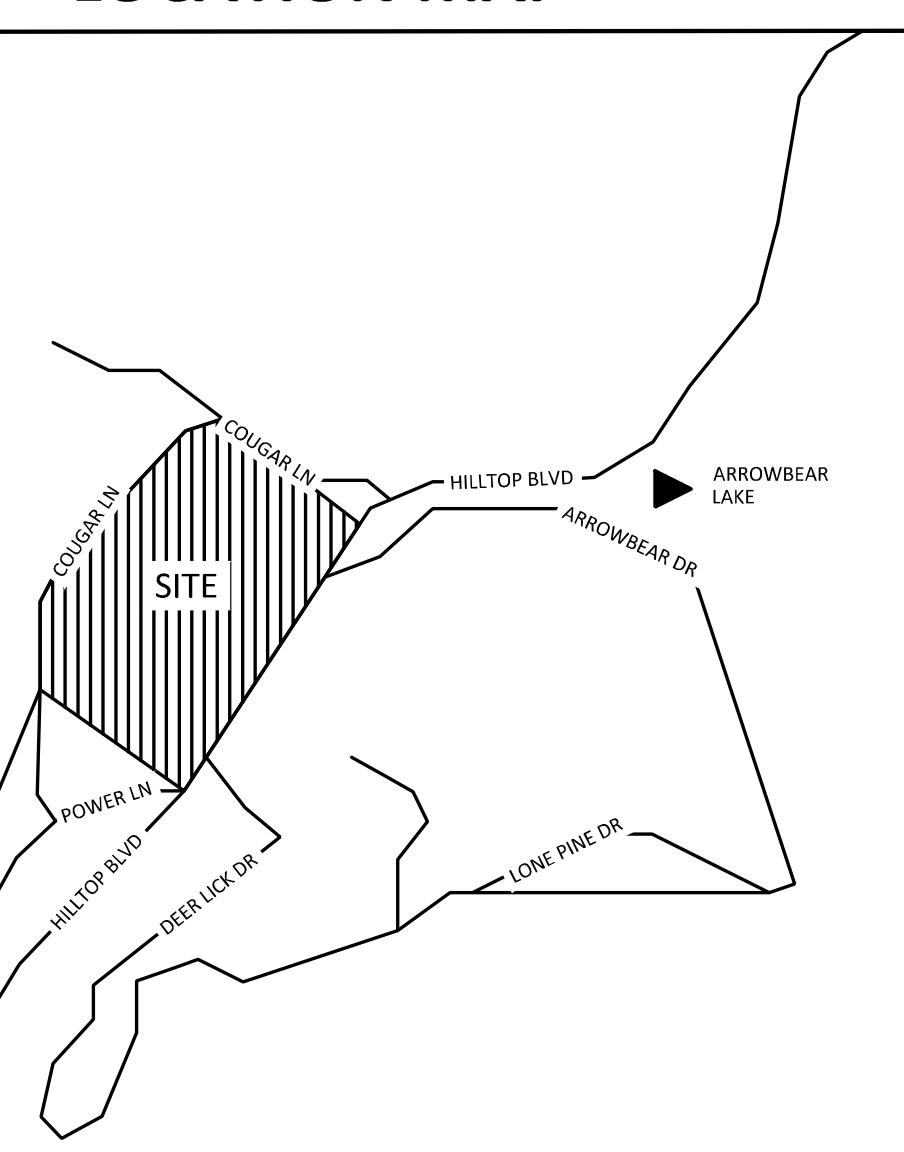
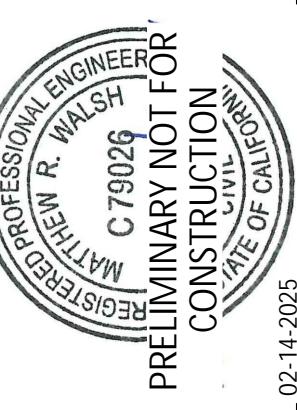


NEW BUILDING ON THE MOUNTAIN BOAT & BOAT YARD

32864 HILLTOP BOULEVARD
ARROWBEAR, CA 92314

GENERAL CONSTRUCTION NOTES																	
LOCATION MAP		PROJECT DIRECTORY	PROJECT DESCRIPTION	SITE DATA	DRAWING INDEX												
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BOX 2266 LAKE ARROWHEAD, CA 92352 PHONE: (619) 980-8872 CONTACT: HASSAN HAMED E-MAIL: hassan.hamed@kaekoinc.com</p> <p>M&P ENGINEER: KAEKO INC. 12409 W INDIAN SCHOOL #C303 ARROWBEAR, CA 92314 PHONE: (619) 980-8872 CONTACT: JUSTIN KUDEL E-MAIL: justin.kudel@kaekoinc.com</p> <p>ELECTRICAL ENGINEER: KAEKO INC. 12409 W INDIAN SCHOOL #C303 ARROWBEAR, CA 92314 PHONE: (619) 980-8872 CONTACT: JUSTIN KUDEL E-MAIL: justin.kudel@kaekoinc.com</p> <p>ARCHITECT: RRAA ARCHITECTS & ASSOC., INC. 21233 EAST THOMAS ROAD PHOENIX, ARIZONA 85016 PHONE: (602) 955-3900 CONTACT: RANDY HAILET E-MAIL: randy.hailet@rraa.com PHONE: (623) 628-7804</p> <p>STRUCTURAL: VERTER CONSULTING 8185 E INDIAN BEND RD # 105 SCOTTSDALE, AZ 85250 CONTACT: RANDY HAILET E-MAIL: randy.hailet@rraa.com PHONE: (623) 628-7804</p> <p>TRAFFIC ENGINEER: KITTLESON AND ASSOC., INC. 3601 5TH AVENUE SAN DIEGO, CA 92103 CONTACT: MICHAEL KOMIS E-MAIL: mkomis@kittleson.com PHONE: (714) 468-1180</p>	<p>PROJECT DESCRIPTION</p> <p>THE OWNER OF 32864 HILLTOP BLVD - ARROWBEAR LAKE, CA 92314, WITH AN APN OF 328-165-16, THERE ARE CURRENTLY THREE (3) EXISTING PERMITTED BUILDINGS WITHIN THE PROPERTY AND IN ADDITION TO THIS, THE CLIENT WOULD LIKE TO BUILD 1 NEW PERSONAL PROPERTY STORAGE. THE 328-165-16 APN IS DIVIDED INTO TWO (2) ZONING, HILLTOP/GENERAL COMMERCIAL - SIGN CONTROL PRIMARY (HT/GC-SCP) AND MULTIPLE RESIDENTIAL (RM). THE SCOPE OF WORK IS DELEGATED TO HT/GC-SCP ZONING ONLY. THE RM ZONED PROPERTY WILL REMAIN AS IS. THE PROJECT WILL NOT BE PHASED. THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASING.</p> <p>THE PERSONAL PROPERTY STORAGE PROJECT WILL UTILIZE ITS EXISTING TERRAIN AS MUCH AS POSSIBLE, WITH ALL EXISTING SITE IMPROVEMENTS, INCLUDING CULVERT, LANDSCAPE, NEW CONCRETE PARKING WITH BEING PROVIDED. IMPROVEMENTS WHICH NEED TO BE MADE TO THE EXISTING DRIVEWAY ENTRANCE OFF HILLTOP BLVD, CURBS, PARKING, PERIMETER 10'-0" MASONRY WALL, MASONRY TRASH ENCLOSURES, AND THE BOAT STORAGE, EXISTING ACCESSORY BUILDING WILL REMAIN AS AN OFFICE, AND THE EXISTING GARAGE WILL BE REMOVED.</p> <p>THE NEW STORAGE BUILDING WILL BE CONSTRUCTED WITH A PRE-ENGINEERED METAL BUILDING WITH METAL PANEL SIDING. THE STREET SIDE OF THE BUILDING WILL PROVIDE A MOUNTAIN DESIGN WITH ROUGH SAWN WOOD COLUMNS AND STONE BASES, WOOD BEAMS, AND A STANDING SEAM METAL ROOF AWNING.</p> <p>THE PROPOSED BUILDINGS WILL BE USED PRIMARILY FOR STORAGE ONLY. WITH THIS, THERE WILL BE NO REPAIRS, RENTAL, OR SALES ON SITE. ALL STORED BOATS WILL BE SHIELDED FROM PUBLIC VIEW BY THE BUILDING WALLS OR PERIMETER SCREENED WALLS.</p>	<p>PARCEL NO. (APN): 328-165-16 PROPOSED USE: NEW PERSONAL STORAGE LEGAL DESCRIPTION: PORTION OF BLOCK A AND BLOCK 9, TRACT 1870 MB 27/1-2 LOCATION: 32864 HILLTOP BLVD., ARROWBEAR LAKE CA 92314 ZONING: HT/GC-ScP ZONING DESCRIPTION: HILLTOP / GENERAL COMMERCIAL - SIGN CONTROL PRIMARY OCCUPANCY: S-1 MODERATE-HAZARD STORAGE CONSTRUCTION TYPE: TYPE II-B WITH AUTOMATIC FIRE SPRINKLER SYSTEM FIRE SPRINKLER: REQUIRED: YES PER NFPA 13 TOTAL LOT AREA: HT/GC-ScP = 171,119 S.F. RM = 79,542 S.F. HT/R5 = 7,399 S.F. 258,060 S.F. / 5.92 ACRES. LOT COVERAGE (HT/GC-ScP): 40,085 S.F. / 171,119 S.F. = 23% PROPOSED BUILDINGS: 10,974 S.F. (6%) EXISTING BUILDINGS TO REMAIN: 1,743 S.F. (1.02%) CONCRETE PAVEMENT: 22,280 S.F. (13%) TRASH ENCLOSURE: 410 S.F. (24%) CONCRETE SIDEWALK: 4,678 S.F. (3%) TOTAL LOT COVERAGE: 40,085 S.F. LANDSCAPE AREA (HT/GC-ScP): 94,730 S.F. PARKING REQUIREMENT: RE: SP1.0 PARKING PROVIDED: RE: SP1.0</p>	<p>GENERAL: G0.0 COVER SHEET</p> <p>SITE:</p> <ul style="list-style-type: none"> C1.0 PRELIMINARY GRADING AND DRAINAGE PLAN C1.1 SITE SECTION LA.01 MASTERSITE PLAN LA.02 TREE CONSERVATION PLAN SP1.0 SITE PLAN SP2.0 SITE DETAILS SP2.1 SITE DETAILS <p>ARCHITECTURAL:</p> <ul style="list-style-type: none"> A1.1 FLOOR PLAN A3.1 ROOF PLAN A4.1 ELEVATIONS A5.1 SECTIONS 												
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THE COUNTY IS REQUIRED TO MONITOR COMMERCIAL RECYCLING AND WILL REQUIRE BUSINESSES TO PROVIDE RECYCLING INFORMATION. APPLICANT WILL BE REQUIRED TO REPORT TO THE COUNTY OR CONTRACT WASTE HAULER ON RECYCLING EFFORTS ONCE OPERATIONAL.</p> <p>C. OWNER IS INFORMED THAT THE DEVELOPMENT SHOULD COMPLY WITH CALIFORNIA ASSEMBLY BILL (AB) 1822, WHICH REQUIRES BUSINESSES THAT GENERATE TWO (2) CUBIC YARDS OR MORE OF SOLID WASTE PER WEEK TO RECYCLE THEIR ORGANIC WASTE (INCLUDES GREEN WASTE AND FOOD WASTE). A BUSINESS THAT IS A PRIVATE OWNER MAY REQUIRE A LEASE AGREEMENT OF THAT PROPERTY TO SETTLE THEIR ORGANIC WASTE TO AID IN COMPLIANCE. ADDITIONALLY, ALL BUSINESSES THAT CONTRACT FOR GARDENING OR LANDSCAPING SERVICES MUST STIPULATE THAT THE CONTRACTOR RECYCLE THE RESULTING GARDENING OR LANDSCAPING WASTE. RESIDENTIAL MULTIFAMILY DWELLINGS OF FIVE (5) OR MORE UNITS ARE REQUIRED TO RECYCLE ORGANIC WASTE; HOWEVER, THEY ARE NOT REQUIRED TO ARRANGE FOR RECYCLING SERVICES SPECIFICALLY FOR ORGANIC WASTE. APPLICANT WILL BE REQUIRED TO PROVIDE RECYCLING SERVICES SPECIFICALLY FOR ORGANIC WASTE HAULER ON RECYCLING ORGANIC MATERIALS ONCE OPERATIONAL.</p> <p>D. OWNER IS INFORMED THAT IF APPLICABLE, THE DEVELOPMENT SHALL COMPLY WITH CALIFORNIA ASSEMBLY BILL (AB) 883, WHICH REQUIRES BUSINESSES THAT GENERATE ONE (1) CUBIC YARD OR MORE OF SOLID WASTE PER WEEK TO RECYCLE THEIR ORGANIC WASTE (INCLUDES GREEN WASTE AND FOOD WASTE). A BUSINESS THAT IS A PRIVATE OWNER MAY REQUIRE A LEASE AGREEMENT OF THAT PROPERTY TO SETTLE THEIR ORGANIC WASTE TO AID IN COMPLIANCE.</p> <p>E. ADDITIONAL GENERAL INFORMATION: CONSTRUCTION OF STRUCTURES ARE SUBJECT TO ASBESTOS CLEARANCE PRIOR TO DISPOSAL AT ANY SAN BERNARDINO COUNTY DISPOSAL SITES. APPLICANTS ARE REQUIRED TO HAVE A CERTIFIED ASBESTOS CONSULTANT PERFORM TESTING OF ALL MATERIALS TO BE DISPOSED. UPON RECEIPT OF THE CONSULTANT'S REPORT, INDICATING THAT THE DEBRIS IS NOT CONTAMINATED, SDWMD WILL MANAGE THE DISPOSAL.</p> <p>F. PRIOR TO ISSUANCE OF BUILDING PERMITS, THE DEVELOPER SHALL PREPARE, SUBMIT, AND OBTAIN APPROVAL FROM SWMD OF A CWMP PART 1 FOR EACH PHASE OF THE PROJECT. THE CWMP SHALL LIST THE TYPES AND WEIGHTS OF SOLID WASTE MATERIALS EXPECTED TO BE GENERATED FROM CONSTRUCTION. THE CWMP SHALL INCLUDE OPTIONS TO DIVERT WASTE MATERIALS FROM LANDFILL DISPOSAL MATERIALS FOR REUSE OR RECYCLING BY A MINIMUM OF 65% OF TOTAL WEIGHT OR VOLUME.</p> <p>G. PRIOR TO ISSUANCE OF FINAL INSPECTION/OCCUPANCY, THE DEVELOPER SHALL COMPLETE SWMD'S CDWMP PART 2 FOR CONSTRUCTION AND DEMOLITION. THE CDWMP PART 2 SHALL PROVIDE EVIDENCE THAT THE SATISFACTION OF THE</p>																



NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE
THIS CONTRACT CONTAINS THE ALTERNATE BILLING OR PAYMENT CYCLE WHICH MEANS THE CONTRACTOR MAY BILL THE OWNER FOR PAYMENT IN ACCORDANCE WITH THE CONTRACT, OR ON CONTRACTOR'S OWN INITIATIVE, FOR THE SERVICES PROVIDED, AND THE OWNER SHALL CERTIFY AND APPROVAL OF BILLING AND ESTIMATES FOR THE SERVICES PROVIDED. THE BILLING AND PAYMENT CYCLE IS NOT A PAYMENT SCHEDULE. THE BILLING AND PAYMENT CYCLE IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.
NAME: **ARROWBEAR LAKE**
ADDRESS: P.O. BOX 2296
ADDRESS: 32864 HILLTOP BLVD., CA 92311
CONTACT: DAREN DIES
PHONE: (805) 990-8071

PRELIMINARY NOTIFICATION
CONSTRUCTION
02-14-2023

PRELIMINARY GRADING AND DRAINAGE
PLAN

ON THE MOUNTAIN BOAT & THE BOAT YARD

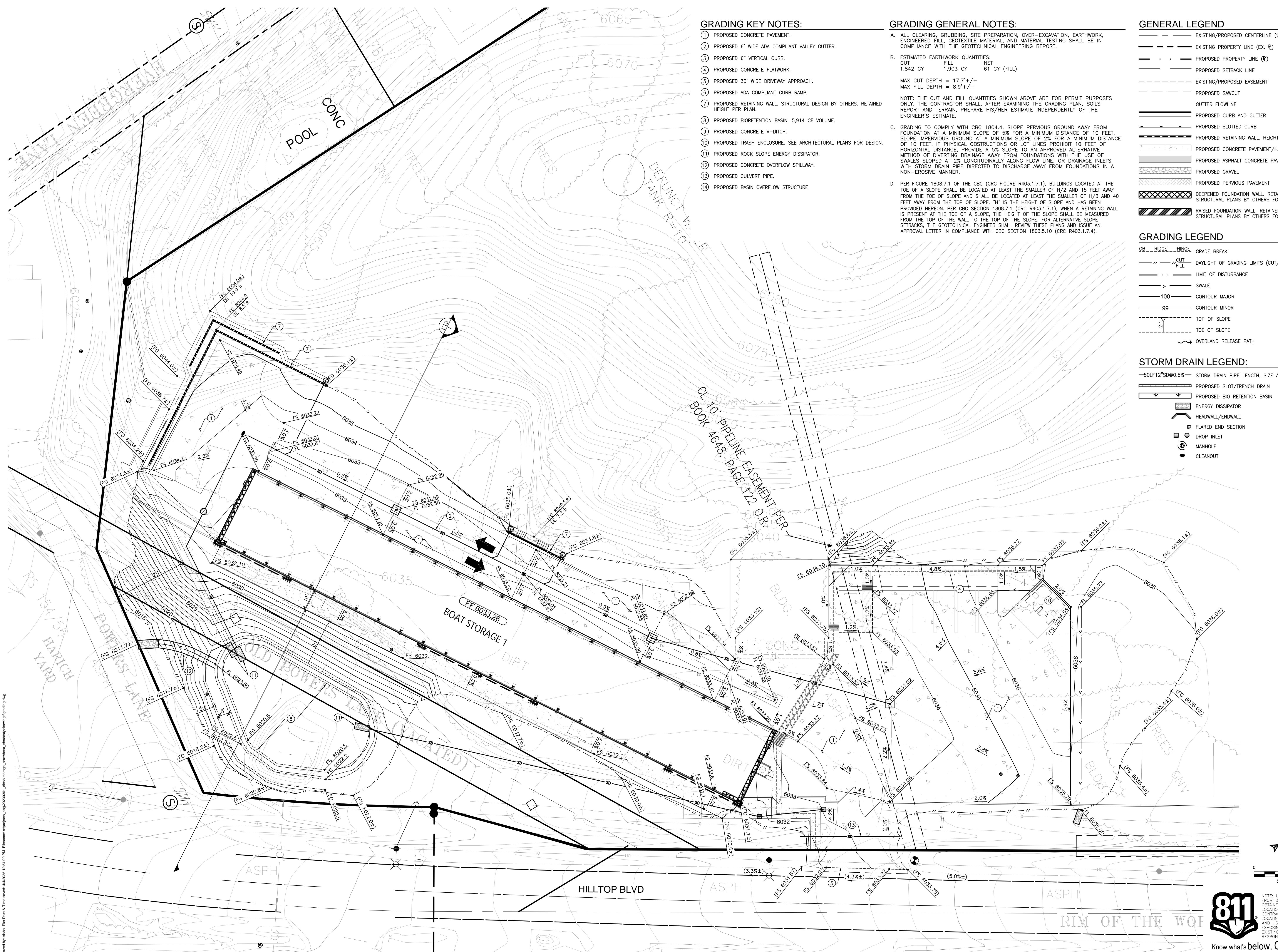
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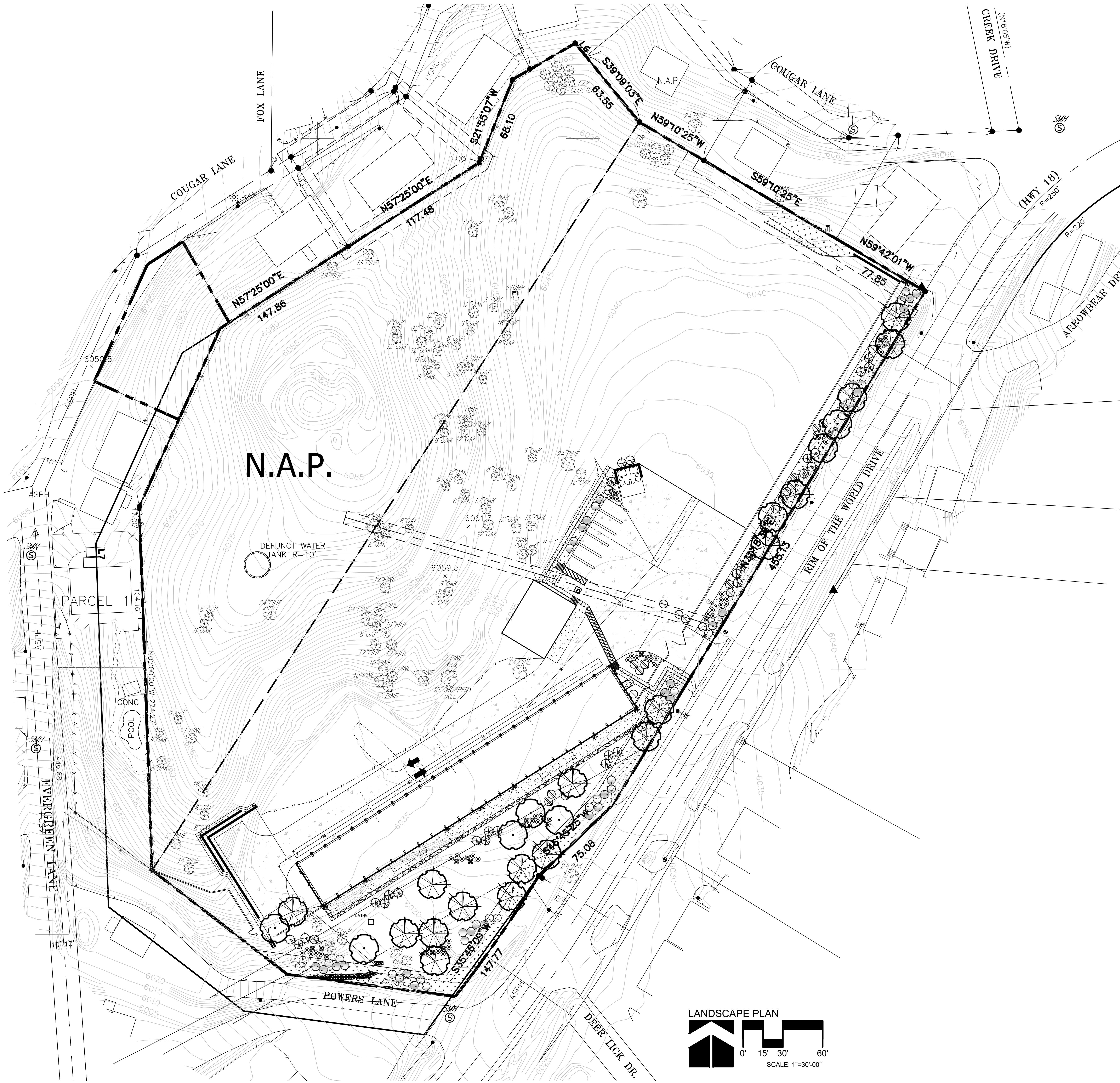
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CONTRACTOR.

design by: TW
drawn by: TW
checked by: MRW

C1.0
project #: 20230360

Know what's below. Call 811 before you dig.





LANDSCAPE LEGEND:
CALIP - TREE TYPE

	TREE BEING PRESERVED PROTECT IN PLACE
	PINUS NIGRA AUSTRIAN PINE 2" CALIP., 7.5T, 4.0W
	QUERCUS KELLOGGII CALIFORNIA BLACK OAK 2" CALIP., 7.5T, 4.5W
	PYRACANTHA ANGUSTIFOLIA ORANGE FIRE THORN 5 GALLON
	JUNIPERUS 'LOW-FAST' GROUND COVER JUNIPER 5 GALLON
	LAVANDULA SP. LAVENDER 5 GALLON
	MAHONIA AQUIFOLIUM OREGON GRAPE 5 GALLON

IRKAA
A R C H I T E C T S
223 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602.955.3900

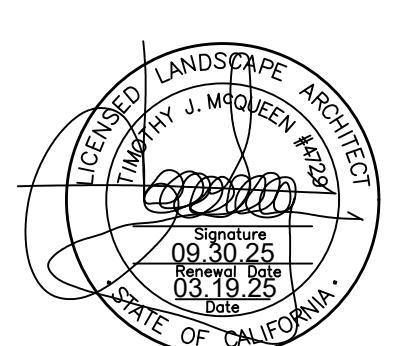
ON THE MOUNTAIN
BOAT & BOAT YARD

3286 HILTOP BOULEVARD

ARROWBEAR, CA 92314

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T.J. MCQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10446 N. 74th Street, Suite 150
Scottsdale, Arizona 85253
P: (602)265-0320
EMAIL: tmmcqueen@mtla.net
design by: RH
drawn by: BA
checked by: RH

"I agree that this landscape documentation package complies with the landscaping requirements as outlined by Chapter 83.10 of the County of San Bernardino Development Code; as well as any other requirements as outlined in supporting documentation regarding water efficient-landscaping requirements provided by the County of San Bernardino."



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La.01
project #: 23101.00

PRELIMINARY

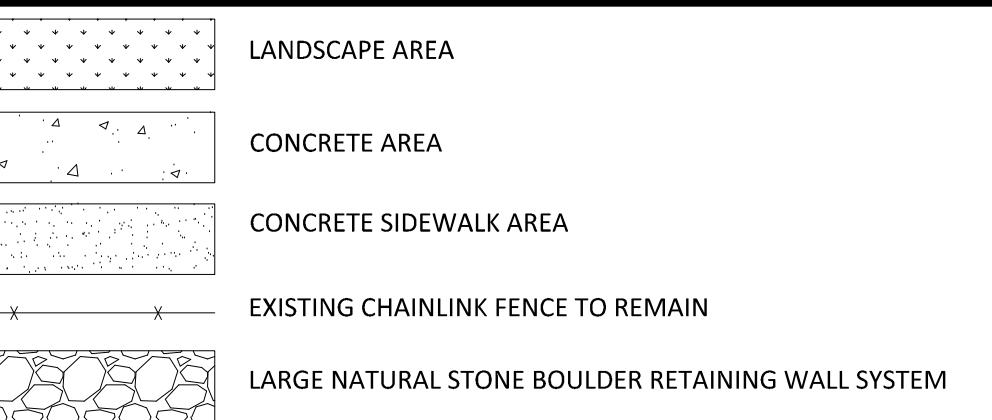
ON THE MOUNTAIN BOAT & BOAT YARD

ARROWBEAR, CA 92314

KEYNOTE

PROPERTY LINE
NOT USED
EXISTING CURB CUT TO REMAIN
EXISTING BUILDING TO REMAIN AS AN ACCESSORY BUILDING
EXISTING SHED TO BE REMOVED
EXISTING CHAINLINK FENCE TO REMAIN
EXISTING FIRE HYDRANT
EXISTING LIGHT POLE TO REMAIN
EXISTING 5'-0"x8'-0" DOUBLE SIDED SIGN WITH LIGHTS ON HWY
EXISTING 10'-0" PIPELINE EASEMENT PER BOOK 4648, PAGE 122 O.R. TO REMAIN
EXISTING 10'-0" SEWER EASEMENT PER BOOK 8804, PAGE 391 O.R. TO REMAIN
EXISTING POWER POLE TO REMAIN
EXISTING CONCRETE PAD TO REMAIN
NOT USED
NEW BICYCLE PARKING, RE: 5/SP2.0
NEW 4" THICK CONCRETE DRIVEWAY
NEW STORAGE BUILDING
NEW 6" CURB
NEW PARKING (10'x20') LOCATION WITH (1) ADA PARKING (11'x20'); PARKING STALL STRIPING
WITH DOUBLE OR HAIRPIN LINES, RE: 8/SP2.1
NEW CONCRETE SIDEWALK WITH CONTROL/EXPANSION JOINTS, RE: 1/SP2.0
NEW TRASH ENCLOSURE, RE: 15/SP2.0
NEW PAINTED ARROWS ON PAVING, RE: 12/SP2.0
NEW FIRE HYDRANT
NEW 10'-0" HIGH SOLID MASONRY, RE: 6 AND 16/SP2.1
NEW 4'-0"x6'-0" PEDESTRIAN GATE WITH PANIC HARDWARE, RE: 20/SP2.0
NEW KNOX BOX
NEW RETAINING WALL - REFER TO CIVIL PLAN
NEW FIRE RISER ROOM WITH FIRE RISER DOOR SIGN, RE: 9/SP2.1
NEW FDC LOCATION
DASHED LINE INDICATES PEDESTRIAN PATH
EXISTING WELL TO REMAIN FOR IRRIGATION ONLY
DASHED LINE INDICATES TRUCK TURN; 35'-0" INSIDE RADIUS AND 55'-0" OUTSIDE RADIUS
NEW PEDESTRIAN CROSSWALK, RE: 17/SP2.0
NEW ACCESSIBLE RAMP (TYP.), RE: 18/SP2.0
DASHED LINE INDICATES EXISTING BUILDING TO BE REMOVED
NEW LARGE NATURAL STONE BOULDER RETAINING WALL SYSTEM
NEW WALL PACK DOWN LIGHT
NEW VEHICLE GATES
NEW ROOF LADDER
LINE INDICATES EDGE OF CONCRETE

GEND



PARKING DATA

ING REQUIREMENT:	1 SPACE / 250 G.L.A. OF OFFICE 1,000 S.F. / 250 G.L.A. = 4 SPACES 1 SPACE / 1,000 S.F. OF STORAGE <u>757 S.F. / 1,000 S.F. = 1 SPACES</u>
TOTAL PARKING REQUIRED:	5 SPACES ADA REQUIREMENT = 1 SPACE
ING PROVIDED:	7 SPACES ADA PROVIDED = 1 SPACE

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SP1.0

Object #: **23101.00**

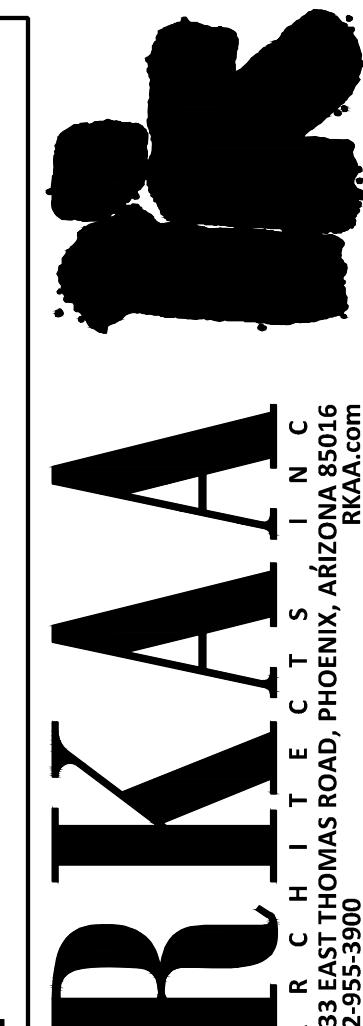


1 SITE PLAN
SCALE: 1" = 40'-0"

SCALE: 1" = 40'-0"

A black icon of a compass rose with the word "NORTH" at the top and a thick black arrow pointing upwards.

SP1.0



PRELIMINARY

ON THE MOUNTAIN BOAT & BOAT YARD

THE MOUNTAIN BOAT & BOAT YARD

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drawn by: BA
checked by: RH

SP2.1

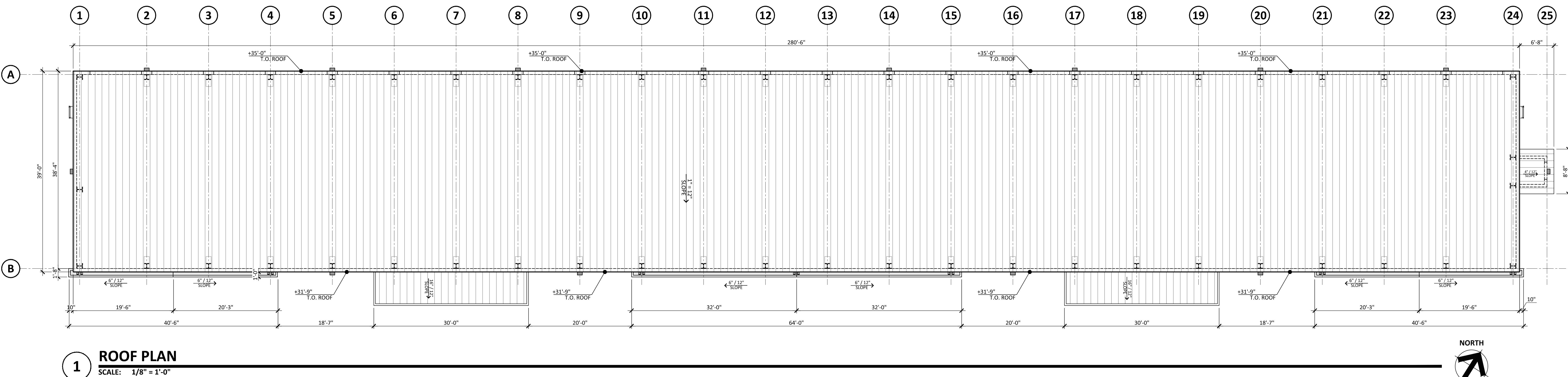
<p>- NOT USED SCALE: N.T.S.</p>	<p>17 NOT USED SCALE: N.T.S.</p>	<p>13 NOT USED SCALE: N.T.S.</p>	<p>9 FIRE RISER DOOR SIGN SCALE: 1-1/2" = 1'-0" * 1. (2) INCH LETTER - ON CONTRASTING BACKGROUND 1/2 INCH STROKE NOTE: ALL SIGNS TO BE WEATHER RESISTANT - PERMANENT * 2. (1) INCH LETTERS - ON CONTRASTING BACKGROUND 1/8 INCH STROKE RED REFLECTIVE/ WHITE BACKGROUND</p>	<p>5 NOT USED SCALE: N.T.S.</p>	<p>1 NOT USED SCALE: N.T.S.</p>
<p>- NOT USED SCALE: N.T.S.</p>	<p>18 NOT USED SCALE: N.T.S.</p>	<p>14 NOT USED SCALE: N.T.S.</p>	<p>10 RETAINING WALL SCALE: 3/4" = 1'-0" FINISH GRADE (REFER TO CIVIL PLAN FOR HEIGHT) 8x8x16 CMU PAINT: (SW9600) ARMORY MANUF.: SHERWIN WILLIAMS FINISH SURFACE (REFER TO CIVIL PLAN FOR HEIGHT) MAX HEIGHT AT 15'-0" MIN. 8' HIGHER THAN FINISH GRADE NOTE: REFER TO STRUCTURAL FOR EXACT CONSTRUCTION OF WALL ASSEMBLY.</p>	<p>6 MASONRY WALL SCALE: 3/4" = 1'-0" 8x8x16 CMU PAINT: (SW9600) ARMORY MANUF.: SHERWIN WILLIAMS FINISH SURFACE (REFER TO CIVIL PLAN FOR HEIGHT) MIN. 10'-0" HIGHER THAN FINISH GRADE GRADING VARIES NOTE: REFER TO STRUCTURAL FOR EXACT CONSTRUCTION OF WALL ASSEMBLY.</p>	<p>2 NOT USED SCALE: N.T.S.</p>
<p>- NOT USED SCALE: N.T.S.</p>	<p>19 NOT USED SCALE: N.T.S.</p>	<p>16 NOT USED SCALE: N.T.S.</p>	<p>REFER TO PLAN FOR DISTANCE 8x8x16 CMU PAINT: (SW9600) ARMORY MANUF.: SHERWIN WILLIAMS 8x8x16 CMU H-BLOCK PAINTED STUCCO PAINT: (SW9600) ARMORY MANUF.: SHERWIN WILLIAMS 1'-4" 10'-0" HIGHER THAN FINISH GRADE 1'-4" 1'-4"</p>	<p>8x8x16 CMU H-BLOCK PAINT: (SW9600) ARMORY MANUF.: SHERWIN WILLIAMS 8x8x16 CMU PAINT: (SW9600) ARMORY MANUF.: SHERWIN WILLIAMS DASH LINE INDICATES STONE COPING ABOVE 1'-0" 10'-0" 1'-4"</p>	<p>8 ACCESSIBLE SYMBOL SCALE: 3/16" = 1'-0" EXISTING BUILDING ADA PARKING SIGN RE: 7/SP2.0 ADA PARKING SIGN RE: 2/SP2.0 CONCRETE SIDEWALK 2'-0" OVERHANG 4" WIDE PAINTED STRIPING WHEEL STOP RE: 3/SP2.0 PAINTED ACCESSIBLE SYMBOL RE: 6/SP2.0 EQ EQ 9' 20'-0" 11'-0" 5'-0" 5'-0" 10'-0" CONCRETE DRIVEWAY DOUBLE/HAIRPIN PAINTED LINES WITH 9" ON EITHER SIDES (TYP.)</p>
<p>- NOT USED SCALE: N.T.S.</p>	<p>20 NOT USED SCALE: N.T.S.</p>	<p>- NOT USED SCALE: N.T.S.</p>	<p>- NOT USED SCALE: N.T.S.</p>	<p>- NOT USED SCALE: N.T.S.</p>	<p>- NOT USED SCALE: N.T.S.</p>
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PRELIMINAR

1

CE OF ALTERNATE BILLING OR PAYMENT CYCLE. CONTRACT MAY ALLOW THE OWNER TO REQUIRE SUBMISSION OF BILLINGS OR ESTIMATES IN CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENTS ON SOME ALTERNATIVE SCHEDULE AFTER IDENTIFICATION AND APPROVAL OF BILLING AND CHARGES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

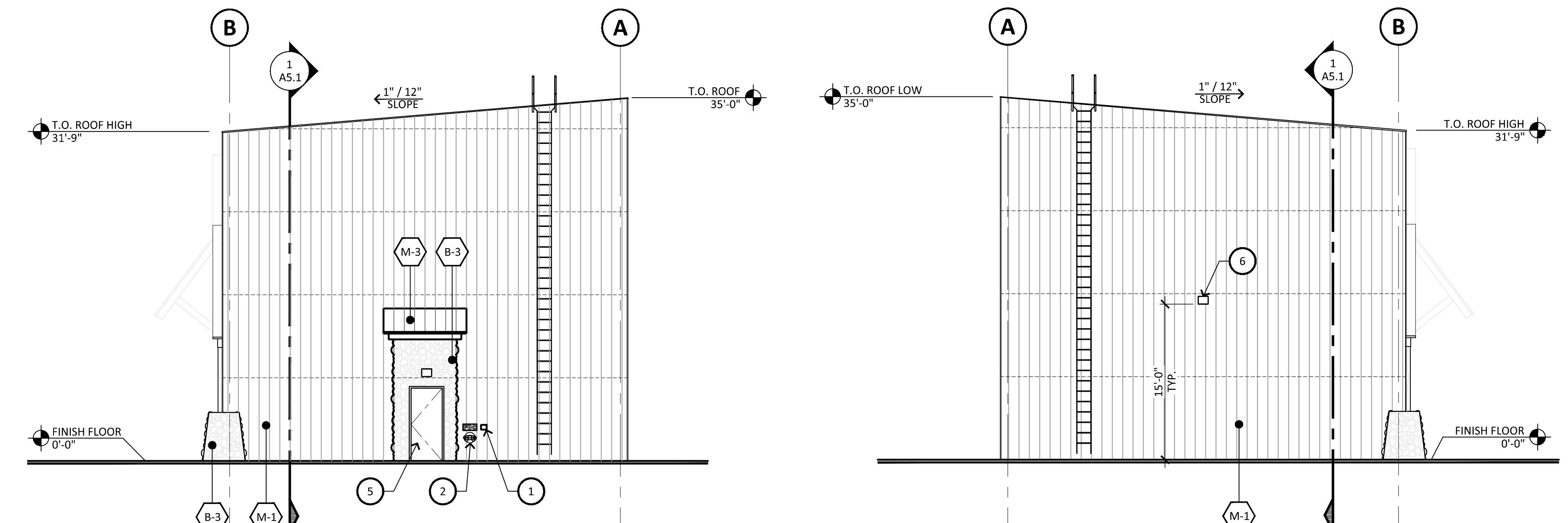
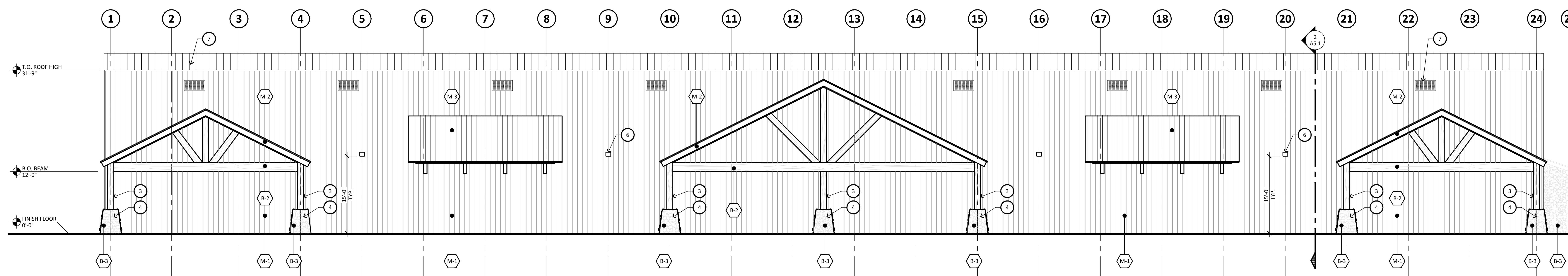
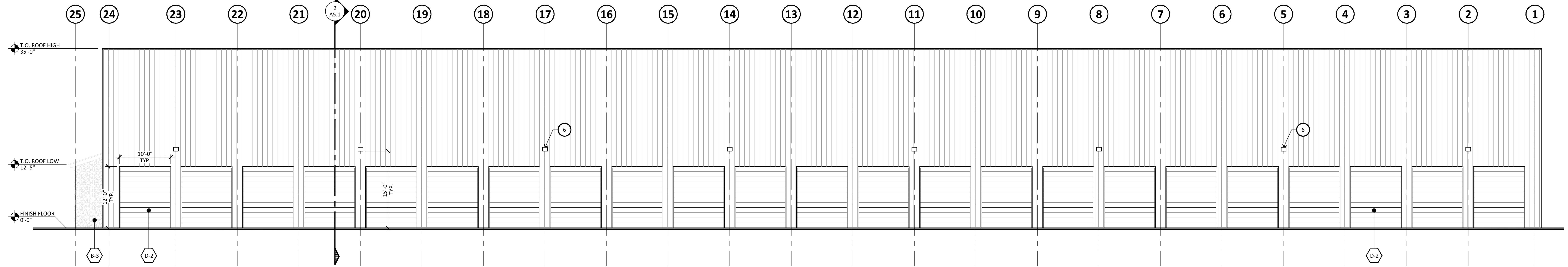
**CHINLE MUSICAL
BOAT & BOAT YARD**



RKAA

CHI E C. INC.
273 EAST 11TH STREET, PHOENIX, ARIZONA 85016
602.955.3900
RKAA.com

PRELIMINARY
DATE



GENERAL NOTES

- A. GRADE ELEVATIONS TO BE VERIFIED WITH CIVIL DRAWINGS.
- B. SEAL ALL THRU-WALL PENETRATIONS WEATHER TIGHT - VERIFY QUANTITY AND LOCATION. PROVIDE BIRD SCREENS OVER ANY PIPE OPENINGS.
- C. PROVIDE DAMP-PROOFING AT WALL LOCATIONS WHERE GRADE IS ABOVE FINISH FLOOR ELEVATION.
- D. PAINT EXPOSED GAS PIPING, CONDUIT AND RELATED METAL TO MATCH ADJACENT FINISH.
- E. ALL EXPOSED METAL SHALL BE PAINTED. REFER TO SPECIFICATIONS FOR TYPE OF PAINT

KEYNOTES

- 1. KNOX BOX - 3200 SERIES ALUMINUM SURFACE MOUNT - INSTALL PER C.O.S. FIRE DEPT.
- 2. F.D.C. LOCATION
- 3. WOOD COLUMN
- 4. STONE BASE
- 5. EXTERIOR DOOR
- 6. WALL PACK LIGHT
- 7. LOUVER
- 8. APPROXIMATE HEIGHT OF ADJACENT FINISH GRADE. REFER TO CIVIL.

MATERIAL LEGEND

A-1	DARK BRONZE #40 ANODIZED CLEAR LOW-E INSULATED GLASS
D-1	ROLL-UP METAL DOOR COLOR: SILHOUETTE GRAY MANUF: JANUS
D-2	MAN DOOR COLOR: DORAIN GREY (SW7017) FINISH: SATIN
M-1	METAL SYSTEM PER PLAN/DETAILS COLOR: ARMORY(SW9600) FINISH: SATIN
M-2	METAL FLASHING COLOR: ARMORY(SW9600) FINISH: SATIN
M-3	STANDING SEAM METAL ROOF COLOR: CHARCOAL GRAY FINISH: SATIN
B-1	HARDIE BOARD COLOR: FROSTED GREEN MANUF: JAMES HARDIE
B-2	ROUGH SAWN WOOD OUTRIGGERS COLOR: STAINED BROWN
B-3	STONE VENEER COLOR: COLORADO RIVER ROCK MANUF: EL DORADO STONE
B-4	CONCRETE MASONRY UNITS COLOR: MANUF:

ON THE MOUNTAIN
BOAT & BOAT YARD

3284 HILTOP BOULEVARD
ARROWBAR, CA 92314

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design by: RH
drawn by: BA
checked by: RH

A4.1
project #: 23101.00

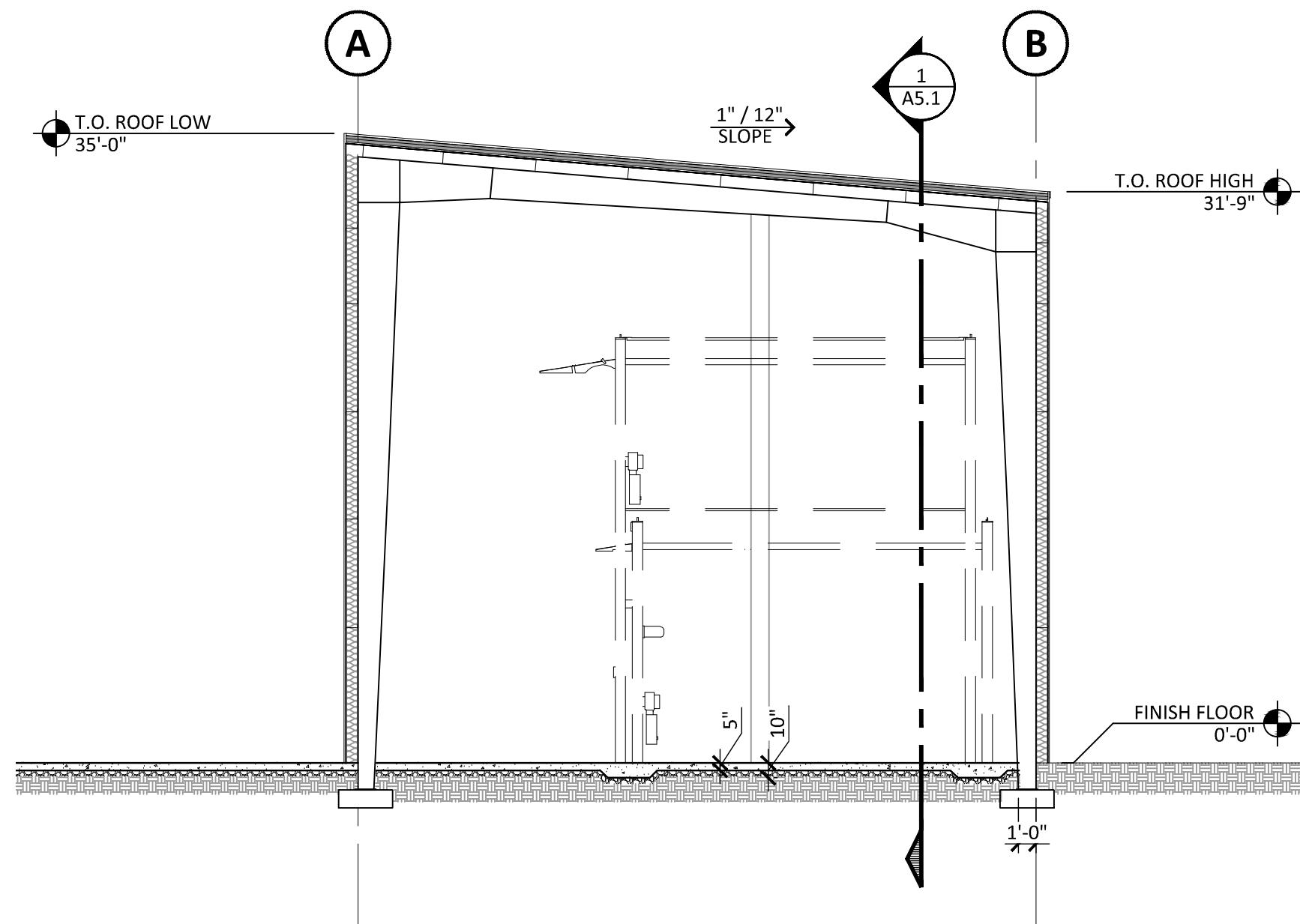
This architectural section drawing illustrates a building's cross-section with various structural details. The drawing is labeled with 25 callouts, each containing a number (1 through 25). The numbers are arranged as follows: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, and 25. The building features a series of vertical columns and horizontal beams. A vertical dashed line is positioned in the center-right portion of the structure. On the left side, there are two reference points: 'T.O. ROOF' at 31'-9" and 'FINISH FLOOR' at 0'-0". The roof is depicted with a grid of lines, and the floor levels are indicated by horizontal lines. A small detail callout at the top right, labeled '2 A.1', shows a cross-section of a wall or beam with the numbers '2' and 'A.1' inside.

SECTION

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



SECTION
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

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A5.1