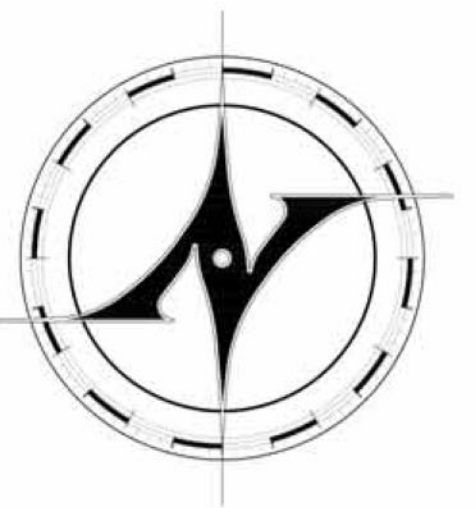


TAB 6 – “F-1 through F-3” Architectural Elevations,
Floor Plans, and Materials Samples



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EXTERIOR ELEVATION - BOTH SIDES

NOT TO SCALE



EXTERIOR ELEVATION - FRONT AND REAR

NOT TO SCALE

MARYWAY
Apartment Community
Building C
Columbus Ave.
Marysville, Ohio 43016

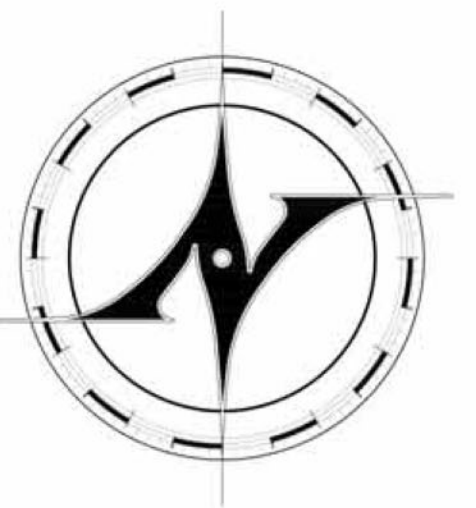
DEVELOPER:
DC Building Company
10104 Brewster Lane
Suite 100
Powell, Ohio 43065

Project No: 19-0050

**NOT FOR
CONSTRUCTION**

**BUILDING C
EXTERIOR
ELEVATIONS**

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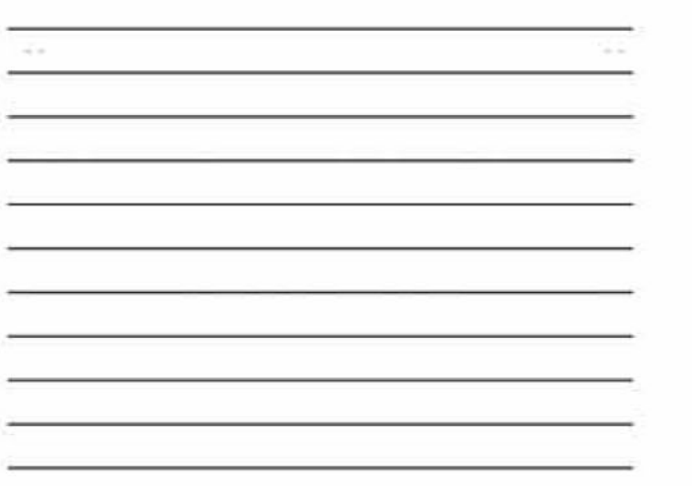


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EXTERIOR ELEVATION - BOTH SIDES

NOT TO SCALE



EXTERIOR ELEVATION - FRONT AND REAR

NOT TO SCALE

MARYWAY
Apartment Community
Building B
Columbus Ave.
Marysville, Ohio 43016

DEVELOPER:
DC Building Company
10104 Brewster Lane
Suite 100
Powell, Ohio 43065

Project No: 19-0050

NOT FOR
CONSTRUCTION

BUILDING B
EXTERIOR
ELEVATIONS

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F-1

*BUILDING A ELEVATIONS THE SAME AS BUILDING B,
BUT ARE 140' IN LENGTH

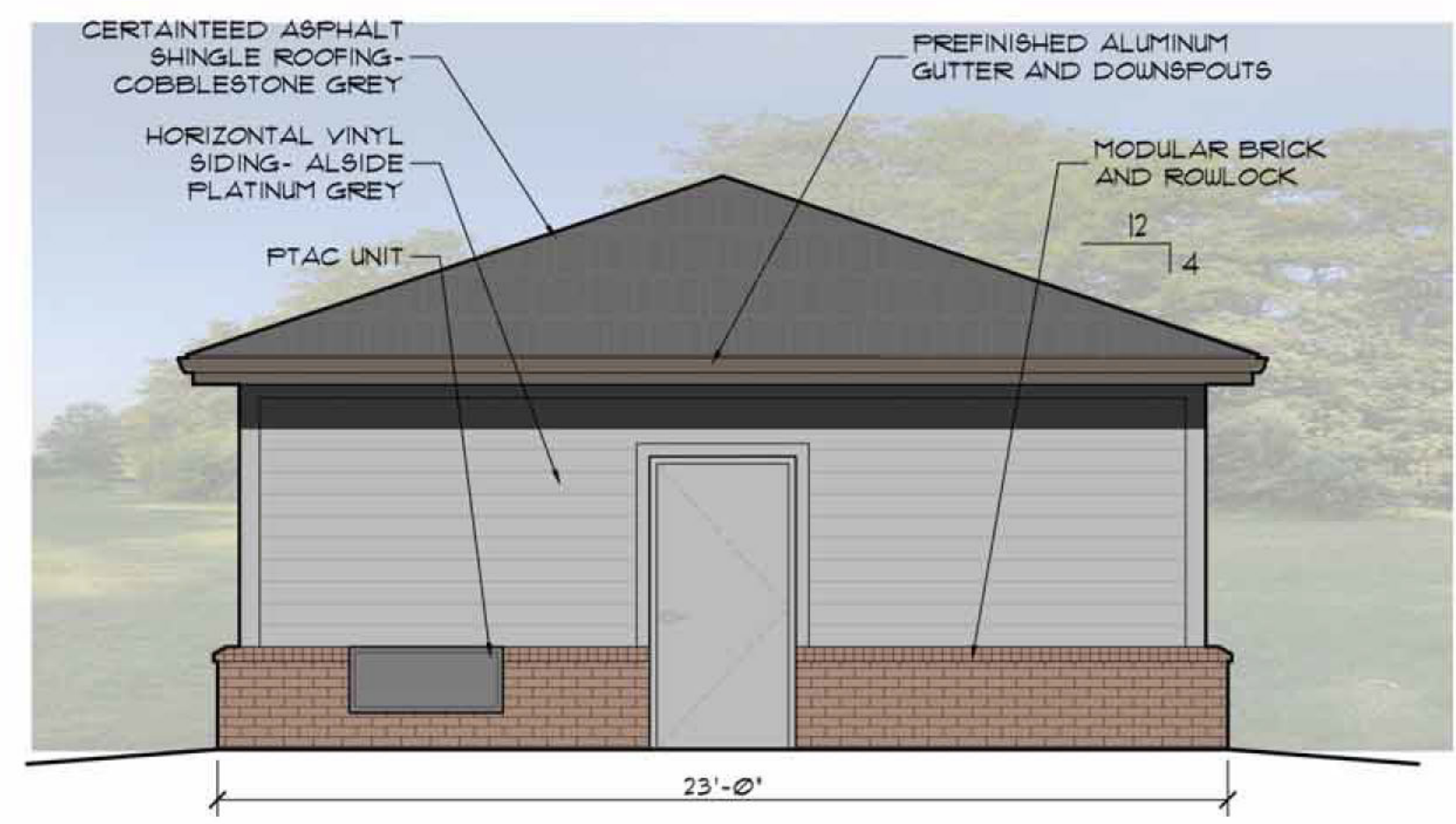


MAIL BUILDING SIDE ELEVATION

SCALE: 1/4" = 1'-0"

MAIL BUILDING FRONT/BACK ELEVATION

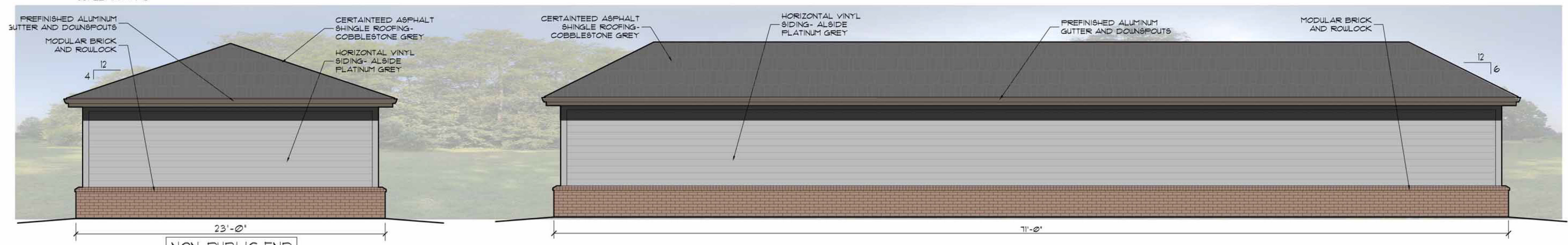
SCALE: 1/4" = 1'-0"



MAINTENANCE END

5 & 6 CAR GARAGE- SIDE ELEVATION

SCALE: 1/4" = 1'-0"



NON-PUBLIC END

5 & 6 CAR GARAGE- SIDE ELEVATION

SCALE: 1/4" = 1'-0"

6 CAR GARAGE - BACK ELEVATION

SCALE: 1/4" = 1'-0"



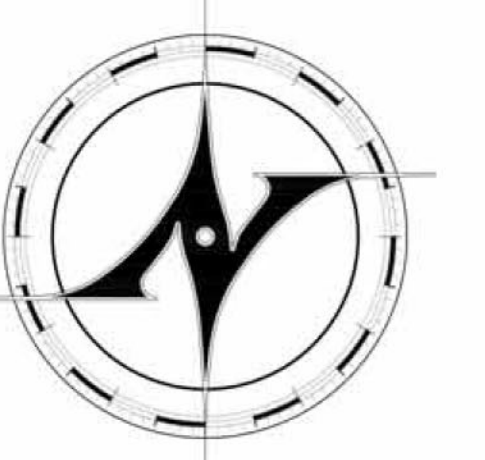
STANDARD END

5 & 6 CAR GARAGE- SIDE ELEVATION

SCALE: 1/4" = 1'-0"

6 CAR GARAGE- FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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CLIENT REVIEW SET

07/03/2019

MARYWAY
Apartment Community
Clubhouse
Columbus Avenue
Marysville, Ohio 43016

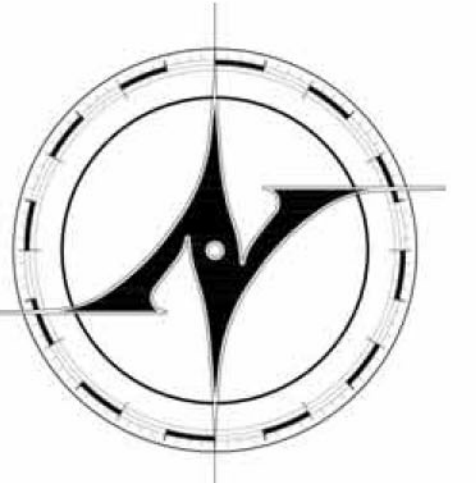
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Powell, Ohio 43065

Project No: 19-0050

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MAIL & GARAGE
BUILDINGS

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CLIENT REVIEW SET

07/03/2019

MARYWAY
Apartment Community
Clubhouse
E. Broad Street
Whitehall, Ohio 43213

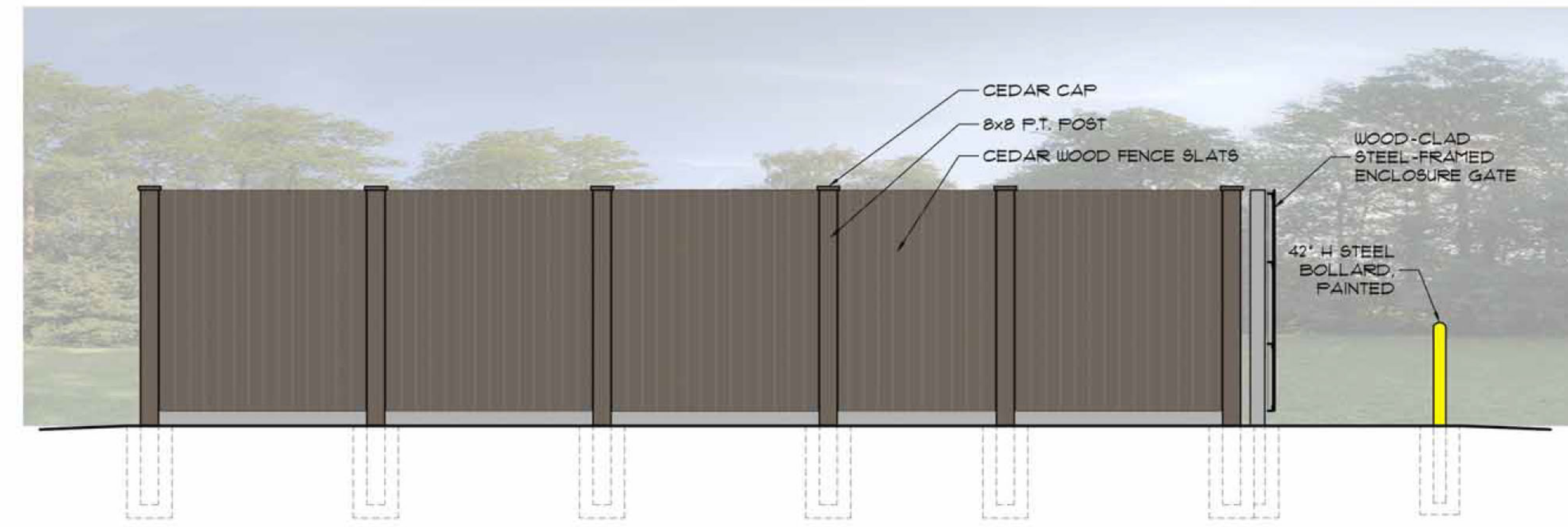
DEVELOPER:
DC Building Company
10104 Brewster Lane
Suite 100
Powell, Ohio 43065

Project No: 19-0050

**NOT FOR
CONSTRUCTION**

COMPACTOR
FLOOR PLAN
& ELEVATIONS

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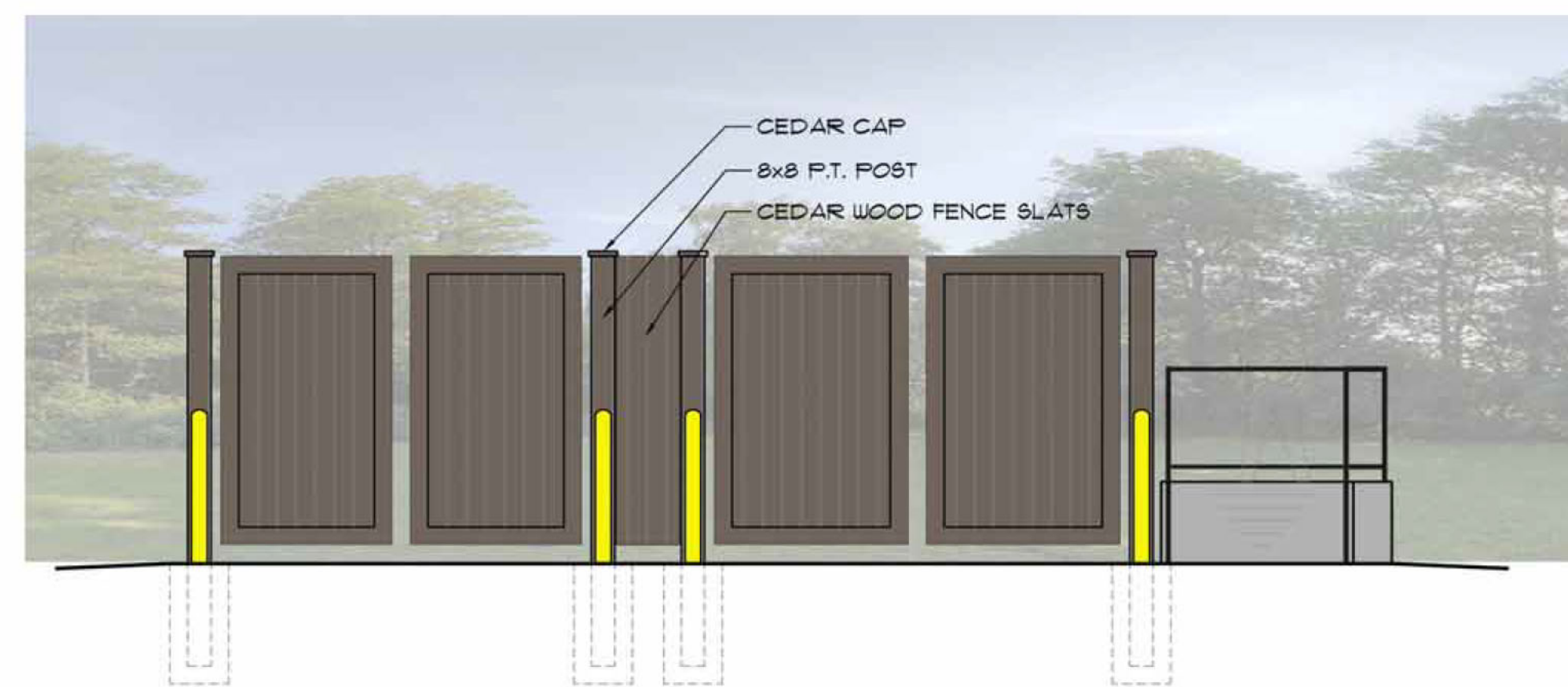
(D) SIDE ELEVATION - LEFT
SCALE: 1/4" = 1'-0"



(C) REAR ELEVATION
SCALE: 1/4" = 1'-0"



(B) SIDE ELEVATION - RIGHT
SCALE: 1/4" = 1'-0"



(A) FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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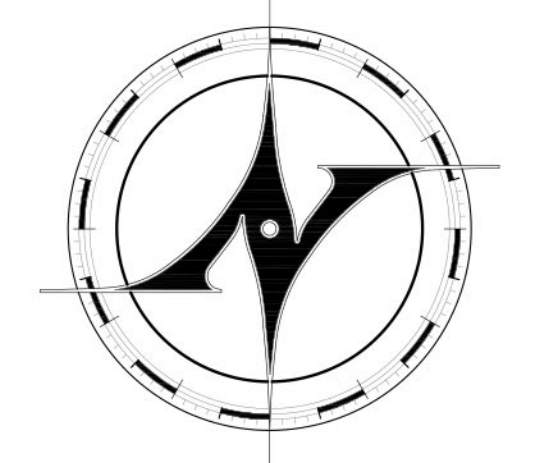
- ### FLOOR PLAN CODED NOTES
- CONCRETE PATIO: SLOPE AWAY FROM BUILDING OF A MAXIMUM CROSS-SLOPE OF 2% - REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILS.
 - PRESSURE TREATED WOOD DECK - SEE SECTIONS FOR PAINT, FRAMING, & TRIM DETAILS.
 - PRE-FINISHED METAL DOWNSPOUT, REFER TO ROOF PLAN & CIVIL ENGINEERING SHEETS.
 - SEMI-RECESSED FIRE EXTINGUISHER CABINET PER CODE - SEE DETAILS ON SHEET A21.
 - MODULAR BRICK VENEER.
 - BRICK ROULOCK SILL BELOW.
 - CONDENSER ENCLOSURE (SEE 8D11 FOR ENCLOSURE DETAILS AND SHEET 8P11 FOR BUILDING B1 AND B2 HVAC CONDENSER LAYOUTS).
 - P.T. 6x6 WOOD COLUMN.
 - STANDARD ALUMINUM RAILING - REFER TO DETAILS ON SHEET A86.
 - WATER/MECHANICAL ROOM - REFER TO PLUMBING & ELECTRICAL SHEETS FOR DETAILS.
 - WOOD STEPS W/ WOOD STRINGER - REFER TO STRUCTURAL SHEETS.
 - WALL MOUNTED FIRE DEPARTMENT CONNECTION - COORDINATE FINAL LOCATION W/ FIRE MARSHALL.
 - HORIZONTAL VINYL LAP SIDING IN BREEZEWAYS.
 - GUARD RAIL BARRIER (SEE DETAIL 11/A8.6).
 - GUARD RAIL BARRIER (SEE DETAIL 12/A8.6).
 - THIRD FLOOR ONLY. 2x6 LADDER PANEL SOFFIT, DOWN 12" (DASHED LINE).

- ### GENERAL BUILDING PLAN NOTES
- ANY DISCREPANCIES IN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF NEW AVENUE LLC, PRIOR TO CONSTRUCTION.
 - REFER TO UNIT PLANS FOR ENLARGED PLAN DETAILS, INTERIOR DIMENSIONS, REFLECTED CEILING PLANS, AND ADDITIONAL INFORMATION.
 - REFER TO SITE PLAN FOR BUILDING LOCATIONS, ELEVATION TYPES, AND FIRE SEPARATION DISTANCES.
 - INTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD OR FACE OF BLOCK, U.N.O. INTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 16" O.C., U.N.O.
 - EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXTERIOR SHTG. OR FACE OF BLOCK, U.N.O. ALL EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS AT 16" O.C., U.N.O.
 - ALL DOORS TO MEET OR EXCEED THE 32" MINIMUM CLEAR DOOR WIDTH OPENING - REFER TO SHEET A101 FOR DOOR SCHEDULE AND DETAILS.
 - ALL RATED WALL ASSEMBLIES MUST BE COMPLETE BEHIND WALL SIDES OF SHOWERS AND TUBS. REFER TO G2x SHEETS FOR RATED PARTITION INFORMATION AND DETAILS.
 - ANY METAL CONNECTORS OR FASTENERS THAT ARE IN DIRECT CONTACT WITH NON 90x PRESSURE TREATED MATERIALS SHALL BE TYPE 304 OR TYPE 316 STAINLESS STEEL OR GALVANIZED IN ACCORDANCE WITH ASTM A123 FOR CONNECTORS AND ASTM A153 CLASS D FOR FASTENERS. ALL CONNECTORS AND FASTENERS SHALL BE OF THE SAME MATERIAL.
 - SEE STRUCTURAL DRAWINGS FOR ALL SHEAR WALL CONDITIONS AND DETAILING, AND ALL WINDOW AND DOOR OPENING HEADER SIZES.
 - ALL SMOKE DETECTORS SHALL BE INTERCONNECTED AND HAVE BATTERY BACKUP.
 - REFER TO SHEET G02 FOR SYMBOL LEGEND.
 - ALL DIMENSIONS TO DOORS AND WINDOWS ARE TO THE CENTERLINE OF THE UNIT, U.N.O.

BUILDING A UNIT COUNT

UNIT 1	-	669	SQUARE FEET	-	8	UNITS
UNIT 1B	-	669	SQUARE FEET	-	3	UNITS
UNIT 1A	-	669	SQUARE FEET	-	1	UNIT
UNIT 3	-	931	SQUARE FEET	-	8	UNITS
UNIT 3B	-	931	SQUARE FEET	-	3	UNITS
UNIT 3A	-	931	SQUARE FEET	-	1	UNIT
				TOTAL UNITS:	24 UNITS	
ONE BEDROOM UNITS: 12 TOTAL						
TWO BEDROOM UNITS: 12 TOTAL						

- ### UNIT INTERIOR WALL TYPES INFORMATION
- FIRST AND SECOND FLOOR UNIT INTERIOR WALLS SHALL BE WALL TYPE W1 (SEE SHEET G03).
 - THIRD FLOOR UNIT INTERIOR WALLS SHALL BE WALL TYPE W4 (SEE SHEET G03).



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PERMIT SET

REVISION	DATE
1	06/10/2020
2	03/18/2020
3	01/09/2020

BROADWOOD
Apartment Community
Broadwood Boulevard
Whitehall, Ohio 43215

DEVELOPER:
Wango Limited
10 N. High Street
Suite 401
Columbus, Ohio 43215

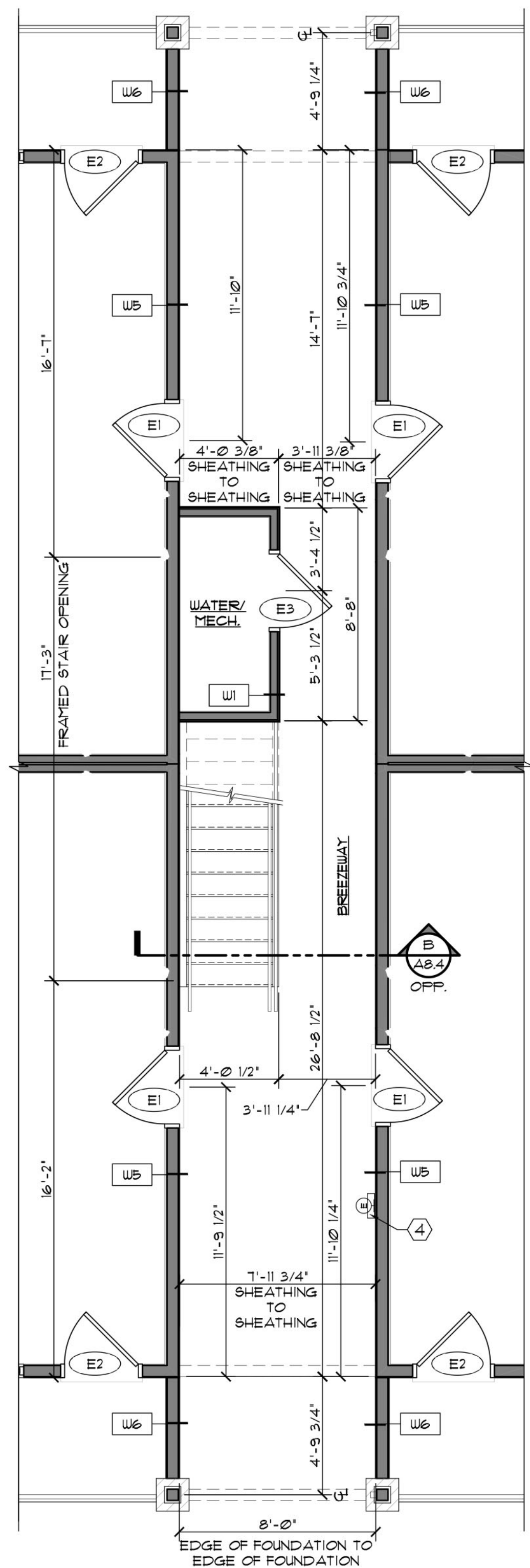
Project No: 19-0050



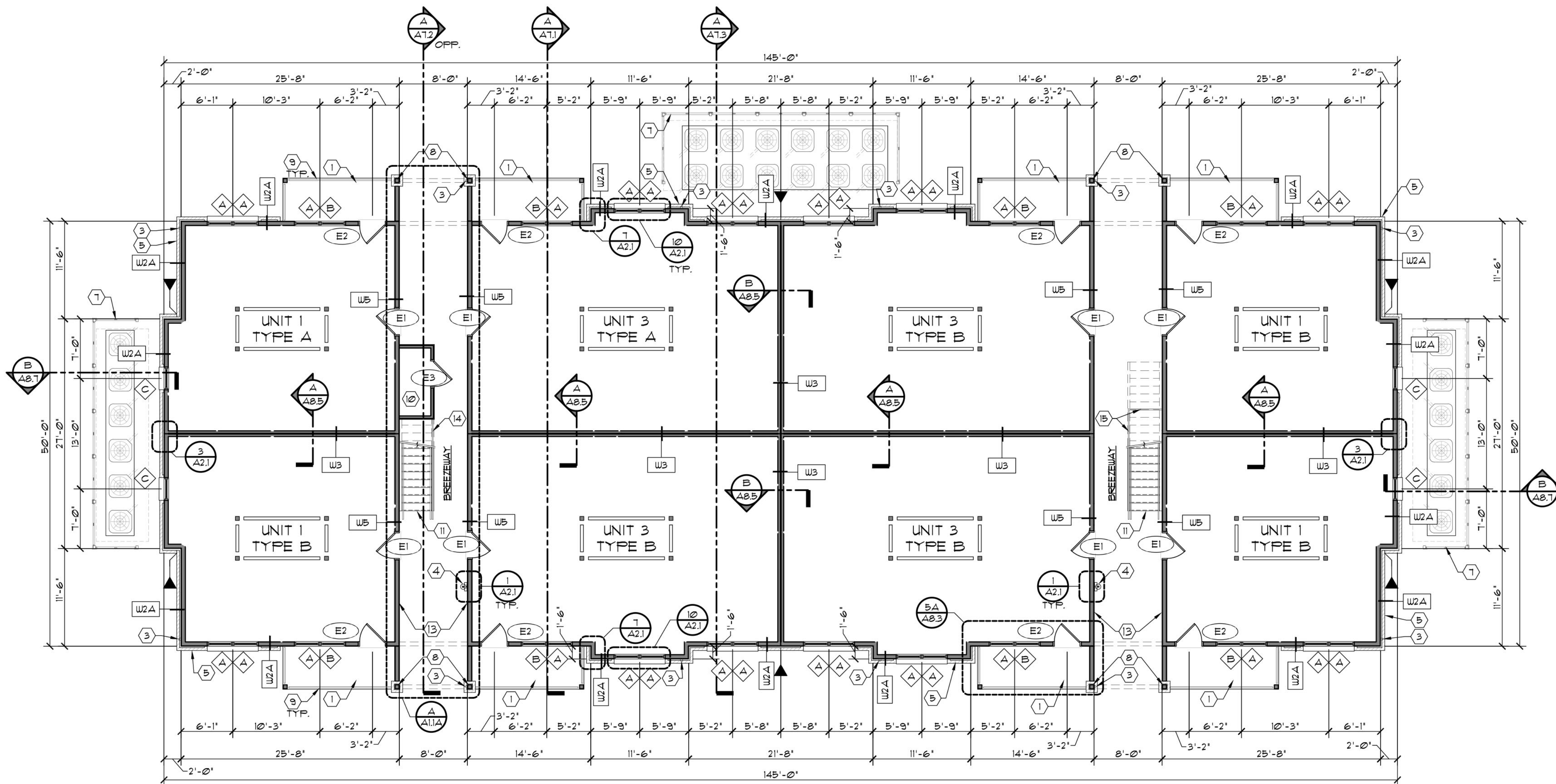
BUILDING A
FIRST FLOOR PLAN

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F-2



ENLARGED BREEZEWAY PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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FLOOR PLAN CODED NOTES

1. CONCRETE PATIO: SLOPE AWAY FROM BUILDING OF A MAXIMUM CROSS-SLOPE OF 2% - REFER TO CIVIL ENGINEERING SHEETS FOR DETAILS.
2. PRESSURE TREATED WOOD DECK - SEE SECTIONS FOR PAINT, FRAMING, & TRIM DETAILS.
3. PRE-FINISHED METAL DOWNSPOUT. (SEE ROOF PLAN & CIVIL ENGINEERING SHEETS)
4. SEMI-RECESSED FIRE EXTINGUISHER CABINET PER CODE (SEE DETAILS ON SHEET A2.1)
5. MODULAR BRICK VENEER.
6. BRICK ROULOCK SILL BELOW.
7. CONDENSER ENCLOSURE (SEE SHEET 8D.1) FOR ENCLOSURE DETAILS AND SHEET 8P.1) FOR BUILDING B1 AND B2 HVAC CONDENSER LAYOUTS.
8. P.T. 6x6 WOOD COLUMN.
9. STANDARD ALUMINUM RAILING (SEE DETAILS ON SHEET A8.6)
10. WATER/MECHANICAL ROOM (SEE PLUMBING & ELECTRICAL SHEETS)
11. WOOD STEPS W/ WOOD STRINGER (SEE STRUCTURAL SHEETS)
12. WALL MOUNTED FIRE DEPARTMENT CONNECTION - COORDINATE FINAL LOCATION W/ FIRE MARSHALL.
13. HORIZONTAL VINYL LAP SIDING IN BREEZEWAYS.
14. CANE GUARD RAIL BARRIER (SEE DETAIL 11/A8.6)
15. CANE GUARD RAIL BARRIER (SEE DETAIL 12/A8.6)
16. THIRD FLOOR ONLY. 2x6 LADDER PANEL SOFFIT, DOWN 12" FOR SPRINKLER LINE (SHOWN DASHED)
17. EACH BUILDING TO HAVE ONLY ONE WATER/MECH. ROOM. REFER TO CIVIL DRAWINGS TO LOCATE INCOMING SERVICES FOR EACH APT. BUILDING AND PROVIDE ROOM AT THIS LOCATION ONLY.
18. FIXED LADDER TO ROOF HATCH. (SEE DETAIL 2/A8.1) REFER TO STRUCTURAL DRAWINGS.

GENERAL BUILDING PLAN NOTES

1. ANY DISCREPANCIES IN DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF NEW AVENUE LLC, PRIOR TO CONSTRUCTION.
2. SEE UNIT PLANS FOR ENLARGED PLAN DETAILS, INTERIOR DIMENSIONS, REFLECTED CEILING PLANS, AND ADDITIONAL INFORMATION.
3. SEE SITE PLAN FOR BUILDING LOCATIONS, ELEVATION TYPES, AND FIRE SEPARATION DISTANCES.
4. INTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD OR FACE OF BLOCK, U.N.O. INTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 16" O.C., U.N.O.
5. EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXTERIOR SHTG. OR FACE OF BLOCK, U.N.O. ALL EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS AT 16" O.C., U.N.O.
6. ALL DOORS TO MEET OR EXCEED THE 32" MINIMUM CLEAR DOOR WIDTH OPENING - SEE SHEET A10.1 FOR DOOR SCHEDULE AND DETAILS.
7. ALL RATED WALL ASSEMBLIES MUST BE COMPLETE BEHIND WALL SIDES OF SHOWERS AND TUBS. SEE G2x SHEETS FOR RATED PARTITION INFORMATION AND DETAILS.
8. ANY METAL CONNECTORS OR FASTENERS THAT ARE IN DIRECT CONTACT WITH NON 8BX PRESSURE TREATED MATERIALS SHALL BE TYPE 304 OR TYPE 316 STAINLESS STEEL OR GALVANIZED IN ACCORDANCE WITH ASTM A123 FOR CONNECTORS AND ASTM A153 CLASS D FOR FASTENERS. ALL CONNECTORS AND FASTENERS SHALL BE OF THE SAME MATERIAL.
9. SEE STRUCTURAL SHEETS FOR ALL SHEAR WALL CONDITIONS AND DETAILING, AND ALL WINDOW AND DOOR OPENING HEADER SIZES.
10. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED AND HAVE BATTERY BACKUP.
11. SEE SHEET G02 FOR SYMBOL LEGEND.
12. ALL DIMENSIONS TO DOORS AND WINDOWS ARE TO THE CENTERLINE OF THE UNIT, U.N.O.

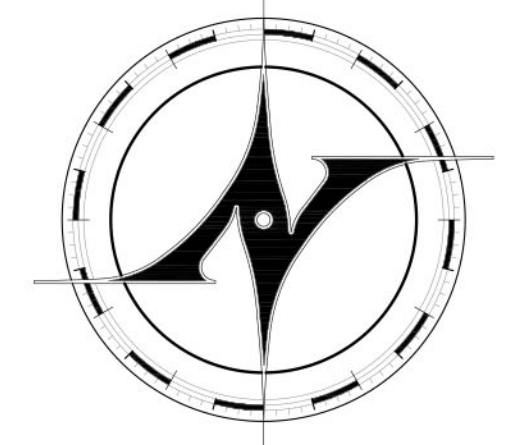
UNIT INTERIOR WALL TYPES INFORMATION

1. FIRST AND SECOND FLOOR UNIT INTERIOR WALLS SHALL BE WALL TYPE W1 (SEE SHEET G03).
2. THIRD FLOOR UNIT INTERIOR WALLS SHALL BE WALL TYPE W4 (SEE SHEET G03).

BUILDING B UNIT COUNT

UNIT 2	-	942	SQUARE FEET	-	8	UNITS
UNIT 2B	-	942	SQUARE FEET	-	4	UNITS
UNIT 4	-	956	SQUARE FEET	-	8	UNITS
UNIT 4B	-	956	SQUARE FEET	-	4	UNITS
				TOTAL UNITS :	-	24

ONE BEDROOM UNITS: 12 TOTAL
TWO BEDROOM UNITS: 12 TOTAL



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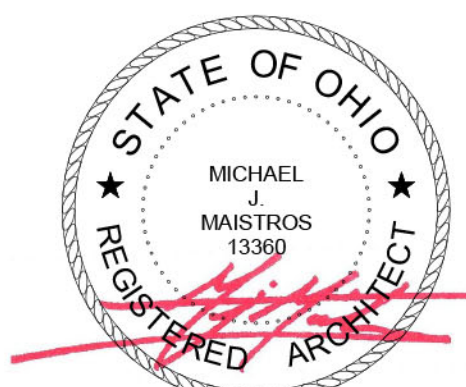
REVISION Δ 06/15/2020

PERMIT SET 03/23/2020

MARYSVILLE FLATS
Apartment Community
Apartments
Columbus Avenue
Marysville, Ohio 43016

DEVELOPER:
Wango Limited
10 N. High Street
Suite 401
Columbus, Ohio 43215

Project No: 19-0050

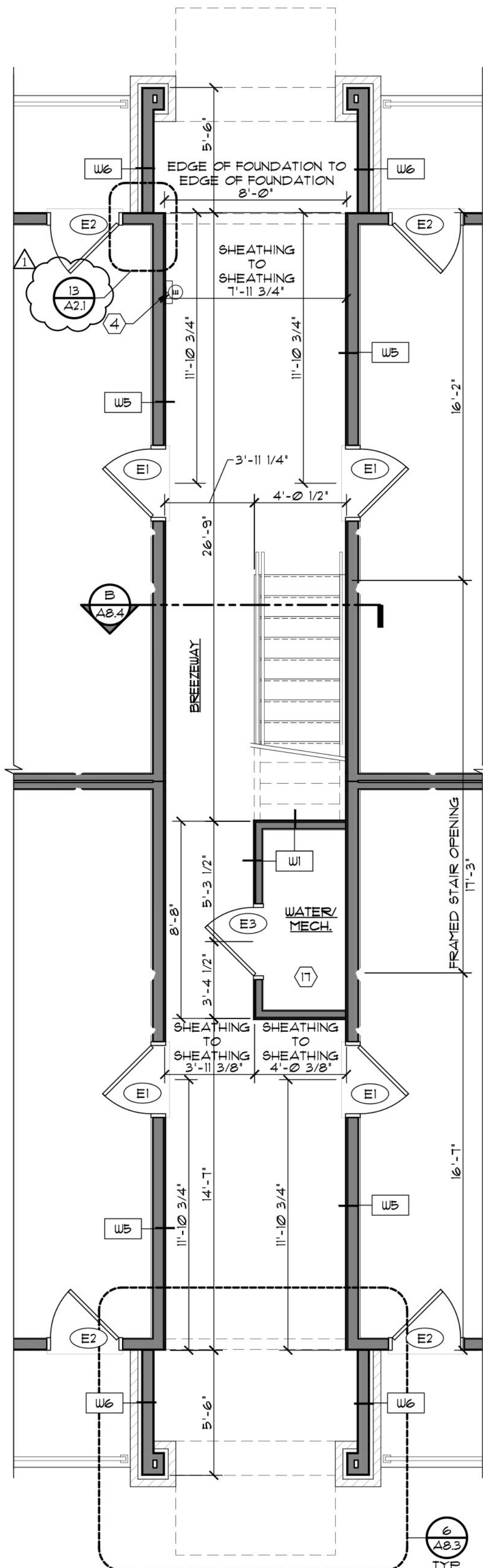


Michael J. Maistros, License #13360
Expiration Date 12/31/2021

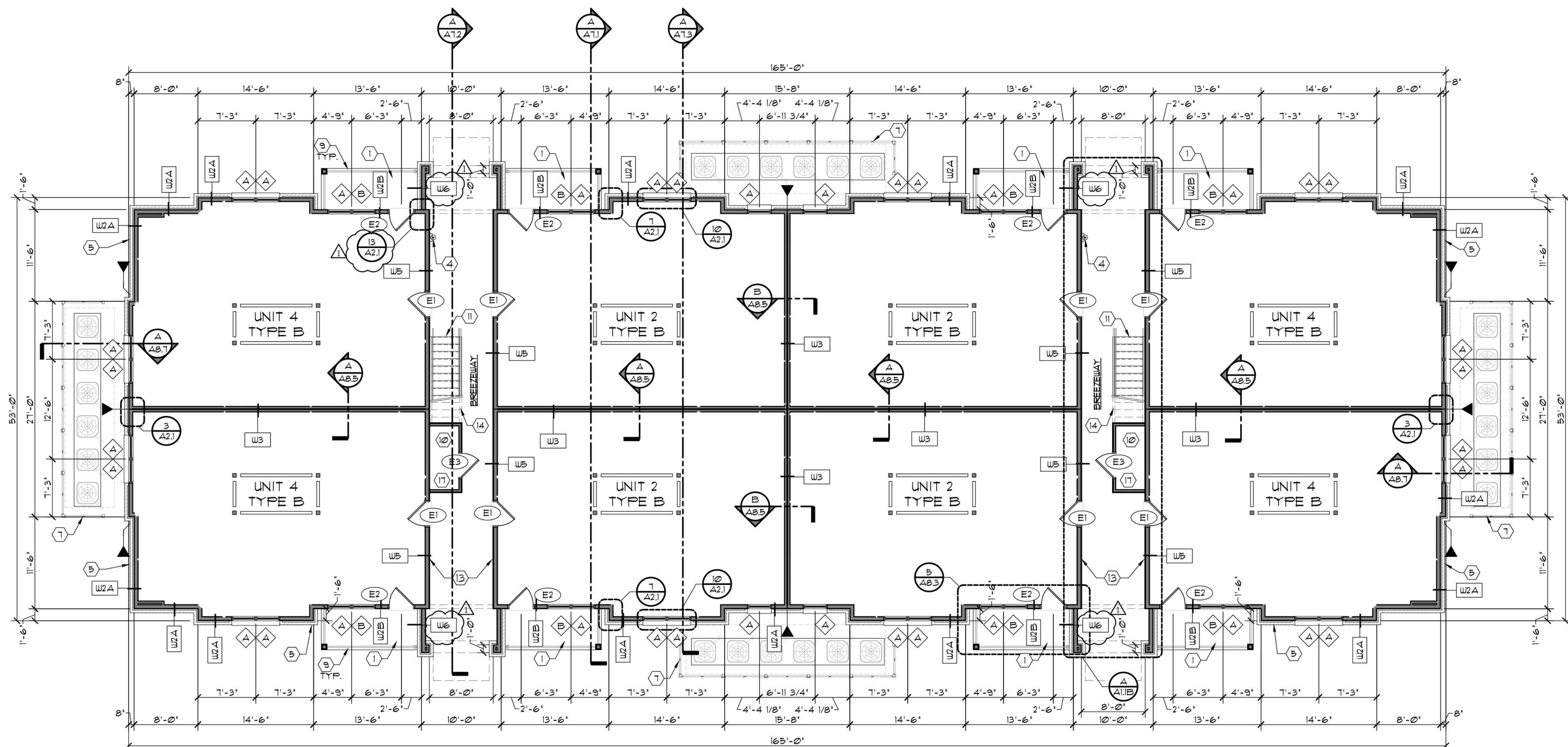
BUILDING B
FIRST FLOOR PLAN

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F-2.1



ENLARGED BREEZEWAY PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - BUILDING B1
SCALE: 1/8" = 1'-0"



MATERIAL SAMPLE SHEET

NORTHSTAR APARTMENTS

PREPARED FOR DC BUILDING COMPANY, LLC
DATE: 6/10/21

EXHIBIT F-3

Faris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
4874 Cemetery Hilliard, OH 43026
p (614) 487-1964 www.farisplanninganddesign.com