each residence boasts modern amenities including in-unit laundry, tiled bath enclosures, and upgraded fixtures throughout, creating a haven of comfort and style. Abundant natural light floods the interiors, enhancing the sense of space and serenity.

Among these residences are six two-bedroom, 1.5-bathroom units, featuring expansive private rooftop decks spanning over 300 square feet. From these vantage points, residents can soak in breathtaking views of downtown San Diego and Point Loma to the west, as well as the majestic mountains to the east. The remaining five one-bedroom, one-bathroom ADU units offer their own private exterior spaces and generously proportioned bedrooms with oversized sliding doors, blending indoor-outdoor living seamlessly.

A private courtyard entry welcomes residents and guests alike, creating a sense of arrival and community within this thoughtfully designed enclave. Experience the epitome of modern urban living at eL Domus, where luxury meets convenience in the heart of Grant Hill.

In addition, the property offers four parking stalls.

Nestled in the vibrant heart of San Diego, the Grant Hill neighborhood embodies a dynamic blend of history, community, and opportunity. Steeped in a rich tapestry of cultural heritage, this thriving enclave boasts tree-lined streets, charming historic homes, and a welcoming atmosphere that embraces diversity and inclusivity. Conveniently located just minutes away from downtown San Diego, Grant Hill offers residents easy access to an array of amenities, including eclectic dining options, and boutique shops. Its central location also provides excellent transportation links, making it a hub for commuters and remote workers alike.

Managing Team



The partners and associates of Artifex West, Inc. have many years of experience in managing the pre-development team in the path to permit approvals and has completed the process with extreme timelines for numerous projects.

Lars Fredrik Gullberg | Principal, Owner/Founder

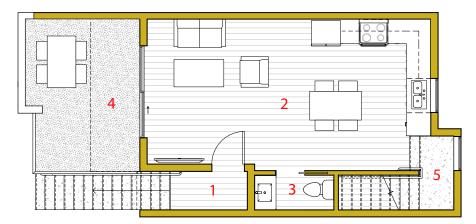
Lars was born and raised in Sweden among a family of artist and architects with Scandinavian design as a part of everyday life. Being inspired by local firms he decided to relocate to California to pursue architecture where he received a Bachelor's of Science in Architecture from Woodbury University of San Diego. During and after university he had the opportunity to work on a variety of projects for multi-national clients, under different firms, until ultimately co-founding Artifex West, Inc., in 2010. With Artifex West he has been able to hone his craft in both architecture and construction, through multiple successful projects, in a variety of genres.

Charles Linch | Principal, Owner/Founder

Charles has a lifetime of experience coming from a family of builders. Acting as a construction lead for large scale projects at a young age, he developed an appreciation for the design aspect of the industry, which lead him to obtain a Bachelor's of Science in Architecture from Woodbury University of San Diego, California. During and after university he had the opportunity to work in both architecture and construction until cofounding Artifex West, Inc. In addition to his architecture training, as a licensed general contractor, his construction knowledge puts him in a dynamic position to identify and mitigate issues before they arise in the construction phases.

Unit Type A

2 BED 1-1/2 BATH, YARD & ROOFTOP DECK - 900 SF

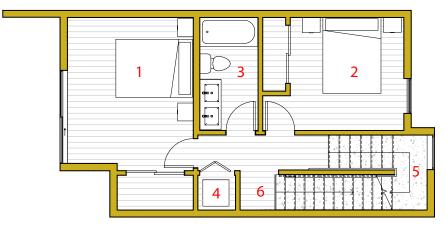


MAIN LEVEL

- 1 Entry
- 2 Kitchen/Dining/Living
- 3 Powder room
- 4 Deck
- 5 Stair to second level

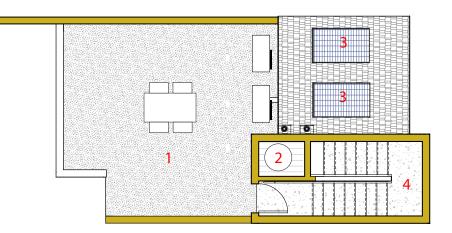






UPPER LEVEL

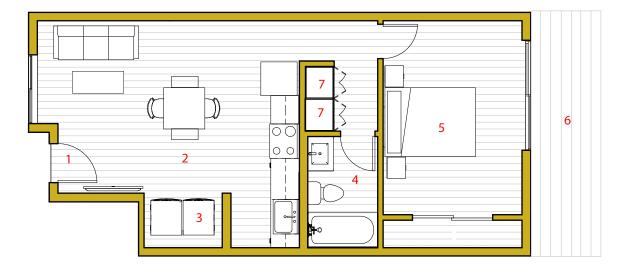
- 1 Primary Bedroom
- 2 Bedroom 2
- 3 Bathroom
- 4 Laundry
- 5 Stairway up to rooftop deck
- 6 Stairway down to main level



ROOFTOP DECK

- 1 Rooftop deck 350 SF
- 2 Utility
- 3 Solar
- 4 Stairs to down

Unit Type 3550 SF - 1 BEDROOM, 1 BATHROOM

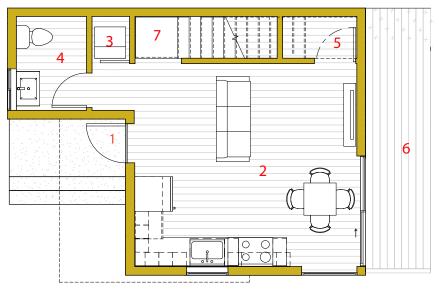




- 1 Entry
- 2 Kitchen/Dining/Living
- 3 Washer & dryer
- 4 Bathroom
- 5 Storage
- 6 Deck/Yard
- **7** Storage

Unit Type C

885 SF - 2 BED 1-1/2 BATH

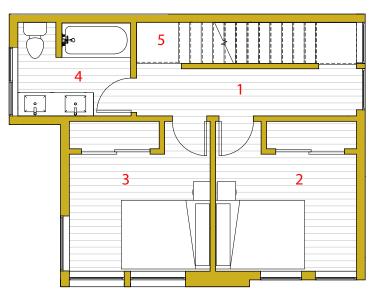


First level

- 1 Entry
- 2 Kitchen/Dining/Living
- 3 Stackable washer & dryer
- 4 Powder room
- **5** Storage
- 6 Deck
- 7 Stair to second level

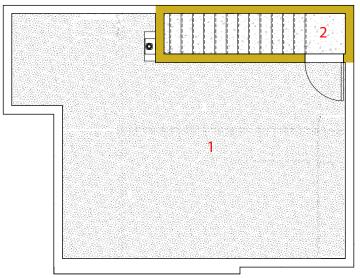






Second level

- 1 Hallway
- 2 Bedroom
- 3 Primary bedroom
- 4 Primary bathroom
- 5 Stair to roofdeck



Roof

- 1 Roof-deck
- 2 Stairs to level 2