

GRADING KEY NOTES:

1. PROPOSED CONCRETE PAVEMENT.
2. PROPOSED 6" WIDE ADA COMPLIANT VALLEY GUTTER.
3. PROPOSED 6" VERTICAL CURB.
4. PROPOSED CONCRETE FLATWORK.
5. PROPOSED 30' WIDE DRIVEWAY APPROACH.
6. PROPOSED ADA COMPLIANT CURB RAMP.
7. PROPOSED RETAINING WALL. STRUCTURAL DESIGN BY OTHERS. RETAINED HEIGHT PER PLAN.
8. PROPOSED BIORETENTION BASIN. 5,914 CF VOLUME.
9. PROPOSED CONCRETE V-DITCH.
10. PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DESIGN.
11. PROPOSED ROCK SLOPE ENERGY DISSIPATOR.
12. PROPOSED CONCRETE OVERFLOW SPILLWAY.
13. PROPOSED CULVERT PIPE.
14. PROPOSED BASIN OVERFLOW STRUCTURE.

GRADING GENERAL NOTES:

- A. ALL CLEARING, GRUBBING, SITE PREPARATION, OVER-EXCAVATION, EARTHWORK, ENGINEERED FILL, GEOTEXTILE MATERIAL, AND MATERIAL TESTING SHALL BE IN COMPLIANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- B. ESTIMATED EARTHWORK QUANTITIES:
CUT 1,842 CY FILL 1,903 CY NET 61 CY (FILL)
MAX CUT DEPTH = 17.7'+/-
MAX FILL DEPTH = 8.9'+/-
- NOTE: THE CUT AND FILL QUANTITIES SHOWN ABOVE ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR SHALL, AFTER EXAMINING THE GRADING PLAN, SOILS REPORT AND TERRAIN, PREPARE HIS/HER ESTIMATE INDEPENDENTLY OF THE ENGINEER'S ESTIMATE.
- C. GRADING TO COMPLY WITH CBC 1804.4. SLOPE PERVIOUS GROUND AWAY FROM FOUNDATION AT A MINIMUM SLOPE OF 5% FOR A MINIMUM DISTANCE OF 10 FEET. SLOPE IMPERVIOUS GROUND AT A MINIMUM SLOPE OF 2% FOR A MINIMUM DISTANCE OF 10 FEET. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, PROVIDE A 5% SLOPE TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING DRAINAGE AWAY FROM FOUNDATIONS WITH THE USE OF SWALES SLOPED AT 2% LONGITUDINALLY ALONG FLOW LINE, OR DRAINAGE INLETS WITH STORM DRAIN PIPE DIRECTED TO DISCHARGE AWAY FROM FOUNDATIONS IN A NON-EROSIVE MANNER.
- D. PER FIGURE 1808.7.1 OF THE CBC (CRC FIGURE R403.1.7.1), BUILDINGS LOCATED AT THE TOE OF A SLOPE SHALL BE LOCATED AT LEAST THE SMALLER OF H/2 AND 15 FEET AWAY FROM THE TOE OF SLOPE AND SHALL BE LOCATED AT LEAST THE SMALLER OF H/3 AND 40 FEET AWAY FROM THE TOP OF SLOPE. "H" IS THE HEIGHT OF SLOPE AND HAS BEEN PROVIDED HEREON. PER CBC SECTION 1808.7.1 (CRC R403.1.7.1), WHEN A RETAINING WALL IS PRESENT AT THE TOE OF A SLOPE, THE HEIGHT OF THE SLOPE SHALL BE MEASURED FROM THE TOP OF THE WALL TO THE TOP OF THE SLOPE. FOR ALTERNATIVE SLOPE SETBACKS, THE GEOTECHNICAL ENGINEER SHALL REVIEW THESE PLANS AND ISSUE AN APPROVAL LETTER IN COMPLIANCE WITH CBC SECTION 1803.5.10 (CRC R403.1.7.4).

GENERAL LEGEND

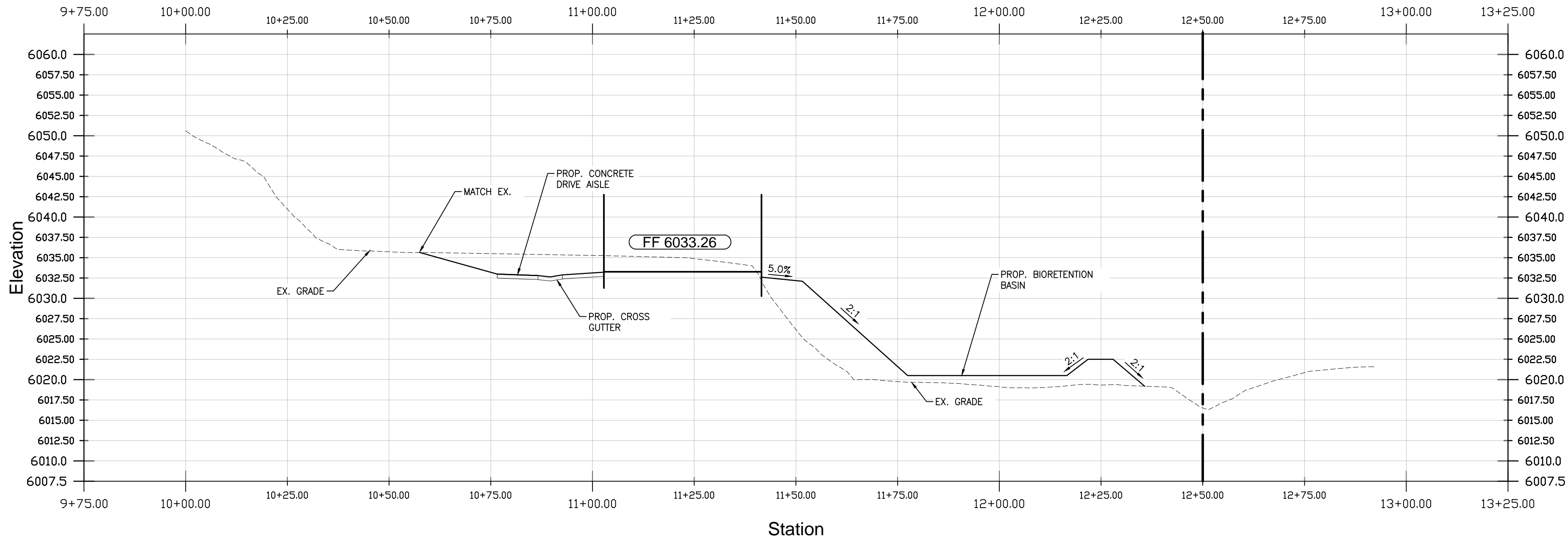
- EXISTING/PROPOSED CENTERLINE (E)
- EXISTING PROPERTY LINE (EX. E)
- PROPOSED PROPERTY LINE (E)
- PROPOSED SETBACK LINE
- EXISTING/PROPOSED EASEMENT
- PROPOSED SAWCUT
- GUTTER FLOWLINE
- PROPOSED CURB AND GUTTER
- PROPOSED SLOTTED CURB
- PROPOSED RETAINING WALL. HEIGHT PER PLAN.
- PROPOSED CONCRETE PAVEMENT/HARDSCAPE
- PROPOSED ASPHALT CONCRETE PAVEMENT
- PROPOSED GRAVEL
- PROPOSED PERVIOUS PAVEMENT
- DEEPEENED FOUNDATION WALL. RETAINED HEIGHT PER PLAN. SEE STRUCTURAL PLANS BY OTHERS FOR CONSTRUCTION DETAILS.
- RAISED FOUNDATION WALL. RETAINED HEIGHT PER PLAN. SEE STRUCTURAL PLANS BY OTHERS FOR CONSTRUCTION DETAILS.

GRADING LEGEND

- GB... RIDGE... HINGE GRADE BREAK
- CUT FILL DAYLIGHT OF GRADING LIMITS (CUT/FILL LINE)
- LIMIT OF DISTURBANCE
- SWALE
- 100 CONTOUR MAJOR
- 99 CONTOUR MINOR
- TOP OF SLOPE
- TOE OF SLOPE
- OVERLAND RELEASE PATH

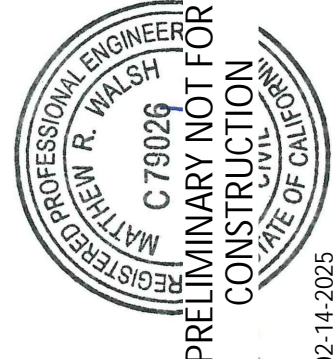
STORM DRAIN LEGEND:

- 50LF12"SD@0.5% STORM DRAIN PIPE LENGTH, SIZE AND SLOPE (SD)
- PROPOSED SLOT/TRENCH DRAIN
- PROPOSED BIO RETENTION BASIN
- ENERGY DISSIPATOR
- HEADWALL/ENDWALL
- FLARED END SECTION
- DROP INLET
- MANHOLE
- CLEANOUT



NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON TIME OR PAYMENT BY CHECK AFTER ANY CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.
BID
ADDRESS: P.O. BOX 226
ADDRESS: SAN ANTONIO, TEXAS 78202
CONTACT: GABRIEL DRES
PHONE: (202) 960-8871

PRELIMINARY GRADING AND DRAINAGE PLAN



02-14-2025

WE WALSH
ENGINEERING
WALSHE ENGINEERING.NET (805) 319-4948
1108 GARDEN STREET, SUITE 202-204 SAN LUIS OBISPO, CA 93401

ON THE MOUNTAIN BOAT & THE BOAT YARD
32864 HILLTOP BLVD.,
ARROWBEAR LAKE, CA 92314

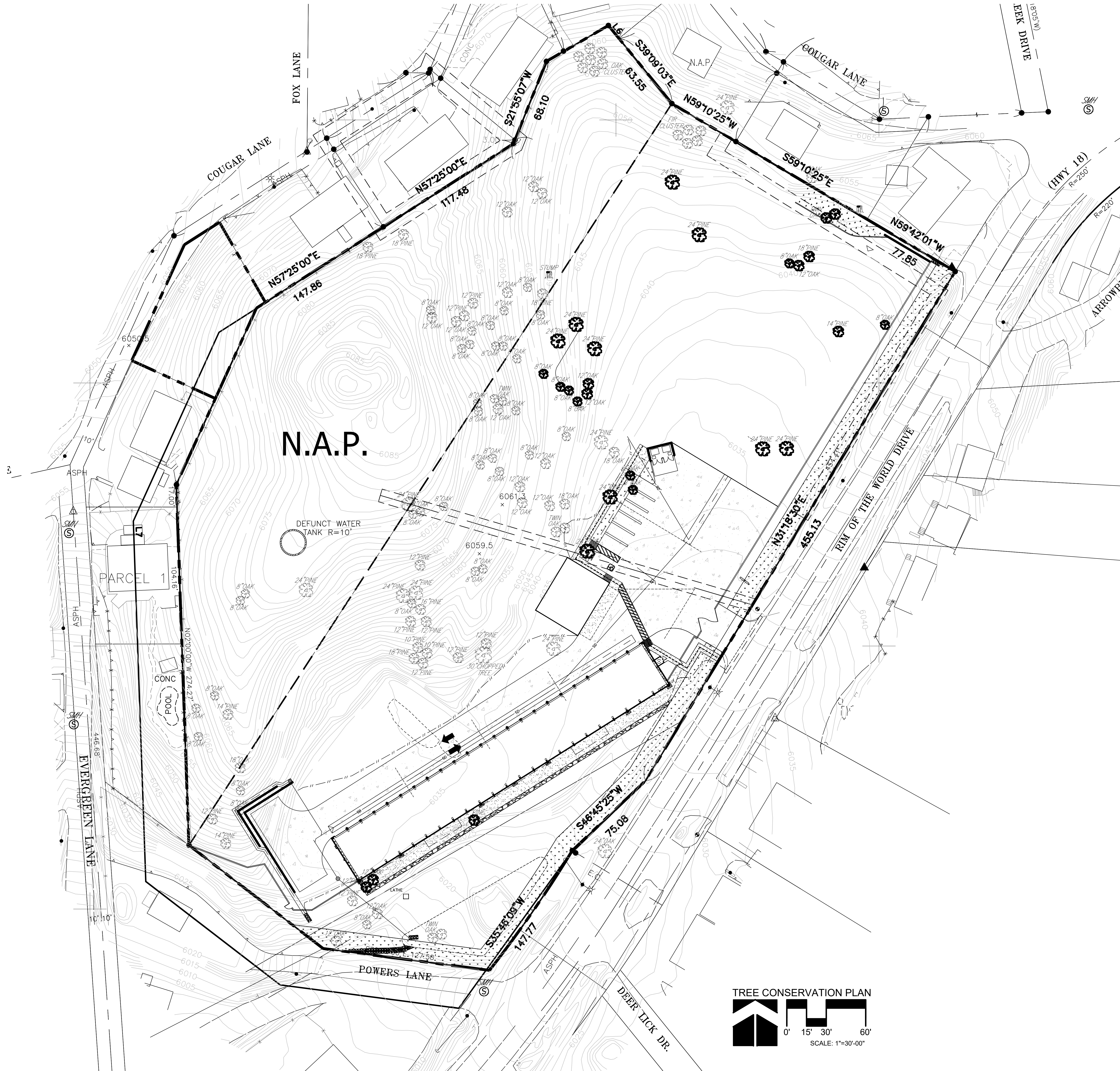
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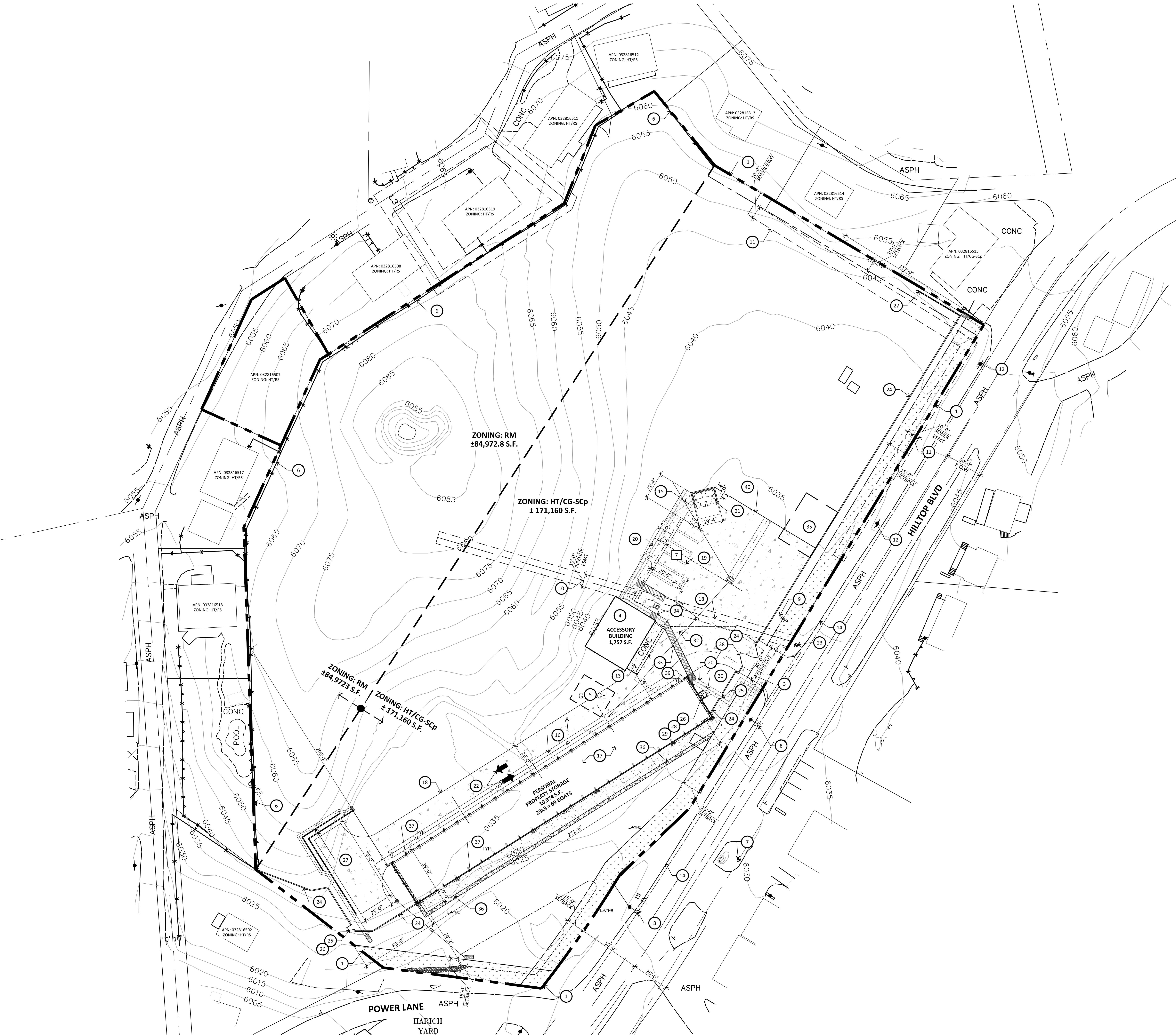
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checked by: MRW



NOTE: UTILITIES SHOWN WERE PLOTTED FROM OBSERVED EVIDENCE AND PLANS OBTAINED FROM UTILITY PROVIDERS. EXACT LOCATIONS AND QUANTITIES MAY VARY. THE CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATING SERVICES PRIOR TO EXCAVATION AND USE EXTREME CAUTION WHEN EXPOSING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

C1.1
project #: 20230360





KEYNOTE

- PROPERTY LINE
- NOT USED
- EXISTING CURB CUT TO REMAIN
- EXISTING BUILDING TO REMAIN AS AN ACCESSORY BUILDING
- EXISTING SHED TO BE REMOVED
- EXISTING CHAINLINK FENCE TO REMAIN
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE TO REMAIN
- EXISTING 5'-0"x8'-0" DOUBLE SIDED SIGN WITH LIGHTS ON HWY
- EXISTING 10'-0" PIPELINE EASEMENT PER BOOK 4648, PAGE 122 O.R. TO REMAIN
- EXISTING 10'-0" SEWER EASEMENT PER BOOK 8804, PAGE 391 O.R. TO REMAIN
- EXISTING POWER POLE TO REMAIN
- EXISTING CONCRETE PAD TO REMAIN
- NOT USED
- NEW BICYCLE PARKING, RE: 5/SP2.0
- NEW 4" THICK CONCRETE DRIVEWAY
- NEW STORAGE BUILDING
- NEW 6" CURB
- NEW PARKING (10'x20') LOCATION WITH (1) ADA PARKING (11'x20'); PARKING STALL STRIPING WITH DOUBLE OR HAIRPIN LINES, RE: 8/SP2.1
- NEW CONCRETE SIDEWALK WITH CONTROL/EXPANSION JOINTS, RE: 1/SP2.0
- NEW TRASH ENCLOSURE, RE: 15/SP2.0
- NEW PAINTED ARROWS ON PAVING, RE: 12/SP2.0
- NEW FIRE HYDRANT
- NEW 10'-0" HIGH SOLID MASONRY, RE: 6 AND 16/SP2.1
- NEW 4'-0"x6'-0" PEDESTRIAN GATE WITH PANIC HARDWARE, RE: 20/SP2.0
- NEW KNOX BOX
- NEW RETAINING WALL - REFER TO CIVIL PLAN
- NEW FIRE RISER ROOM WITH FIRE RISER DOOR SIGN, RE: 9/SP2.1
- NEW FDC LOCATION
- DASHED LINE INDICATES PEDESTRIAN PATH
- EXISTING WELL TO REMAIN FOR IRRIGATION ONLY
- DASHED LINE INDICATES TRUCK TURN; 35'-0" INSIDE RADIUS AND 55'-0" OUTSIDE RADIUS
- NEW PEDESTRIAN CROSSWALK, RE: 17/SP2.0
- NEW ACCESSIBLE RAMP (TYP.), RE: 18/SP2.0
- DASHED LINE INDICATES EXISTING BUILDING TO BE REMOVED
- NEW LARGE NATURAL STONE BOULDER RETAINING WALL SYSTEM
- NEW WALL PACK DOWN LIGHT
- NEW VEHICLE GATES
- NEW ROOF LADDER
- LINE INDICATES EDGE OF CONCRETE

LEGEND

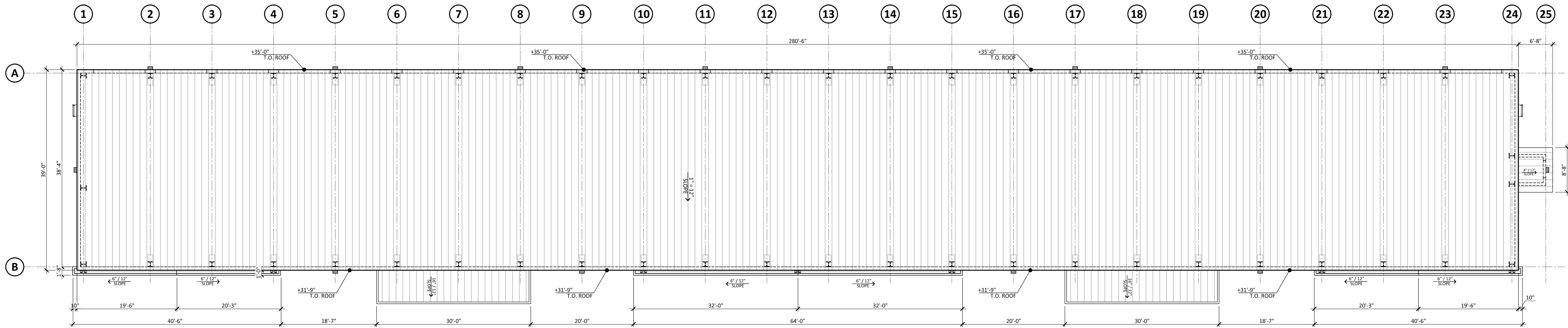
- LANDSCAPE AREA
- CONCRETE AREA
- CONCRETE SIDEWALK AREA
- EXISTING CHAINLINK FENCE TO REMAIN
- LARGE NATURAL STONE BOULDER RETAINING WALL SYSTEM

PARKING DATA

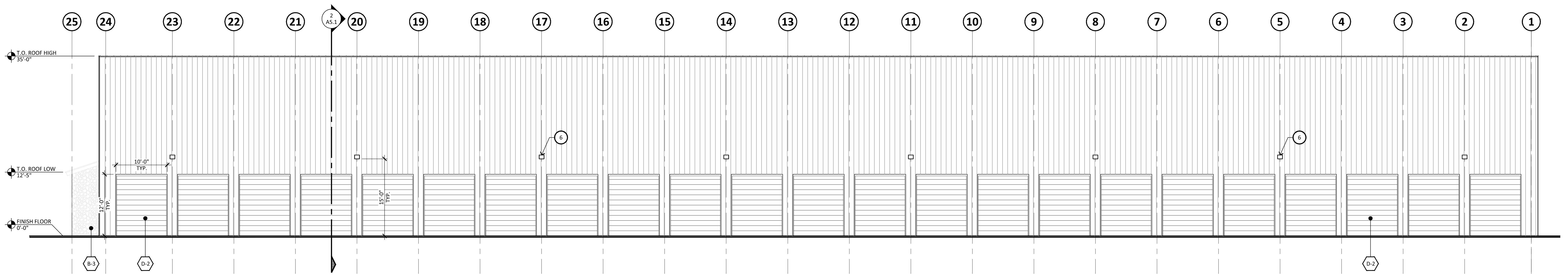
PARKING REQUIREMENT:	1 SPACE / 250 G.L.A. OF OFFICE
	1,000 S.F. / 250 G.L.A. = 4 SPACES
	1 SPACE / 1,000 S.F. OF STORAGE
TOTAL PARKING REQUIRED:	757 S.F. / 1,000 S.F. = 1 SPACES
	5 SPACES
	ADA REQUIREMENT = 1 SPACE
PARKING PROVIDED:	7 SPACES
	ADA PROVIDED = 1 SPACE

NOTE: FOR ADDITIONAL SITE DATA REFER TO G0.0

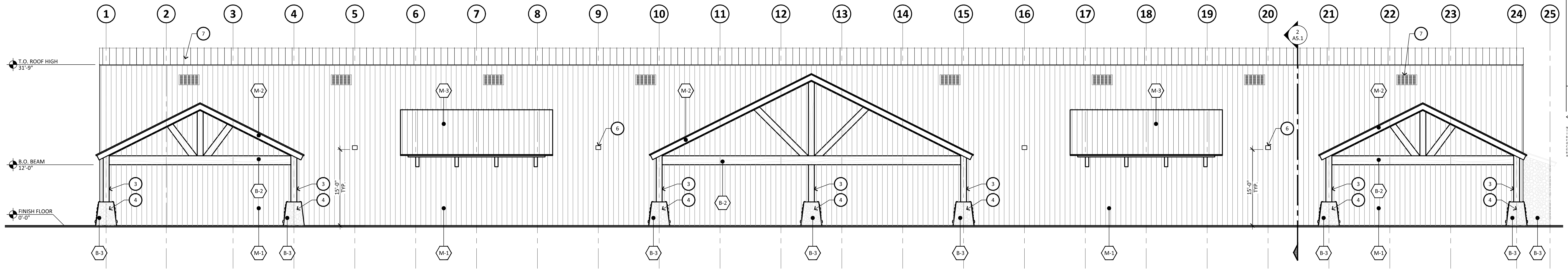




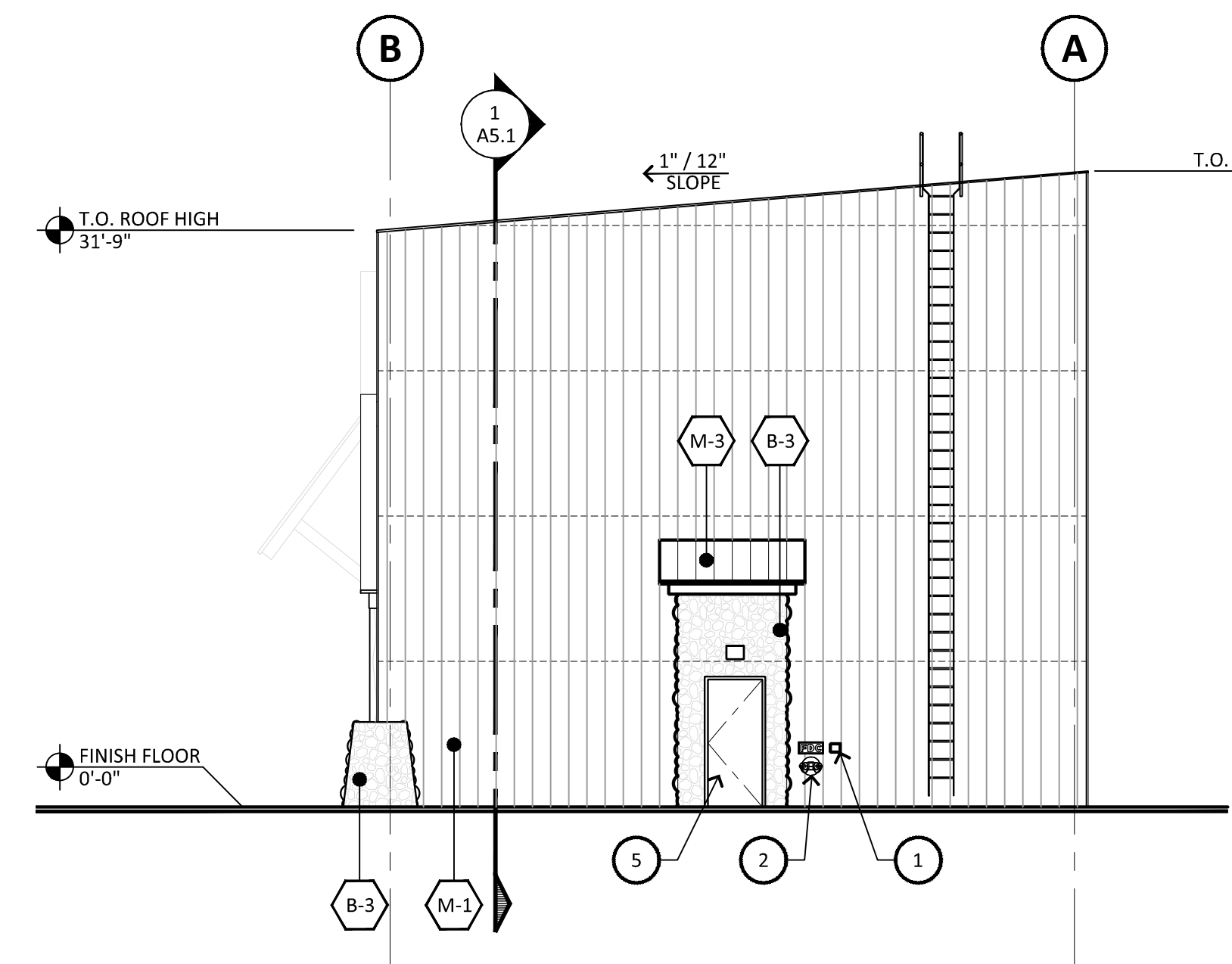
1 ROOF PLAN
SCALE: 1/8" = 1'-0"



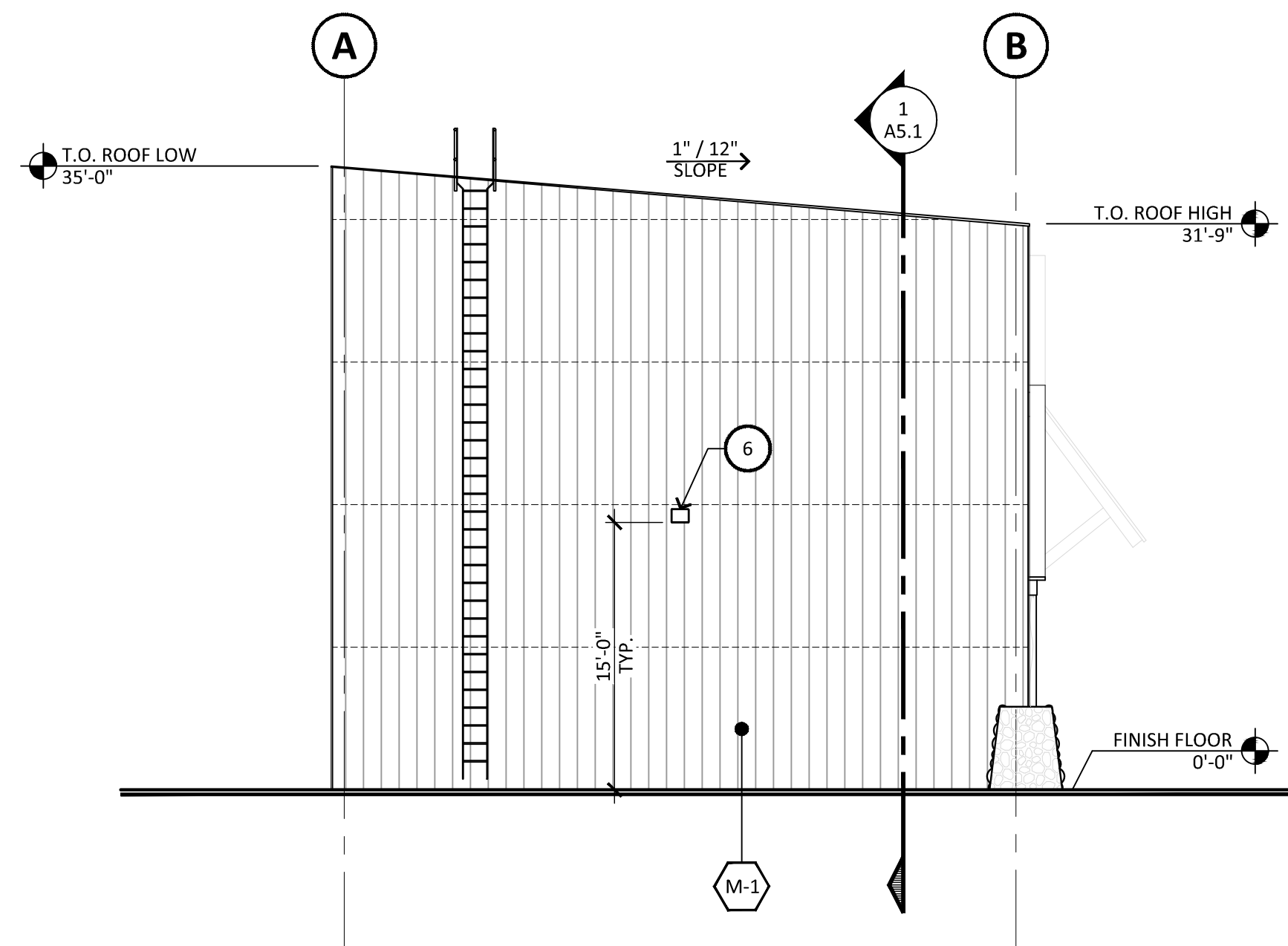
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

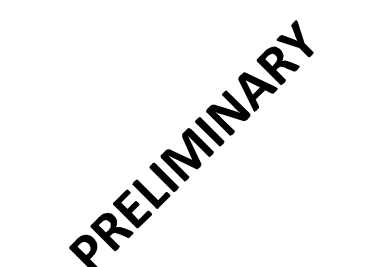
- GRADE ELEVATIONS TO BE VERIFIED WITH CIVIL DRAWINGS.
- SEAL ALL THRU-WALL PENETRATIONS WEATHER TIGHT - VERIFY QUANTITY AND LOCATIONS. PROVIDE BIRD SCREENS OVER ANY PIPE OPENINGS.
- PROVIDE DAMP-PROOFING AT WALL LOCATIONS WHERE GRADE IS ABOVE FINISH FLOOR ELEVATION.
- PAINT EXPOSED GAS PIPING, CONDUIT AND RELATED METAL TO MATCH ADJACENT FINISH.
- ALL EXPOSED METAL SHALL BE PAINTED. REFER TO SPECIFICATIONS FOR TYPE OF PAINT

KEYNOTES

- KNOX BOX - 3200 SERIES ALUMINUM SURFACE MOUNT - INSTALL PER C.O.S. FIRE DEPT.
- F.D.C. LOCATION
- WOOD COLUMN
- STONE BASE
- EXTERIOR DOOR
- WALL PACK LIGHT
- LOUVER
- APPROXIMATE HEIGHT OF ADJACENT FINISH GRADE. REFER TO CIVIL.

MATERIAL LEGEND

A-1		DARK BRONZE #40 ANODIZED CLEAR LOW-E INSULATED GLASS
D-1		ROLL-UP METAL DOOR COLOR: SILHOUETTE GRAY MANUF: JANUS
D-2		MAN DOOR COLOR: DORAIN GREY (SW7017) FINISH: SATIN
M-1		METAL SYSTEM PER PLAN/DETAILS COLOR: ARMORY(SW9600) FINISH: SATIN
M-2		METAL FLASHING COLOR: ARMORY(SW9600) FINISH: SATIN
M-3		STANDING SEAM METAL ROOF COLOR: CHARCOAL GRAY FINISH: SATIN
B-1		HARDIE BOARD COLOR: FROSTED GREEN MANUF: JAMES HARDIE
B-2		ROUGH SAWN WOOD OUTRIGGERS COLOR: STAINED BROWN
B-3		STONE VENEER COLOR: COLORADO RIVER ROCK MANUF: EL DORADO STONE
B-4		CONCRETE MASONRY UNITS COLOR: MANUF:

[illegible]

**ON THE MOUNTAIN
BOAT & BOAT YARD**

A5.1
project #: 23101.00

