

**DUSTIN WALLACE**  
Home Inspections  
& Construction

Always rely on a qualified General Contractor  
for all your Home Inspections

707-293-6307 CSLB. #1052482  
WWW.DUSTINWALLACE.COM



## Home Inspection Report



706 Ketch Court, Clearlake Oaks, CA 95423

**Inspection Date:**

Saturday October 10, 2020

**Prepared For:**

Julius R. Turpijn

**Prepared By:**

Dustin Wallace Home Inspections & Construction  
16496 Main St.  
Lower Lake, CA 95457  
(707) 293-6307  
dustinjameswallace1985@gmail.com

**Report Number:**

5446

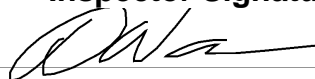
**Inspector:**

Dustin Wallace

**License/Certification #:**

CA--1052482

**Inspector Signature:**



# Report Overview

## Scope of Inspection

---

All components designated for inspection in the ASHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

## Main Entrance Faces

---

North

## State of Occupancy

---

Occupied

## Weather Conditions

---

Cloudy

## Recent Rain

---

No

## Ground Cover

---

Dry

## Approximate Age

---

2020

# Report Summary

## Items Not Operating

Various items are not operating correctly. AC / Heat Pump is not in proper operating mode. Video evidence shows the how the brand new unit automatically shuts off. Furnace in closet does not work as well as coils freeze" more detail is given in the report section on the units.

## Major Concerns

There are major concerns with regard to this manufactured home. The hardie plank has shows no sheer value and on the skirt board and the garage is missing sheerwall beneath the sheets. Hardie planking is easy to bust through. There is also no vapor barrier between the studs and hardie plank. The contractor installed this incorrectly. If the contractor wants to say that the hardie has sheer strength have him show the engineering specifications to back his claim. If you are able to break a hardie panel in half with your bare hands then how will that work with ground movements from an earthquake. It is very easy to damage hardie and a lot harder to replace or "patch" The sheer that should have been installed in the garage and skirt board underneath the house would have protected from damage and give sheer strength.

All of the 4x4 posts need to be taken out immediately. Those are NOT REDWOOD, as the contractor claimed they were I would contact Kelseyville Lumber and get a print out of the lumber take off / list to show they were infact doug fur which they are. Always use Pressure Treated 4x4 posts when going directly into ground / concrete. More on this deck will be discussed in section.

The concrete slab / walkway is a complete mess with multiple spots showing fall towards house or potential puddling. If i were the owner i would get a bucket of water on the areas I have shown in the report and see where the water flows. This slab is one of the worst slabs I ever seen. In fact this contractor has no business calling himself a contractor he clearly has no ethics in his craft and his quality of work does not back up any claim to be supportive that he did good work on this house.

The AC unit is in a completely illegal location and should not be signed off by the inspector for final if he did then he should not be an inspector. There is not enough clearlance and there is no accessibility for the manufacture specs. The unit does not run correctly as well.

The slab is also poured up and against the siding and trim on multiple areas this is not the correct way as no flashing was used. Even if the contractor says its hardie as his excuse for doing it should put a piece of hardie in a wet bucket to show u how strong it is let along with no sheer to withstand the concrete push against the siding. There is no excuse for this. the foundation should have been a perimeter on garage seperate from the concrete walkways not as a continuous pour, no one does this. More to be dislosed in the report below.

## Potential Safety Hazards

Refer to detailed report below for concerns

## Deferred Cost Items

there is well over \$30,000 in mishaps and costs with wrong pitch slabs, unfinished deck, and other areas of concern that are reported in this report.

## Improvement Items

Need to improve deck, HVAC, Plumbing, details are in sections of report.

# Report Summary

## Items To Monitor

---

The 45 connection on the waste line is not installed correctly and there is an area in the crawlspace section that shows not proper fall on a portion of the waste pipe.

# Receipt/Invoice

**Dustin Wallace Home Inspections &  
Construction**  
16496 Main St.  
Lower Lake, CA 95457  
(707) 293-6307

**Property Address**  
706 Ketch Court  
Clearlake Oaks, CA 95423

Date: Oct 10, 2020

Inspection Number: 5446

Inspected By: Dustin Wallace

Payment Method: Check

Client: Julius R. Turpijn

<b>Inspection</b>	<b>Fee</b>
Home Inspection	\$350.00

---

<b>Total</b>	<b>\$350.00</b>
--------------	-----------------

# Grounds

## Walkways / Entrance

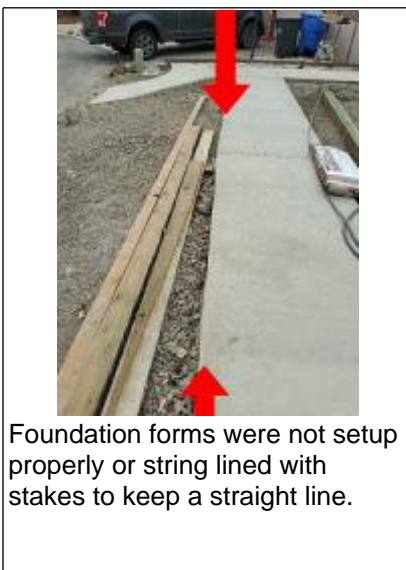
None  Not Visible

**Material**  Concrete  Flagstone  Gravel  Brick Other: .

**Condition**  Satisfactory  Marginal  **Poor**  Trip hazard  Typical cracks  Pitched towards home  
 Settling cracks  Public sidewalk needs repair

**Comments** There are multiple areas in this section that show wrong pitch or areas of "puddling"that are of concern.

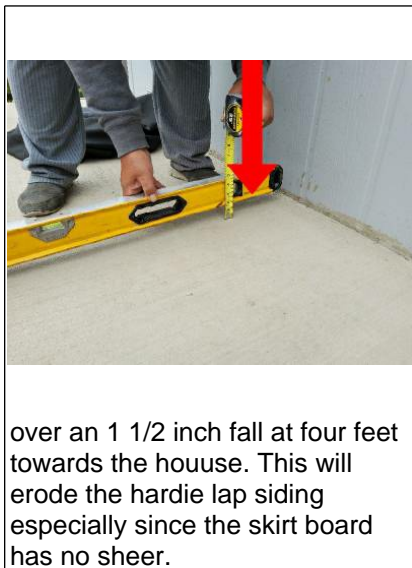
### Photos



Foundation forms were not setup properly or string lined with stakes to keep a straight line.



This is fall towards the house not away. This is unacceptable, no concrete person should ever consider this ethical to have water fall to the house.



over an 1 1/2 inch fall at four feet towards the houuse. This will erode the hardie lap siding especially since the skirt board has no sheer.



## Driveway/Parking

None  Not Visible

**Material**  Concrete  Asphalt  Gravel/Dirt  Brick Other: .

**Condition**  Satisfactory  **Marginal**  Poor  Settling Cracks  Typical cracks  Pitched towards home  
 Trip hazard  Fill cracks and seal

**Comments** The driveway where the cars are parked was moderate condition for a new slab.

### Photos

# Grounds



## Porch

None  Not Visible

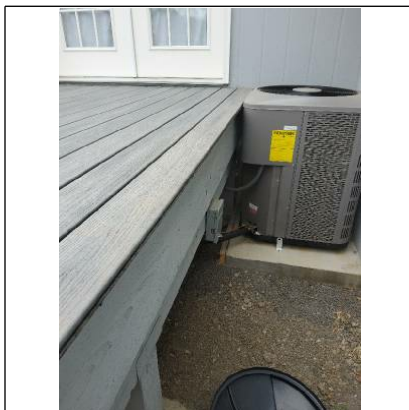
**Condition**  Satisfactory  Marginal  **Poor**  Railing/Balusters recommended

**Support Pier**  Concrete  Wood Other: .

**Floor**  Satisfactory  Marginal  Poor  **Safety Hazard**

**Comments** This deck is built entirely wrong. Refer to arrow that explains California Code for max cantilever on decks.

### Photos



The contractor had no thought process when it came to installing a railing on this porch, or where to put the posts with the illegal location of this HVAC unit. If he was following the wrong way of doing posts on the back deck then he would have no room for the posts and rail. The proper way to do this is explained in the Railing portion of the report.



Deck joists cannot cantilever more than 24 inches beyond a support beam or girder. This tape measures out to over 4 ft of no support. Another girder and post are needed at the end of this deck for needed structural support.



# Grounds



Cantilever past four feet not code.



Was there ever a drain tile installed? after the house was put in place? Especially got gutter downspouts?



no support for rim especially if this is not tied into the house rim.

## Stoops/Steps

None

**Material**

Concrete  Wood Other:  Railing/Balusters recommended

**Condition**

Satisfactory  Marginal  Poor  Safety Hazard  Uneven risers  Rotted/Damaged  
 Cracked  Settled

**Comments**

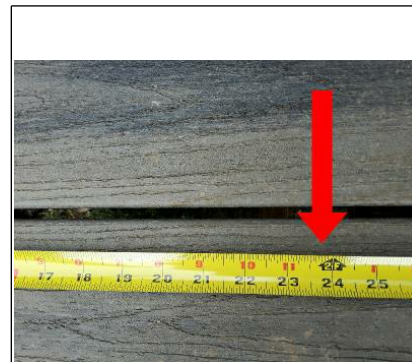
**Photos**



Terrible botch finish concrete job



Steps on back deck need to be 16 on center risers. This is two feet which would work for standard 2x6 wood decking but not Trex.



arrow is where the stringer is located.



# Grounds



needs to be replaced



Same goes for this back deck. Deck treads need to be taken off and more stair stringers need to be installed for a 16 on center spacing.

## Patio

None

**Material**

Concrete  Flagstone  Kool-Deck  Brick Other: .

**Condition**

Satisfactory  Marginal  Poor  Settling cracks  Trip hazard  
 Pitched towards home (see remarks)  Drainage provided  Typical cracks

**Comments**

## Deck/Balcony

None  Not Visible

**Material**

Wood  Metal  Composite  Railing/Balusters recommended

**Condition**

Satisfactory  Marginal  Poor  Wood in contact with soil

**Finish**

Treated  Painted/Stained Other:  Safety Hazard  Improper attachment to house  
 Railing loose  Not Applicable

**Comments**

These posts are not installed correctly, they need to be notched and blocked on the inside of the rim not the outside. Every contractor knows proper bracing is needed when blocked against the post if "floating" and not considered part of the structural load carrier of the deck. Therefore, the proper way to install is taking out the last two or deck planks move the posts onto the inside and run lags 4 inch lags to be exact could be half inch after predrill into the the posts from the outside rim and then run screws from the block from the inside of deck portion. The only solution i see is if not be taken out and notched run another rim on the outside and once leveled run three inch screws or lags from exterior rim into posts once leveled.

**Photos**

# Grounds



this is a rain cap. as you can see this is made to cover the jigsaw cuts on the planks on inside of the rim so it could cover the cuts, not be on the outside of the rim.



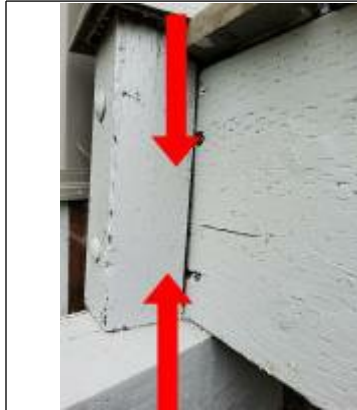
This is the proper way to put a post in, use this as reference when it comes to cutting the deck treads.



These are treads for the deck portion these are not to be used for the stair treads. The female ends which you see here are for latching mechanism of the hidden screws. not to be used for stairs. The stairs need to be screwed off as well on the face as these locking mechanisms are not meant for stairs.



bolts and nuts should not be used when securing the 4x4 posts. should be the proper way to secure going from multiple sides to keep the posts plumb.



for now you can run 4 inch screws angled from 4x4 posts into rim once plumbed.



inside of the rim showing the nut and washer.

# Grounds



girder is not sitting directly on post mounting hardware / strong tie



Again this needs to be lags not bolt and washers.



This is almost an inch out of level and this was considered not the worst post.



Extremely out of level look at the post compared next to it.



# Grounds



There is a joist next to this post and can be lagged into or ran 4 inch screws from joist into the 4x4 post underneath deck



This is well over an inch out of plumb



arrow refers to posts with no support. I would at this point recommend running another rim on other side of 4x4 and run deck planning long way opposite as installed now and it would better tie in posts and the appeal will look more finished as well.



needs to be removed.

## Deck/Patio/Porch Covers

None

**Condition**  Satisfactory  Marginal  Poor  Posts/Supports need Repair  Earth to wood contact  Moisture/Insect damage

**Recommend**  Metal Straps/Bolts/Nails/Flashing  Improper attachment to house  None

**Comments**



# Grounds

## Fence/Wall

- Not evaluated  None  
**Type**  Brick  Block  Wood  Metal  Chain Link  Rusted  Vinyl  
**Condition**  Satisfactory  Marginal  Poor  Typical cracks  Loose Blocks/Caps  
**Gate**  N/A  Satisfactory  Marginal  Poor  Planks missing/damaged Operable:  Yes  No  
**Comments** This is where i get very upset as a builder when a builder lies to his clients of the material being used. These posts are not redwood they are doug fur and they will rot in the ground and are to never be installed in the ground unless treated and these are not treated. He should have atleast used pressure treated posts.

## Photos



Not proper fall in front of crawl hole.

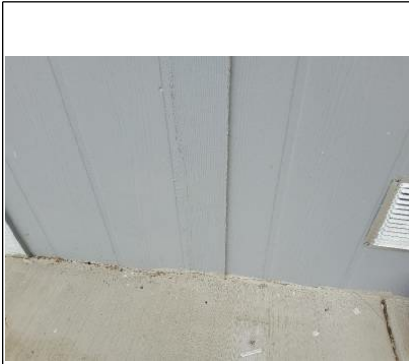


These are doug fur posts and should not be installed in dirt. also this contractor clearly did not run a string line for these posts.



These foundation forms should be pulled as the general claimed he left them there for fencing? so he would go horizontal with the planking? This does not make any sense. the 2x4 horizontal piece would have been in between the posts so there is no point. Also this looks terrible! u can see this from the road.

# Grounds



Concrete is poured over the siding! that is unacceptable



If you see in person and view this arrow u will see how far out this slab is as well as the posts.



This is guaranteed to be a puddle area where water will just sit.

## Landscaping affecting foundation

N/A

**Negative Grade**  East  West  North  South  Satisfactory  Recommend additional backfill  
 Recommend window wells/covers  Trim back trees/shrubberies  
 Wood in contact with/improper clearance to soil

**Comments**

## Retaining wall

None

**Material**  Brick  Concrete  Concrete block Other:  Railroad ties  Timbers

**Condition**  Satisfactory  Marginal  Poor  Safety Hazard  Leaning/cracked/bowed  
 Drainage holes recommended

**Comments**

## Hose bibs

N/A

**Condition**  Satisfactory  Marginal  Poor  No anti-siphon valve  Recommend Anti-siphon valve

**Operable**  Yes  No  Not Tested  Not On

**Comments**

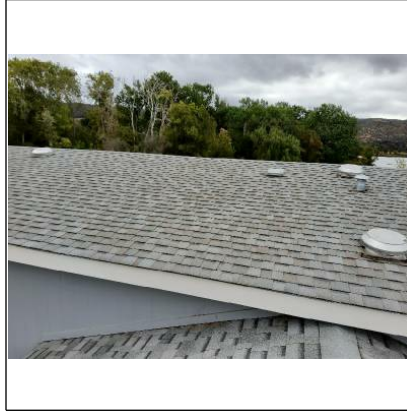
# Roof

## General

**Visibility**     None    All    Partial   Limited By: .

**Inspected From**    Roof    Ladder at eaves    Ground    With Binoculars

## Photos



## Style of Roof

**Type**     Gable    Hip    Mansard    Shed    Flat   Other: .

**Pitch**     Low    Medium    Steep    Flat

**Roof #1**    Type:Asphalt

Layers:

Age:

Location:

**Roof #2**     None

Type:

Layers:

Age:

Location:

**Roof #3**     None

Type:

Layers:

Age:

Location:

## Comments

## Ventilation System

None    N/A

**Type**     Soffit    Ridge    Gable    Roof    Turbine    Powered   Other: .

## Comments

## Photos



# Roof



## Flashing

**Material**  Not Visible  Galv/Alum  Asphalt  Copper  Foam  Rubber  Lead Other: .

**Condition**  Not Visible  Satisfactory  Marginal  Poor  Rusted  Missing  
 Separated from chimney/roof  Recommend Sealing Other: .

**Comments** Flashing should have been tucked under siding on the gable end. What he did is very common for people who reroof a house. However was the unit nailed off, before garage was attached being a manufactured home? Then he would have no choice then to do it this way with the 1x4.

## Photos



## Valleys

N/A

**Material**  Not Visible  Galv/Alum  Asphalt  Lead  Copper Other: .

**Condition**  Not Visible  Satisfactory  Marginal  Poor  Holes  Rusted  Recommend Sealing

# Roof

## Condition of Roof Coverings

- Roof #1**  Satisfactory  Marginal  Poor  Curling  Cracking  Ponding  Burn Spots  
 Broken/Loose Tiles/Shingles  Nail popping  Granules missing  Alligating  Blistering  
 Missing Tabs/Shingles/Tiles  Moss buildup  Exposed felt  Cupping  
 Incomplete/Improper Nailing  Recommend roofer evaluate  Evidence of Leakage
- Roof #2**  N/A  Satisfactory  Marginal  Poor  Curling  Cracking  Ponding  Burn Spots  
 Broken/Loose Tiles/Shingles  Nail popping  Granules missing  Alligating  Blistering  
 Missing Tabs/Shingles/Tiles  Moss buildup  Exposed felt  Cupping  
 Incomplete/Improper Nailing  Recommend roofer evaluate  Evidence of Leakage
- Roof #3**  N/A  Satisfactory  Marginal  Poor  Curling  Cracking  Ponding  Burn Spots  
 Broken/Loose Tiles/Shingles  Nail popping  Granules missing  Alligating  Blistering  
 Missing Tabs/Shingles/Tiles  Moss buildup  Exposed felt  Cupping  
 Incomplete/Improper Nailing  Recommend roofer evaluate  Evidence of Leakage

## Comments

## Skylights

- N/A  Not Visible

**Condition**  Cracked/Broken  Satisfactory  Marginal  Poor

## Comments

## Plumbing Vents

- Not Visible  Not Present

**Condition**  Satisfactory  Marginal  Poor

## Comments

## Photos



# Exterior

## Chimney(s)

None

## Location(s)

**Viewed From**  Roof  Ladder at eaves  Ground (Inspection Limited)  With Binoculars

**Rain Cap/Spark Arrestor**  Yes  No  Recommended

**Chase**  Brick  Stone  Metal  Blocks  Framed

**Evidence of**  Holes in metal  Cracked chimney cap  Loose mortar joints  Flaking  Loose brick  Rust  
 No apparent defects

**Flue**  Tile  Metal  Unlined  Not Visible

**Evidence of**  Scaling  Cracks  Creosote  Not evaluated  Have flue(s) cleaned and re-evaluated  
 Recommend Cricket/Saddle/Flashing  No apparent defects

**Condition**  Satisfactory  Marginal  Poor  Recommend Repair

## Comments

## Gutters/Scuppers/Eavestrough

None

**Condition**  Satisfactory  Marginal  Poor  Rusting  Downspouts needed  Recommend repair/replace  
 Needs to be cleaned

**Material**  Copper  Vinyl/Plastic  Galvanized/Aluminum Other: .

**Leaking**  Corners  Joints  Hole in main run  No apparent leaks

**Attachment**  Loose  Missing spikes  Improperly sloped  Satisfactory

**Extension needed**  North  South  East  West  N/A

**Comments** The house does need gutters (Contact Gutter Masters at 707-279-1524) also have them check if there is proper drainage away from the house if a french drain would need to be installed.

## Siding

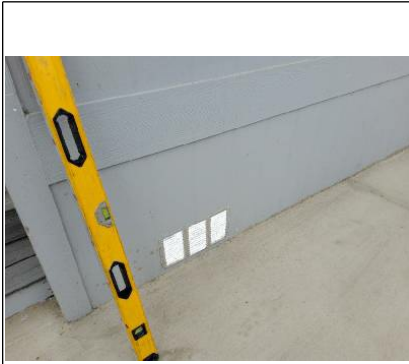
**Material**  Stone  Slate  Block/Brick  Fiberboard  Fiber-cement  Stucco  EIFS\* Not Inspected  
 Asphalt  Wood  Metal/Vinyl Other: .  Typical cracks  Peeling paint  Monitor  Wood rot  
 Loose/Missing/Holes

**Condition**  Satisfactory  Marginal  Poor  Recommend repair/painting

**Comments** I am absolutely appauled that the contractor thought it was a good idea to run the concrete up against the siding. There was no flashing and no stem wall for the garage. How will this garage also not flood during rain season when there is not proper fall from the walkway as it is anyway let alone towards the home.

## Photos

# Exterior



This is butted concrete to skirt board of hardie. Not correctly done!



Refer to circle on this one... that its 4 inches atleast of concrete up against the hardie plank with no added support behind the siding!



No shear! this is the garage where you can also see no vapor barrier.



Concrete butting the siding this is a terrible HACK JOB!

## Trim

**Material**  Wood  Fiberboard  Aluminum/Steel  Vinyl  Stucco  Recommend repair/painting

Damaged wood Other: .

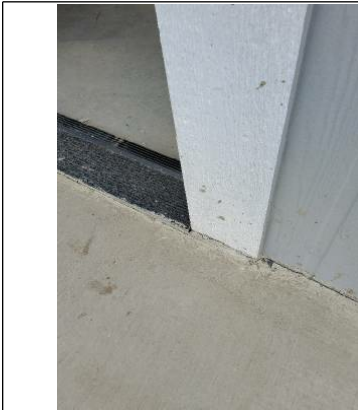
**Condition**  Satisfactory  Marginal  Poor

**Comments**

**Photos**



# Exterior



Wood trim should not be touching concrete



Wood trim should not be touching concrete this will rot.



Wood trim is imbedded in the concrete, unacceptable!



## Soffit

None

**Material**

Wood  Fiberboard  Aluminum/Steel  Vinyl  Stucco  Recommend repair/painting  
 Damaged wood Other: .

**Condition**

Satisfactory  Marginal  Poor

**Comments**

## Fascia

None

**Material**

Wood  Fiberboard  Aluminum/Steel  Vinyl  Stucco  Recommend repair/painting  
 Damaged wood Other: .

**Condition**

Satisfactory  Marginal  Poor

**Comments**

**Photos**

# Exterior



## Flashing

None

### Material

Wood  Fiberboard  Aluminum/Steel  Vinyl  Stucco  Recommend repair/painting  
 Damaged wood Other: .

### Condition

Satisfactory  Marginal  Poor

### Comments

No flashing on the garage.

### Photos



No flashing on garage

## Caulking

None

### Condition

Satisfactory  Marginal  Poor  
 Recommend around windows/doors/masonry ledges/corners/utility penetrations

### Comments

Absolute hack job of a chalking job. Photos look better then in person

### Photos

# Exterior



This is a cracked hardie plank that should have been replaced with a new sheet instead it was chalked and patched this will only look worse in the coming years.

## Windows/Screens

**Condition**  Satisfactory  Marginal  Poor  Wood rot  Recommend repair/painting  
 Recommend repair/replace damaged screens  Failed/fogged insulated glass

**Material**  Wood  Metal  Vinyl  Aluminum/Vinyl clad

**Screens**  Torn  Bent  Not installed  Satisfactory

**Comments**

**Photos**





# Exterior

## Storms Windows

None  Not installed

**Condition**  Satisfactory  Broken/cracked  Wood rot  Recommend repair/painting

**Material**  Wood  Clad comb.  Wood/Metal comb.  Metal

**Putty**  Satisfactory  Needed  N/A

**Comments**

## Slab-On-Grade/Foundation

**Foundation Wall**  Concrete block  Poured concrete  Post-Tensioned concrete  Not Visible Other: .

**Condition**  Satisfactory  Marginal  Monitor  Have Evaluated  Not Evaluated

**Concrete Slab**  N/A  Not Visible  Satisfactory  Marginal  Monitor  Have Evaluated

**Comments** Refer to crawl space for foundation inspection

## Service Entry

**Location**  Underground  Overhead

**Condition**  Satisfactory  Marginal  Poor  Weather head/mast needs repair  Overhead wires too low

**Exterior receptacles**  Yes  No Operable:  Yes  No Condition:  Satisfactory  Marginal  Poor

**GFCI present**  Yes  No Operable:  Yes  No  Safety Hazard  Reverse polarity  Open ground(s)  
 Recommend GFCI Receptacles

**Comments**

## Building(s) Exterior Wall Construction

**Type**  Not Visible  Framed  Masonry Other: .

**Condition**  Not Visible  Satisfactory  Marginal  Poor

**Comments**

## Exterior Doors

**Main Entrance**  N/A Weatherstripping:  Satisfactory  Marginal  Poor  Missing  Replace Door condition:  
 Satisfactory  Marginal  Poor

**Patio**  N/A Weatherstripping:  Satisfactory  Marginal  Poor  Missing  Replace Door condition:  
 Satisfactory  Marginal  Poor

**Rear door**  N/A Weatherstripping:  Satisfactory  Marginal  Poor  Missing  Replace Door condition:  
 Satisfactory  Marginal  Poor

**Other door**  N/A Weatherstripping:  Satisfactory  Marginal  Poor  Missing  Replace Door condition:  
 Satisfactory  Marginal  Poor

**Comments**

**Photos**

# Exterior



## Exterior A/C - Heat pump #1

- Unit #1**  N/A  
 Location: Side entrance  
 Brand:  
 Model #:  
 Serial #:  
 Approximate Age:
- Condition**  Satisfactory  Marginal  Poor  Cabinet/housing rusted
- Energy source**  Electric  Gas Other: .
- Unit type**  Air cooled  Water cooled  Geothermal  Heat pump
- Outside Disconnect**  Yes  No Maximum fuse/breaker rating (amps): Fuses/Breakers installed (amps):  
 Improperly sized fuses/breakers
- Level**  Yes  No  Recommend re-level unit
- Condenser Fins**  Damaged  Need cleaning  Damaged base/pad  Damaged Refrigerant Line  Satisfactory
- Insulation**  Yes  No  Replace
- Improper Clearance (air flow)**  Yes  No
- Comments** Spins then stops fans. Coils will freeze up Filled with fryons but inside valve inside not regulated flow. HVAC contractor haas been contacted to do a service. There is also not enough clearance and accessibility for the manufacture specs.

## Photos

# Exterior



How can this unit be accessed, let alone see what the Serial and Manufacture number is for ordering parts?



Model serial number all covered which makes service merely impossible along with inability to access unit.



Concrete pad poured refer to next photo after to show otherside of wall.



Interior side of wall no block support or shear for illegal paf

## Exterior A/C - Heat pump #2

**Unit #2**

N/A

Location:

Brand:

Model #:

Serial #:

Approx. Age:

**Energy source**  Electric  Gas Other: \_\_\_\_\_

**Unit type**  Air cooled  Water cooled  Geothermal  Heat pump

**Outside Disconnect**  Yes  No Maximum fuse/breaker rating (amps): \_\_\_\_\_ Fuses/Breakers installed (amps): \_\_\_\_\_  
 Improperly sized fuses/breakers

**Level**  Yes  No  Recommend re-level unit

**Condenser Fins**  Damaged  Need cleaning  Damaged base/pad  Damaged Refrigerant Line  Satisfactory

**Insulation**  Yes  No  Replace

**Condition**  Satisfactory  Marginal  Poor  Cabinet/housing rusted

**Improper Clearance (air flow)**  Yes  No

**Comments**

# Garage

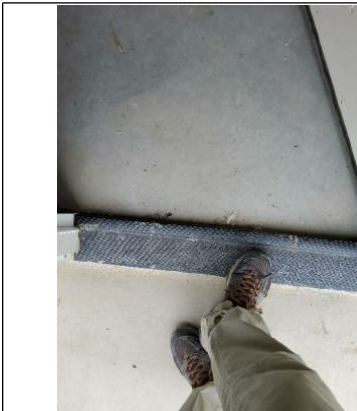
## Type

None

**Type**  Attached  Detached  1-Car  2-Car  3-Car  4-Car  Carport

**Comments** the hardware for the garage is completely unacceptable. There is a 3.5 inch difference in height from one end to the other that would tweak the garage door. Refer to tape measure to see height difference between both sides.

## Photos



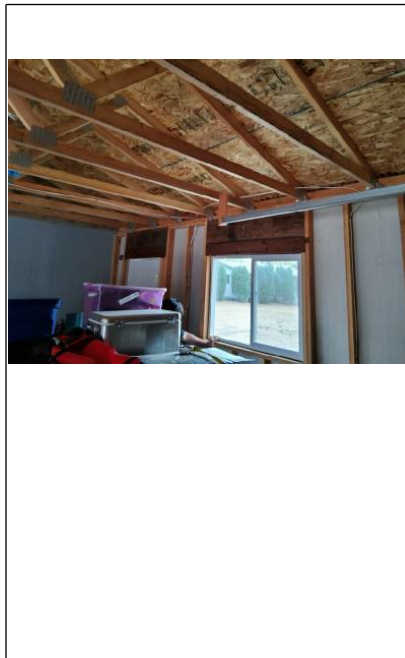
Missing tapcom on middle of sill. should predrill in concrete, use some solder and tighten sill to concrete slab. These two units were poured at the same time. This is not how you build a garage as there is no perimeter wall on this garage.



Right side 7 inches from truss to top of garage door track.



Left side 4.5 inches from truss to top of garage door track.



## Automatic Opener

None  N/A

**Operation**  Operable  Inoperable

**Comments**

# Garage

## Safety Reverse

- None  N/A
- Operation**  Operable  Not Operable  Need(s) adjusting  Safety hazard  
 Photo eyes and pressure reverse tested

### Comments

## Roofing

- Material**  Same as house  
 Type:  
 Approx. age:    Approx. layers:

### Comments

## Gutters/Eavestrough

- Condition**  Satisfactory  Marginal  Poor  Same as house

### Comments

## Siding

- N/A
- Material**  Same as house  Wood  Metal  Vinyl  Stucco  Masonry  Slate  Fiberboard
- Condition**  Satisfactory  Marginal  Poor  Recommend repair/replace  Recommend painting

### Comments

## Trim

- N/A
- Material**  Same as house  Wood  Aluminum  Vinyl
- Condition**  Satisfactory  Marginal  Poor  Recommend repair/replace  Recommend painting

### Comments

## Floor

- Material**  Concrete  Gravel  Asphalt  Dirt Other: .
- Condition**  Satisfactory  Typical cracks  Large settling cracks  Recommend evaluation/repair  
 Safety hazard

**Source of Ignition within 18" of the floor**  N/A  Yes  No

### Comments

## Sill Plates

- None  Not Visible
- Type**  Floor level  Elevated
- Condition**  Rotted/Damaged  Recommend repair

### Comments

## Overhead Door(s)

- N/A
- Material**  Wood  Fiberglass  Masonite  Metal  Recommend repair
- Condition**  Satisfactory  Marginal  Poor  Hardware loose  Safety Cable Recommended  
 Weatherstripping missing/damaged  Loose/missing

**Recommend Priming/Painting Inside & Edges**  Yes  No

### Comments

# Garage

## Exterior Service Door

None

**Condition**  Satisfactory  Marginal  Poor  Damaged/Rusted

**Comments**

## Electrical Receptacles

Yes  No  Not Visible Operable:  Yes  No

**Reverse polarity**  Yes  No

**Open ground**  Yes  No  Safety Hazard

**GFCI Present**  Yes  No Operable:  Yes  No  Handyman/extension cord wiring  
 Recommend GFCI Receptacles

**Comments**

## Fire Separation Walls & Ceiling

N/A  Present  Missing  Recommend repair

**Condition**  Satisfactory  Recommend repair  Holes walls/ceiling  Safety hazard(s)

**Moisture Stains Present**  Yes  No

**Typical Cracks**  Yes  No

**Fire door**  Not verifiable  Not a fire door  Needs repair  Satisfactory

**Self closure**  N/A  Satisfactory  Inoperative  Missing

**Comments**



# Plumbing

## Water service

**Main shut-off location** On the rear exterior wall

**Water entry piping**  Not Visible  Copper/Galv.  PVC Plastic  CPVC Plastic  Polybutylene Plastic  
 PEX Plastic  Lead  Polyethylene

**Lead other than solder joints**  Yes  No  Unknown  Service entry

**Visible water distribution piping**  Copper  Galvanized  PVC Plastic  CPVC Plastic  Polybutylene Plastic  
 PEX Plastic Other: .

**Condition**  Satisfactory  Marginal  Poor

**Flow**  Satisfactory  Marginal  Poor  Water pressure over 80 psi  Recommend plumber evaluate  
 Recommend pressure regulator

**Pipes Supply/Drain**  Corroded  Leaking  Valves broken/missing  Dissimilar metal Cross connection:  Yes  
 No  Safety Hazard  Recommend repair  Recommend a dielectric union  Satisfactory

**Drain/Waste/Vent pipe**  Copper  Cast iron  Galvanized  PVC  ABS  Brass

**Condition**  Satisfactory  Marginal  Poor

**Support/Insulation**  N/A  
 Type:

**Traps proper P-Type**  Yes  No  P-traps recommended

**Drainage**  Satisfactory  Marginal  Poor

**Interior fuel storage system**  N/A  Yes  No Leaking:  Yes  No

**Fuel line**  N/A  Copper  Brass  Black iron  Stainless steel  CSST  Not Visible  Galvanized  
 Recommend CSST be properly bonded

**Condition**  N/A  Satisfactory  Marginal  Poor  Recommend plumber evaluate

**Comments** Refer to the crawl space inspection to explain the issues with the plumbing waste / drain etc

## Main fuel shut-off location

N/A

**Location**

**Comments**

## Well pump

N/A

**Type**  Submersible  In basement  Well house  Well pit  Shared well

**Pressure gauge operable**  Yes  No Well pressure:  Not Visible

**Comments**

## Sanitary/Grinder pump

N/A Operable:  Yes  No

**Sealed Crock** Sealed crock:  Yes  No

**Check Valve** Check valve:  Yes  No

**Shut-off Valve** Shut-off valve:  Yes  No

**Vented**  Yes  No

**Comments**

## Water heater #1

N/A



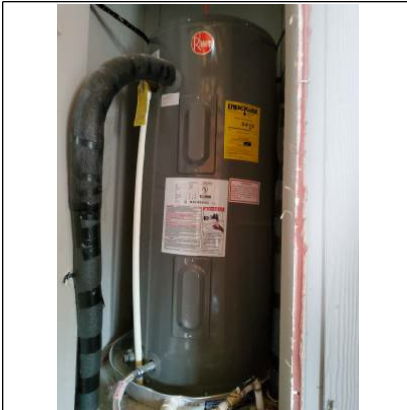
# Plumbing

## Water heater #1 cont.

- General** Brand Name: Rheem  
Serial #: M052001952  
Capacity:40  
Approx. age: New
- Type**  Gas  Electric  Oil  LP Other: .
- Combustion air venting present**  Yes  No  N/A
- Seismic restraints needed**  Yes  No  N/A
- Relief valve**  Yes  No Extension proper:  Yes  No  Missing  Recommend repair  
 Improper material
- Vent pipe**  N/A  Satisfactory  Pitch proper  Improper  Rusted  Recommend repair
- Condition**  Satisfactory  Marginal  Poor

### Comments

### Photos



Missing earthquake straps.



Relief valve is suppose to be copper.

## Water heater #2

- N/A
- General** Brand Name:  
Serial #:  
Capacity:  
Approx. age:
- Type**  Gas  Electric  Oil  LP Other: .
- Combustion air venting present**  Yes  No  N/A
- Seismic restraints needed**  Yes  No  N/A
- Relief valve**  Yes  No Extension proper:  Yes  No  Missing  Recommend repair  
 Improper material
- Vent pipe**  N/A  Satisfactory  Pitch proper  Improper  Rusted  Recommend repair
- Condition**  Satisfactory  Marginal  Poor
- Comments**

## Water softener

- None

# Plumbing

## Water softener cont.

Loop installed  Yes  No

Plumbing hooked up  Yes  No

Plumbing leaking  Yes  No

Comments

# Heating System

## Heating system

**Unit #1** Brand name: Revolv  
 Approx. age:  
 Unknown Model #: 1854M4A Serial #: M1025190317  Satisfactory  Marginal  Poor  
 Recommended HVAC technician examine

**Unit #2**  None  
 Brand name:  
 Approx. age:  
 Unknown  
 Model #:  
 Serial #:  Satisfactory  Marginal  Poor  Recommended HVAC technician examine

**Energy source**  Gas  LP  Oil  Electric  Solid fuel

**Warm air system**  Belt drive  Direct drive  Gravity  Central system  Floor/wall furnace

**Heat exchanger**  N/A  Sealed  Not Visible  Visual w/mirror  Flame distortion  Rusted  
 Carbon/soot buildup

**Carbon monoxide**  N/A  Detected at plenum  Detected at register  Not tested  
 Tester:

**Combustion air venting present**  N/A  Yes  No

**Controls** Disconnect:  Yes  No  Normal operating and safety controls observed Gas shut off valve:  
 Yes  No

**Distribution**  Metal duct  Insulated flex duct  Cold air returns  Duct board  Asbestos-like wrap  
 Safety Hazard

**Flue piping**  N/A  Satisfactory  Rusted  Improper slope  Safety hazard  Recommend repair/replace

**Filter**  Standard  Electrostatic  Satisfactory  Needs cleaning/replacement  Missing  
 Electronic (not tested)

**When turned on by thermostat**  Fired  Did not fire Proper operation:  Yes  No  Not tested

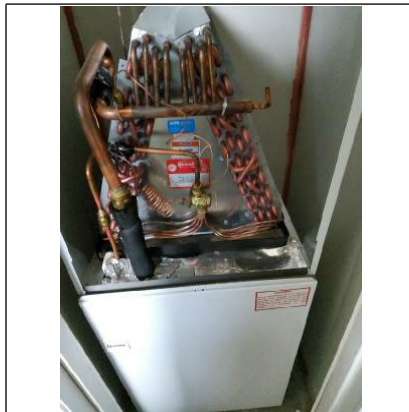
**Heat pump**  N/A  Supplemental electric  Supplemental gas

**Sub-slab ducts**  N/A  Satisfactory  Marginal  Poor Water/Sand Observed:  Yes  No

**System not operated due to**  N/A  Exterior temperature Other: Coils

**Comments** Coils will freeze system will not operate.

## Photos



## Boiler system

N/A

# Heating System

## Boiler system cont.

**General** Brand name:  
Approx. age:  
Model #:  
Serial #:

**Energy source**  Gas  LP  Oil  Electric  Solid fuel

**Distribution**  Hot water  Baseboard  Steam  Radiator  Radiant floor

**Circulator**  Pump  Gravity  Multiple zones

**Controls** Temp/pressure gauge exist:  Yes  No Operable:  Yes  No

**Oil fired units** Disconnect:  Yes  No

**Combustion air venting present**  Yes  No  N/A

**Relief valve**  Yes  No  Missing Extension proper:  Yes  No  Recommend repair/replace

**Operated** When turned on by thermostat:  Fired  Did not fire

**Operation** Satisfactory:  Yes  No  Recommend HVAC technician examine before closing

**Comments**

## Other systems

N/A

**Type**  Electric baseboard  Radiant ceiling cable  Gas space heater  Solid fuel burning stove

**Proper operation**  Yes  No

**System condition**  Satisfactory  Marginal  Poor  Recommend HVAC Technician Examine

**Comments**

# Electric/Cooling System

## Main panel

**Location** Exterior wall

**Condition**  Satisfactory  Poor

**Adequate Clearance to Panel**  Yes  No

**Amperage/Voltage**  Unknown  60a  100a  150a  200a  400a  120v/240v

**Breakers/Fuses**  Breakers  Fuses

**Appears grounded**  Yes  No  Not Visible

**GFCI breaker**  Yes  No Operable:  Yes  No

**AFCI breaker**  Yes  No Operable:  Yes  No  Not Tested

**Main wire**  Copper  Aluminum  Not Visible  Double tapping of the main wire Condition:  Satisfactory  
 Marginal  Poor

**Branch wire**  Copper  Aluminum  Solid Branch Aluminum Wiring  Not Visible  Safety Hazard

**Branch wire condition**  Satisfactory  Poor  Recommend electrician evaluate/repair  Romex  BX cable  
 Conduit  Knob/Tube  Double tapping  Wires undersized/oversized breaker/fuse  
 Panel not accessible  Not evaluated  
 Reason:

**Comments**

**Photos**



## Evaporator Coil Section Unit #1

N/A

**General**  Central system  Wall unit  
 Location:  
 Age:

**Evaporator coil**  Satisfactory  Not Visible  Needs cleaning  Damaged

**Refrigerant lines**  Leak/Oil present  Damage  Insulation missing  Satisfactory

**Condensate line/drain**  To exterior  To pump  Floor drain Other: .

**Secondary condensate line/drain** Present:  Yes  No Needed:  Yes  No  Primary pan appears clogged  
 Recommend technician evaluate

**Operation** Differential:

**Condition**  Satisfactory  Marginal  Poor  Recommend HVAC technician examine/clean/service  
 Not operated due to exterior temperature

**Comments**

# Electric/Cooling System

## Evaporator Coil Section Unit #2

N/A

**General**  Central system  Wall unit

Location:

Age:

**Evaporator coil**  Satisfactory  Not Visible  Needs cleaning  Damaged

**Refrigerant lines**  Leak/Oil present  Damage  Insulation missing  Satisfactory  
 Recommend/Replace damaged/missing insulation

**Condensate line/drain**  To exterior  To pump  Floor drain Other: .

**Secondary condensate line/drain** Present:  Yes  No Needed:  Yes  No  Primary pan appears clogged  
 Recommend technician evaluate

**Operation** Differential:

**Condition**  Satisfactory  Marginal  Poor  Recommend HVAC technician examine/clean/service  
 Not operated due to exterior temperature

**Comments**

# Crawl Space

## Crawl space

N/A

**Type**  Full crawlspace  Combination basement/crawl space/slab

**Conditioned (heated/cooled)**  Yes  No

**Comments** There is no sheerwall on the skirt board on the entire unit. Unacceptable.

## Access

**Location**  Exterior  Interior hatch/door  Via basement  No access

**Inspected from**  Access panel  In the crawl space

**Comments**

## Foundation walls

**Condition**  Satisfactory  Marginal  Have Evaluated  Monitor  Cracks  Movement

**Material**  Concrete block  Poured concrete  Stone  ICF  Wood  Brick

**Comments** The beam structure is not tied into the parameter foundation. Please have inspected by a rep for the manufacturing company to see if this was installed correctly or should be tied into the parameter foundation.

**Photos**



No sheerwall or vapor barrier on skirt board of unit.

## Floor

**Material**  Concrete  Gravel  Dirt Other: .

**Condition**  Typical cracks  Not Visible  Vapor barrier present

**Comments**

**Photos**



# Crawl Space



## Seismic bolts

N/A  None visible

**Condition**  Appear satisfactory  Recommend evaluation

## Comments

## Drainage

**Sump pump**  Yes  No Operable:  Yes  No  Pump not tested

**Standing water**  Yes  No  Not Visible

**Evidence of moisture damage**  Yes  No

**Comments** They have PVC material spliced with ABS with ABS glue. Refer to photos for more detail issues.

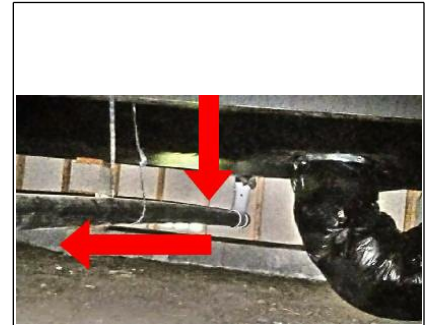
## Photos



Metal straps should not be used on ABS or PVC



not correct cuppling used



not proper fall 1/4 per foot is needed as you can see, left arrow is showing where waste is going ("fall")

# Crawl Space



This is not securly attached as a leak or blow out is bound to happen.

## Ventilation

N/A

**Location**  Wall vents  Power vents  None apparent

**Condition**  Additional ventilation recommended  Evidence of moisture damage

**Comments**

**Photos**



Duct tape and metal strap holding ducting not a correct way to install ducting.

## Girders/Beams/Columns

**Material**  Steel  Wood  Masonry

**Condition**  Satisfactory  Marginal  Poor  Not Visible  Sagging/Altered

**Comments**

## Joists

**Material**  Wood  Steel  Truss  Not Visible  2x8  2x10  2x12  Engineered I-Type  
 Sagging/Altered joists

**Condition**  Satisfactory  Marginal  Poor

**Comments**

# Crawl Space

## Subfloor

Not Visible

**Condition**  Indication of moisture stains/rotting

**Comments**

## Insulation

None

**Type**  Fiberglass  Cellulose  Rockwool  Foam  Not Visible

**Location**  Walls  Between floor joists Other: .

**Comments**

## Vapor barrier

**Present**  Yes  No  Not Visible  Improperly installed

**Material**  Kraft/foil faced  Plastic  Not Visible Other: None

**Condition**  Satisfactory  Marginal  Poor

**Comments** There is no vapor barrier between the Hardie and the framing of the perimeter foundation. There should be sheer and vapor barrier then hardie siding

# Interior

## Fireplace

None

### Location(s)

**Type**  Gas  Wood  Solid fuel burning stove  Electric  Ventless

**Material**  Masonry  Metal (pre-fabricated)  Metal insert  Cast Iron

**Miscellaneous**  Blower built-in Operable:  Yes  No Damper operable:  Yes  No  
 Open joints or cracks in firebrick/panels should be sealed  Fireplace doors need repair

**Damper modified for gas operation**  N/A  Yes  No  Damper missing

**Hearth extension adequate**  Yes  No

**Mantel**  N/A  Secure  Loose  Recommend repair/replace

**Physical condition**  Satisfactory  Marginal  Poor  Recommend having flue cleaned and re-examined  
 Not evaluated

### Comments

## Stairs/Steps/Balconies

None

**Condition**  Satisfactory  Marginal  Poor  Loose/Missing

**Handrail**  Satisfactory  Marginal  Poor  Safety hazard  Hand Rail/Railing/Balusters recommended

**Risers/Treads**  Satisfactory  Marginal  Poor  Risers/Treads uneven  Trip hazard

### Comments

## Smoke/Carbon Monoxide detectors

**Smoke Detector**  Present  Not Present Operable:  Yes  No  Not tested  Recommend additional  
 Safety Hazard

**CO Detector**  Present  Not Present Operable:  Yes  No  Not tested  Recommend additional  
 Safety Hazard

### Comments

# Kitchen

## Countertops

**Condition**  Satisfactory  Marginal  Recommend repair/caulking

**Comments**

**Photos**

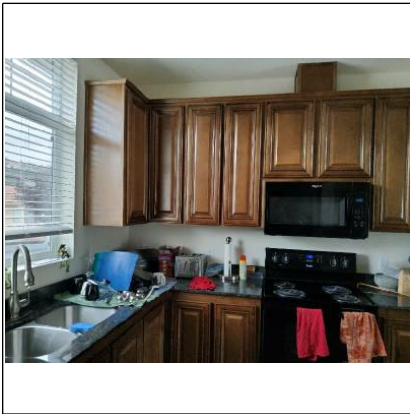


## Cabinets

**Condition**  Satisfactory  Marginal  Recommend repair/adjustment

**Comments** Missing knobs

**Photos**



## Plumbing

**Faucet Leaks**  Yes  No

**Pipes leak/corroded**  Yes  No

**Sink/Faucet**  Satisfactory  Corroded  Chipped  Cracked  Recommend repair

**Functional drainage**  Satisfactory  Marginal  Poor

**Functional flow**  Satisfactory  Marginal  Poor

**Comments**

**Photos**

# Kitchen



## Walls & Ceiling

**Condition**  Satisfactory  Marginal  Poor  Typical cracks  Moisture stains

**Comments**

## Heating/Cooling Source

Yes  No

**Comments**

## Floor

**Condition**  Satisfactory  Marginal  Poor  Sloping  Squeaks

**Comments**

## Appliances

**Disposal**  N/A  Not tested Operable:  Yes  No

**Oven**  N/A  Not tested Operable:  Yes  No

**Range**  N/A  Not tested Operable:  Yes  No

**Dishwasher**  N/A  Not tested Operable:  Yes  No

**Trash Compactor**  N/A  Not tested Operable:  Yes  No

**Exhaust fan**  N/A  Not tested Operable:  Yes  No

**Refrigerator**  N/A  Not tested Operable:  Yes  No

**Microwave**  N/A  Not tested Operable:  Yes  No

**Other** Operable:  Yes  No

**Dishwasher airgap**  Yes  No

**Dishwasher drain line looped**  Yes  No

**Receptacles present**  Yes  No Operable:  Yes  No

**GFCI**  Yes  No Operable:  Yes  No Recommend GFCI Receptacles:  Yes  No  
 Potential Safety Hazard(s)

**Open ground/Reverse polarity:**  Yes  No  Potential Safety Hazard

**Comments** Dishwasher is to be replaced contact Mary at Kelseyville Appliance for a new dishwasher 707-279-8559

# Living Room

## Living Room

**Location** Living Room

**Walls & Ceiling**  Satisfactory  Marginal  Poor  Typical cracks  Damage

**Moisture stains**  Yes  No

Where:

**Floor**  Satisfactory  Marginal  Poor  Squeaks  Slopes  Tripping hazard

**Ceiling fan**  None  Satisfactory  Marginal  Poor  Recommend repair/replace

**Electrical** Switches:  Yes  No  Operable Receptacles:  Yes  No  Operable  
Open ground/Reverse polarity:  Yes  No  Safety hazard  Cover plates missing

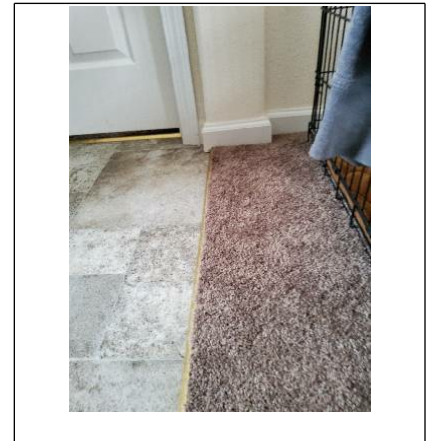
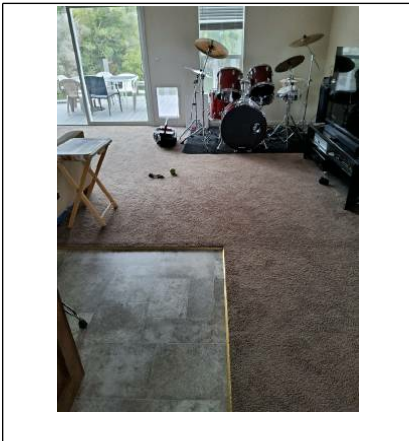
**Heating source present**  Yes  No Holes:  Doors  Walls  Ceilings

**Doors**  None  Satisfactory  Marginal  Poor  Cracked glass  Broken/Missing hardware

**Windows**  None  Satisfactory  Marginal  Poor  Cracked glass  Evidence of leaking insulated glass  
 Broken/Missing hardware

## Comments

## Photos



# Laundry Room

## Laundry

Laundry sink  N/A

Faucet leaks  Yes  No

Pipes leak  Yes  No  Not Visible

Cross connections  Yes  No  Potential Safety Hazard

Heat source present  Yes  No

Room vented  Yes  No

Dryer vented  N/A  Wall  Ceiling  Floor  Not vented  Plastic dryer vent not recommended  
 Not vented to exterior  Recommend repair  Safety hazard

Electrical Open ground/reverse polarity:  Yes  No  Safety hazard

GFCI present  Yes  No Operable:  Yes  No  Recommend GFCI Receptacles

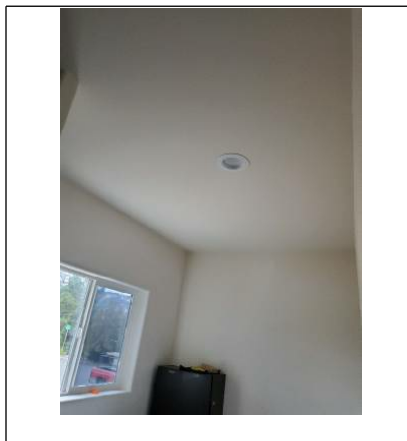
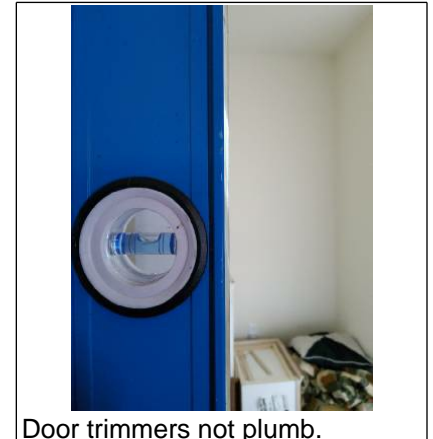
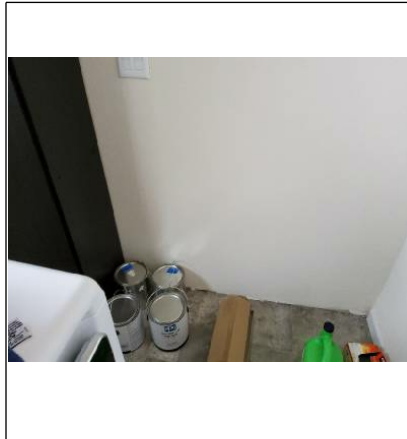
Appliances  Washer  Dryer  Water heater  Furnace/Boiler

Washer hook-up lines/valves  Satisfactory  Leaking  Corroded  Not Visible

Gas shut-off valve  N/A  Yes  No  Cap Needed  Safety hazard  Not Visible

## Comments

## Photos





# Bedroom 1

## Room

**Location** Bedroom 1

**Type** BEDROOM

**Walls & Ceiling**  Satisfactory  Marginal  Poor  Typical cracks  Damage

**Moisture stains**  Yes  No

Where:

**Floor**  Satisfactory  Marginal  Poor  Squeaks  Slopes  Tripping hazard

**Ceiling fan**  None  Satisfactory  Marginal  Poor  Recommend repair/replace

**Electrical** Switches:  Yes  No  Operable Receptacles:  Yes  No  Operable  
Open ground/Reverse polarity:  Yes  No  Safety hazard  Cover plates missing

**Heating source present**  Yes  No Holes:  Doors  Walls  Ceilings

**Bedroom Egress restricted**  N/A  Yes  No

**Doors**  None  Satisfactory  Marginal  Poor  Cracked glass  Broken/Missing hardware

**Windows**  None  Satisfactory  Marginal  Poor  Cracked glass  Evidence of leaking insulated glass  
 Broken/Missing hardware

**Comments**

**Photos**



# Bathroom 1

## Bath

**Location** Bathroom 1

**Sinks** Faucet leaks:  Yes  No Pipes leak:  Yes  No

**Tubs**  N/A Faucet leaks:  Yes  No Pipes leak:  Yes  No  Not Visible

**Showers**  N/A Faucet leaks:  Yes  No Pipes leak:  Yes  No  Not Visible

**Toilet** Bowl loose:  Yes  No Operable:  Yes  No  Cracked bowl  Toilet leaks

**Whirlpool**  Yes  No Operable:  Yes  No  Not tested  No access door GFCI:  Yes  No  
 GFCI Recommended

**Shower/Tub area**  Ceramic/Plastic  Fiberglass  Masonite Other: . Condition:  Satisfactory  Marginal  
 Poor  Rotted floors Caulk/Grouting needed:  Yes  No  
Where:  
 N/A

**Drainage**  Satisfactory  Marginal  Poor

**Water flow**  Satisfactory  Marginal  Poor

**Moisture stains present**  Yes  No  Walls  Ceilings  Cabinetry

**Doors**  Satisfactory  Marginal  Poor

**Window**  None  Satisfactory  Marginal  Poor

**Receptacles present**  Yes  No Operable:  Yes  No

**GFCI**  Yes  No Operable:  Yes  No  Recommend GFCI

**Open ground/Reverse polarity**  Yes  No  Potential Safety Hazard

**Heat source present**  Yes  No

**Exhaust fan**  Yes  No Operable:  Yes  No  Noisy

## Comments

## Photos



# Bedroom 2

## Room

**Location** Bedroom 2

**Type** BEDROOM

**Walls & Ceiling**  Satisfactory  Marginal  Poor  Typical cracks  Damage

**Moisture stains**  Yes  No

Where:

**Floor**  Satisfactory  Marginal  Poor  Squeaks  Slopes  Tripping hazard

**Ceiling fan**  None  Satisfactory  Marginal  Poor  Recommend repair/replace

**Electrical** Switches:  Yes  No  Operable Receptacles:  Yes  No  Operable  
Open ground/Reverse polarity:  Yes  No  Safety hazard  Cover plates missing

**Heating source present**  Yes  No Holes:  Doors  Walls  Ceilings

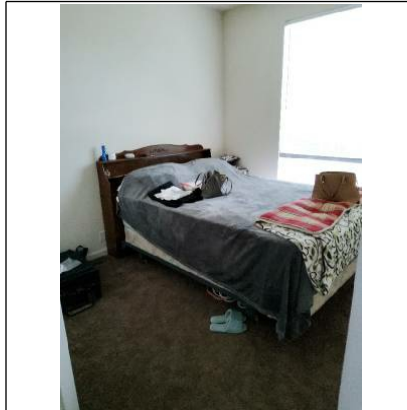
**Bedroom Egress restricted**  N/A  Yes  No

**Doors**  None  Satisfactory  Marginal  Poor  Cracked glass  Broken/Missing hardware

**Windows**  None  Satisfactory  Marginal  Poor  Cracked glass  Evidence of leaking insulated glass  
 Broken/Missing hardware

## Comments

## Photos



# Master Bedroom

## Room

**Location** Master Bedroom

**Type** MASTER BEDROOM

**Walls & Ceiling**  Satisfactory  Marginal  Poor  Typical cracks  Damage

**Moisture stains**  Yes  No

Where:

**Floor**  Satisfactory  Marginal  Poor  Squeaks  Slopes  Tripping hazard

**Ceiling fan**  None  Satisfactory  Marginal  Poor  Recommend repair/replace

**Electrical** Switches:  Yes  No  Operable Receptacles:  Yes  No  Operable  
Open ground/Reverse polarity:  Yes  No  Safety hazard  Cover plates missing

**Heating source present**  Yes  No Holes:  Doors  Walls  Ceilings

**Bedroom Egress restricted**  N/A  Yes  No

**Doors**  None  Satisfactory  Marginal  Poor  Cracked glass  Broken/Missing hardware

**Windows**  None  Satisfactory  Marginal  Poor  Cracked glass  Evidence of leaking insulated glass  
 Broken/Missing hardware

## Comments

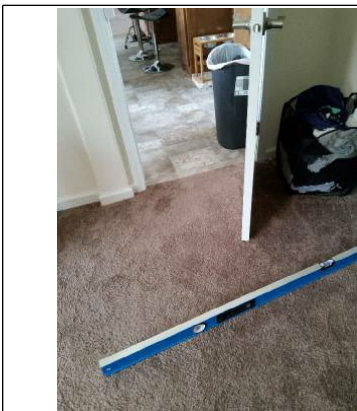
## Photos



bad reveal



readjust door jamb plate

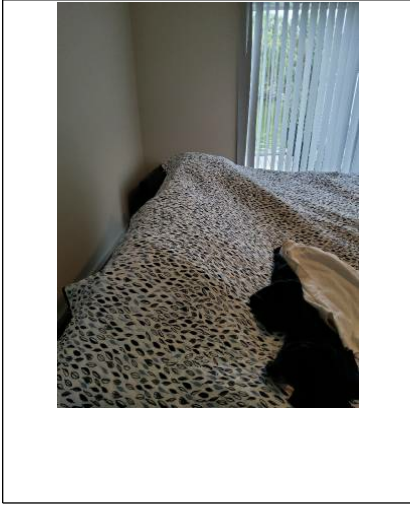


There is a huge dip where the two connected units meet as the level shows.



1/4 inch dip where the units meet.

# Master Bedroom



# Master Bathroom

## Bath

**Location** Master bath

**Sinks** Faucet leaks:  Yes  No Pipes leak:  Yes  No

**Tubs**  N/A Faucet leaks:  Yes  No Pipes leak:  Yes  No  Not Visible

**Showers**  N/A Faucet leaks:  Yes  No Pipes leak:  Yes  No  Not Visible

**Toilet** Bowl loose:  Yes  No Operable:  Yes  No  Cracked bowl  Toilet leaks

**Whirlpool**  Yes  No Operable:  Yes  No  Not tested  No access door GFCI:  Yes  No  
 GFCI Recommended

**Shower/Tub area**  Ceramic/Plastic  Fiberglass  Masonite Other: . Condition:  Satisfactory  Marginal  
 Poor  Rotted floors Caulk/Grouting needed:  Yes  No  
Where:  
 N/A

**Drainage**  Satisfactory  Marginal  Poor

**Water flow**  Satisfactory  Marginal  Poor

**Moisture stains present**  Yes  No  Walls  Ceilings  Cabinetry

**Doors**  Satisfactory  Marginal  Poor

**Window**  None  Satisfactory  Marginal  Poor

**Receptacles present**  Yes  No Operable:  Yes  No

**GFCI**  Yes  No Operable:  Yes  No  Recommend GFCI

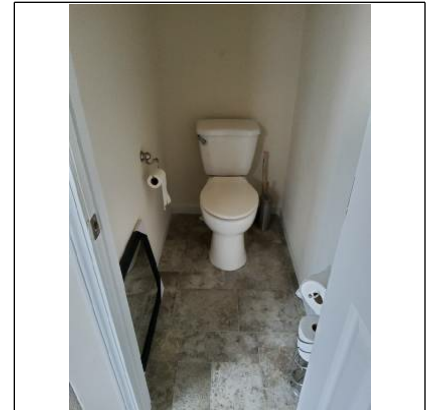
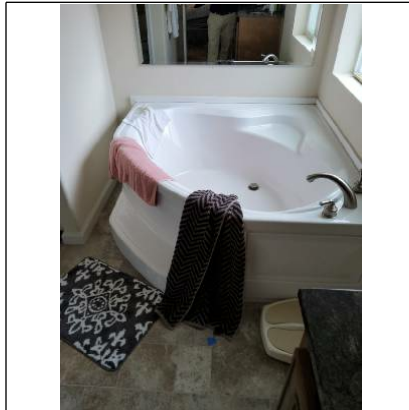
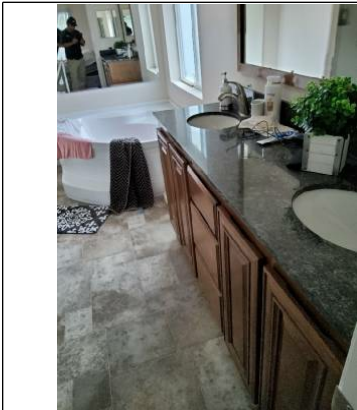
**Open ground/Reverse polarity**  Yes  No  Potential Safety Hazard

**Heat source present**  Yes  No

**Exhaust fan**  Yes  No Operable:  Yes  No  Noisy

## Comments

## Photos





# Master Bathroom

