



**HDX HOME  
INSPECTIONS**

# Home and Development Examiners - Home Inspections and Environmental Testing

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Inspected By: Christopher George



## Home Inspection Report

Prepared For:

**John Smith**

Property Address:

**861 Test Street**

**Bloomfield , MI**

Inspected on Tue, Jan 18 2022 at 12:40 AM

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# General

I Accept The Visual Inspection Agreement :



Property Type:	Single Family
Stories:	Two
Approximate Age:	1924
Age Based On:	Listing
Bedrooms/Baths:	3/2
Door Faces:	North
Furnished:	Yes
Occupied:	No
Weather:	Overcast
Temperature:	Warm
Soil Condition:	Damp
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client, Buyer's Agent
General Notes:	General Notes and Limitations



## Comment 1:

A home inspection is provided to limit the risks of purchasing a home, not to eliminate the risks of purchasing a home. General maintenance and seasonal work is required in all homes. It is recommended to follow all notes and photos as provided in this report. Photos provided are made for general purposes or maintenance repairs. Consult a licensed contractor for any notated repairs and to maintain any general areas or sections of the report. The inspection is not a guarantee, insurance carrier or warranty holder on the property. The visual inspection is performed on visible areas of the home. Hidden defects may not be viewed or reported on.



## Comment 2:

Always maintain a fresh coat of paint on exterior wood elements to prevent rot or deterioration.

(General continued)



Comment 3:

Fire hydrant is within 100 yards of home. Consult with homeowners insurance provider for potential discounts on annual premiums

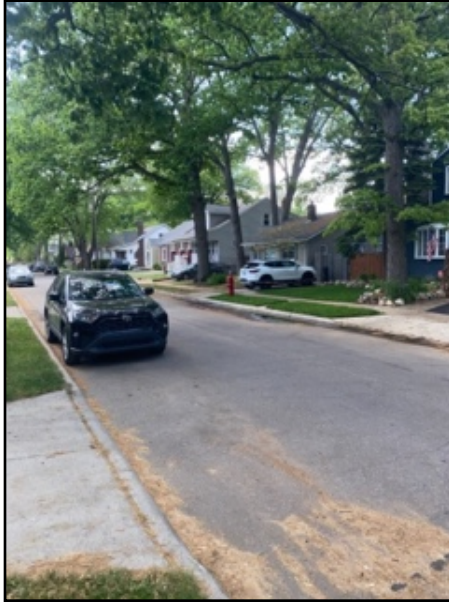


Figure 3-1



Comment 4:

Due to age of home and location of trees, it is suggested to have a sewer scope performed to inspect the main line.



Comment 5:

Furniture and storage may block access to some areas. All windows and walls may not be fully accessible.



Comment 6:

Bungalows often have issues with ventilation. Monitor attics for signs of mold or organic growth. If ice damns exist during winter, consult a licensed roofer for additional ventilation

(General continued)



Comment 7:

Vintage homes often require additional maintenance due to their age.



Comment 8:

Vintage foundations may be more porous. Always monitor structure and basement for any signs of moisture intrusion.



Comment 9:

Home has been renovated. Consult with seller for any documentation of warranty at any new systems, appliances, or work performed on the home



Comment 10:

Sheds are not part of the visual inspection process.



Figure 10-1



Comment 11:

Home is vacant. Monitor plumbing systems as often times they may deteriorate faster in a vacant home

# Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:

Sloped Toward Structure

Condition: Repair or Replace



Comment 12:

Regrade to pitch slope away from home to direct surface water away from foundation. This may assist in moisture entry to lower levels or structure of home. A positive slope directed away from the foundation is suggested.



Figure 12-1



Figure 12-2

(Site continued)



Figure 12-3

Vegetation:

Growing Against Structure  
Condition: Repair or Replace



Comment 13:

Trim trees and vegetation away from Structure and roof to prevent damages to home, siding or roofing materials.



Figure 13-1



Figure 13-2

(Site continued)



Figure 13-3

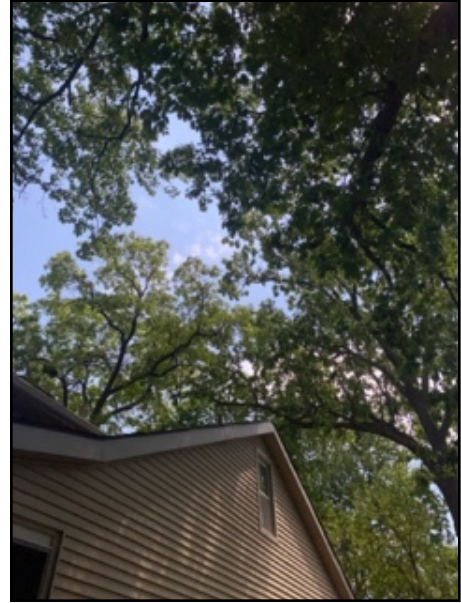


Figure 13-4



Figure 13-5



Figure 13-6

Retaining Walls:

Not Present

Driveway:

Concrete

Condition: Repair or Replace



(Site continued)



Comment 14:

Driveway is unlevel from settlement. Have driveway leveled or mud jacked to prevent trip hazards.



Figure 14-1

Walkways:

Concrete

Condition: Repair or Replace



Comment 15:

Walkway has settled. This may cause trip hazards. Have areas mud jacked or leveled to prevent safety issues or trip hazards. Walkways should be directed away from structure to assist in water dispersion away from home.

(Site continued)



Figure 15-1

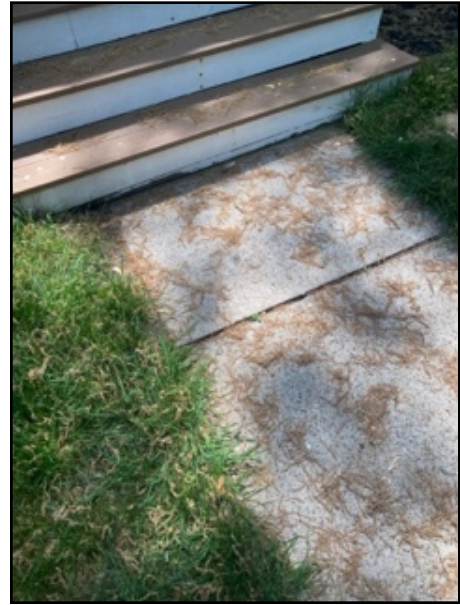


Figure 15-2

Steps/Stoops:

Wood, Trex

Condition: Repair or Replace



Comment 16:

Cannot view porch structure due to skirting.



Figure 16-1

(Site continued)



Comment 17:

Repaint any areas where paint has faded or peeled. Repaint to prevent rot or deterioration at wood porch.



Figure 17-1



Figure 17-2



Figure 17-3

Patios/Decks:

Wood

Condition: Repair or Replace

(Site continued)



Comment 18:

Always maintain wood decks to prevent surface damages or rot. Paint surfaces at wood deck. This will assist in preventing damages to surfaces over time. A proper exterior paint should be used.



Comment 19:

Repaint wood deck to prevent rot and deterioration. Deck shows signs of wear at wood members.



Figure 19-1



Figure 19-2



Figure 19-3

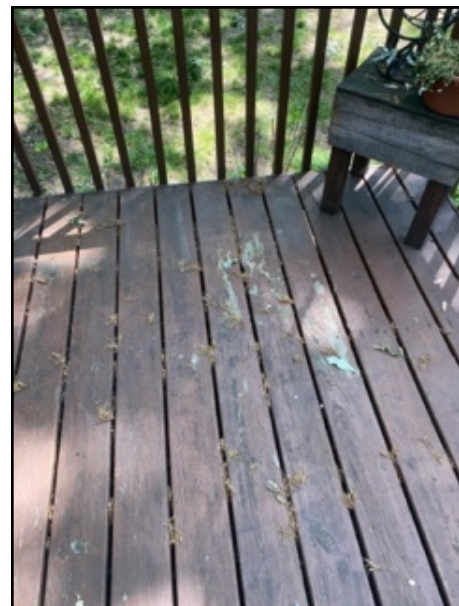


Figure 19-4

(Site continued)



Figure 19-5



Comment 20:

Deck structure was not fully viewed due to skirting at deck.



Figure 20-1



Figure 20-2

# Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:

Vinyl Siding

Condition: Repair or Replace



Comment 21:

Repaint any areas at exterior walls where paint has peeled.



Figure 21-1



Figure 21-2



Figure 21-3

(Exterior continued)

Exterior Trim Material:

Vinyl, Aluminum

Condition: Satisfactory

Windows:

Vinyl

Condition: Repair or Replace



Comment 22:

Replace any missing or damaged screens surrounding the home.



Figure 22-1



Figure 22-2



Figure 22-3

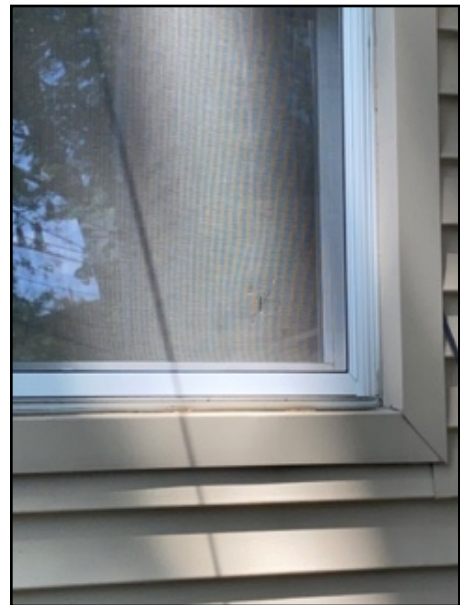


Figure 22-4

(Exterior continued)



Figure 22-5



Figure 22-6

Entry Doors:

Wood, Vinyl, Fiberglass, Steel

Condition: Satisfactory

Balconies:

Not Present

Railings:

Wood

Condition: Repair or Replace



Comment 23:

Some railings show signs of paint peel. Repaint to prevent further rot or damages. Replace any damaged sections.



(Exterior continued)



Figure 23-1



Comment 24:

(Exterior continued)

The inspector shall inspect: The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

The inspector is not required to: Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.

## Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method: Ground, lower edge and walked



Comment 25:

Due to height, pitch and surface , roof was viewed from the ground and lower edge. Lower areas of were walked. Some sections were not safely accessible due to height, mold or moss growth and debris.

Roof Design: Gable, Hip  
 Roof Covering: Dimensional  
 Condition: Repair or Replace

(Roofing continued)



Comment 26:

Clean any mold or moss at shingles to prevent further damages or deterioration at surfaces.



Figure 26-1



Figure 26-2

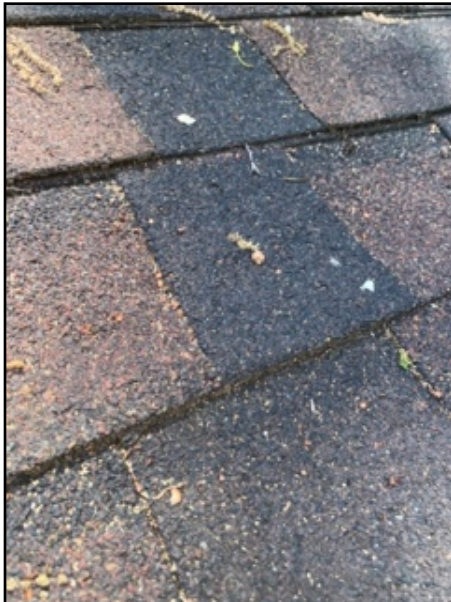


Figure 26-3

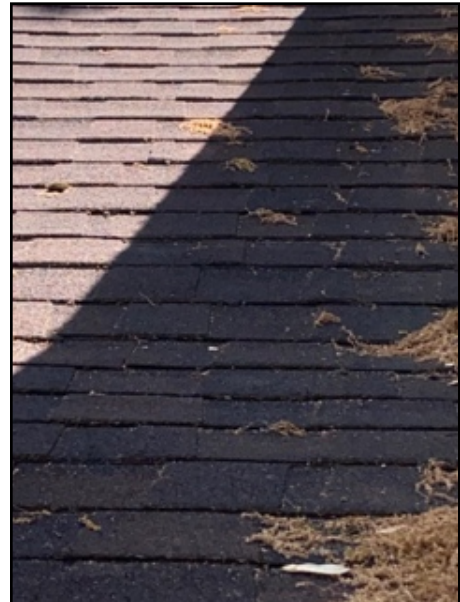


Figure 26-4

(Roofing continued)



Comment 27:

Recommended clearing any debris at roof surface to prevent damages or further organic growth at the shingles.



Figure 27-1



Figure 27-2



Figure 27-3



Figure 27-4

(Roofing continued)



Figure 27-5



Figure 27-6



Figure 27-7

(Roofing continued)



**Comment 28:**

There is noticeable surface wear and aggregate loss at some areas of shingles. Continue to monitor. Repair may be necessary. Consult a licensed roofer to review damages, chipping and wear to shingles.



Figure 28-1



Figure 28-2



Figure 28-3



Figure 28-4

(Roofing continued)

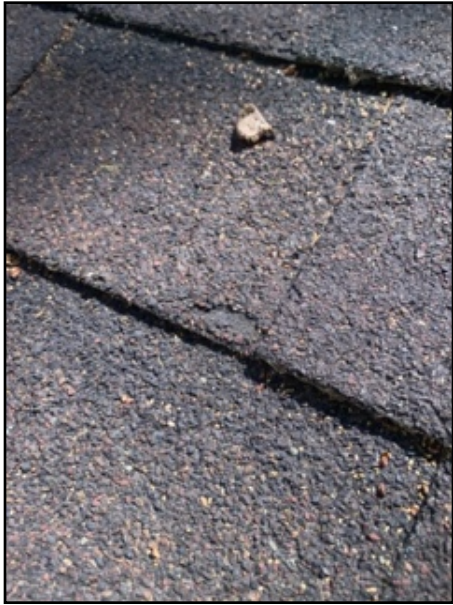


Figure 28-5



Figure 28-6



Figure 28-7



Figure 28-8

(Roofing continued)



Figure 28-9



Figure 28-10



Comment 29:

There is significant wear at some shingles. Consult a licensed roofer for full review.

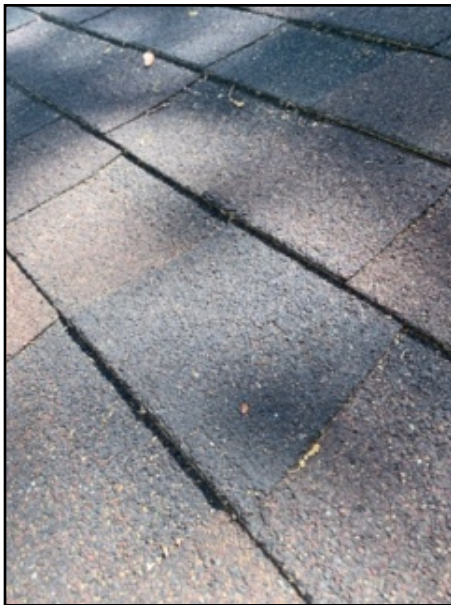


Figure 29-1

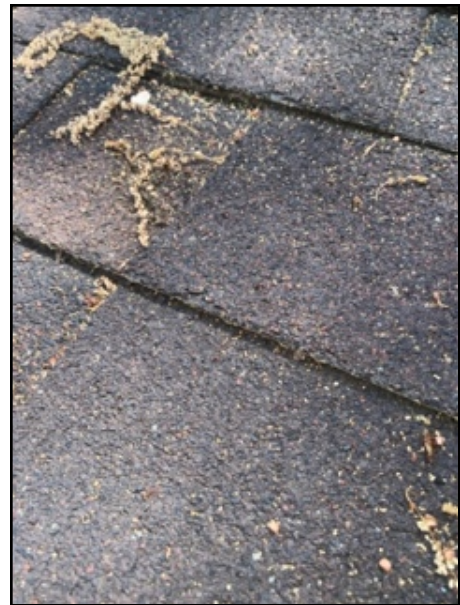


Figure 29-2



(Roofing continued)



Figure 29-3

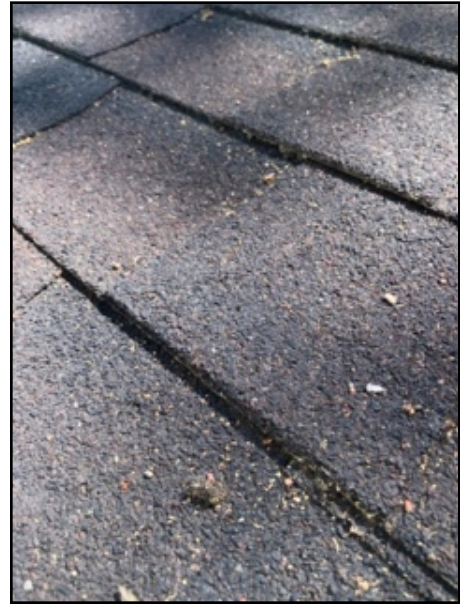


Figure 29-4

Approximate Roof Age: 18-22  
Ventilation Present: Roof  
Condition: Repair or Replace



**Comment 30:**

It is recommended to add additional ventilation as current system is inadequate for this roofing system. Consult a licensed contractor to add and balance ventilation

Vent Stacks: Metal  
Condition: Satisfactory  
Chimney : Masonry , Brick  
Condition: Repair or Replace

(Roofing continued)



Comment 31:

Chimney shows some signs of wear. Some tuckpointing is necessary. Consult a licensed brick mason for repair



Figure 31-1



Comment 32:

Chimney crown may require patching or repairs. Consult a licensed brick mason for estimate.



Figure 32-1

(Roofing continued)

Sky Lights:	Not Present
Flashings:	Metal Condition: Satisfactory
Soffit and Fascia:	Aluminum, Vinyl Condition: Satisfactory
Gutters & Downspouts:	Metal Condition: Repair or Replace



Comment 33:

Recommended cleaning gutters as they are full of debris. This will not provide proper water runoff away from the roof and structure.



Figure 33-1



Figure 33-2



Comment 34:

Extend downspouts away from home to direct water away from foundation. Extend 6-8 feet away from home

(Roofing continued)



Figure 34-1



Figure 34-2

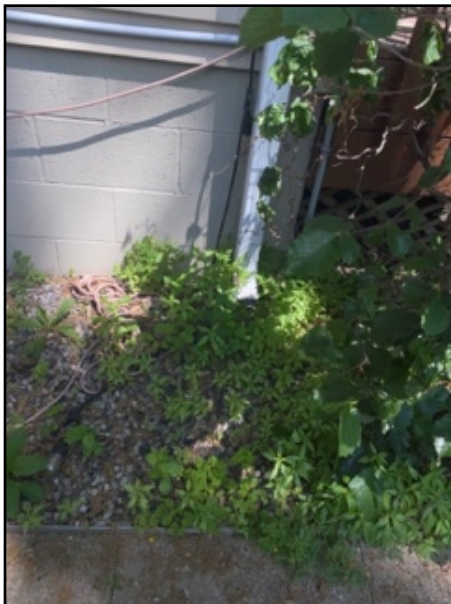


Figure 34-3

(Roofing continued)



**Comment 35:**

Extend leaders to lower gutter systems to direct water away from roof and to prevent wear to shingles. Any upper leaders should be directed to lower gutter system



Figure 35-1



**Comment 36:**

The inspector shall inspect from ground level or eaves: The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material.

(Roofing continued)



Comment 37:

Typical life for a dimensional/architectural shingle is 25-30 years.

## Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:

Basement

Foundation Material:

Concrete Block

Condition: Satisfactory

Signs of Water Penetration:

Stains, Efflorescence

Condition: Repair or Replace



Comment 38:

Some signs of water penetration and staining exists at basement walls or other areas. Continue to monitor. Regrade to pitch water away from home and direct downspouts further away from foundation to reduce risks for moisture intrusion.

Efflorescence exists at some areas of foundation block.



Figure 38-1



Figure 38-2

(Structure continued)

Prior Waterproofing:

Not Present

Floor Structure:

Wood Frame

Condition: Repair or Replace



Comment 39:

There is a mold like substance at some areas of floor joists and subflooring. Recommended remediation at any areas that show signs of organic growth



Figure 39-1

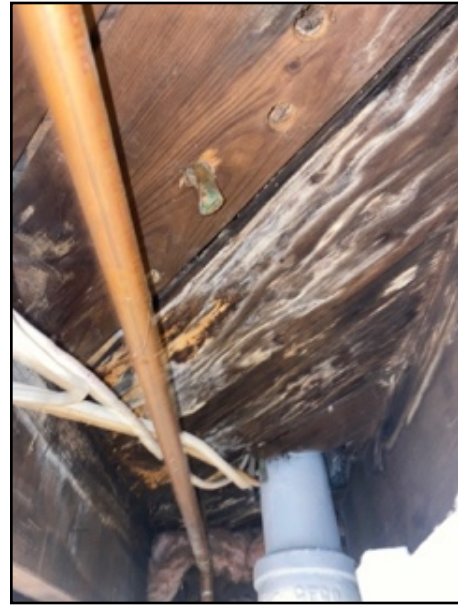


Figure 39-2



Figure 39-3

Subflooring:

Solid Wood Plank

Condition: Marginal

(Structure continued)



Comment 40:

Monitor any areas of previous staining. Floor is currently dry. Continue to monitor.



Figure 40-1



Figure 40-2

Wall Structure:

Wood Frame

Condition: Satisfactory



Comment 41:

Always monitor basements for signs of water intrusion.



Comment 42:

Storage conceals some areas of structure in basement. All areas are not viewable due to personal belongings



(Structure continued)



Figure 42-1

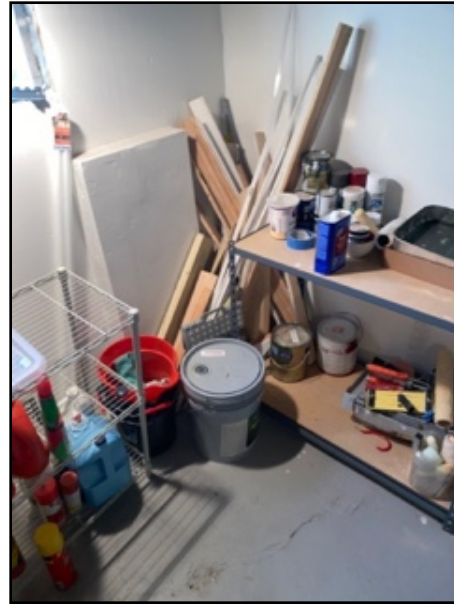


Figure 42-2



Figure 42-3



Figure 42-4

(Structure continued)



Figure 42-5



Comment 43:

Finished walls conceal foundation in some parts of basement. This is a limitation to the inspection process



Figure 43-1



Figure 43-2

(Structure continued)



Figure 43-3



Comment 44:  
Carpet conceals some areas of floors in basement.



Figure 44-1

(Structure continued)

---



**Comment 45:**  
Finished ceilings conceal some areas of structure in basement.



Figure 45-1

---



**Comment 46:**  
Structural posts are concealed by finishes in some areas.



Figure 46-1

(Structure continued)



**Comment 47:**

Basement floor shows signs of moisture staining from previous water entry. Clean gutters, extend Downspouts and direct any surface water away from home



Figure 47-1



Figure 47-2



Figure 47-3

(Structure continued)

## Attic

Attic Entry:  
Roof Framing Type:

Kneewalls  
Joist and Rafters  
Condition: Satisfactory



Roof Deck Material:

Plywood, Solid Wood Plank, Cedar shake  
Condition: Repair or Replace



Comment 48:

Roofing has been installed over older cedar boards. This is not a proper installation. Continue to monitor. Consult a roofer for further review.

(Attic continued)



Figure 48-1



Figure 48-2



Comment 49:

There is a mold like substance at areas of sheathing . A licensed environmental contractor should estimate these areas for remediation. Corrective measures may be required to add additional ventilation to reduce condensation damages



Figure 49-1



Figure 49-2

(Attic continued)



Figure 49-3

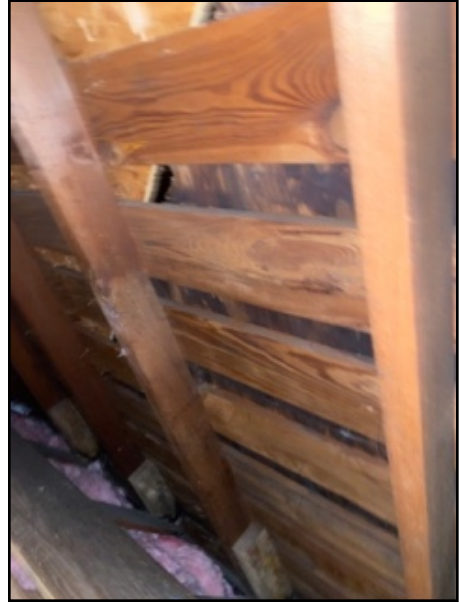


Figure 49-4



Figure 49-5



Figure 49-6

Vent Risers:

Metal  
Condition: Satisfactory



(Attic continued)

Insulation:



Fiberglass Batts  
Condition: Satisfactory



Comment 50:

Wood shows visible signs of staining. Areas tested as dry. Continue to monitor.



Figure 50-1



Figure 50-2

(Attic continued)



Comment 51:

There are pest droppings in the attic. Consult a licensed exterminator for estimation of removal.

Noted pest baits in attic.



Figure 51-1



Figure 51-2



Comment 52:

Attic access is limited in this home. No upper access exists. Cannot view all areas of structure, insulation or ventilation.

## Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.



Comment 53:

Cannot view structure or system due to lack of access to crawlspace hatch under deck.

# Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:

Overhead



Comment 54:

It is recommended to add a proper riser at the electrical drop. Consult an electrician for updates

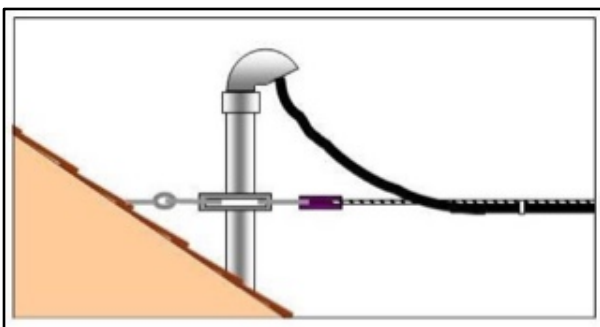


Figure 54-1



Figure 54-2

(Electrical continued)

Main Disconnect Location:	Service Panel
Service Panel Location:	Basement
Service Panel Manufacturer:	Siemens
	Condition: Satisfactory



Service Line Material:	Aluminum
	Condition: Satisfactory
Service Voltage:	120 volts

(Electrical continued)

Service Amperage: 100 amps  
Service Panel Ground: Cold Water Pipe



Branch Circuit Wiring: Copper  
Condition: Satisfactory  
Overcurrent Protection: Breakers  
Condition: Satisfactory  
Smoke Detectors: Not Present



Comment 55:  
Install smoke detectors at each level of home for safety.



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Comment 56:  
The electrical system of the home was inspected and reported on with the listed information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

(Electrical continued)



Comment 57:

3 prong outlets are ungrounded in some areas. It is recommended to ground outlets to meet current safety standards



Figure 57-1

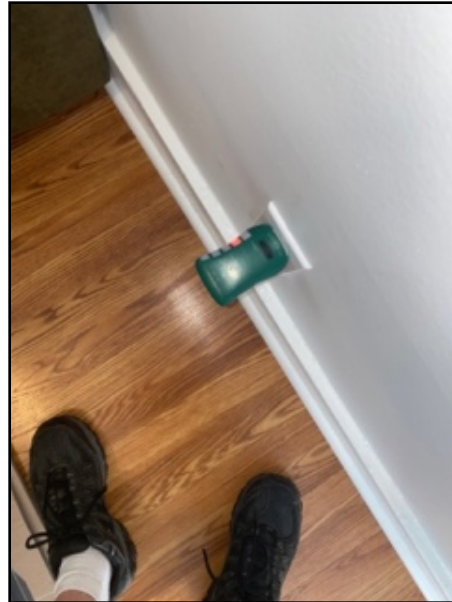


Figure 57-2

## HVAC

HVAC System Type:

Central Split System

Thermostat:

Smart

Condition: Satisfactory



(HVAC continued)

Thermostat Location: Dining Room

**Comment 58:**

It is always suggested to have the furnace and central air evaluated by a licensed professional. It is recommended to develop a routine maintenance scheduled for HVAC systems.

## Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Basement
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Lennox
Heating Fuel:	Gas
	Condition: Satisfactory
Approximate Age:	2004
Filter Type:	Disposable
	Condition: Repair or Replace



(Heating continued)



Comment 59:

Replace filter at this time. Filter is covered in sediment and dirt.



Figure 59-1

Type of Distribution:

Metal Ducting, Flexible Ducting

Condition: Repair or Replace



(Heating continued)



Comment 60:  
Recommended taping transitions to flexible ducting.



Figure 60-1



Comment 61:  
Typical life for this furnace is 18-24 years.

(Heating continued)



Comment 62:

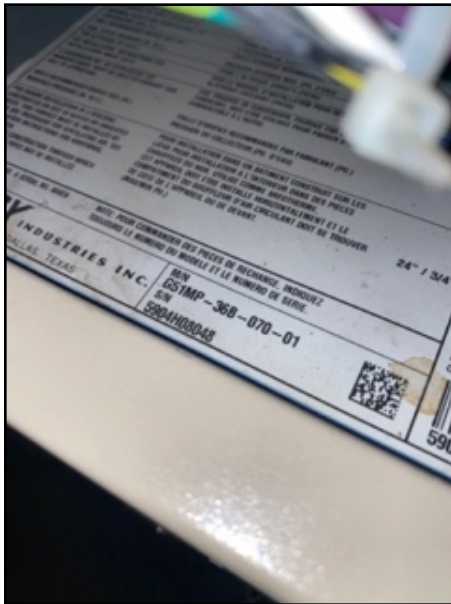


Figure 62-1



Figure 62-2



Comment 63:

Housing shows some signs of corrosion. Repair may be needed in time.



Figure 63-1

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

(HVAC continued)

## Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Satisfactory
Condenser Make:	Lennox
Condensor Size:	24,000 BTU (2 Tons)
Condenser Approximate Age:	2004
AC Supply Air Temp:	79
AC Return Air Temp:	63
AC Temperature Drop:	16



Comment 64:

Typical life expectancy is 16-20 years for an AC system.

(Cooling continued)



Comment 65:



Figure 65-1

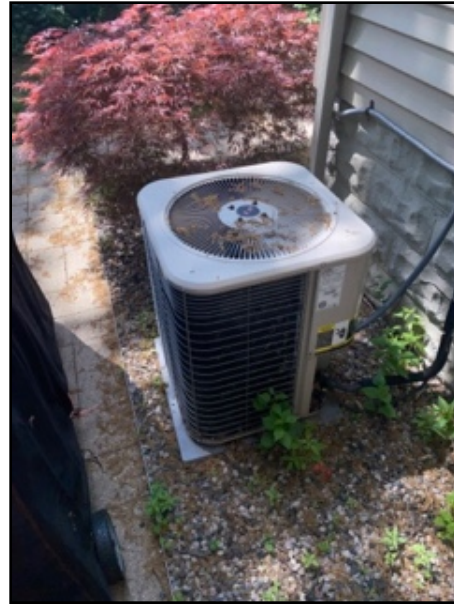


Figure 65-2



Comment 66:

AC coils show some signs of damage related to age and wear. Some coils are corroded. Budget to repair and maintain



Figure 66-1



Figure 66-2

Air conditioners over 10 years old and heat pumps over 5 years old should

(Cooling continued)

be checked, cleaned and serviced yearly by a licensed contractor.

## Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:

Public

Supply Pipe Material:

Copper

Condition: Satisfactory



(Plumbing continued)



Location of Main Water Shutoff: At Meter



Sewer System:  
Waste Pipe Material:

Public  
PVC, Cast Iron, Galvanized Steel  
Condition: Repair or Replace

(Plumbing continued)



Comment 67:

Main sewer line has been replaced. Consult with seller for any warranty documentation.



Comment 68:



Figure 68-1



Figure 68-2



Figure 68-3

(Plumbing continued)



Comment 69:

Replace any galvanized waste to prevent low water flow or poor drainage.



Figure 69-1

Sump Pump:	Not Present
Location of Fuel Shutoff:	At Meter



Comment 70:

The plumbing in the home was inspected and reported on with the listed information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



(Plumbing continued)

# Water Heater

Manufacturer:	AO Smith
Fuel:	Natural Gas
Capacity:	40 gal
Approximate Age:	2014
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Satisfactory
Fuel Disconnect:	In Same Room



Comment 71:  
Typical life for a hot water heater is 8-12 years.



Comment 72:

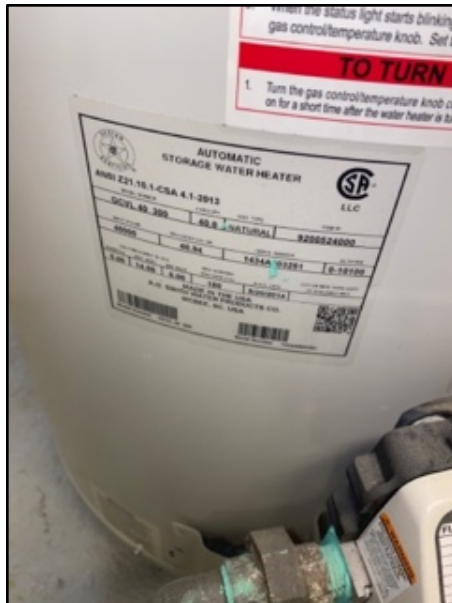


Figure 72-1

(Water Heater continued)



Comment 73:

Recommended sealing any gaps at chimney where hot water heater vent meets system. This will prevent back drafting of gases into home.



Figure 73-1

## Bathrooms

### Bathroom #1

Location:	Master
Shower:	Stall
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Tile
	Condition: Satisfactory
Floor:	Laminate
	Condition: Satisfactory

(Bathroom #1 continued)

Ventilation Type:

Ventilator

Condition: Repair or Replace



Comment 74:

Did not locate switch for vent fan. Suggested installation. Review is necessary. Vent did not power on.



Figure 74-1

GFCI Protection:

Outlets

Condition: Satisfactory

## Bathroom #2

Location:

Hallway

Bath Tub:

Recessed

Condition: Satisfactory

Shower:

In Tub

Condition: Repair or Replace

(Bathroom #2 continued)



Comment 75:

Secure loose shower hardware to reduce stress on plumbing and leakage.

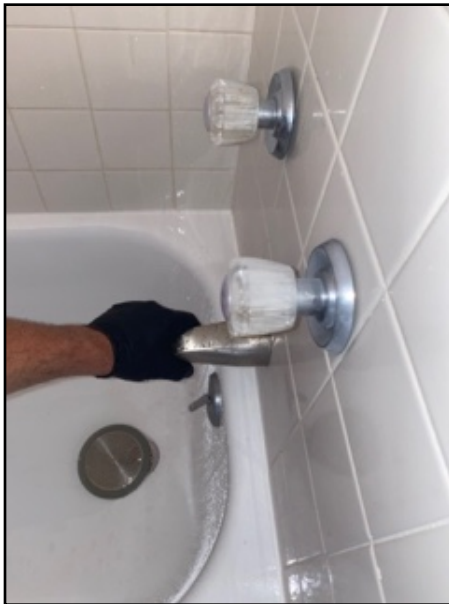


Figure 75-1

Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Shower Walls:	Tile Condition: Satisfactory
Tub Surround:	Tile Condition: Satisfactory
Floor:	Vinyl Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Repair or Replace

(Bathroom #2 continued)



Comment 76:  
Reattach bathroom vent to exterior. System is loose.



Figure 76-1

GFCI Protection:

Outlets  
Condition: Satisfactory

## Kitchen

Cabinets:	Wood Condition: Satisfactory
Countertops:	Laminated, Wood Condition: Satisfactory
Sink:	Double Condition: Satisfactory

(Kitchen continued)



Comment 77:



Figure 77-1



Figure 77-2



Figure 77-3

(Kitchen continued)

# Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:

Frigidaire

Condition: Satisfactory



Range Hood:

Yes

Condition: Satisfactory

(Appliances continued)

Refrigerator:



Maytag  
Condition: Satisfactory



Dishwasher:

Not Inspected



Comment 78:  
Portable dishwashers are not tested.



Figure 78-1



(Appliances continued)

Disposal:

Yes

Condition: Satisfactory

## Laundry

Built In Cabinets:

Not Present

Laundry Sink:

Yes

Condition: Repair or Replace



Comment 79:

Secure laundry tub to floor to reduce stress on plumbing.

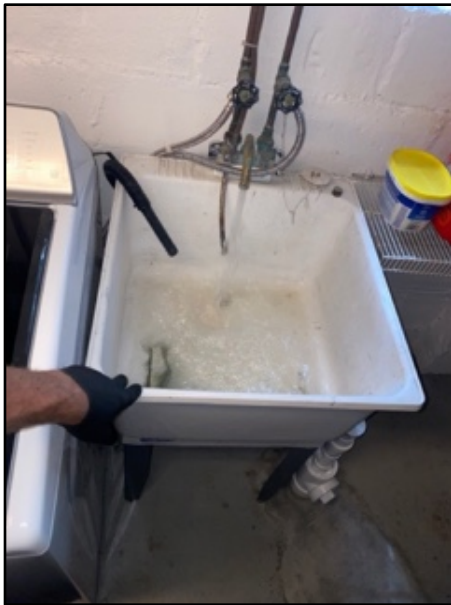


Figure 79-1

Dryer Venting:

To Exterior

Condition: Satisfactory

GFCI Protection:

Yes

Condition: Satisfactory

Laundry Hook Ups:

Yes

Condition: Satisfactory

(Laundry continued)

Washer:

Maytag  
Condition: Satisfactory



Dryer:

Maytag  
Condition: Satisfactory



Comment 80:  
220 electric. No gas supply

# Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors: Tile, Carpet, Wood, Wood Laminate  
Condition: Satisfactory



**Comment 81:**

Some visible wear and sag exists at floors. This is typical for a home of this age. Continue to monitor

Walls: Painted Drywall, Plaster  
Condition: Satisfactory

Window Types: Double Hung, Sliders  
Condition: Satisfactory

Window Materials: Vinyl

Entry Door Types: Sliding, Hinged  
Condition: Satisfactory

Entry Door Materials: Aluminum , Steel, Vinyl, Fiberglass

Interior Door Materials: Wood

# Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

## Site Grading

1) Regrade to pitch slope away from home to direct surface water away from foundation. This may assist in moisture entry to lower levels or structure of home. A positive slope directed away from the foundation is suggested.



Figure 12-1



Figure 12-2

(Report Summary continued)



Figure 12-3

## Vegetation

---

2) Trim trees and vegetation away from Structure and roof to prevent damages to home, siding or roofing materials.



Figure 13-1



Figure 13-2

(Report Summary continued)



Figure 13-3

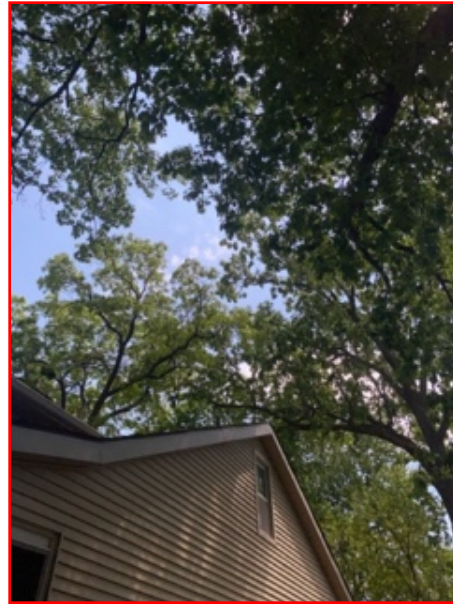


Figure 13-4



Figure 13-5



Figure 13-6

(Report Summary continued)

### Driveway

---

3) Driveway is unlevel from settlement. Have driveway leveled or mud jacked to prevent trip hazards.



Figure 14-1

### Walkways

---

4) Walkway has settled. This may cause trip hazards. Have areas mud jacked or leveled to prevent safety issues or trip hazards. Walkways should be directed away from structure to assist in water dispersion away from home.



Figure 15-1



Figure 15-2

(Report Summary continued)

### Steps/Stoops

---

5) Cannot view porch structure due to skirting.



Figure 16-1

6) Repaint any areas where paint has faded or peeled. Repaint to prevent rot or deterioration at wood porch.



Figure 17-1



Figure 17-2



(Report Summary continued)



Figure 17-3

### Patios/Decks

7) Repaint wood deck to prevent rot and deterioration. Deck shows signs of wear at wood members.



Figure 19-1



Figure 19-2

(Report Summary continued)



Figure 19-3



Figure 19-4



Figure 19-5

8) Deck structure was not fully viewed due to skirting at deck.

(Report Summary continued)



Figure 20-1



Figure 20-2

Exterior Covering

9) Repaint any areas at exterior walls where paint has peeled.



Figure 21-1



Figure 21-2

(Report Summary continued)



Figure 21-3

## Windows

---

10) Replace any missing or damaged screens surrounding the home.



Figure 22-1



Figure 22-2

(Report Summary continued)



Figure 22-3



Figure 22-4



Figure 22-5



Figure 22-6

(Report Summary continued)

## Railings

---

11) Some railings show signs of paint peel. Repaint to prevent further rot or damages. Replace any damaged sections.



Figure 23-1

## Roof Covering

---

12) Clean any mold or moss at shingles to prevent further damages or deterioration at surfaces.



Figure 26-1

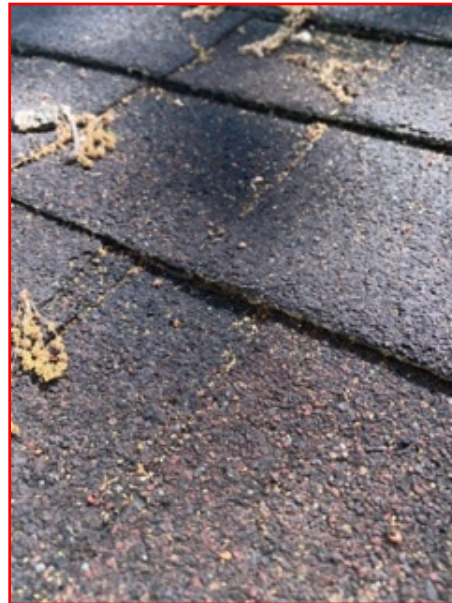


Figure 26-2

(Report Summary continued)

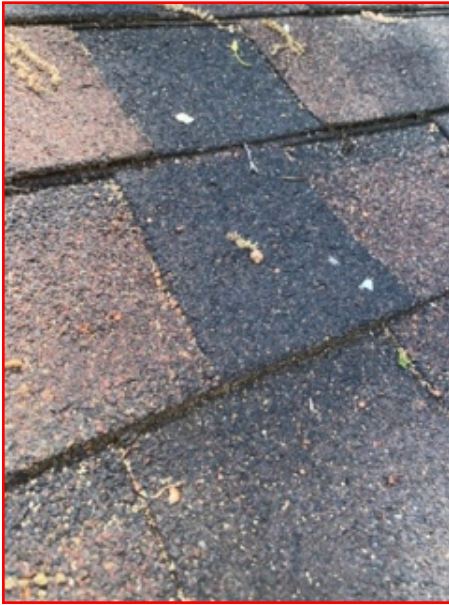


Figure 26-3

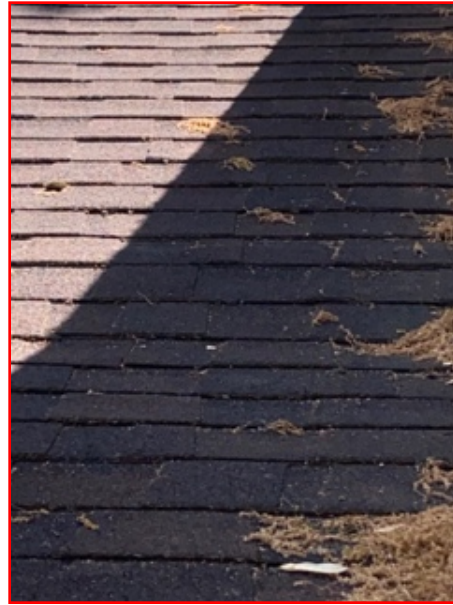


Figure 26-4

13) Recommended clearing any debris at roof surface to prevent damages or further organic growth at the shingles.



Figure 27-1



Figure 27-2

(Report Summary continued)



Figure 27-3



Figure 27-4



Figure 27-5



Figure 27-6



(Report Summary continued)



Figure 27-7

14) There is noticeable surface wear and aggregate loss at some areas of shingles. Continue to monitor. Repair may be necessary. Consult a licensed roofer to review damages, chipping and wear to shingles.



Figure 28-1



Figure 28-2

(Report Summary continued)



Figure 28-3



Figure 28-4



Figure 28-5



Figure 28-6

(Report Summary continued)



Figure 28-7



Figure 28-8



Figure 28-9



Figure 28-10

15) There is significant wear at some shingles. Consult a licensed roofer for full review.

(Report Summary continued)

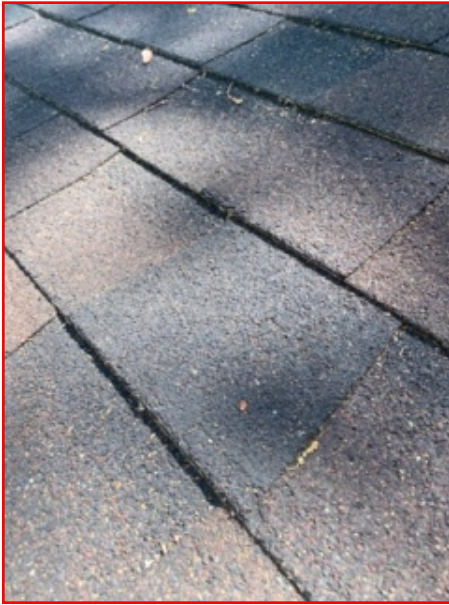


Figure 29-1

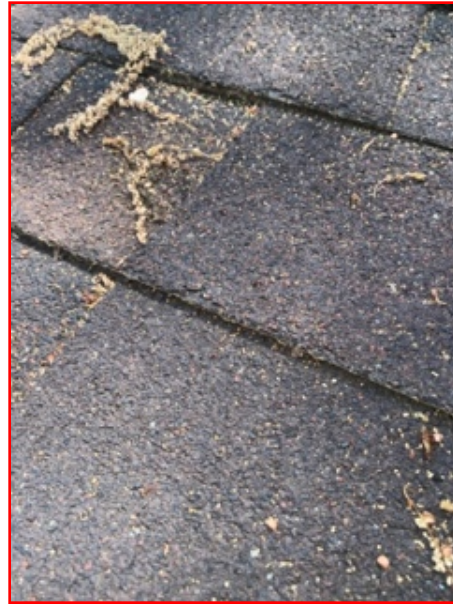


Figure 29-2



Figure 29-3

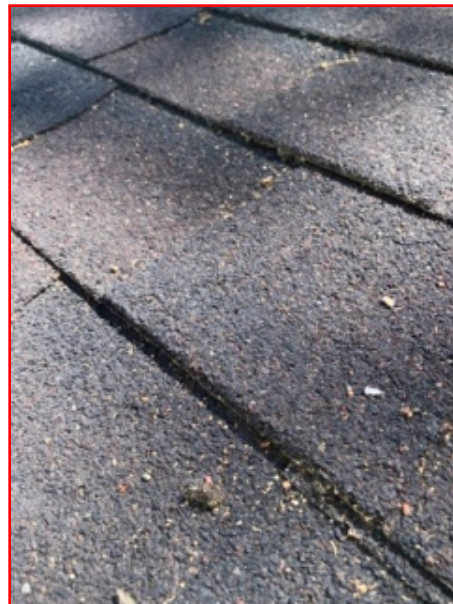


Figure 29-4

Ventilation Present

16) It is recommended to add additional ventilation as current system is inadequate for this roofing system. Consult a licensed contractor to add and balance ventilation

(Report Summary continued)

## Chimney

---

17) Chimney shows some signs of wear. Some tuckpointing is necessary. Consult a licensed brick mason for repair



Figure 31-1

18) Chimney crown may require patching or repairs. Consult a licensed brick mason for estimate.



Figure 32-1

(Report Summary continued)

### Gutters & Downspouts

---

19) Recommended cleaning gutters as they are full of debris. This will not provide proper water runoff away from the roof and structure.



Figure 33-1

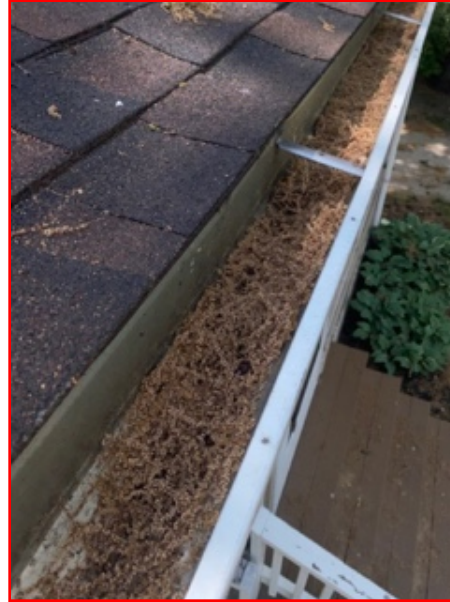


Figure 33-2

20) Extend downspouts away from home to direct water away from foundation. Extend 6-8 feet away from home



Figure 34-1



Figure 34-2

(Report Summary continued)

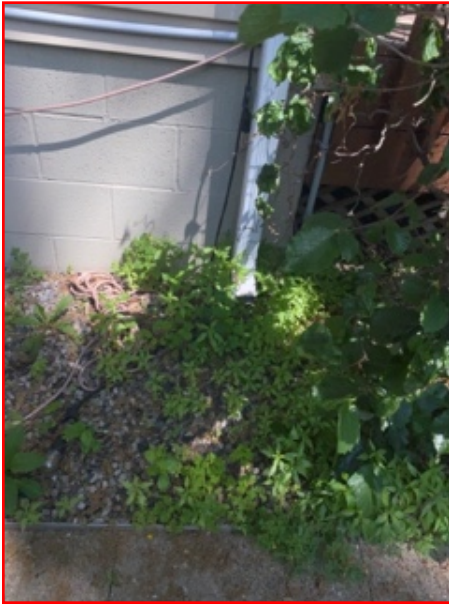


Figure 34-3

21) Extend leaders to lower gutter systems to direct water away from roof and to prevent wear to shingles. Any upper leaders should be directed to lower gutter system



Figure 35-1

(Report Summary continued)

### Signs of Water Penetration

---

22) Some signs of water penetration and staining exists at basement walls or other areas. Continue to monitor. Regrade to pitch water away from home and direct downspouts further away from foundation to reduce risks for moisture intrusion.

Efflorescence exists at some areas of foundation block.



Figure 38-1



Figure 38-2

### Floor Structure

---

23) There is a mold like substance at some areas of floor joists and subflooring. Recommended remediation at any areas that show signs of organic growth



(Report Summary continued)



Figure 39-1

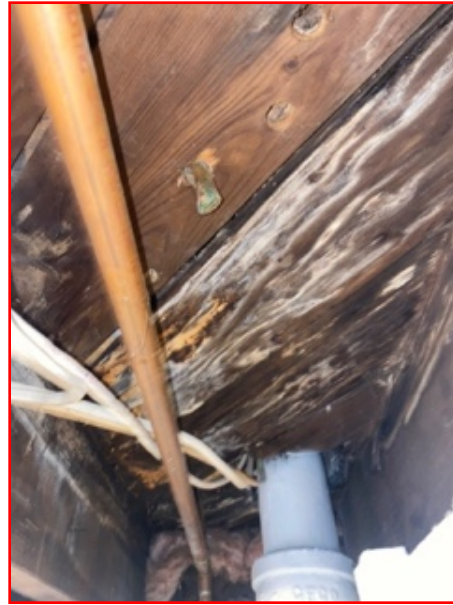


Figure 39-2



Figure 39-3

(Report Summary continued)

### Subflooring

24) Monitor any areas of previous staining. Floor is currently dry. Continue to monitor.



Figure 40-1



Figure 40-2

### Structure

25) Basement floor shows signs of moisture staining from previous water entry. Clean gutters, extend Downspouts and direct any surface water away from home



Figure 47-1



Figure 47-2

(Report Summary continued)



Figure 47-3

### Roof Deck Material

26) Roofing has been installed over older cedar boards. This is not a proper installation. Continue to monitor. Consult a roofer for further review.



Figure 48-1



Figure 48-2

27) There is a mold like substance at areas of sheathing . A licensed environmental contractor should estimate these areas for remediation. Corrective measures may be required to add additional ventilation to reduce condensation damages

(Report Summary continued)



Figure 49-1



Figure 49-2



Figure 49-3

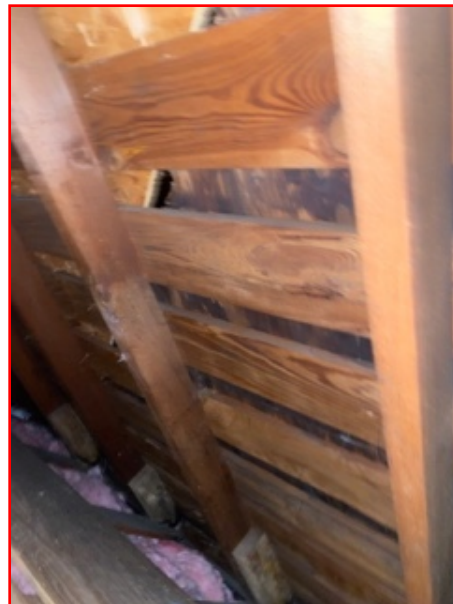


Figure 49-4

(Report Summary continued)



Figure 49-5



Figure 49-6

Structure: Attic

28) Wood shows visible signs of staining. Areas tested as dry. Continue to monitor.



Figure 50-1



Figure 50-2

29) There are pest droppings in the attic. Consult a licensed exterminator for estimation of removal.

Noted pest baits in attic.

(Report Summary continued)



Figure 51-1



Figure 51-2

30) Attic access is limited in this home. No upper access exists. Cannot view all areas of structure, insulation or ventilation.

Structure: Crawlspace

---

31) Cannot view structure or system due to lack of access to crawlspace hatch under deck.

Type of Service

---

32) It is recommended to add a proper riser at the electrical drop. Consult an electrician for updates

(Report Summary continued)

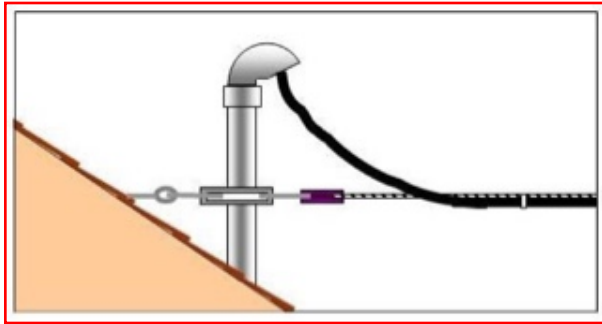


Figure 54-1



Figure 54-2

### Smoke Detectors

33) Install smoke detectors at each level of home for safety.

### Electrical

34) 3 prong outlets are ungrounded in some areas. It is recommended to ground outlets to meet current safety standards



Figure 57-1

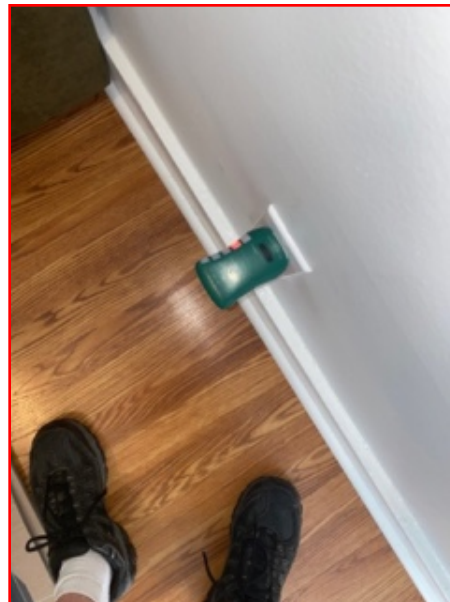


Figure 57-2

(Report Summary continued)

### Filter Type

---

35) Replace filter at this time. Filter is covered in sediment and dirt.



Figure 59-1

### Type of Distribution

---

36) Recommended taping transitions to flexible ducting.



Figure 60-1



(Report Summary continued)

### HVAC: Heating

---

37) Housing shows some signs of corrosion. Repair may be needed in time.



Figure 63-1

### HVAC: Cooling

---

38) AC coils show some signs of damage related to age and wear. Some coils are corroded. Budget to repair and maintain



Figure 66-1



Figure 66-2

(Report Summary continued)

### Waste Pipe Material

---

39) Replace any galvanized waste to prevent low water flow or poor drainage.



Figure 69-1

### Plumbing: Water Heater

---

40) Recommended sealing any gaps at chimney where hot water heater vent meets system. This will prevent back drafting of gases into home.



Figure 73-1

(Report Summary continued)

### Ventilation Type

---

41) Did not locate switch for vent fan. Suggested installation. Review is necessary. Vent did not power on.



Figure 74-1

(Report Summary continued)

### Shower

---

42) Secure loose shower hardware to reduce stress on plumbing and leakage.



Figure 75-1

### Ventilation Type

---

43) Reattach bathroom vent to exterior. System is loose.



Figure 76-1

(Report Summary continued)

## Laundry Sink

---

44) Secure laundry tub to floor to reduce stress on plumbing.



Figure 79-1