

LOCATION MAP
NEAR LEXINGTON, LEXINGTON COUNTY S.C.
SCALE: 1" = 500'

PARKSIDE PATIO HOMES
PHASE ONE AND TWO

MINIMUM BUILDING SETBACKS

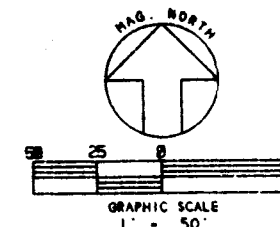
- 20' MINIMUM FRONT SETBACK
- 10' MINIMUM REAR SETBACK
- 5' MINIMUM SIDE YARD SETBACK

NOTES & REFERENCES:

- 1) A PORTION OF LEXINGTON COUNTY TAX MAP SHEET 04200 BLOCK 8 LOT 28
- 2) BOUNDARY INFORMATION PROVIDED BY BELTER & ASSOCIATES, INC.
- 3) ALL ROADS WITHIN THIS SUBDIVISION ARE 50' R/W AND ARE LOCAL RESIDENTIAL CLASSIFICATION
- 4) PHASE THREE: 1178 ACRES TO BE SUBDIVIDED INTO 25 SINGLE FAMILY RESIDENTIAL LOTS
- 5) I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE MAP COMMUNITY PANEL # 450229 8250 F. DATED 07-17-95 AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" AND IS NOT IN A DESIGNATED FLOOD PRONE AREA AS SHOWN HEREON
- 6) THE MINIMUM LOT SIZE IN PHASE FOUR IS 7,200 S.F.
- 7) ALL IRONS ARE IN 1/2" REBAR UNLESS SHOWN OTHERWISE
- 8) ALL WATER EASEMENTS TAKEN FROM UTILITY DRAWINGS PROVIDED BY CIVIL ENGINEERING OF COLUMBIA DATED 10-15-99 AND ARE NOT FIELD VERIFIED BY BELTER & ASSOCIATES, INC.
- 9) ALL STORM DRAINAGE EASEMENTS TAKEN FROM GRADING AND DRAINAGE PLANS PROVIDED BY CIVIL ENGINEERING OF COLUMBIA DATED 10-15-99 AND ARE NOT FIELD VERIFIED BY BELTER & ASSOCIATES, INC.
- 10) ALL SEWER EASEMENTS TAKEN FROM UTILITY DRAWINGS PROVIDED BY CIVIL ENGINEERING OF COLUMBIA DATED 10-15-99 AND ARE NOT FIELD VERIFIED BY BELTER & ASSOCIATES, INC.

N/F ALEXANDER

N/F LINDLER



LOT LINE CURVE DATA

CURVE	DELTA ANGLE	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
C 1	97°13'25"	17.50'	29.70'	19.80'	28.26'	N 59°34'7"E
C 2	09°43'11"	225.00'	38.17'	19.13'	38.12'	S 76°40'37"E
C 3	17°49'26"	50.00'	5.55'	7.84'	15.40'	S 72°37'33"E
C 4	23°35'09"	50.00'	20.58'	10.44'	20.44'	S 51°55'5"E
C 5	42°58'35"	50.00'	37.50'	19.68'	36.63'	S 61°38'59"E
C 6	59°14'58"	50.00'	51.70'	28.43'	49.43'	N 67°16'6"E
C 7	52°23'05"	50.00'	45.7'	24.59'	44.14'	N 11°27'5"E
C 8	51°33'58"	50.00'	45.00'	24.15'	43.50'	N 40°31'6"W
C 9	56°38'35"	50.00'	49.43'	26.95'	47.44'	S 82°22'27"W
C 10	18°14'40"	50.00'	5.92'	8.03'	15.85'	S 65°10'30"W
C 11	23°00'55"	50.00'	20.22'	10.25'	20.08'	S 86°52'47"W
C 12	09°43'11"	75.00'	20.69'	14.88'	29.65'	N 76°40'37"E
C 13	82°46'35"	17.50'	25.28'	15.42'	23.14'	N 30°25'43"E

ROAD CENTER LINE CURVE DATA

C 14	09°43'11"	200.00'	33.93'	17.00'	33.89'	S 76°40'37"E
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200106067 FILED, RECORDED, INDEXED
02/28/2001 10:55:14
Rec Fee \$18.00 St Fee \$48.00
Co Fee \$14.00 Pages 11
Lexington County 200106067 N. Hunter
PLAT OVERSIZED In Pg 6213:294

SLIDE 603 pg 1

EASEMENT NOTE

UNLESS OTHERWISE SHOWN, ALL LOTS IN THIS SUBDIVISION SHALL HAVE DRAINAGE AND UTILITY EASEMENTS RESERVED IN FAVOR OF THE DEVELOPER HIS HEIRS AND ASSIGNS AS DESCRIBED IN THE FOLLOWING:

- 1) SIDE AND REAR PROPERTY LINES
- 2) 7 1/2' TOTAL EITHER SIDE OF PROPERTY LINE
- 3) FRONT AND SECONDARY LINES
- 4) 10' ALONG ANY PROPERTY LINE BOUNDED BY A ROAD ROW

ADDITIONALLY, EXCEPT AS OTHERWISE NOTED THERE SHALL BE AN EASEMENT OF 15' (7 1/2' EITHER SIDE) ON ALL INSTALLED WATER, SEWER AND STORM DRAINAGE LINES WHERE A LOT IN THIS SUBDIVISION HAS A COMMON LINE WITH PROPERTY NOT INCLUDED IN THE SUBDIVISION. THE ENTIRE 15' EASEMENT SHALL BE INCLUDED ON THE LOT WITHIN THE SUBDIVISION.

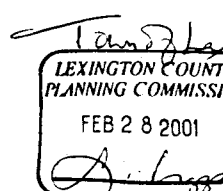
THE OWNER IS
THE MUNGO COMPANY
441 WESTERN LANE
IRMO, SC 29063
TEL 803 749-9000

THE ENGINEER IS
CIVIL ENGINEERING OF COLUMBIA
3608 FERNANDINA ROAD
COLUMBIA, SC 29210
TEL 803 739-2620

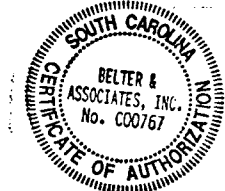
THE SURVEYOR IS
BELTER & ASSOCIATES, INC.
144 FRASERBLVD
IRMO, SC 29063
TEL 803 732-4004

THE WATER OPERATOR IS
LEXINGTON COUNTY MUNICIPALITY
WATER AND SEWER COMMISSION
2545 TWO NOTCH ROAD
LEXINGTON, SC 29071
TEL 803 359-8373

THE SEWER OPERATOR IS
THE TOWN OF LEXINGTON
P.O. BOX 397
LEXINGTON, SC 29071
TEL 803 359-2434



CERTIFICATE OF APPROVAL FOR RECORDING
The subdivision plat shown hereon was found to comply with the Subdivision Regulations for the Town of Lexington as approved by the Lexington Planning Commission on 02/28/2001 in the office of the Registrar of Means Conveyance of Lexington County, South Carolina.
CHAIRMAN: [Signature] DATE: 2-28-2001
SECRETARY: [Signature]



SURVEYORS CERTIFICATE

I HEREBY STATE THE SURVEY AS SHOWN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF MINIMUM STANDARDS FOR LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS A CLASS "B" SURVEY. ALSO, THE PLAN SHOWN AND DESCRIBED HEREIN IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE LEXINGTON COUNTY SUBDIVISION REGULATIONS AND THE MONUMENTS SHOWN HAVE BEEN PLACED TO THE SPECIFICATIONS SET FORTH IN THOSE REGULATIONS.

DATE: 2-16-00
MELVIN J. BELTER PLS #3777

DATE	NO	PAGE	PLAT BOOK
02-28-01	2	1	

BELTER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

SCALE: 1" = 50'	SHEET
DATE: 02-28-01	1 OF 1
DRAWN BY: J. BELTER	
CHECKED BY: J. BELTER	

PARKSIDE SUBDIVISION PHASE THREE

BONDED PLAT OF

TOWN OF LEXINGTON, SC