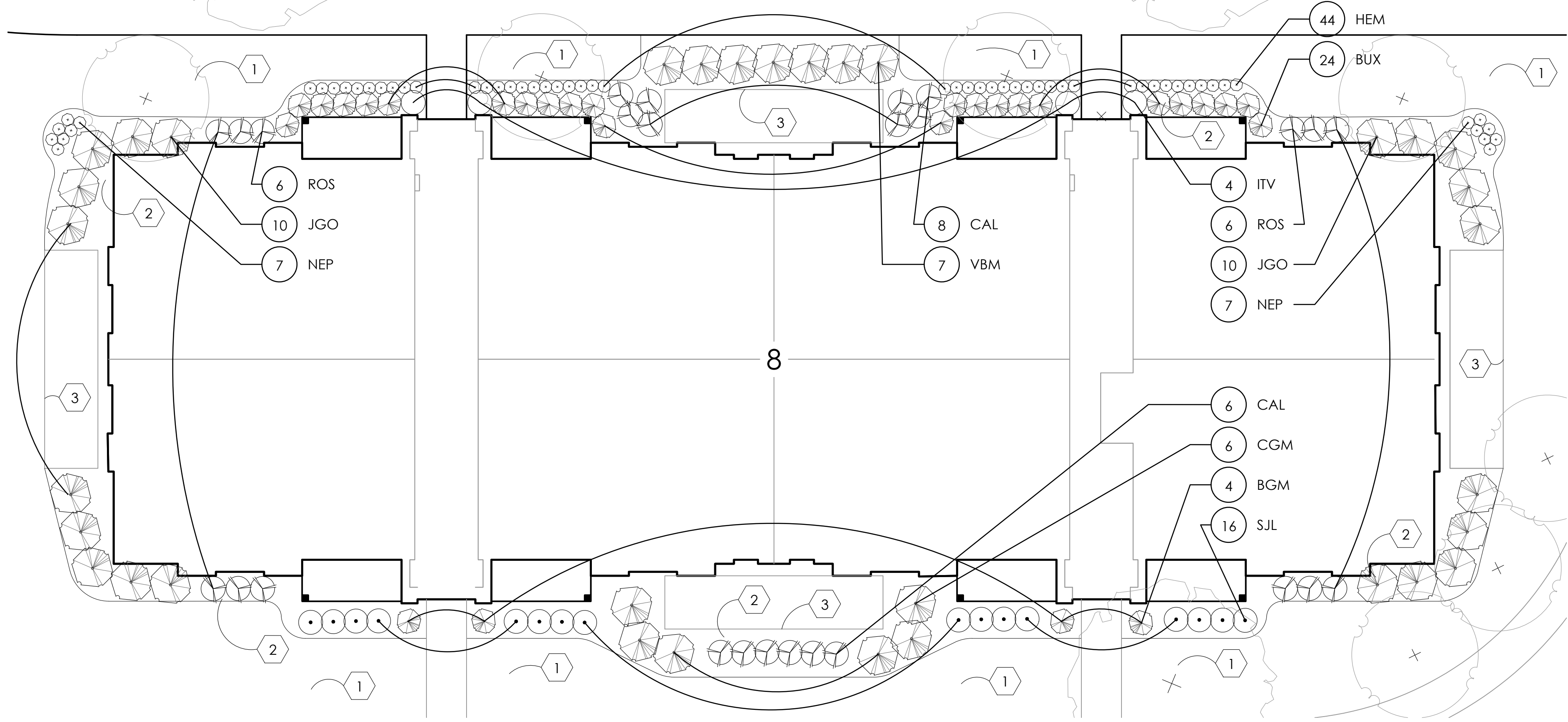


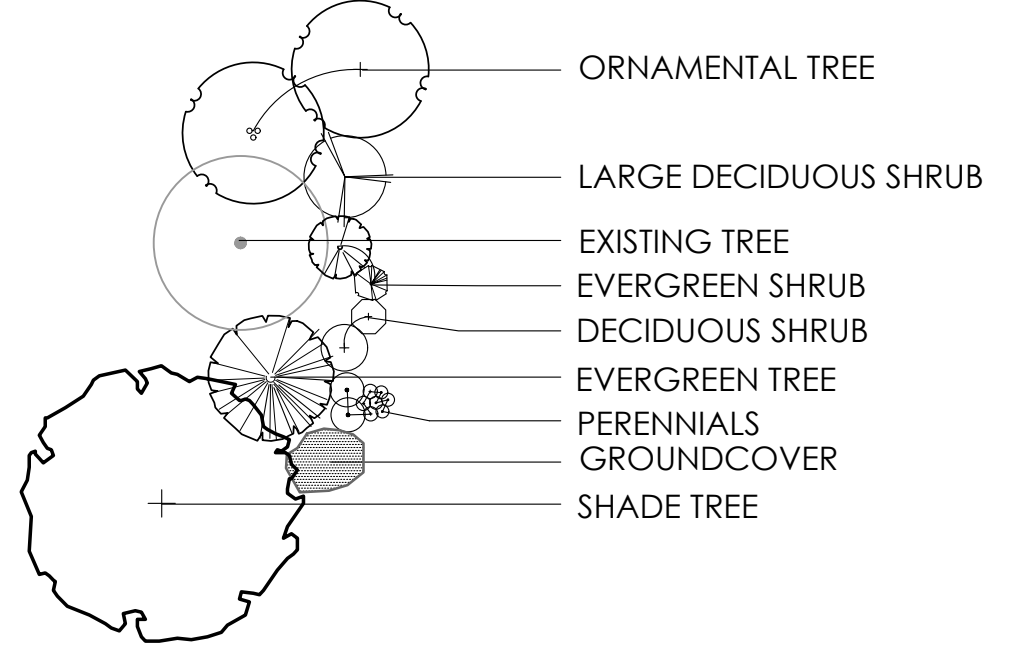
1 BUILDING '6' LANDSCAPE ENLARGEMENT PLAN
SCALE: 1" = 10'



2 BUILDINGS '8' & '9' LANDSCAPE ENLARGEMENT PLAN (TYPICAL OF BOTH)
SCALE: 1" = 10'

NORTH VARIES, SEE PLAN FOR ORIENTATION

PLANT KEY TYPICALS
SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



CONSTRUCTION NOTES

- ① LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ② LANDSCAPE AREA, PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE ACROSS ALL SURFACES.
- ③ AC CONDENSOR SCREEN FENCE

BUILDING '6' PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
8	BGM	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	24" HGT.	B&B	
4	HPL	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	30" HGT.	B&B	
12	ITV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24" HGT.	CONT.	
8	JGO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" SPRD.	B&B	
12	ROS	ROSA 'RADTKO'	DOUBLE KNOCKOUT ROSE	24" HGT.	B&B	
44	SJL	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	24" HGT.	B&B	
12	VIB	VIBURNUM CARLESII 'JUDDII'	KOREAN SPICE VIBURNUM	30" HGT.	B&B	
8	VBM	VIBURNUM DENTATUM 'CHRISTOM'	BLUEBERRY MUFFIN VIBURNUM	30" HGT.	B&B	

BUILDING '8' & '9' PLANT LIST (TYPICAL OF BOTH)

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
4	BGM	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	24" HGT.	B&B	
24	BUX	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	18" HGT.	B&B	
6	CGM	CHAMAECYPARIS P. 'GOLDEN MOP'	GOLDEN MOP FALSE CYPRESS	30" HGT.	B&B	
4	ITV	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24" HGT.	CONT.	
20	JGO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" SPRD.	B&B	
12	ROS	ROSA 'RADTKO'	DOUBLE KNOCKOUT ROSE	24" HGT.	B&B	
16	SJL	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	24" HGT.	B&B	
7	VBM	VIBURNUM DENTATUM 'CHRISTOM'	BLUEBERRY MUFFIN VIBURNUM	30" HGT.	B&B	
ORNAMENTAL GRASSES AND PERENNIALS						
14	CAL	CLAMAGROSTIS A. 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	NO. 1	CONT.	
44	HEM	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	NO. 1	CONT.	
14	NEP	NEPETA X FAASSENI 'WALKER'S LOW'	WALKER'S LOW CATMINT	NO. 1	CONT.	

BUILDINGS '6', '8', & '9' LANDSCAPE PLANS

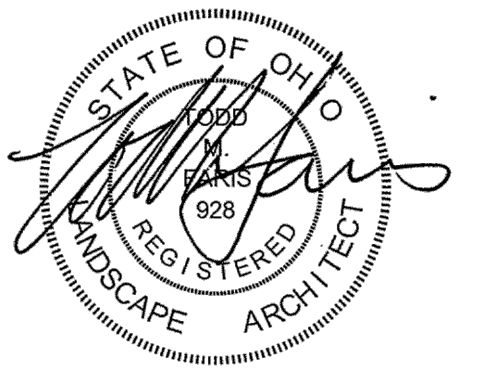
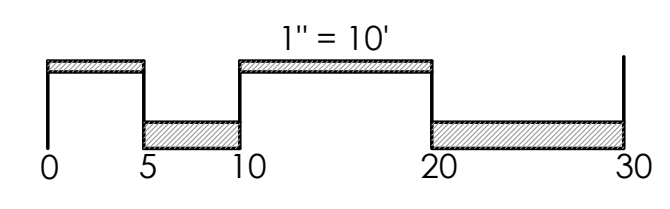
EXHIBIT D-5

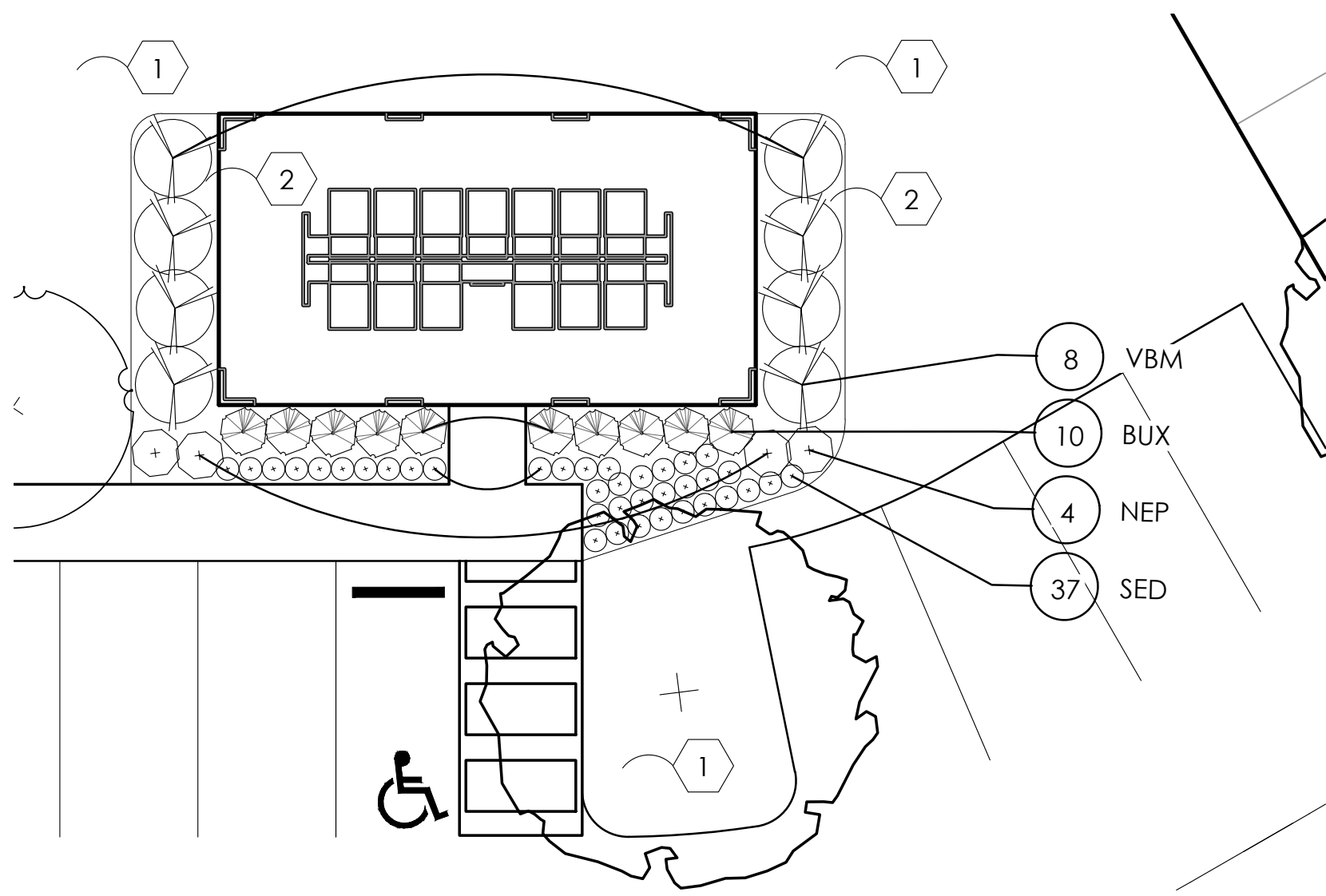
NORTHSTAR APARTMENTS

PREPARED FOR DC BUILDING COMPANY, LLC
DATE: 6/10/21

Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
4876 Cemetery Hilliard, OH 43026
p (614) 487-1964 www.farisplanninganddesign.com





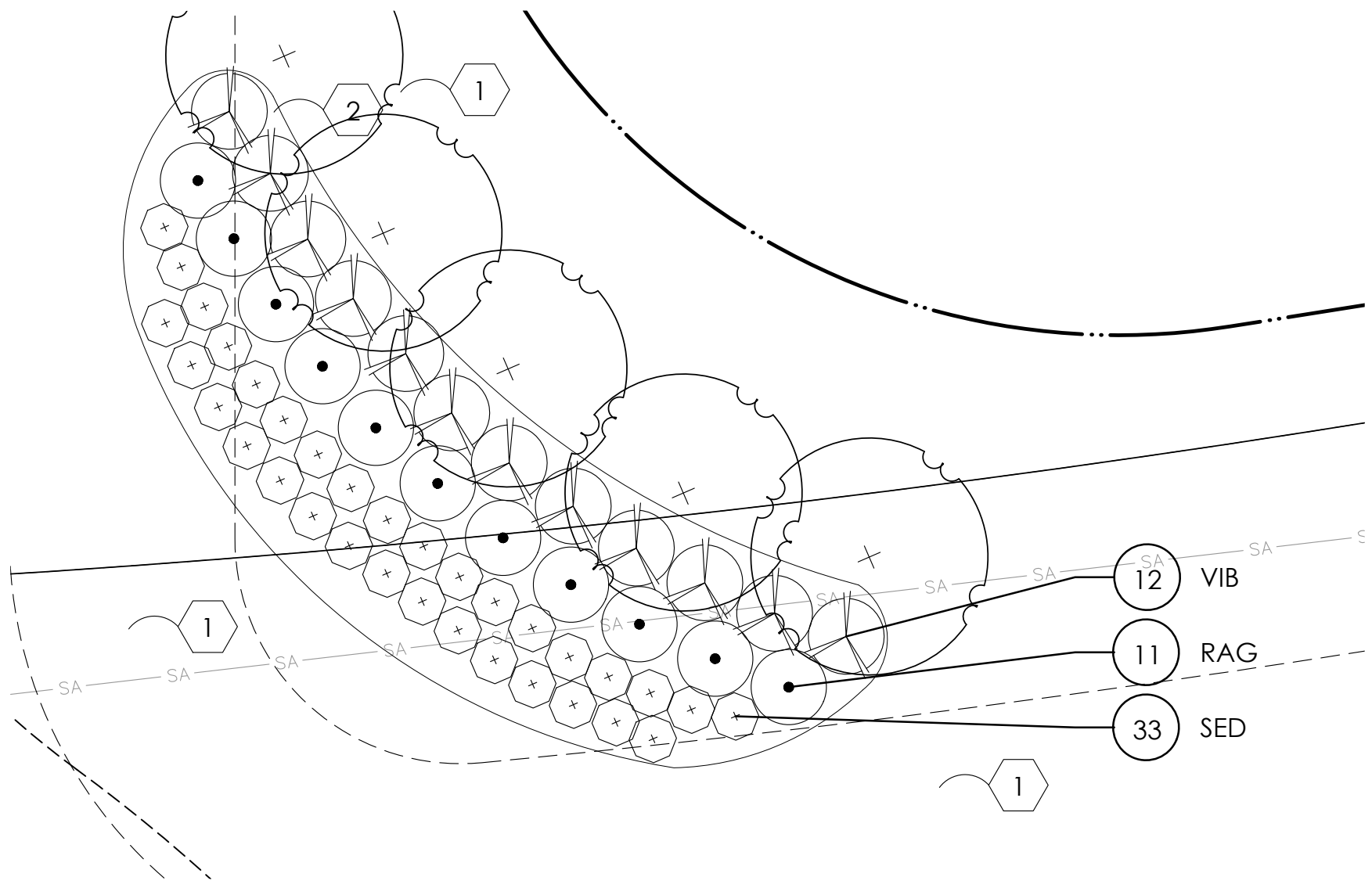
MAIL KIOSK PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
10	BUX	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	18" HGT.	B&B	
8	VBM	VIBURNUM DENTATUM 'CHRISTOM'	BLUEBERRY MUFFIN VIBURNUM	30" HGT.	B&B	
ORNAMENTAL GRASSES AND PERENNIALS						
4	NEP	NEPETA X FAASENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	NO. 1	CONT.	
37	SED	SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	NO. 1	CONT.	

1 MAIL KIOSK LANDSCAPE ENLARGEMENT PLAN

SCALE: 1" = 10'



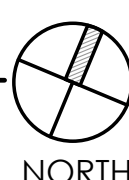
2 FRONTAGE LANDSCAPE ENLARGEMENT PLAN (WEST)

SCALE: 1" = 10'



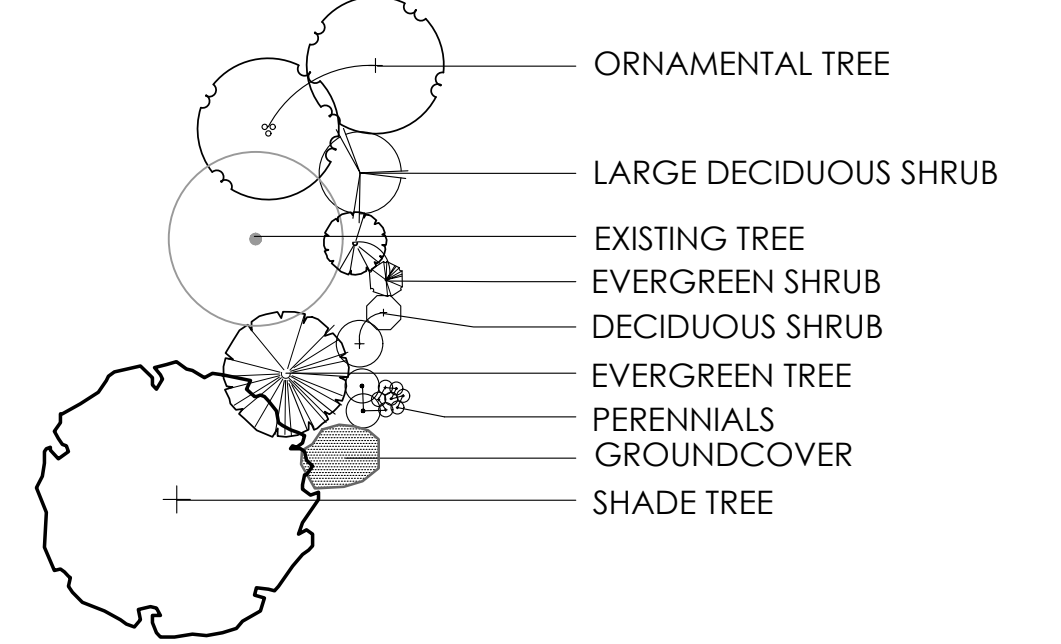
3 FRONTAGE LANDSCAPE ENLARGEMENT PLAN (EAST)

SCALE: 1" = 10'



PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



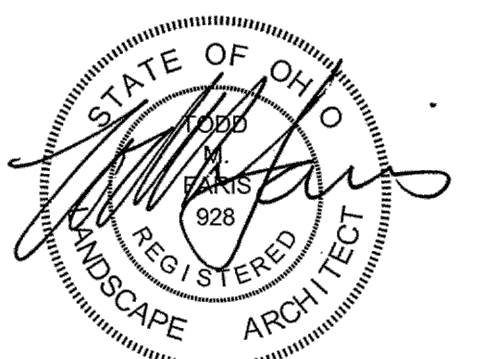
FRONTAGE PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
21	JGO	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	24" SPRD.	B&B	
19	RAG	RHUS AROMATICA 'GRO-LOW'	GROW LOW AROMATIC SUMAC	24" SPRD.	B&B	
12	VIB	VIBURNUM CARLESII 'JUDDII'	KOREAN SPICE VIBURNUM	30" HGT.	B&B	
44	VBM	VIBURNUM DENTATUM 'CHRISTOM'	BLUEBERRY MUFFIN VIBURNUM	30" HGT.	B&B	
ORNAMENTAL GRASSES AND PERENNIALS						
43	HEM	HEMEROCALLIS 'PARDON ME'	PARDON ME DAYLILY	NO. 1	CONT.	
103	SED	SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	NO. 1	CONT.	

CONSTRUCTION NOTES

- 1 LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2 LANDSCAPE AREA, PROVIDE 3" DEPTH HARDWOOD MULCH, POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 4 SMALL COLUMN; SEE DETAIL 1, SHEET D-7
- 5 4-RAIL FENCE, SEE DETAIL 5, SHEET D-7



LANDSCAPE ENLARGEMENT PLANS

EXHIBIT D-6

NORTHSTAR APARTMENTS

PREPARED FOR DC BUILDING COMPANY, LLC

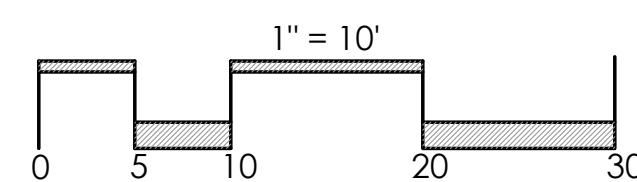
DATE: 6/10/21

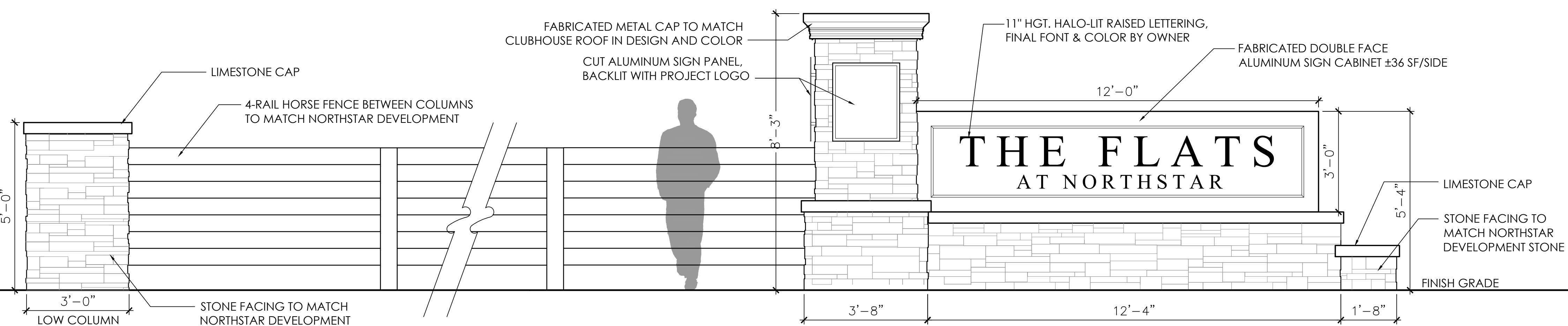
Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE

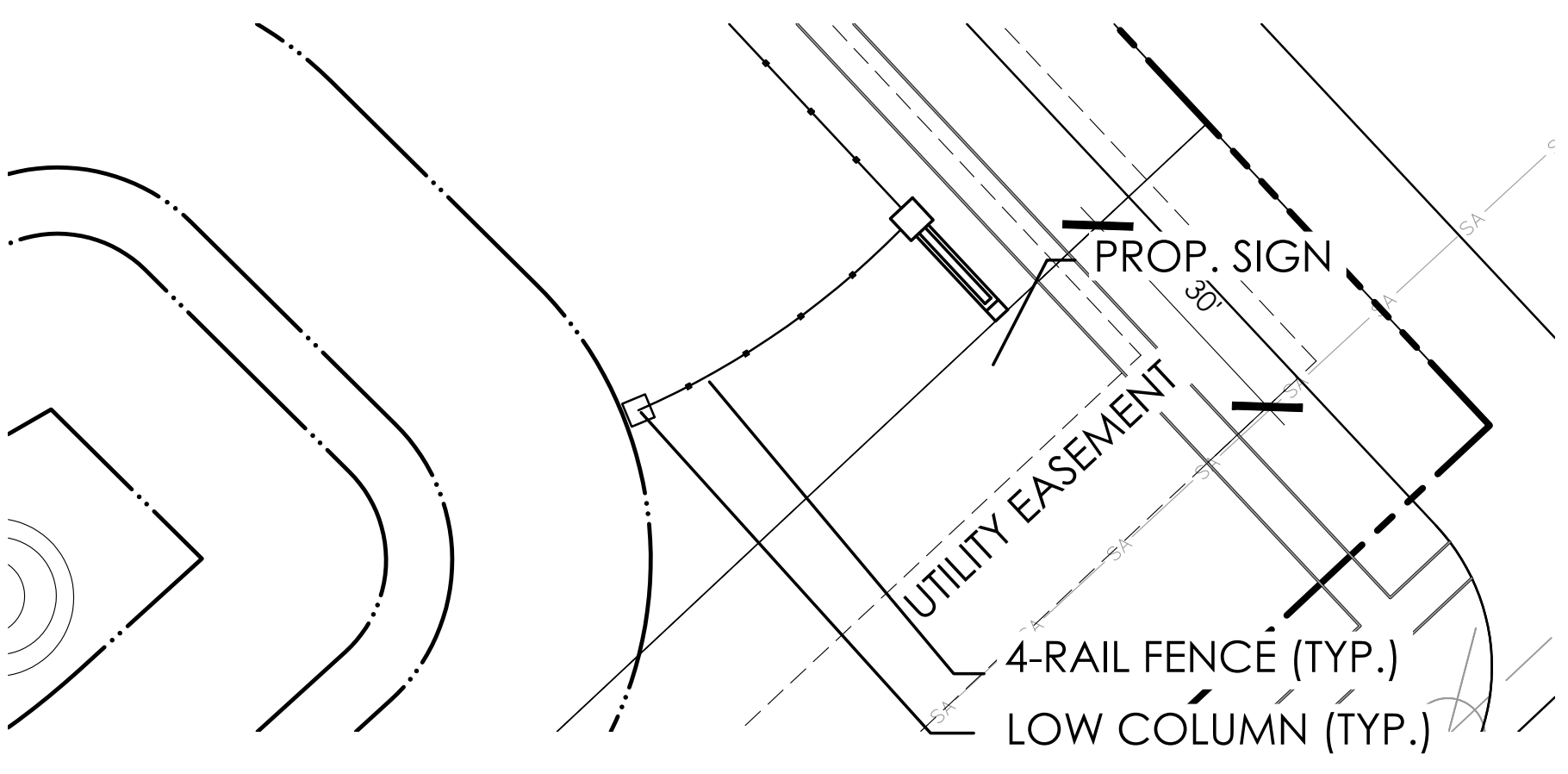
4876 Cemetery
p (614) 487-1964

Hilliard, OH 43026
www.farisplanninganddesign.com

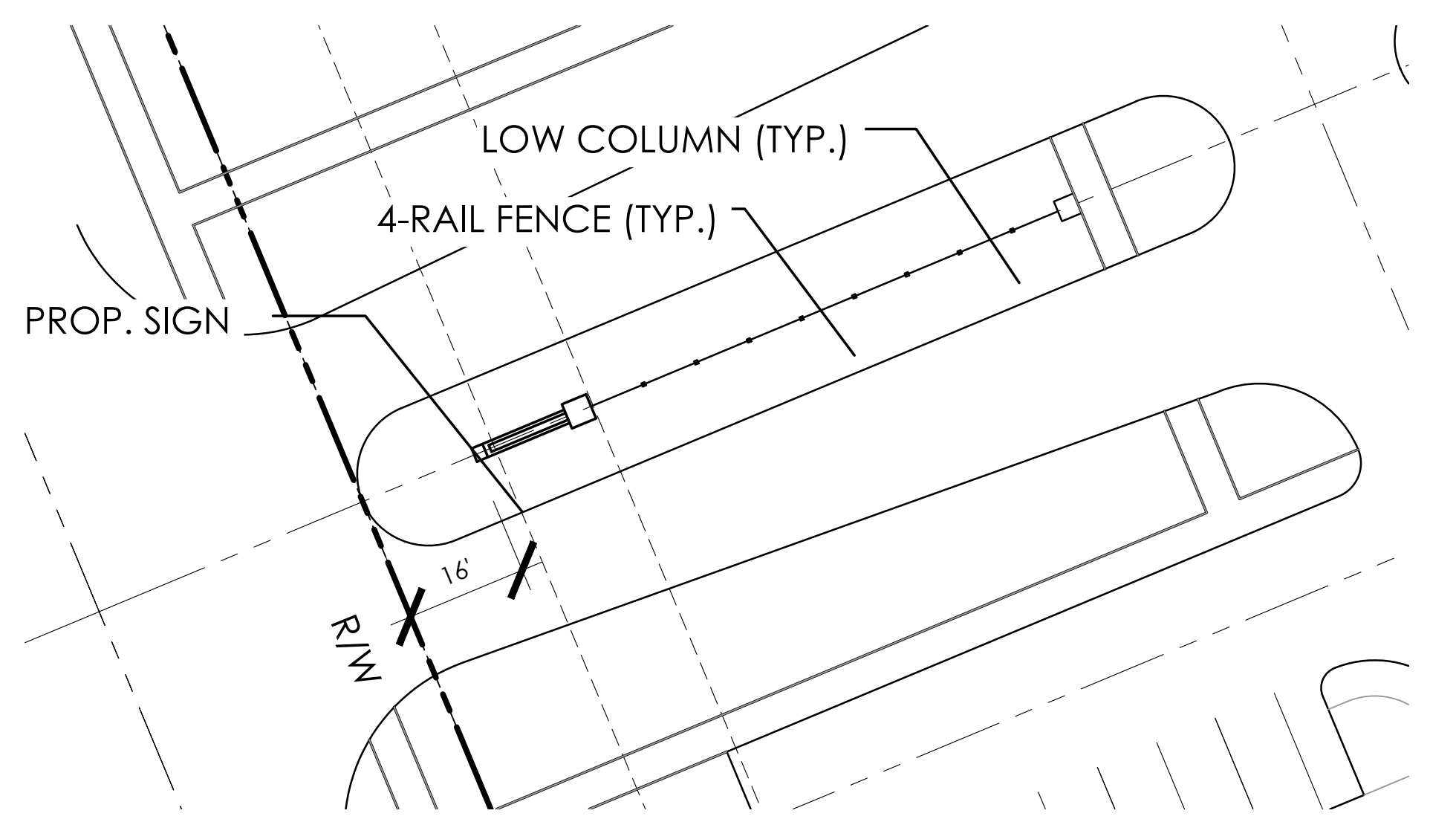




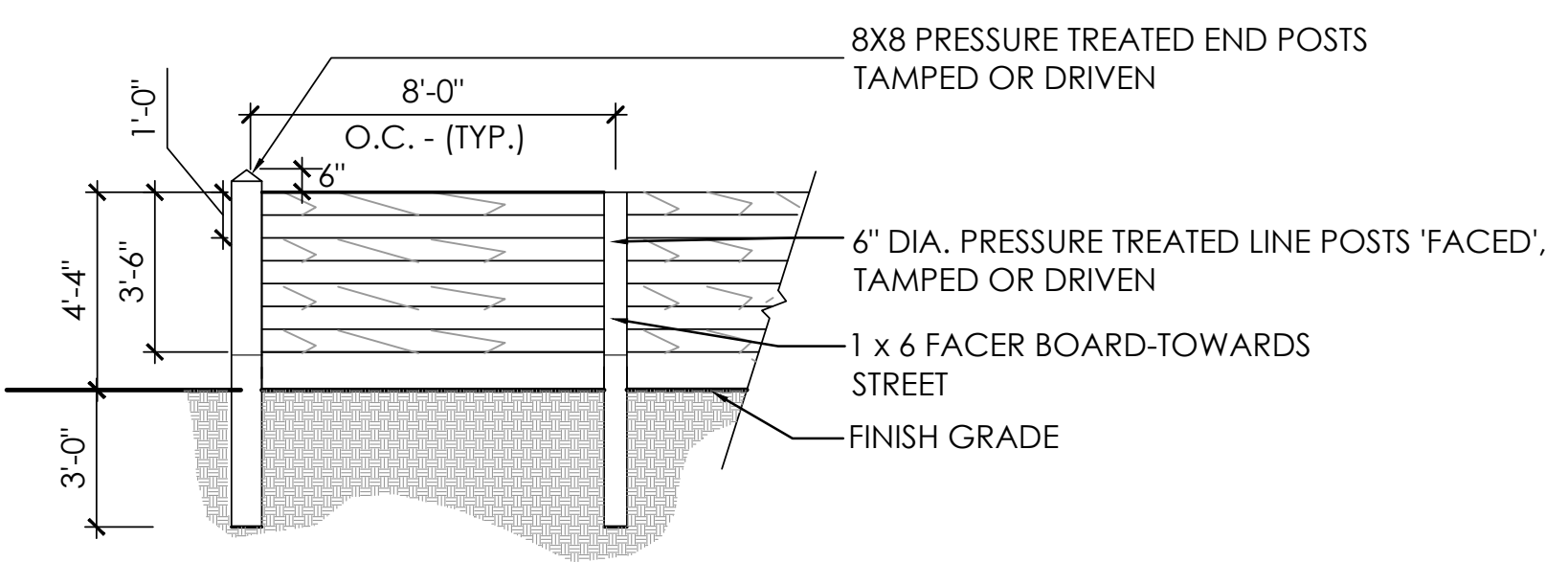
1 DOUBLE-SIDED MONUMENT SIGN
SCALE: 3/8" = 1'



3 WILSON ENTRY PLAN VIEW
N.T.S.



2 CLUBHOUSE ENTRY PLAN VIEW
N.T.S.



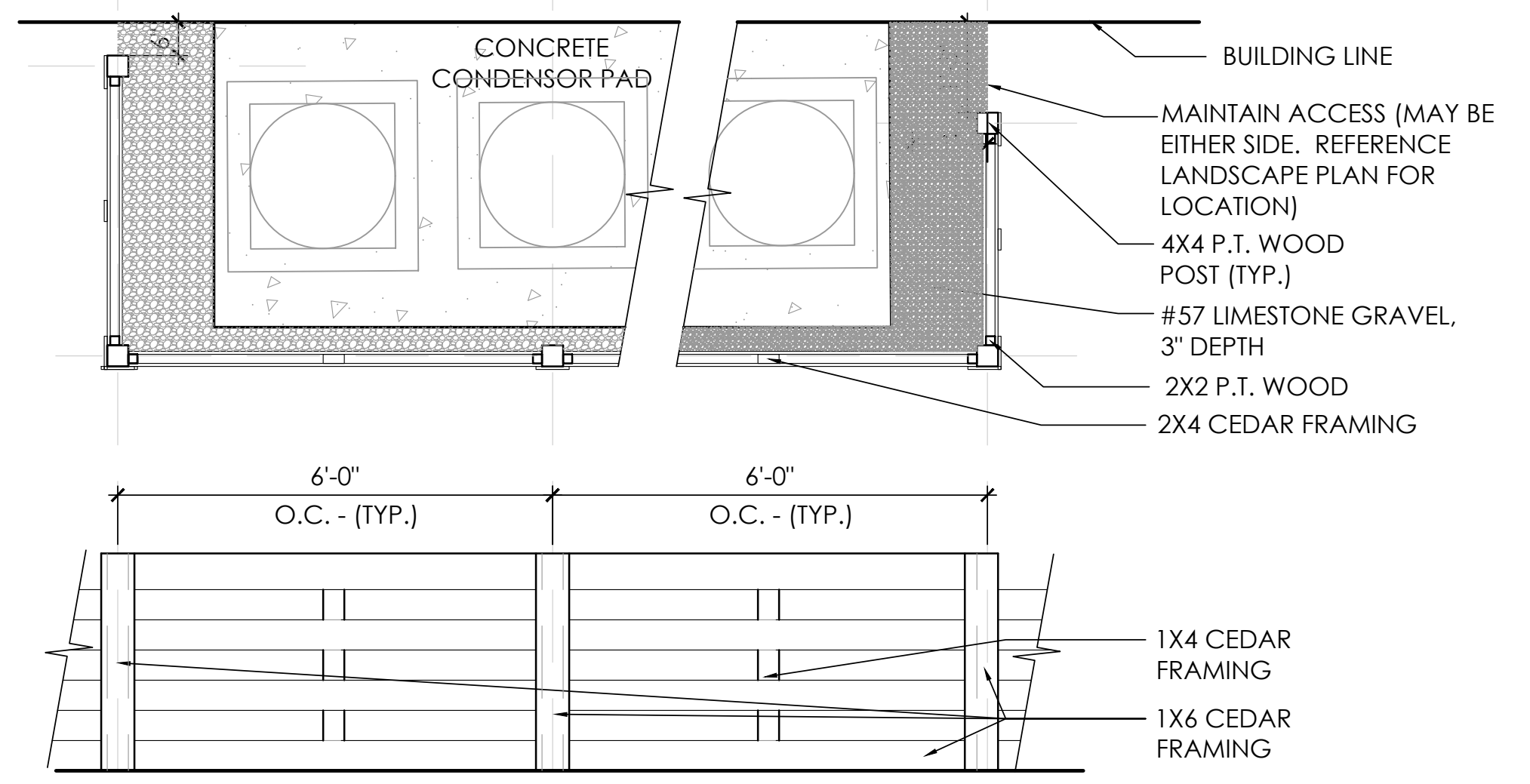
NOTES:
POSTS SHALL BE SOUND, STRAIGHT AND FREE FROM KNOTS, SPLITS, AND SHAKES, AND PEELED THEIR ENTIRE LENGTH. BOTH ENDS SHALL BE DOUBLE TRIMMED AND SAWED SQUARE

FENCE BOARDS
BOARDS SHALL BE 1" X 6" X 16' POPLAR, PRESSURE TREATED. THE BOARDS SHALL BE SOUND, STRAIGHT AND FREE OF KNOTS AND SHAKES

PAINT
PAINT SHALL BE DETERMINED BY OWNER

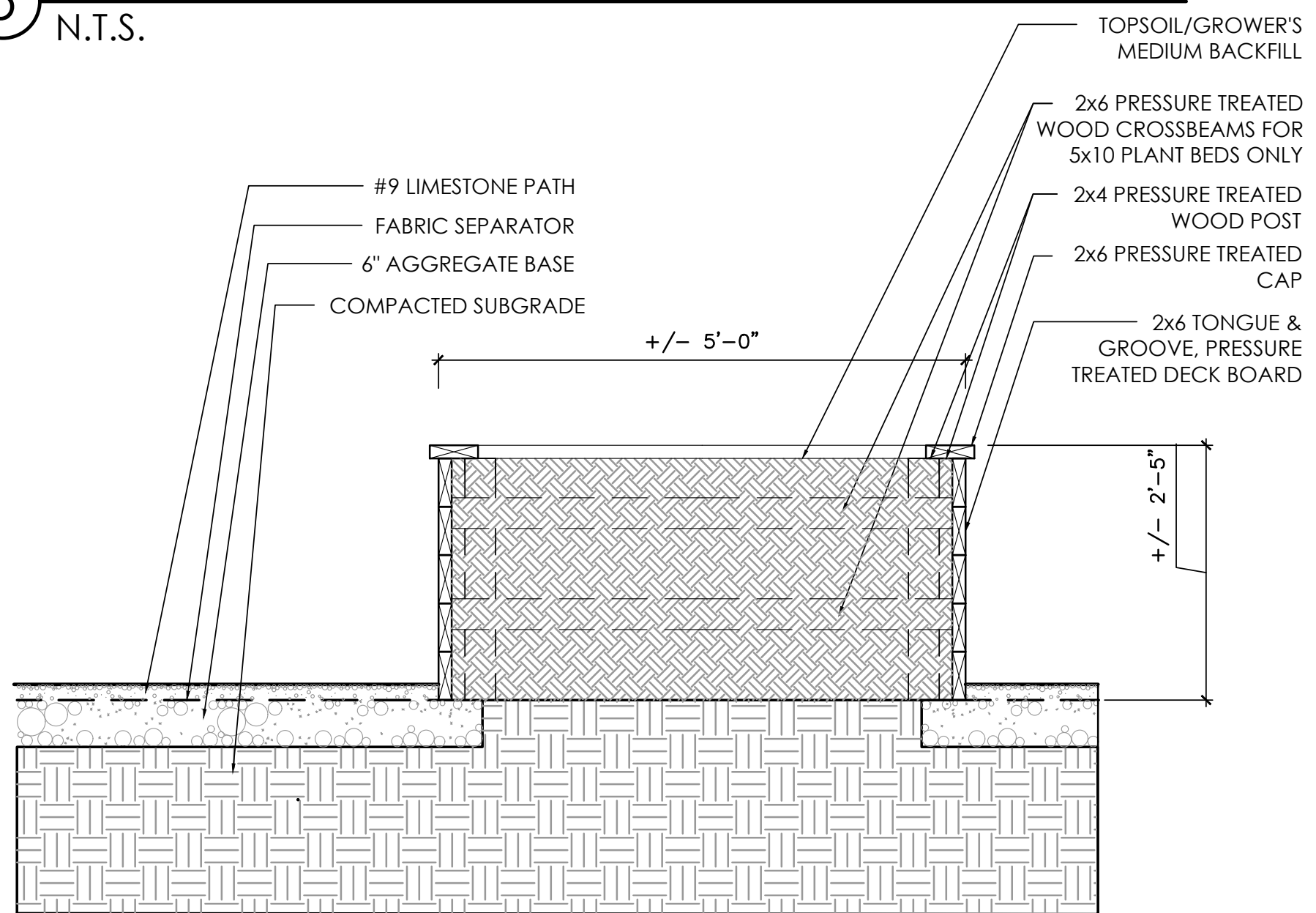
FASTENERS
NAILS-10D PLAIN SHANK BOX GALVANIZED

5 4 RAIL FENCE
N.T.S.

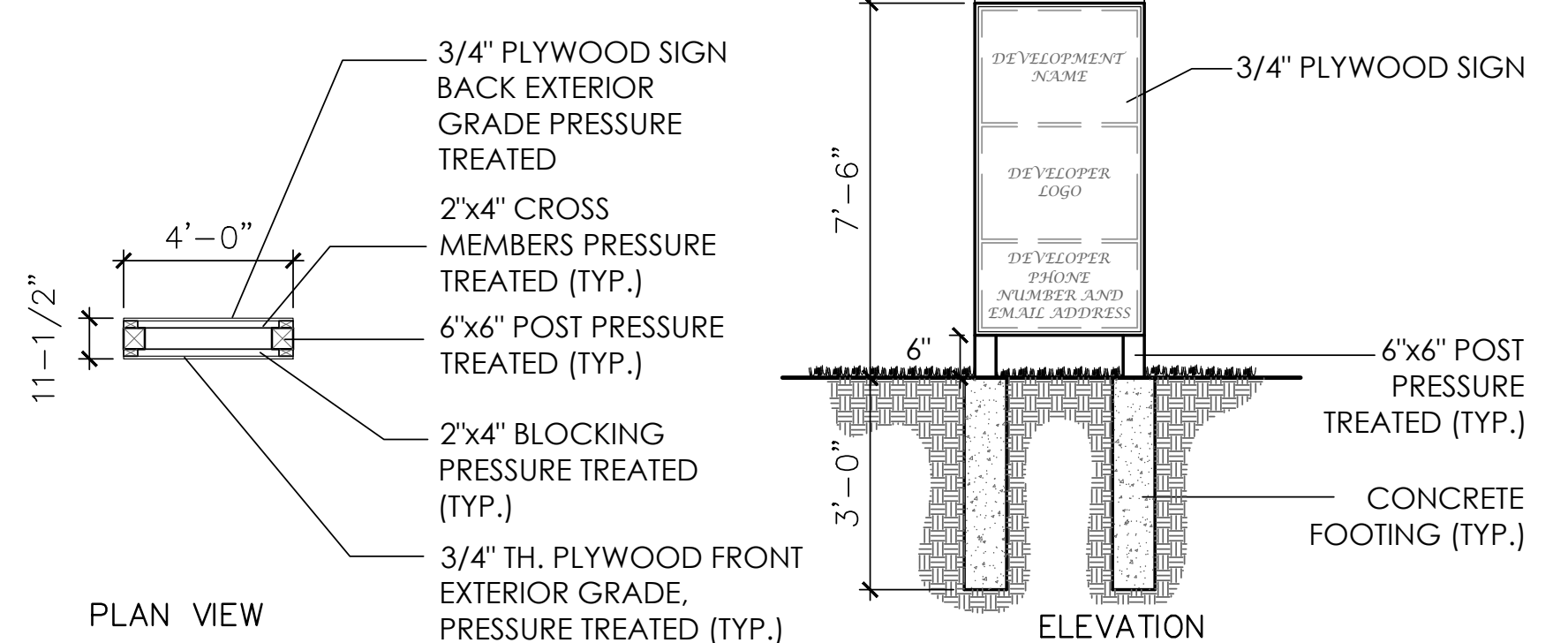


NOTE: FENCE SHALL BE PAINTED TO MATCH HANDRAILS AT BALCONIES OF ITS ASSOCIATED BUILDING.

4 A/C CONDENSOR SCREENING FENCE
N.T.S.

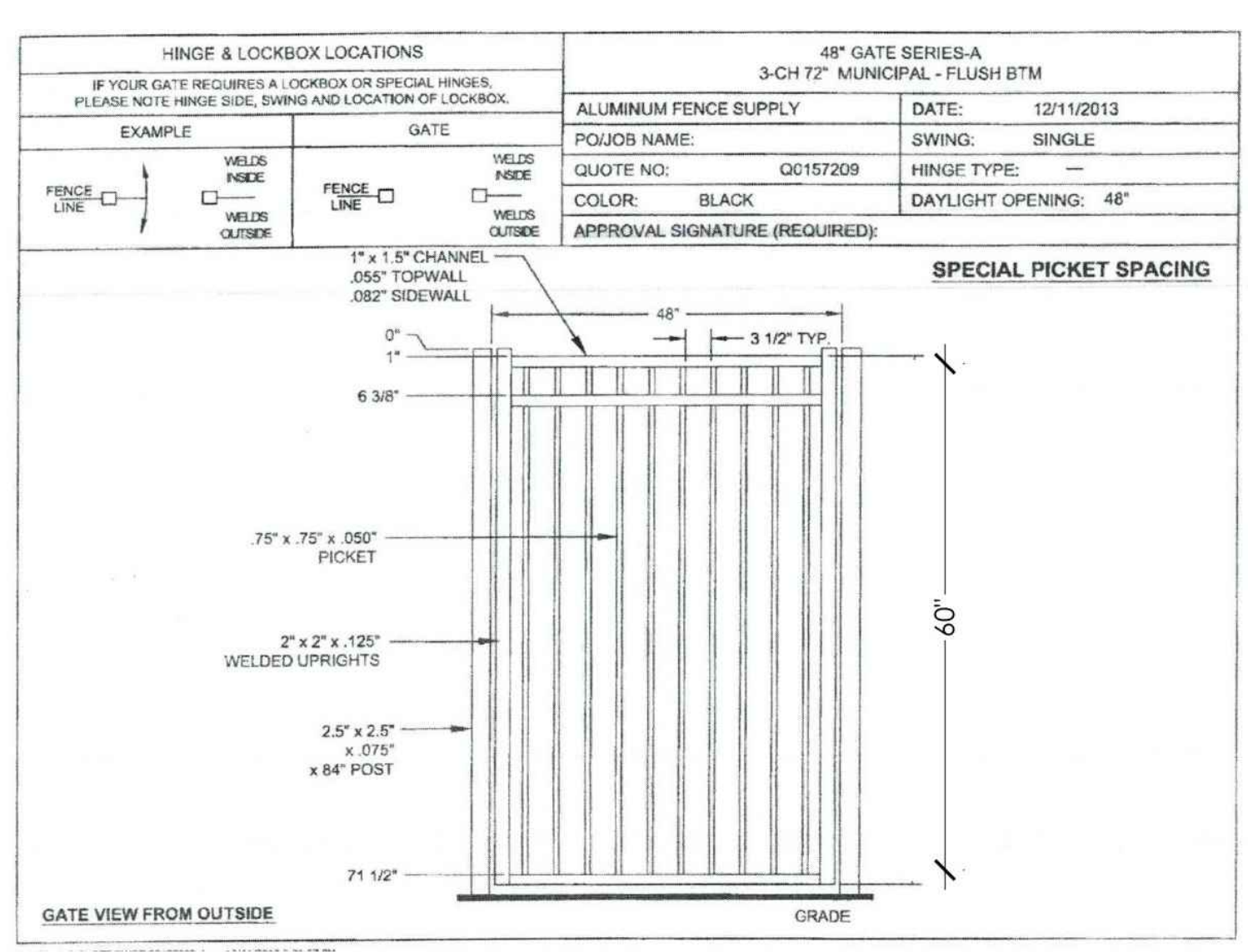
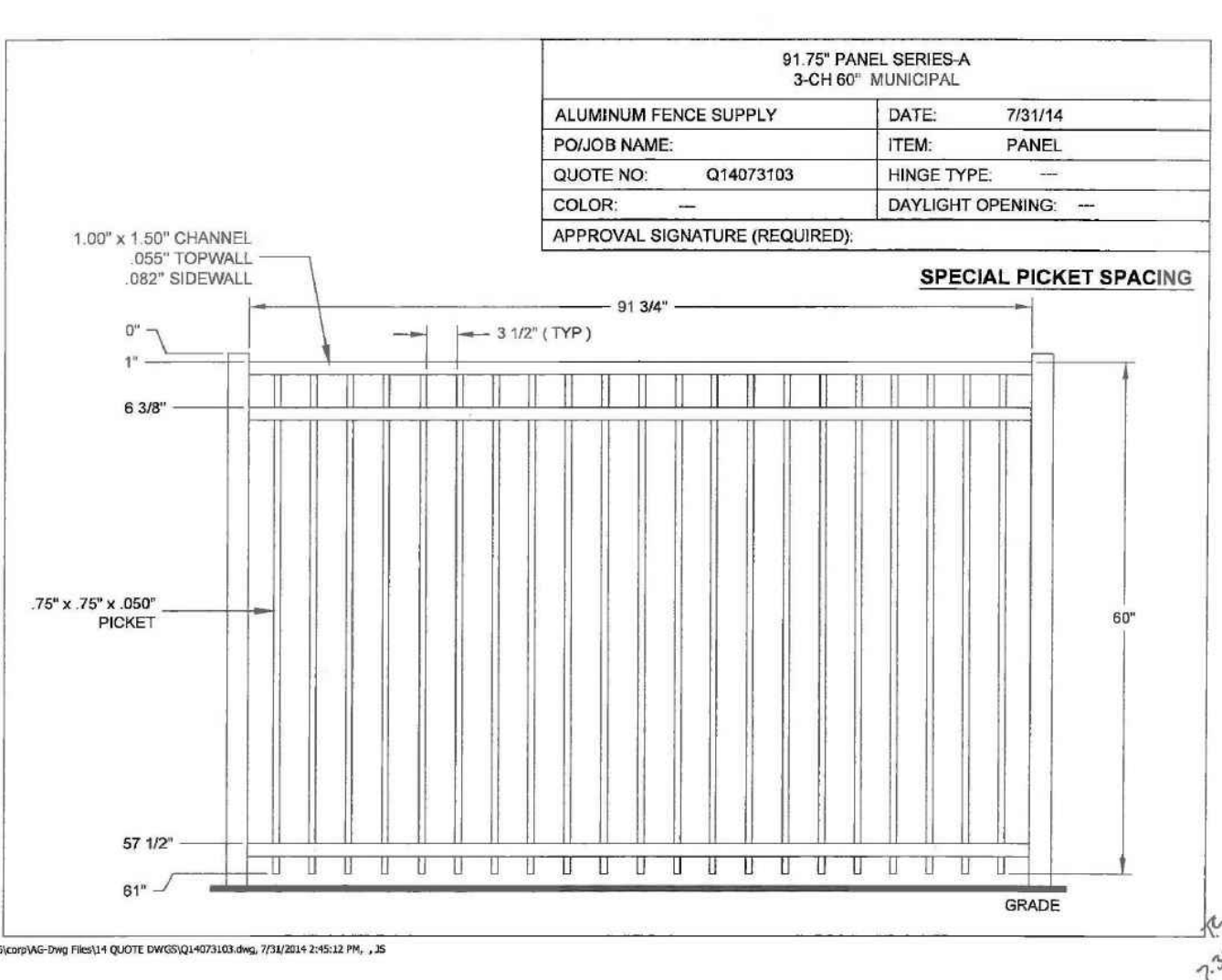


7 COMMUNITY GARDEN RAISED BED DETAIL
N.T.S.

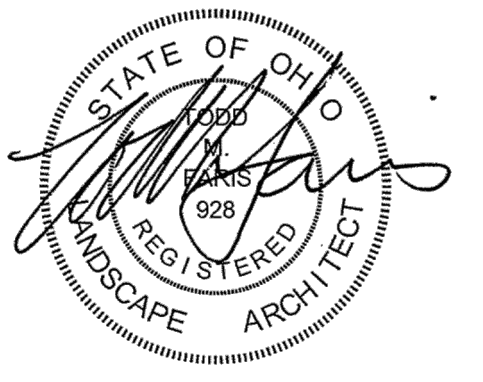


NOTE: 20' MIN. SETBACK FROM R.O.W. SIGNAGE TO BE DOUBLE SIDED

6 TEMPORARY SIGN DETAIL
N.T.S.



8 POOL FENCE DETAIL
N.T.S.



SITE DETAILS

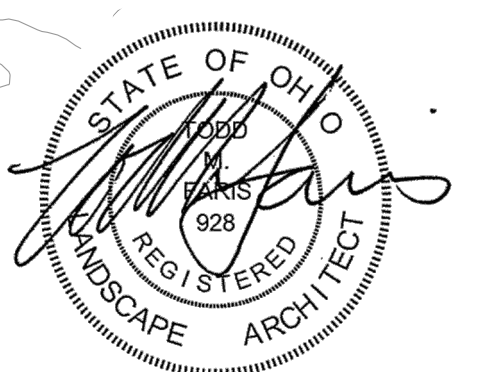
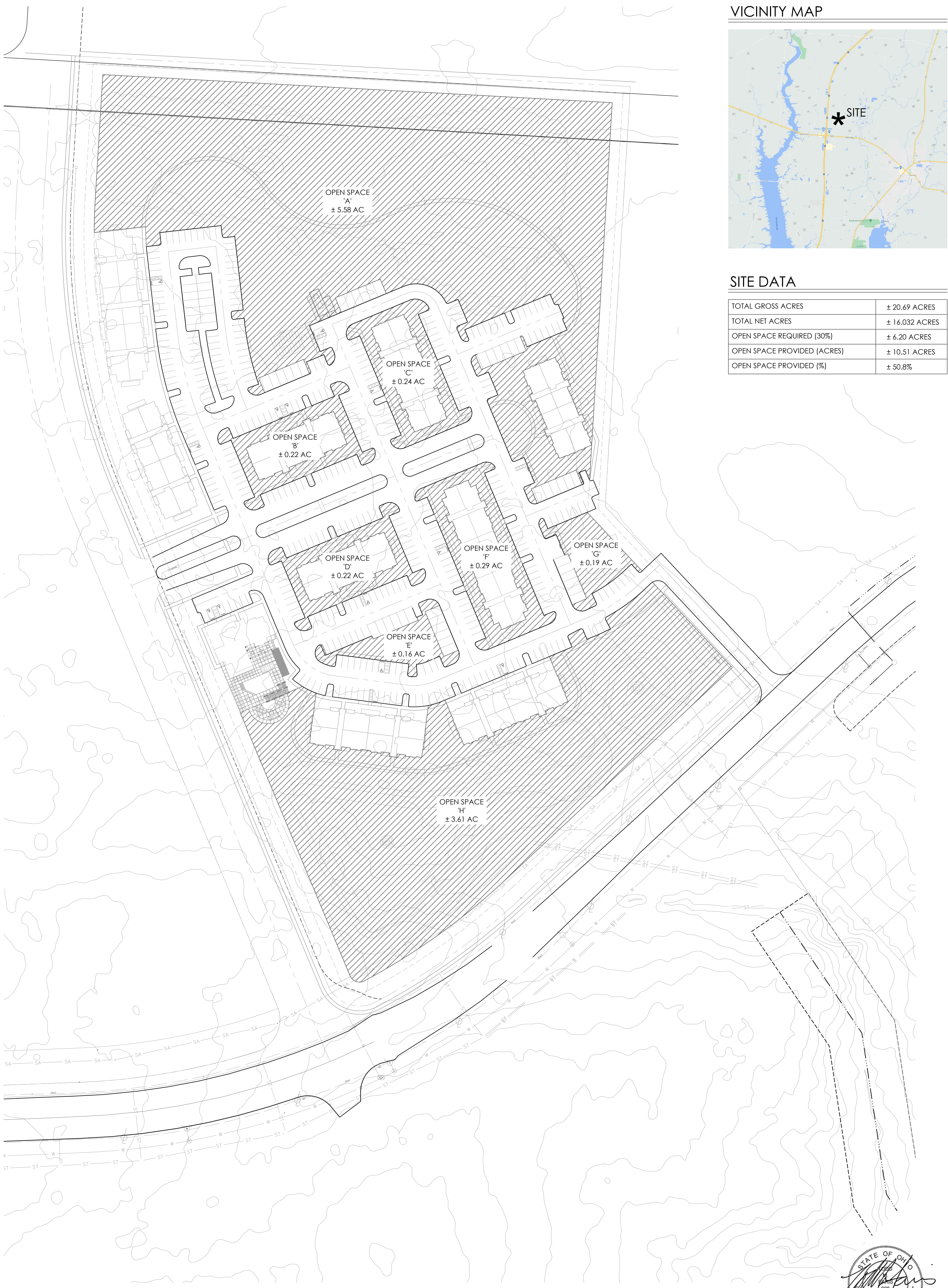
EXHIBIT D-7

VICINITY MAP



SITE DATA

TOTAL GROSS ACRES	± 20.69 ACRES
TOTAL NET ACRES	± 16.032 ACRES
OPEN SPACE REQUIRED (30%)	± 6.20 ACRES
OPEN SPACE PROVIDED (ACRES)	± 10.51 ACRES
OPEN SPACE PROVIDED (%)	± 50.8%



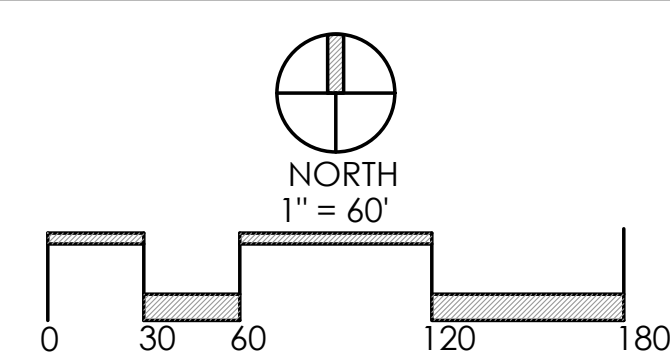
OPEN SPACE PLAN

EXHIBIT D-8

NORTHSTAR APARTMENTS

PREPARED FOR DC BUILDING COMPANY, LLC

DATE: 6/10/21



Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
 4876 Cemetery Hilliard, OH 43026
 p (614) 487-1964 www.farisplanninganddesign.com

TAB 5 – “E-1 through E-7” Utility Plans, Lighting Plan, and Utility Letters

BERKSHIRE TOWNSHIP, DELAWARE COUNTY, OHIO NORTHSTAR APARTMENTS DEVELOPMENT PLAN 2021

OWNER/DEVELOPER

THE ROBERT WEILER COMPANY

10 NORTH HIGH STREET
COLUMBUS, OH 43215
PHONE (614) 221-4286
SKIP@WEILER.COM

DC BUILDING COMPANY

485 METRO PLACE S, SUITE 350
DUBLIN, OH 43017
PHONE (614) 325-8957
DAVID@DCBUILDINGCOMPANY.COM

ARCHITECT

NEW AVENUE ARCHITECTS & ENGINEERS

4740 REED ROAD
COLUMBUS, OH 43220
PHONE (614) 884-8888
MJAISTROS@NEW.AVENUE.NET

LANDSCAPE ARCHITECT

FARIS PLANNING & DESIGN, LLC

4876 CEMETERY ROAD
HILLIARD, OH 43026
PHONE (614) 487-1964
TFARIS@FARISPLANNINGANDDESIGN.COM

ENGINEER

ADVANCED CIVIL DESIGN, INC.

781 SCIENCE BOULEVARD, SUITE 100
GAHANNA, OH 43230
PHONE (614) 428-7750
TWARNER@ADVANCEDCIVILDDESIGN.COM



800-362-2764 or 8-1-1
www.oups.org

UTILITY CONTACTS

WATER MAINS	DEL-CO WATER COMPANY, INC. 6658 OLENTANGY RIVER ROAD DELAWARE, OHIO 43015-8872 ATTN: RUSTY GRIFFITH (740) 548-7746	GAS	COLUMBIA GAS OF OHIO 920 GOODALE BOULEVARD COLUMBUS, OHIO 43212 ATTN: ADAM SHEELEY 1-800-440-6111, EX.3042
STORM SEWERS	DELAWARE COUNTY ENGINEER'S OFFICE STORM SEWERS 50 CHANNING STREET DELAWARE, OHIO 43015 ATTN: JOHN PICON (740) 833-2400	ELECTRIC	AMERICAN ELECTRIC POWER COMPANY 700 MORRISON ROAD GAHANNA, OHIO 43230-6605 ATTN: ANDREW L. WAINWRIGHT (614) 883-6821
SANITARY SEWERS	DELAWARE COUNTY REGIONAL SEWER DISTRICT 50 CHANNING STREET DELAWARE, OHIO 43015 ATTN: TIFFANY MAAG (740) 833-2240	PHONE	FRONTIER COMMUNICATIONS 2780 LIBERTY ROAD DELAWARE, OHIO 43015 ATTN: ROBERT CHANDLER (740) 369-0826
		CATV	SPECTRUM P.O. BOX 2553 COLUMBUS, OHIO 43216 ATTN: DAVID HOLSTEIN (614) 975-7468

NORTHSTAR RESIDENTIAL DEVELOPMENT LLC
47.810 ACRES
PN: 41721002012000
ZONING: PCD

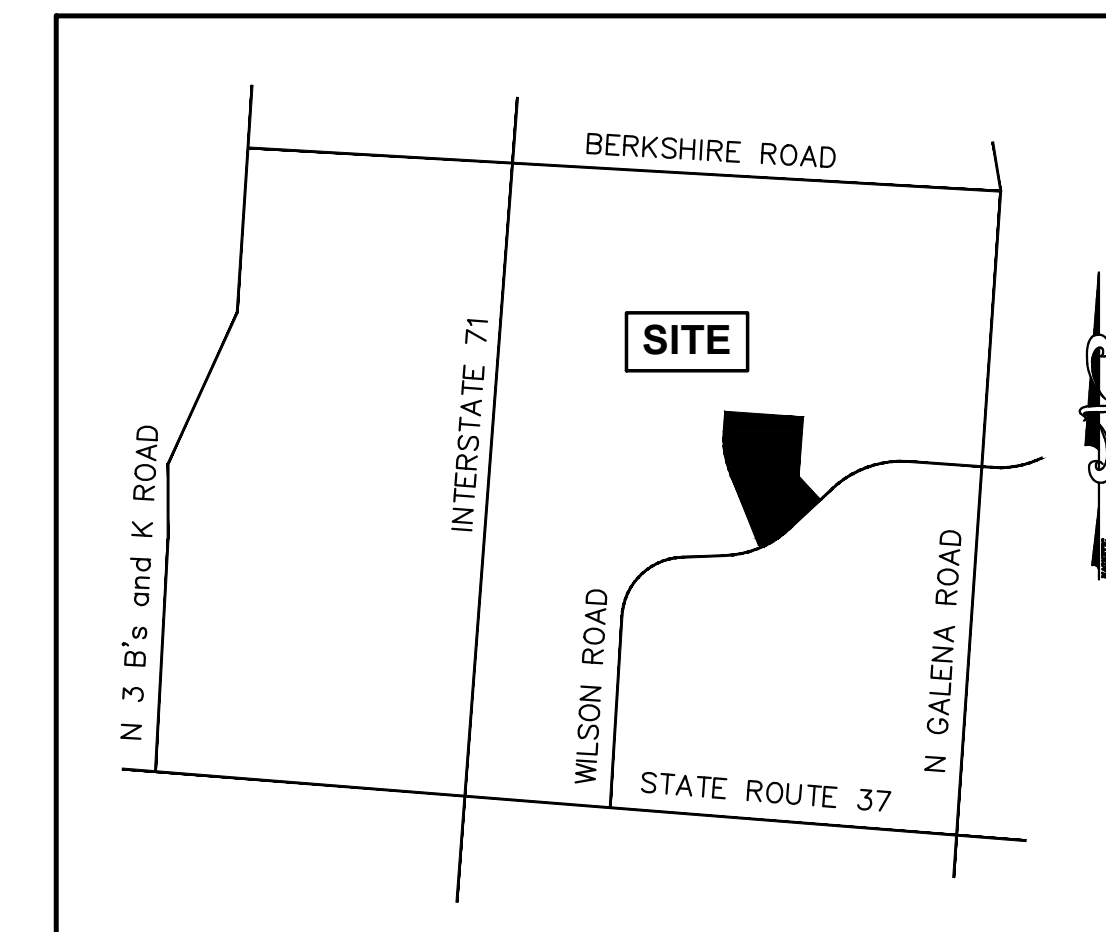
NORTHSTAR RESIDENTIAL DEVELOPMENT LLC
39.591 ACRES
PN: 41721002013000
ZONING: PCD

NORTHSTAR RESIDENTIAL DEVELOPMENT LLC
12.152 ACRES
PN: 41722001012004
ZONING: PCD

NORTHSTAR RESIDENTIAL DEVELOPMENT LLC
150.724 ACRES
PN: 41722001012001
ZONING: PCD

NORTHSTAR RESIDENTIAL DEVELOPMENT LLC
150.724 ACRES
PN: 41722001012001
ZONING: PCD

NORTHSTAR RESIDENTIAL DEVELOPMENT LLC
127.779 ACRES
PN: 41722001012002
ZONING: PCD



VICINITY MAP
SCALE: NTS

INDEX OF DRAWINGS

SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS PLAN
3	SITE DIMENSION PLAN
4	UTILITY PLAN
5	GRADING & DRAINAGE PLAN

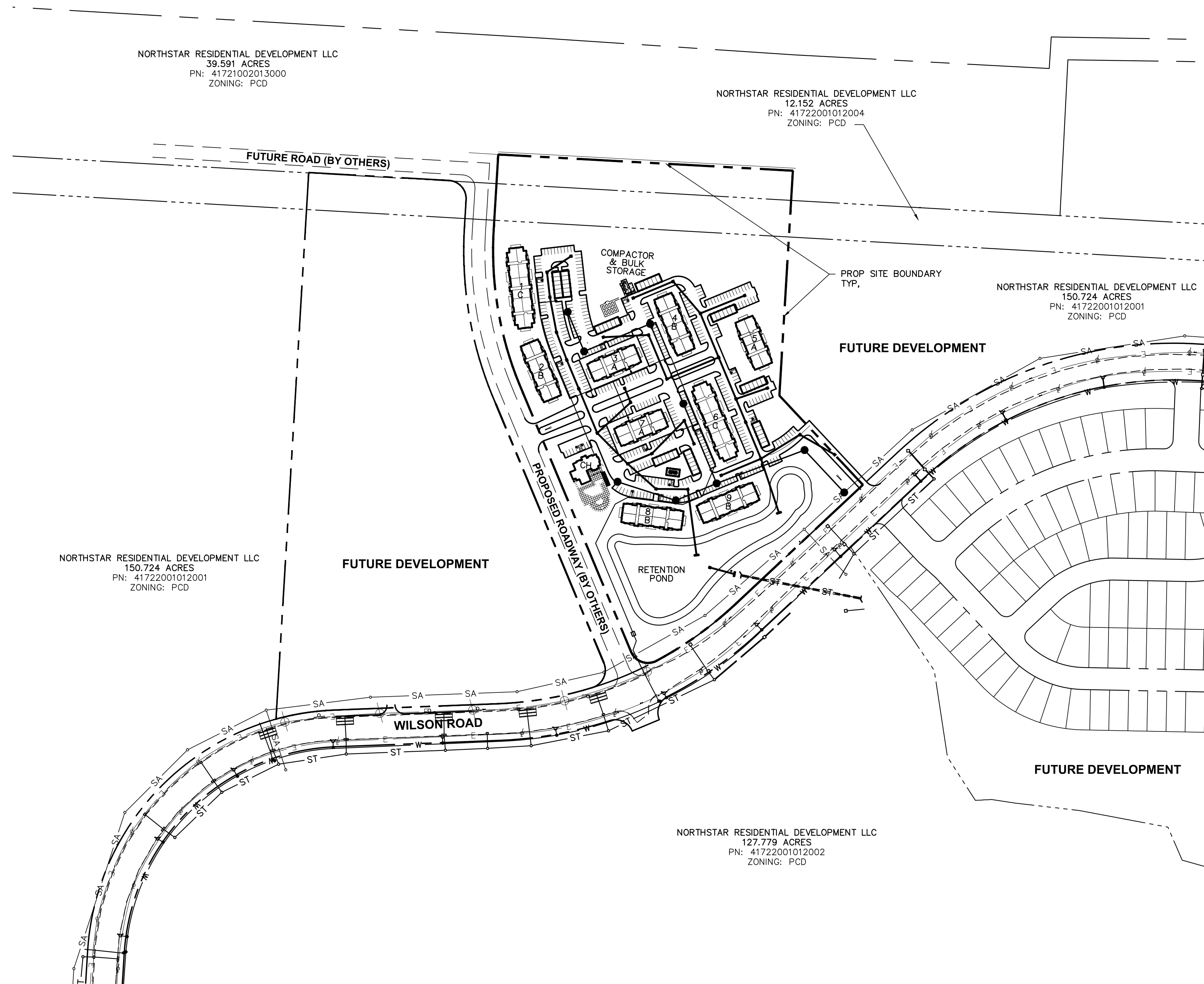
SITE DATA TABLE

TOTAL SITE AREA:	±20.69 ACRES
TOTAL UNITS:	240 UNITS
NUMBER OF BUILDINGS:	9
OPEN SPACE:	±11.02 ACRES
% OPEN SPACE:	53.3%
LOT COVERAGE:	±9.67 ACRES
% LOT COVERAGE:	46.7%
PARKING SPACES:	18'X9' (TYP)
PARKING SPACES REQUIRED:	457 SPACES (1.90 SPACES/UNIT)
PARKING SPACES PROVIDED:	54 GARAGE - 415 SURFACE
PARKING SPACES TOTAL:	470
PARKING RATIO:	1.96 SPACES/UNIT
HCP SPACES REQUIRED:	9 SPACES
HCP SPACES PROVIDED:	15 SPACES (INCLUDES 3 VAN ACCESSIBLE)

UNIT KEY

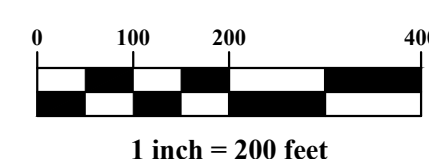
- A-12-2 BED/2 BATH, 12-1 BED
- B-24-2 BED/2 BATH,
- C-24-2 BED/2 BATH, 12- 2 BED/1 BATH, 12-1 BED

- 72- 1 BED (30%)
- 24- 2 BED/ 1 BATH (10%)
- 144- 2 BED/2 BATH (60%)

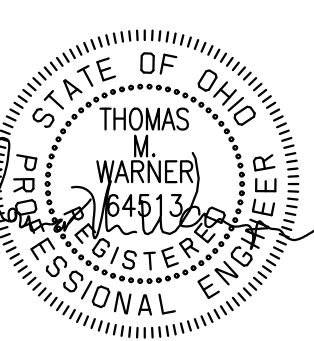


INDEX MAP
SCALE: 1" = 200'

GRAPHIC SCALE



BERKSHIRE TOWNSHIP, DELAWARE COUNTY, OHIO
NORTHSTAR APARTMENTS
 DEVELOPMENT PLAN
 FOR
 THE ROBERT WEILER COMPANY
TITLE SHEET

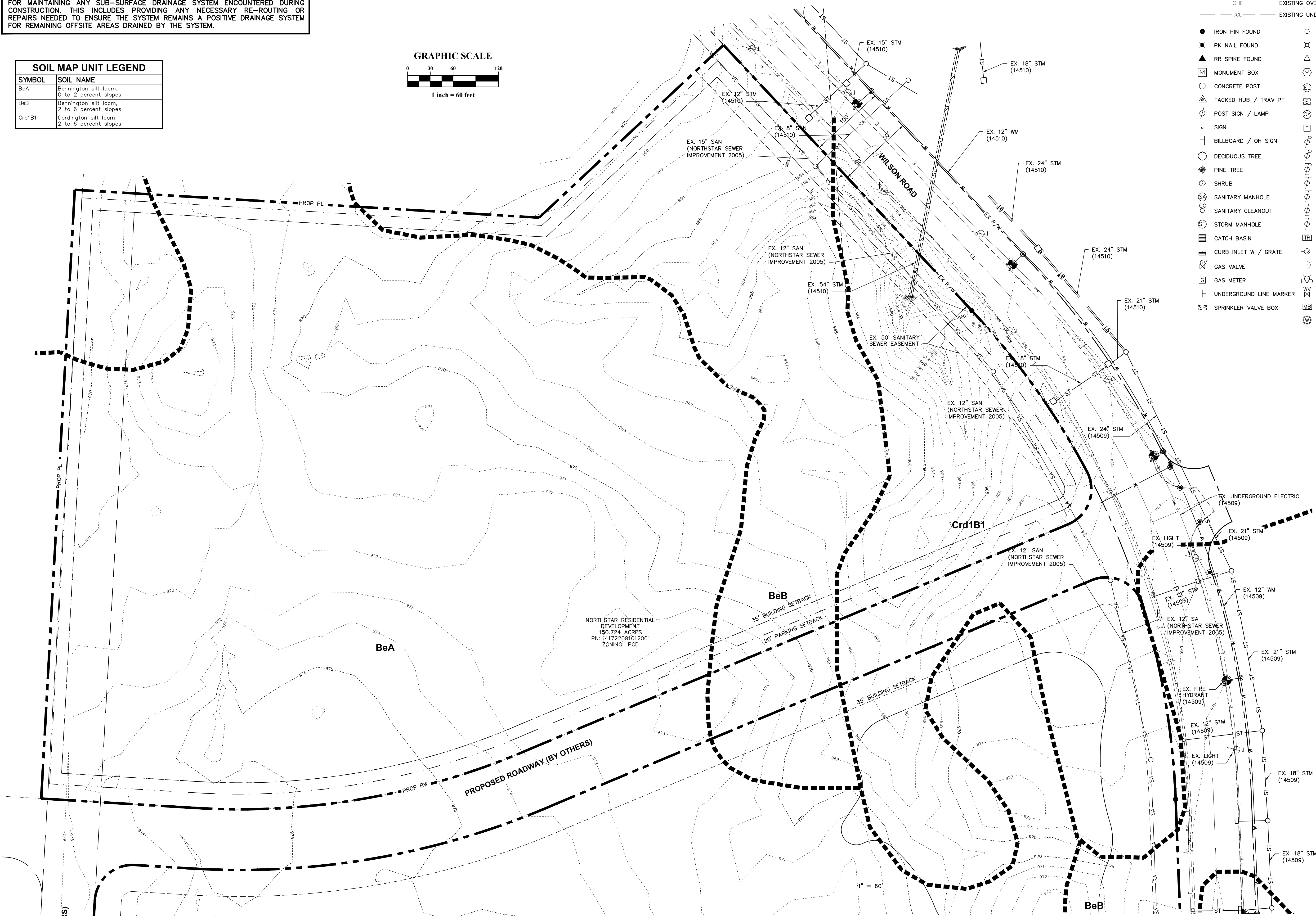
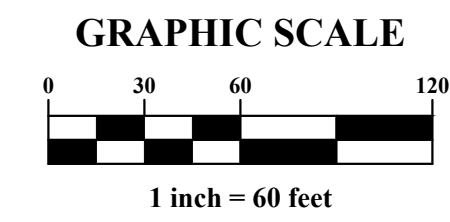


Date:	06/10/2021
Scale:	1" = 200'
Drawn By:	DDS
Checked By:	DAS
Project Number:	20-0054-274
Drawing Number:	1 / 5

E-1

COMMUNICATION WITH THE DELAWARE SOIL AND WATER CONSERVATION DISTRICT (DSWCD) REVEALED AERIAL IMAGING EVIDENCE INDICATING THE POTENTIAL OF A SUB-SURFACE FIELD DRAINAGE TILE SYSTEM WITHIN THE "LEASED" PROJECT SITE. THIS EVIDENCE HAS BEEN SHARED WITH THE PROPERTY OWNER. THE IDENTITY AND LOCATION OF THE POTENTIAL SUB-SURFACE SYSTEMS SHOWN ON THESE PLANS ARE AS ACCURATE AS POSSIBLE WITH THE INFORMATION PROVIDED. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OR THE DEPTHS OF THE UNDERGROUND FACILITIES SHOWN ON THESE PLANS. BASED ON COMMUNICATIONS WITH THE PROPERTY OWNER, THEY WILL REMAIN RESPONSIBLE FOR MAINTAINING ANY SUB-SURFACE DRAINAGE SYSTEM ENCOUNTERED DURING CONSTRUCTION. THIS INCLUDES PROVIDING ANY NECESSARY RE-ROUTING OR REPAIRS NEEDED TO ENSURE THE SYSTEM REMAINS A POSITIVE DRAINAGE SYSTEM FOR REMAINING OFFSITE AREAS DRAINED BY THE SYSTEM.

SOIL MAP UNIT LEGEND	
SYMBOL	SOIL NAME
BeA	Bennington silt loam, 0 to 2 percent slopes
BeB	Bennington silt loam, 2 to 6 percent slopes
Crd1B1	Cardington silt loam, 2 to 6 percent slopes



EXISTING FEATURE & UTILITY LEGEND

- ST — ST — EXISTING STORM SEWER
- SA — SA — EXISTING SANITARY SEWER
- WA — WA — EXISTING WATER MAIN
- G — G — EXISTING GAS MAIN
- OHE — OHE — EXISTING OVER HEAD ELECTRIC
- UGL — UGL — EXISTING UNDERGROUND LIGHTING
- IRON PIN FOUND
- ⊗ PK NAIL FOUND
- ▲ RR SPIKE FOUND
- Ⓜ MONUMENT BOX
- ⊕ CONCRETE POST
- ⊕ TACKED HUB / TRAV PT
- ⊕ POST SIGN / LAMP
- ⊕ SIGN
- ⊕ BILLBOARD / OH SIGN
- ⊕ DECIDUOUS TREE
- ⊕ PINE TREE
- ⊕ SHRUB
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN
- ⊕ CURB INLET W / GRATE
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ UNDERGROUND LINE MARKER
- ⊕ SPRINKLER VALVE BOX
- IRON PIN SET W / CAP
- ⊗ PK NAIL SET
- ▲ RR SPIKE SET
- Ⓜ MONUMENT
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC TRANSFORMER
- ⊕ COMM MANHOLE
- ⊕ TEL PEDESTAL
- ⊕ POLE ELECTRIC
- ⊕ POLE ELEC TEL
- ⊕ POLE TEL
- ⊕ POLE TEL LIGHT
- ⊕ POLE TEL
- ⊕ POLE LIGHT
- ⊕ POLE SIGNAL
- ⊕ TRAFFIC BOX
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ MAILBOX
- ⊕ MONITORING WELL

Z:\20-0054-274\DWG\PRODUCTION DRAWINGS\FINAL DEVELOPMENT PLAN\0054-274 EX CONDITIONS.dwg EXISTING CONDITIONS PLAN Jun 10, 2021 12:12:52pm dh-Intern

PLAN PREPARED BY:

 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
 PH 614.428.7760
 FAX 614.428.7755
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:

THE ROBERT WEILER COMPANY
 Appraisal Brokerage Consulting Development

BERKSHIRE TOWNSHIP, DELAWARE COUNTY, OHIO
NORTHSTAR APARTMENTS
 DEVELOPMENT PLAN
 FOR
THE ROBERT WEILER COMPANY
 EXISTING CONDITIONS PLAN

Issue Dates:

Date:	06/10/2021
Scale:	1" = 60'
Drawn By:	DDS
Checked By:	DAS
Project Number:	20-0054-274
Drawing Number:	2 / 5

CODED NOTES

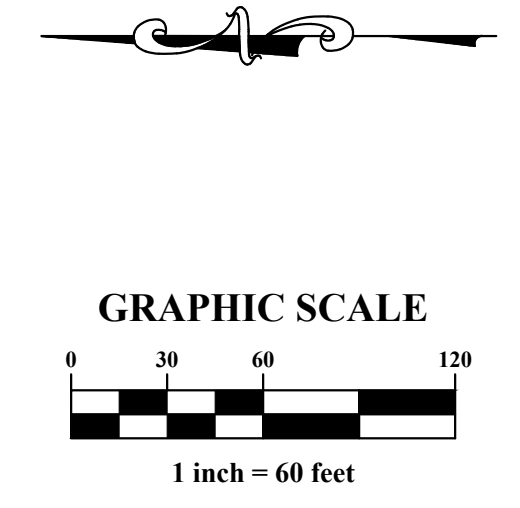
- (A) COMBINED CURB AND WALK
- (B) ENTRY FEATURE (REFER TO LANDSCAPE DRAWINGS)
- (C) ACCESSIBLE PARKING SPACE WITH SIGNAGE. SEE GRADING PLAN FOR GRADING DETAIL ("VAN" - INDICATES VAN ACCESSIBLE SPACE)
- (D) DUMPSTER/COMPACTOR LOCATION
- (E) 18" CONCRETE STRAIGHT CURB (ALL OTHER CURB IS EXTRUDED)
- (F) BIKE RACK
- (G) PARKING BLOCK
- (H) CONCRETE SIDEWALK
- (J) 10' SHARED USE PATH

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

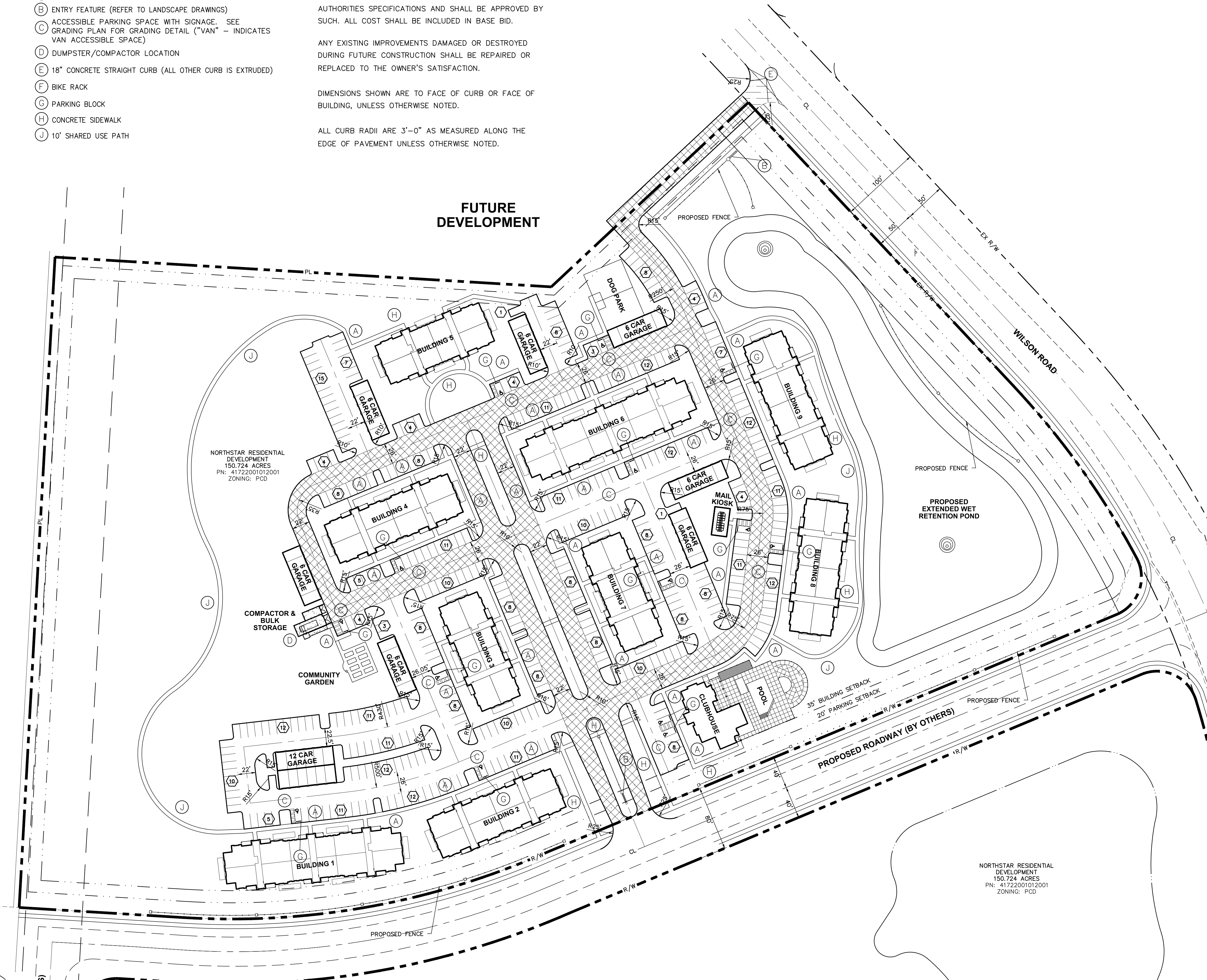
ANY EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING FUTURE CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION.

DIMENSIONS SHOWN ARE TO FACE OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.

ALL CURB RADII ARE 3'-0" AS MEASURED ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.



FUTURE DEVELOPMENT



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ZONING: PCD

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ZONING: PCD

LEGEND

- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- DELAWARE COUNTY STANDARD DRAWING R2203A

SITE DATA TABLE

TOTAL SITE AREA:	±20.69 ACRES
TOTAL UNITS:	240 UNITS
NUMBER OF BUILDINGS:	9
OPEN SPACE:	±11.02 ACRES
% OPEN SPACE:	53.3%
LOT COVERAGE:	±9.67 ACRES
% LOT COVERAGE:	46.7%
PARKING SPACES: 18'x9' (TYP)	
PARKING SPACES REQUIRED: 457 SPACES (1.90 SPACES/UNIT)	
PARKING SPACES PROVIDED: 54 GARAGE - 415 SURFACE	
PARKING SPACES TOTAL: 470	
PARKING RATIO: 1.96 SPACES/UNIT	
HCP SPACES REQUIRED: 9 SPACES	
HCP SPACES PROVIDED: 15 SPACES (INCLUDES 3 VAN ACCESSIBLE)	

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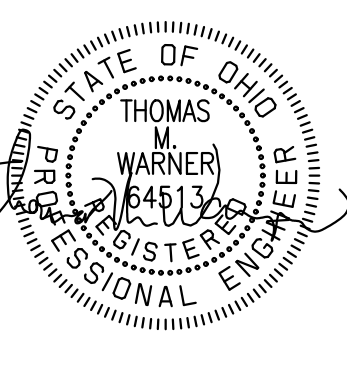
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 781 Science Boulevard, Suite 100
 Gahanna, Ohio 43230
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 FAX: 614.428.7755

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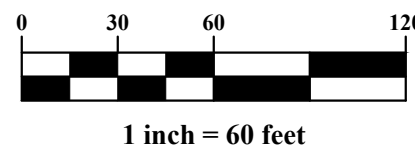
BERKSHIRE TOWNSHIP, DELAWARE COUNTY, OHIO
NORTHSTAR APARTMENTS
 DEVELOPMENT PLAN
 FOR
THE ROBERT WEILER COMPANY
 SITE DIMENSION PLAN



Issue Dates:

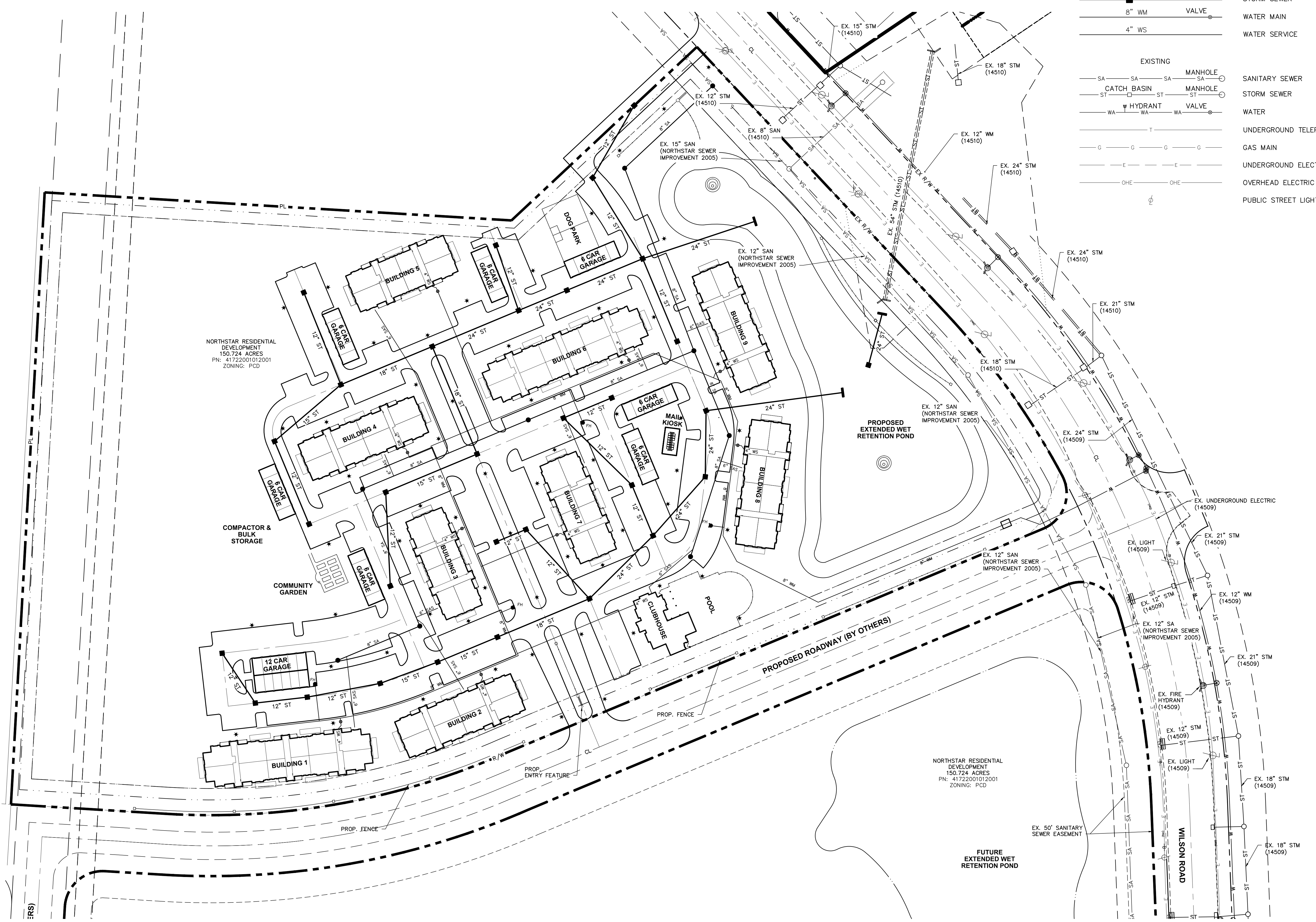
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Scale:	1" = 60'
Drawn By:	DDS
Checked By:	DAS
Project Number:	20-0054-274
Drawing Number:	3 / 5

GRAPHIC SCALE



LEGEND

PROPOSED		EXISTING	
8" SA	SANITARY SEWER	SA	MANHOLE
6" SAS	SANITARY SEWER SERVICE	SA	MANHOLE
CATCH BASIN	12" ST	ST	MANHOLE
8" WM	VALVE	WA	HYDRANT
4" WS	WATER MAIN	WA	VALVE
	WATER SERVICE	T	UNDERGROUND TELEPHONE
		G	GAS MAIN
		E	UNDERGROUND ELECTRIC
		OHE	OVERHEAD ELECTRIC
			PUBLIC STREET LIGHT



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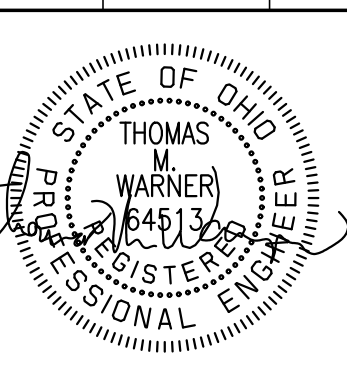
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NORTHSTAR APARTMENTS
DEVELOPMENT PLAN
FOR
THE ROBERT WEILER COMPANY
UTILITY PLAN

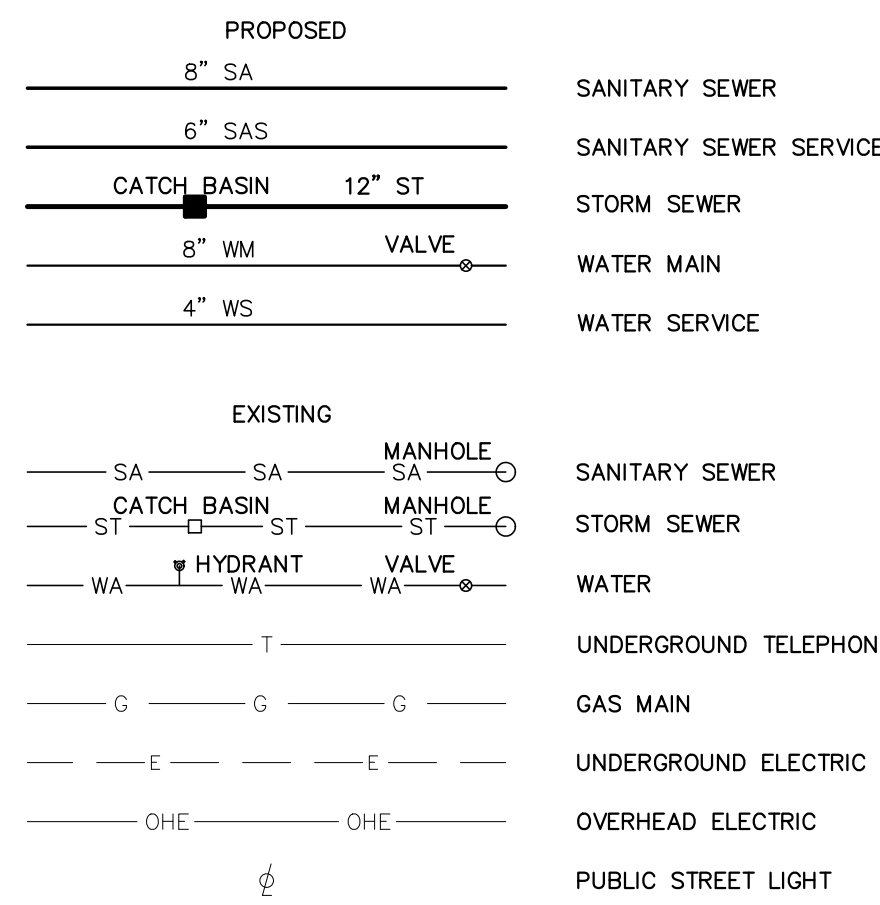


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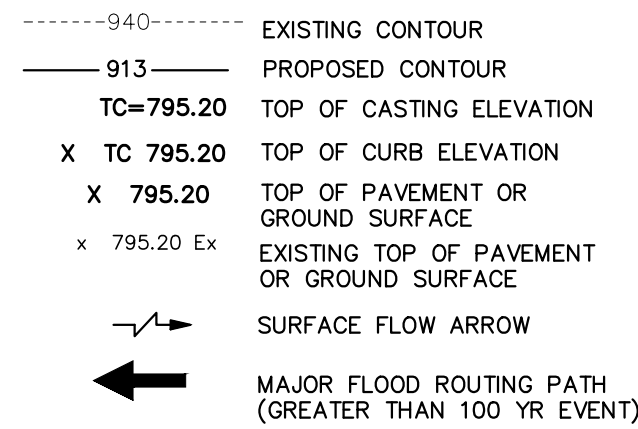
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UTILITY LEGEND



GRADING LEGEND



SITE GRADING NOTES

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

STORM PIPE SHALL BE AS SPECIFIED IN THE GENERAL NOTES.

EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

EXISTING GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.

ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.

ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

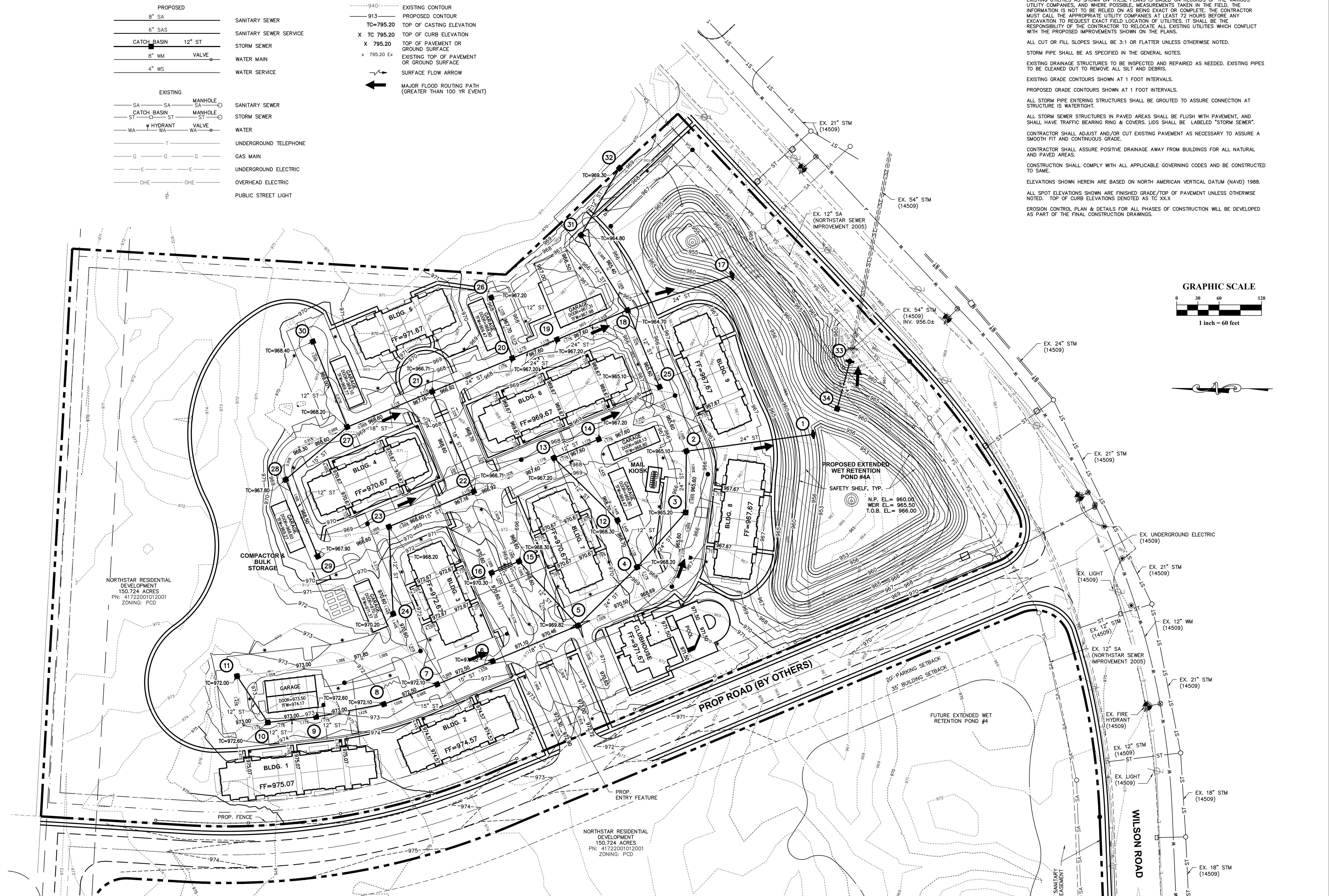
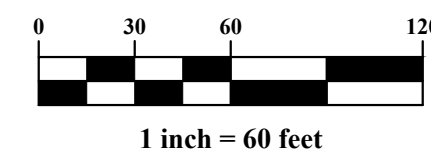
CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

ELEVATIONS SHOWN HEREIN ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TC XX.X

EROSION CONTROL PLAN & DETAILS FOR ALL PHASES OF CONSTRUCTION WILL BE DEVELOPED AS PART OF THE FINAL CONSTRUCTION DRAWINGS.

GRAPHIC SCALE



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PLAN PREPARED FOR:

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BERKSHIRE TOWNSHIP, DELAWARE COUNTY, OHIO

NORTHSTAR APARTMENTS DEVELOPMENT PLAN

FOR

THE ROBERT WEILER COMPANY

GRADING & DRAINAGE PLAN

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