

April 26, 2021

Berkshire Township Zoning Office  
1454 Rome Corners Road  
Galena, OH 43012

Re: Zoning Permit Application for PMUD

Thank you for the opportunity to submit our project for review. We feel that this project meets all of the necessary requirements set forth in the Berkshire Township zoning regulations and will be a great asset to the community.

First, we think it would be helpful to the board to provide a quick history of our submission. We had several informal meetings with Dave Weade and Kevin Vaughn to talk about this project, the submission timeline and what would be required for the application submission. These meetings occurred on 3/4/19, 6/15/20 and 1/7/21. We submitted a complete application to the Township on 2/11/21, and also provided further explanation as a response to the Staff Review on 3/4. We presented this to the board on the zoom call on 3/4/21. As a follow up to that meeting, we got the emailed questions from Jon Kerr, that we responded to on 3/29/21. This was intended to be the basis of my presentation to the board on 4/8, though we didn't get a chance to present that information. We also got the emailed questions from the full board on 3/15, which is the main reason we're submitting this again. In this application, we've organized the submission to correspond to the requirements set forth in 16.08 of the zoning code. We've included narratives for each item and a reference to the more detailed plans or reports. Given that the board has now seen two formal submissions and had the chance to ask questions on four different occasions, we feel this should give everyone ample opportunity to have raised questions.

Overall, we feel that we fully meet or exceed all the requirements of the zoning code and we don't need any variances or divergences from the zoning code.

This letter that provides a narrative response to three different sections of the relevant Zoning Code (Article 16). First, we've provided narrative to address Section 16.01- Nature of the District, second, narrative and plans to address Section 16.06. B. and C. – Process for Plan Approval and third, Section 16.08. Minimum Development Standards.

#### Section 16.01 of the Berkshire Township Zoning Code

First, this project will meet or exceed the intended uses as follows from Section 16.01 of the Berkshire Township Zoning Code:

- **Permanently preserves unique or sensitive natural resources and integrates Open Space within developments.** There is an existing stream and mature trees to the south of our project that we will plan to keep and be working around to preserve and will add a winding trail so residents and community members can enjoy this space the existing natural elements in place. We have used this existing tree line as a guide for our lot line. We will have 44% open space on

the lot, as compared to the required 30%. We will preserve 30.8% in Open Space, which exceeds the 30% requirement.

**Reduces the amount of infrastructure, including paved surfaces and utility easements, necessary for development.** We have tried to create an aesthetically pleasing apartment project that fits in the intended space, while not overbuilding or overcrowding the land. We have not included any extra paved services and have been able to run all utilities in an efficient manner. Delaware County has advised us to connect into the sewer line that currently terminates on Sherman Road due to capacity issues. We plan to run the sewer line along Sherman Road, then back through the land to our south to service our site. This allows us to inconvenience the least amount of property owners with easements. For the extension of Fourwinds Drive, our plan is to follow the lead that's been set by our neighbor to the north, MTB Holdings and the Village of Sunbury. Sunbury and MTB have committed to build the extension of Fourwinds Drive in pieces as the land continues to develop. So we will build Fourwinds Drive on the northern portion of our property, that Sunbury will then connect to when they finish the development of their portion developed. We'll extend the road to service this development, but not build the road to the southern lot line because of alignment issues with the proposed freeway interchange. The county has advised us to not permanently plot the extension of the road because it's likely going to change as the plans for the interchange develop.

- **Reduces erosion and sedimentation by minimizing land disturbance and removal of vegetation.** This land is primarily farmland, so there is very little vegetation that will be disturbed. Also, we have done our best to work around any existing streams and tree lines to preserve this natural resource.

- **Provides an opportunity for an appropriate mix of open space, office, retail, institutional and Residential Uses not otherwise permitted within the standard zoning district classifications.** Much of the development to the north of us is currently expected to be office, retail and hotel, so our apartment project will complete an appropriate mix of uses. Also, the Southwest Quadrant of the Planned Mixed Use District overlay specifically allows for this project will fill the intended 300 units of apartments, which we intend to fill in the Southwest Quadrant of the Planned Mixed Use District overlay. Since the proposed freeway interchange has been delayed, which doesn't allow us to finalize the location of Fourwinds Drive, we are fine to leave the southern half of this land as farmland. for the time being. We don't have future plans for this land and propose to wait till the freeway interchange is finalized so we don't impede their progress.

- **Assures compatibility between proposed land uses within and around the PMUD through appropriate development controls.** We have carefully selected building materials and a design that fits in well with the existing design standards and the existing development in the area. We are not aware of many plans that have progressed in the southwest quadrant of the PMUD, though we are aware of a hotel that is planned on the land to the north that's in Sunbury Village. We feel that an apartment building and a hotel in close proximity are compatible.

- **Enhances the welfare and economy of the Township by making available a variety of employment opportunities, providers of goods and services as well as providing a variety of housing options for the Township residents.** Berkshire Township's Plan specifically calls out that there is a lack of housing options in the township, which this project will directly address. These apartments will provide a lower cost alternative that will allow seniors, young families, and single workers a more reasonable home so they can stay in the local community. Apartments can provide a valuable housing option for the residents of the Township that isn't

being filled today. Our market study indicates that the growth in the area is expected primarily in the age cohorts for younger families and senior citizens. These age groups will benefit most from this apartment project because it will offer an affordable housing option and handicap accessibility so seniors can stay in the area. Most of the homes in the area are \$450,000 to \$520,000, which are way out of reach for even the median family living in Berkshire Township. The township will need a variety of housing options to maintain the level of growth it's experienced in the past. The following table shows population growth by age in the target market. We expect many of our residents to work in the community, like the outlet mall or other retail, hospitality or restaurants.

Population by Age	2010 (Census)		2020 (Estimated)		2025 (Projected)		Change 2020-2025	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent
19 & Under	18,100	30.8%	20,811	28.5%	21,676	27.1%	865	4.2%
20 to 24	2,116	3.6%	3,325	4.6%	3,430	4.3%	105	3.2%
25 to 34	5,892	10.0%	7,927	10.9%	8,983	11.2%	1,056	13.3%
35 to 44	9,729	16.6%	9,744	13.4%	11,031	13.8%	1,287	13.2%
45 to 54	9,903	16.9%	10,686	14.7%	10,642	13.3%	-44	-0.4%
55 to 64	7,123	12.1%	10,126	13.9%	10,734	13.4%	608	6.0%
65 to 74	3,559	6.1%	6,542	9.0%	8,223	10.3%	1,681	25.7%
75 & Higher	2,283	3.9%	3,756	5.2%	5,392	6.7%	1,636	43.6%
<b>Total</b>	<b>58,705</b>	<b>100.0%</b>	<b>72,917</b>	<b>100.0%</b>	<b>80,111</b>	<b>100.0%</b>	<b>7,194</b>	<b>9.9%</b>

Source: 2010 Census; ESRI; Urban Decision Group; VSI

Our market study also reports that we would expect to draw residents from about a 10 mile radius. The top two jobs in this primary market area are Retail Trade and Accommodation and Food Service, together making up over 25% of the jobs. Over 30% of all the households in Berkshire Township need a more affordable option to live. This is comprised of over 2,790 renter households and over 8,000 households total in our target market, so our project of 300 will help, but not eliminate this demand.

Even though we plan to offer rents that are accessible to more residents, the amenities at the property will be in line, if not better than other apartment projects in the area. We will be adding garbage disposals, dishwashers, ceiling fans and a patio/balcony to each unit (for no additional cost to the resident). We will also pay the water and sewer bill, which no other apartment project does in the area, further providing a compelling finished product. We will have a resort style pool, workout room, supplemental laundry facilities, extra storage and community rooms that will allow for safe distance learning and meeting spaces.

- **Encourages unified development projects that exhibit creative planning and design in ways that cannot be achieved through a standard zoning district, yet district yet are imaginative in architectural design and are consistent with applicable public plans for the area and are compatible with surrounding land uses.** We feel that our design is a great mix of imaginative design, while fitting in with the existing look and feel of the neighborhood and other developments in the southwest quadrant. Since this quadrant allows for the development of 300 units of multi-family housing, we will fit the need outlined in the plan.

Section 16.06. B. of the Application

For **Section 16.06.B.)** please see the Architectural Plans and the corresponding pages:

**16.06.B.1. - A survey plat and legal description signed by a registered Ohio surveyor showing the size and location of the proposed development.** Our survey did not identify any encroachments or easements that impact the development.

**a. Please see the attached Survey and Legal Description**



LEGAL DESCRIPTION:

PARCEL I:  
Sited in the State of Ohio, County of Delaware and in the Township of Berkshire:

Being a part of Farm Lot 6, Section 2, Township 4, Range 17, U.S. Military Lands and being more particularly described as follows:

Beginning at an iron pipe on the northeast corner of Lot 290 of Locust Grove Subdivision as platted in Plat Book 17, page 150, Delaware County, Recorder's Office;

thence South 87 deg. 30' 00" East, along the southerly line of a 0.846 acre tract of land now or formerly owned by Kenneth and Mary Hoover as described in Deed Book 466, page 480, a distance of 211.73 feet to an iron pipe at the southeast corner of said 0.846 acre tract;

thence North 02 deg. 30' 00" East, along the east line of said 0.846 acre tract (passing an iron pipe at 65.89 feet at the southeast corner of a 2.00 acre tract of land now or formerly owned by Kenneth and Mary Hoover, as described in Deed Book 423, page 415) a total distance of 221.89 feet to an iron pipe at the northeast corner of said 2.00 acre tract on the north line of farm Lot 6;

thence South 87 deg. 40' 22" East, along the north line of said Farm Lot 6, a distance of 1365.23 feet to an iron pipe on the northwest corner of a tract of land now or formerly owned by Richard H. Goodwin as described in Deed Book 350, page 700;

thence along the westerly and northerly property line of said Richard H. Goodwin the following five courses and distances:

COURSE 1: South 02 deg. 37" West a distance of 1662.48 feet to a 7/8" iron pipe;

COURSE 2: North 86 deg. 37' 08" West a distance of 601.23 feet to a 7/8" iron pipe;

COURSE 3: North 87 deg. 24' 15" West a distance of 769.41 feet to a 7/8" iron pipe;

COURSE 4: North 02 deg. 30' East a distance of 165.00 feet to a 7/8" iron pipe;

COURSE 5: North 87 deg. 24' 15" West a distance of 203.00 feet to an iron pipe at the southeast corner of Lot 302 of Locust Grove Subdivision as platted in Plat Book 18, page 11;

thence North 02 deg. 30' 00" East, along the east line of Locust Grove Subdivision (passing an iron pipe at the northeast corner of Lot 301, being the southeast corner of Lot 293 of Locust Grove Subdivision as platted in Plat Book 17, page 15, at 600.60 feet) a total distance of 750.00 feet to an iron pipe at the northeast corner of Lot 293;

thence North 87 deg. 30' 00" West, along the north line of said Lot 293, a distance of 325.00 feet to an iron pipe on the east right of way line of 3 B's & K Road (Township Road 35);

thence North 02 deg. 30' 00" East a distance of 60.00 feet to an iron pipe at the southwest corner of Lot 292;

thence South 87 deg. 30' 00" East, along the south line of said Lot 292, a distance of 325.00 feet to an iron pipe at the southeast corner of said Lot 292;

thence North 02 deg. 30' 00" East, along the east line of Lots 292, 291 and 290, a distance of 450.00 feet to The Place of Beginning;

Containing 58.341 acres more or less.

PARCEL II:  
Sited in the State of Ohio, County of Delaware, Township of Berkshire, in the West part of Farm Lot No. 6, Quarter Township 2, Township 4 North, Range 17 West, United State Military Lands: Being 60.00 feet off the entire south side of Lot No. 302 in Locust Grove No. 2, as shown of record in Plat Book 18, pages 10 and 11, Recorder's Office, Delaware County, Ohio, and bounded and described as follows:

Beginning at a 3/4-inch I.D. iron pipe previously set in the east line of Three B's & K Road - County Road No. 35 (60 feet wide) and at the southwest corner of said lot No. 302;

thence N. 2 deg. 30' 00" E. along the east line of Three B's & K Road and along a portion of west line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe set;

thence S 87 deg. 24' 15" E. parallel with and 60.00 feet northerly by perpendicular measurement from the south line of said Lot No. 302 a distance of 325.00 feet to a 3/4-inch I.D. iron pipe set in the east line of said Lot No. 302;

thence S. 2 deg. 30' 00" W along a portion of the east line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe previously set at the southeast corner of said Lot No. 302;

thence N. 84 deg. 24' 15" W along the south line of said Lot No. 302 a distance of 325.00 feet to the place of beginning;

Containing 0.448 acre of land more or less.

PARCEL III:  
Sited in the County of Delaware in the State of Ohio and in the Township of Berkshire, bounded and described as follows:

Being Lot No. 302 of Locust Grove Subdivision No. 2 as the same is numbered and delineated upon the recorded plat thereof of record in Plat Book 18, Page 11, Recorder's Office, Delaware County, Ohio, except 60 feet off the entire south side thereof, said 60 foot strip being more particularly as follows:

Situated in the State of Ohio, County of Delaware, Township of Berkshire, in the west part of Farm Lot No. 6, Quarter Township 2, Township 4 North, Range 17 West, United States Military Lands: Being 60.00 feet off the entire south side of Lot No. 302 in Locust Grove No. 2, as shown of record in Plat Book 18, Pages 10 and 11, Recorder's Office, Delaware County, Ohio, and bounded and described as follows:

Beginning at a 3/4-inch I.D. iron pipe previously set in the east line of Three B's & K Road - County Road No. 35 (60 feet wide) and at the southwest corner of said Lot No. 302;

thence N 2° 30' 00" E along the east line of Three B's & K Road and along a portion of the west line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe set;

thence S 87° 24' 15" E parallel with and 60.00 feet northerly by perpendicular measurement from the south line of said Lot No. 302 a distance of 325.00 feet to a 3/4-inch I.D. iron pipe set in the east line of said Lot No. 302;

thence S 2° 30' 00" W along a portion of the east line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe previously set at the southeast corner of said Lot No. 302;

thence N 87° 24' 15" W along the south line of said Lot No. 302 a distance of 325.00 feet to the place of beginning;

containing 0.448 acre of land more or less.



**NOTE:**  
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
COMMITMENT FOR TITLE INSURANCE  
FILE NO.: 20.1011  
EFFECTIVE DATE: SEPTEMBER 29, 2020 AT 7:00 AM  
SCHEDULE B, PART II  
EXCEPTIONS

1. - 10. ITEMS ARE BLANKET IN NATURE OR NOT SURVEY RELATED

11. Easement for Highway Purposes granted to the State of Ohio dated April 18, 1958, and recorded May 1, 1958, in Deed Volume 276, page 79, Delaware County records. **ITEM IS NOT LOCATED WITHIN THE SUBJECT PROPERTY**

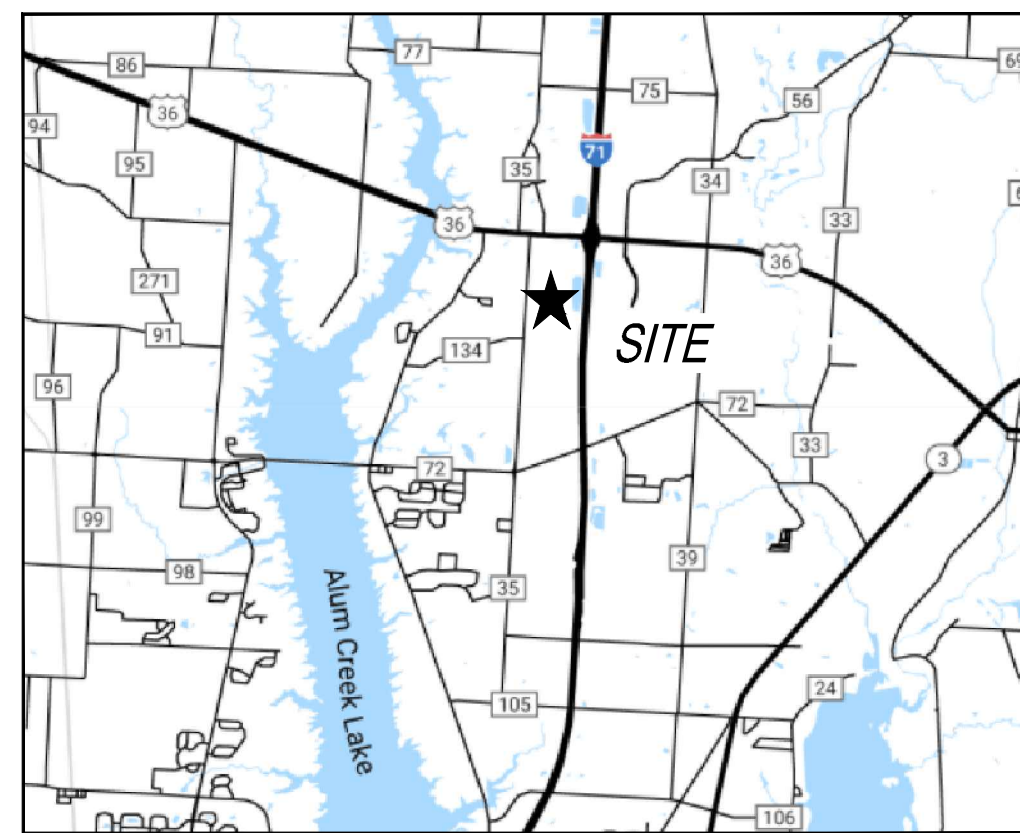
12. Easement for waterline purposes granted to Del-Co Water Company, Inc. dated September 3, 1996, and recorded October 10, 1996, in Deed Volume 611, page 393, Delaware County records. **EASEMENT PROVIDES FOR A 12" PERMANENT EASEMENT CENTERED ON THE WATERLINE AS CONSTRUCTED; HOWEVER, RECORDS PROVIDED BY DEL-CO WATER INDICATE THAT NO WATER LINE IS LOCATED ON THE EAST SIDE OF THE ROADWAY.**

13. Easement for waterline purposes granted to Del-Co Water Company, Inc. dated August 2, 1996, and recorded October 11, 1996, in Deed Volume 612, page 247, Delaware County records. **EASEMENT PROVIDES FOR A 12" PERMANENT EASEMENT CENTERED ON THE WATERLINE AS CONSTRUCTED; HOWEVER, RECORDS PROVIDED BY DEL-CO WATER INDICATE THAT NO WATER LINE IS LOCATED ON THE EAST SIDE OF THE ROADWAY.**

14. Building setback lines and easements per the plat of Locust Grove No. 2 dated June 22, 1984, and recorded September 24, 1984, in Plat Book 18, pages 10 and 11, Delaware County records. **ITEMS ARE SHOWN.**

15. Unrecorded farm lease agreement by and between Medelin Enterprises, Inc. and Diamond Resources Corporation (Lessor) and Todd L. Elgen (Lessee), dated January 14, 2020. **ITEM IS NOT SURVEY RELATED AND CANNOT BE GRAPHICALLY SHOWN.**

16. Notwithstanding the reference to acreage or square footage in the description set forth in Schedule "A" hereof, this policy does not insure nor guarantee the acreage or quantity of land set forth therein. **TOTAL ACREAGE OF THE SUBJECT PROPERTY DETERMINED TO BE 60.587 ACRES BASED ON SURVEY.**



VICINITY MAP  
NOT TO SCALE

NOTES

1.) OCCUPATION IN GENERAL FITS SURVEY, WITH NO ENCROACHMENTS OBSERVED.

2.) SOURCE DOCUMENTS AS NOTED.

3.) MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.

4.) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE (NAD83-2011). BASED ON A GPS SURVEY UTILIZING CORS STATION "COLB". THE PROJECT COORDINATES HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000023859 APPLIED AT BASE POINT N 216,500.00 E 1,847,000.00. GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT

5.) VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAV88), BASED ON SOURCE BENCHMARK CORS STATION "COLB".

6.) UTILITIES SHOWN ARE BASED ON PHYSICAL MARKINGS, PLAN INFORMATION PROVIDED BY UTILITY OWNERS, AND LOCATIONS OF ABOVE-GROUND APPURTENANCES. OHIO811 WAS CONTACTED ON SEPTEMBER 14, 2020, OUPS TICKET NUMBERS A025-801-759 & A025-801-774.

7.) THE SUBJECTS PROPERTY IS LOCATED IN ZONE "X" AS DETERMINED BY GRAPHIC INTERPRETATION OF THE FLOOD INSURANCE RATE MAPS COMMUNITY NUMBER 29041C0145K EFFECTIVE APRIL 16, 2009.

8.) THERE ARE 0 REGULAR PARKING SPOTS AND 0 DESIGNATED HANDICAPPED PARKING SPACES WITHIN THE SUBJECT PROPERTY.

9.) THERE ARE NO BUILDINGS LOCATED WITHIN THE SUBJECT PROPERTY.

10.) THERE IS NO EVIDENCE OF CURRENT EARTHWORK, BUILDING CONSTRUCTION OR BUILDING ADDITION.

11.) THERE ARE NO KNOWN CHANGES, COMPLETED OR PROPOSED, IN THE STREET RIGHT-OF-WAY LINES.

12.) THERE IS NO OBSERVABLE EVIDENCE OF USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL ON THE SUBJECT PROPERTY.

13.) NO ZONING REPORT OR LETTER WAS PROVIDED.

14.) NO EVIDENCE OF WETLAND AREAS AS DELINEATED BY APPROPRIATE AUTHORITIES WAS SEEN.

15.) THIS DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE KLEINGERS GROUP IN SEPTEMBER AND OCTOBER, 2020.

LEGEND

- 5/8" CAPPED IRON PIN SET
- 5/8" IRON PIN FOUND
- ⊙ 1" IRON PIPE FOUND
- ▲ NAIL SET
- △ NAIL FOUND
- ▲ RR SPIKE SET
- ⊕ BENCHMARK
- UTILITY POLE
- ← GUY WIRE
- UE — UNDERGROUND ELECTRIC
- E — OVERHEAD ELECTRIC
- HVAC UNIT
- TRANSFORMER
- GROUND LIGHT
- ELECTRIC BOX
- LIGHT POLE
- UT — UNDERGROUND TELEPHONE
- T — OVERHEAD TELEPHONE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- G — GAS MAIN
- ⊕ GAS VALVE
- UC — UNDERGROUND CABLE TV
- W — WATER MAIN
- FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WM WATER METER
- IRRIGATION CONTROL VALVE
- ⊕ WATER MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ CLEAN OUT
- SANITARY SEWER
- STORM MANHOLE
- STORM SEWER
- CATCH BASIN
- INLET
- YARD DRAIN
- DS DOWN SPOUT
- TR TRAFFIC CONTROL CABINET
- TR TRAFFIC SIGNAL POLE
- SIGN
- GP GUARD POST (PIPE BOLLARD)
- FP FLAG POLE
- X — FENCE
- HARDWOOD TREE
- 801 — CONTOUR LINES
- 805 —
- CONCRETE
- GRAVEL
- ASPHALT
- LANDSCAPE AREA
- BRICK / PAVER



NO.	DATE	DESCRIPTION

**60.587 ACRES**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO:	<b>200078.000</b>
DATE:	<b>10/19/2020</b>

SHEET NAME:  
**ALTA/NSPS LAND TITLE SURVEY**

SHEET NO.  
**1 OF 5**

To: Dublin Capital Group LLC, an Ohio limited liability company and Old Republic National Title Insurance Company;

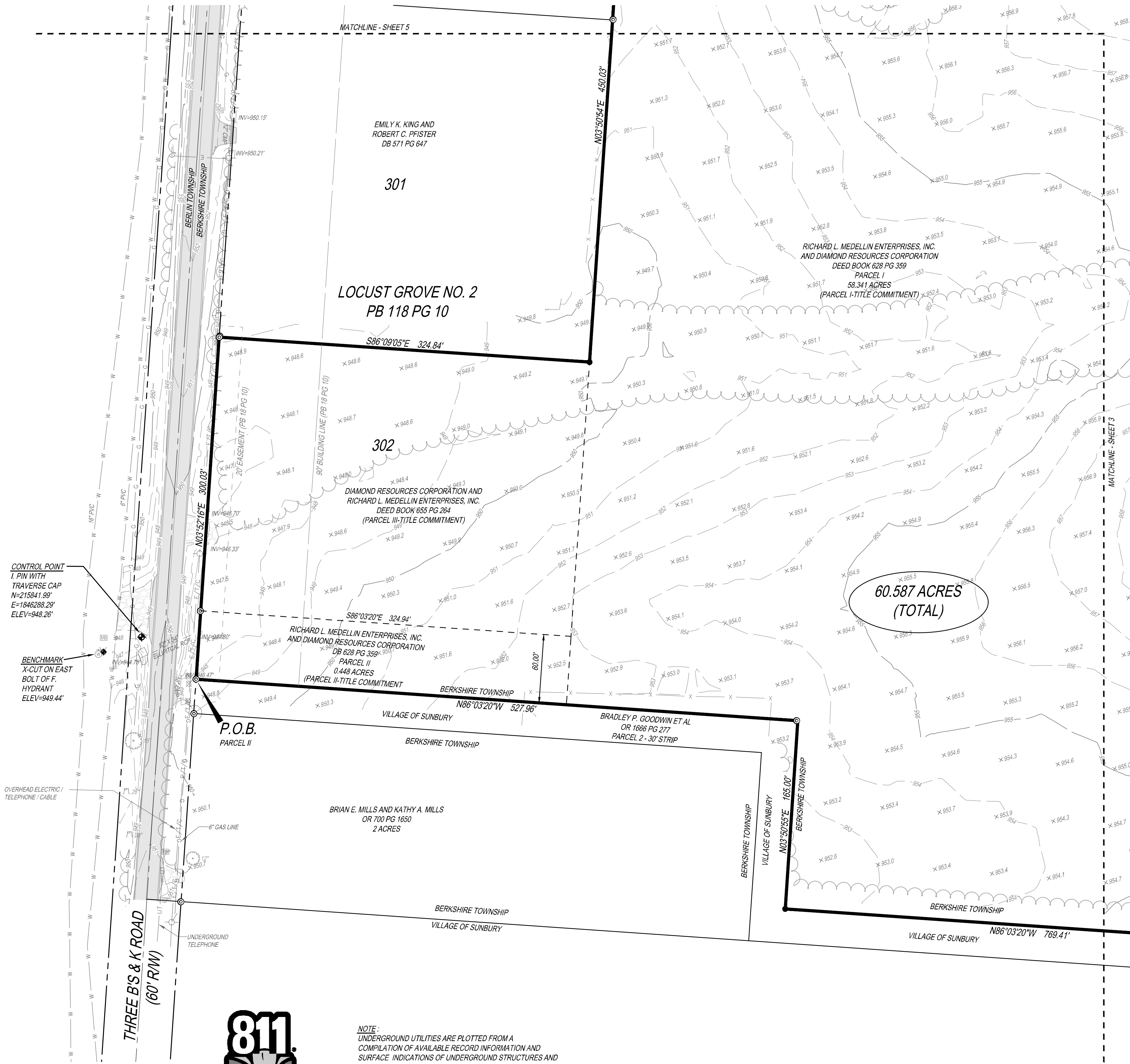
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11, 13, 16, 17, 18 and 19 of Table A thereof. The field work was completed on October 6, 2020.



*Michael L. Keller*  
MICHAEL L. KELLER  
OHIO PROFESSIONAL SURVEYOR NO. 7978

10/19/2020  
DATE





CONTROL POINT  
I. PIN WITH  
TRAVERSE CAP  
N=215841.99'  
E=1846288.29'  
ELEV=948.26'

BENCHMARK  
X-CUT ON EAST  
BOLT OF F.  
HYDRANT  
ELEV=949.44'

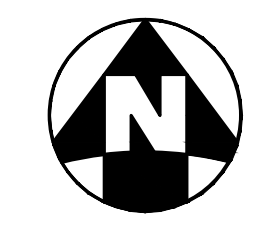
OVERHEAD ELECTRIC/  
TELEPHONE / CABLE

UNDERGROUND  
TELEPHONE



Know what's below.  
Call before you dig.

NOTE:  
UNDERGROUND UTILITIES ARE PLOTTED FROM A  
COMPILATION OF AVAILABLE RECORD INFORMATION AND  
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND  
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE  
EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES  
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY  
PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD  
OF EXCAVATION OR CONSTRUCTION ACTIVITY.



CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE  
www.kleingers.com  
350 Worthington Rd  
Suite B  
Westerville, OH 43082  
614.882.4311

SEAL:



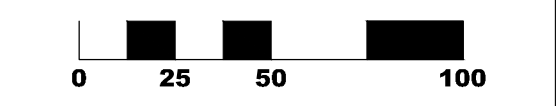
NO. DATE DESCRIPTION

**60.587 ACRES**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078.000

DATE: 10/19/2020

SCALE: 1" = 50'



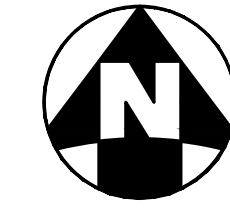
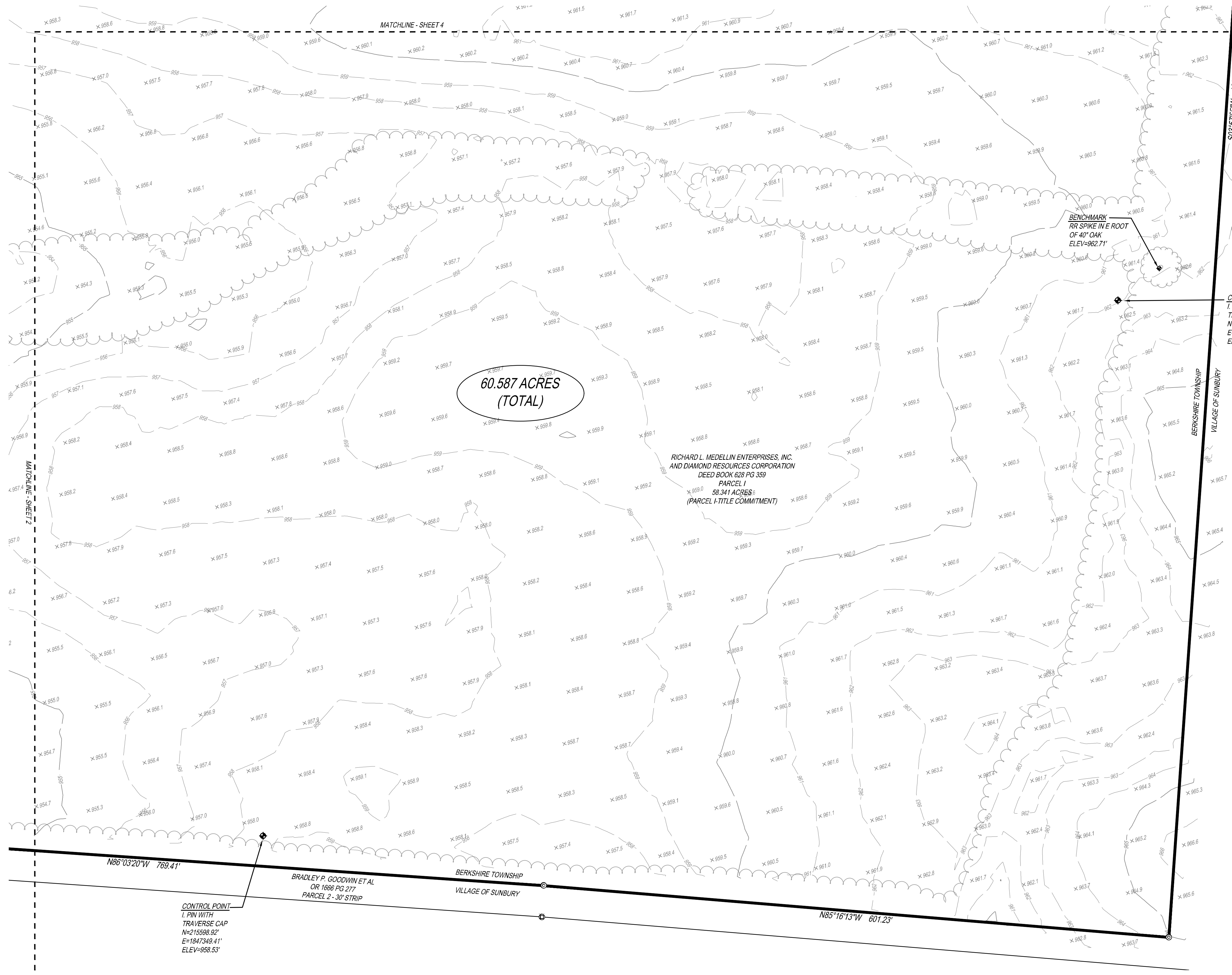
SHEET NAME:

**ALTA/NSPS LAND  
TITLE SURVEY**

SHEET NO.

**2 OF 5**





BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 3  
20 ACRES

BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 1  
100' STRIP

CONTROL POINT  
1. PIN WITH  
TRAVERSE CAP  
N=216112.43'  
E=1848168.31'  
ELEV=961.91'

RICHARD L. MEDELLIN ENTERPRISES, INC.  
AND DIAMOND RESOURCES CORPORATION  
DEED BOOK 628 PG 359  
PARCEL 1  
58.341 ACRES  
(PARCEL 1-TITLE COMMITMENT)

60.587 ACRES  
(TOTAL)

CONTROL POINT  
1. PIN WITH  
TRAVERSE CAP  
N=215598.92'  
E=1647349.41'  
ELEV=958.53'

N86°03'20"W 769.41'

BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 2 - 30' STRIP

N85°16'13"W 601.23'



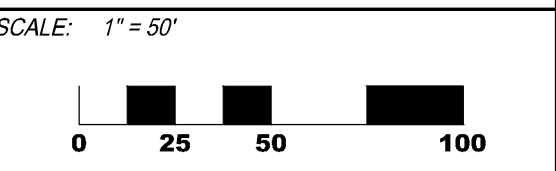
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE  
www.kleingers.com  
350 Worthington Rd  
Suite B  
Westerville, OH 43082  
614.882.4311



NO. DATE DESCRIPTION

**60.587 ACRES**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERSHIRE  
COUNTY OF DELAWARE, OHIO

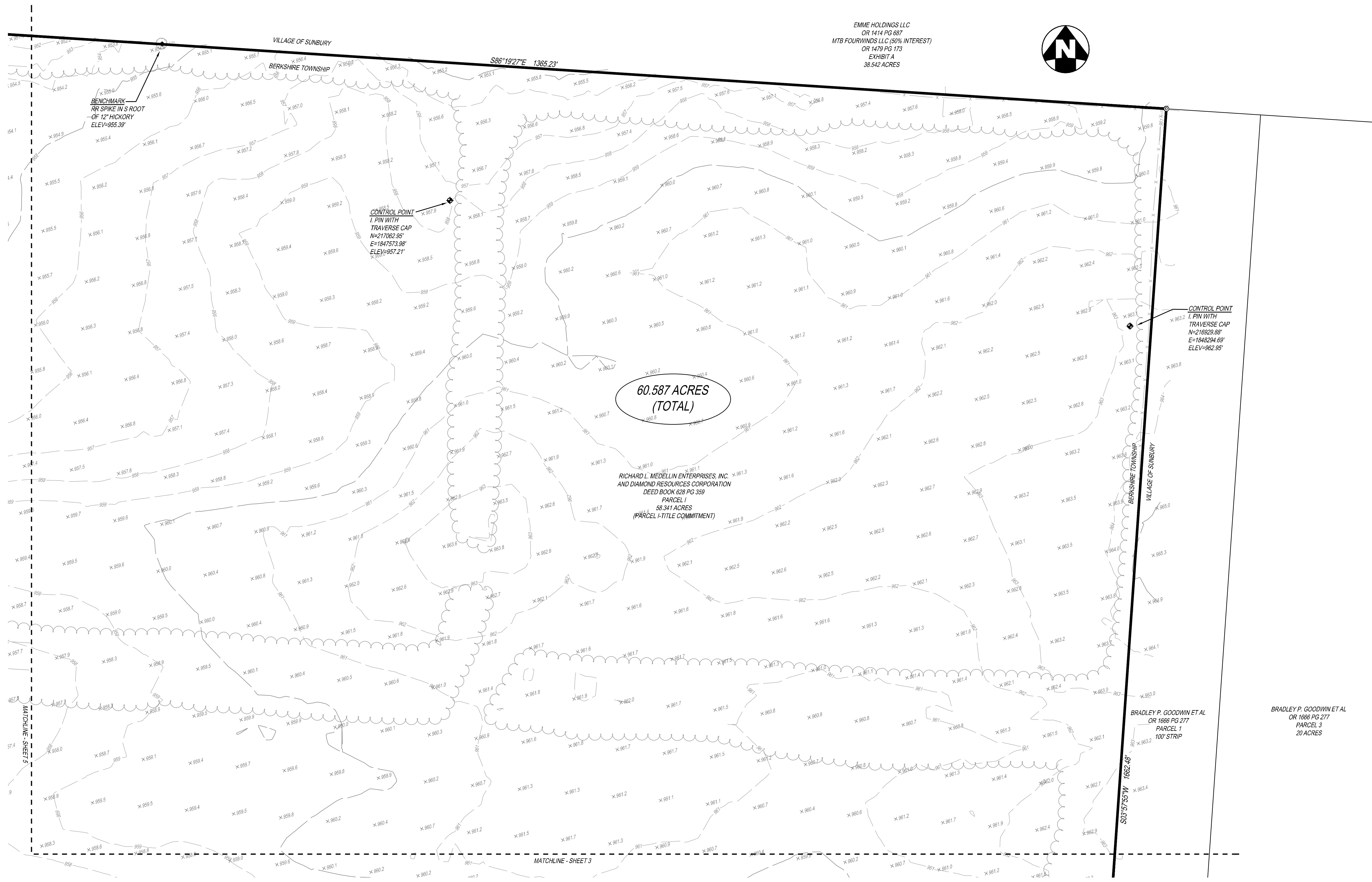
PROJECT NO: 200078.000  
DATE: 10/19/2020



SHEET NAME:  
**ALTA/NSPS LAND  
TITLE SURVEY**

SHEET NO.  
**3 OF 5**





EMME HOLDINGS LLC  
OR 1414 PG 687  
MTB FOURWINDS LLC (50% INTEREST)  
OR 1479 PG 173  
EXHIBIT A  
38.542 ACRES



60.587 ACRES  
(TOTAL)

RICHARD L. MEDELLIN ENTERPRISES, INC.  
AND DIAMOND RESOURCES CORPORATION  
DEED BOOK 628 PG 339  
PARCEL 1  
58.341 ACRES  
(PARCEL I-TITLE COMMITMENT)

BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 3  
100' STRIP

BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 3  
20 ACRES



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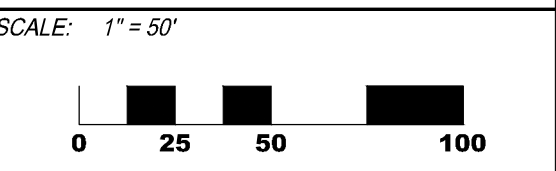
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NO. DATE DESCRIPTION

**60.587 ACRES**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

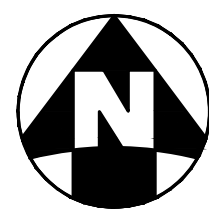
PROJECT NO: 200078.000  
DATE: 10/19/2020



SHEET NAME:  
**ALTA/NSPS LAND  
TITLE SURVEY**

SHEET NO.  
**4 OF 5**





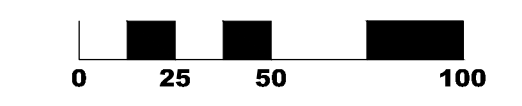
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NO. DATE DESCRIPTION

**60.587 ACRES**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
 TOWNSHIP OF BERSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO. 200078.000  
 DATE 10/19/2020  
 SCALE 1" = 50'



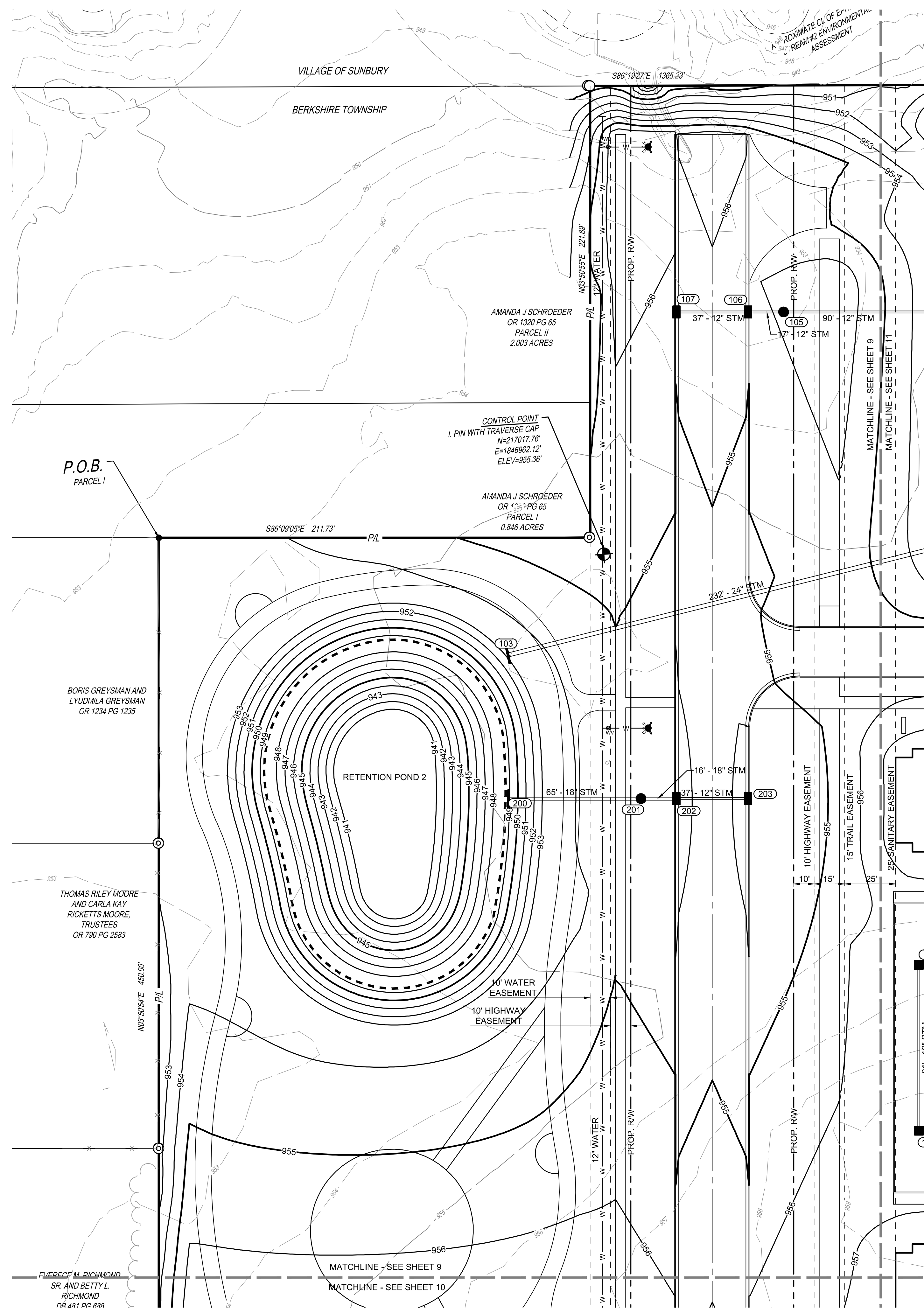
SHEET NAME:  
**ALTA/NSPS LAND TITLE SURVEY**

SHEET NO.  
**5 OF 5**

**16.06.B.2. - A grading plan drawn to scale, showing all information pertaining to surface drainage.** The Project's Civil Engineer designed the site in such a way that the development will utilize existing natural slopes and newly constructed drainage ponds for stormwater to drain east to west toward the reservoir. This will correct the drainage concerns per our neighbor's comments and feedback.

- a. Please See Sheets 9-14 of Printed Engineering Set (Kleingers) for the Grading and Utility Plan**





- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - SANITARY SEWER PIPE
  - W WATER PIPE
  - 101 CATCH BASIN
  - 101 HEADWALL
  - 101 MANHOLE
  - 101 CURB INLET
  - 101 SANITARY MANHOLE
  - WV WATER VALVE
  - FIRE HYDRANT
  - 950 EXISTING MAJOR CONTOUR
  - 949 EXISTING MINOR CONTOUR
  - 950 PROPOSED MAJOR CONTOUR
  - 949 PROPOSED MINOR CONTOUR
  - PROPOSED POND

**THE KLEINGERS GROUP**

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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Westerville, OH 43082  
614.882.4311

SEAL:

BRENDAN M. FLEMING  
REGISTERED PROFESSIONAL ENGINEER  
E-81971

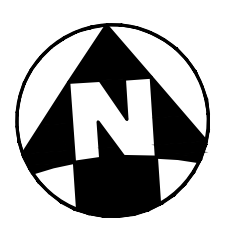
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**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

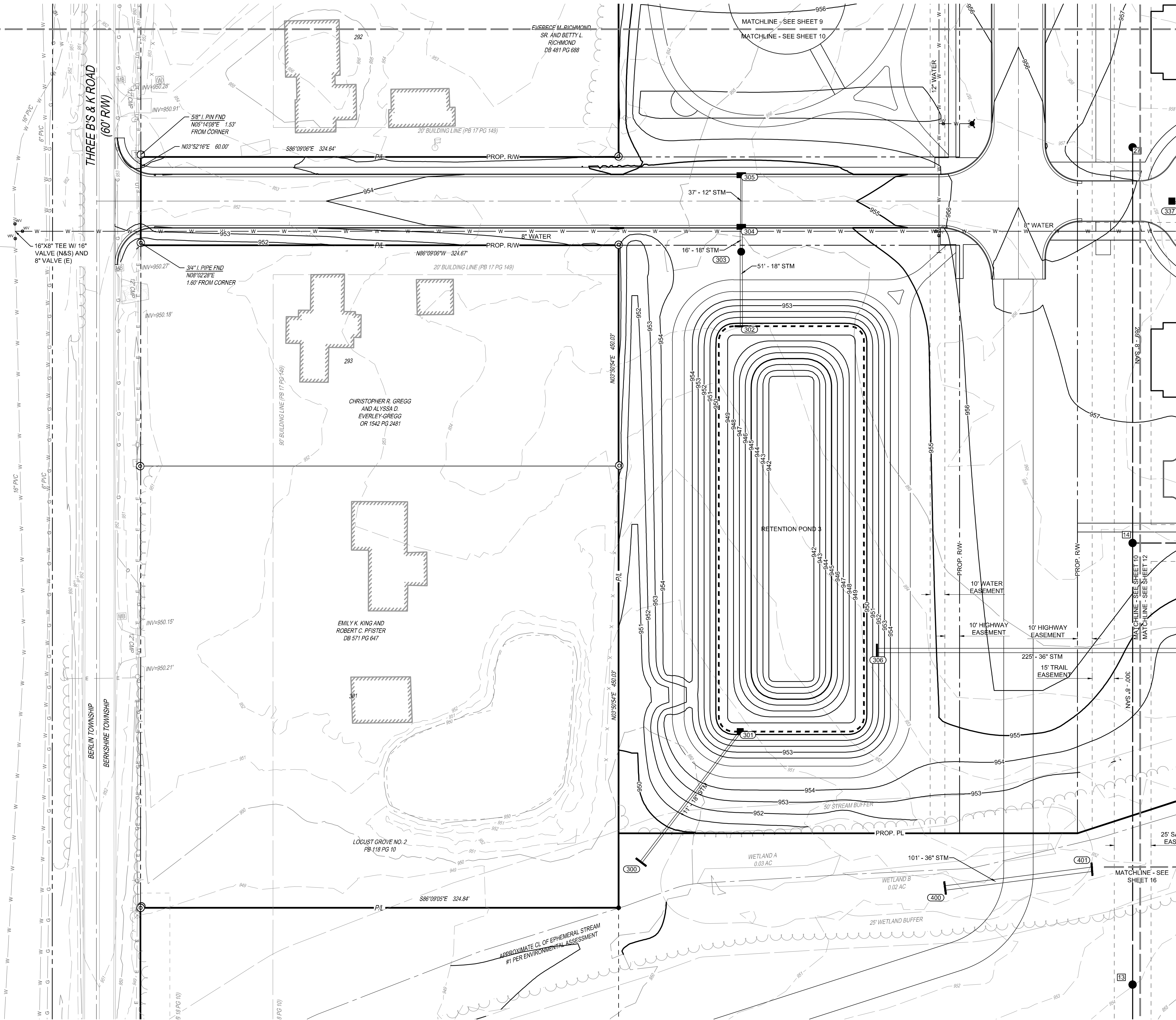
PROJECT NO.	200078.000
DATE:	04/23/2021
SCALE:	

SHEET NAME:  
**GRADING AND UTILITY PLAN**

SHEET NO.  
**9**







- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - SANITARY SEWER PIPE
  - WATER PIPE
  - CATCH BASIN
  - HEADWALL
  - MANHOLE
  - CURB INLET
  - SANITARY MANHOLE
  - WATER VALVE
  - FIRE HYDRANT
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED POND




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SEAL:



BRENDAN M. FLEMING  
E-81971  
REGISTERED PROFESSIONAL ENGINEER

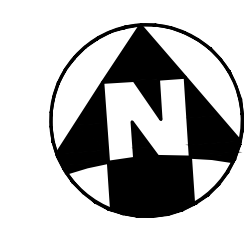
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**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO.	200078,000
DATE:	04/23/2021
SCALE:	

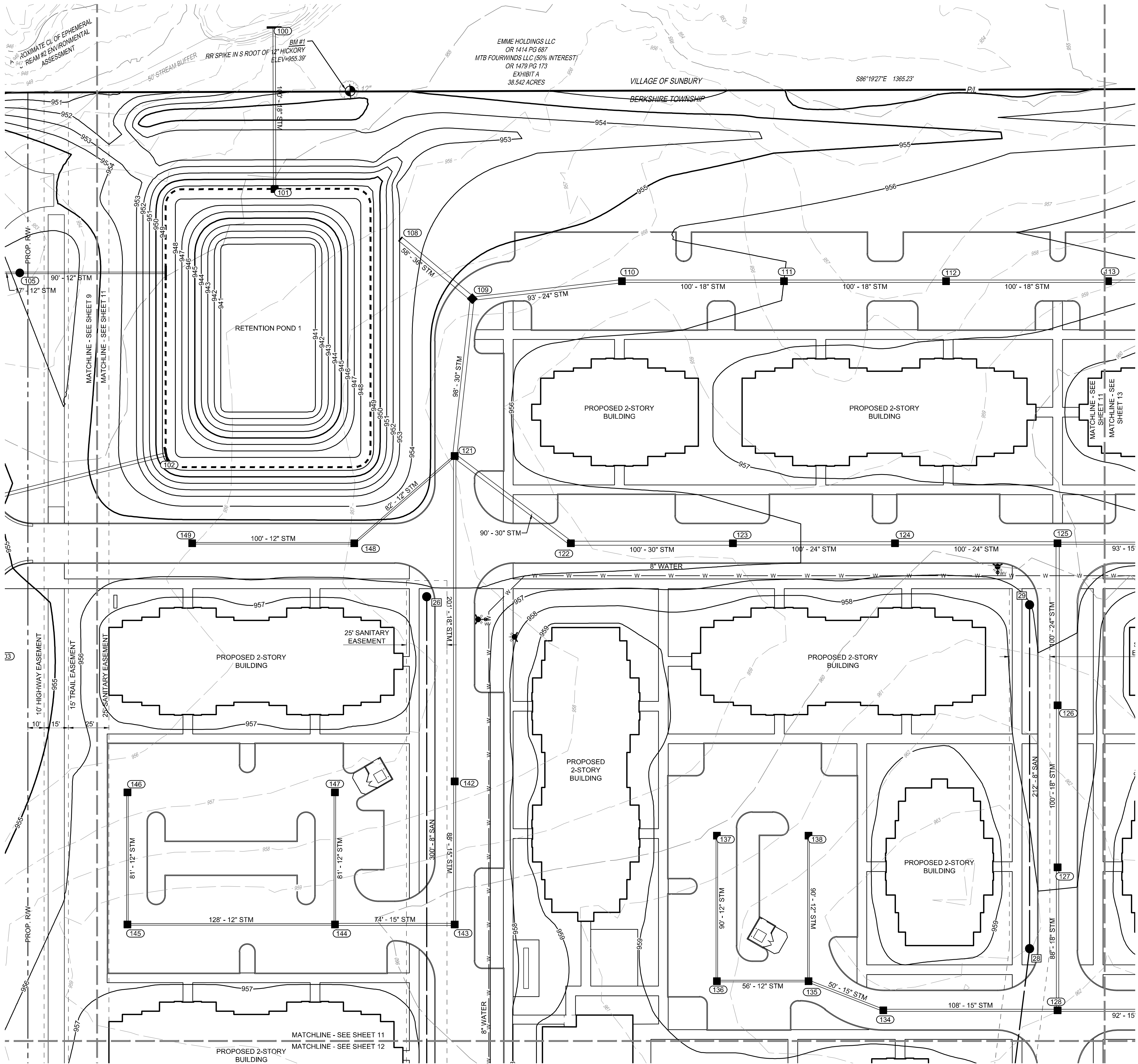
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**GRADING AND UTILITY PLAN**

SHEET NO.  
**10**



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- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - SANITARY SEWER PIPE
  - W WATER PIPE
  - 101 CATCH BASIN
  - 101 HEADWALL
  - 101 MANHOLE
  - 101 CURB INLET
  - 101 SANITARY MANHOLE
  - WV WATER VALVE
  - FIRE HYDRANT
  - 950 EXISTING MAJOR CONTOUR
  - 949 EXISTING MINOR CONTOUR
  - 950 PROPOSED MAJOR CONTOUR
  - 949 PROPOSED MINOR CONTOUR
  - PROPOSED POND

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 614.882.4311

SEAL:

BRENDAN M. FLEMING  
 E-81971  
 REGISTERED PROFESSIONAL ENGINEER

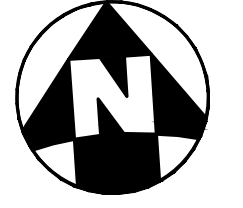
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

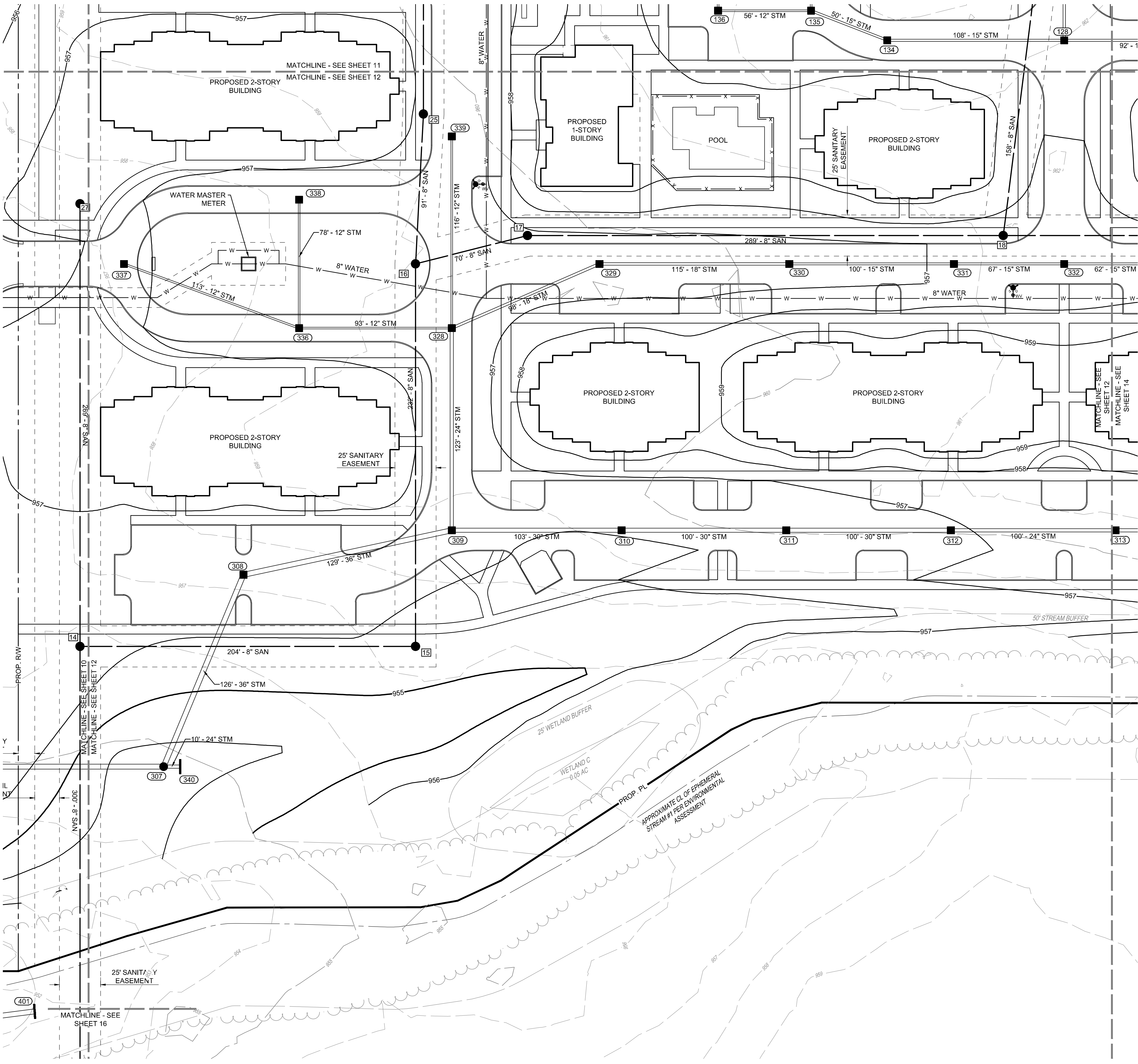
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 DATE: 04/23/2021  
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SHEET NAME:  
**GRADING AND UTILITY PLAN**

SHEET NO.  
**11**







- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - SANITARY SEWER PIPE
  - W WATER PIPE
  - 101 CATCH BASIN
  - 101 HEADWALL
  - 101 MANHOLE
  - 101 CURB INLET
  - 101 SANITARY MANHOLE
  - WV WATER VALVE
  - FD FIRE HYDRANT
  - 950 EXISTING MAJOR CONTOUR
  - 949 EXISTING MINOR CONTOUR
  - 950 PROPOSED MAJOR CONTOUR
  - 949 PROPOSED MINOR CONTOUR
  - PROPOSED POND

**THE KLEINGERS GROUP**

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E-81971  
REGISTERED PROFESSIONAL ENGINEER

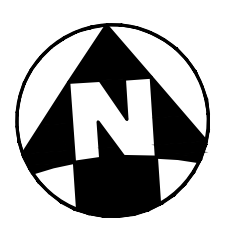
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**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO.	200078,000
DATE	04/23/2021
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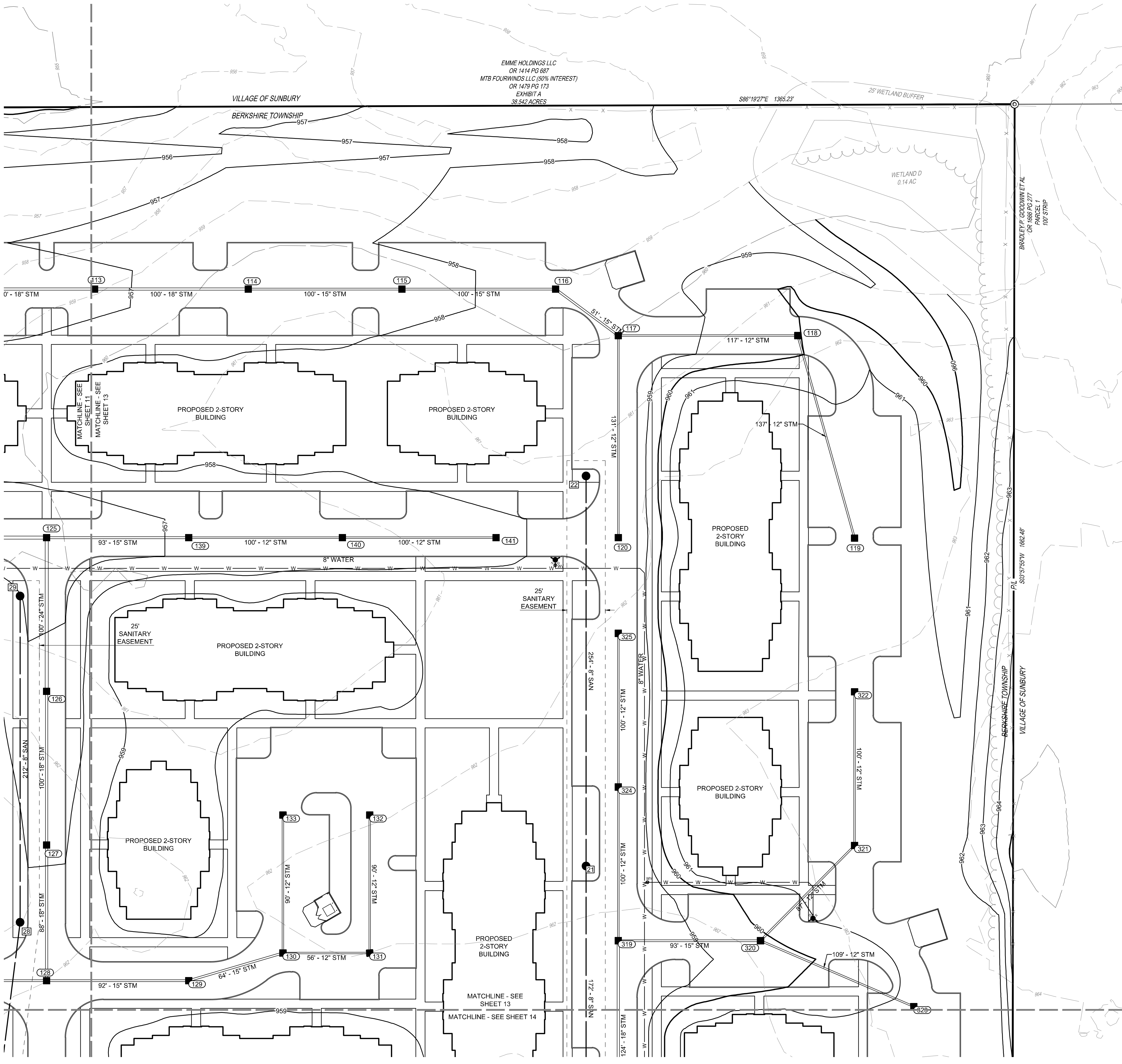
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**GRADING AND UTILITY PLAN**

SHEET NO.  
**12**



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- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - SANITARY SEWER PIPE
  - W WATER PIPE
  - 101 CATCH BASIN
  - 101 HEADWALL
  - 101 MANHOLE
  - 101 CURB INLET
  - 101 SANITARY MANHOLE
  - WV WATER VALVE
  - FH FIRE HYDRANT
  - 950 EXISTING MAJOR CONTOUR
  - 949 EXISTING MINOR CONTOUR
  - 950 PROPOSED MAJOR CONTOUR
  - 949 PROPOSED MINOR CONTOUR
  - PROPOSED POND

**THE KLEINGERS GROUP**

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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Westerville, OH 43082  
614.882.4311

SEAL:

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E-81971  
REGISTERED PROFESSIONAL ENGINEER

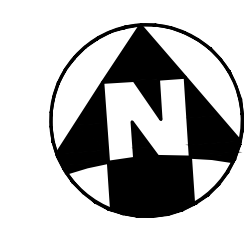
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**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO.	200078.000
DATE	04/23/2021
SCALE	

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**GRADING AND UTILITY PLAN**

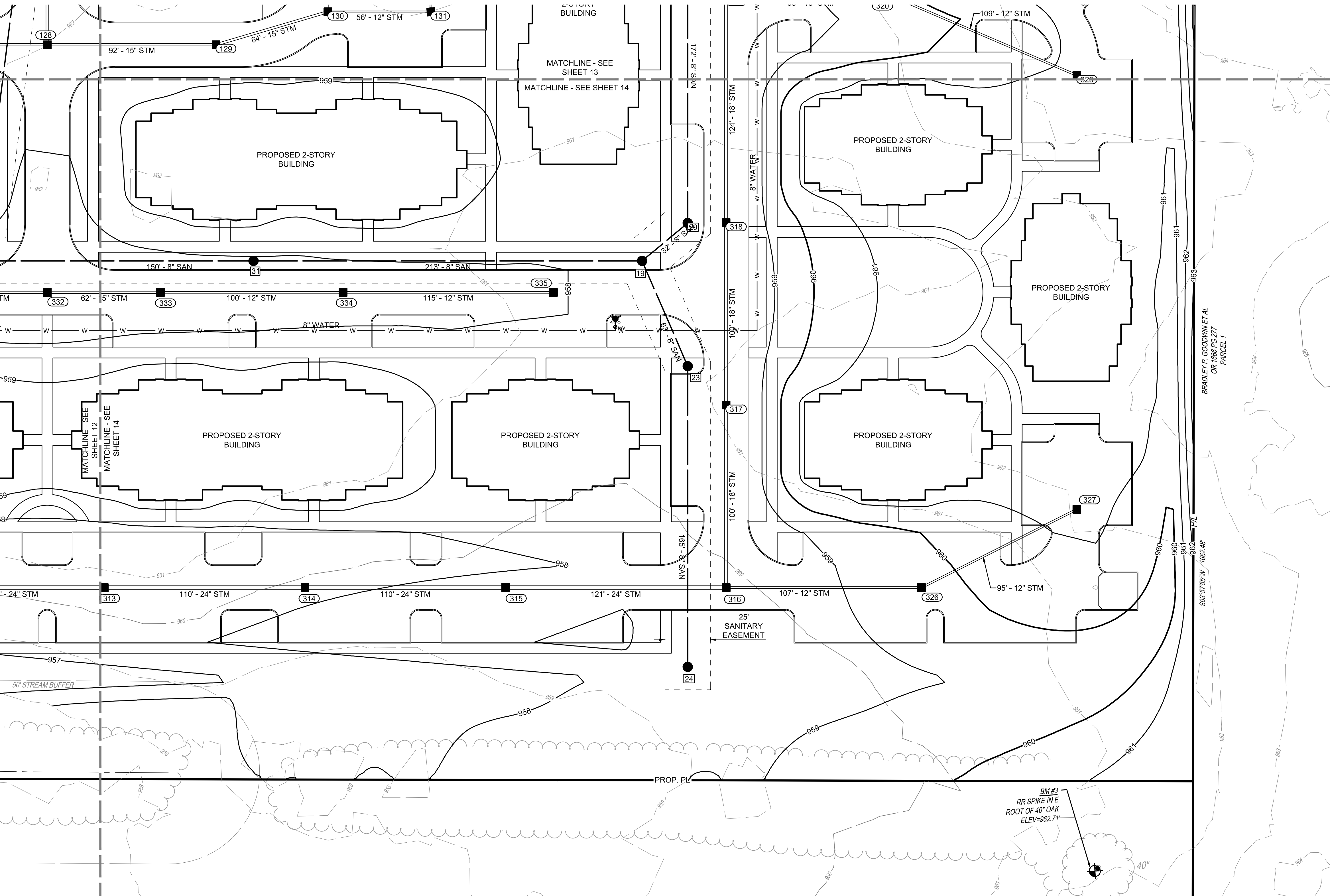
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**13**



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INSPIRED PEOPLE > CREATIVE DESIGN > TRANSFORMING COMMUNITIES



- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - SANITARY SEWER PIPE
  - W WATER PIPE
  - 101 CATCH BASIN
  - 101 HEADWALL
  - 101 MANHOLE
  - 101 CURB INLET
  - 101 SANITARY MANHOLE
  - WV WATER VALVE
  - FD FIRE HYDRANT
  - 950 EXISTING MAJOR CONTOUR
  - 949 EXISTING MINOR CONTOUR
  - 950 PROPOSED MAJOR CONTOUR
  - 949 PROPOSED MINOR CONTOUR
  - PROPOSED POND

**THE KLEINGERS GROUP**

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

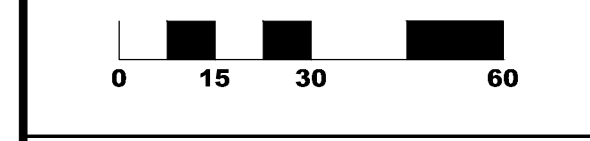
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Westerville, OH 43082  
614.882.4311

SEAL:

NO.	DATE	DESCRIPTION

**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078.000  
DATE: 04/23/2021  
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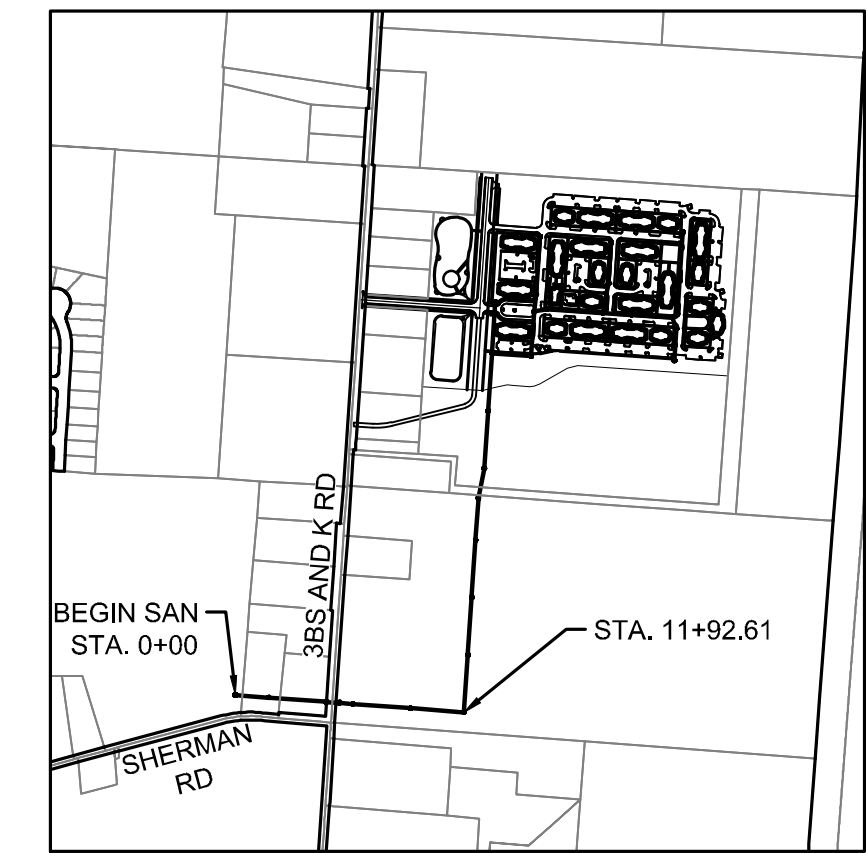
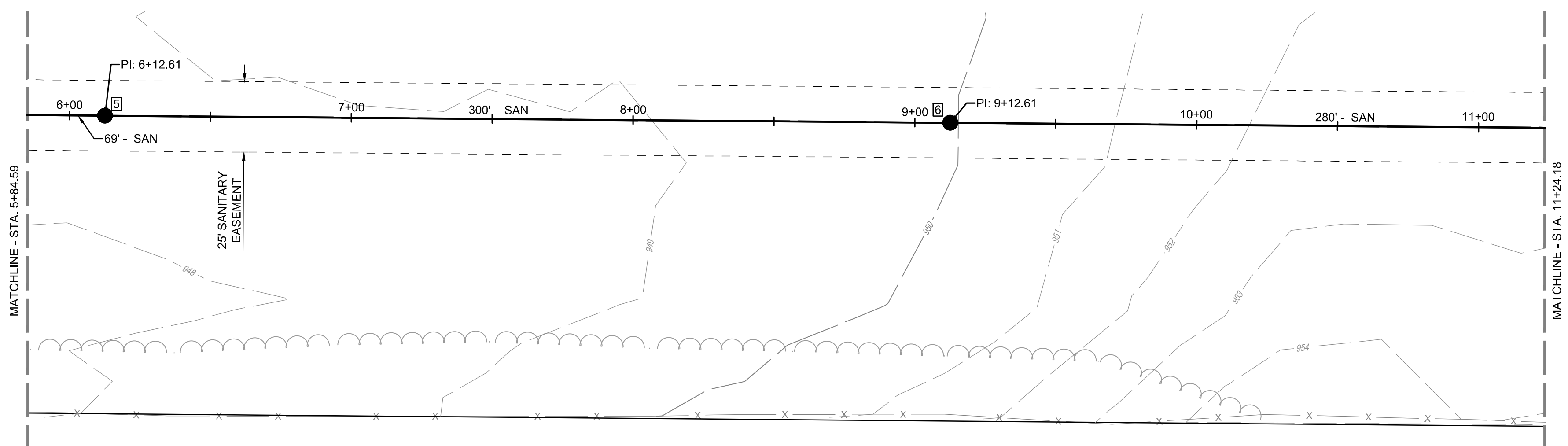
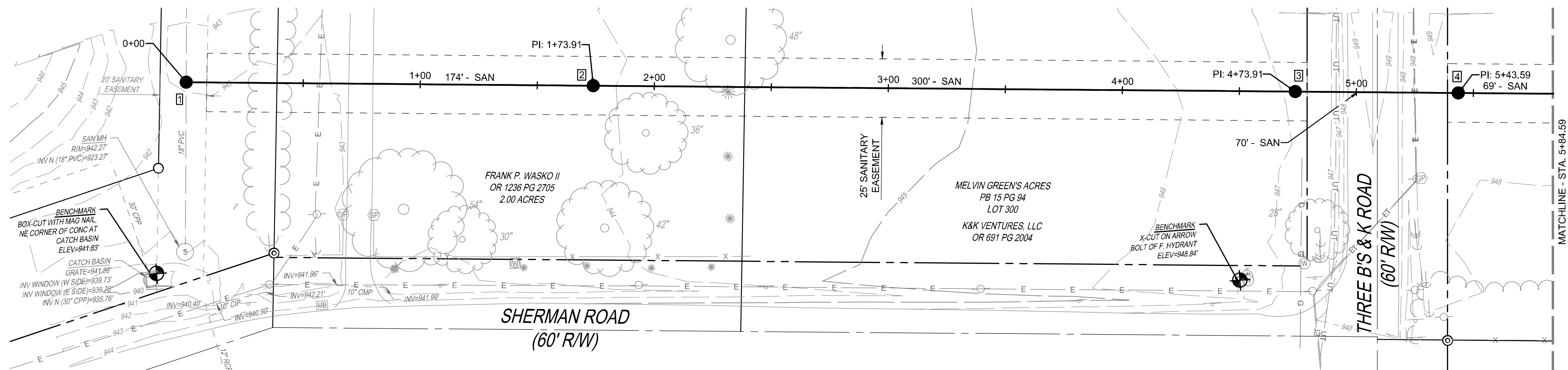


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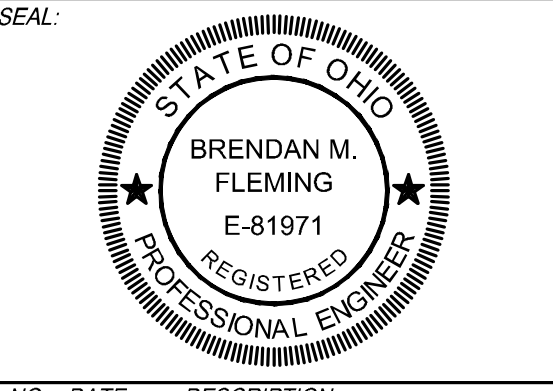
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**14**



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- PROPOSED LEGEND**
- STM STORM SEWER PIPE
  - SANITARY SEWER PIPE
  - WATER PIPE
  - CATCH BASIN
  - HEADWALL
  - MANHOLE
  - CURB INLET
  - SANITARY MANHOLE
  - WATER VALVE
  - FIRE HYDRANT
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED POND
  - GRADING LIMITS
  - SWALE ARROW
  - FLOOD ROUTE



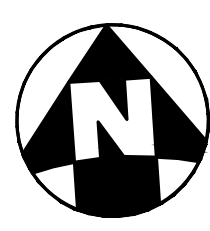
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078,000  
 DATE: 04/23/2021  
 SCALE:  


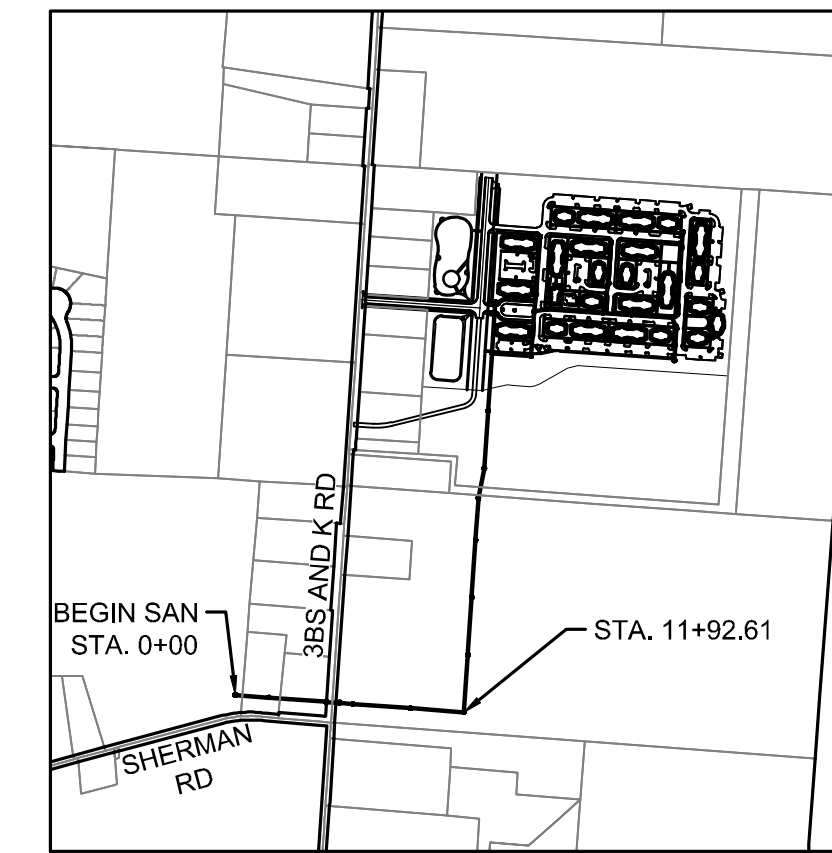
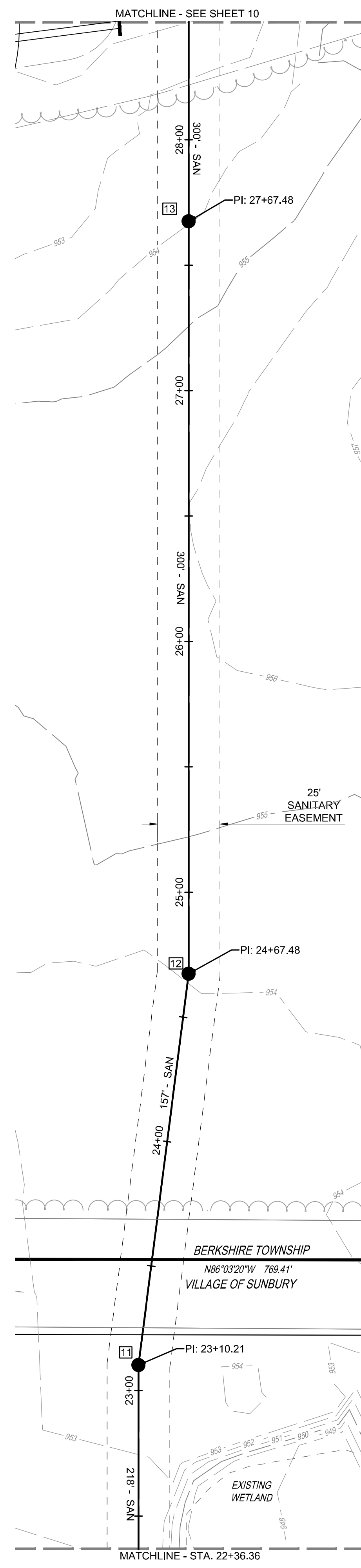
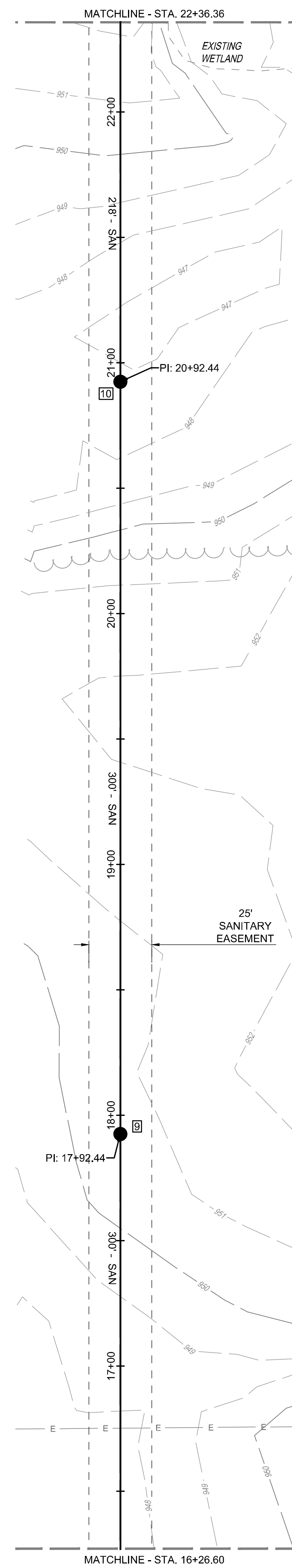
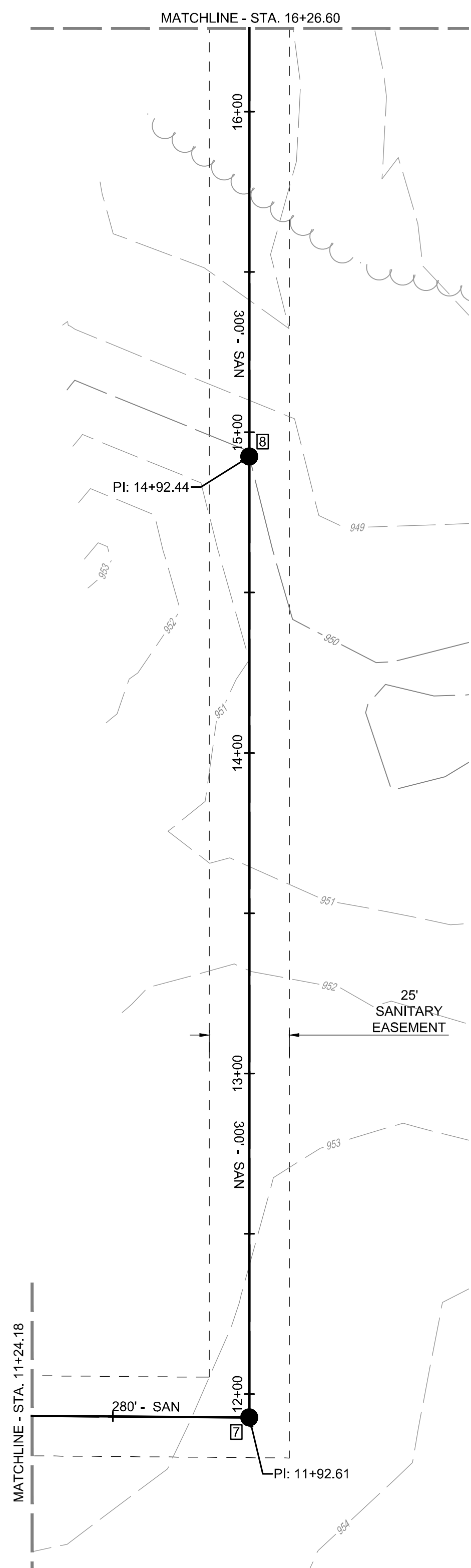
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**SANITARY  
 EXTENSION STA.  
 0+00 TO 11+24.18**

SHEET NO.  
15



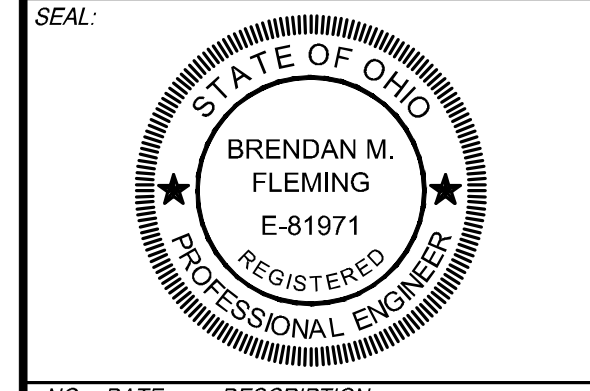
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**LOCATION MAP**  
1"=1000'

- PROPOSED LEGEND**
- STM — STORM SEWER PIPE
  - SAN — SANITARY SEWER PIPE
  - w — WATER PIPE
  - (101) ■ CATCH BASIN
  - (101) — HEADWALL
  - (101) ● MANHOLE
  - (101) ■ CURB INLET
  - (101) ● SANITARY MANHOLE
  - <sup>w</sup> WATER VALVE
  - FIRE HYDRANT
  - 950 — EXISTING MAJOR CONTOUR
  - 949 — EXISTING MINOR CONTOUR
  - 950 — PROPOSED MAJOR CONTOUR
  - 949 — PROPOSED MINOR CONTOUR
  - - - - - PROPOSED POND
  - - - - - GRADING LIMITS
  - ~ SWALE ARROW
  - ← FLOOD ROUTE



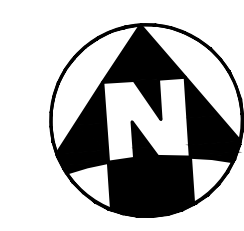
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078.000  
 DATE: 04/23/2021  
 SCALE:  
 0 15 30 60

SHEET NAME:  
**SANITARY EXTENSION STA. 11+24.18 TO 28+46.79**

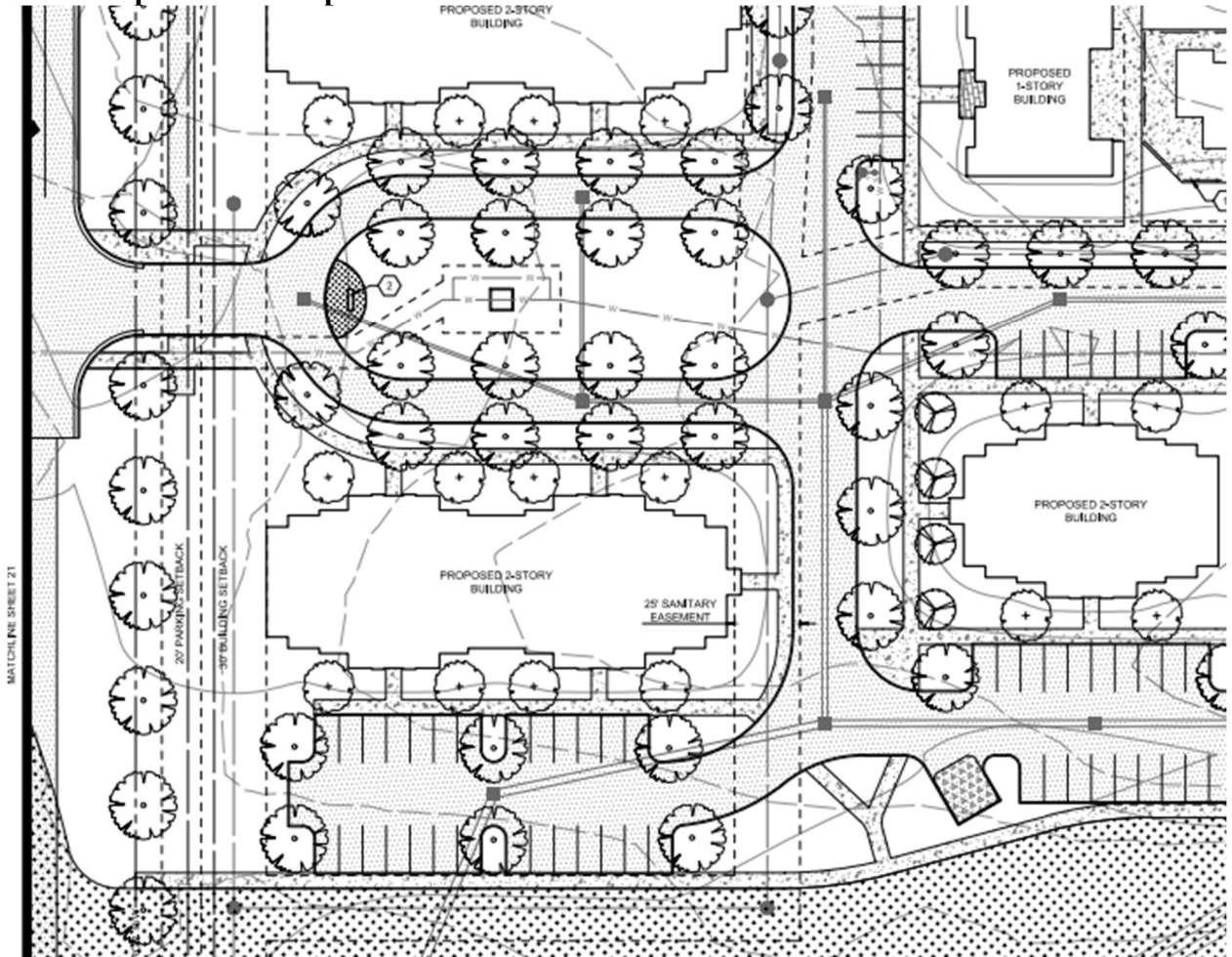
SHEET NO.  
**16**



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**16.06.B.3. - A detailed Landscape Plan shall be submitted with the Development Plan and shall be subject to approval as part of the Development Plan. It shall depict and identify all proposed landscaping features.** We have carefully reviewed the Township's landscape requirements and have met or exceeded each item. For example, we will exceed the required Right of Way, Street Trees and Parking Lot Islands requirements by providing for 3" caliper trees instead of the 2.5" requirement.

**A. Please See Sheets 17-24 of Printed Engineering Set (Kleingers) - Landscape Plan. Below is a small portion of the plan for reference.**

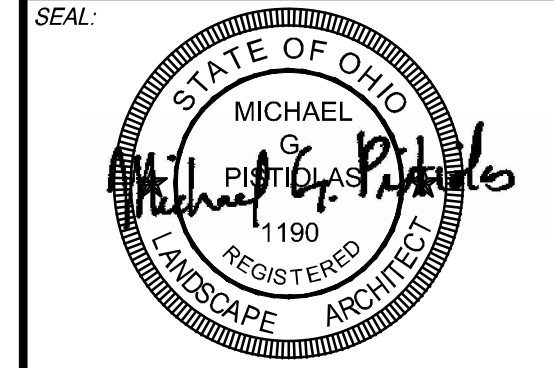
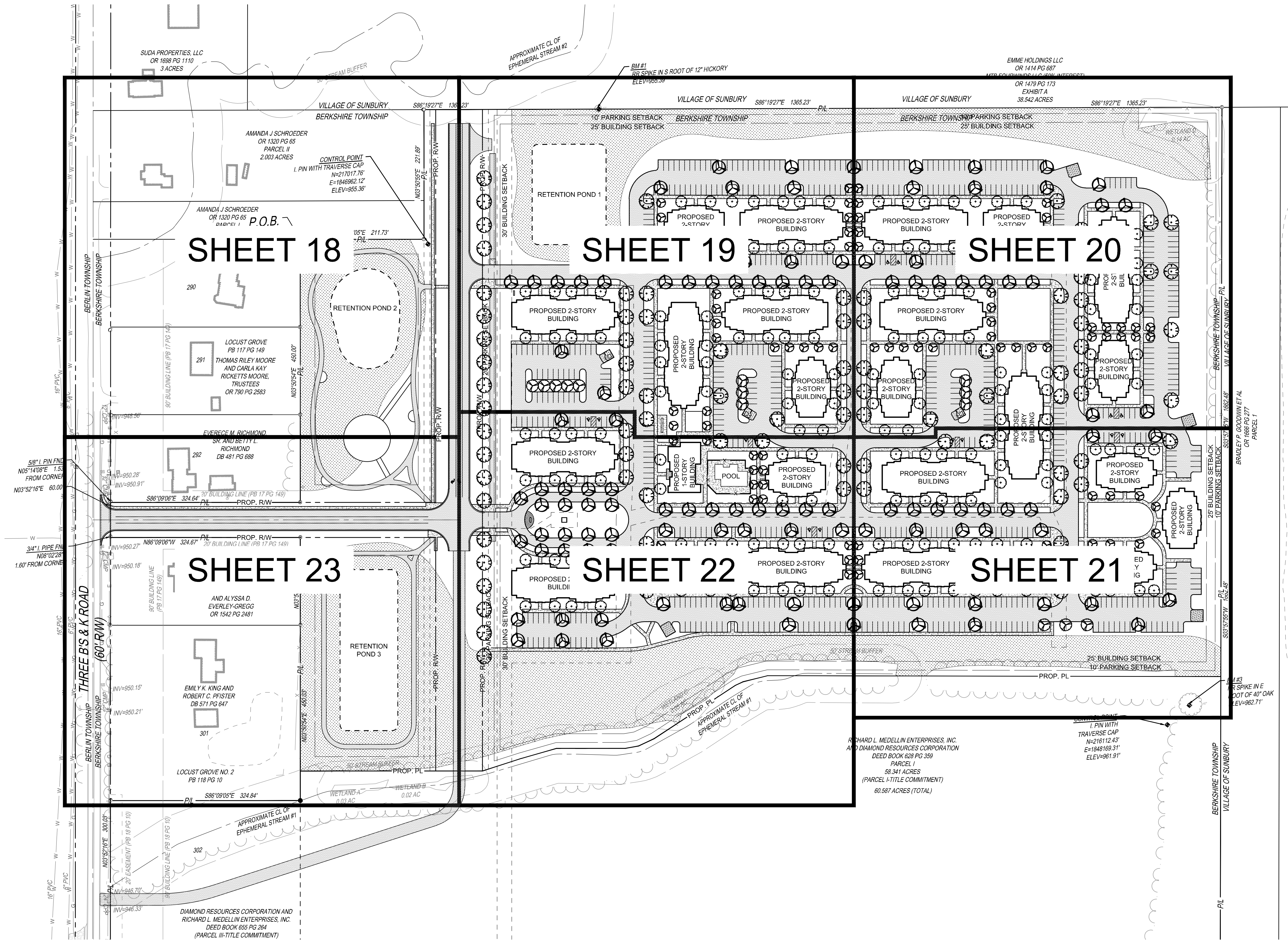


Also, please notice the narrative included that shows compliance with the zoning code, highlighted below.

BERKSHIRE TOWNSHIP, OHIO LANDSCAPE ZONING REQUIREMENTS

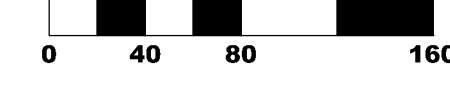
	REQUIRED	PROPOSED
SECTION 16		
RIGHT-OF-WAY	ANY SURFACE PARKING AREAS ADJACENT TO AN EXISTING OR PLANNED RIGHT-OF-WAY SHALL BE SCREENED FROM THE RESPECTIVE RIGHT-OF-WAY WITH SHADE TREES HAVING A MINIMUM CALIPER OF TWO AND A HALF (2½) INCHES FOR EVERY FORTY (40) LINEAL FEET OF ROAD FRONTAGE, AND SHALL BE LOCATED THREE (3) FEET OUTSIDE OF THE RIGHT-OF-WAY. THIS REQUIREMENT DOES NOT APPLY IN THE AREAS OF INGRESS AND EGRESS, OR TO EXISTING TREES WHICH ARE UNDISTURBED BY THE PROJECT.	PROVIDED
STREET TREES	TREES SHALL BE PLANTED AT A MINIMUM DISTANCE OF FORTY (40) FEET ALONG ALL INTERNAL PUBLIC STREETS. TREES SHALL BE OF DECIDUOUS SPECIES NORMALLY ATTAINING FULL-GROWN HEIGHT IN EXCESS OF FIFTY (50) FEET AND SHALL BE OF TWO (2) TO TWO AND A HALF (2 ½) CALIPER OR GREATER AT THE TIME OF PLANTING. TREE LIMBS SHALL BE TRIMMED TO A HEIGHT OF FOURTEEN (14) FEET ABOVE ROADS AND EIGHT (8) FEET ABOVE SIDEWALKS AND TRAILS.	PROVIDED
PARKING LOT ISLANDS	<p>INTERIOR TREE ISLANDS SHALL BE REQUIRED WITHIN PARKING LOTS AND SHALL BE OF SUFFICIENT NUMBER AND SIZE TO PROVIDE FOR A RATIO OF ONE (1) SHADE TREE FOR EVERY TWELVE (12) PARKING SPACES OR FRACTIONS THEREOF. EACH LANDSCAPED TREE ISLAND IN A SINGLE LOADED PARKING STALL SHALL HAVE A MINIMUM AREA OF ONE HUNDRED SIXTY-TWO (162) SQUARE FEET WITH A MINIMUM WIDTH OF NINE (9) FEET. EACH LANDSCAPED ISLAND IN A DOUBLE-LOADED PARKING STALL DESIGN SHALL HAVE A MINIMUM AREA OF THREE HUNDRED TWENTY-FOUR (324) SQUARE FEET, WITH A MINIMUM WIDTH OF NINE (9) FEET. PARKING LOT ISLANDS MAY BE COMBINED INTO ONE (1) OR MORE LARGER PARKING LOT ISLANDS, SO LONG AS THEY MEET THE AREA AND LANDSCAPING REQUIREMENTS OF THIS ZONING RESOLUTION AND ARE APPROVED AS PART OF THE DEVELOPMENT PLAN. ALL LANDSCAPED TREE ISLANDS SHALL CONTAIN AT LEAST ONE (1) SHADE TREE A MINIMUM OF TWO (2) INCHES IN CALIPER AND INCLUDE AT LEAST FIFTY (50) SQUARE FEET OF OTHER PLANT MATERIALS.</p> <p>675 PARKING SPACES = 57 TREES</p>	PROVIDED
SECTION 23		
	A CONTINUOUS (HAVING 100% OPACITY) PLANTING HEDGE, FENCE, WALL OF EARTH, WHICH WOULD ENCLOSE ANY SERVICE STRUCTURE ON ALL SIDES UNLESS SUCH STRUCTURE MUST BE FREQUENTLY MOVED, IN WHICH CASE SCREENING ON ALL BUT ONE SIDE IS REQUIRED. THE AVERAGE HEIGHT OF THE SCREENING MATERIAL SHALL BE ONE FOOT MORE THAN THE HEIGHT OF THE ENCLOSED STRUCTURE, BUT SHALL NOT BE REQUIRED TO EXCEED TEN FEET IN HEIGHT. WHENEVER A SERVICE STRUCTURE IS LOCATED NEXT TO A BUILDING WALL, PERIMETER LANDSCAPING MATERIAL OR VEHICULAR USE AREA LANDSCAPING MATERIAL, SUCH WALLS OR SCREENING MATERIAL MAY FULFILL THE SCREENING REQUIREMENTS FOR THAT SIDE OF THE SERVICE STRUCTURE IF THAT WALL OR SCREENING MATERIAL IS OF AN AVERAGE HEIGHT SUFFICIENT TO MEET THE HEIGHT REQUIREMENT SET OUT IN THIS SECTION. WHENEVER SERVICE STRUCTURES ARE SCREENED BY PLANT MATERIAL, SUCH MATERIAL MAY COUNT TOWARDS THE FULFILLMENT OF REQUIRED INTERIOR OR PERIMETER LANDSCAPING. NO INTERIOR LANDSCAPING SHALL BE REQUIRED WITHIN AN AREA SCREENED FOR SERVICE STRUCTURES.	DUMPSTER ENCLOSURES BY ARCHITECT





NO.	DATE	DESCRIPTION

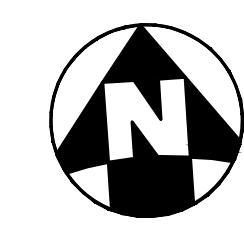
**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078.000  
 DATE: 04/23/2021  
 SCALE:  


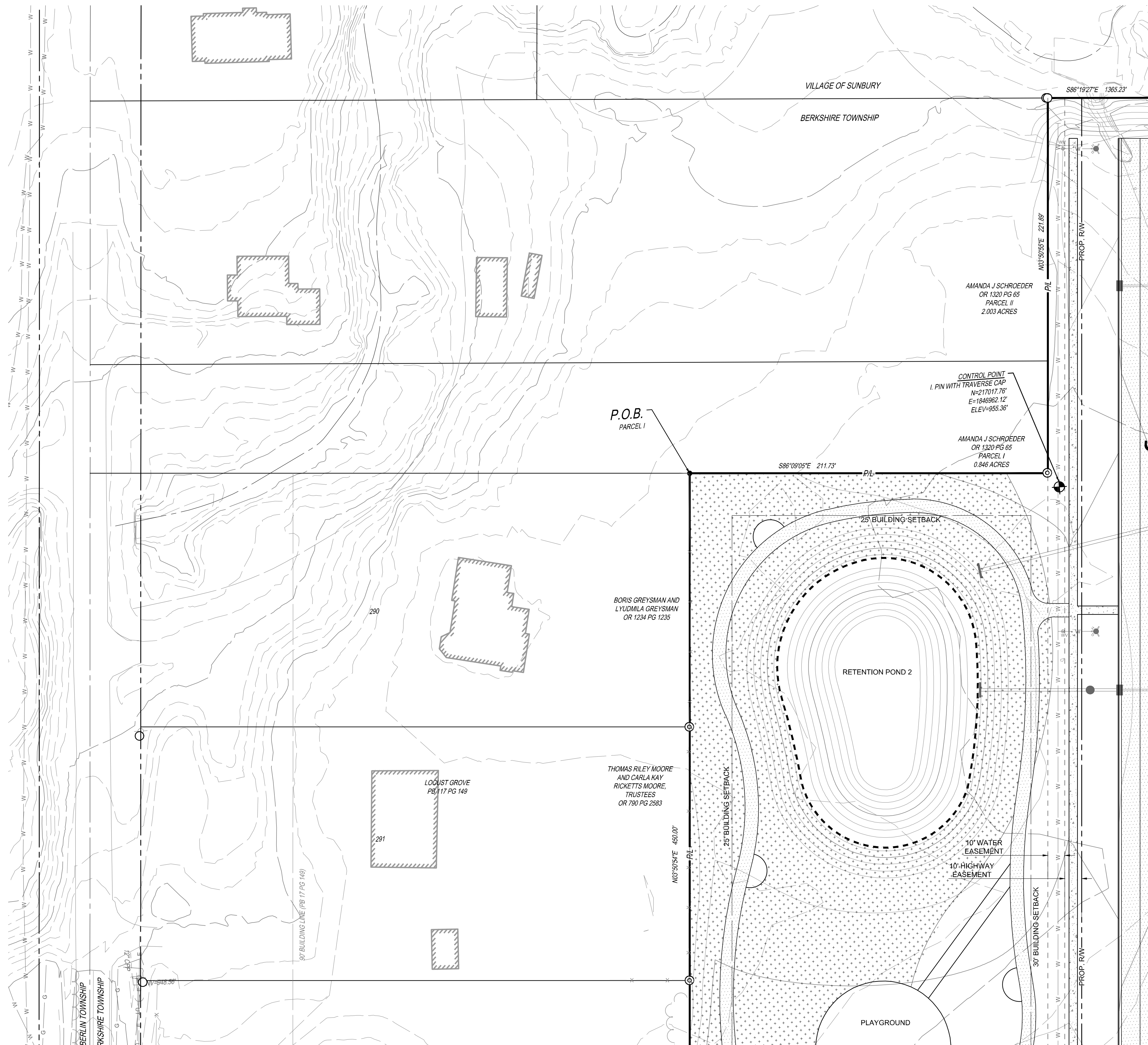
SHEET NAME:  
**LANDSCAPE KEY PLAN**

SHEET NO.  
**17**

PLANTING NOTES  
 1. SEE SHEET 24 FOR PLANTING SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.





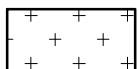

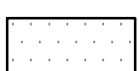
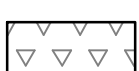




**PLANTING NOTES**

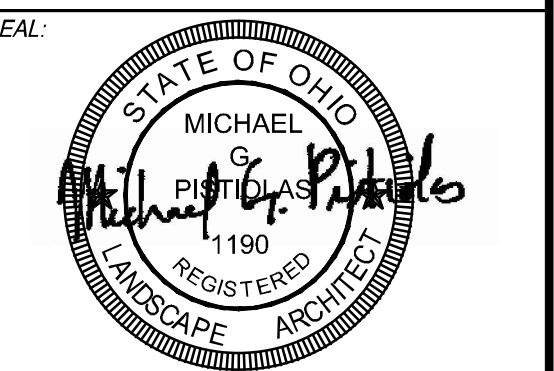
1. SEE SHEET 24 FOR PLANTING SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

**LEGEND**

-  DECIDUOUS TREE, TYP.
-  ORNAMENTAL TREE, TYP.
-  MEADOW MIX
-  CONCRETE WALK
-  ASPHALT PAVEMENT
-  HD CONCRETE PAVEMENT

MATCHLINE SHEET 19

MATCHLINE SHEET 23



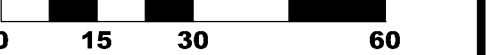
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO: **200078.000**

DATE: **04/23/2021**

SCALE:

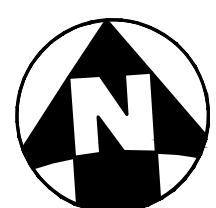


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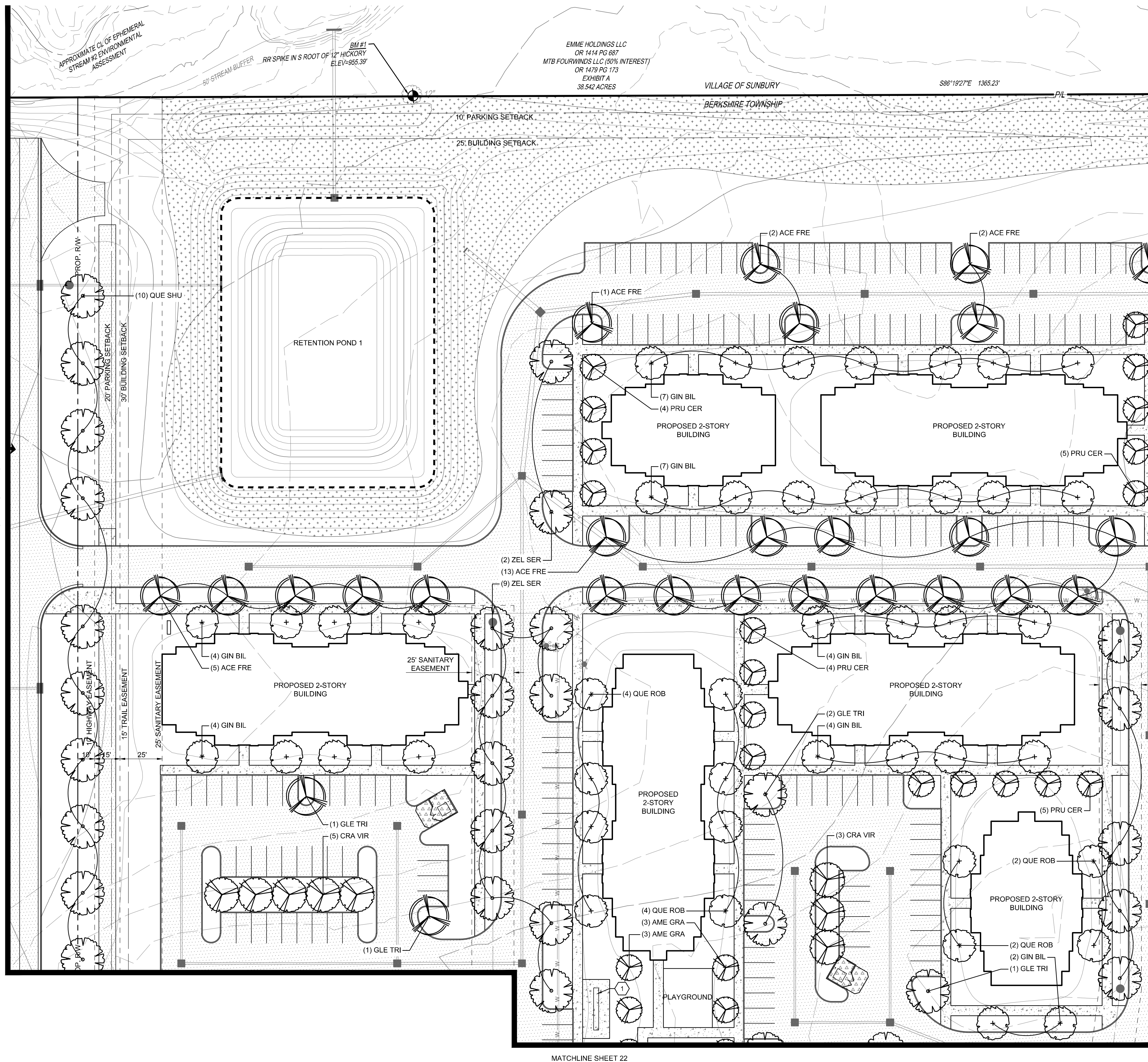
**LANDSCAPE PLAN**

SHEET NO.

**18**







PLANTING NOTES  
 1. SEE SHEET 24 FOR PLANTING SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

CONSTRUCTION NOTES  
 1 MAILBOX KIOSK

- LEGEND
- DECIDUOUS TREE, TYP.
  - ORNAMENTAL TREE, TYP.
  - MEADOW MIX
  - CONCRETE WALK
  - ASPHALT PAVEMENT
  - HD CONCRETE PAVEMENT

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 350 Worthington Rd Suite B Westerville, OH 43082 614.882.4311

SEAL:

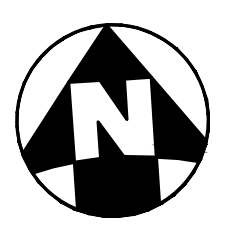
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

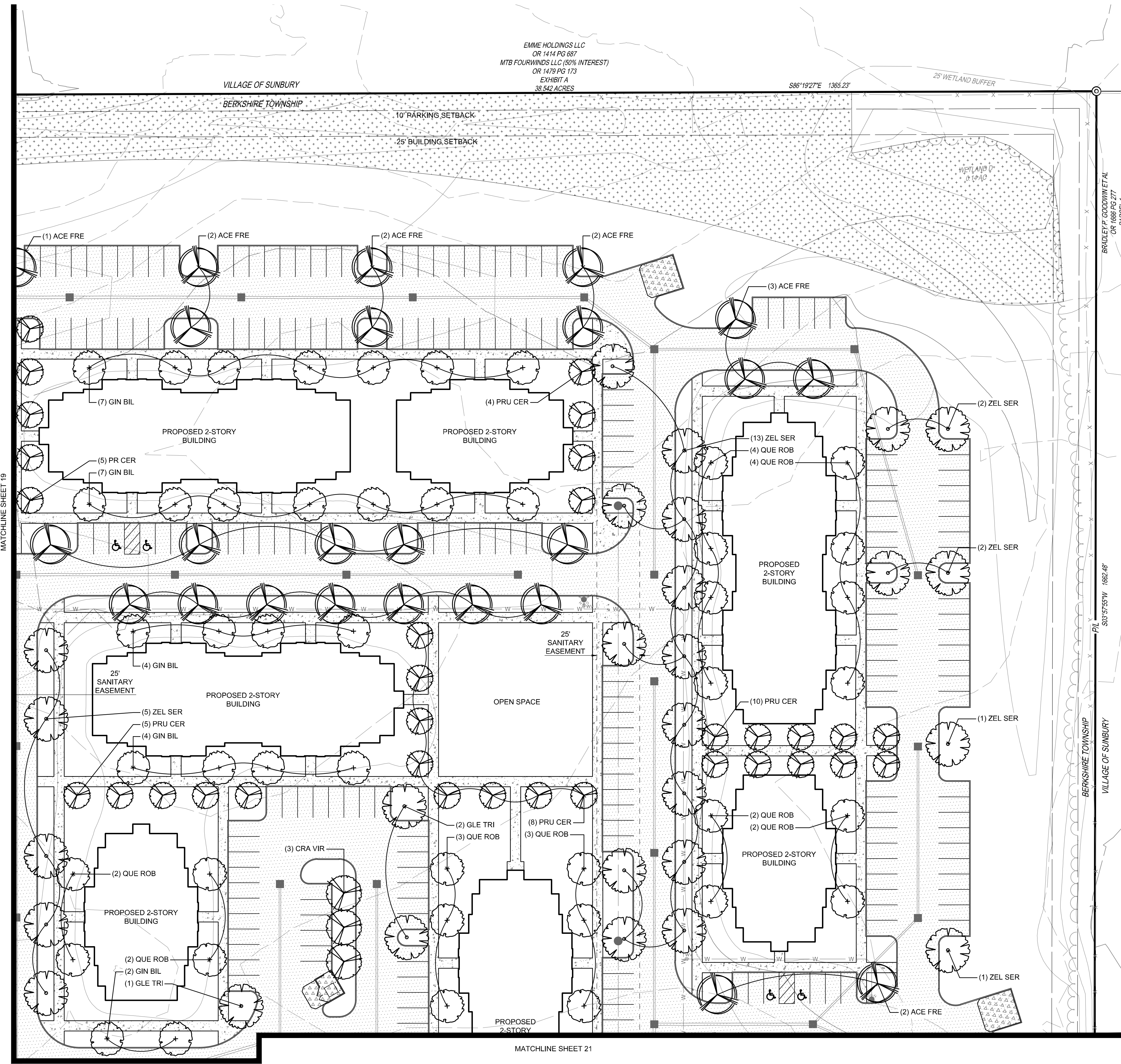
PROJECT NO: 200078.000  
 DATE: 04/23/2021  
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SHEET NAME:  
**LANDSCAPE PLAN**

SHEET NO.  
**19**







PLANTING NOTES  
 1. SEE SHEET LXX FOR PLANTING SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

**LEGEND**

- DECIDUOUS TREE, TYP.
- ORNAMENTAL TREE, TYP.
- MEADOW MIX
- CONCRETE WALK
- ASPHALT PAVEMENT
- HD CONCRETE PAVEMENT

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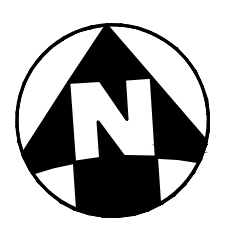
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

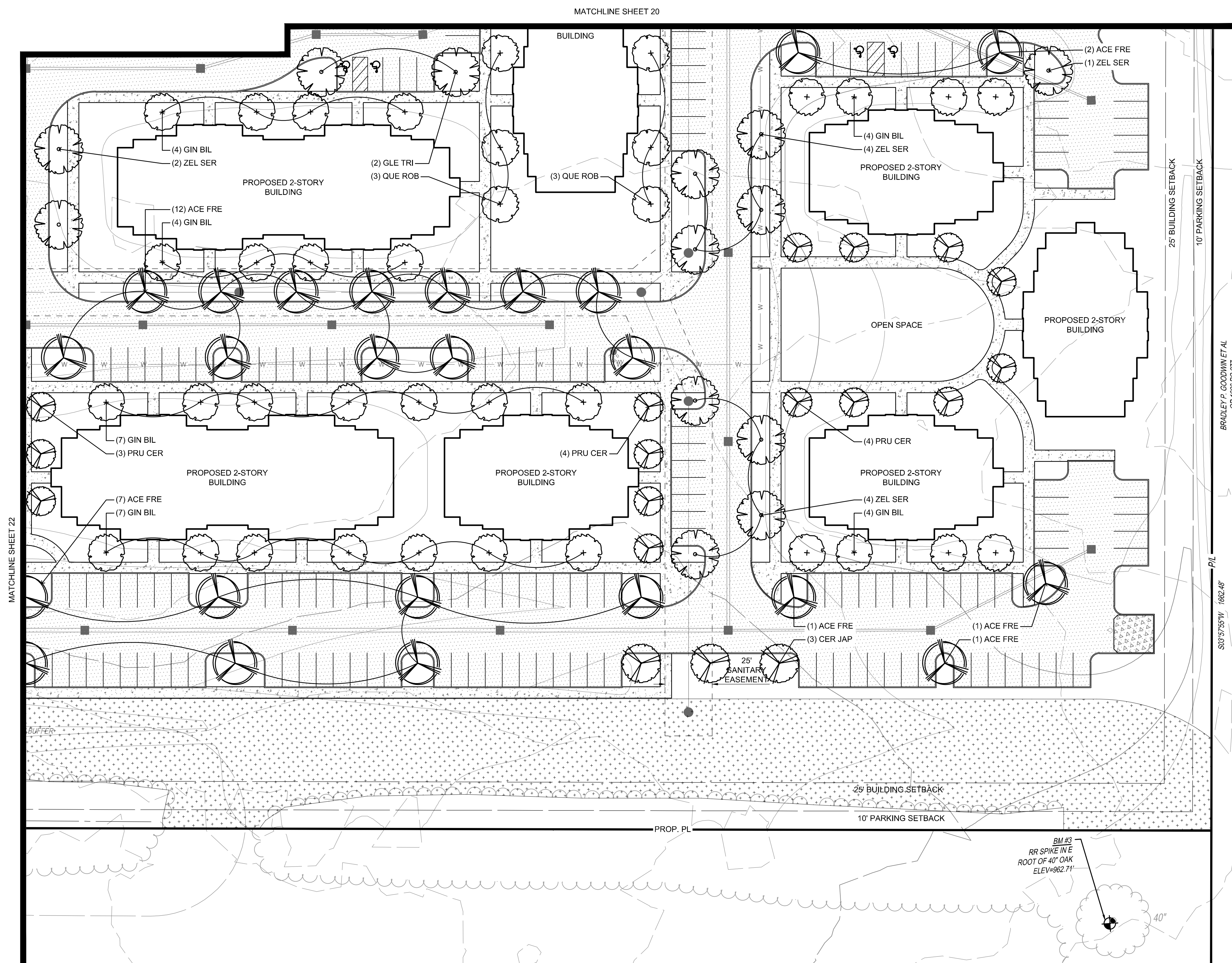
PROJECT NO: 200078,000  
 DATE: 04/23/2021  
 SCALE:

SHEET NAME:  
**LANDSCAPE PLAN**

SHEET NO.  
**20**







PLANTING NOTES  
1. SEE SHEET 24 FOR PLANTING SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

**LEGEND**

- DECIDUOUS TREE, TYP.
- ORNAMENTAL TREE, TYP.
- MEADOW MIX
- CONCRETE WALK
- ASPHALT PAVEMENT
- HD CONCRETE PAVEMENT

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Westerville, OH 43082  
614.882.4311

SEAL:

STATE OF OHIO  
MICHAEL G. PHILLIPS  
REGISTERED LANDSCAPE ARCHITECT  
NO. 1190

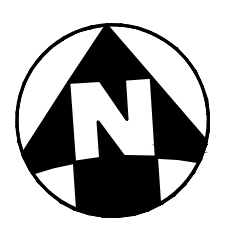
NO.	DATE	DESCRIPTION

**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO.	200078,000
DATE	04/23/2021
SCALE:	

SHEET NAME:  
**LANDSCAPE PLAN**

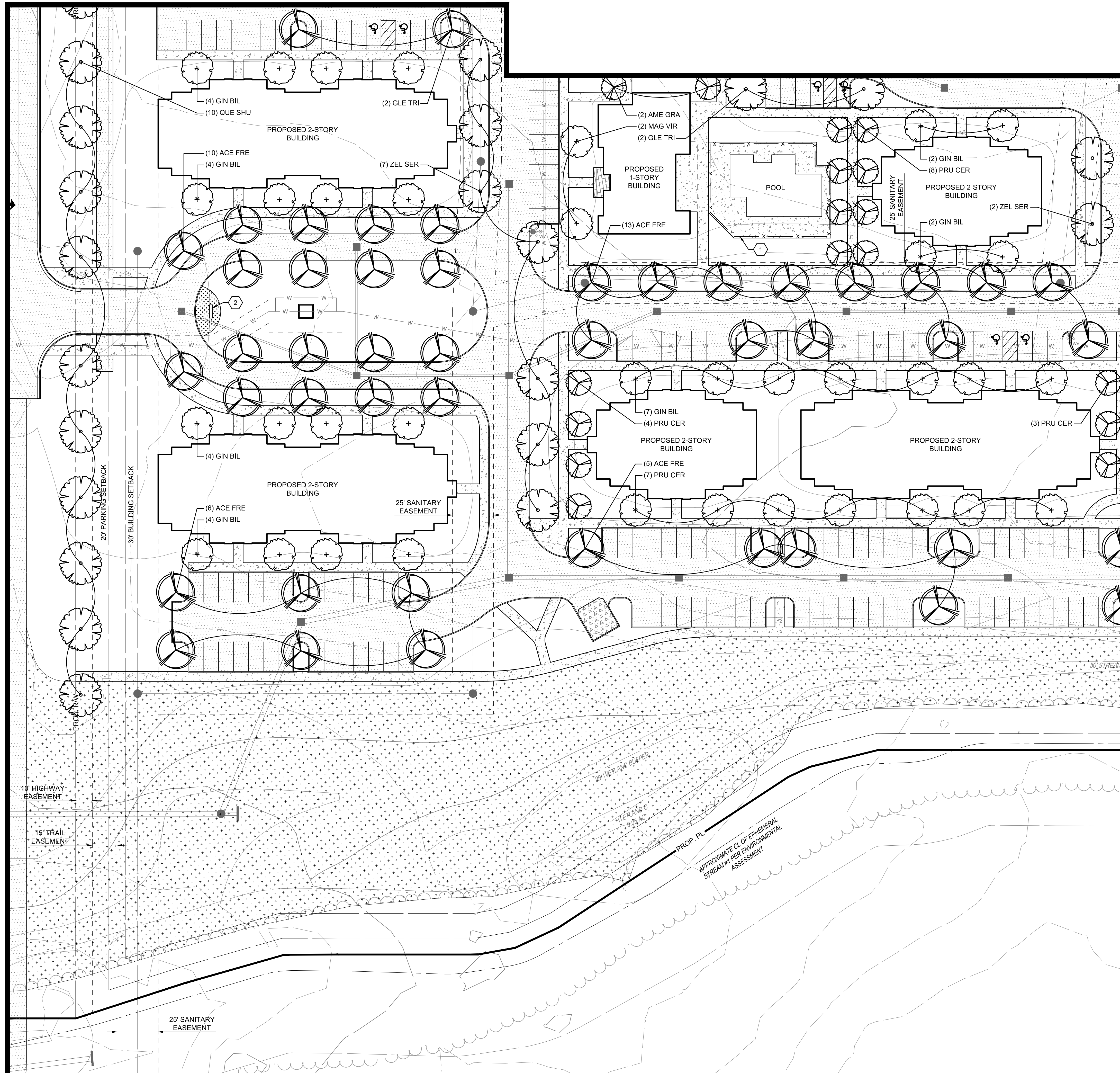
SHEET NO.  
**21**



P:\Customer\21\210707000\_LANDSCAPE\210707000\_LANDSCAPE.dwg, 04/23/2021, 12:31:53 PM, 2021



MATCHLINE SHEET 19



PLANTING NOTES

- SEE SHEET 24 FOR PLANTING SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

CONSTRUCTION NOTES:

- FENCE, SEE ARCHITECTURAL PLANS
- ENTRY SIGN AND LANDSCAPE

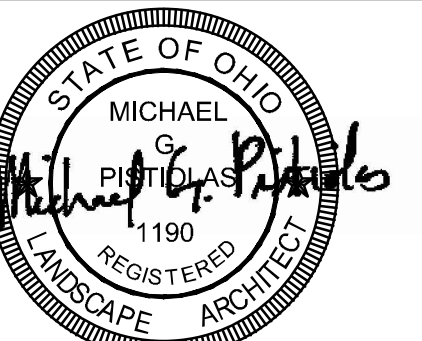
LEGEND

- DECIDUOUS TREE, TYP.
- ORNAMENTAL TREE, TYP.
- MEADOW MIX
- CONCRETE WALK
- ASPHALT PAVEMENT
- HD CONCRETE PAVEMENT



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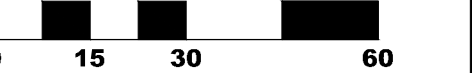
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO. 200078.000

DATE: 04/23/2021

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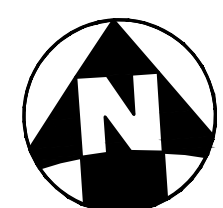


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**LANDSCAPE PLAN**

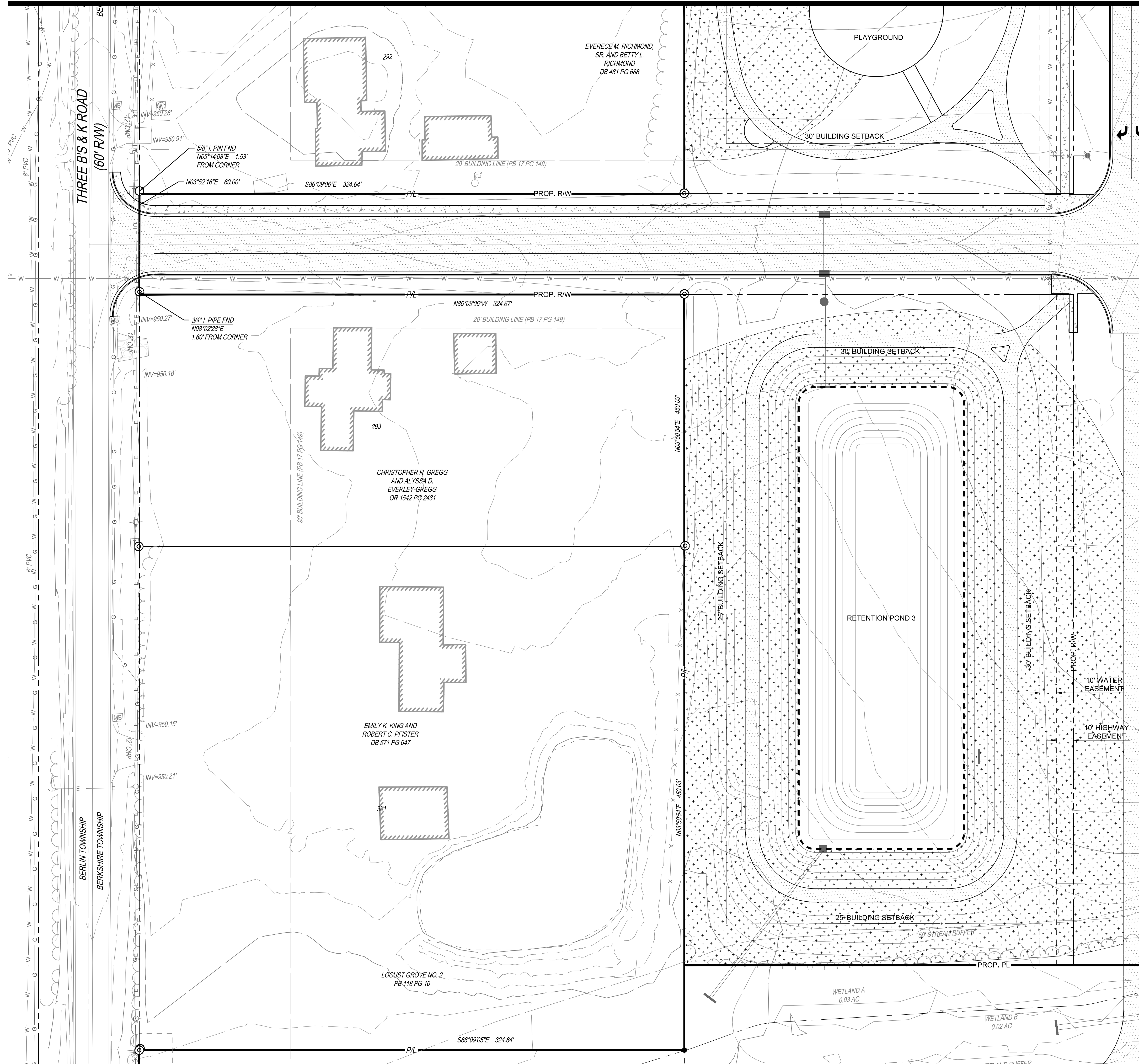
SHEET NO.

**22**





MATCHLINE SHEET 18



MATCHLINE SHEET 22

PLANTING NOTES  
 1. SEE SHEET 24 FOR PLANTING SCHEDULE, PLANTING NOTES, AND PLANTING DETAILS.

- LEGEND
- DECIDUOUS TREE, TYP.
  - ORNAMENTAL TREE, TYP.
  - MEADOW MIX
  - CONCRETE WALK
  - ASPHALT PAVEMENT
  - HD CONCRETE PAVEMENT

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SEAL:

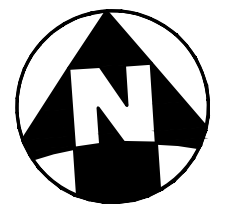
NO.	DATE	DESCRIPTION

**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

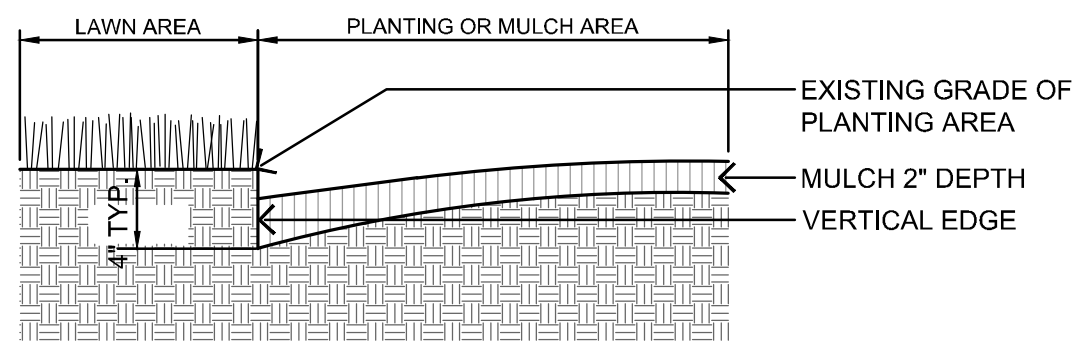
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 DATE: 04/23/2021  
 SCALE:

SHEET NAME:  
**LANDSCAPE PLAN**

SHEET NO.  
**23**



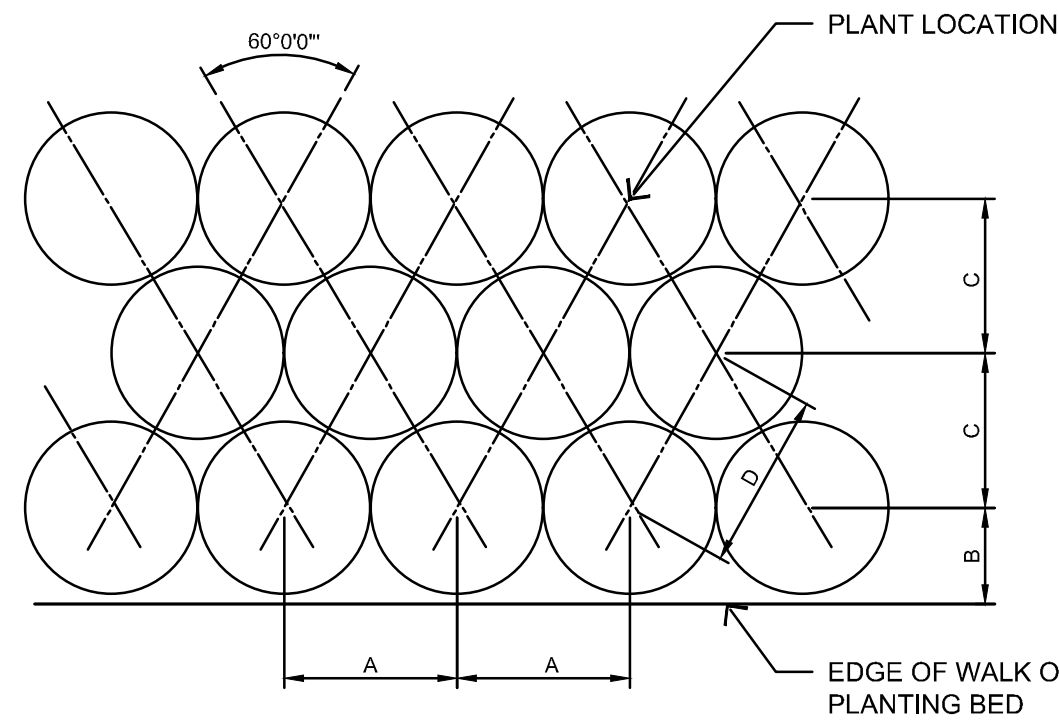




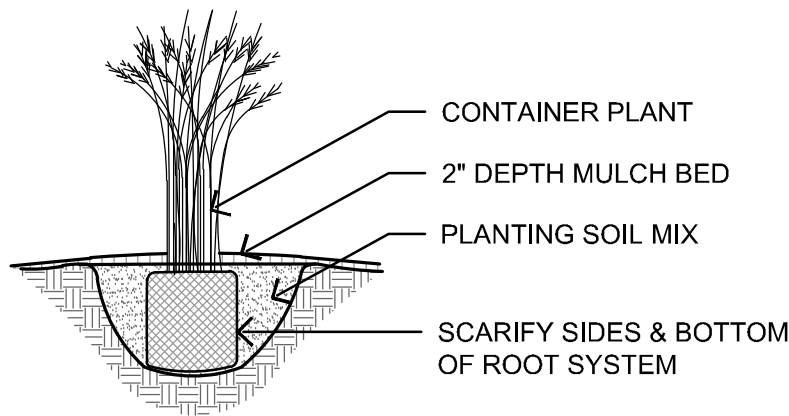
1 PLANTING BED EDGING DETAIL  
N.T.S.

SPACING	A	B	C	D
12"	12"	6"	10"	12"
18"	18"	8"	15"	18"
24"	24"	10"	20"	24"
30"	30"	15"	25"	30"
36"	36"	18"	31"	36"
48"	48"	21"	41"	48"

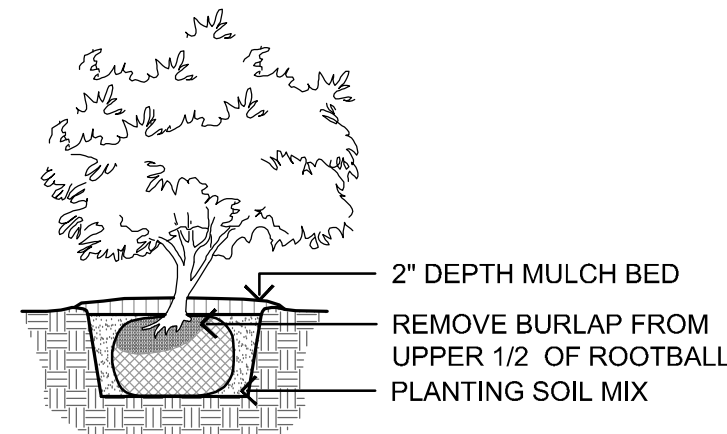
A = SPACING  
B = SP/2  
C = SP/1.2  
D = SPACING



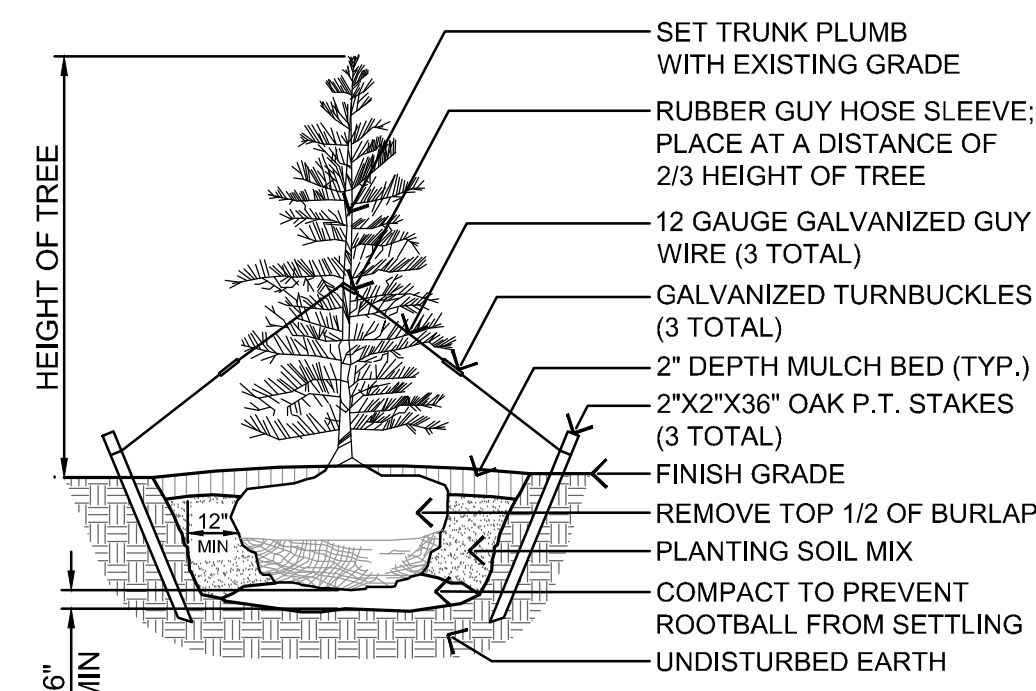
2 PERENNIAL SPACING  
N.T.S.



3 PERENNIAL / ORNAMENTAL GRASS PLANTING  
N.T.S.



4 SHRUB PLANTING  
N.T.S.



5 EVERGREEN TREE PLANTING  
N.T.S.

BERKSHIRE TOWNSHIP, OHIO LANDSCAPE ZONING REQUIREMENTS

	REQUIRED	PROPOSED
SECTION 16		
RIGHT-OF-WAY	ANY SURFACE PARKING AREAS ADJACENT TO AN EXISTING OR PLANNED RIGHT-OF-WAY SHALL BE SCREENED FROM THE RESPECTIVE RIGHT-OF-WAY WITH SHADE TREES HAVING A MINIMUM CALIPER OF TWO AND A HALF (2 1/2) INCHES FOR EVERY FORTY (40) LINEAL FEET OF ROAD FRONTAGE, AND SHALL BE LOCATED THREE (3) FEET OUTSIDE OF THE RIGHT-OF-WAY. THIS REQUIREMENT DOES NOT APPLY IN THE AREAS OF INGRESS AND EGRESS, OR TO EXISTING TREES WHICH ARE UNDISTURBED BY THE PROJECT.	PROVIDED
STREET TREES	TREES SHALL BE PLANTED AT A MINIMUM DISTANCE OF FORTY (40) FEET ALONG ALL INTERNAL PUBLIC STREETS. TREES SHALL BE OF DECIDUOUS SPECIES NORMALLY ATTAINING FULL-GROWN HEIGHT IN EXCESS OF FIFTY (50) FEET AND SHALL BE OF TWO (2) TO TWO AND A HALF (2 1/2) CALIPER OR GREATER AT THE TIME OF PLANTING. TREE LIMBS SHALL BE TRIMMED TO A HEIGHT OF FOURTEEN (14) FEET ABOVE ROADS AND EIGHT (8) FEET ABOVE SIDEWALKS AND TRAILS.	PROVIDED
PARKING LOT ISLANDS	INTERIOR TREE ISLANDS SHALL BE REQUIRED WITHIN PARKING LOTS AND SHALL BE OF SUFFICIENT NUMBER AND SIZE TO PROVIDE FOR A RATIO OF ONE (1) SHADE TREE FOR EVERY TWELVE (12) PARKING SPACES OR FRACTIONS THEREOF. EACH LANDSCAPED TREE ISLAND IN A SINGLE LOADED PARKING STALL SHALL HAVE A MINIMUM AREA OF ONE HUNDRED SIXTY-TWO (162) SQUARE FEET WITH A MINIMUM WIDTH OF NINE (9) FEET. EACH LANDSCAPED ISLAND IN A DOUBLE-LOADED PARKING STALL DESIGN SHALL HAVE A MINIMUM AREA OF THREE HUNDRED TWENTY-FOUR (324) SQUARE FEET, WITH A MINIMUM WIDTH OF NINE (9) FEET. PARKING LOT ISLANDS MAY BE COMBINED INTO ONE (1) OR MORE LARGER PARKING LOT ISLANDS, SO LONG AS THEY MEET THE AREA AND LANDSCAPING REQUIREMENTS OF THIS ZONING RESOLUTION AND ARE APPROVED AS PART OF THE DEVELOPMENT PLAN. ALL LANDSCAPED TREE ISLANDS SHALL CONTAIN AT LEAST ONE (1) SHADE TREE A MINIMUM OF TWO (2) INCHES IN CALIPER AND INCLUDE AT LEAST FIFTY (50) SQUARE FEET OF OTHER PLANT MATERIALS.  675 PARKING SPACES = 57 TREES	PROVIDED
SECTION 23	A CONTINUOUS (HAVING 100% OPACITY) PLANTING HEDGE, FENCE, WALL OF EARTH, WHICH WOULD ENCLOSE ANY SERVICE STRUCTURE ON ALL SIDES UNLESS SUCH STRUCTURE MUST BE FREQUENTLY MOVED, IN WHICH CASE SCREENING ON ALL BUT ONE SIDE IS REQUIRED. THE AVERAGE HEIGHT OF THE SCREENING MATERIAL SHALL BE ONE FOOT MORE THAN THE HEIGHT OF THE ENCLOSED STRUCTURE, BUT SHALL NOT BE REQUIRED TO EXCEED TEN FEET IN HEIGHT. WHENEVER A SERVICE STRUCTURE IS LOCATED NEXT TO A BUILDING WALL, PERIMETER LANDSCAPING MATERIAL OR VEHICULAR USE AREA LANDSCAPING MATERIAL, SUCH WALLS OR SCREENING MATERIAL MAY FULFILL THE SCREENING REQUIREMENTS FOR THAT SIDE OF THE SERVICE STRUCTURE IF THAT WALL OR SCREENING MATERIAL IS OF AN AVERAGE HEIGHT SUFFICIENT TO MEET THE HEIGHT REQUIREMENT SET OUT IN THIS SECTION. WHENEVER SERVICE STRUCTURES ARE SCREENED BY PLANT MATERIAL, SUCH MATERIAL MAY COUNT TOWARDS THE FULFILLMENT OF REQUIRED INTERIOR OR PERIMETER LANDSCAPING. NO INTERIOR LANDSCAPING SHALL BE REQUIRED WITHIN AN AREA SCREENED FOR SERVICE STRUCTURES.	DUMPSTER ENCLOSURES BY ARCHITECT

PLANTING NOTES

- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL PLANTING CONDITIONS FOR OBSTRUCTIONS, EXISTING TREE CANOPY COVERAGE, AND OVERHEAD ELECTRICAL POWER LINES PRIOR TO PLANTING. IF ADVERSE PLANTING CONDITIONS ARE OBSERVED, CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY.
- ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
- SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED.
- ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
- THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
- ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE APPROVED BY THE OWNER'S REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.

PLANT SCHEDULE (POSSIBLE PLANT SELECTIONS)

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES:					
ACE FRE	ACER x FREEMANII 'JEFFSRED'	AUTUMN BLAZE MAPLE	3" CAL. MIN.	B&B	
CER JAP	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	3" CAL. MIN.	B&B	
GIN BIL	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	3" CAL. MIN.	B&B	
GLE TRI	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	3" CAL. MIN.	B&B	
QUE ROB	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	3" CAL. MIN.	B&B	
QUE SHU	QUERCUS SHUMARDII	SHUMARD OAK	3" CAL. MIN.	B&B	
ZEL SER	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3" CAL. MIN.	B&B	
ORNAMENTAL TREES:					
AME GRA	AMELANCHIER x GRANDIFOLIA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	7' HT. MIN.	B&B	MULTI-STEM
CRA VIR	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	7' HT. MIN.	B&B	MULTI-STEM
MAG VIR	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	7' HT. MIN.	B&B	MULTI-STEM
PRU CER	PRUNUS CERASIFERA 'THUNDERCLOUD'	THUNDERCLOUD PLUM	2" CAL. MIN.	B&B	SINGLE STEM
TURFGRASS SEED / SOD AND MEADOW MIX: SEE SPECIFICATIONS					

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SEAL:

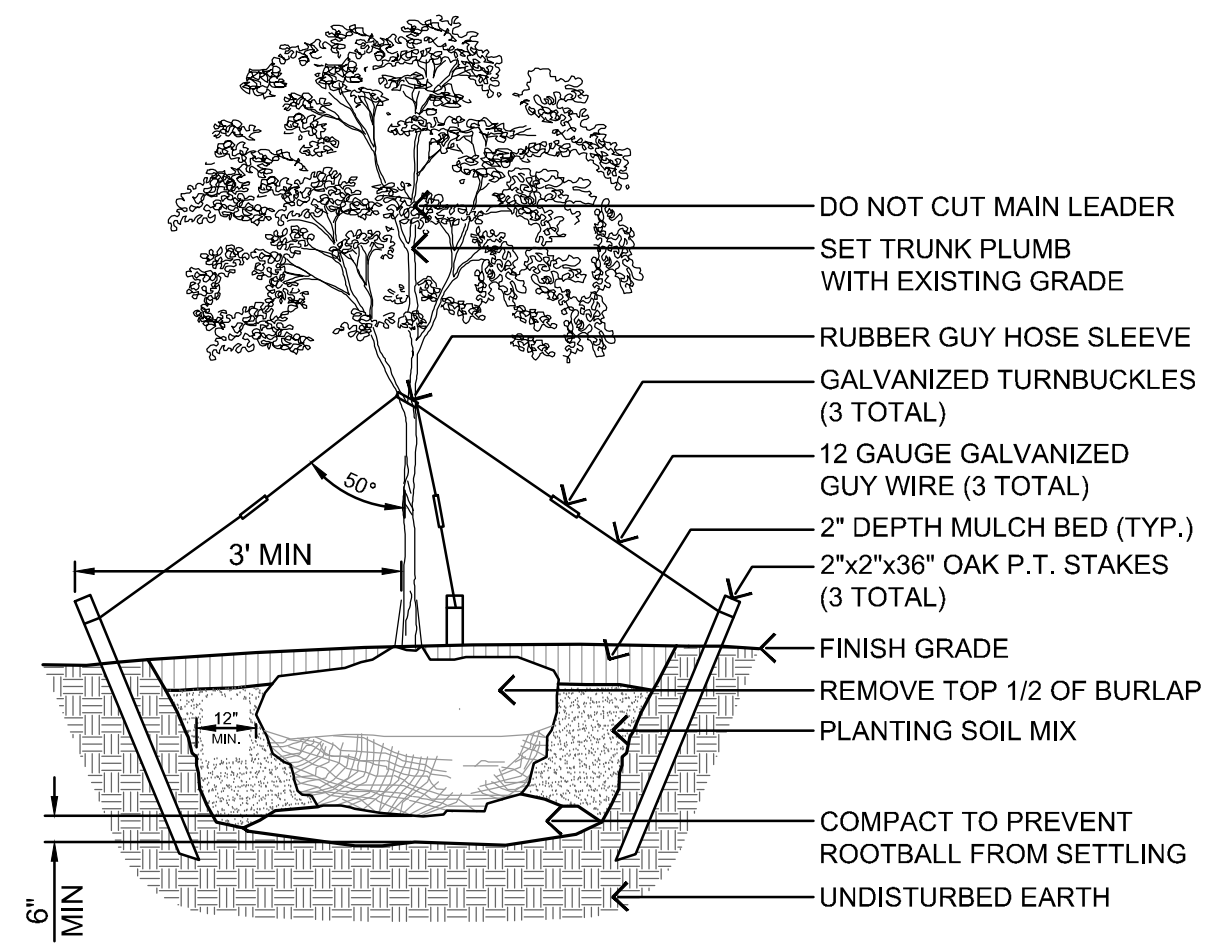
NO.	DATE	DESCRIPTION

**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078\_000  
DATE: 04/23/2021  
SCALE:

SHEET NAME:  
**LANDSCAPE NOTES & DETAILS**

SHEET NO.  
**24**



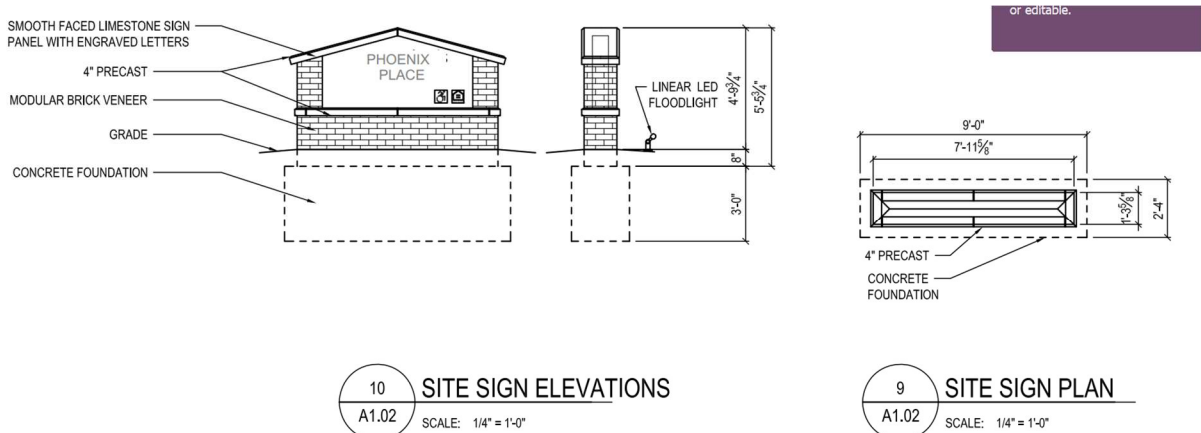
- NOTES:
- TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
  - REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
  - REMOVE GUY WIRES, TURNBUCKLES, HOSE AND STAKES 1 YEAR AFTER PLANTING.
  - THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.

6 DECIDUOUS TREE PLANTING  
N.T.S.

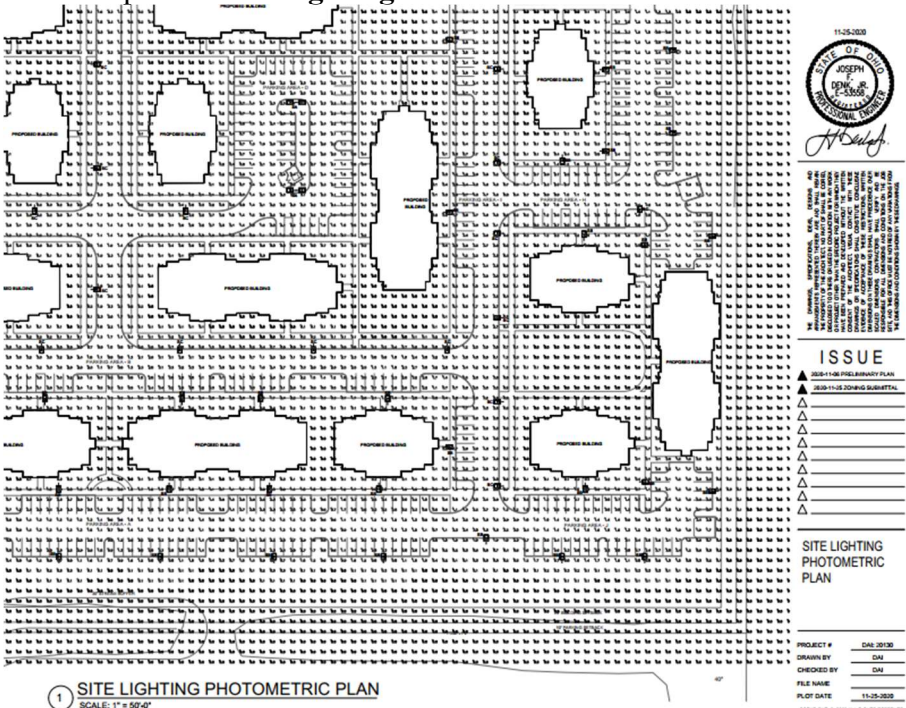


**16.06.B.4. - A detailed Signage and Exterior Lighting Plan shall be submitted with the Development Plan and shall be subject to approval as part of the Development Plan. We have also carefully reviewed the signage and exterior lighting plan and will meet or exceed the requirements. We plan on providing low profile LED luminaires that maximizes target zone illumination, while reducing light trespass issues. This project will meet the Green Enterprise building standards, which will provide for an energy efficient and sustainable project to help reduce the carbon footprint of the development. Our property sign will be brick, with 4” precast trim with a smooth faced limestone sign panel and engraved letters.**

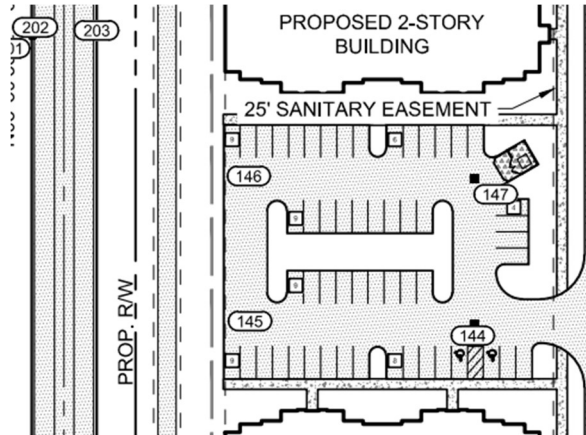
**a. Please See Sheets A1.02 of the Printed Architectural Plans (RDL) – Mail Kiosk Plans, Elevations and Signage.**



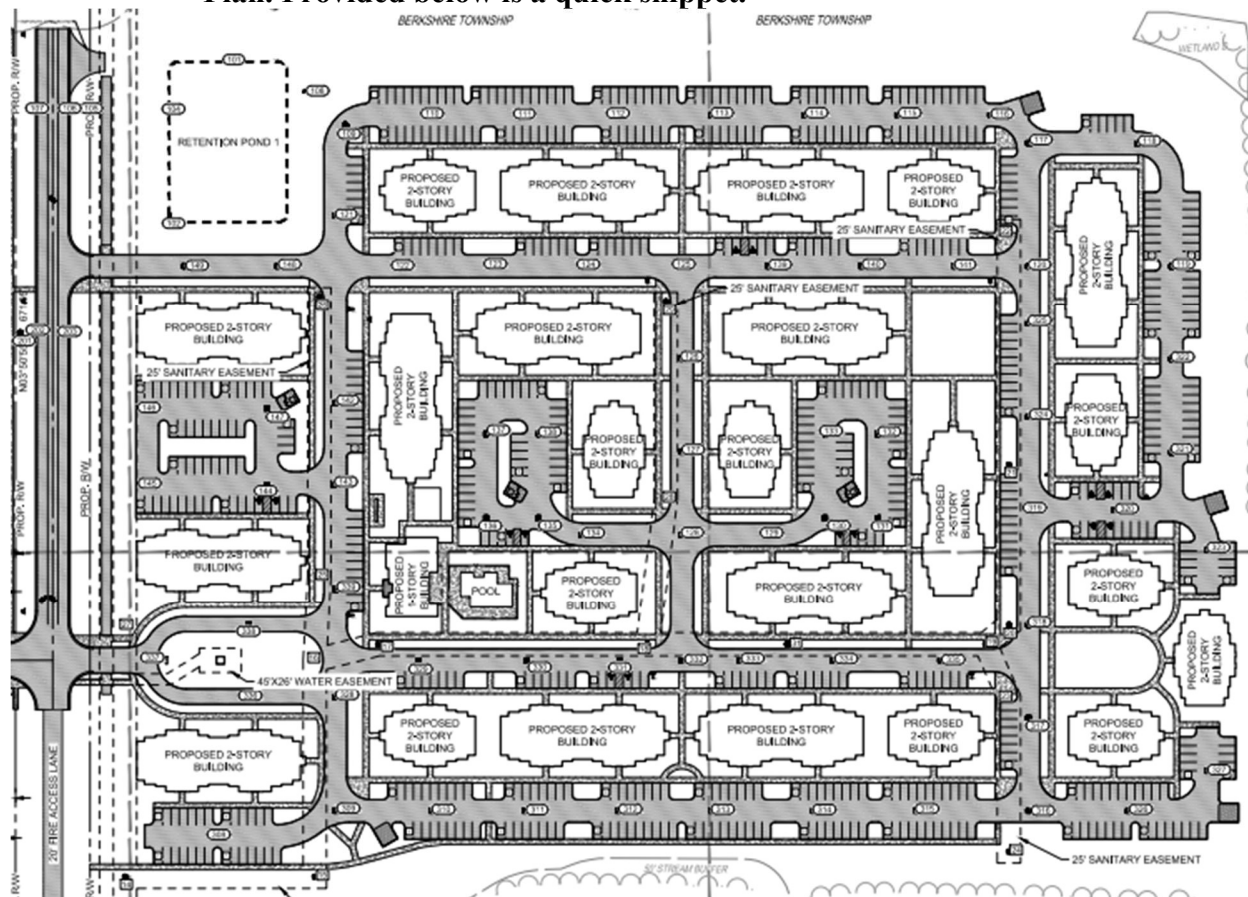
**b. The exterior lighting plans can be found on page ES.01 and ES.02 of the printed architectural plans - Site Lighting and Photometric Plan. See below for a highlighted section:**

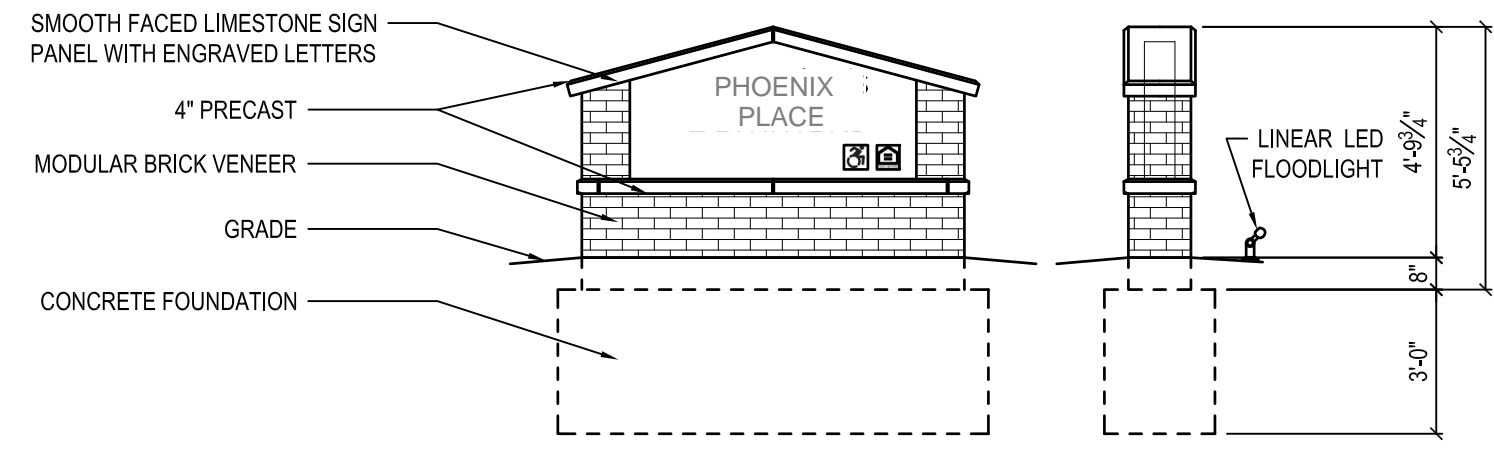


**16.06.B.5. - A detailed Parking and Loading Plan shall be submitted with the Development Plan and shall be subject to approval as part of the Development Plan.** The density requires 666 parking spaces, though we will be providing 675. We have also included wider parking isles to help the flow of internal traffic and provides easier turns to park. Please note the correction to the one parking bay that was originally over the setback lines.

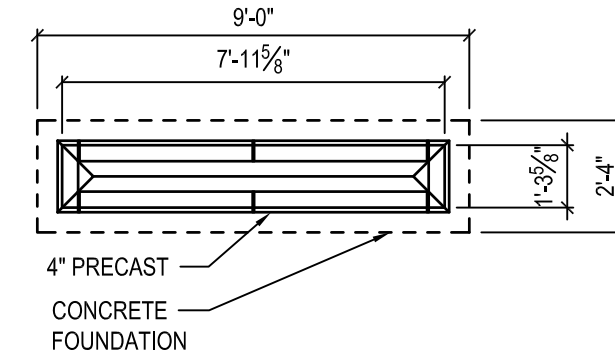


- a. Please See Sheets 2-8 of The Printed Engineering Plan (Kleingers) – Location Plan. Provided below is a quick snippet.

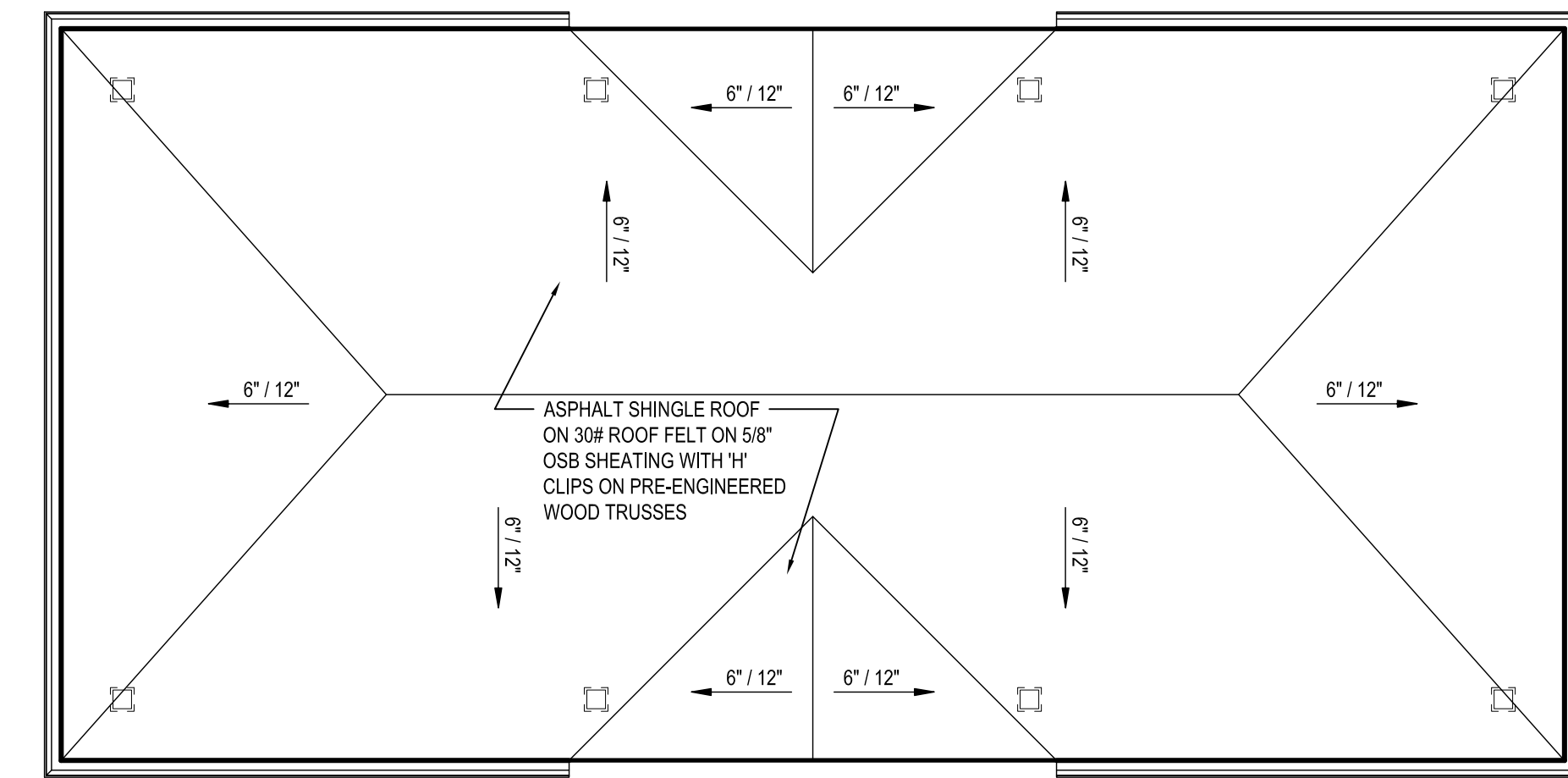




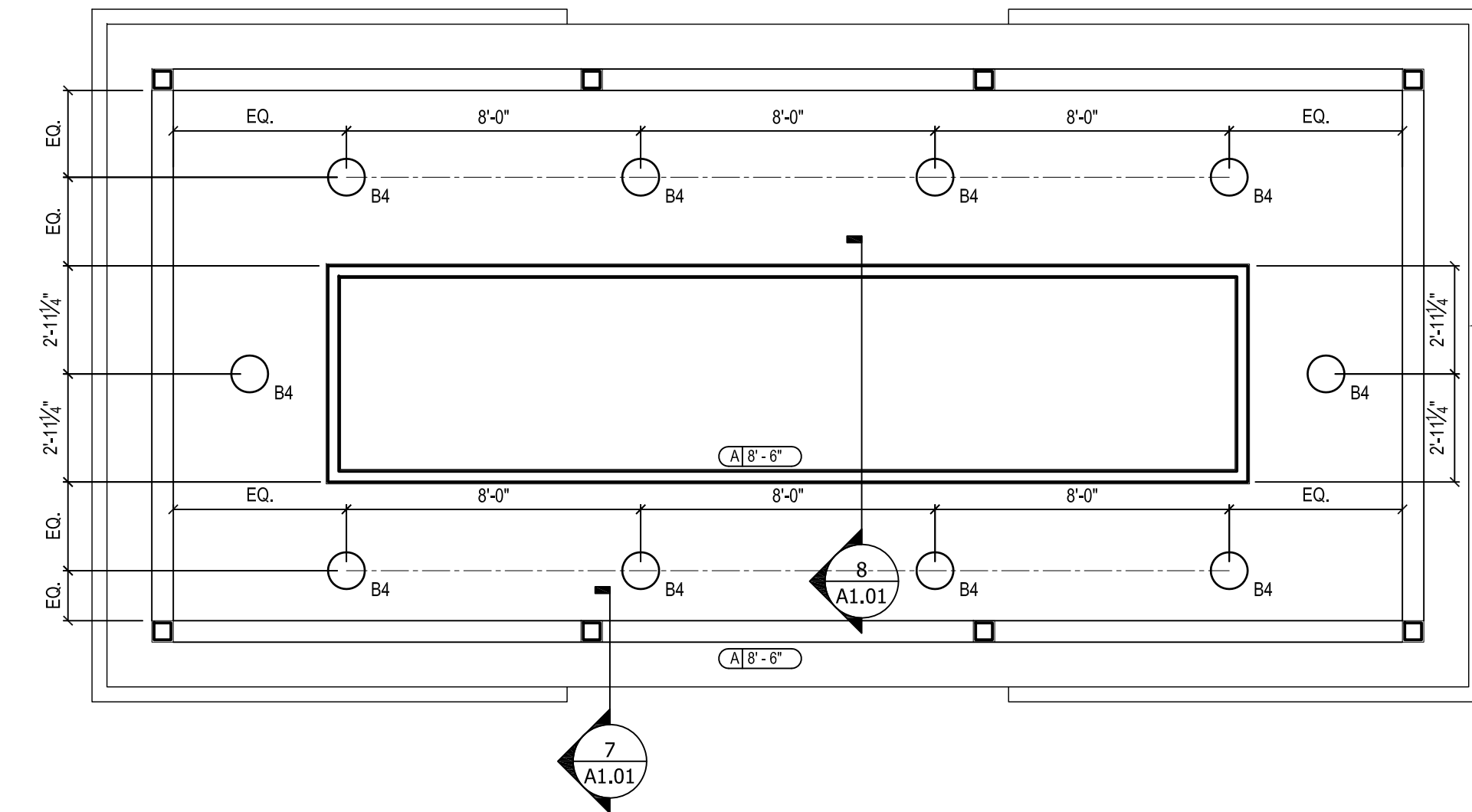
10 SITE SIGN ELEVATIONS  
A1.02 SCALE: 1/4" = 1'-0"



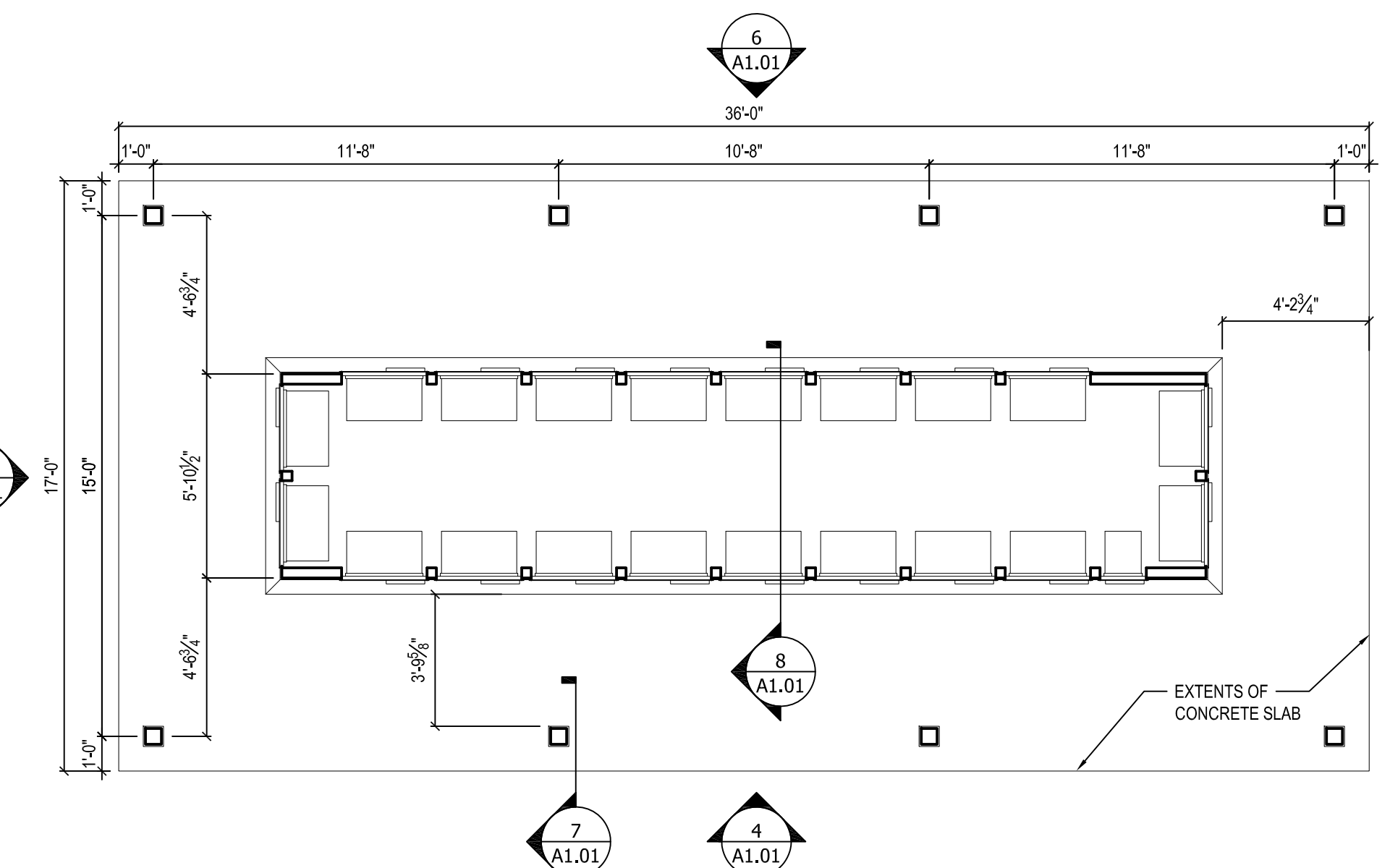
9 SITE SIGN PLAN  
A1.02 SCALE: 1/4" = 1'-0"



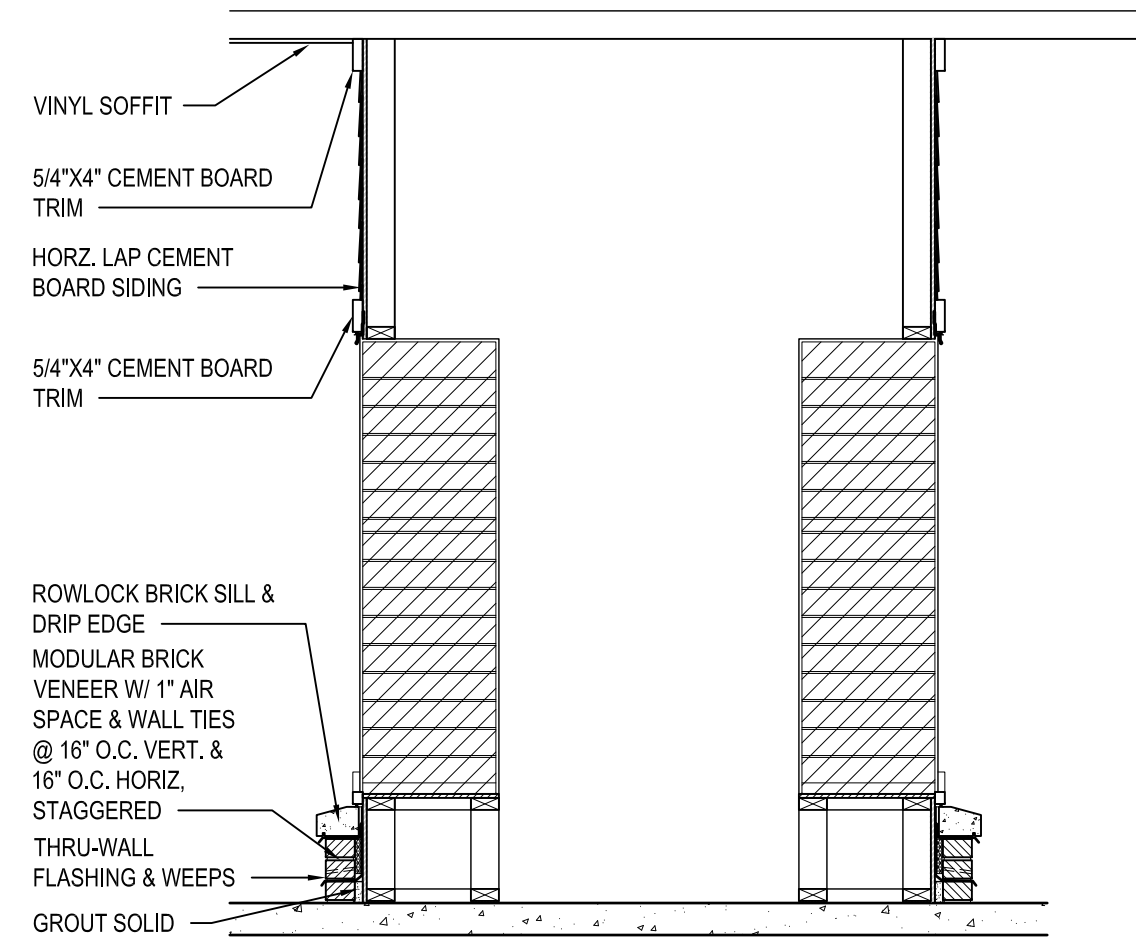
3 MAIL KIOSK ROOF PLAN  
A1.02 SCALE: 1/4" = 1'-0"



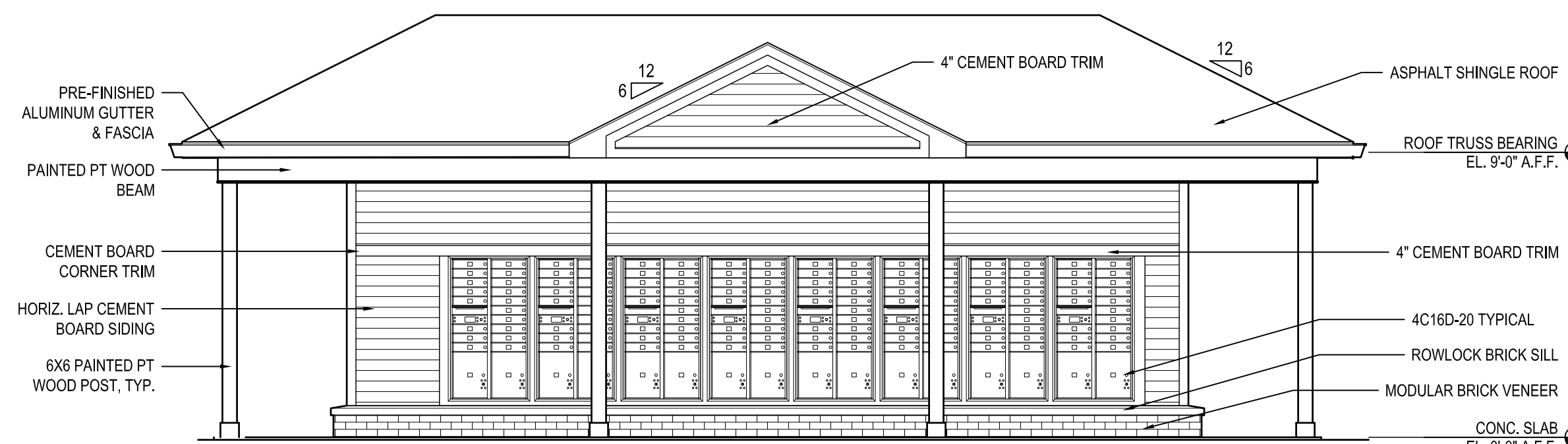
2 MAIL KIOSK REFLECTED CEILING PLAN  
A1.02 SCALE: 1/4" = 1'-0"



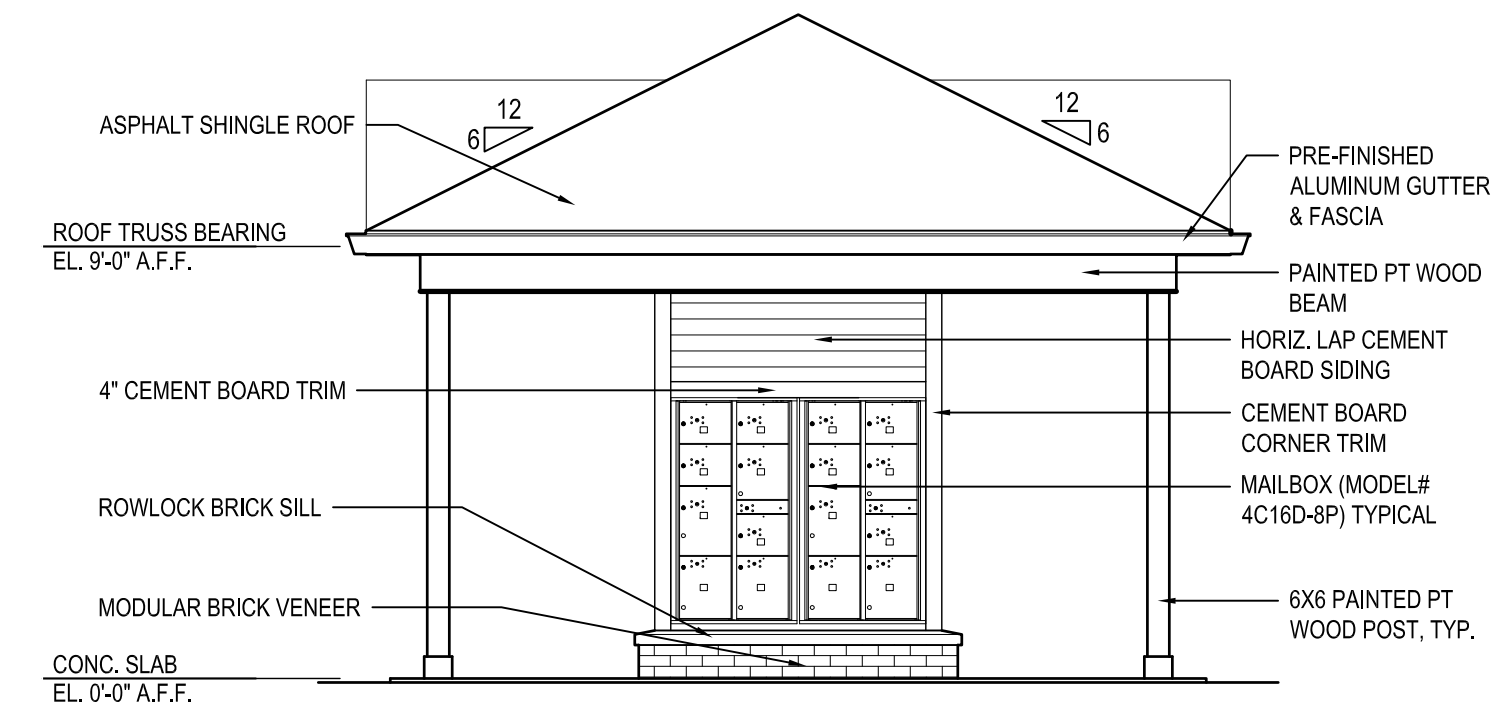
1 MAIL KIOSK PLAN  
A1.02 SCALE: 1/4" = 1'-0"



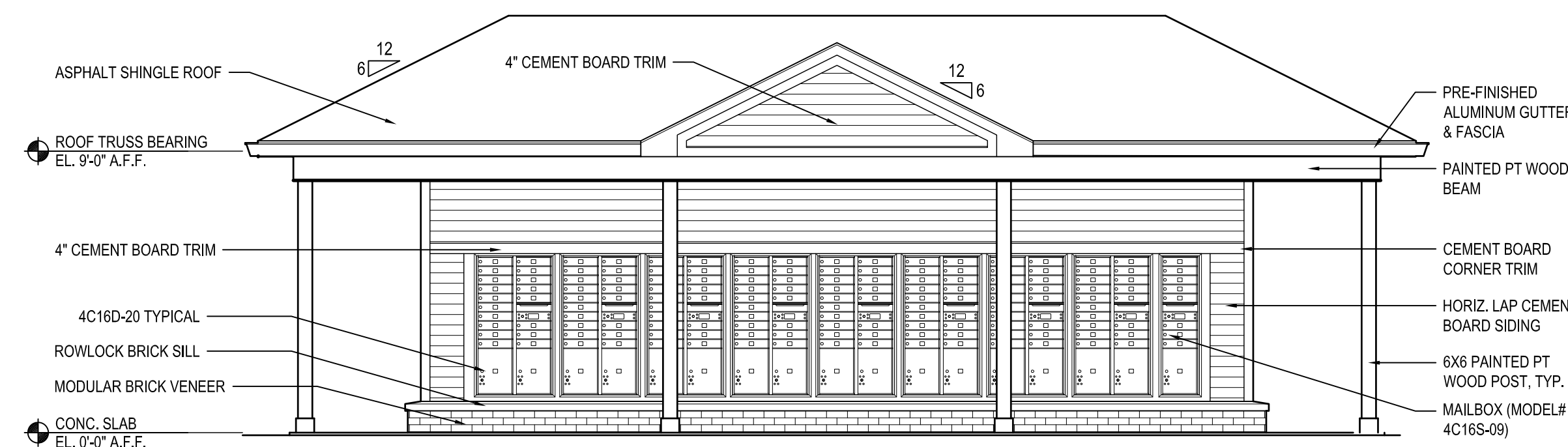
8 MAIL KIOSK SECTION  
A1.02 SCALE: 1/4" = 1'-0"



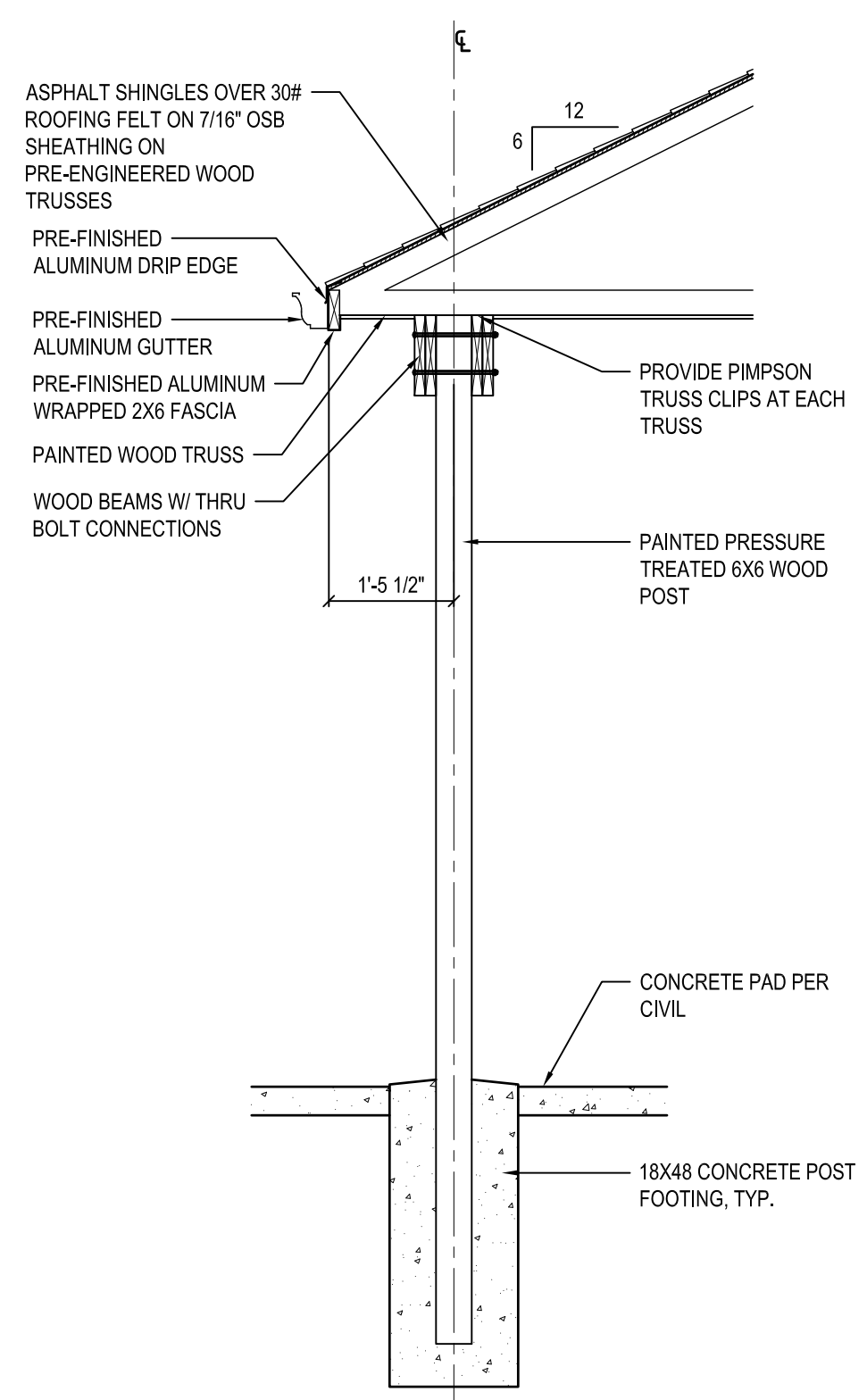
6 REAR MAIL KIOSK ELEVATION  
A1.02 SCALE: 1/4" = 1'-0"



5 SIDE MAIL KIOSK ELEVATION  
A1.02 SCALE: 1/4" = 1'-0"



4 FRONT MAIL KIOSK ELEVATION  
A1.02 SCALE: 1/4" = 1'-0"



7 MAIL KIOSK SECTION  
A1.02 SCALE: 1/2" = 1'-0"

THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF RDL ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF RDL ARCHITECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS.

**ISSUE**

- ▲ 2020-11-06 PRELIMINARY PLAN
- ▲ 2020-12-04 ZONING SUBMITTAL
- △
- △
- △
- △
- △
- △
- △
- △

**MAIL KIOSK PLANS, ELEVATIONS & SIGNAGE**

1/4" = 1'-0"

PROJECT # 19043  
DRAWN BY  
CHECKED BY RDL  
FILE NAME  
PLOT DATE December 4, 2020

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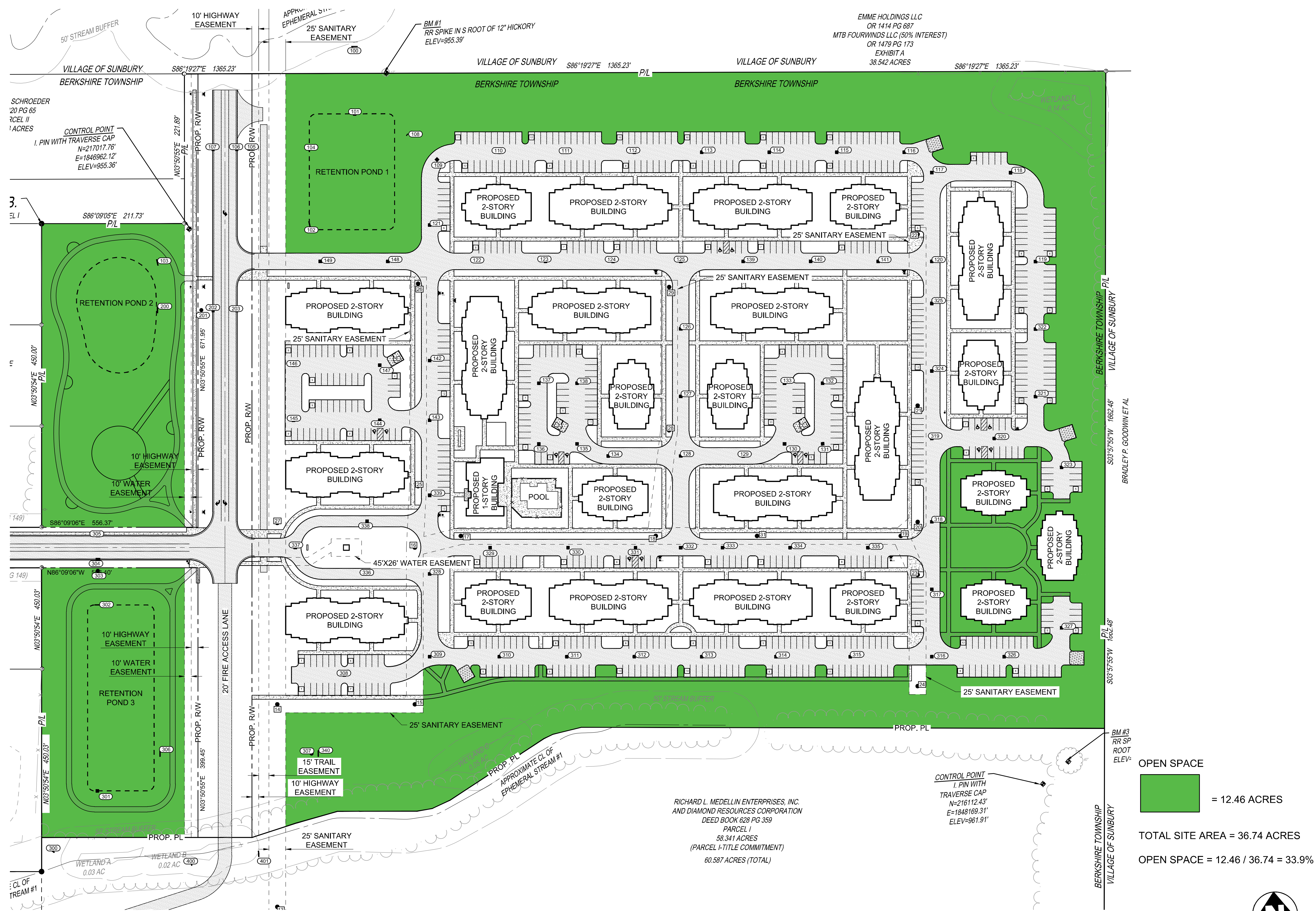
**A1.02**



**16.06.B.6. - An explanation of the method/structure and proposed documentation and instruments to be used in order to perpetually own, maintain, and preserve the Open Space, as required, that is unified and permanently protected. The location, size, and proposed use(s) of all Open Spaces shall be detailed.** We plan to retain ownership of the Open Space (private ownership) and maintain all Open Space through ongoing landscaping contracts that will be funded by ongoing operations at the apartment buildings. Currently we have budgeted \$50,000 per year for landscaping that will include mowing lawns, trimming shrubs, trimming trees, snow removal, mulching, and lawn fertilization. We also have budgeted \$50,000 for ongoing property repairs that would include any damage to landscaping. In addition to this, we have budgeted \$300 per unit per year replacement reserves that will be set aside for unforeseen repairs to the property. This amounts to almost \$190,000 per year that could go towards preserving and maintaining open space. We are a long-term owner/operator of multifamily apartment communities and we plan to own this property for at least 15 years, though we have owned some of our properties for 50+ years. We are excited to become a long-term member of the Berkshire Community and will maintain the property as such.

This Open Space will be preserved through the zoning approval process. Since all of our proposed Open Space is onsite, any changes to the land will need to get additional zoning approval, so the zoning board will be able to review any proposed changes. These will be permanently protected through building setback requirements.





EMME HOLDINGS LLC  
OR 1414 PG 687  
MTB FOURWINDS LLC (50% INTEREST)  
OR 1479 PG 173  
EXHIBIT A  
38.542 ACRES

RICHARD L. MEDELLIN ENTERPRISES, INC.  
AND DIAMOND RESOURCES CORPORATION  
DEED BOOK 628 PG 359  
PARCEL I  
58.341 ACRES  
(PARCEL I-TITLE COMMITMENT)  
60.587 ACRES (TOTAL)

OPEN SPACE  
= 12.46 ACRES

TOTAL SITE AREA = 36.74 ACRES

OPEN SPACE = 12.46 / 36.74 = 33.9%

**THE KLEINGERS GROUP**

CIVIL ENGINEERING    www.kleingers.com  
SURVEYING            350 Worthington Rd  
LANDSCAPE            Suite B  
ARCHITECTURE        Westerville, OH 43082  
614.882.4311

SEAL:

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

**PHOENIX PLACE**  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078.000  
DATE: 04/23/2021  
SCALE: NOT TO SCALE

SHEET NAME:

**OPEN SPACE EXHIBIT**





**Berkshire Township Zoning Resolution, Section 16.06(C) Develop Plan Contents**

**16.06.C.1 - Proposed name of the development and its location.**

**Phoenix Place.**

The project is located on the southwest corner of interstate 71 and US36/SR37, about half a mile south of US36/SR37 just off South Three B's and K Road. Please see the map below for the site location.



**16.06.C.2. - Names and addresses of applicant, owners and developers. Also, the names and mailing addresses of all owners of property within and contiguous to and directly across the street from the area proposed for 36/37 PMUD approval shall be provided.**

**Applicant/Owners/ Developers:**

Brian Coate, Dublin Capital Group, 715 Shawan Falls Drive, #693, Dublin, OH 43017

John Leonard, Wallick Communities, 160 W. Main Street #200, New Albany, OH 43054

**Contiguous Landowners:**

EMME Holdings, LLC/MTB Fourwinds LLC, 545 Metro Place, Dublin, OH 43017

Audre M Goodwin, 5631 Wynnburne Ave, Cincinnati, OH 45238

Emily King & Robert Pfister, 615 S Three B's and K Rd, Galena, OH 43021

Christopher, Everly, Alyssa Gregg, 591 S Three B's and K Rd, Galena, OH 43021

Everece & Betty Richmond, 515 S Three B's and K Rd, Galena, OH 43021

Tom & Carla Moore, 495 S Three B's and K Rd, Galena, OH 43021

Boris and Lyudmila Greysman, 461 S Three B's and K Rd, Galena, OH 43021

Amanda Schroeder, 399 S Three B's and K Rd, Galena, OH 43021


Frank & Sandra Biancone, 145 N. Union St, Delaware, OH 43015

16.06.C.3. - Date, north arrow and Plan scale. Scale shall be one inch equals one hundred feet (1"= 100') or larger scale.

- a. The Date, North Arrow and Plan Scale are shown at the bottom right of the printed Engineering and Architectural Pages. Please see below for reference:

NOTES

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL STANDARD PARKING SPACES ARE 9'W x 20'L.
4. ALL ADA SPACES ARE 8'W x 20'L.
5. SITE RADII ARE DESIGNED TO ACCOMMODATE EMERGENCY AND FIRE-FIGHTING APPARATUS.

<b>PHOENIX PLACE</b> FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML TOWNSHIP OF BERKSHIRE COUNTY OF DELAWARE, OHIO	
PROJECT NO:	200078.000
DATE:	02/24/2021
SCALE:	
SHEET NAME:	<b>LOCATION PLAN</b>
SHEET NO.	<b>2</b>



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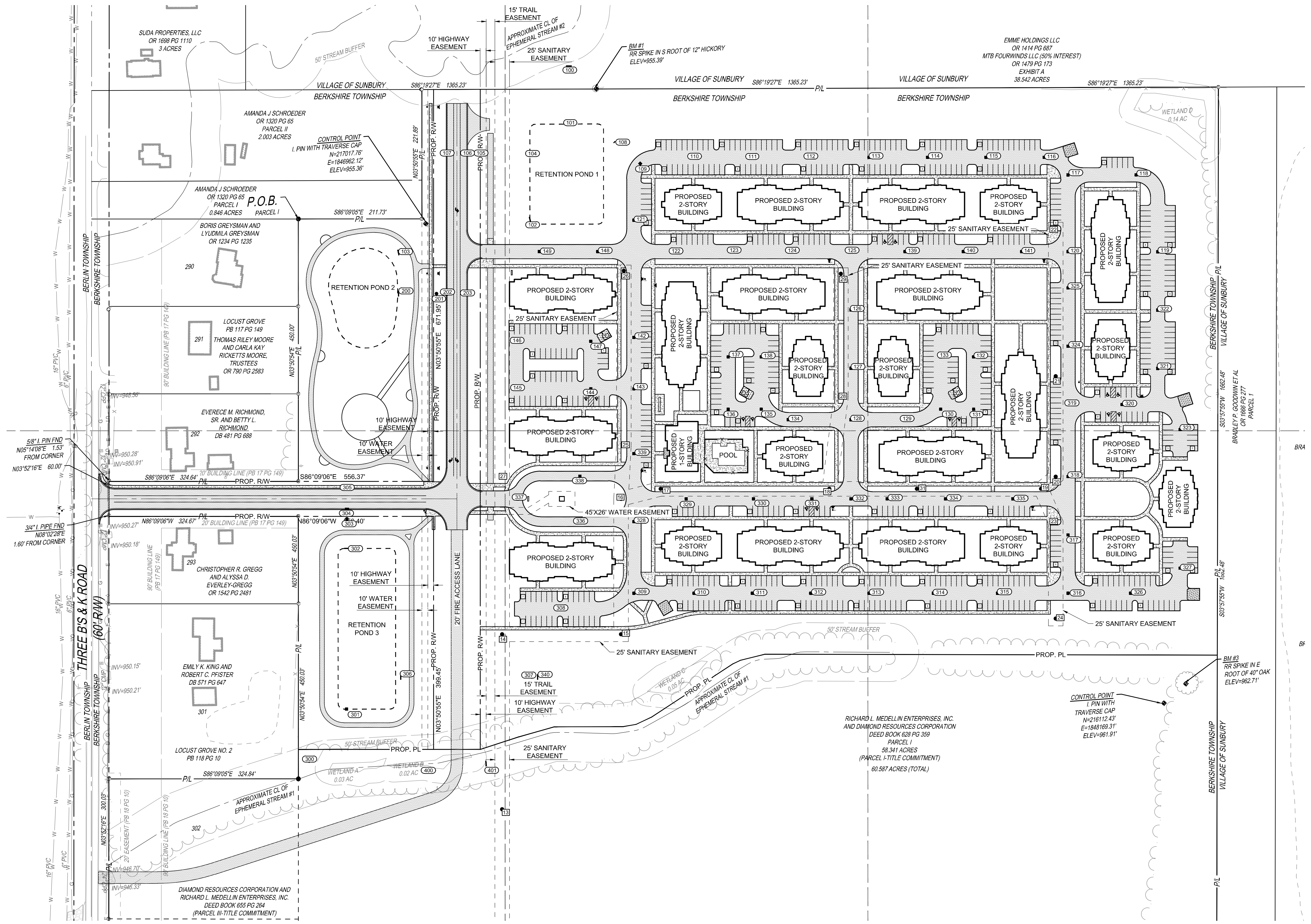
**16.06.C.4. - A list, description and location of the precise uses proposed for the development and phases for construction, if any. Listed uses shall be defined by their 2012 NAICS Code Classification provided, however, that proposed Residential Uses shall be generically requested and described. Any listed use may be limited to specific areas delineated in the Development Plan. If the proposed timetable for development includes developing the property in phases, all phases to be developed after the first shall be fully described in textual form in a manner calculated to give Township officials definitive guidelines for approval of future phases.**

We plan on developing the apartment project in one phase. Our development timeline is being driven by the zoning and permitting process of Berkshire Township and Delaware County, so we are planning to close on the land and start construction as soon as we receive the necessary approvals. Based on our expected timelines for this process, we expect to start construction in the 3<sup>rd</sup> or 4<sup>th</sup> quarter of 2021. We expect the first residents to move in in approximately 9 months after construction begins. We are planning for construction completion to be around 16 months. Multifamily housing does not have a NAICS code, but we will meet the definition of Multi-Family Dwelling in the Berkshire Zoning Resolution. As part of our platting process, we do expect to keep the southern portion of the land in its current use (farmland). Since the southern portion of our land will abut the new freeway interchange that has not been finalized, Delaware County Engineering has been recommended we not finalize the placement of the extension of Fourwinds Drive. For this reason, we do not have any plans for this portion of the land. Once the freeway interchange plans are finalized, we will explore future options for this land and will be sure to provide the necessary plans and approvals at that time.

**16.06.C.5. - Locations, widths and names of all existing public streets or other public ways, railroad and utility rights of way or easements, parks and other public Open Spaces, permanent structures, and section and corporation lines within or adjacent to the tract.**

- a) **Please See Sheets 2-9 of The Printed Engineering Plan (Kleingers) – Location Plan.** This plan shows existing streets, proposed streets, utility rights, permanent structures and adjacent land.
- b) Please see the attached **Survey** that shows existing utility rights and easements. We don't see any issues that would hinder our ability to execute our development plan. The development will have two proposed access drives onto Fourwinds Drive – a north/south major collector road that will be extended through the development site on the western side of the property. Eventually Fourwinds Drive will connect to US36/SR 37 to the north and to a future proposed Sunbury Parkway to the south; however, those connections are not on the development property nor on property within the control of the developer. Until the Fourwinds Drive connection to the north and/or south is completed by others this development will access the existing public roadway, 3B's&K Road, via a planned east west connector drive as shown on the development plan. The east west connector will remain, though we expect the traffic counts to dramatically decrease once Fourwinds Drive is completed.





**THE KLEINGERS GROUP**

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com  
350 Worthington Rd  
Suite B  
Westerville, OH 43082  
614.882.4311

SEAL:

BRENDAN M. FLEMING  
E-81971  
REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	DESCRIPTION

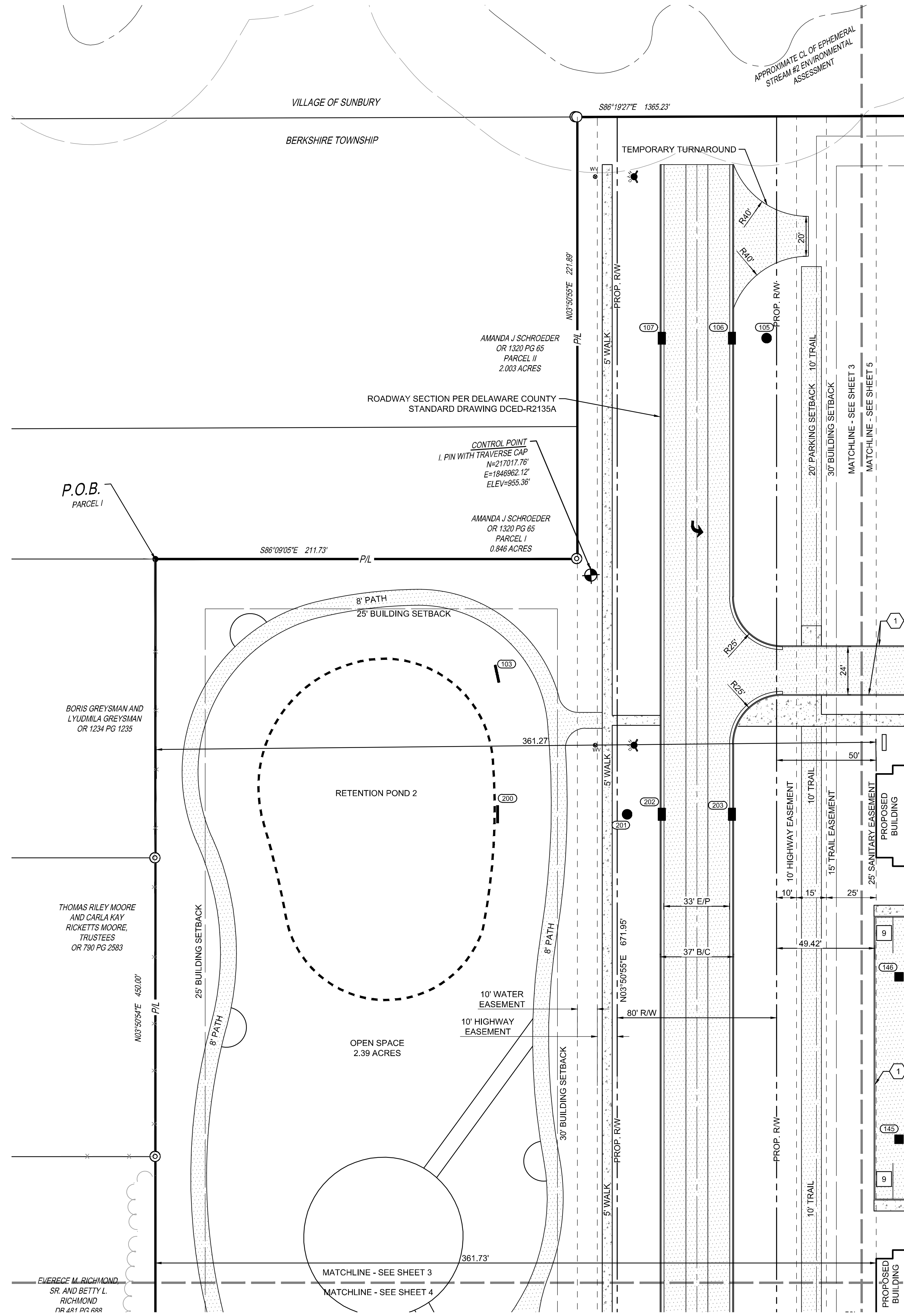
**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO.	200078.000
DATE	04/23/2021
SCALE	
SHEET NAME	OVERALL LOCATION PLAN
SHEET NO.	2



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**PROPOSED LEGEND**

- CATCH BASIN
- HEADWALL
- MANHOLE
- CURB INLET
- SANITARY MANHOLE
- WATER VALVE
- FIRE HYDRANT
- ASPHALT PAVEMENT
- CONCRETE WALK
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED PARKING COUNT
- PROPOSED POND

**CODED NOTES**

- 6' FULL HEIGHT CURB

**NOTES**

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL STANDARD PARKING SPACES ARE 9'W x 20'L
4. ALL ADA SPACES ARE 8'W x 20'L.
5. SITE RADII ARE DESIGNED TO ACCOMMODATE EMERGENCY AND FIRE-FIGHTING APPARATUS.
6. ALL EDGES OF PAVEMENT SHALL HAVE 6" FULL HEIGHT CURB.

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 350 Worthington Rd Suite B Westerville, OH 43082 614.882.4311

SEAL:

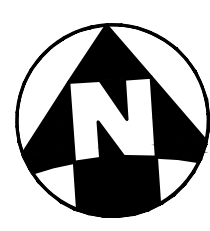
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

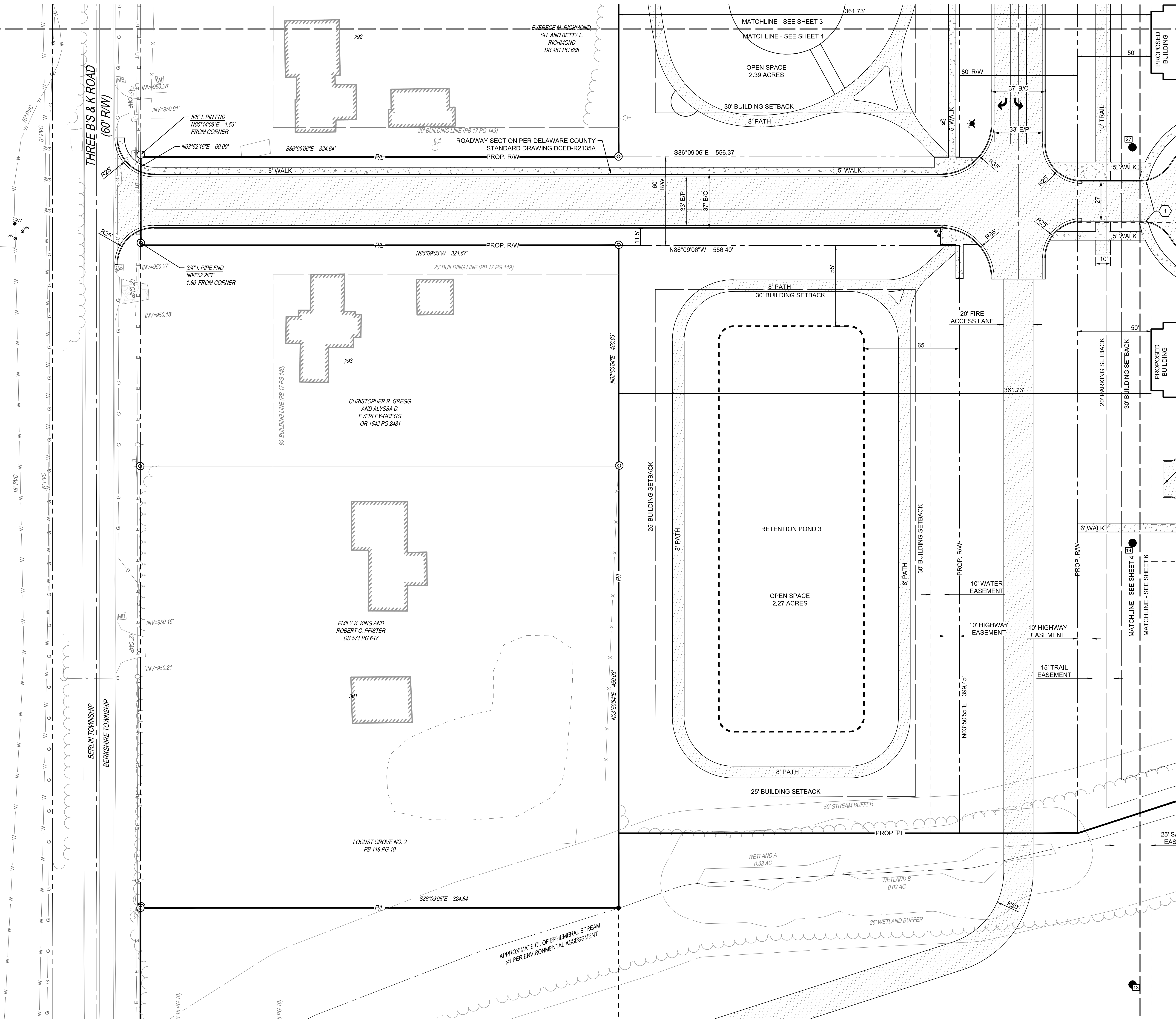
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DATE:	04/23/2021
SCALE:	

SHEET NAME:  
**LOCATION PLAN**

SHEET NO.  
**3**







**THE KLEINGERS GROUP**

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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SEAL:

NO.	DATE	DESCRIPTION

**PHOENIX PLACE**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

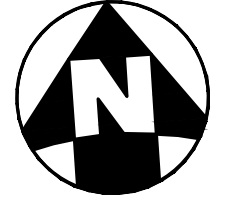
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DATE: **04/23/2021**

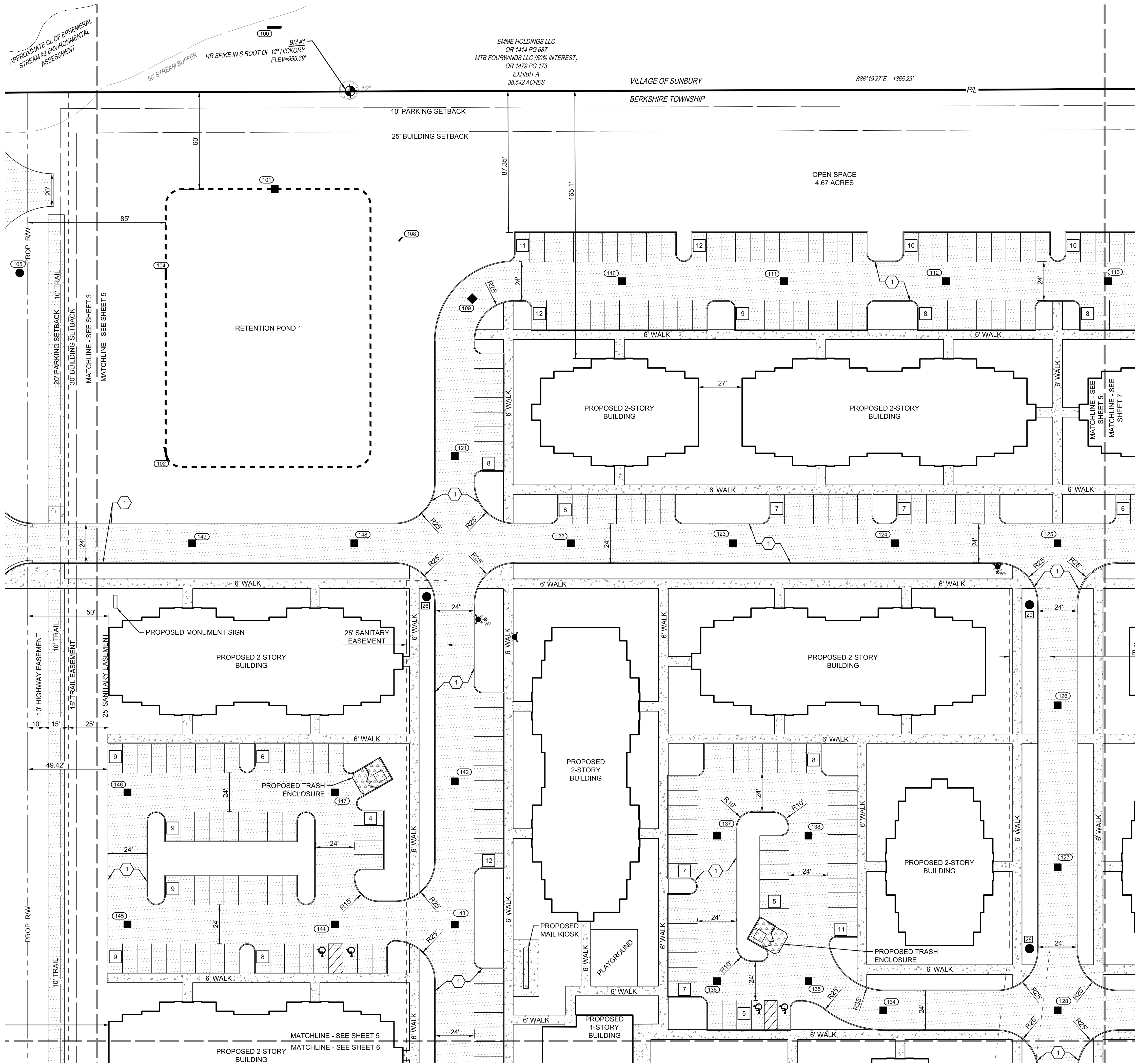
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SHEET NAME:  
**LOCATION PLAN**

SHEET NO.  
**4**







**PROPOSED LEGEND**

- CATCH BASIN
- HEADWALL
- MANHOLE
- CURB INLET
- SANITARY MANHOLE
- WATER VALVE
- FIRE HYDRANT
- ASPHALT PAVEMENT
- CONCRETE WALK
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED PARKING COUNT
- PROPOSED POND

**CODED NOTES**

- 6' FULL HEIGHT CURB

**NOTES**

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4. ALL ADA SPACES ARE 8'W x 20'L.
5. SITE RADII ARE DESIGNED TO ACCOMMODATE EMERGENCY AND FIRE-FIGHTING APPARATUS.
6. ALL EDGES OF PAVEMENT SHALL HAVE 6" FULL HEIGHT CURB.

**THE KLEINGERS GROUP**  
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 350 Worthington Rd Suite B Westerville, OH 43082 614.882.4311

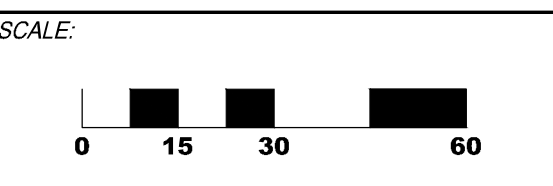
SEAL:

BRENDAN M. FLEMING  
 E-81971  
 REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	DESCRIPTION

**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

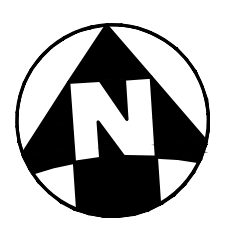
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 DATE: 04/23/2021



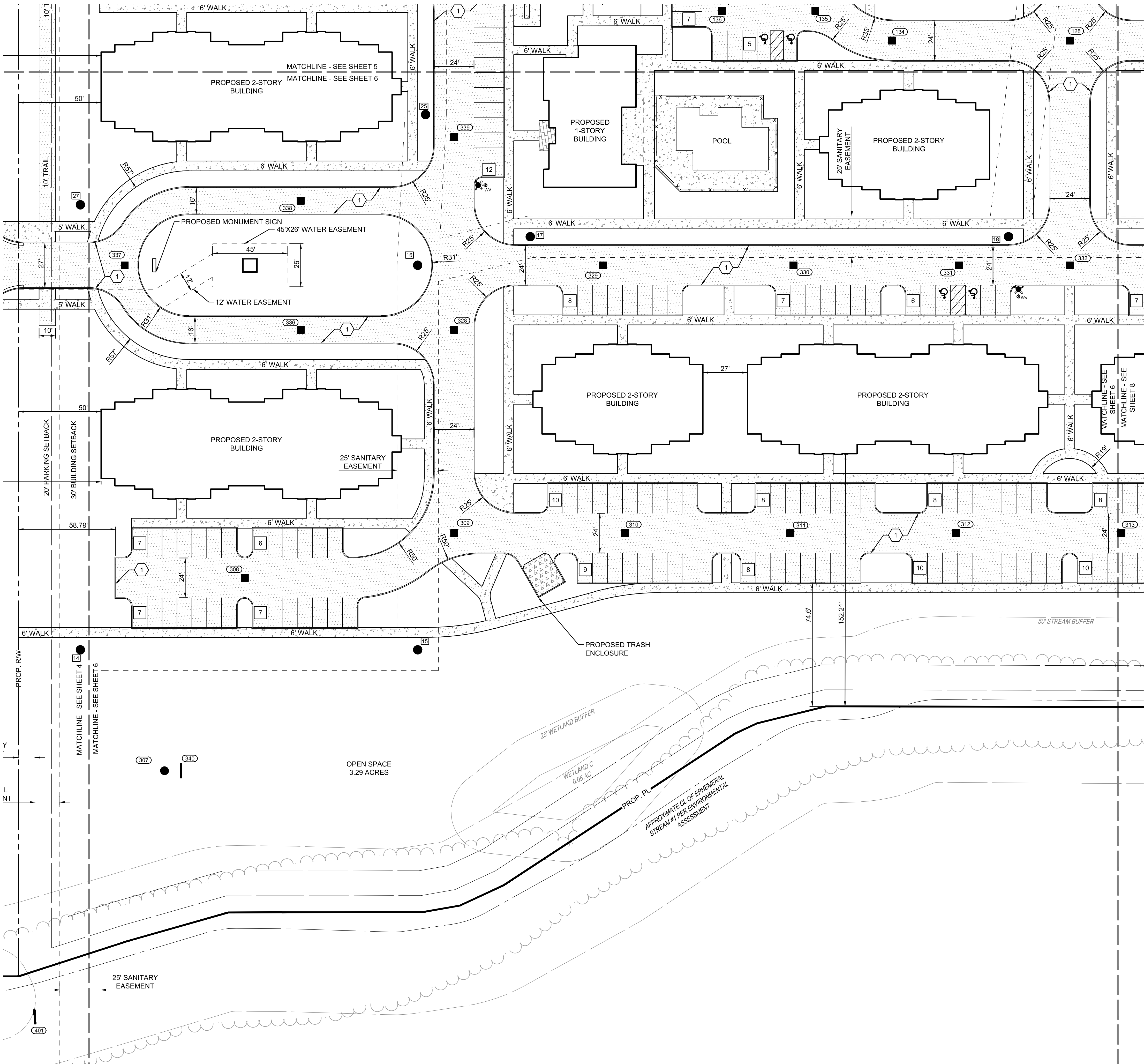
SHEET NAME:

**LOCATION PLAN**

SHEET NO.  
**5**







**PROPOSED LEGEND**

- CATCH BASIN
- HEADWALL
- MANHOLE
- CURB INLET
- SANITARY MANHOLE
- WATER VALVE
- FIRE HYDRANT
- ASPHALT PAVEMENT
- CONCRETE WALK
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED PARKING COUNT
- PROPOSED POND

**CODED NOTES**

- 6' FULL HEIGHT CURB

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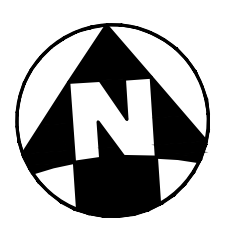
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO.	200078,000
DATE	04/23/2021
SCALE:	


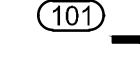

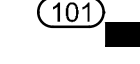
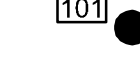







SHEET NAME:  
**LOCATION PLAN**

SHEET NO.  
**6**



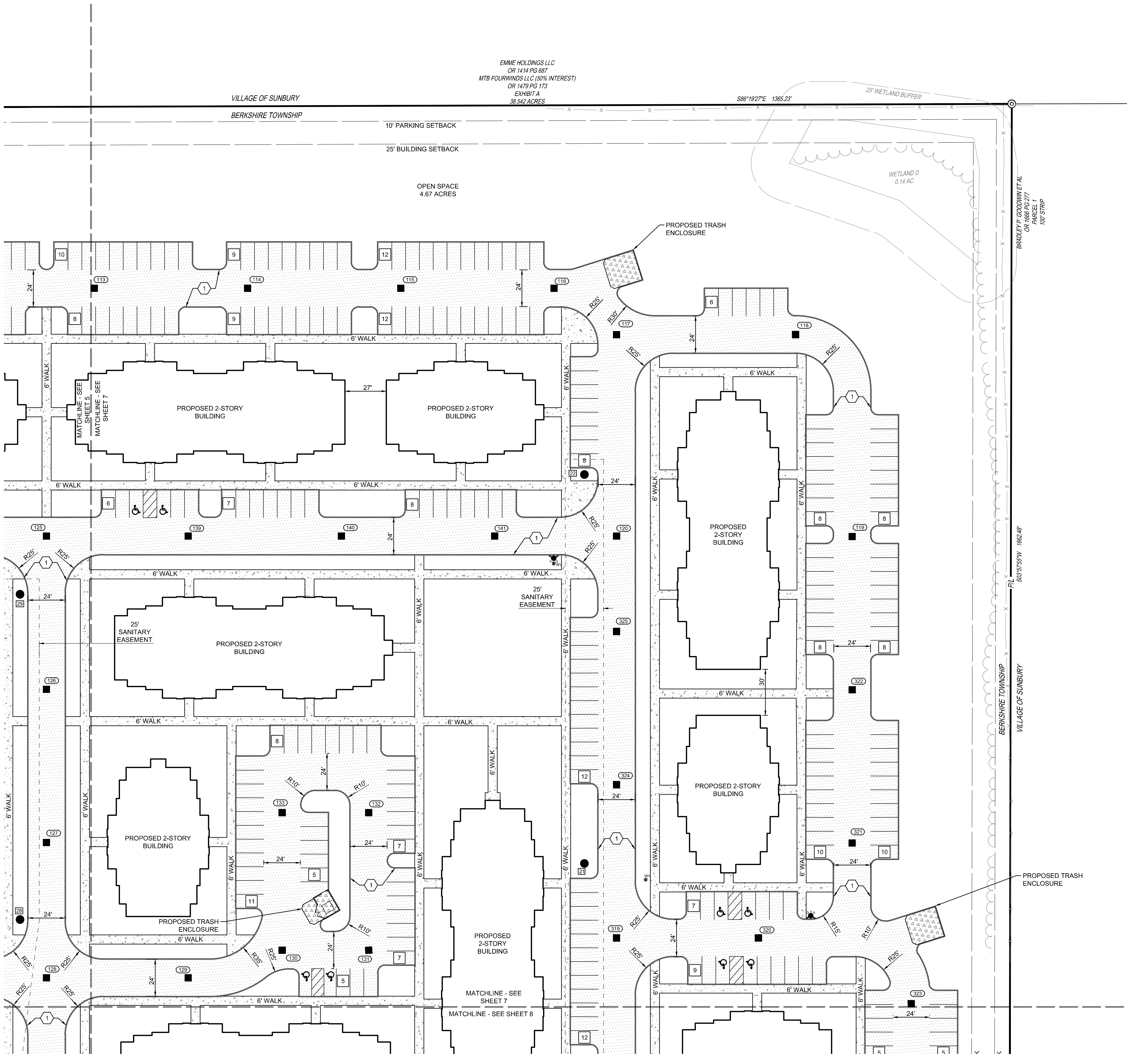


**PROPOSED LEGEND**

-  CATCH BASIN
-  HEADWALL
-  MANHOLE
-  CURB INLET
-  SANITARY MANHOLE
-  WATER VALVE
-  FIRE HYDRANT
-  ASPHALT PAVEMENT
-  CONCRETE WALK
-  HEAVY DUTY CONCRETE PAVEMENT
-  PROPOSED PARKING COUNT
-  PROPOSED POND

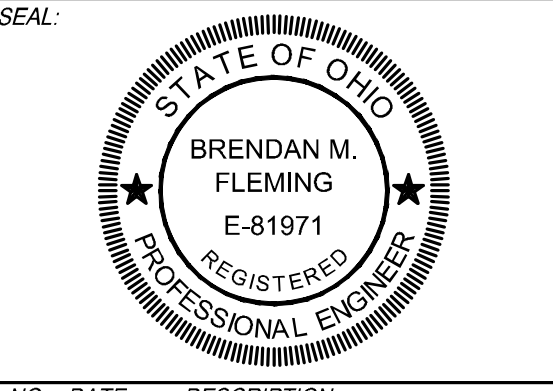
**CODED NOTES**

-  1 6" FULL HEIGHT CURB



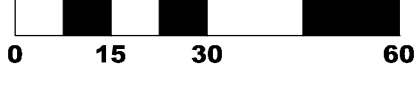
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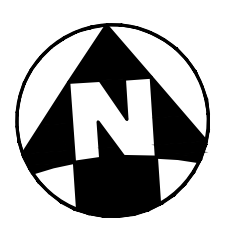
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**PHOENIX PLACE**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

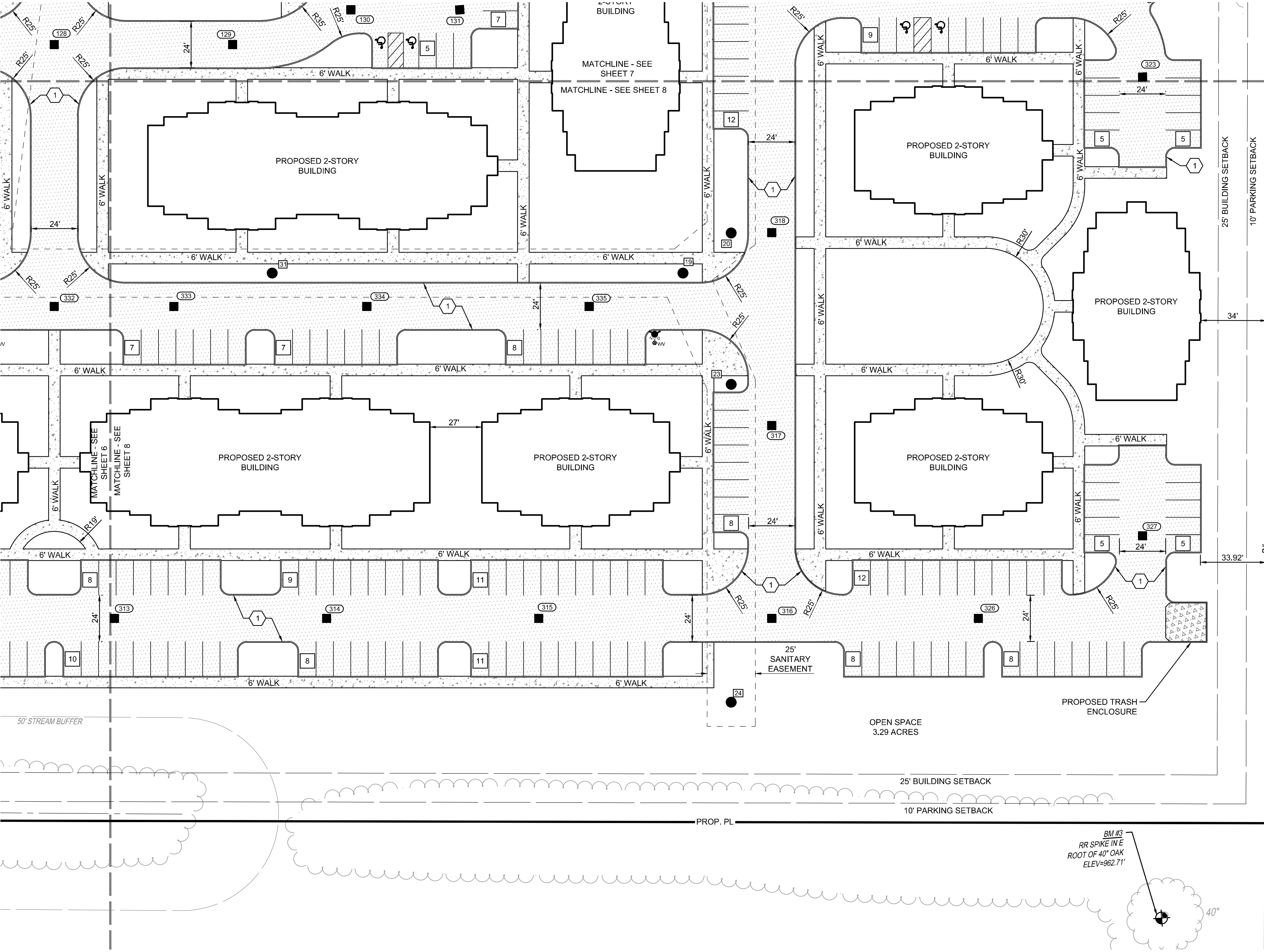
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 DATE: **04/23/2021**  
 SCALE: 

SHEET NAME: **LOCATION PLAN**

SHEET NO. **7**







PROPOSED LEGEND

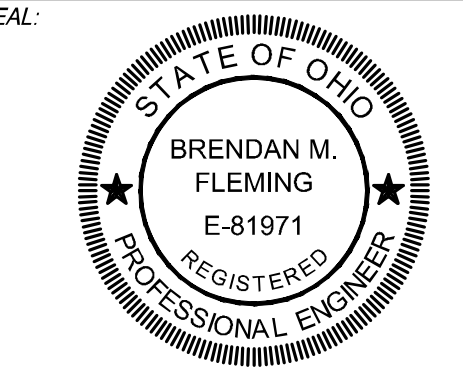
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- (101) HEADWALL
- (101) MANHOLE
- (101) CURB INLET
- (101) SANITARY MANHOLE
- WV WATER VALVE
- FW FIRE HYDRANT
- ASPHALT PAVEMENT
- CONCRETE WALK
- HEAVY DUTY CONCRETE PAVEMENT
- 12 PROPOSED PARKING COUNT
- PROPOSED POND

CODED NOTES

- 1 6" FULL HEIGHT CURB

NOTES

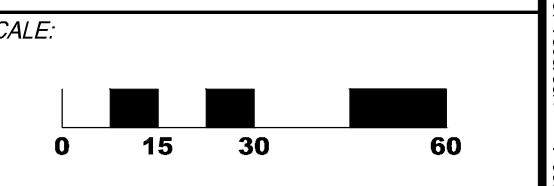
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- ALL EDGES OF PAVEMENT SHALL HAVE 6" FULL HEIGHT CURB.



NO.	DATE	DESCRIPTION

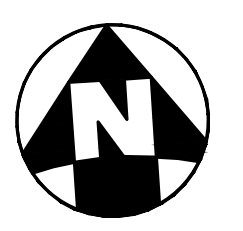
PHOENIX PLACE  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078,000  
DATE: 04/23/2021



LOCATION PLAN

SHEET NO. 8





**LEGAL DESCRIPTION:**

**PARCEL I:**

Situated in the State of Ohio, County of Delaware and in the Township of Berkshire:

Being a part of Farm Lot 6, Section 2, Township 4, Range 17, U.S. Military Lands and being more particularly described as follows:

Beginning at an iron pipe on the northeast corner of Lot 290 of Locust Grove Subdivision as platted in Plat Book 17, page 150, Delaware County, Recorder's Office;

thence South 87 deg. 30' 00" East, along the southerly line of a 0.846 acre tract of land now or formerly owned by Kenneth and Mary Hoover as described in Deed Book 466, page 480, a distance of 211.73 feet to an iron pipe at the southeast corner of said 0.846 acre tract;

thence North 02 deg. 30' 00" East, along the east line of said 0.846 acre tract (passing an iron pipe at 65.89 feet at the southeast corner of a 2.00 acre tract of land now or formerly owned by Kenneth and Mary Hoover, as described in Deed Book 423, page 415) a total distance of 221.89 feet to an iron pipe at the northeast corner of said 2.00 acre tract on the north line of farm Lot 6;

thence South 87 deg. 40' 22" East, along the north line of said Farm Lot 6, a distance of 1365.23 feet to an iron pipe on the northwest corner of a tract of land now or formerly owned by Richard H. Goodwin as described in Deed Book 350, page 700;

thence along the westerly and northerly property line of said Richard H. Goodwin the following five courses and distances:

COURSE 1: South 02 deg. 37" West a distance of 1662.48 feet to a 7/8" iron pipe;

COURSE 2: North 86 deg. 37' 08" West a distance of 601.23 feet to a 7/8" iron pipe;

COURSE 3: North 87 deg. 24' 15" West a distance of 769.41 feet to a 7/8" iron pipe;

COURSE 4: North 02 deg. 30' East a distance of 165.00 feet to a 7/8" iron pipe;

COURSE 5: North 87 deg. 24' 15" West a distance of 203.00 feet to an iron pipe at the southeast corner of Lot 302 of Locust Grove Subdivision as platted in Plat Book 18, page 11;

thence North 02 deg. 30' 00" East, along the east line of Locust Grove Subdivision (passing an iron pipe at the northeast corner of Lot 301, being the southeast corner of Lot 293 of Locust Grove Subdivision as platted in Plat Book 17, page 15, at 600.60 feet) a total distance of 750.00 feet to an iron pipe at the northeast corner of Lot 293;

thence North 87 deg. 30' 00" West, along the north line of said Lot 293, a distance of 325.00 feet to an iron pipe on the east right of way line of 3 B's & K Road (Township Road 35);

thence North 02 deg. 30' 00" East a distance of 60.00 feet to an iron pipe at the southwest corner of Lot 292;

thence South 87 deg. 30' 00" East, along the south line of said Lot 292, a distance of 325.00 feet to an iron pipe at the southeast corner of said Lot 292;

thence North 02 deg. 30' 00" East, along the east line of Lots 292, 291 and 290, a distance of 450.00 feet to The Place of Beginning;

Containing 58.341 acres more or less.

**PARCEL II:**

Situated in the State of Ohio, County of Delaware, Township of Berkshire, in the West part of Farm Lot No. 6, Quarter Township 2, Township 4 North, Range 17 West, United States Military Lands: Being 60.00 feet off the entire south side of Lot No. 302 in Locust Grove No. 2, as shown of record in Plat Book 18, pages 10 and 11, Recorder's Office, Delaware County, Ohio, and bounded and described as follows:

Beginning at a 3/4-inch I.D. iron pipe previously set in the east line of Three B's & K Road - County Road No. 35 (60 feet wide) and at the southwest corner of said lot No. 302;

thence N. 2 deg. 30' 00" E. along the east line of Three B's & K Road and along a portion of west line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe set;

thence S 87 deg. 24' 15" E. parallel with and 60.00 feet northerly by perpendicular measurement from the south line of said Lot No. 302 a distance of 325.00 feet to a 3/4-inch I.D. iron pipe set in the east line of said Lot No. 302;

thence S. 2 deg. 30' 00" W along a portion of the east line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe previously set at the southeast corner of said Lot No. 302;

thence N. 84 deg. 24' 15" W along the south line of said Lot No. 302 a distance of 325.00 feet to the place of beginning;

Containing 0.448 acre of land more or less.

**PARCEL III:**

Situated in the County of Delaware in the State of Ohio and in the Township of Berkshire, bounded and described as follows:

Being Lot No. 302 of Locust Grove Subdivision No. 2 as the same is numbered and delineated upon the recorded plat thereof of record in Plat Book 18, Page 11, Recorder's Office, Delaware County, Ohio, except 60 feet off the entire south side thereof, said 60 foot strip being more particularly as follows:

Situated in the State of Ohio, County of Delaware, Township of Berkshire, in the west part of Farm Lot No. 6, Quarter Township 2, Township 4 North, Range 17 West, United States Military Lands: Being 60.00 feet off the entire south side of Lot No. 302 in Locust Grove No. 2, as shown of record in Plat Book 18, Pages 10 and 11, Recorder's Office, Delaware County, Ohio, and bounded and described as follows:

Beginning at a 3/4-inch I.D. iron pipe previously set in the east line of Three B's & K Road - County Road No. 35 (60 feet wide) and at the southwest corner of said Lot No. 302;

thence N 2° 30' 00" E along the east line of Three B's & K Road and along a portion of the west line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe set;

thence S 87° 24' 15" E parallel with and 60.00 feet northerly by perpendicular measurement from the south line of said Lot No. 302 a distance of 325.00 feet to a 3/4-inch I.D. iron pipe set in the east line of said Lot No. 302;

thence S 2° 30' 00" W along a portion of the east line of said Lot No. 302 a distance of 60.00 feet to a 3/4-inch I.D. iron pipe previously set at the southeast corner of said Lot No. 302;

thence N 87° 24' 15" W along the south line of said Lot No. 302 a distance of 325.00 feet to the place of beginning;

containing 0.448 acre of land more or less.

**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
COMMITMENT FOR TITLE INSURANCE**

FILE NO: 20.1011  
EFFECTIVE DATE: SEPTEMBER 29, 2020 AT 7:00 AM  
SCHEDULE B, PART II  
EXCEPTIONS

**1. - 10. ITEMS ARE BLANKET IN NATURE OR NOT SURVEY RELATED**

11. Easement for Highway Purposes granted to the State of Ohio dated April 18, 1958, and recorded May 1, 1958, in Deed Volume 276, page 79, Delaware County records. **ITEM IS NOT LOCATED WITHIN THE SUBJECT PROPERTY**

12. Easement for waterline purposes granted to Del-Co Water Company, Inc. dated September 3, 1996, and recorded October 10, 1996, in Deed Volume 611, page 393, Delaware County records. **EASEMENT PROVIDES FOR A 12" PERMANENT EASEMENT CENTERED ON THE WATERLINE AS CONSTRUCTED; HOWEVER, RECORDS PROVIDED BY DEL-CO WATER INDICATE THAT NO WATER LINE IS LOCATED ON THE EAST SIDE OF THE ROADWAY.**

13. Easement for waterline purposes granted to Del-Co Water Company, Inc. dated August 2, 1996, and recorded October 11, 1996, in Deed Volume 612, page 247, Delaware County records. **EASEMENT PROVIDES FOR A 12" PERMANENT EASEMENT CENTERED ON THE WATERLINE AS CONSTRUCTED; HOWEVER, RECORDS PROVIDED BY DEL-CO WATER INDICATE THAT NO WATER LINE IS LOCATED ON THE EAST SIDE OF THE ROADWAY.**

14. Building setback lines and easements per the plat of Locust Grove No. 2 dated June 22, 1984, and recorded September 24, 1984, in Plat Book 18, pages 10 and 11, Delaware County records. **ITEMS ARE SHOWN.**

15. Unrecorded farm lease agreement by and between Medellin Enterprises, Inc. and Diamond Resources Corporation (Lessor) and Todd L. Elgen (Lessee), dated January 14, 2020. **ITEM IS NOT SURVEY RELATED AND CANNOT BE GRAPHICALLY SHOWN.**

16. Notwithstanding the reference to acreage or square footage in the description set forth in Schedule "A" hereof, this policy does not insure nor guarantee the acreage or quantity of land set forth therein. **TOTAL ACREAGE OF THE SUBJECT PROPERTY DETERMINED TO BE 60.587 ACRES BASED ON SURVEY.**

**NOTES**

1.) OCCUPATION IN GENERAL FITS SURVEY, WITH NO ENCROACHMENTS OBSERVED.

2.) SOURCE DOCUMENTS AS NOTED.

3.) MONUMENTATION IS IN GOOD CONDITION UNLESS OTHERWISE NOTED.

4.) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE (NAD83-2011). BASED ON A GPS SURVEY UTILIZING CORS STATION "COLB". THE PROJECT COORDINATES HAVE BEEN SCALED TO GROUND BY USING A PROJECT ADJUSTMENT FACTOR OF 1.0000023859 APPLIED AT BASE POINT N 216,500.00 @ 1,847,000.00 . GRID AND GROUND COORDINATES ARE IDENTICAL AT THE BASE POINT

5.) VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88), BASED ON SOURCE BENCHMARK CORS STATION "COLB".

6.) UTILITIES SHOWN ARE BASED ON PHYSICAL MARKINGS, PLAN INFORMATION PROVIDED BY UTILITY OWNERS, AND LOCATIONS OF ABOVE-GROUND APPURTENANCES. OHIO811 WAS CONTACTED ON SEPTEMBER 14, 2020, OUPS TICKET NUMBERS A025-801-759 & A025-801-774.

7.) THE SUBJECTS PROPERTY IS LOCATED IN ZONE "X" AS DETERMINED BY GRAPHIC INTERPRETATION OF THE FLOOD INSURANCE RATE MAPS COMMUNITY NUMBER 29041C0145K EFFECTIVE APRIL 16, 2009.

8.) THERE ARE 0 REGULAR PARKING SPOTS AND 0 DESIGNATED HANDICAPPED PARKING SPACES WITHIN THE SUBJECT PROPERTY.

9.) THERE ARE NO BUILDINGS LOCATED WITHIN THE SUBJECT PROPERTY.

10.) THERE IS NO EVIDENCE OF CURRENT EARTHWORK, BUILDING CONSTRUCTION OR BUILDING ADDITION.

11.) THERE ARE NO KNOWN CHANGES, COMPLETED OR PROPOSED, IN THE STREET RIGHT-OF-WAY LINES.

12.) THERE IS NO OBSERVABLE EVIDENCE OF USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL ON THE SUBJECT PROPERTY.

13.) NO ZONING REPORT OR LETTER WAS PROVIDED.

14.) NO EVIDENCE OF WETLAND AREAS AS DELINEATED BY APPROPRIATE AUTHORITIES WAS SEEN.

15.) THIS DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE KLEINGERS GROUP IN SEPTEMBER AND OCTOBER, 2020.



VICINITY MAP  
NOT TO SCALE

**LEGEND**

●	5/8" CAPPED IRON PIN SET	⊕	SANITARY MANHOLE
○	5/8" IRON PIN FOUND	⊗	CLEAN OUT
⊙	1" IRON PIPE FOUND	— — —	SANITARY SEWER
▲	NAIL SET	⊖	STORM MANHOLE
△	NAIL FOUND	- - - - -	STORM SEWER
▲	RR SPIKE SET	□	CATCH BASIN
⊕	BENCHMARK	□	INLET
○	UTILITY POLE	□	YARD DRAIN
←	GUY WIRE	□	DOWN SPOUT
— UE —	UNDERGROUND ELECTRIC	⊠	TRAFFIC CONTROL CABINET
— E —	OVERHEAD ELECTRIC	⊠	TRAFFIC SIGNAL POLE
⊠	HVAC UNIT	—	SIGN
⊠	TRANSFORMER	⊙ <sup>GP</sup>	GUARD POST (PIPE BOLLARD)
⊠	GROUND LIGHT	⊙ <sup>BP</sup>	FLAG POLE
⊠	ELECTRIC BOX	— x —	FENCE
⊠	LIGHT POLE	⊙	HARDWOOD TREE
— UT —	UNDERGROUND TELEPHONE	— 801 —	CONTOUR LINES
— T —	OVERHEAD TELEPHONE	— 805 —	
⊠	TELEPHONE MANHOLE	■	CONCRETE
⊠	TELEPHONE PEDESTAL	■	GRAVEL
— G —	GAS MAIN	■	ASPHALT
⊕	GAS VALVE	■	LANDSCAPE AREA
— UC —	UNDERGROUND CABLE TV	■	BRICK / PAVER
— W —	WATER MAIN		
⊕	FIRE HYDRANT		
⊕	WATER VALVE		
⊕ <sup>WM</sup>	WATER METER		
⊕ <sup>IC</sup>	IRRIGATION CONTROL VALVE		
⊕	WATER MANHOLE		



Know what's below.  
Call before you dig.

**NOTE:**  
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



To: Dublin Capital Group LLC, an Ohio limited liability company and Old Republic National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11, 13, 16, 17, 18 and 19 of Table A thereof. The field work was completed on October 6, 2020.

*Michael L. Keller*  
MICHAEL L. KELLER  
OHIO PROFESSIONAL SURVEYOR NO. 7978

10/19/2020  
DATE

SEAL:



NO. DATE DESCRIPTION

**60.587 ACRES**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO: 200078.000  
DATE: 10/19/2020

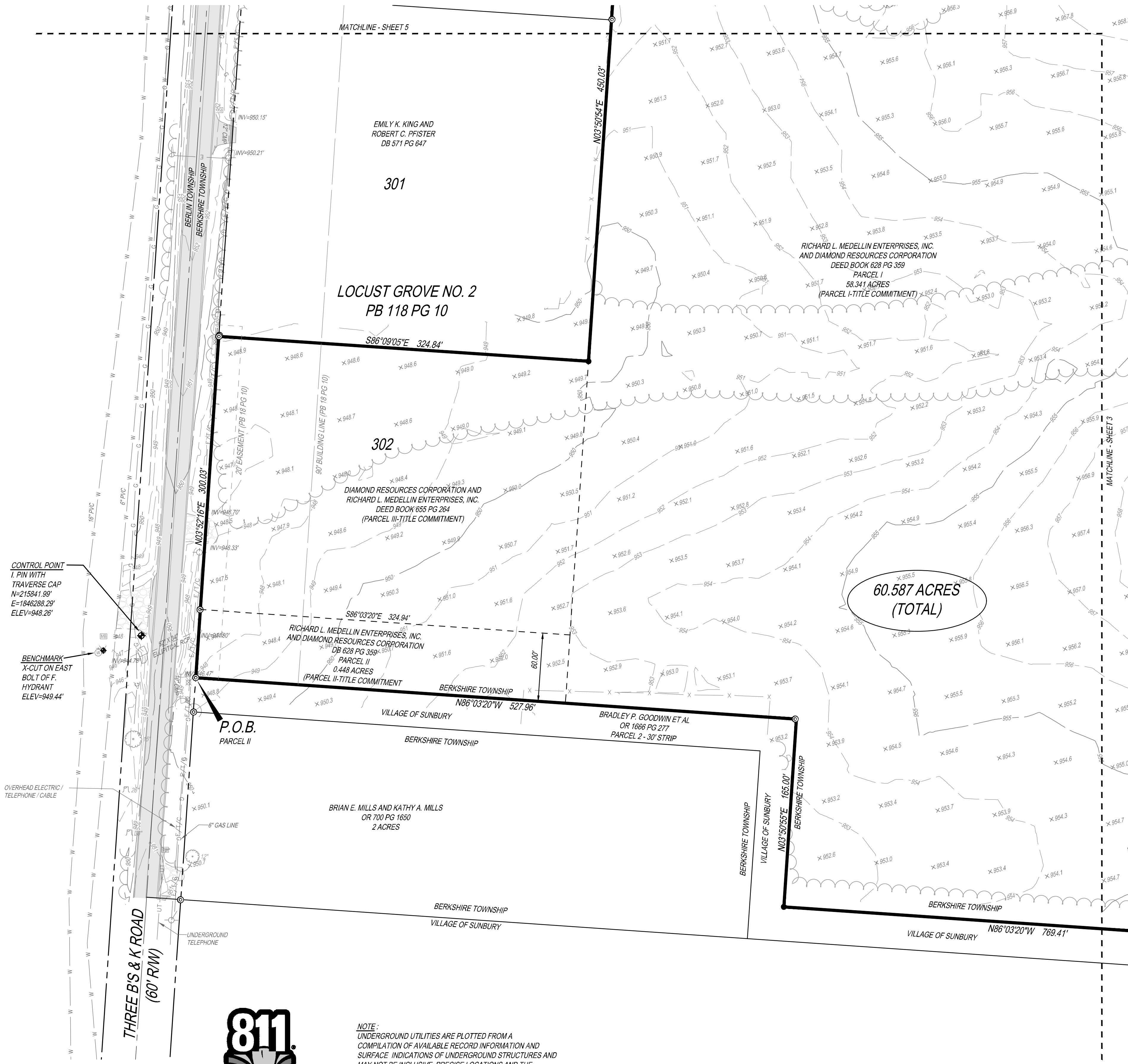
SHEET NAME:

**ALTA/NSPS LAND  
TITLE SURVEY**

SHEET NO.

**1 OF 5**





CONTROL POINT  
I. PIN WITH  
TRAVERSE CAP  
N=215841.99'  
E=1846288.29'  
ELEV=948.26'

BENCHMARK  
X-CUT ON EAST  
BOLT OF F.  
HYDRANT  
ELEV=949.44'

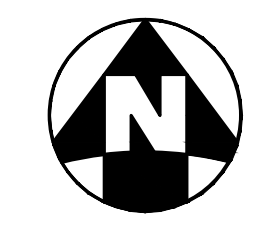
OVERHEAD ELECTRIC/  
TELEPHONE / CABLE

UNDERGROUND  
TELEPHONE



Know what's below.  
Call before you dig.

NOTE:  
UNDERGROUND UTILITIES ARE PLOTTED FROM A  
COMPILATION OF AVAILABLE RECORD INFORMATION AND  
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND  
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE  
EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES  
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PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD  
OF EXCAVATION OR CONSTRUCTION ACTIVITY.



CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE  
www.kleingers.com  
350 Worthington Rd  
Suite B  
Westerville, OH 43082  
614.882.4311



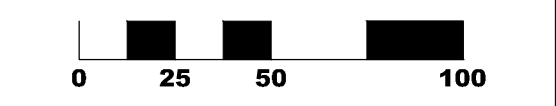
NO. DATE DESCRIPTION

**60.587 ACRES**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERSHIRE  
COUNTY OF DELAWARE, OHIO

PROJECT NO. 200078.000

DATE 10/19/2020

SCALE: 1" = 50'



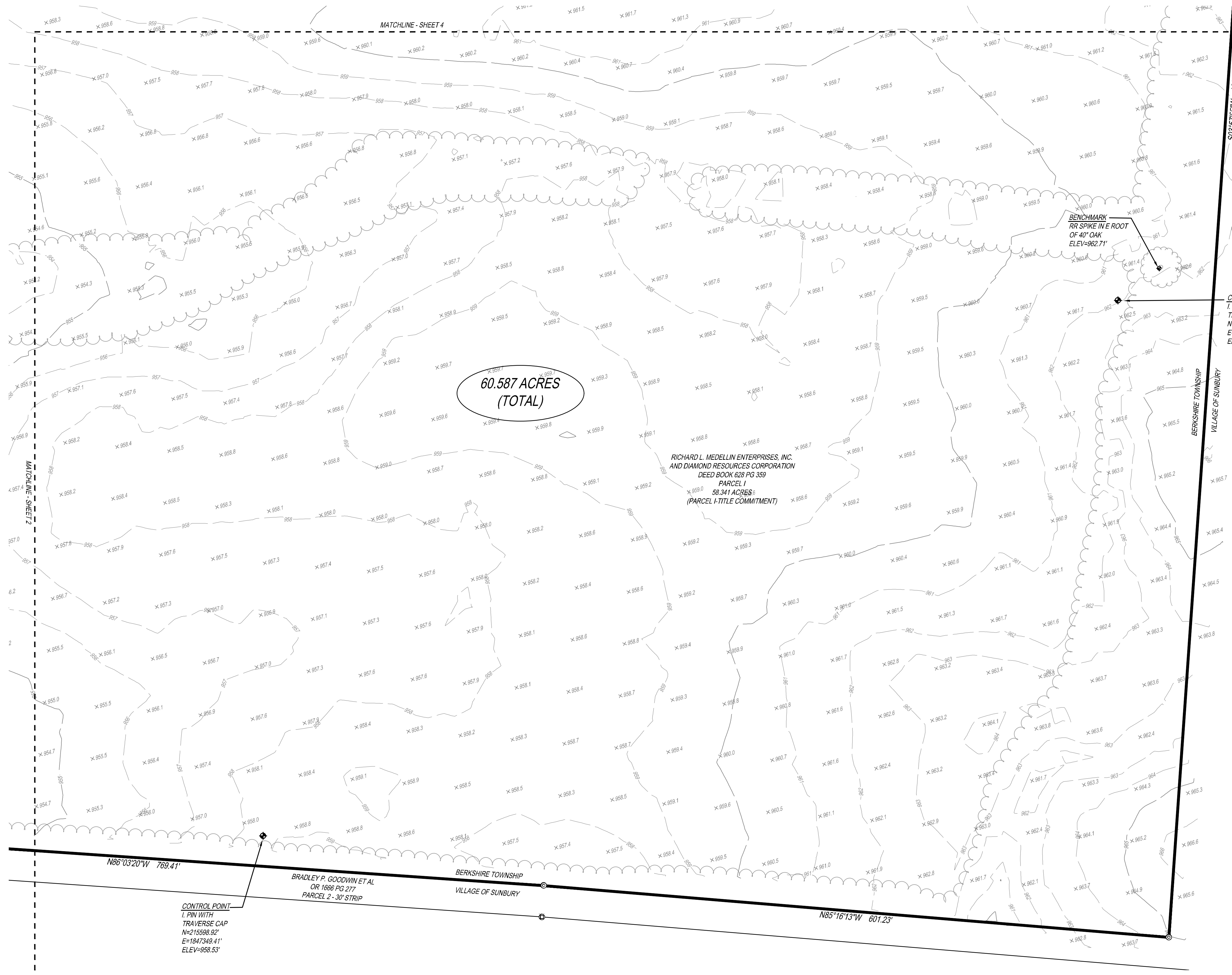
SHEET NAME:

**ALTA/NSPS LAND  
TITLE SURVEY**

SHEET NO.

**2 OF 5**





**60.587 ACRES  
(TOTAL)**

**RICHARD L. MEDELLIN ENTERPRISES, INC.  
AND DIAMOND RESOURCES CORPORATION  
DEED BOOK 628 PG 359  
PARCEL 1  
58.341 ACRES  
(PARCEL 1-TITLE COMMITMENT)**

**BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 1  
100' STRIP**

**BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 3  
20 ACRES**

**CONTROL POINT  
1. PIN WITH  
TRAVERSE CAP  
N=216112.43'  
E=1848168.31'  
ELEV=961.91'**

**CONTROL POINT  
1. PIN WITH  
TRAVERSE CAP  
N=215598.92'  
E=1647349.41'  
ELEV=958.53'**



**CIVIL ENGINEERING** [www.kleingers.com](http://www.kleingers.com)  
**SURVEYING** 350 Worthington Rd  
**LANDSCAPE** Suite B  
**ARCHITECTURE** Westerville, OH 43082  
614.882.4311

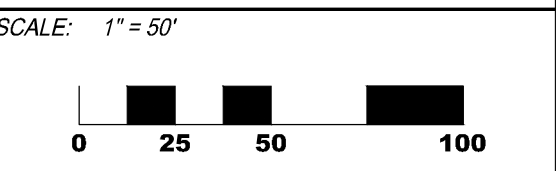
SEAL:



NO. DATE DESCRIPTION

**60.587 ACRES**  
**FARM LOT 6, SEC. 2 TWP. 4, R. 18**  
**USML**  
**TOWNSHIP OF BERSHIRE**  
**COUNTY OF DELAWARE, OHIO**

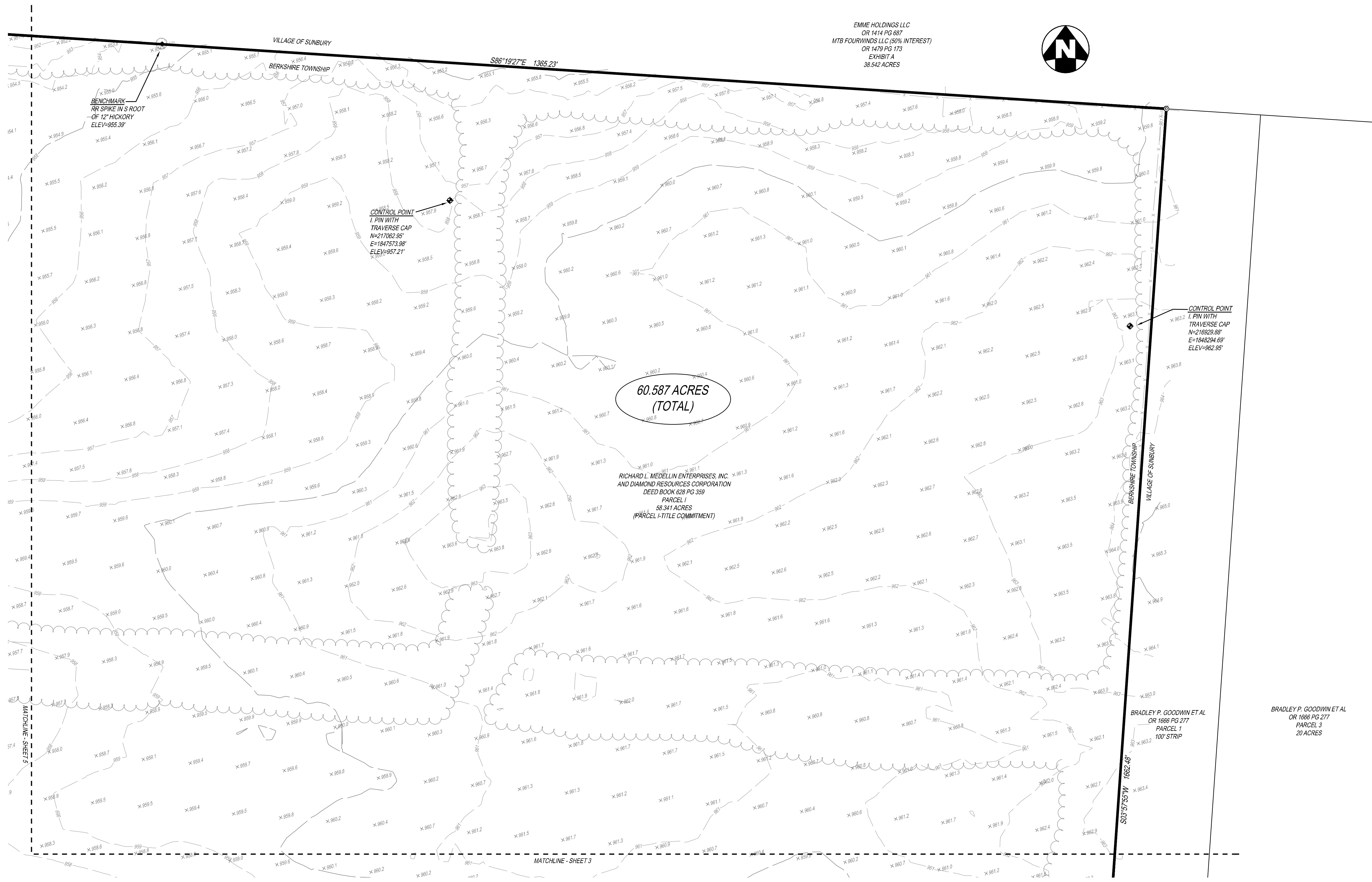
PROJECT NO: **200078.000**  
DATE: **10/19/2020**



SHEET NAME:  
**ALTA/NSPS LAND  
TITLE SURVEY**

SHEET NO.  
**3 OF 5**





EMME HOLDINGS LLC  
OR 1414 PG 687  
MTB FOURWINDS LLC (50% INTEREST)  
OR 1479 PG 173  
EXHIBIT A  
38.542 ACRES



**60.587 ACRES  
(TOTAL)**

**RICHARD L. MEDELLIN ENTERPRISES, INC.  
AND DIAMOND RESOURCES CORPORATION  
DEED BOOK 628 PG 339  
PARCEL I  
68.341 ACRES  
(PARCEL I-TITLE COMMITMENT)**

BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 1  
100' STRIP

BRADLEY P. GOODWIN ET AL  
OR 1666 PG 277  
PARCEL 3  
20 ACRES



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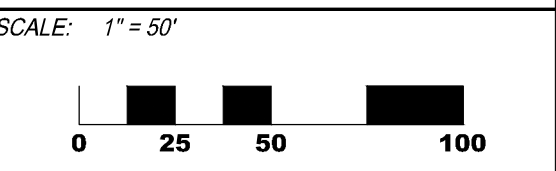
SEAL:



NO. DATE DESCRIPTION

**60.587 ACRES**  
FARM LOT 6, SEC. 2 TWP. 4, R. 18  
USML  
TOWNSHIP OF BERKSHIRE  
COUNTY OF DELAWARE, OHIO

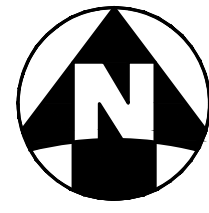
PROJECT NO: 200078.000  
DATE: 10/19/2020



SHEET NAME:  
**ALTA/NSPS LAND  
TITLE SURVEY**

SHEET NO.  
**4 OF 5**





**THE KLEINGERS GROUP**

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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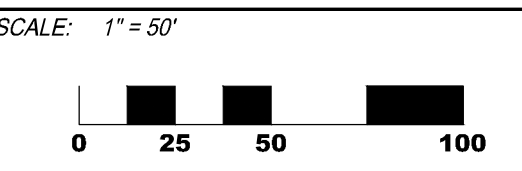
SEAL:

MICHAEL L. KELLER  
 7978  
 REGISTERED PROFESSIONAL SURVEYOR

NO. DATE DESCRIPTION

**60.587 ACRES**  
 FARM LOT 6, SEC. 2 TWP. 4, R. 18  
 USML  
 TOWNSHIP OF BERKSHIRE  
 COUNTY OF DELAWARE, OHIO

PROJECT NO. 200078.000  
 DATE 10/19/2020



SHEET NAME:  
**ALTA/NSPS LAND TITLE SURVEY**

SHEET NO.  
**5 OF 5**