

# APPLICATION FOR TRACK II CAMOUFLAGED/LOW IMPACT TOWERS

This application must be **typed or printed in black ink** and submitted with **two (2) copies**, with all required attachments, to:

**Planning and Development Department  
Wireless Communications Coordinator  
Edward Ball Building  
214 North Hogan Street, Suite 300  
Jacksonville, Florida 32202**

Application No. **CTW- 24-02**

Camouflaged **X** OR Low Impact \_\_\_\_\_

Set for PC:

FOR INFORMATION REGARDING THIS FORM, CALL: **(904) 255-7800**

## FOR OFFICIAL USE ONLY

1. Date Submitted:

**8-21-2024**

2. Current Zoning District(s):

**PUD**

3. Future Land Use Map  
Category (FLUMs)

**MU**

4. Applicable Section of Ordinance Code:

Section 656.1506

Amount of Fee See Page 4

Council District **11**

Planning District **3**

Zoning Panel No. \_\_\_\_\_

## TO BE COMPLETED BY APPLICANT

5. Complete Property Address: 0 Coastal Ridge Boulevard  
Jacksonville, FL 32081

Real Estate Number: 168149 9900

Lat / Long: 30°07'29.46"N, 81°26'03.49"W

6. Between Streets Valley Ridge Boulevard  
And Captiva Drive

7. Current Property Use:

Vacant / undeveloped

8. Tower Owner:

NexTower Development Group II, LLC

In whose name will the application be granted?

NexTower Development Group II, LLC

## NOTICE TO OWNER/AGENT

**Section 656.1506:** Within fifteen working days of receipt of an application, the Coordinator shall determine if the application form has been fully completed and all required items submitted; the application shall be scheduled for review before the next meeting of the of the Jacksonville Planning Commission. The Commission shall approve, deny or conditionally approve an application for a wireless communication antenna based upon it compliance with the applicable siting and design standards, as follows:

**For questions not applicable to this application, type or print NA underneath question.**

1. Does the tower meet the height requirements for camouflaged or low impact tower designs as mandated by Section 656.1506 (b)(1) and Section 656.1506 (c)(1) respectively?

Yes. The proposed tower is 160 feet tall.

2. Does the distance from the base of the tower to all residential lot lines meet the setback requirements for camouflaged or low impact tower designs as mandated by s.656.1506 (b)(2) and s.656.1506 (c)(2) respectively?

Yes. The proposed tower is setback 250 feet from the nearest residential lot line. The required setback is 160 feet.

3. Does the distance of the tower from environmentally sensitive lands, historic districts, historic landmarks, neighborhood conservation districts, public parks and transportation view corridors meet or exceed those mandated for camouflaged or low impact tower designs by Section 656.1506 (b)(2) and Section 656.1506 (c)(2) respectively?

Yes. The proposed tower is setback 100 feet from Valley Ridge Boulevard. The required setback is 50 feet.  
The proposed tower is setback 53 feet from the nearest wetland. The required setback is 50 feet.  
The Zoning Code does not require camouflaged towers to have minimum setbacks from historic districts, historic landmarks, neighborhood conservation districts, or public parks.

4. Is the tower design to resemble a utility or light pole?

No. The proposed tower will resemble a pine tree.

5. Is the tower designed to accommodate the requisite number of co-locaters relative to tower height as mandated by Section 656.1506 (b)(3) and Section 656.1506 (c)(4) respectively?

Yes. The proposed tower will have the ability to collocate 4 service providers. The Zoning Code requires a minimum of 2.

6. Does the camouflaged / low impact tower meet the minimum separation requirements as mandated by Section 656.1506 (c)(3)?

Yes. There is no camouflaged tower within 750 feet of the proposed tower.

**Pursuant to Section 656.1506, Camouflaged / Low Impact Towers, the Commission shall approve, deny or conditionally approve the application where it finds that the proposed tower:**

1. Does the proposed tower comply with the tower siting and design standards and performance standards of the Subpart?

Yes, as stated above. The proposed tower will meet all performance standards.

2. Is the proposed tower compatible with existing contiguous uses or zoning and compatible with the general character and aesthetics of the surrounding neighborhood or area considering:  
The design and height of the communication tower?

Yes. The proposed tower meets all setback and siting criteria, and cell towers are permitted by right within the existing PUD zoning. The proposed cell tower is consistent with the abutting high-intensity power lines.

The potential adverse impact upon any Environmentally Sensitive Lands, historic districts or historic landmarks, public parks or Transportation View Corridors?

Yes. The 50 foot certified fall radius ensures the proposed tower will have no adverse impact upon environmentally sensitive lands or Valley Ridge Boulevard.

**Please review your application. All spaces noted as "TO BE COMPLETED BY APPLICANT" must be filled in for the application to be accepted.**

No application will be accepted as "Complete and filed" until all the requested information has been supplied and the required fee has been paid. The acceptance of an application as being complete does not guarantee its approval by the Land Development Committee of the Planning Commission. You (or your agent) must be present at the hearing.

Also, an agent's letter of authorization must be attached if the application is not signed by the owner of record and also if someone attends the meeting on the applicant's behalf without prior authorization.

### FILING FEES

Base Fee:	\$852.00
Notification Costs Per Addressee <u>3</u> Notifications @ \$7.00 each:	<u>21</u>
Total Cost:	<u>\$ 873.00</u>

When your **completed** application is submitted to the Wireless Communication Coordinator, a list of property owners (addressee) within 350 feet radius of the property will be prepared by the Department.

**I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND** the information contained in this application, that I am the owner or authorized agent for the owner with authority to make this application, and that all of the information contained in this application, including the attachments, is true and correct to the best of my knowledge.

#### PLEASE PRINT:

Name and address of Property Owner(s)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Telephone \_\_\_\_\_

Fax Number \_\_\_\_\_

Name and address of Authorized Agent(s)

Name: Steve Diebenow and Mike Sittner

Address: 1 Independent Drive, Suite 1200

\_\_\_\_\_

City: Jacksonville State: FL Zip: 32202

Daytime Telephone (904) 807-8211 / (904) 807-8214

Fax Number \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF PROPERTY OWNER(S)

   
SIGNATURE OF AUTHORIZED AGENT(S)

**The Agent's letter of authorization must be attached if application is not signed by the owner of record.**



## INSTRUCTIONS

**Submittal Information:** Applications to construct a Wireless Communication Tower shall contain the following information:

1. The identity of the owner(s) of the proposed tower and the land on which the tower is to be located. Applications for a Conventional Wireless Tower (Track II) shall also identify the Wireless Communication Service Provider(s) that have committed to locating on the proposed tower, as provided in Section 656.1506 (d)(4);
2. The location of the proposed tower, including street address and parcel real estate number, as well as longitude and latitude coordinates;
3. A current zoning map showing the location of the proposed tower;
4. A legal description of the parent tract and Tower Site (if applicable);
5. A description of the communications service(s) provided by any Wireless Communication Service Providers identified as actual or potential users of the proposed tower;
6. A scaled site plan clearly indicating the tower size, type and height, the location of any accessory buildings, on-site land uses and zoning, adjacent land uses and zoning, adjacent roadways, proposed means of access, distances from property lines, elevation drawings of the proposed tower, and any other proposed structures;
7. Distance between the proposed tower and the nearest residentially zoned lands;
8. Distance between the proposed tower and the nearest boundary of any public park or Environmentally Sensitive Lands located within two miles of the proposed tower;
9. A landscape plan showing specific landscape materials;
10. The method of fencing, finished color and, if applicable, the method of aesthetic mitigation and illumination;
11. A map depicting (a) all existing Wireless Communication Towers within a one-half mile radius of the proposed tower, (b) all proposed Wireless Communication Towers within a one-half mile radius of the proposed tower that are currently in the permitting process, and (c) all structures in excess of eighty feet that could reasonably support a wireless communication antenna and are located within the search ring of the proposed tower;
12. If the applicant is not co-locating on the proposed communication tower of another Wireless Communication Service Provider or other structure, written evidence that there is no technologically and structurally suitable space available on commercially reasonable terms on an existing or proposed tower or structure within the Search Ring;
13. Details of all proposed antennas and mounting equipment, including size and color;
14. A design drawing including cross section and elevation of the proposed tower. A description of the tower's capacity, including the number and type of antennas it can accommodate as well as the proposed location of all mounting positions for co-located antennas and the minimum separation distances between antennas;
15. Certified statement from a licensed professional engineer attesting to the structural integrity of the tower and its ability to accommodate additional antennas;

16. A propagation map depicting both the extent of the communication provider's existing coverage within the subject area and the service area of the proposed tower;
17. A photographic simulation of the proposed tower site in order to help the approving authority ascertain the visual impacts associated with such proposal. Where the tower does not meet the minimum setback limitations set forth in this Subpart A, the applicant shall provide a view-shed analysis showing various angles from which the tower would be visible from the nearest boundary of said lands;
18. A Wireless Communication Network Plan for each service provider committed to locating on the tower, which plan shall include:
  - (i) The locations of all the provider's existing Wireless Communication Towers within the City of Jacksonville that have not previously been filed with the Coordinator, including the tower type and height, the number of co-location positions designated, occupied or vacant (along with the identity of the Wireless Communication Service Provider(s) and the respective heights of the co-location sites), the longitude and latitude coordinates of each Tower Site and real estate number prescribed by the Property Appraiser for the land on which the towers are located. Where the tower applicant is not a licensed Wireless Communication Service Provider, the applicant shall identify the locations of all other towers that it owns within the City, along with the site-specific information set forth above;
  - (ii) The locations of all the provider's existing wireless communication antennas within the City of Jacksonville that have not been previously filed with the Coordinator (other than those located on towers owned by the provider), including a description of the type of structure on which the antennas are located, the height at which the antennas are located, the identity of the owner of the structure and the real estate parcel number of the land on which the structure is located;
  - (iii) The structural ability of the provider's Wireless Communication Towers, or those on which the provider has either existing antennas or proposed antennas in the permitting process, to support additional antennas.
19. Any additional information deemed necessary by the Department to complete its review of the application.

**EXHIBIT 1**

**LEGAL DESCRIPTION**

**August 28, 2023**

**PARENT TRACT DESCRIPTION** (PREPARED BY SURVEYOR)

A PORTION OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA, ALSO BEING A PORTION OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 9494, PAGE 905 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PART OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA LYING SOUTH OF VALLEY RIDGE BOULEVARD, A VARIABLE WIDTH RIGHT-OF-WAY AS RECORDED IN PLAT BOOK 65, PAGES 50 THROUGH 53 OF THE PUBLIC RECORDS OF SAID DUVAL COUNTY AND LYING NORTHERLY OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 15469, PAGE 919 OF SAID PUBLIC RECORDS.

**NEXTOWER LEASE PARCEL DESCRIPTION**

A PARCEL OF LAND LYING IN SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA; SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

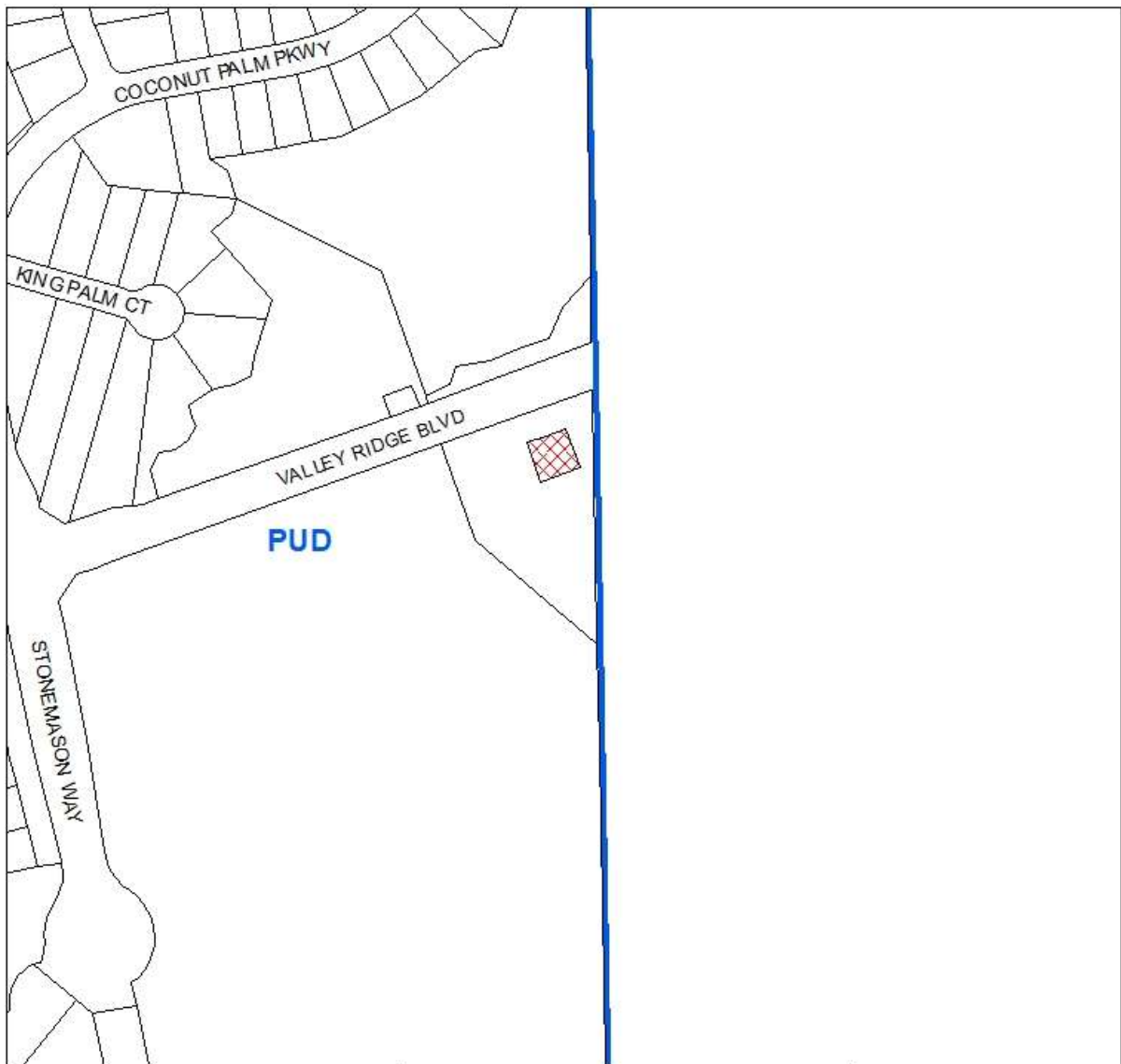
COMMENCE AT THE INTERSECTION OF THE EAST LINE OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA AND THE SOUTH RIGHT-OF-WAY LINE OF VALLEY RIDGE BOULEVARD (A VARIABLE WIDTH RIGHT-OF-WAY PER PLAT BOOK 65, PAGES 50-53 OF THE PUBLIC RECORDS OF SAID DUVAL COUNTY); THENCE S70° 30' 10"W ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR 105.29 FEET; THENCE S19° 29' 50"E FOR 50.00 FEET; THENCE N70° 30' 10"E FOR 37.50 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE S19° 29' 50"E FOR 75.00 FEET; THENCE S70° 30' 10"W FOR 75.00 FEET; THENCE N19° 29' 50"W FOR 75.00 FEET; THENCE N70° 30' 10"E FOR 75.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL OF LAND SITUATE, LYING AND BEING IN DUVAL COUNTY, FLORIDA, CONTAINING 5,625 SQUARE FEET OF LAND MORE OR LESS.

**NEXTOWER INGRESS/EGRESS & UTILITIES EASEMENT DESCRIPTION**

A 30-FOOT WIDE EASEMENT STRIP OF LAND FOR THE PURPOSES OF INGRESS/EGRESS AND UTILITIES LYING IN SECTION 25, TOWNSHIP 4 SOUTH,

RANGE 28 EAST, DUVAL COUNTY, FLORIDA; SAID EASEMENT STRIP LYING 15.00 FEET BOTH SIDES OF THE FOLLOWING DESCRIBED EASEMENT CENTERLINE:

COMMENCE AT THE INTERSECTION OF THE EAST LINE OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA AND THE SOUTH RIGHT-OF-WAY LINE OF VALLEY RIDGE BOULEVARD (A VARIABLE WIDTH RIGHT-OF-WAY PER PLAT BOOK 65, PAGES 50-53 OF THE PUBLIC RECORDS OF SAID DUVAL COUNTY); THENCE S70° 30' 10"W ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR 105.29 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED EASEMENT CENTERLINE; THENCE S19° 29' 50"E FOR 50.00 FEET TO THE POINT OF TERMINUS. THE SIDELINES OF SAID EASEMENT TO BE SHORTENED AND PROLONGED TO MEET AT RIGHT-OF-WAY LINES AND LEASE PARCEL LINES.

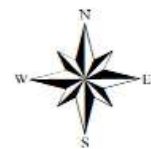
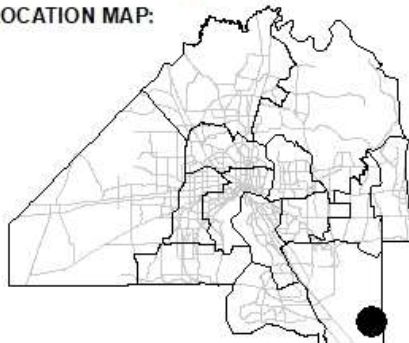


REQUEST SOUGHT:

**FROM: PUD**

**TO: PUD**

LOCATION MAP:



0 100 200 400  
Feet

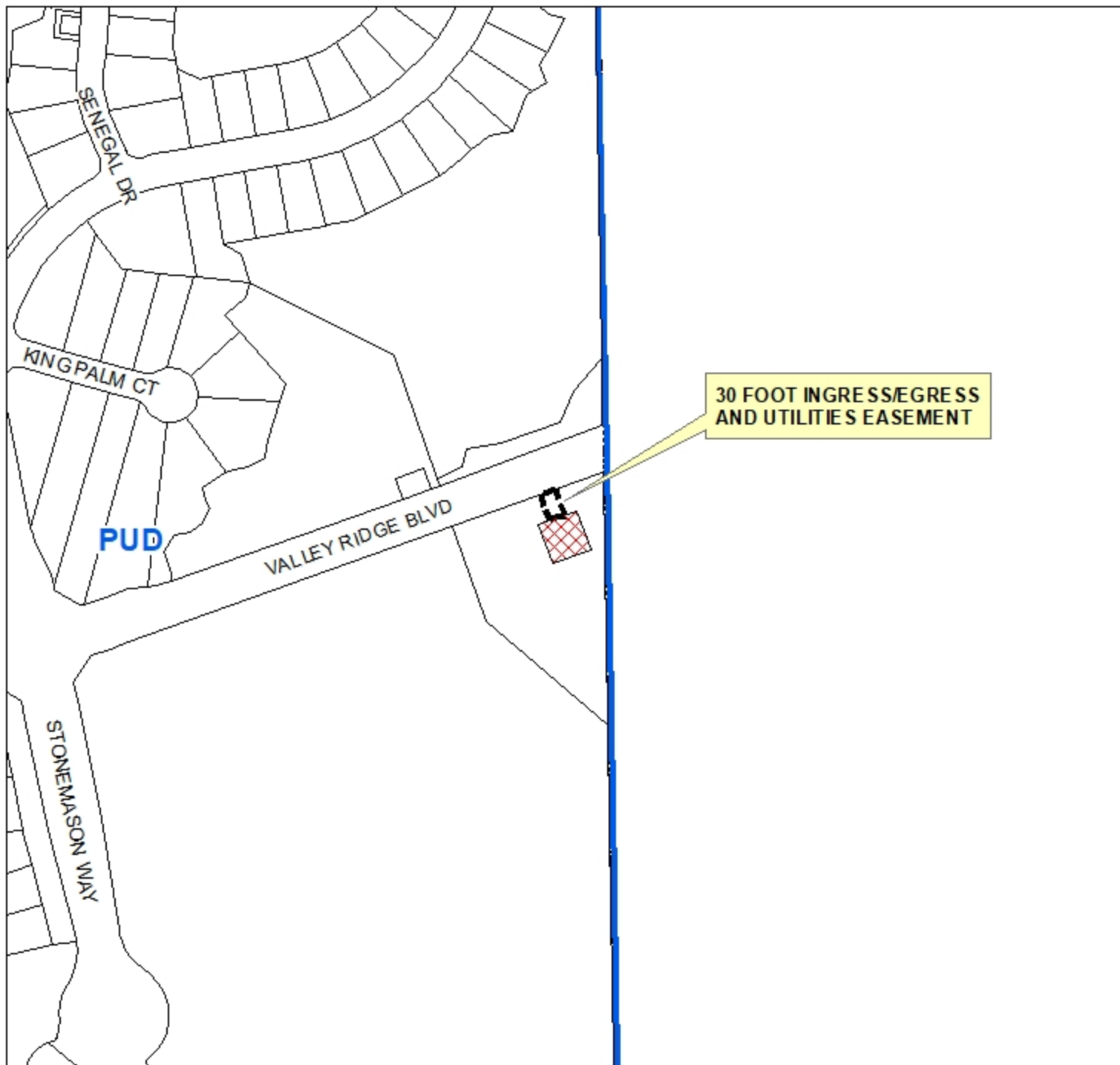
COUNCIL DISTRICT:

**11**

TRACKING NUMBER

**T-2023-5453**

**EXHIBIT 2  
PAGE 1 OF 1**

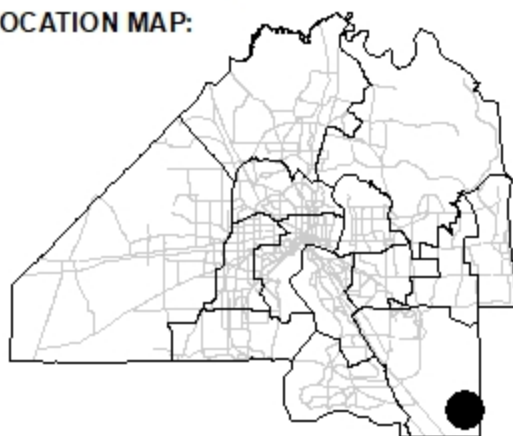


REQUEST SOUGHT:

**FROM: PUD**

**TO: PUD**

LOCATION MAP:



0 100 200 400  
Feet

COUNCIL DISTRICT:

**11**

TRACKING NUMBER

**T-2023-5453**

**EXHIBIT 2**  
**PAGE 1 OF 1**

**EXHIBIT A**  
**Property Ownership Affidavit**


City of Jacksonville  
Planning and Development Department  
214 North Hogan Street, Suite 300  
Jacksonville, Florida 32202

**Re: Property Ownership Affidavit for 0 Coastal Ridge Boulevard, Jacksonville,  
FL 32081 (RE# 168149 9900)**

Ladies and Gentlemen:

I, Harry D. Francis, as J.P. of SONOC COMPANY, LLC, a Delaware limited liability company, hereby certify that said entity is the Owner of the property described in **Exhibit 1**, in connection with filing an application for land use amendment, rezoning, waiver, variance, and/or general approval of cell towers and such other entitlements as may be required for the above referenced property, submitted to the Jacksonville Planning and Development Department.

SONOC COMPANY, LLC, a Delaware limited liability company

  
Signed

HARRY D. FRANCIS  
Printed

VICE PRESIDENT  
Title

STATE OF Florida  
COUNTY OF Duval

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 5<sup>th</sup> day of February 2023, by Harry D. Francis as J.P. of SONOC COMPANY, LLC, a Delaware limited liability company, on behalf of the company, who is ☒ personally known to me or ☐ has produced \_\_\_\_\_ as identification.

[Notary Seal]



  
(Notary Signature)



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Foreign Limited Liability Company  
SONOC COMPANY, LLC

### Filing Information

**Document Number** M00000000509  
**FEI/EIN Number** 59-3609703  
**Date Filed** 03/16/2000  
**State** DE  
**Status** ACTIVE

### Principal Address

4310 PABLO OAKS COURT  
JACKSONVILLE, FL 32224-9631

Changed: 04/30/2002

### Mailing Address

P.O. BOX 19366  
JACKSONVILLE, FL 32245-9366

Changed: 04/30/2002

### Registered Agent Name & Address

D.D.I., INC.  
4310 PABLO OAKS COURT  
JACKSONVILLE, FL 32224-9631

Address Changed: 04/30/2002

### Authorized Person(s) Detail

#### **Name & Address**

Title Manager, President

Pritchard, Robert H.  
4310 PABLO OAKS COURT  
JACKSONVILLE, FL 32224-9631

Title VP, Treasurer, Asst. Secretary



FRANCIS, HARRY D.  
4310 PABLO OAKS COURT  
JACKSONVILLE, FL 32224-9631

Title VP

OKO, SCOTT A.  
4310 PABLO OAKS COURT  
JACKSONVILLE, FL 32224-9631

Title Secretary

MORGAN, JUDY B.  
4310 PABLO OAKS COURT  
JACKSONVILLE, FL 32224-9631

Title MEMBER

D.D.I., INC.  
4310 PABLO OAKS COURT  
JACKSONVILLE, FL 32224-9631

#### **Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2021	04/28/2021
2022	03/31/2022
2023	04/06/2023

#### **Document Images**

<a href="#">04/06/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/31/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/28/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/25/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/29/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/27/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/09/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/26/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/13/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/07/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
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<a href="#">01/21/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/15/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/31/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/12/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/15/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/24/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

**EXHIBIT B**  
**Agent Authorization**

City of Jacksonville  
Planning and Development Department  
214 North Hogan Street, Suite 300  
Jacksonville, Florida 32202

**Re: Agent Authorization for 0 Coastal Ridge Boulevard, Jacksonville, FL 32081  
(RE# 168149 9900)**

Ladies and Gentlemen:

You are hereby advised that Harry D. Francis, as V.P. of SONOC COMPANY, LLC, a Delaware limited liability company, hereby authorizes and empowers Driver, McAfee, Hawthorne & Diebenow, PLLC, to act as agent to file an application for land use amendment, rezoning, waiver, variance, and/or general approval of cell towers and such other entitlements as may be required for the above referenced property and in connection with such authorization to file such applications, papers, documents, requests and other matters necessary for such requested change as submitted to the Jacksonville Planning and Development Department.

SONOC COMPANY, LLC, a Delaware limited liability company

Harry D. Francis  
Signed

HARRY D. FRANCIS  
Printed

VICE PRESIDENT  
Title

STATE OF Florida  
COUNTY OF Duval

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 5<sup>th</sup> day of February, 2024, by, Harry D. Francis as V.P. of SONOC COMPANY, LLC, a Delaware limited liability company, on behalf of the company, who is ☒ personally known to me or ☐ has produced \_\_\_\_\_ as identification.

[Notary Seal]



Tina E. Miller  
(Notary Signature)



# Coastal Ridge NXFL-342

## PHOTOGRAPHIC SIMULATIONS OF PROPOSED 160' MONO-PINE TOWER

**FOR PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY**

JULY 25, 2024



**Ehrke Enterprises, LLC**

3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



**NextTower**  
YOUR SIGNAL IS OUR EXPERIENCE

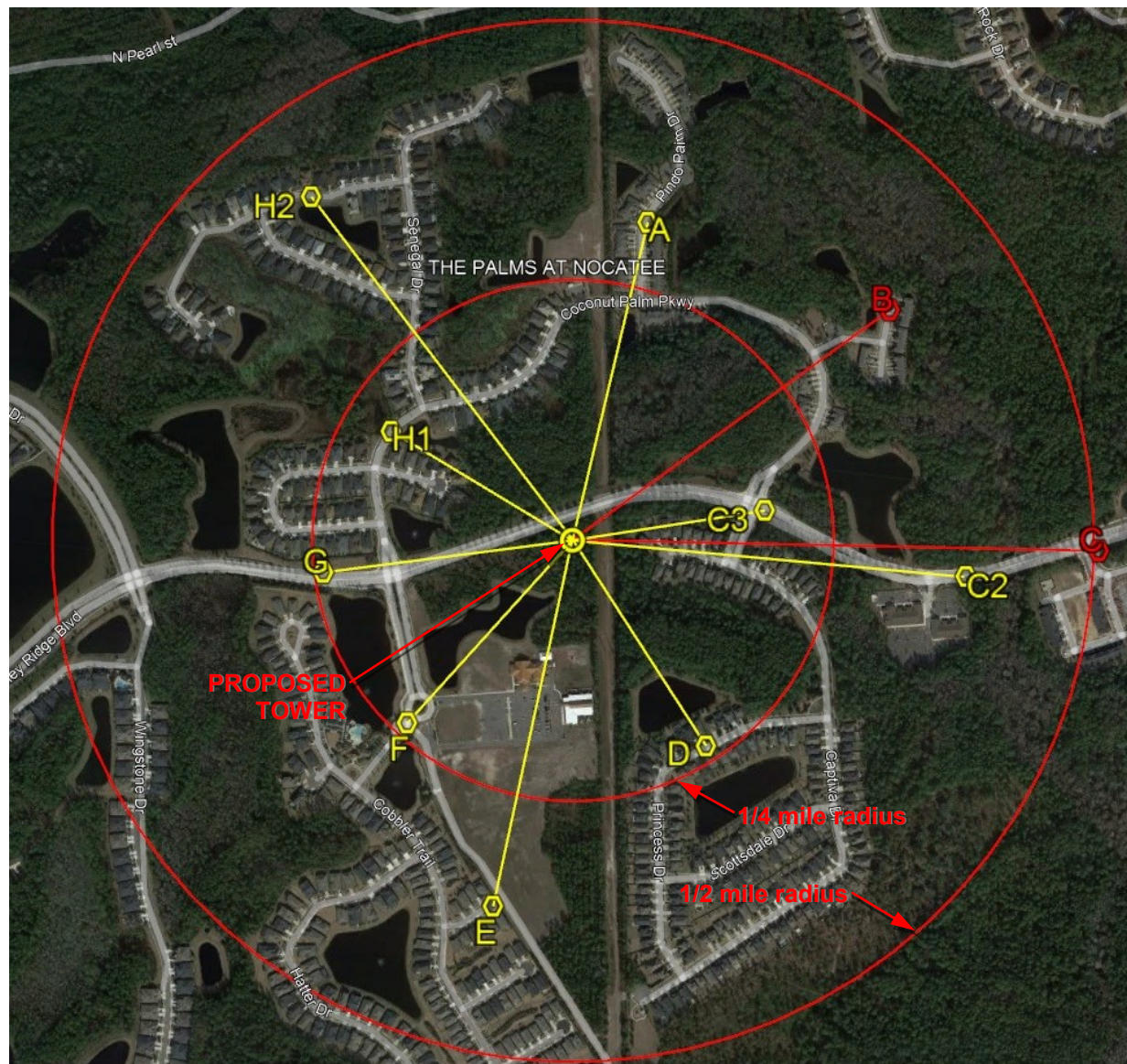
13577 NW 2nd Lane, Suite 20  
Newberry Florida 32669  
(352) 363-5560

SHEET TITLE  
Photographic Simulations  
160' Mono-Pine Tower

**COVER SHEET**

SHEET#

**1**



**Ehrke Enterprises, LLC**

3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



**NextTower**  
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Newberry Florida 32669  
(352) 363-5560

SHEET TITLE  
Photographic Simulations  
160' Mono-Pine Tower

**Photo Location Map**

SHEET#

**2**

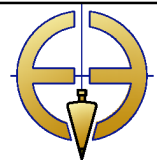




**Existing View**



**Photo Simulation of Proposed Tower from 1653' looking South.**



**Ehrke Enterprises, LLC**

3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



**NexTower**  
YOUR SIGNAL IS OUR EXPERIENCE

13577 NW 2nd Lane, Suite 20  
Newberry Florida 32669  
(352) 363-5560

**SHEET TITLE**  
**Photographic Simulations**  
**160' Mono-Pine Tower**

**View A**

**SHEET#**

**3**



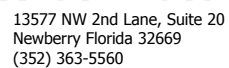


**Existing view from 1988' looking SW.  
Proposed tower not visible.**



3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.com

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



SHEET TITLE  
**Photographic Simulations**  
**160' Mono-Pine Tower**

### View B

SHEET#

4





Existing view from 2672' looking West. Proposed tower not visible.



**Ehrke Enterprises, LLC**

3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



**NextTower**  
YOUR SIGNAL IS OUR EXPERIENCE

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Newberry Florida 32669  
(352) 363-5560

SHEET TITLE  
Photographic Simulations  
160' Mono-Pine Tower

**View C**

SHEET#

**5**

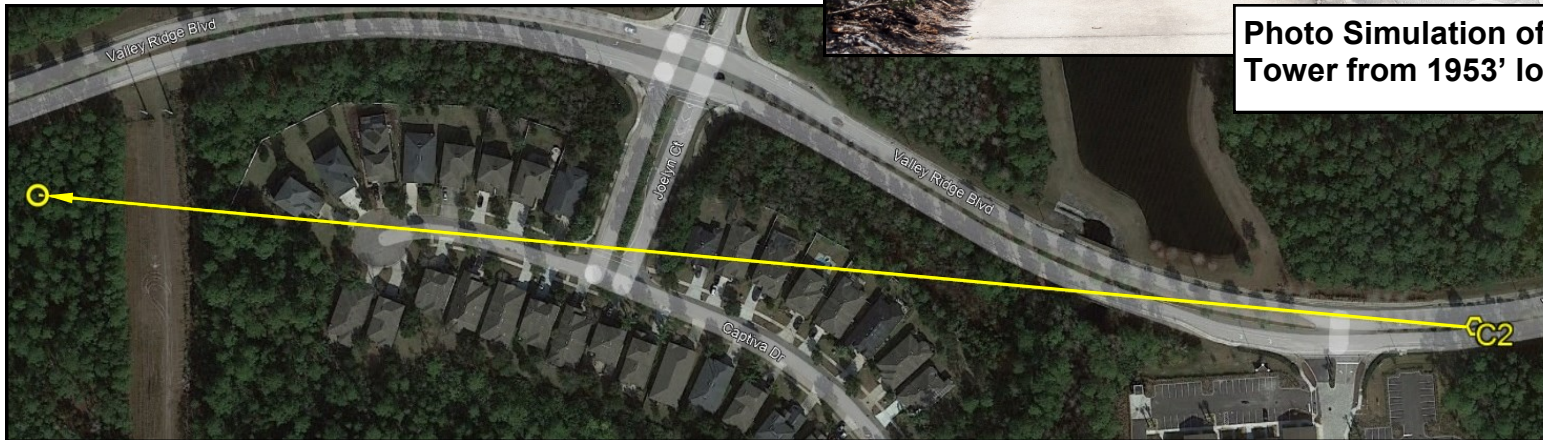




**Existing View**



**Photo Simulation of Proposed Tower from 1953' looking West.**



**Ehrke Enterprises, LLC**

3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



**NextTower**  
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(352) 363-5560

**SHEET TITLE**  
**Photographic Simulations**  
**160' Mono-Pine Tower**

**View C2**

**SHEET#**

**6**





**Existing View**



**Photo Simulation of  
Proposed Tower from  
994' looking West.**



**Ehrke Enterprises, LLC**

3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



**NextTower**  
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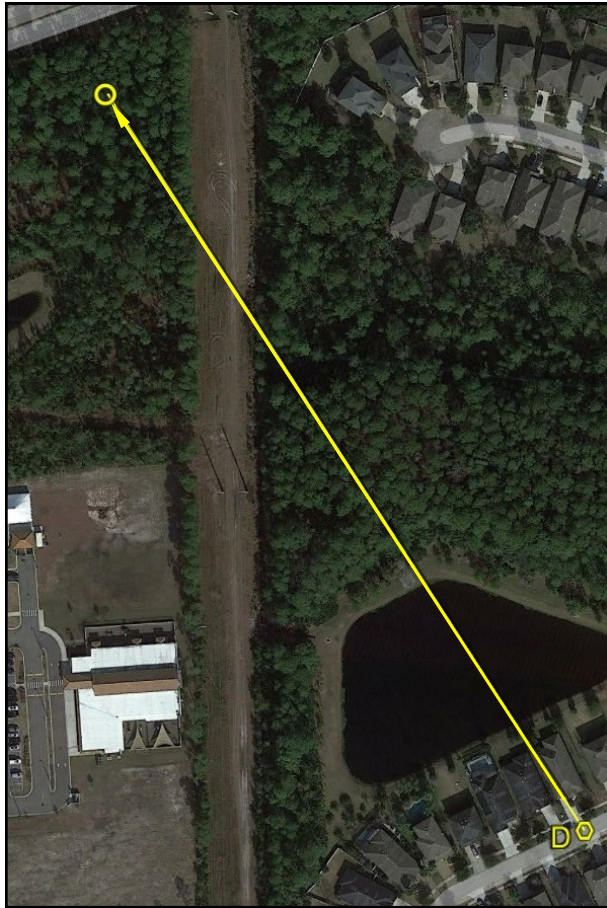
**SHEET TITLE**  
**Photographic Simulations**  
**160' Mono-Pine Tower**

**View C3**

**SHEET#**

**7**





Proposed tower not visible from 1238' looking NW.



**Ehrke Enterprises, LLC**

3441 NW 103rd Drive  
Gainesville, Florida 32606  
Phone: (352) 215-8539  
Email: jamesehrke@eellc.org

PHOTOGRAPHIC SIMULATIONS \* BALLOON TESTS \* LAND SURVEYING \* CAD SERVICES



**NextTower**  
YOUR SIGNAL IS OUR EXPERIENCE

13577 NW 2nd Lane, Suite 20  
Newberry Florida 32669  
(352) 363-5560

SHEET TITLE  
Photographic Simulations  
160' Mono-Pine Tower

**View D**

SHEET#

**8**





**Ehrke Enterprises, LLC**

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160' Mono-Pine Tower

**View E**

SHEET#

**9**





**Photo Simulation of Proposed  
Tower from 1245' looking NE.**



**Ehrke Enterprises, LLC**

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**SHEET TITLE**  
**Photographic Simulations**  
**160' Mono-Pine Tower**

**View F**

**SHEET#**

**10**

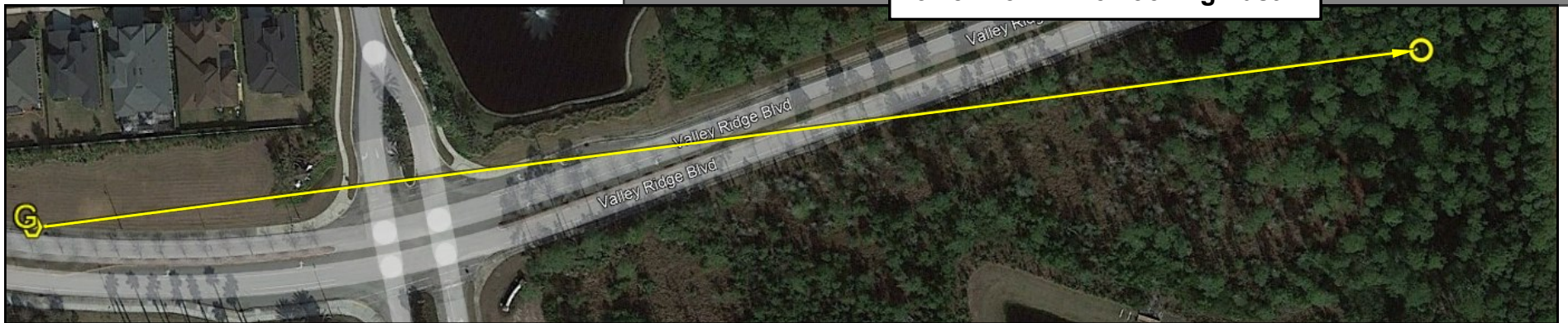




**Existing View**



**Photo Simulation of Proposed  
Tower from 1275' looking East.**



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(352) 363-5560

**SHEET TITLE**  
**Photographic Simulations**  
**160' Mono-Pine Tower**

**View G**

**SHEET#**

**11**

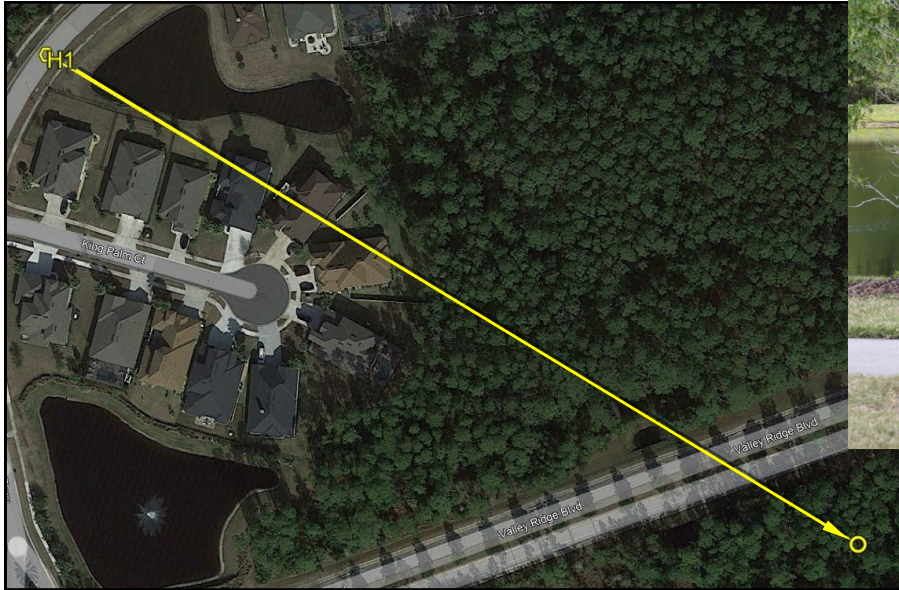




**Existing View**



**Photo Simulation of Proposed  
Tower from 1073' looking SE.**



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**SHEET TITLE**  
**Photographic Simulations**  
**160' Mono-Pine Tower**

**View H1**

**SHEET#**

**12**





**Existing View**



**Photo Simulation of Proposed Tower from 2185' looking SE.**



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**SHEET TITLE**  
**Photographic Simulations**  
**160' Mono-Pine Tower**

**View H2**

**SHEET#**

**13**

The process used to generate the enclosed photo simulation is a quantitative approach, which precisely creates the effect or anticipated visual impact of proposed tall structures.

The computations utilized to prepare the simulation are based on the theory of photogrammetry, which is the science of measurement by means of photographs. The scale and position of objects in photographs vary according to the distance and position of the corresponding actual objects relative to the camera. The photogrammetric relationship between height and distance is an inverse proportionate relationship.

When necessary, both horizontal and oblique photographs are utilized to control the accurate placement of the simulated tall structure within the target photograph. The height of the proposed tall structure in the target photograph is based on data obtained from a certified balloon test performed at the proposed site.

Both reference photographs and target photographs are produced in digital format utilizing a fixed 50 mm camera lens and full frame digital camera.(35mm camera equivalent) A 50 mm camera lens is used because when combined with a 35 mm film format, it is considered to best approximate the viewpoint of the human eye.

The procedure utilized to produce our photo simulations is listed below:

- Reference photographs are taken of existing similar tall structures with known or measured heights, at a known distance from the tall structure.
- Target photographs are taken of the proposed tall structure location during a certified balloon test from various points of interest. Mapping Grade Hand Held GPS is used to determine the distance from the camera lens to the proposed tall structure location.
- Digital photographs are up-loaded into an image-editing program, which is utilized to generate the photo simulation.
- Based on reference photograph and target photograph intelligence, the pictorial height and placement of the simulated tall structure is calculated and placed within the target photograph.



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Newberry Florida 32669  
(352) 363-5560

SHEET TITLE  
**Photographic Simulations  
160' Mono-Pine Tower**

**PHOTO SIMULATION METHODOLOGY**

SHEET#

**14**



To Whom It May Concern:

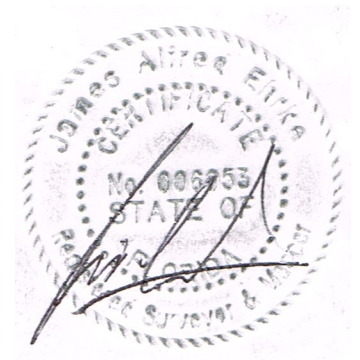
We hereby certify that on April 23, 2023 between the time of 1:00 pm and 3:15 pm, we positioned a Five foot +/- diameter weather balloon at approximately 170 feet above ground level tethered at Latitude 30° 07' 29.49" North and Longitude 81° 26' 03.38" West.

Please contact at me at (352) 215-8539 if I can provide additional information.

Ehrke Enterprises, LLC

*James A. Ehrke*

James A. Ehrke  
Florida Registered Surveyor and Mapper  
Certificate of Registration No. 6053



**Ehrke Enterprises, LLC**

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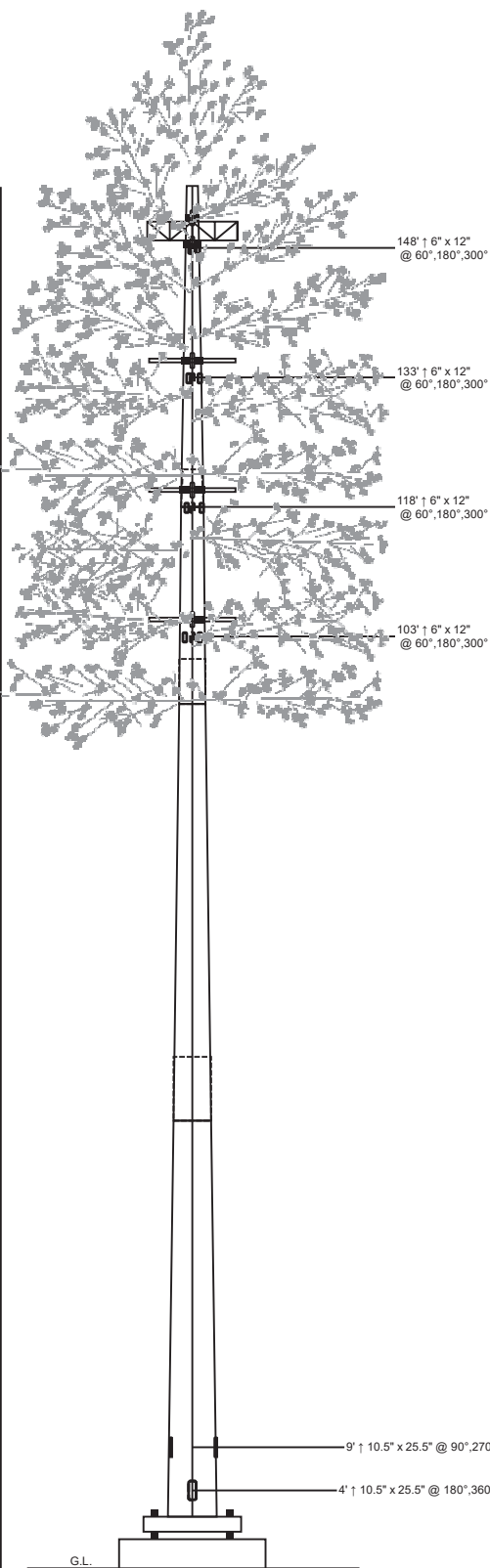
SHEET TITLE  
Photographic Simulations  
160' Mono-Pine Tower

**Balloon Test Certification**

SHEET#

**15**

SIZES ARE PRELIMINARY AND MAY CHANGE UPON FINAL DESIGN									
Length (ft)	53'-3"	53'-6"	27'-0 1/1"		37'-2"				
Number Of Sides	18								
Lap Splice (ft)	7' - 6"		5' - 3"		A				
Top Diameter (in)	49.61"	34.26"		27.31"	16.02"				
Bottom Diameter (in)	68.68"	53.42"		37.01"	29.33"				
Taper (in/ft)	0.35818								
Grade	A572-65								
Weight (lbs)	22570	14902	4401		2644				
Overall Steel Height (ft)	154								



## Designed Appurtenance Loading

Elev	Description	Tx-Line
150	3V-Boom - 10ft Face - 3ft Standoff	
150	(1) 30,000 sq. in. antenna loading (below top)	(12) 1 5/8"
135	3T-Arm - 10' Face - 3' Standoff	
135	(1) 30,000 sq. in. antenna loading (below top)	(12) 1 5/8"
120	3T-Arm - 10' Face - 3' Standoff	
120	(1) 30,000 sq. in. antenna loading (below top)	(12) 1 5/8"
105	3T-Arm - 10' Face - 3' Standoff	
105	(1) 25,000 sq. in. antenna loading (below top)	(12) 1 5/8"

## Design Criteria - ANSI/TIA-222-H

Wind Speed (No Ice)	129 mph
Wind Speed (Ice)	30 mph
Design Ice Thickness	0.25 in
Risk Category	II
Exposure Category	C
Topographic Factor Procedure	Method 1 (Simplified)
Topographic Category	1
Ground Elevation	25 ft
Seismic Importance Factor, I <sub>e</sub>	1.00
0.2-sec Spectral Response, S <sub>s</sub>	0.097 g
1-sec Spectral Response, S <sub>1</sub>	0.051 g
Site Class	D (DEFAULT)
Seismic Design Category	B
Basic Seismic Force-Resisting System	Telecommunication Tower (Pole: Steel)

## Limit State Load Combination Reactions

Load Combination	Axial (kips)	Shear (kips)	Moment (ft-k)	Deflection (ft)	Sway (deg)
1.2 D + 1.0 W <sub>o</sub>	86.67	97.63	11564.78	13.02	10.17
0.9 D + 1.0 W <sub>o</sub>	64.96	98.31	11503.22	12.87	10.02
1.2 D + 1.0 E <sub>v</sub> + 1.0 E <sub>h</sub>	87.75	2.15	273.51	0.33	0.27
0.9 D - 1.0 E <sub>v</sub> + 1.0 E <sub>h</sub>	63.22	2.16	271.39	0.33	0.26
1.0 D + 1.0 W <sub>o</sub> (Service @ 60 mph)	72.23	18.99	2244.76	2.58	1.99

## Base Plate Dimensions

Shape	Diameter	Thickness	Bolt Circle	Bolt Qty	Bolt Diameter
Round	81.75"	2.75"	76"	30	2.25"

## Material List

Display	Value
A	4' - 3"

## Notes

- 1) Antenna Feed Lines Run Inside Pole
- 2) All dimensions are above ground level, unless otherwise specified.
- 3) Weights shown are estimates. Final weights may vary.
- 4) Full Height Step Bolts
- 5) This tower design and, if applicable, the foundation design(s) shown on the following page(s) also meet or exceed the requirements of the 2023 Florida Building Code.
- 6) This structure has been designed to support pine tree branches starting at the 90' elevation to an overall height of 160'.



**Sabre Industries**  
7101 Southbridge Drive  
P.O. Box 658  
Sioux City, IA 51102-0658  
Phone: (712) 258-6690  
Fax: (712) 279-0814

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Quote:	25-1113-JDS
Customer:	NEXTOWER
Site Name:	Coastal Ridge, FL NXFL-342
Description:	155' Monopine
Date:	7/24/2024
By:	KJT
Page:	1





PREPARED FOR:

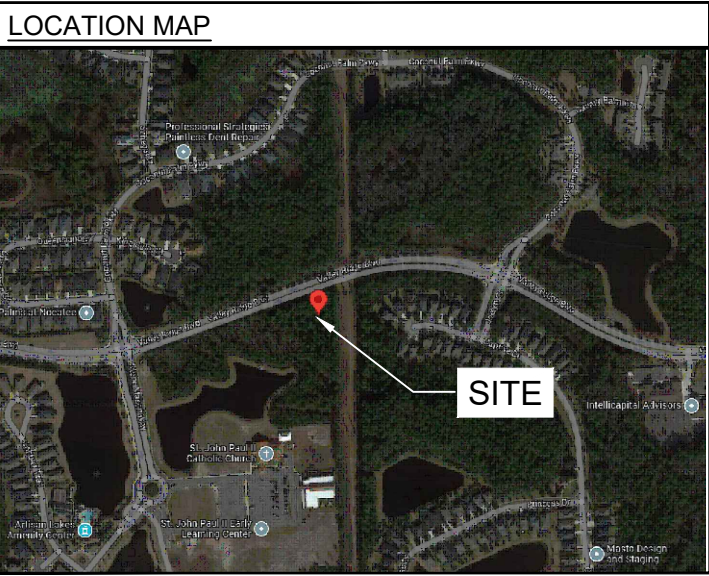
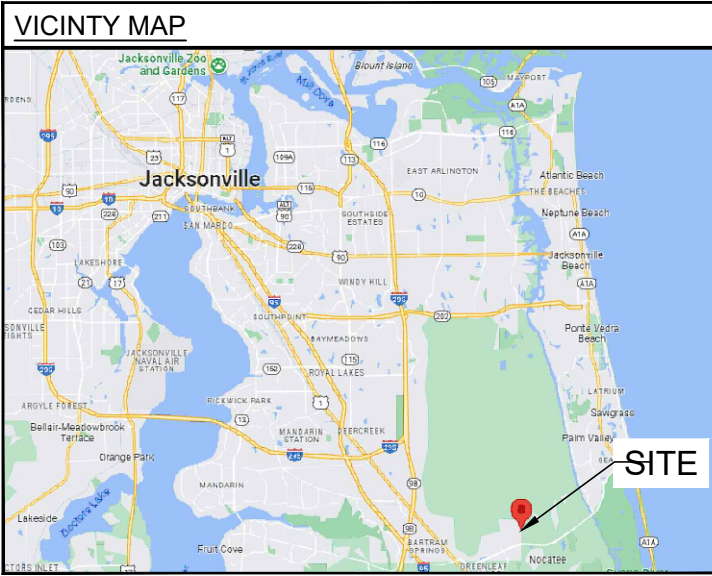


SITE NAME:

COASTAL RIDGE  
NXFL-342

PROJECT DESCRIPTION

GREENFIELD  
PROPOSED 160' MONO-PINE TOWER  
& TELECOMMUNICATIONS FACILITY  
(TOTAL HEIGHT 160' INCLUDING APPURTENANCE)



DRIVING DIRECTIONS FROM 214 N HOGAN ST,  
JACKSONVILLE, FL:

- HEAD NORTH ON HOGAN ST TOWARD W MONROE ST 0.1 MI
- TURN RIGHT AT THE 1ST CROSS STREET ONTO W MONROE ST 0.2 MI
- TURN RIGHT AT THE 2ND CROSS STREET ONTO FL-10 E/N MAIN ST 1.2 MI
- USE THE LEFT LANE TO MERGE ONTO FL-10 E 0.5 MI
- USE THE LEFT LANE TO KEEP LEFT 0.2 MI
- MERGE ONTO I-95 S 10.9 MI
- USE THE RIGHT 2 LANES TO TAKE EXIT 337 TO MERGE ONTO I-295 N TOWARD JAX BEACHES 1.7 MI
- TAKE EXIT 60 FOR US-1 S/GREENLAND RD 0.2 MI
- USE THE LEFT 2 LANES TO TURN LEFT ONTO US-1 S 2.3 MI
- KEEP RIGHT TO STAY ON US-1 S 3.6 MI
- USE THE RIGHT 2 LANES TO TAKE THE NOCATEE PARKWAY EXIT 0.9 MI

- CONTINUE ONTO NOCATEE PKWY 1.4 MI
- TAKE THE VALLEY RIDGE BLVD N EXIT 0.3 MI
- MERGE ONTO VALLEY RIDGE BLVD AND THE SITE WILL BE ON THE RIGHT 1.8 MI

PROJECT SUMMARY

SITE ADDRESS:	0 COASTAL RIDGE BOULEVARD JACKSONVILLE, FL 32081
LATITUDE:	30° 07' 29.46"
LONGITUDE:	-81° 26' 03.49"
PARCEL ID:	168149-9900
COUNTY:	DUVAL
ZONING CLASSIFICATION:	PUD
ZONING JURISDICTION:	CITY OF JACKSONVILLE
DISTURBED AREA:	7,189± SQ. FT. (0.165 ACRES)
LAND OWNER:	SONOC COMPANY
APPLICANT:	NEXTOWER DEVELOPEMENT GROUP II, LLC. 13577 NW 2ND LANE, SUITE 20 NEWBERRY, FL 32669 PH: 352-363-5560
CONTACT:	JOEL ROUSSEAU PH: 352-283-0001
ENGINEER:	TOWERSOURCE 1355 WINDWARD CONCOURSE SUITE 410 ALPHARETTA, GA 30005 678-990-2338 PHILLIP J. NEJMAN, P.E.
TELEPHONE COMPANY:	CONSULT CM
POWER COMPANY:	JEA

BUILDING CODES:  
FLORIDA BUILDING CODE, 7TH EDITION (2020).  
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70  
FLORIDA FIRE PREVENTION CODE 7TH EDITION 2020  
NATIONAL ELECTRICAL CODE, 2017 EDITION.  
TIA-222-G WITH ADDENDUM 1 AND 2 APPLICABLE STANDARDS.  
LIFE SAFETY COPE NFPA-101-10  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 360-10 AND 341-10.  
UNDERWRITERS LABORITORIES (U.L.) APPROVED ELECTIRCAL PRODUCTS.  
LOCAL JURISDICTIONAL REQUIREMENTS.  
CITY/COUNTY ORDINANCES.

SHEET INDEX

NO.	DESCRIPTION
T-1	CITY OF JACKSONVILLE TITLE SHEET
T-2	COVER SHEET
GN-1	GENERAL NOTES
C-1	OVERALL SITE PLAN
C-1A	DETAILED SITE PLAN
C-1B	ZONING MAP
C-2	FENCE, GATE, AND COMPOUND DETAILS
C-3	GRADING AND EROSION CONTROL PLAN
C-3A	GRADING AND EROSION CONTROL DETAILS
C-3B	GRADING AND EROSION CONTROL NOTES
C-4	ACCESS ROAD DETAILS
C-5	TOWER ELEVATION
E-1	BASIC SERVICE AND POWER COORDINATION ROUTING PLAN
E-1A	POWER FIBER ROUTE
E-2	GROUNDING PLAN
E-3	SINGLE-LINE DIAGRAM
E-4	ELECTRICAL NOTES
E-5	ELECTRICAL DETAILS
E-6	H-FRAME DETAILS
L-1	TREE REMOVAL PLAN
L-2	LANDSCAPE PLAN

PREPARED FOR:



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13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:




A NextEdge Company

1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

THE INFORMATIN CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	NXFL-342
DRAWN BY:	JCR
CHECKED BY:	BAA

REVISIONS		
NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'



07/24/2024

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PHILLIP J. NEJMAN, P.E ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

RAWLAND

SHEET TITLE:

COVER SHEET

DRAWING NO.

T2



Know what's below.  
Call before you dig.



GENERAL NOTES:

- ALL CONSTRUCTION TO COMPLY WITH THE FOLLOWING CODES PLUS LATEST STATE AMENDMENTS:  
- 7TH (2020) EDITION FLORIDA BUILDING CODE
- CONTRACTOR IS TO COMPLY WITH THE REQUEST FOR QUOTATION (RFQ) AND CONSTRUCTION SPECIFICATIONS (LATEST REVISION) & BUILDING MANUFACTURER'S DRAWINGS, ALL PREVIOUSLY PROVIDED BY NEXTOWER.
- DIMENSIONS TO ALL EXISTING SITE FEATURES SHALL BE FIELD VERIFIED BY THE CONTRACTOR & ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPES, OR ANY OTHER SUBSURFACE STRUCTURES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING SERVICE 48 HRS PRIOR TO DIGGING, DRILLING, OR BLASTING.
- NEXTOWER'S CONSTRUCTION PROJECT MANAGER OR NEXTOWER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF NEXTOWER'S CONSTRUCTION PROJECT MANAGER OR NEXTOWER'S REPRESENTATIVE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL DRAWINGS & SPECIFICATIONS AND TO COORDINATE HIS WORK WITH THE WORK OF ALL OTHERS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE PROPERTY OWNER AS TO AVOID ANY INTERRUPTIONS WITH THE PROPERTY OWNER'S OPERATIONS.
- CONTRACTOR SHALL KEEP THE PROJECT SITE FREE FROM ACCUMULATION OF WASTE MATERIALS & RUBBISH AT ALL TIMES DURING THE CONSTRUCTION PERIOD, & SHALL REMOVE ALL WASTE MATERIALS & RUBBISH FROM THE PROJECT SITE AT THE COMPLETION OF WORK, EXCEPT THOSE SPECIFICALLY REQUIRED BY THE CONTRACT DOCUMENTS TO BE LEFT FOR THE OWNER'S MAINTENANCE.
- THE CONTRACTOR SHALL RESTORE ALL PROPERTY TO IT'S PRE-CONSTRUCTION CONDITION TO THE OWNER'S SATISFACTION.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY DISTURBED, DAMAGED, OR REMOVAL OF MONUMENTATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR.
- DAMAGE TO EXISTING STRUCTURES & UTILITIES SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. MAINTAIN FLOW FOR ALL UTILITIES.
- ALL UTILITY CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY COMPANY PRIOR TO EACH CONNECTION.
- UNLESS OTHERWISE INDICATED, NEXTOWER SHALL OBTAIN & PROVIDE CONSTRUCTION PERMITS. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, CITY, STATE AND/OR COUNTY CONSTRUCTION LICENSES. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL APPLY FOR & PROVIDE A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE FOR CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
- CONSTRUCTION WASTE MAY NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO AN APPROVED LANDFILL.
- SECURITY TO THE SITE SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE FOR THE CONDITION OF THE EQUIPMENT DURING AND AFTER CONSTRUCTION. THE EQUIPMENT SHALL NOT BE USED FOR STORAGE OF TOOLS, CONSTRUCTION MATERIALS OR EQUIPMENT. CONTRACTOR SHALL ENSURE THE SHELTER IS CLEANED AT CONCLUSION OF CONSTRUCTION.
- FOR GREENFIELD/NEW TOWERS SITES, CONTRACTOR IS RESPONSIBLE FOR ENSURING THE TOWER LIGHTS ARE MONITORED MORNING AND NIGHT EACH 24 HRS FROM THE TIME THE TOWER IS TOPPED OUT UNTIL SITE HAS ALARMS CONNECTED TO THE OPERATIONS SWITCH OR NOC. CONTRACTOR TO NOTIFY PROJECT MANAGER AT THE TIME THE TOWER IS TOPPED OUT TO FORWARD NOTIFICATION TO NEXTOWER REGULATORY AND FCC/FAA.
- THIS PROJECT MEETS ALL REQUIREMENTS FOR 10/2 SELF-CERTIFICATION: CERTIFICATION OF QUALIFICATION TO USE A GENERAL PERMIT FOR A STORMWATER MANAGEMENT SYSTEM SERVING LESS THAN 10 ACRES TOTAL PROJECT AREA AND LESS THAN TWO ACRES IMPERVIOUS SURFACE.

GENERAL NOTES CONTINUED:

- FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:

CONTRACTOR - SUBCONTRACTOR- OWNER OEM-	GENERAL CONTRACTOR SUBCONTRACTOR HIRED BY GENERAL CONTRACTOR. NEXTOWER ORIGINAL EQUIPMENT MANUFACTURER
--	--
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF OWNER.
- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AN UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONS CODES, ORDINANCES AND APPLICABLE REGULATIONS
- DRAWING PROVIDED WERE DESIGN AND SCALED TO 11x17 FORMAT.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE OWNER.
- CONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER AND T1 CABLES, GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWINGS.
- CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- CONTRACTORS SHALL LEGALLY AN PROPERLY DISPOSE OF ALL SCRAP MATERIAL.

SITE WORK GENERAL NOTES:

- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS TO POT HOLE UTILITY LOCATES POST MARKING TO VERIFY UTILITY LOCATES ARE CORRECT.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR/SUBCONTRACTOR WHEN EXCAVATION OR DRILLING PIERS AROUND OR NEAR UTILITIES.
- ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILIZES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF CONTRACTOR, OWNER AND/OR LOCAL UTILITIES.
- THE OWNER SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE (TO BE INSTALLED BY CONTRACTOR).
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
- CONTRACTOR SHALL NOT INSTALL EQUIPMENT THAT WILL IMPEDE DOOR OR ACCESS PANELS.

MASONRY NOTES:

- HOLLOW CONCRETE MASONRY UNITS SHALL MEET A.S.T.M. SPECIFICATION C90, GRADE N. TYPE 1. THE SPECIFIED DESIGN COMPRESSIVE STRENGTH OF CONCRETE MASONRY (F'm) SHALL BE 1500 PSI.
- MORTAR SHALL MEET THE PROPERTY SPECIFICATION OF A.S.T.M. C270 TYP. "S" MORTAR AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI.
- GROUT SHALL MEET A.S.T.M. SPECIFICATION C475 AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000 PSI
- CONCRETE MASONRY SHALL BE LAID IN RUNNING (COMMON) BOND.
- WALL SHALL RECEIVE TEMPORARY BRACING, TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL GROUT IS FULL CURED.

STRUCTURAL STEEL NOTES:

- ALL STEEL WORK SHALL BE PAINTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH ASTM A36 UNLESS OTHERWISE NOTED.
- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION & ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- ALL INTERIOR STRUCTURAL STEEL SHALL BE FINISHED WITH ONE COAT FABRICATOR'S NON-LEAD, RED OXIDE PRIMER. PRIMING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, & WELDS IN THE PRIMED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
- ALL EXTERIOR STRUCTURAL STEEL SHALL BE GALVANIZED IN ACCORDANCE WITH THE SPECIFICATION ASTM A123 UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, & WELDS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S RECOMMENDED PROCEDURE, THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURERS MAXIMUM ALLOWABLE LOADS.
- HOLES SHALL NOT BE PLACED THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON THE DRAWINGS.
- CONNECTIONS:
  - ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 13th EDITION. AT THE COMPLETION OF WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED.
  - BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4") AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
  - NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA GALVANIZED ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
  - CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER.
- STEEL SHAPE:
  - W SHAPES - ASTM A992, GR 50
  - PLATES, ANGLES, CHANNELS - ASTM A36
  - PIPES A53

LEGEND

	FENCE		CIRCUIT BREAKER
	CONTOUR LINE		CODED NOTE NUMBER
	PROPERTY LINE / ROW		CHEMICAL GROUND ROD
	LEASE AREA		GROUND ROD
	EASEMENT		GROUND ROD WITH INSPECTION SLEEVE
	DISCONNECT SWITCH		CADWELD TYPE CONNECTION
	METER		COMPRESSION TYPE CONNECTION
			GROUND WIRE

ABBREVIATIONS:

AGL	ABOVE GRADE LEVEL
BTS	BASE TRANSCEIVER STATION
(E)	EXISTING
MIN.	MINIMUM
N.T.S.	NOT TO SCALE
REF	REFERENCE
RF	RADIO FREQUENCY
T.B.D.	TO BE DETERMINED
T.B.R.	TO BE RESOLVED
TYP	TYPICAL
REQ	REQUIRED
EGR	EQUIPMENT GROUND RING
AWG	AMERICAN WIRE GAUGE
MGB	MASTER GROUND BUSS
EG	EQUIPMENT GROUND
BCW	BARE COPPER WIRE
SIAD	SMART INTEGRATED ACCESS DEVICE
GEN	GENERATOR
IGR	INTERIOR GROUND RING (HALO)
RBS	RADIO BASE STATION
U.N.O.	UNLESS NOTED OTHERWISE

SYMBOLS:

	SOLID GROUND BUSS BAR
	SOLID NEUTRAL BUSS BAR
	SUPPLEMENTAL GROUND CONDUCTOR
	2-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
	SINGLE-POLE THERMAL-MAGNETIC CIRCUIT BREAKER
	CHEMICAL GROUND ROD
	DISCONNECT SWITCH
	METER
	EXOTHERMIC WELD (CADWELD) (UNLESS OTHERWISE NOTED)
	MECHANICAL WELD
	3/4" x 10'-0" COPPER CLAD STEEL GROUND ROD
	3/4" x 10'-0" COPPER CLAD STEEL GROUND ROD WITH INSPECTION SLEEVE
	GROUNDING WIRE

PREPARED FOR:



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13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:




A NextEdge Company

1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

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A&E PROJECT #:	NXFL-342
DRAWN BY:	JCR
CHECKED BY:	BAA

REVISIONS		
NO.	DATE	DESCRIPTION
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B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'



07/24/2024

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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

RAWLAND

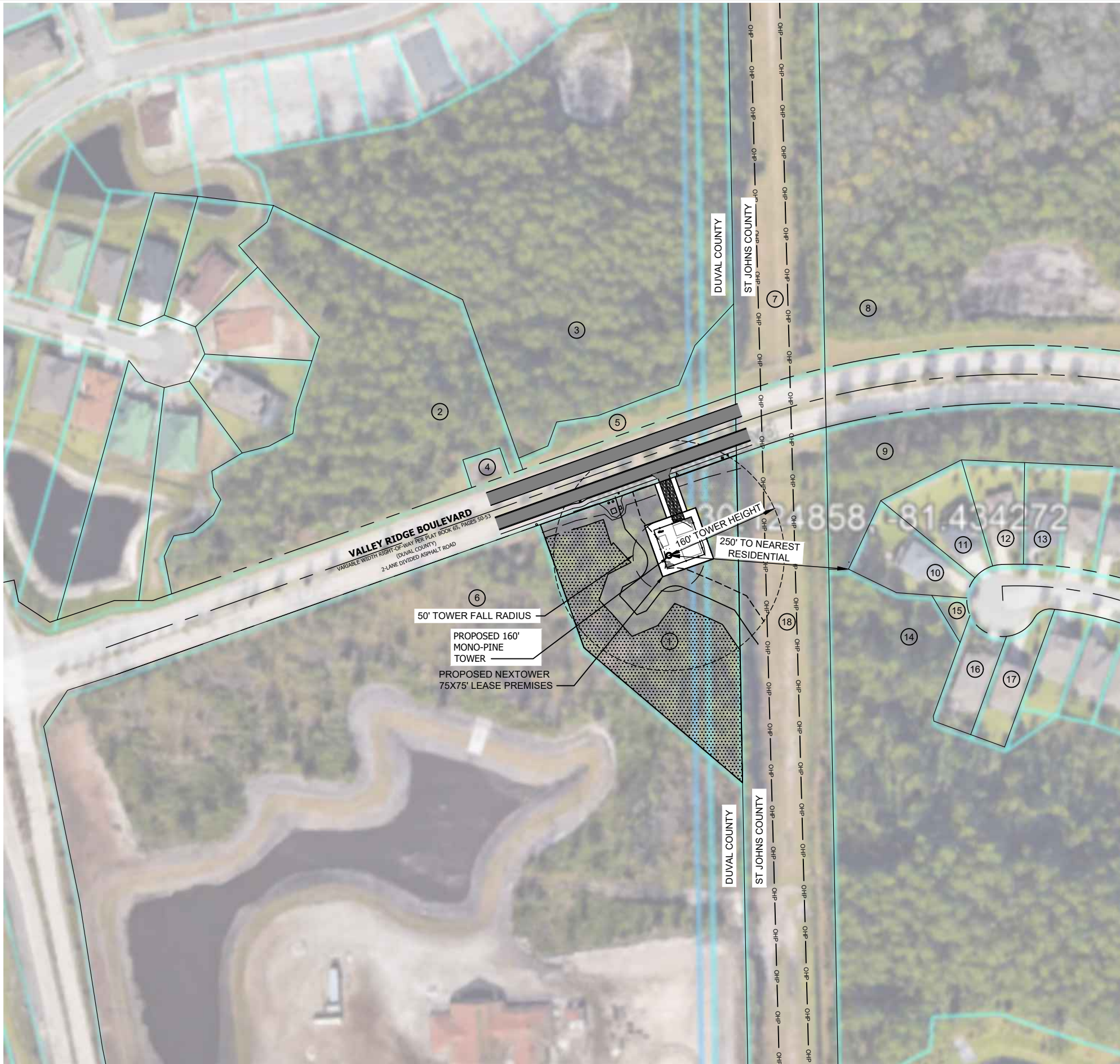
SHEET TITLE:

GENERAL NOTES

DRAWING NO.

GN1





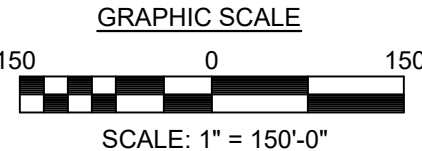
1 PARCEL MAP  
C1 SCALE : 1" = 150'

DUVAL COUNTY PARCELS

- RE# 168149 9900  
0 COASTAL RIDGE BLVD  
SONOC COMPANY  
ZONED - PUD
- RE# 168150 2025  
0 COCONUT PALM PKWY  
PALMS AT NOCATEE HOMEOWNERS ASSOCIATION INC  
ZONED - PUD
- RE# 168150 2400  
0 COCONUT PALM PKWY  
PALMS AT NOCATEE HOMEOWNERS ASSOCIATION INC  
ZONED - PUD
- RE# 168150 2030  
0 COCONUT PALM PKWY  
PALMS AT NOCATEE HOMEOWNERS ASSOCIATION INC  
ZONED - PUD
- RE# 168150 2440  
0 COCONUT PALM PKWY  
PALMS AT NOCATEE HOMEOWNERS ASSOCIATION INC  
ZONED - PUD
- RE# 168149 9850  
127 STONEMASON WAY  
GALEONE VICTOR BISHOP OF DIOCESE OF ST AUGUSTINE  
ZONED - PUD

ST JOHNS COUNTY PARCELS

- STRAP# 0680580002  
773 COCONUT PALM PKWY  
PALMS AT NOCATEE HOMEOWNERS ASSOC  
ZONED - PUDVVVV
- STRAP# 0680520002  
222 CAPTIVA DR  
KELLY POINTE HOMEOWNERS ASSOCIATION INC  
ZONED - PUD
- STRAP# 0680520010  
17 CAPTIVA DR  
WETTSCURACK JEFFREY D,HEATHER  
ZONED - PUD
- STRAP# 0680520020  
21 CAPTIVA DR  
WEBER RYAN,NICOLE  
ZONED - PUD
- STRAP# 0680520030  
25 CAPTIVA DR  
MOATZ STEPHEN C  
ZONED - PUD
- STRAP# 0680520040  
.29 CAPTIVA DR  
SPECIALE MARK,BLAIR  
ZONED - PUD
- STRAP# 0680520002  
222 CAPTIVA DR  
KELLY POINTE HOMEOWNERS ASSOCIATION INC  
ZONED - PUD
- STRAP# 0680520002  
222 CAPTIVA DR  
KELLY POINTE HOMEOWNERS ASSOCIATION INC  
ZONED - PUD
- STRAP# 0680520170  
24 CAPTIVA DR  
TRIANA JOHN,NANCY  
ZONED - PUD
- STRAP# 0680520180  
28 CAPTIVA DR  
MC QUAIG ERIN DOYLE  
ZONED - PUD
- STRAP# 0696300220  
4254 VALLEY RIDGE BLVD  
TOLOMATO CDD  
ZONED - PUD



PREPARED FOR:

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A&E FIRM:

**towersource**

A NextEdge Company

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678-990-2338

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CHECKED BY:	BAA

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1	7/16/24	MOVED LEASE AREA WEST 10'

PHILLIP J. NEJMAN  
LICENSE  
No 89784  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

RAWLAND

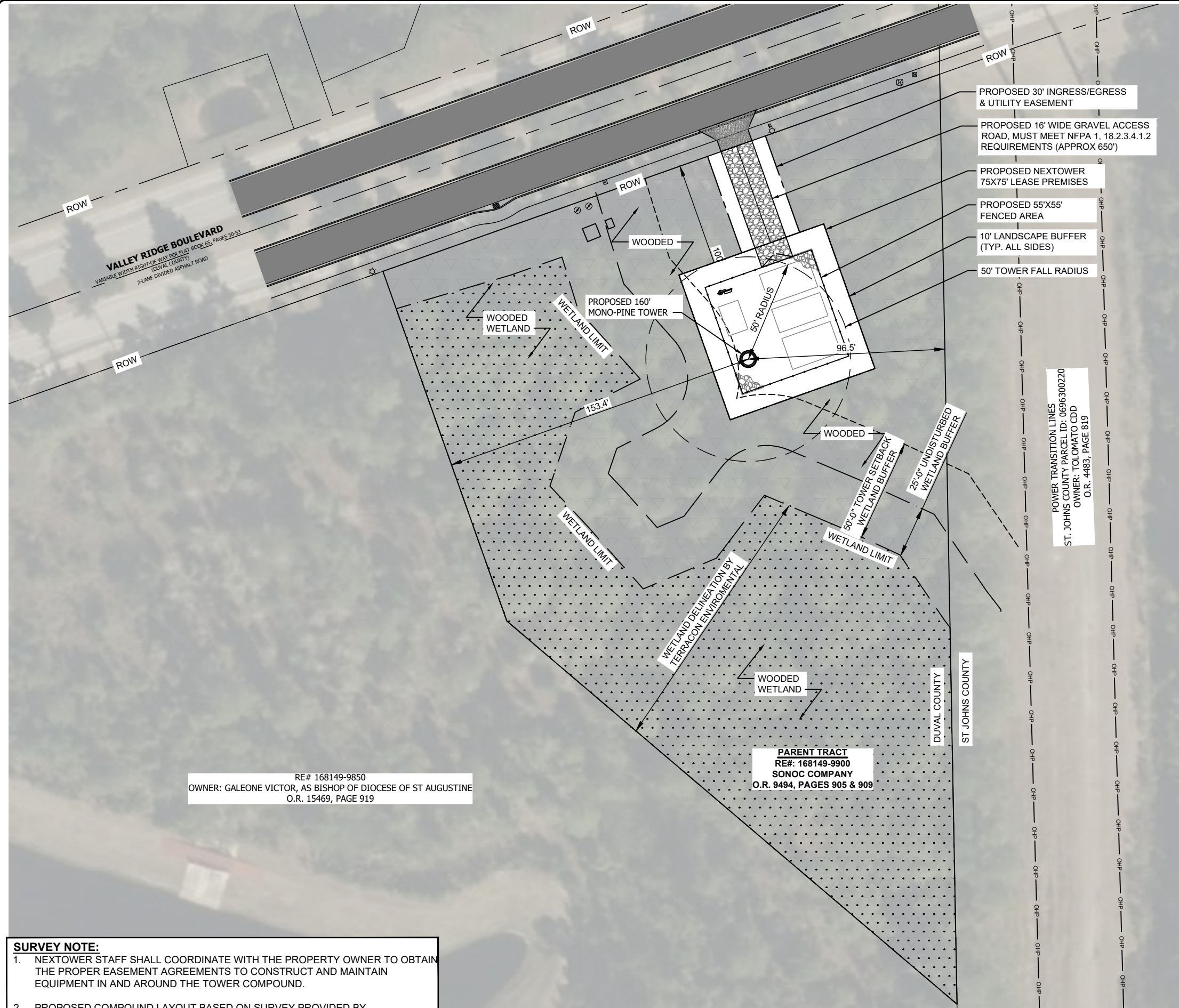
SHEET TITLE:

PARCEL MAP

DRAWING NO.

C1





- SURVEY NOTE:**
- NEXTOWER STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
  - PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY STONECYPHER SURVEYING INC. DATED 04/17/23.
  - CONTRACTOR SHALL TRIM BACK TREE LINE AS NEEDED TO ALLOW FOR CLEAR ACCESS.

1 OVERALL SITE PLAN  
C1 SCALE : 1" = 50'

GRAPHIC SCALE



SCALE: 1" = 50'-0"



TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	100'-0"
EAST	96.5'
WEST	153.4'

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**COASTAL RIDGE  
NXFL-342**

TOWER OWNER:  
**NEXTOWER**

DESIGN TYPE:  
**RAWLAND**

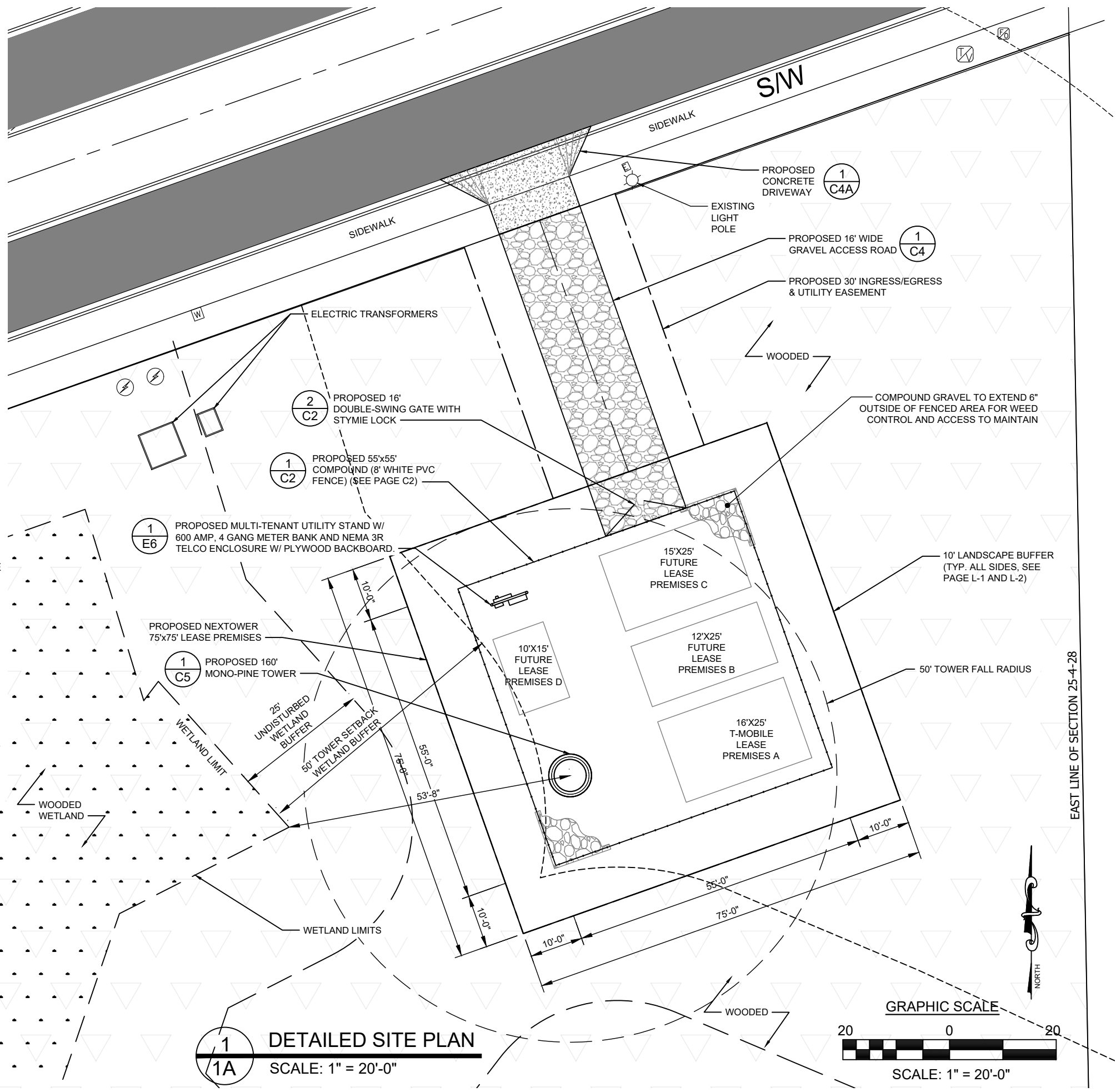
SHEET TITLE:  
**OVERALL SITE PLAN**

DRAWING NO.  
**C1A**



GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE NEXTOWER CONSTRUCTION MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND NEXTOWER SPECIFICATIONS, THE ECO-SITE CONSTRUCTION MANAGER SHOULD BE CONTACTED FOR CLARIFICATION.
3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE NEXTOWER CONSTRUCTION MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER AND/OR ENGINEER.
4. CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
5. WAVEGUIDE BRIDGE AND EQUIPMENT PAD ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE PRE-ENGINEERED DRAWINGS FOR SPECIFIC INFORMATION INCLUDING FOOTINGS AND WAVEGUIDE BRIDGE LOCATION.
6. ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
7. THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CAISSONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE. SEE DESIGN DRAWINGS BY OTHERS. DO NOT SCALE. NOTIFY ENGINEER OR NEXTOWER CONSTRUCTION MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS FROM NEXTOWER CONSTRUCTION MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
9. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
10. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "STATE 811" 48 HOURS IN ADVANCE OF PERFORMING ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
11. CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
12. CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY NEXTOWER CONSTRUCTION MANAGER.



PREPARED FOR:

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A&E FIRM:

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A NextEdge Company  
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CHECKED BY:	BAA

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PHILLIP J. NEJMAN  
LICENSE  
No 89784  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

**COASTAL RIDGE  
NXFL-342**

TOWER OWNER:

**NEXTOWER**

DESIGN TYPE:

**RAWLAND**

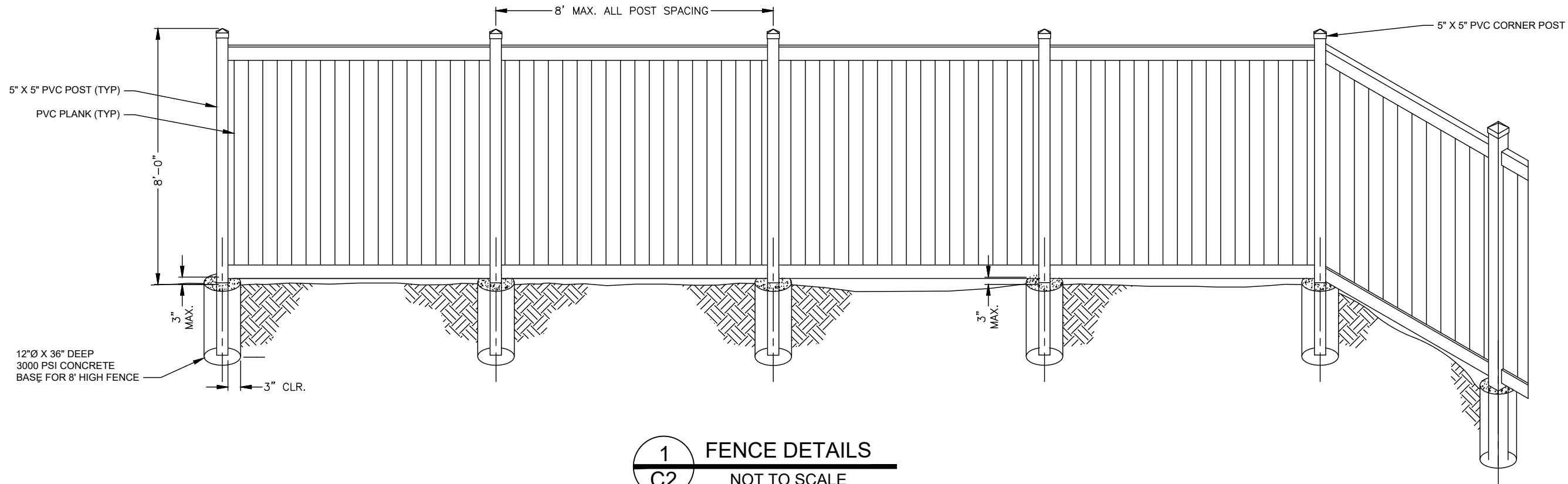
SHEET TITLE:

**DETAILED SITE PLAN**

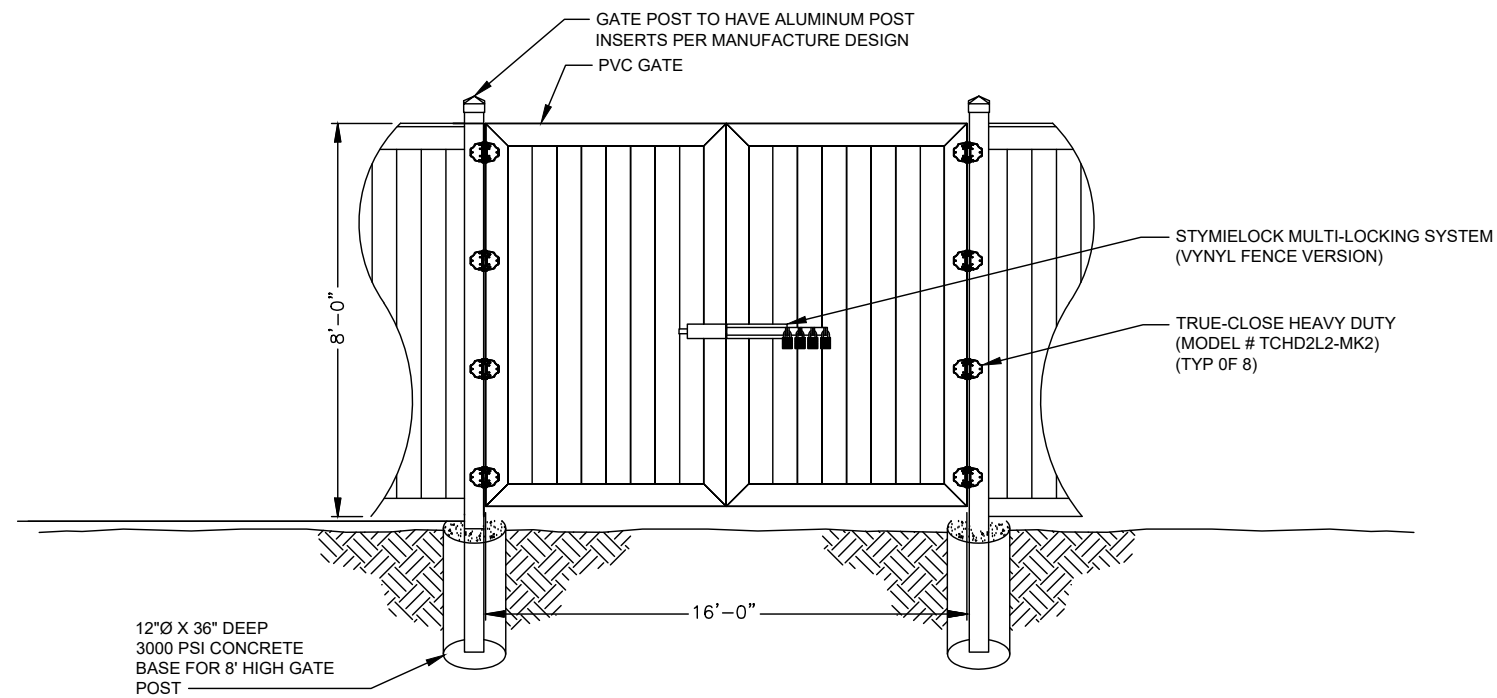
DRAWING NO.

**C1B**





1 FENCE DETAILS  
C2 NOT TO SCALE



1 GATE DETAILS  
C2 NOT TO SCALE

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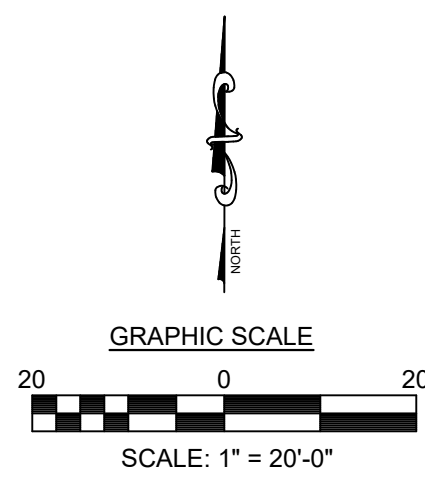
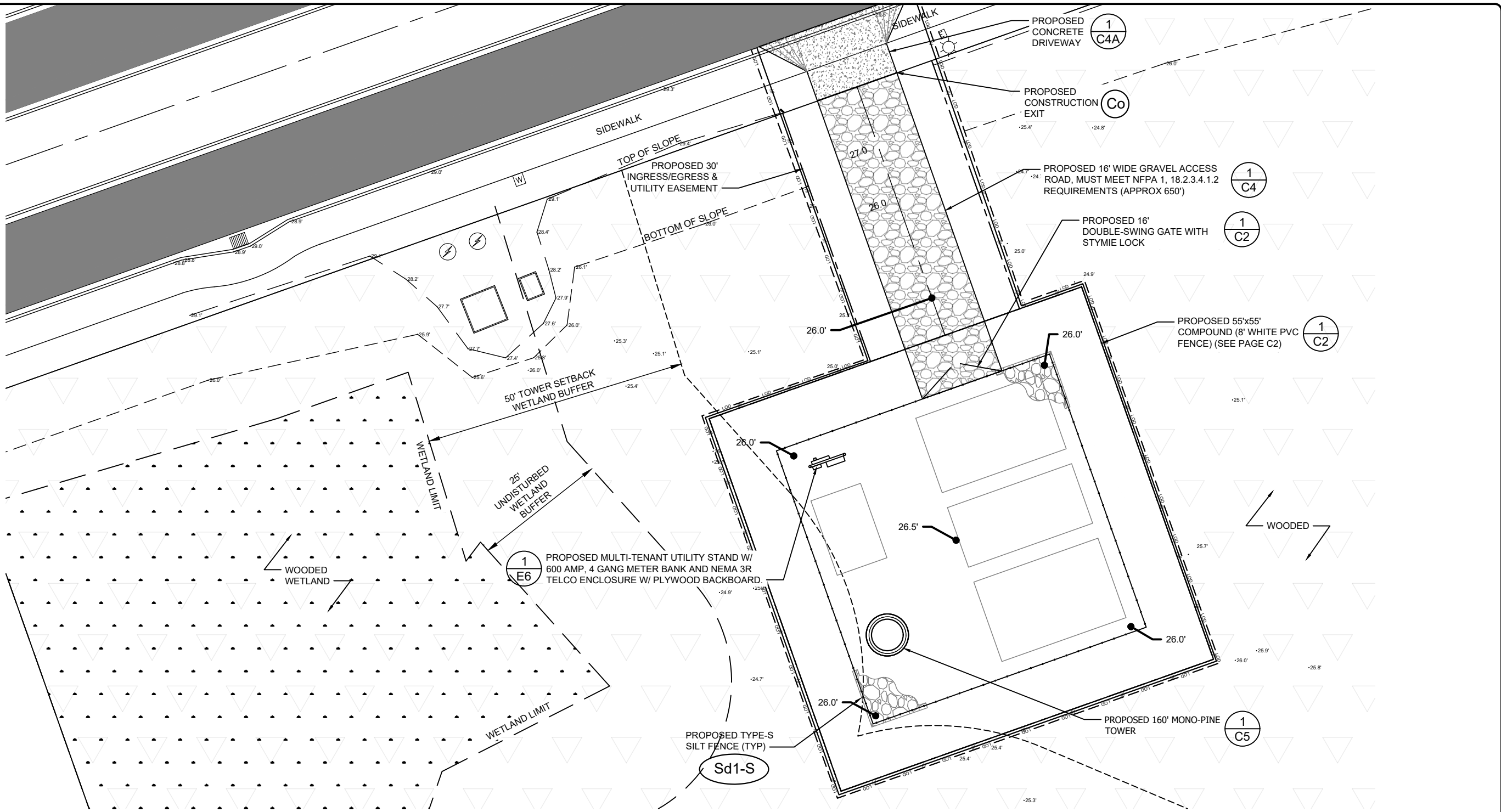
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NEXTOWER SITE NAME:
COASTAL RIDGE NXFL-342
TOWER OWNER:
NEXTOWER
DESIGN TYPE:
RAWLAND

SHEET TITLE:
FENCE, GATE, AND COMPOUND DETAILS

DRAWING NO.
C2



MINIMUM TO NO GRADING REQUIRED

1 C3 GRADING & EROSION CONTROL PLAN

SCALE: 1" = 20'-0"

PROJECT AREA CALCULATIONS				
	COMPOUND SQFT	ACCESS SQFT	TOTAL SQFT	TOTAL ACRES
IMPERVIOUS AREA (CONCRETE, INCLUDING FUTURE)	1,115	64	1179	0.0271
SEMI-IMPERVIOUS AREA	1,910	800	2710	0.0622
		COMBINED IMPERVIOUS	3889	0.0893
TOTAL OPEN AREA (NEW GRASS/LANDSCAPING)	2,600	700	3300	0.0758
TOTAL PROJECT AREA	5,625	1,564	7189	0.165036

NOTE:  
 CURRENT DESIGN ANTICIPATES APPROXIMATELY 7,189± SQ. FT. (0.165 ACRES) OF DISTURBED LAND. IF ADDITIONAL DISTURBANCE IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR CONSTRUCTION MANAGER.

**LEGEND**

EXISTING CONTOURS \_\_\_\_\_

PROPOSED CONTOURS \_\_\_\_\_

SILT FENCE \_\_\_\_\_

LIMITS OF DISTURBANCE \_\_\_\_\_ LOD \_\_\_\_\_ LOD \_\_\_\_\_

TREE PROTECTION FENCE \_\_\_\_\_ TPF \_\_\_\_\_

EXISTING SPOT ELEVATION x XXX

PROPOSED SPOT ELEVATION — XXX

TREE TO BE REMOVED X

PREPARED FOR:  
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NEXTOWER SITE NAME:  
**COASTAL RIDGE**  
**NXFL-342**

TOWER OWNER:  
**NEXTOWER**

DESIGN TYPE:  
**RAWLAND**

SHEET TITLE:  
**GRADING AND EROSION CONTROL PLAN**

DRAWING NO.  
**C3**





EXCAVATION & GRADING NOTES:

1. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUNDWATER. DEWATERING FOR EXCESS GROUNDWATER SHALL BE PROVIDED IF REQUIRED.
2. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
3. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
4. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS AND SO FORTH BEFORE AND AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACKFILLING.
5. BACKFILLING SHALL:

-USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE;

-BE FREE FROM CLODS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS

-BE PLACED IN 6" LAYERS AND COMPACTED TO 95% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR IS REQUIRED.
6. FILL PREPARATION:

REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS. PLOW, STRIP, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
7. PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAMAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
8. REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. SURFACES OF GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL GRAVEL RESURFACING MATERIAL AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO ENGINEER'S APPROVAL.
9. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
10. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNER'S OPERATIONS.
11. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
12. ALL CUT AND FILL SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL MAXIMUM.
13. REMOVE ALL ORGANICS, ROCKS GREATER THAN 3", UNUSED FILL AND OTHER DEBRIS TO AN AREA OFF SITE IN A LEGAL MANNER.
14. CONTRACTOR SHALL ENSURE THAT SOILS ARE SUITABLE TO PREVENT SETTLING OF PLATFORM AND EQUIPMENT.

ACTIVITY SCHEDULE	
WORK DESCRIPTION	WORKING DAYS
INSTALLATION OF EROSION CONTROL MEASURES	1-2
CLEARING, GRUBBING, AND GRADING	3-5
MAINTAINING EROSION CONTROL MEASURES	6-8
TEMPORARY GRASSING	9-12
BUILDING CONSTRUCTION	13-19
FINAL LANDSCAPING, GRASSING	20-23
REMOVING EROSION CONTROL MEASURES	24-26

THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE NEXTOWER CONSTRUCTION MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND NEXTOWER SPECIFICATIONS, THE NEXTOWER CONSTRUCTION MANAGER SHOULD BE CONTACTED FOR CLARIFICATION.
3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY . WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE NEXTOWER CONSTRUCTION MANAGER AND /OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE CONSTRUCTION MANAGER AND/OR ENGINEER.
4. CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
5. ALL FINISHED GRADE3S SHALL SLOPE MINIMUM 1/4 IN./FR. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
6. THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. TOWER DIMENSIONS SHOWN THIS PLAN ARE FOR TOWER CENTER LOCATION. CAISSONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWINGS BY OTHERS. DO NOT SCALE. NOTIFY ENGINEER OR NEXTOWER CONSTRUCTION MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS FROM NEXTOWER CONSTRUCTION MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
7. THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING SHORING , BRAVING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINATES.
8. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIAL SHALL BE COMPACTED.
9. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR COMMENCING CONSTRUCTION, HE/SHE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATIONS AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THEIR CONTRACT WILL BE REQUIRED TO NOTIFY "STATE 811" IN ADVANCE OF PERFORMING ANY WORK. ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
10. CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
11. CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY NEXTOWER CONSTRUCTION MANAGER.



DISTURBED AREA STABILIZATION  
(WITH MULCHING ONLY)

Ds1

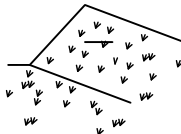
NO SCALE



DISTURBED AREA STABILIZATION  
(WITH TEMPORARY SEEDING)

Ds2

NO SCALE



DISTURBED AREA STABILIZATION  
(WITH PERMANENT VEGETATION)

Ds3

NO SCALE

GENERAL EROSION & SEDIMENT CONTROL NOTES:

1. ADDITIONAL EROSION CONTROL MEASURES WILL BE EMPLOYED WHERE DETERMINED NECESSARY BY ACTUAL SITE CONDITIONS.
2. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
3. THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. CONTRACTOR SHALL CALL APPROPRIATE COUNTY FOR AN INSPECTION OF SOIL EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING ACTIVITY. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED.
4. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
5. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES.IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR ELECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
6. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
7. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
8. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
9. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS SHALL BE STABILIZED WITH SEEDING.
10. SEEDING:

A. SEEDING WITH MULCH (CONVENTIONAL SEEDING ON SLOPES LESS THAN 3:1)  
(HYDRAULIC SEEDING EQUIPMENT ON SLOPES 3:1 AND STEEPER)

AGRICULTURAL LIMESTONE4000 LBS./acre

FERTILIZER, 5-10-151500 lbs./acre

MULCH STRAW OR HAY5000 lbs./arce

SEED SPECIES	APPLICATION RATE/ACRE	PLANNING DATES
HULLED COMMON BERMUDA GRASS	10lbs.	3/1 - 6/15
FESCUE	50lbs.	9/1 - 10/31
FESCUE RYE GRASS	50lbs. 50lbs.	11/1 -2/28
HAY MULCH FOR TEMPORARY COVER	5000lbs.	6/15 -8/31

B. TOPDRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL  
FERTILIZER (AMMONIUM NITRATE 33.5%)300 lbs./acre

C. SECOND-YEAR-FERTILIZER: (5-10-15 OR EQUIVALENT)800 lbs./acre
- HYDRAULIC SEEDING EQUIPMENT WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE, AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING, THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED.
- CONVENTIONAL SEEDING EQUIPMENT GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LIME AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 4 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL PULVERIZED, SMOOTHED AND FIRMED. SEEDING WILL BE DONE WITH CULTIPACKER-SEEDER, DRILL, ROTARY SEEDER OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL PACKER DISK MAY BE USED TO PRESS THE MULCH INTO THE SOIL.

11. CONTRACTOR SHALL REMOVE ALL EROSION &amp; SEDIMENT CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.

12. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

13. ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.

14. ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES.

15. ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.

16. THE ONLY MATERIAL TO BE BURIED ON-SITE IS VEGETATIVE MATERIAL. CONSTRUCTION WASTE MAY NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.

17. A 25' MIN UNDISTURBED VEGETATIVE BUFFER ADJACENT TO ALL RUNNING STREAMS AND CREEKS WILL BE LEFT AND MAINTAINED.

PREPARED FOR:



YOUR SIGNAL IS OUR EXPERIENCE

13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:




A NextEdge Company

1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

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A&E PROJECT #:	NXFL-342
DRAWN BY:	JCR
CHECKED BY:	BAA

REVISIONS		
NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'



07/24/2024

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PHILLIP J. NEJMAN, P.E ON THE DATE ADJACENT TO THE SEAL.  
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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

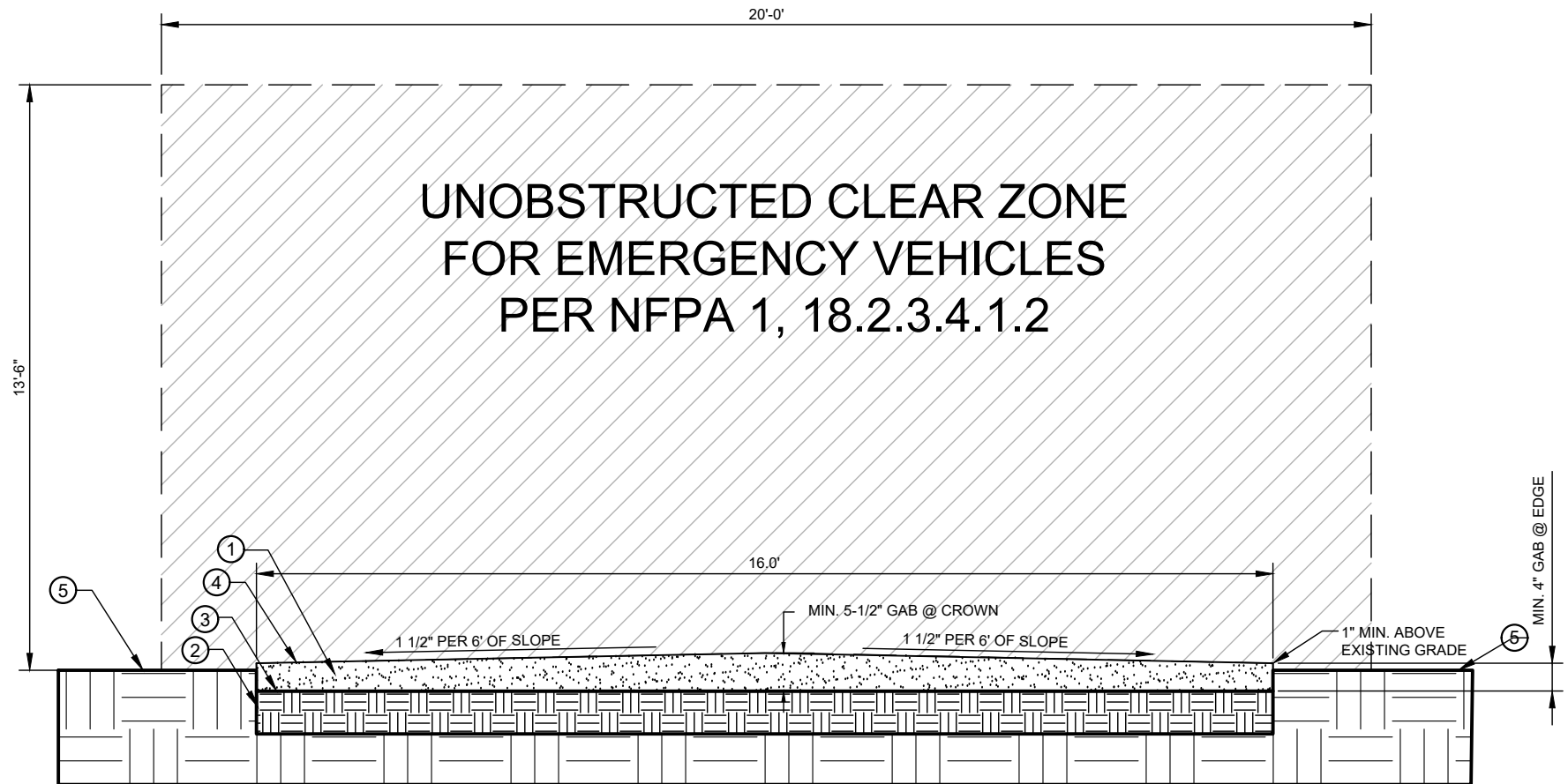
RAWLAND

SHEET TITLE:

GRADING AND EROSION  
CONTROL NOTES

DRAWING NO.

C3B



1  
C4  
TYPICAL GRAVEL ROAD  
CROSS SECTION  
NOT TO SCALE

\*\* CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY, WHEN NECESSARY, WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE FOR SITE WORK PREPARATION & FOUNDATION WORK. \*\*

1. REMOVE ALL ORGANIC MATERIAL. (STUMPS, ROOTS, LEAVES, ETC.) A MIN 3" OF SOIL TO BE REMOVED.
2. LEVEL AND COMPACT SUBGRADE TO A 95% COMPACTION.
3. INSTALL GEOTEXTILE FABRIC (AND/OR OTHER STABILIZATION METHOD) OVER SUBGRADE ON ALL ROADS.
4. INSTALL MIN. 4" OF GRADED AGGREGATE BASE (GAB/CRUSHER RUN) WITH 5-1/2" AT CROWN. GAB SHALL HAVE A 1-1/2" TO 6" SLOPE FROM CROWN. ALL GAB SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.
5. EXISTING GRADE.

ROAD MUST COMPLY WITH THESE FIRE DEPARTMENT REQUIREMENTS:

1. WIDTH OF FIRE DEPARTMENT ACCESS ROAD (S): NFPA 1, 18.2.3.4.1.1 FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20FT (6.1M) /CAPT GROFF ONE DIRECTION 15FT WIDTH. VERTICAL CLEARANCE: NFPA 1, 18.2.3.4.1.2 FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13FT 6 IN. (4.1M).
2. DRIVING SURFACE: NFPA 1, 18.2.3.4.2 SURFACE. FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE.(JFRD APPARATUS HEAVIEST WEIGHT IS 42.5 TONS).

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CHECKED BY:	BAA

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07/24/2024

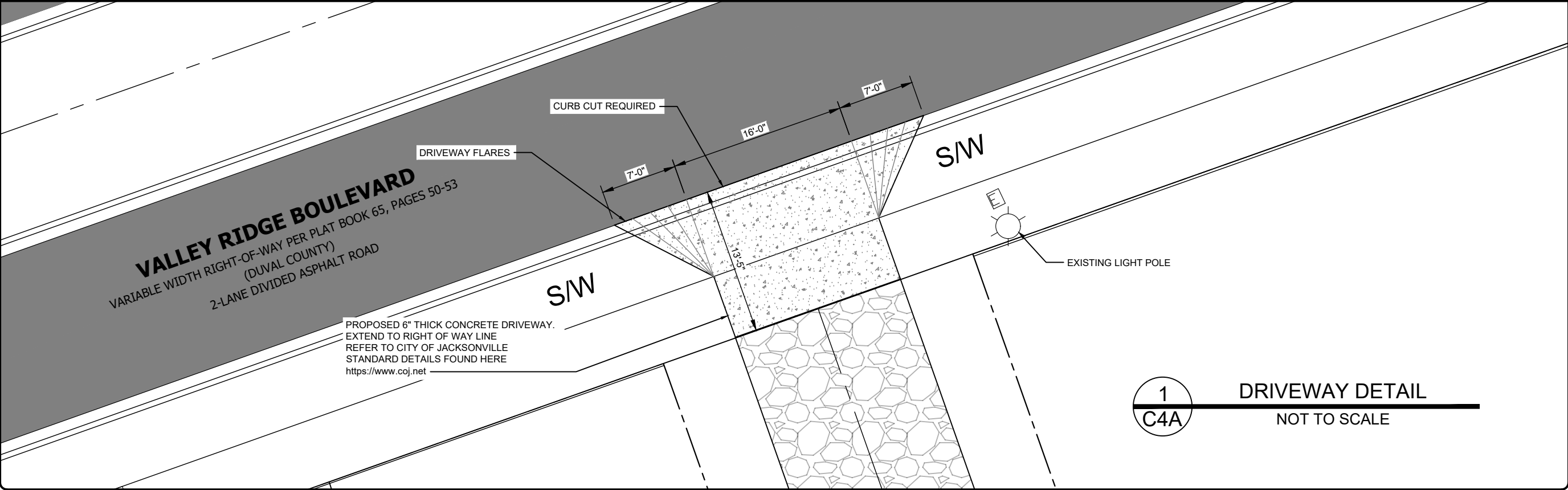
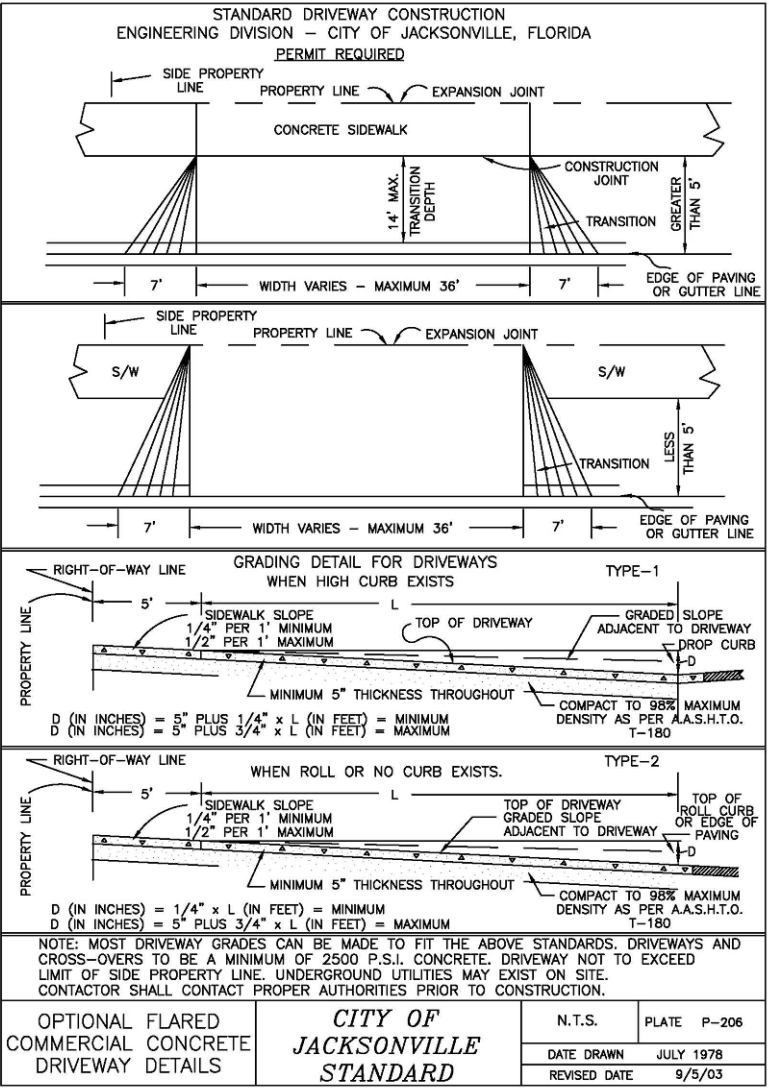
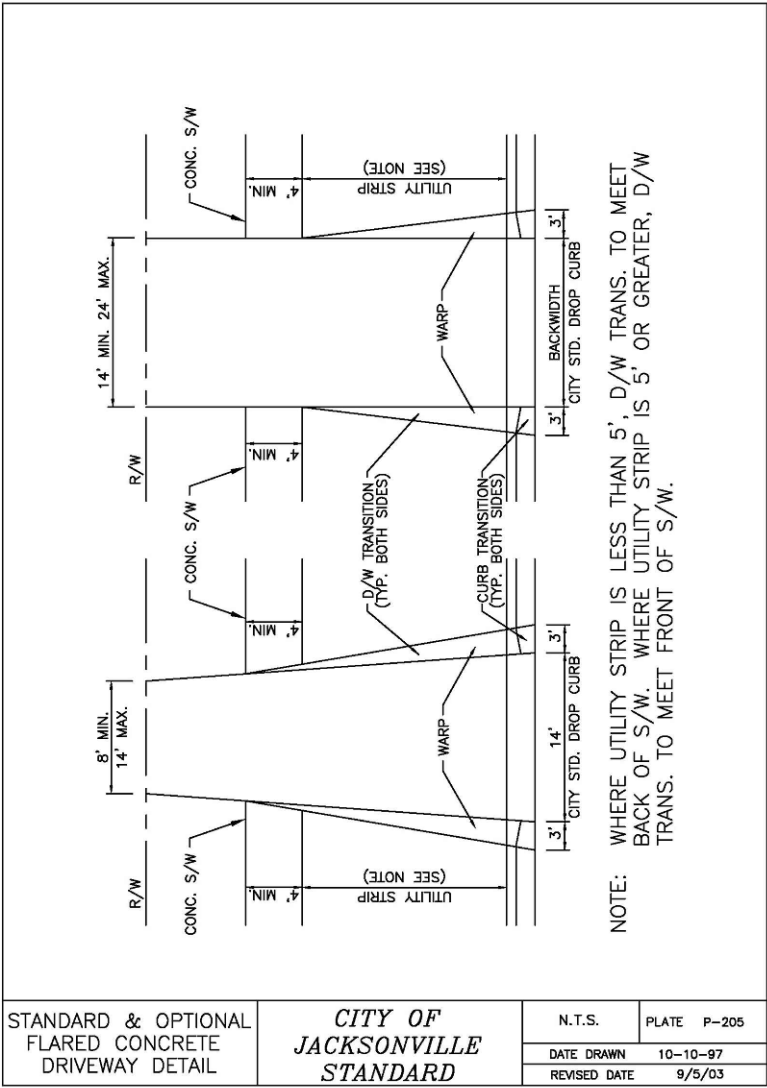
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NEXTOWER SITE NAME:
COASTAL RIDGE NXFL-342
TOWER OWNER:
NEXTOWER
DESIGN TYPE:
RAWLAND

SHEET TITLE:
ACCESS ROAD DETAILS

DRAWING NO.
C4





PREPARED FOR:

**NexTower**  
YOUR SIGNAL IS OUR EXPERIENCE  
13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:

**towersource**  
A NextEdge Company  
1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

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PHILLIP J. NEJMAN  
LICENSE  
No 89784  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

**COASTAL RIDGE  
NXFL-342**

TOWER OWNER:

**NEXTOWER**

DESIGN TYPE:

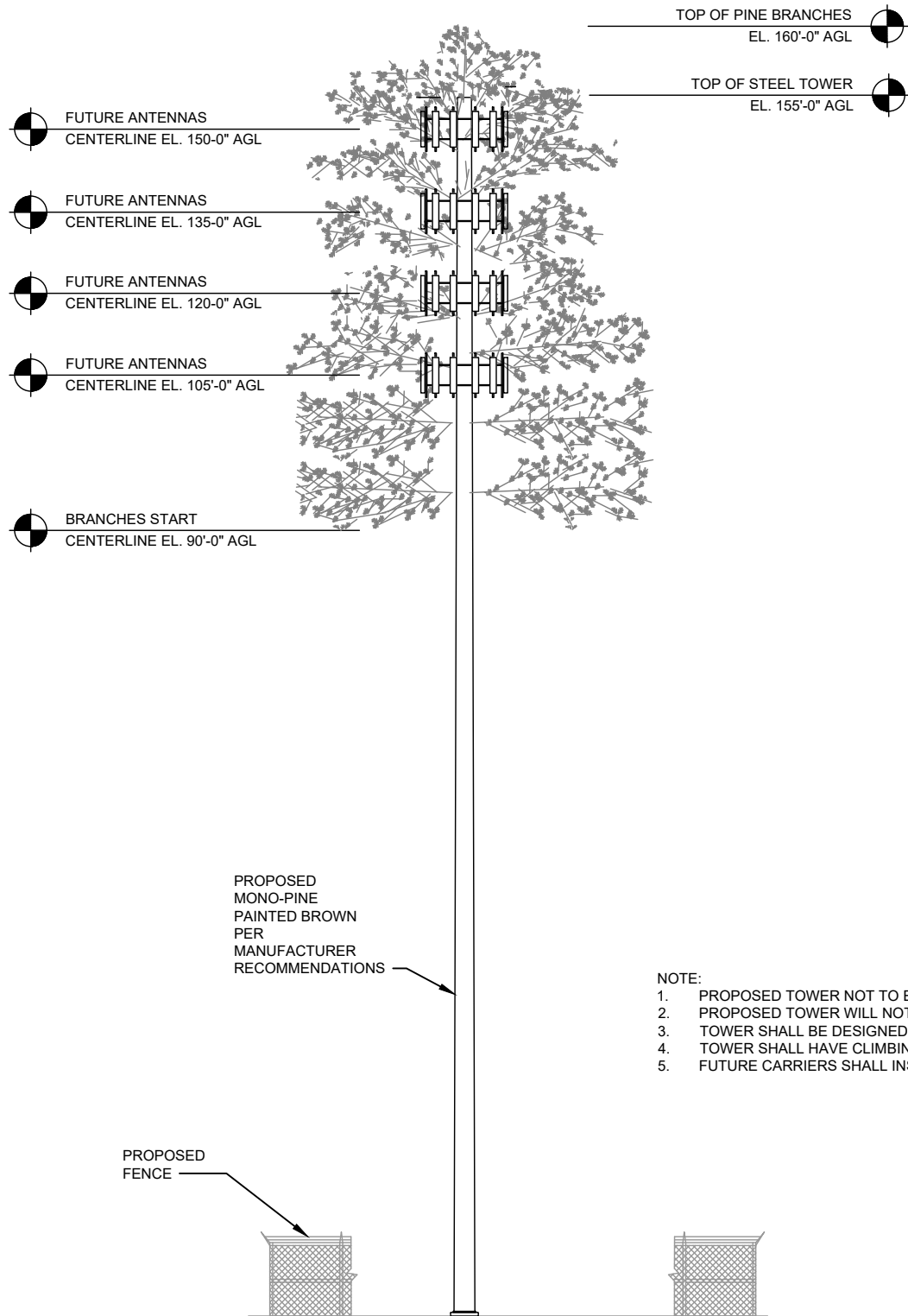
**RAWLAND**

SHEET TITLE:

**DRIVEWAY DETAILS**

DRAWING NO.

**C4A**



- NOTE:
1. PROPOSED TOWER NOT TO EXCEED 160' AGL.
  2. PROPOSED TOWER WILL NOT REQUIRE NAVIGATIONAL HAZARD LIGHTING.
  3. TOWER SHALL BE DESIGNED TO ACCOMMODATE (4) FOUR SERVICE PROVIDERS.
  4. TOWER SHALL HAVE CLIMBING PEGS FOR MAINTENANCE.
  5. FUTURE CARRIERS SHALL INSTALL "ANTENNA SOCKS" OF LIKE PINE MATERIAL ON ANY ANTENNAS.



1" BORDER - 3" RADII  
COLOR:  
BACKGROUND/ WHITE  
LEGEND AND BORDER/ BLACK  
  
ALL LETTERS 1 1/2" SERIES C PER FDOT  
INDEX NUMBER 17355  
  
1" SPACING BETWEEN LINES OF TEXT

**NOTE:**  
CONTRACTOR TO COORDINATE SITE SIGNAGE WITH NEXTOWER CM.  
NEXTOWER TO PROVIDE RF AND IDENTIFICATION SIGNS AT TIME OF  
CONSTRUCTION.

## 2 TELECOMMUNICATIONS SIGN DETAIL

C5 NOT TO SCALE

PREPARED FOR:

**NexTower**  
YOUR SIGNAL IS OUR EXPERIENCE  
13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:

**towersource**  
A NextEdge Company  
1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
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PHILLIP J. NEJMAN  
LICENSE  
No 89784  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

07/24/2024

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**COASTAL RIDGE  
NXFL-342**

TOWER OWNER:

**NEXTOWER**

DESIGN TYPE:

**RAWLAND**

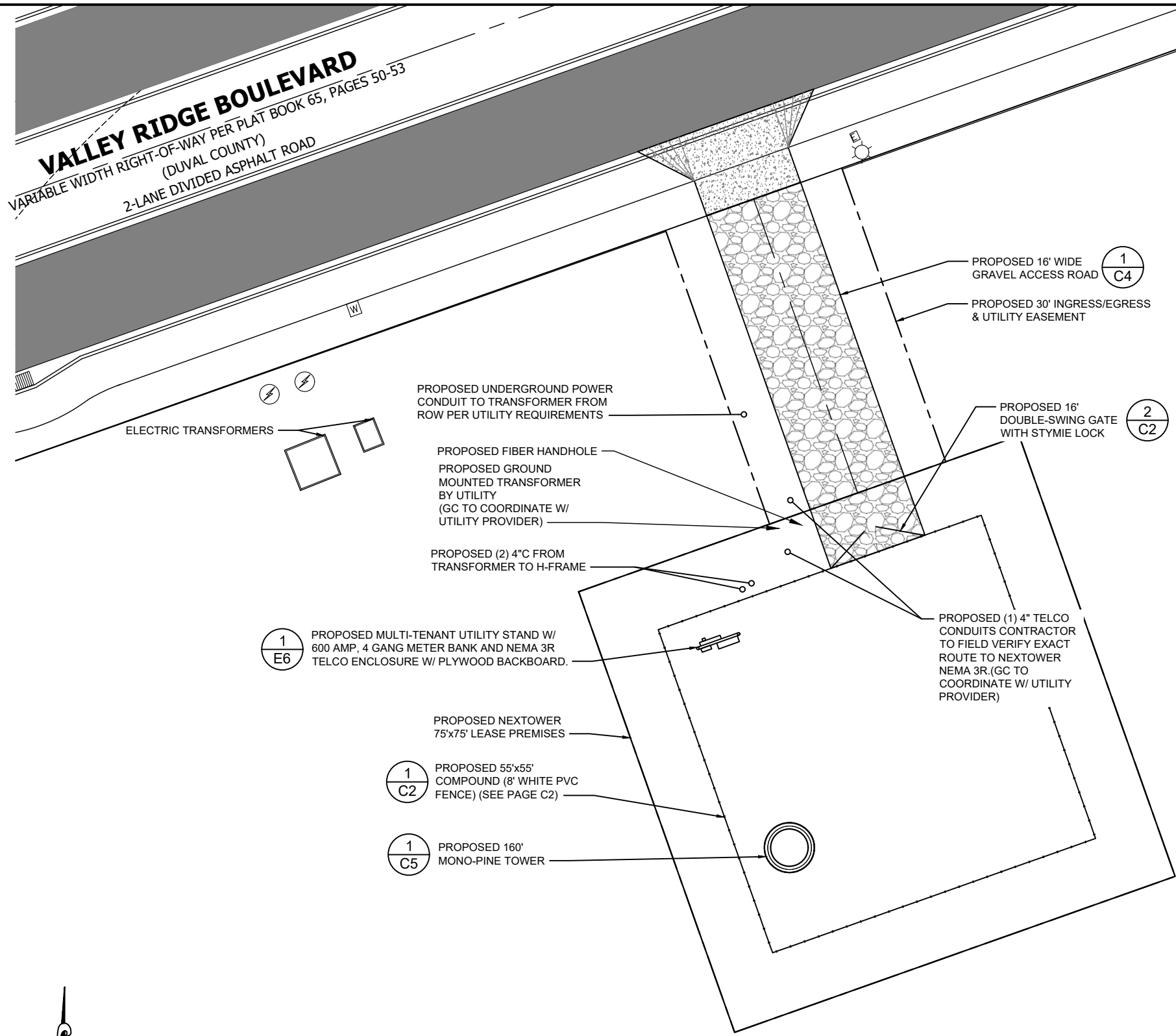
SHEET TITLE:

**TOWER ELEVATION**

DRAWING NO.

**C5**



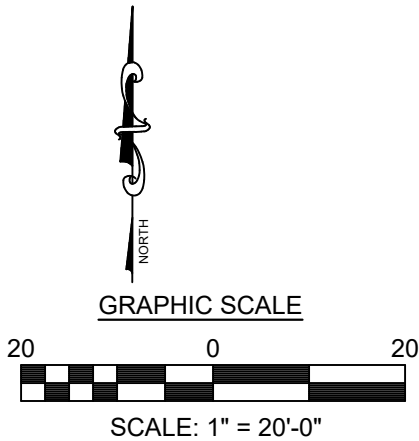


ELECTRICAL NOTES AND SPECIFICATIONS:

- ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
- CONTRACTOR SHALL OBTAIN OWNER/TENANT SPECIFICATIONS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL UTILITY FOR THE EXACT TRANSFORMER LOCATION, METERING REQUIREMENTS, AND SERVICE ROUTING. CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE UTILITY FOR THE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING.
- PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. PROVIDE MAX AFC SIGNAGE AS REQUIRED PER NEC 110.24. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANEL BOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
- CONTRACTOR TO PROVIDE 2-200 LB TEST POLYETHYLENE PULL CORDS SECURELY FASTENED AT EACH END OF POWER AND TELCO CONDUIT. PROVIDE CAPS ON ENDS OF UNUSED CONDUIT.
- CONTRACTOR TO PROVIDE A REBAR MARKER WITH AT LEAST 2 FEET EXPOSED ABOVE GRADE AND PAINTED BRIGHT ORANGE TO INDICATE LOCATION OF CONDUIT CAPPED BELOW GRADE.
- PRIOR TO TRENCHING, CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR AT CONTRACTOR'S EXPENSE ANY DAMAGE TO EXISTING UTILITIES.
- CONTRACTOR TO VERIFY EXACT ROUTING OF POWER AND TELCO CONDUIT WITH LOCAL UTILITIES AND OWENR/TENANT. ENSURE ALL CONDUIT STUB-UPS ACCOMMODATE EQUIPMENT REQUIREMENTS.
- UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE. USE RIGID GALVANIZED STEEL CONDUIT UNDER ROADS. USE LONG-SWEEP RIGID GALVANIZED STEEL (RGS) FOR ELBOWS. USE RGS FOR RISERS TO EQUIPMENT. MANUFACTURED BENDS SHALL HAVE A MINIMUM RADIUS OF 24" FOR CONDUIT.
- CONDUIT RUNS SHALL HAVE A CONTINUOUS SLOPE DOWNWARD AND AWAY FROM THE EQUIPMENT TO ALLOW WATER TO FLOW AWAY FROM THE EQUIPMENT AND SHELTER. EXCAVATE TRENCHES ALONG STRAIGHT LINES PRIOR TO INSTALLING CONDUIT TO ACCOMMODATE ADJUSTING THE ELEVATION, AS NEEDED.
- CONDUIT ENTERING EQUIPMENT SHALL BE SEALED WITH A SEALANT THAT IS IDENTIFIED FOR USE WITH THE CABLE. CONDUCTOR INSULATION, SHIELDING, ETC.
- THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL ADDITIONAL SIGNAGE TO BE LOCATED AT THE COMPOUND FENCE. CONTRACTOR SHALL COORDINATE WITH OWNER/TENANT NEXTOWER CONSTRUCTION MANAGER FOR PLACEMENT OF SIGNAGE.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE LANDSCAPING AREA.
- IF GENERATOR/FUEL CELL IS INSTALLED, CONTRACTOR SHALL PROVIDE A LABEL TO READ: "OPENING THE DISCONNECT WILL CAUSE THE GENERATOR TO START. TO REMOVE POWER ENTIRELY FROM THE EQUIPMENT, THE GENERATOR MUST BE TURNED OFF AND THE GENERATOR BREAKER MUST BE OPENED."
- CONTRACTORS SHALL ENSURE A MINIMUM 3' CLEARANCE IN FRONT OF ELECTRICAL PANELS PER NEC.
- ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE LABEL LISTED BY AN APPROVED THIRD PARTY TESTING AGENCY.


CONDUIT ROUTING NOTE:

- CONTRACTOR TO PROVIDE PULL BOXES AS NEEDED TO ENSURE NO GREATER THAN 360 DEGREES OF BENDS BETWEEN PULL POINTS IN CONDUIT RUNS.
- CONTRACTOR COORDINATE WITH LOCAL UTILITY COMPANY FOR SERVICE TO THIS POINT.
- ALL CONDUIT TO BE RUN WITHIN 2' UTILITY BUFFER AS SHOWN ON CIVIL PLANS. CONDUIT SHOWN OUTSIDE OF 2' UTILITY BUFFER FOR CLARITY PURPOSES ONLY.

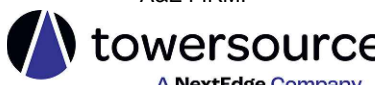


1  
E1A POWER FIBER ROUTE  
SCALE: 1" = 20'-0"

PREPARED FOR:

 **NextTower**  
YOUR SIGNAL IS OUR EXPERIENCE  
13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669


A&E FIRM:

 **towersource**  
A NextEdge Company  
1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

THE INFORMATIN CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	NXFL-342
DRAWN BY:	JCR
CHECKED BY:	BAA

REVISIONS		
NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'



07/24/2024

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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

RAWLAND

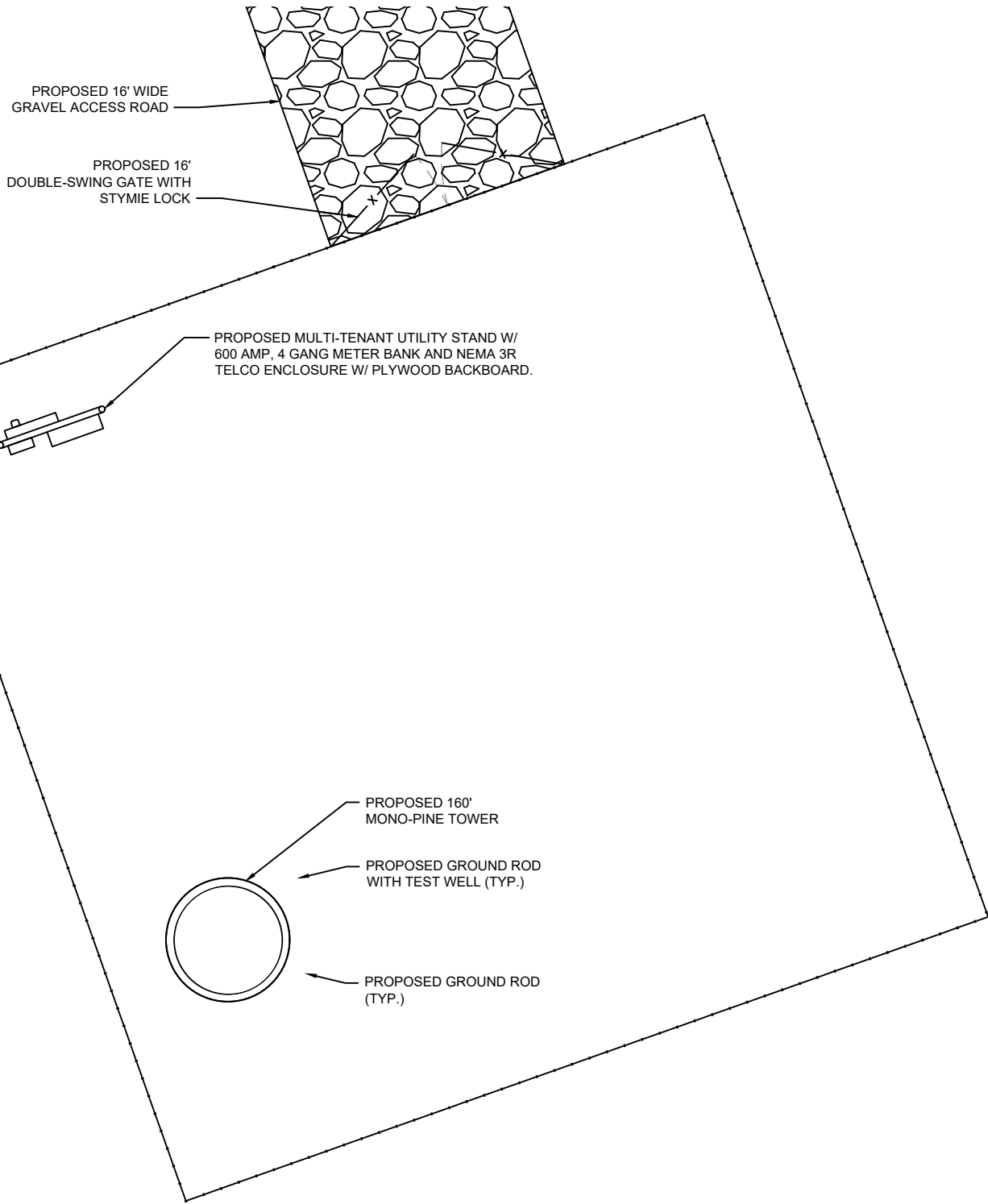
SHEET TITLE:

POWER FIBER ROUTE

DRAWING NO.

E1





GROUNDING NOTES AND SPECIFICATIONS:

1. THE GROUND RING SHALL CONSIST OF 2 AWG TINNED SOLID BARE COPPER CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE ( OR BELOW FROSTLINE). ALL CONNECTIONS SHALL BE MADE USING AN EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
2. GROUND CONDUCTOR BEND RADIUS SHALL NOT BE LESS THAN 12"
3. GROUND RODS SHOULD BE SPACED 2X HEIGHT APART AROUND COMPOUND GROUND RING. (EX. 10' ROD SHOULD BE SPACED 20' APART). MINIMUM SPACING BETWEEN GROUND RODS IS 10' UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL BOND THE TOWER GROUND BAR (TOGB) TO THE GROUND RING USING A 2 AWG TINNED SOLID BARE COPPER CONDUCTOR AND AN EXOTHERMIC WELD.
5. CONTRACTOR SHALL BOND THE MAIN GROUND BAR (MGB) & EXTERNAL GROUND BAR (GB2) TO THE GROUND RING USING 2 AWG TINNED SOLID BARE COPPER CONDUCTORS AND EXOTHERMIC WELDS.
6. ALL GROUNDING/BONDING CONDUCTORS LOCATED ABOVE FINISHED GRADE SHALL BE RUN IN 1/2" FLEX CONDUIT.
7. CONTRACTOR SHALL NOTIFY THE OWNER/TENANT ECO-SITE CONSTRUCTION MANAGER TO INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.

LEGEND:

- GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
- GROUND RING
- GROUND ROD TEST WELL
- EXOTHERMIC WELD TYPE CONNECTION
- PARALLEL CADWELD
- MECHANICAL CONNECTION

GROUNDING NOTES:

1. TOWER GROUNDING: EXTEND #2 SOLID TINNED CU WIRE FROM EQUIPMENT GROUND RING TO TOWER GROUND RING AND MAKE EXOTHERMIC CONNECTION.
2. GROUND ROD: COPPER CLAD STEEL , 5/8"Ø TEN (10) FEET LONG.
3. ICE BRIDGE SUPPORT POST GROUNDING: EXTEND #2 TINNED CU WIRE FROM BURIED GROUND RING TO ALL ICE BRIDGE SUPPORT POST AND EXOTHERMICALLY WELD.
4. FENCE GROUNDING: IF FENCE IS WITHIN 6' OF GROUNDING RING, EXTEND #2 TINNED CU WIRE FROM BURIED GROUND RING TO FENCE CORNER POSTS AND EXOTHERMICALLY WELDED. BOND INTERMEDIATE POST IF REQUIRED TO MAINTAIN 25' MAX. SPACING.
5. TOWER GROUNDING BAR: EXTEND #2 TINNED CU WIRE FROM BURIED GROUND RING UP TO THE TOWER GROUND BAR AND MAKE A MECHANICAL CONNECTION SECURE GROUND BAR DIRECTLY TO TOWER WITH ISOLATOR KIT USING STAINLESS STEEL MOUNTING MATERIAL.
6. CABINET GROUNDING: BOND EACH CABINET TO EQUIPMENT GROUND RING WITH A MECHANICAL CONNECTION AT CABINET AND EXOTHERMIC WELD AT GROUND RING.
7. MULTI TENANT UTILITY FRAME: BOND TELCO BOX AND FRAME POST TO COMPOUND GROUND RING WITH MECHANICAL CONNECTION AT CABINET AND EXOTHERMIC WELD AT GROUND RING. BOND METER TO ISOLATED GROUND ROD.
8. ANTENNA GROUND BAR: MOUNT GROUND BAR DIRECTLY TO THE TOWER AT TOP OF COAX RUNS. SECURE TO TOWER WITH ISOLATOR KIT USING STAINLESS STEEL MOUNTING MATERIAL.
9. FENCE/GATE: BOND ALL FENCEPOSTS AND GATES TO COMPOUND GROUND RING WITH EXOTHERMIC WELDS.
10. EXTERIOR GFCI RECEPTACLE GROUNDING: EXTEND #2 TINNED CU WIRE FROM BURIED GROUND RING TO THE EXTERIOR GFCI RECEPTACLE AND MAKE A MECHANICAL CONNECTION.
11. SSC AND FLEXI STAND, SHALL BE MECHANICALLY LUGGED WITH EXOTHERMIC WELD TO THE GROUND RING (OR MECHANICALLY LUGGED TO A BUS BAR PLACED BETWEEN THEM ON THE PAD, WHICH IS THEN WELDED TO THE GROUND RING. UTILITY H-FRAME POSTS AND ICEBRIDGE SHALL BE WELDED.

PREPARED FOR:

NexTower

YOUR SIGNAL IS OUR EXPERIENCE

13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:

towersource

A NextEdge Company

1355 WINDWARD CONCOURSE  
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A&E PROJECT #:

NXFL-342

DRAWN BY:

JCR

CHECKED BY:

BAA

REVISIONS

NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'

PHILLIP J. NEJMAN

LICENSE

No 89784

STATE OF FLORIDA

PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

RAWLAND

SHEET TITLE:

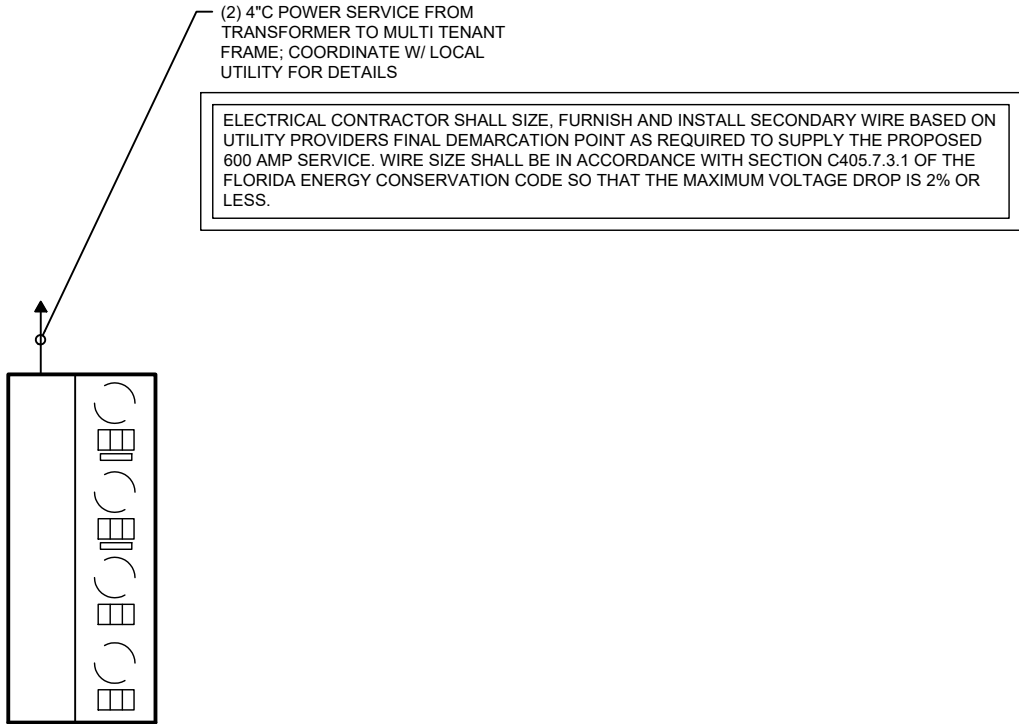
GROUNDING PLAN

DRAWING NO.

E2

## CONTRACTOR INSTALLATION NOTES

3. SCOPE:  
PROVIDE LABOR, EQUIPMENT, MATERIALS, ETC., REQUIRED TO COMPLETE THE INSTALLATION SHOWN.
2. CODES AND STANDARDS:  
INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND ORDINANCES, UTILITY COMPANY REGULATIONS, & APPLICABLE REQUIREMENTS OF LATEST EDITIONS OF CODES LIST ON GN-1.
3. PERMITS:  
OBTAIN & PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC..
4. COORDINATION:  
COORDINATE ELECTRICAL WORK WITH OTHER TRADES.
5. SUBMITTALS:  
SUBMIT BROCHURES FOR APPROVAL ON DISCONNECT SWITCH & OTHER MAJOR SYSTEM COMPONENTS.
6. EXISTING SERVICES:  
DO NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
7. EQUIPMENT:  
CONNECT ELECTRICALLY OPERATED EQUIPMENT.
8. RECORD DRAWINGS:  
MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED.  
RECORD CHANGES ON A CLEAN SET OF CONTRACT DOCUMENTS WHICH SHALL BE TURNED OVER TO THE OWNER UPON COMPLETION OF THE PROJECT.
9. IDENTIFICATION:  
IDENTIFY DISCONNECT SWITCH WITH PERMANENT ENGRAVED NAMEPLATE.
10. GUARANTEE/WARRANTY:  
GUARANTEE INSTALLATION TO BE FREE OF DEFECTS, SHORTS, GROUNDS. ETC., FOR A PERIOD OF ONE YEAR.  
FURNISH WARRANTY SO THE DEFECTIVE MATERIALS AND/OR WORKMANSHIP WILL BE REPAIRED/REPLACED IMMEDIATELY UPON NOTIFICATION AT NO COST TO THE OWNER FOR PERIOD OF WARRANTY.
11. CUTTING & PATCHING:  
PROVIDE CUTTING REQUIRED TO DO THE WORK. DO NOT CUT STRUCTURAL ELEMENTS WITHOUT APPROVAL.  
PATCHING SHALL BE OF QUALITY EQUAL TO & OF MATCHING APPEARANCE OF EXISTING CONSTRUCTION.
12. TRENCHING & BACKFILL:  
PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES.
13. RACEWAYS:  
UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT (MEETING NEMA TC2-1990). UNDERGROUND PVC CONDUIT SHALL TRANSITION TO RIGID GALVANIZED STEEL CONDUIT BEFORE RISING ABOVE GRADE OR WHEN SUBJECTED TO VEHICLE TRAFFIC LOADS. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 24" RADIUS.  
EXPOSED CONDUIT SHALL BE RIGID GALVANIZED STEEL. RGS CONDUIT, WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT.  
INTERIOR CONDUIT SHALL BE ELECTRICAL METALLIC TUBING WITH COMPRESSION TYPE FITTINGS.
14. SUPPORTS:  
AS REQUIRED BY THE NEC.
15. CONDUCTORS:  
USE 98% CONDUCTIVITY COPPER WITH TYPE THHN/THWN INSULATION, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO #8 AWG. USE STRANDED CONDUCTORS FOR WIRE #8 AWG AND ABOVE.
16. CONNECTORS FOR POWER CONDUCTORS:  
USE PRESSURE TYPE INSULATED TWIST CONNECTORS FOR #10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR #8 AWG AND LARGER.
17. GROUNDING:
  - A. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.
  - B. ALL CONNECTIONS SHALL BE 2- HOLE LUG UNLESS UNDERGROUND.
  - C. LUGS SHALL BE ATTACHED TO GROUND BARS USING STAINLESS STEEL OR HOT-DIPPED GALVANIZED STEEL BOLTS, NUTS, & LOCKWASHERS.
  - D. PROVIDE TESTING OF GROUNDING SYSTEM AS DIRECTED BY CONSTRUCTION MANAGER.



1 SINGLE LINE DIAGRAM  
E3 NOT TO SCALE

<div style="display: flex; align-items: center; justify-content: center;"><div><h1 style="margin: 0;">NexTower</h1><p style="margin: 0; font-size: 0.8em;">YOUR SIGNAL IS OUR EXPERIENCE</p><p style="margin: 0; font-size: 0.7em;">13577 NW 2ND LANE, SUITE 20 NEWBERRY, FL 32669</p></div></div>		
<p><b>A&amp;E FIRM:</b></p> <div style="display: flex; align-items: center; justify-content: center;"><div><h2 style="margin: 0;">towersource</h2><p style="margin: 0; font-size: 0.8em;">A NextEdge Company</p><p style="margin: 0; font-size: 0.7em;">1355 WINDWARD CONCOURSE SUITE 410 ALPHARETTA, GA 30005 678-990-2338</p></div></div>		
<p style="font-size: 0.7em; margin: 0;">THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.</p>		
<b>A&amp;E PROJECT #:</b>	NXFL-342	
<b>DRAWN BY:</b>	JCR	
<b>CHECKED BY:</b>	BAA	
<b>REVISIONS</b>		
NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'
<div style="text-align: center;"><p style="color: blue; font-weight: bold; margin-top: 10px;">07/24/2024</p></div> <p style="font-size: 0.7em; margin-top: 20px;">THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PHILLIP J. NEZMAN, P.E. ON THE DATE ADJACENT TO THE SEAL.</p> <p style="font-size: 0.7em; margin-top: 5px;">PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.</p>		
<b>NEXTOWER SITE NAME:</b>		
<h2 style="margin: 0;">COASTAL RIDGE</h2> <h2 style="margin: 0;">NXFL-342</h2>		
<b>TOWER OWNER:</b>		
<h2 style="margin: 0;">NEXTOWER</h2>		
<b>DESIGN TYPE:</b>		
<h2 style="margin: 0;">RAWLAND</h2>		
<b>SHEET TITLE:</b>		
<h2 style="margin: 0;">SINGLE-LINE DIAGRAM</h2>		
<b>DRAWING NO.</b>		
<h1 style="margin: 0;">E3</h1>		



GREENFIELD GROUNDING NOTES:

1.

ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2.

THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTION RESISTANCE TO EARTH TESTING (PER IEEE 1100 ABD 81) FOR GROUNDING ELECTRODE SYSTEMS THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3.

THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO THE PREVENT ANY LOSS OF CONTINUITY IN THE GROUND SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4.

METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WIT LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5.

METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6.

EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 AWG SOLID TINNED COPPER FOR OUTDOOR BTS.
7.

ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
8.

ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
9.

USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
10.

EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
11.

ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
12.

COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
13.

ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
14.

APPROVED ANTIOXIDANT COATINGS (IE CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
15.

ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
16.

MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
17.

BOND ALL METALLIC OBJECTS WITHIN 6 FT. OF MAIN GROUND WIRES WITH 1-#2 AWG TIN-PLATED COPPER GROUND CONDUCTOR.
18.

GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR SUCH AS METALLIC CONDUITS METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS, WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (EG NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.

GENERAL ELECTRICAL NOTES:

1.

ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE CODES, LAWS, AND ORDINANCES.
2.

ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 UNLESS OTHERWISE INDICATED. CONDUITS EXPOSED ABOVE GROUND OR ROUTED UNDER GRAVEL ROAD SHALL BE RIGID GALVANIZED STEEL. ALL UNDERGROUND CONDUIT SHALL TRANSITION FROM PVC TO RIGID AT THE 90° BEND BELOW GRADE. SUPPLY UTILITY MARKING TAPE BURIED 12" BELOW GRADE ALONG ENTIRE LENGTH OF UNDERGROUND CONDUITS.

3.

ALL CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION. CONTROL CONDUCTORS SHALL BE STRANDED. POWER & LIGHTING CONDUCTORS SHALL BE SOLID FOR #10 & #12 CONDUCTORS AND STRANDED FOR ALL OTHER SIZES.
4.

ELECTRICAL DRAWINGS ARE IN PART DIAGRAMMATIC. COORDINATE ELECTRICAL WORK WITH BUILDING STRUCTURE AND MECHANICAL EQUIPMENT. PROVIDE ADDITIONAL SUPPORTS FOR ELECTRICAL EQUIPMENT WHERE THE BUILDING STRUCTURE IS NOT ADAPTED TO MOUNTING EQUIPMENT THEREON.
5.

LOCATE ALL UNDERGROUND UTILITIES BEFORE TRENCHING. IF CONFLICTS ARISE, CONTACT UTILITY COMPANY AND ENGINEER IMMEDIATELY.
6.

PROVIDE 200 LB TEST PULL WIRES IN EACH EMPTY TELEPHONE AND POWER CONDUIT.
7.

COORDINATE ALL CONDUIT STUB-UP LOCATIONS WITH UTILITY COMPANY.
8.

PROVIDE WEATHERPROOF SEALS FOR ALL CONDUIT STUB-UPS. ALL EXPOSED CONDUITS SHALL HAVE WEATHERPROOF CAPS NOT DUCT TAPE.
9.

CONDUIT TO BE INSTALLED PER NEC REQUIREMENTS. MAX OF (4) 90'S ALLOWED IN SINGLE RUN OF CONDUIT. IF MORE BENDS ARE REQUIRED INSTALL PULL BOX EVERY (4) 90'S, (4) BENDS, OR 150' IN LENGTH
10.

FIBER CONDUITS: CONDUITS TO BE INSTALLED FROM ROW OF PUBLIC ROAD TO COMPOUND. HAND HOLES TO BE INSTALLED IN ROW, AT COMPOUND AND EVERY 400' BETWEEN (OR AS DIRECTED BY UTILITY OR REQUIRED BY NEC). USE HIGHLINE PHA173030 12,000LB HAND HOLE OR APPROVED EQUIVALENT.

11.1.

CONDUIT 1 (, WHEN PROVIDER IS TOWERCLOUD, SOUTHERNLIGHT, COX OR ZAYO):  
RUN (1) 4"C WITH (3) 1-1/4" INNER DUCTS WITH PULL STRING FROM HAND HOLE AT ROW OF STREET STRAIGHT TO NEMA BOX ON UTILITY FRAME.

11.2.

CONDUIT 2\* (WHEN PROVIDER IS AT&T OR WINDSTREAM):

11.2.1.

GREENFIELDS AND COLOS WHERE PROVIDER DOES NOT HAVE NEMA BOX IN COMPOUND:  
RUN (1) 4"C FROM FIBER PROVIDERS HAND HOLE AT ROW TO NEMA CABINET MOUNTED ON MULTI TENANT FRAME. AND ALSO FROM MULTI TENANT NEMA CABINET TO NEMA BOX ON UTILITY FRAME.  
(STUB UP CONDUIT IF FIBER PROVIDER IS NOT YET AT ROW)

11.2.2.

COLOS WHERE PROVIDER HAS EXISTING MULTI TENANT NEMA BOX IN COMPOUND: ONLY RUN (1) 4" C FROM EXISTING MULTI TENANT NEMA TO NEMA BOX ON UTILITY FRAME.

\*CONSULT CM FOR CORRECT FIBER PROVIDER OPTION.

\*CONTRACTOR RESPONSIBLE FOR ENSURING EASEMENT IS CORRECTLY MARKED IN FIELD BEFORE INSTALLING FIBER.
- GENERAL GROUNDING NOTES:
1.

TO ENSURE PROPER BONDING, ALL CONNECTIONS SHALL BE AS FOLLOWS:

1.1.

#2 TINNED SOLID COPPER WIRE: EXOTHERMICALLY WELDED TO RODS OR GROUND RING

1.2.

LUGS AND BUS BAR (UNLESS NOTED OTHERWISE): SANDED CLEAN, COATED WITH OXIDE INHIBITOR AND BOLTED FOR MAXIMUM SURFACE CONTACT. ALL LUGS SHALL BE COPPER (NO ALUMINUM SHALL BE PERMITTED). PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.

2.

ALL GROUNDING CABLE IN CONCRETE OR THROUGH WALLS SHALL BE IN 3/4" PVC CONDUIT. SEAL AROUND CONDUIT THROUGH WALLS. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTORS.

3.

GROUND RODS SHOULD BE SPACED 2X HEIGHT APART AROUND COMPOUND GROUND RING. (EX. 10' ROD SHOULD BE SPACED 20' APART).

4.

CONSTRUCTION PROJECT MANAGER OR REPRESENTATIVE WILL BE PRESENT TO INSPECT EXOTHERMICALLY WELDS AND MEGGER TEST DURING BURIAL. MAXIMUM 5 OHMS RESISTANCE IS REQUIRED. IF COMPOUND GROUND RING AND RODS DON'T MEET REQUIREMENTS THEN CONTINUE GROUND RING DOWN EASEMENT WITH GROUND RODS SPACED AT 2X HEIGHT APART.

5.

DO NOT INSTALL GROUND RING OUTSIDE OF LEASED AREA.

6.

MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. ALL BENDS SHALL BE A MINIMUM 12" RADIUS AND NO GREATER THAN 90 DEGREES.

7.

ALL EXOTHERMIC WELDS TO BURIED GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS WHICH SHALL BE THE TEE TYPE.

8.

BOND DOOR FRAMES, HANDRAILS, UNUSED HATCH PLATES AND MISCELLANEOUS LIFTING EYE/PLATES TO GROUND RING. BOND METAL AWNING TO DOOR FRAME.

9.

BOND SERVICE CONDUITS TO GROUND RING AS THEY CROSS. DO NOT EXOTHERMICALLY WELD TO CONDUITS.

10.

ALL BUS BAR SHALL BE GALVANIZED. ALL CONNECTIONS TO BUS BAR ARE TO BE 2 - HOLE LUGS.
- ELECTRICAL INSTALLATION NOTES:
1.

ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.

2.

CONDUIT ROUTINGS ARE SCHEMATIC SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.

3.

WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.

4.

ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.

5.

CABLE SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.

6.

EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.

7.

ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH PLASTIC TAPE PER COLOR SCHEDULE ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR CAPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (IE PANEL BOARD AND CIRCUIT ID'S)

8.

PANEL BOARDS (ID NUMBERS ) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.

9.

ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.

10.

POWER, CONTROL AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET & DRY) OPERATION LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED UNLESS OTHERWISE SPECIFIED.

11.

SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET AND DRY) OPERATION LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED UNLESS OTHERWISE SPECIFIED.

12.

POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90° C (WET AND DRY) OPERATION WITH OUTER JACKET LISTED OR LABELED FOR THE LOCATION USED UNLESS OTHERWISE SPECIFIED.

13.

ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75° C (90° C IF AVAILABLE).

14.

RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.

15.

ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (IE RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80 FOR LOCATION SUBJECT TO PHYSICAL DAMAGE SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

16.

ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT) OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.

17.

GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.

18.

RIGID NONMETALLIC CONDUIT (IE RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.

19.

LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.

20.

CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.

21.

CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.

22.

WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER).

23.

EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50 AND RATED NEMA 1 (OR BETTER) INDOORS OR NEMA 3R (OR BETTER) OUTDOORS.

24.

METAL RECEPTACLE SWITCH AND DEVICE BOXED SHALL BE GALVANIZED, EPOXY-COATED OR NOT CORRODING SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.

25.

NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.

26.

THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AV POWER DISTRIBUTION PANELS.

27.

THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.

28.

INSTALL PLASTIC LABEL ON THE METER CENTER IDENTIFYING SPECIFIC CARRIER.

29.

FLEX CONDUIT RUNS NOT TO EXCEED 36" WITHOUT PRIOR TMO APPROVAL.
- PREPARED FOR:

NexTower

YOUR SIGNAL IS OUR EXPERIENCE

13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:

towersource

A NextEdge Company

1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

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A&E PROJECT #:

NXFL-342

DRAWN BY:

JCR

CHECKED BY:

BAA

REVISIONS

NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'

PHILLIP J. NEJMAN

LICENSE

No 89784

*Phillip J. Nejman*

STATE OF FLORIDA

PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

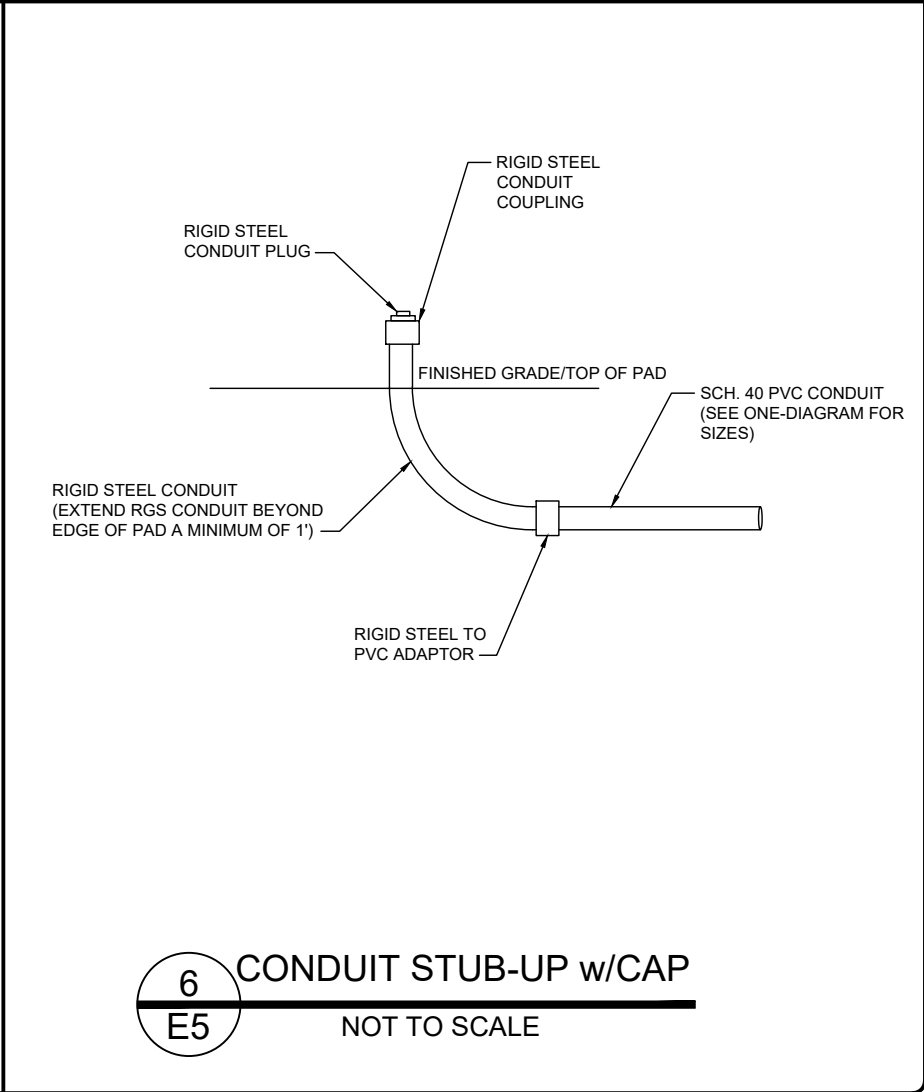
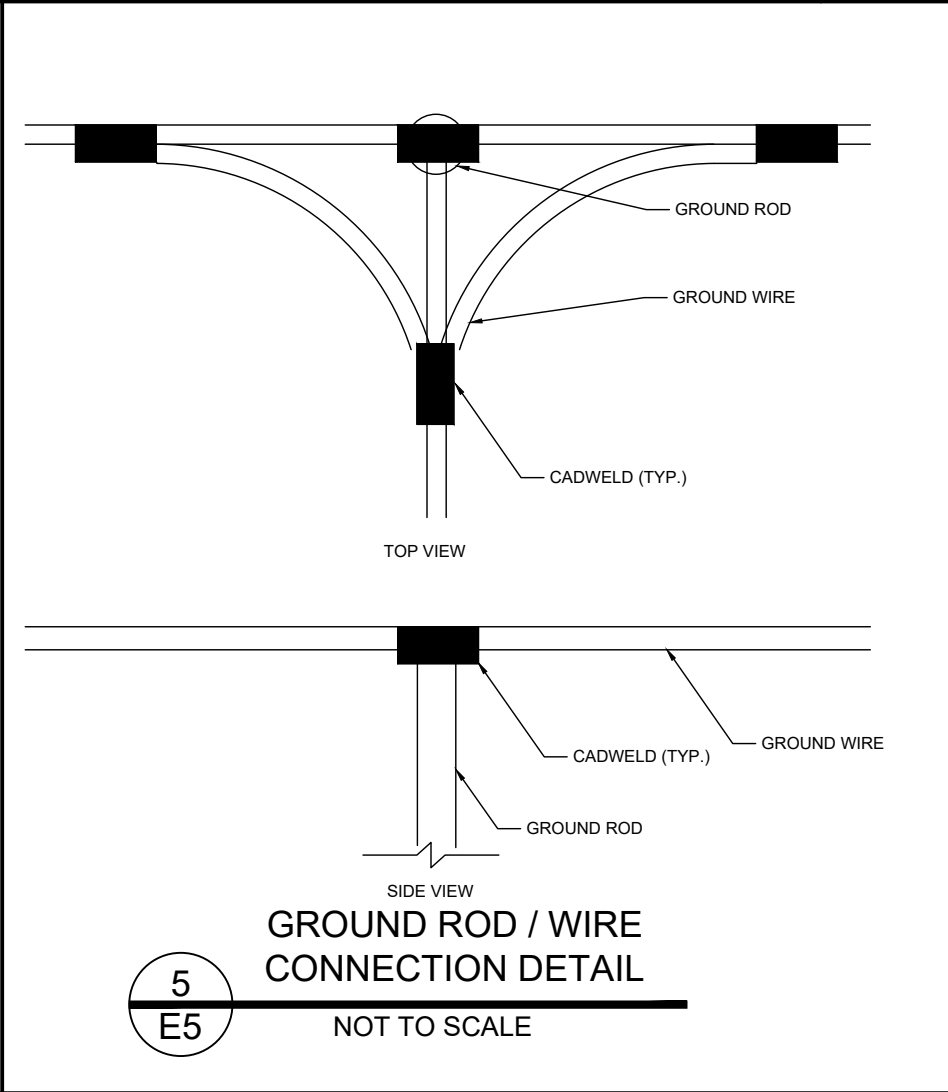
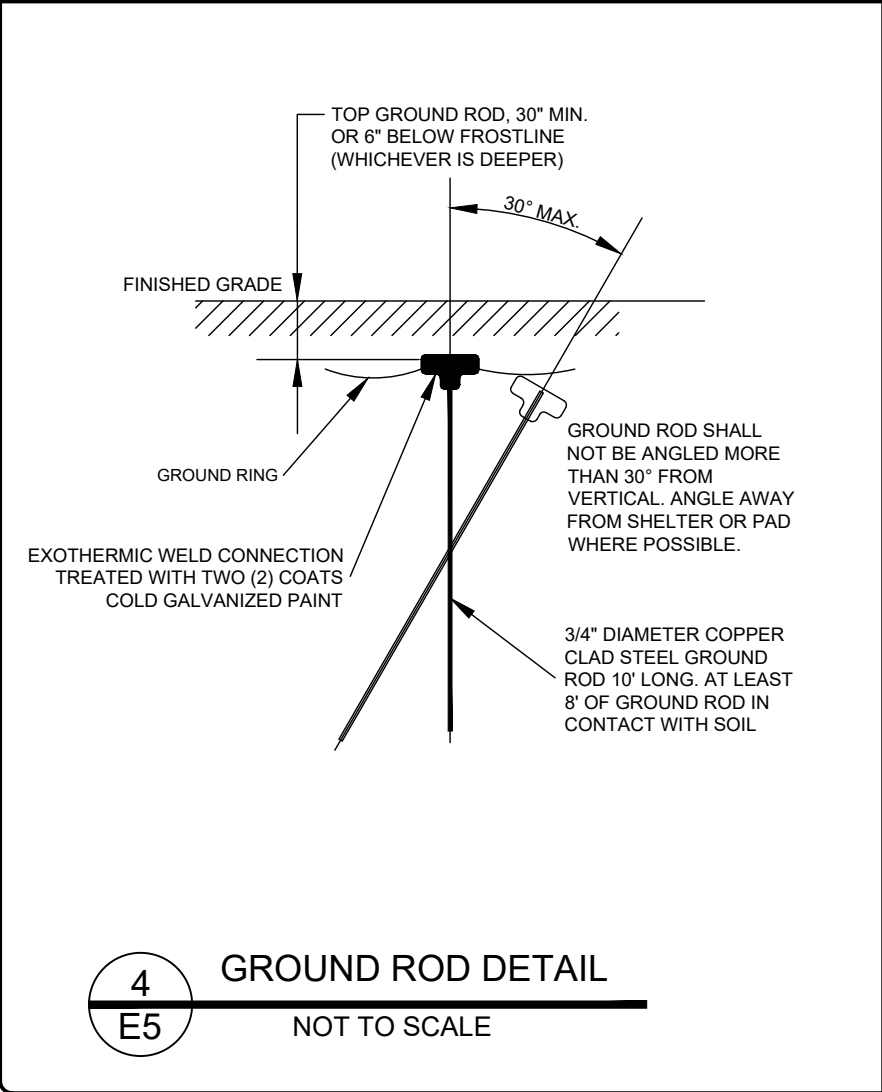
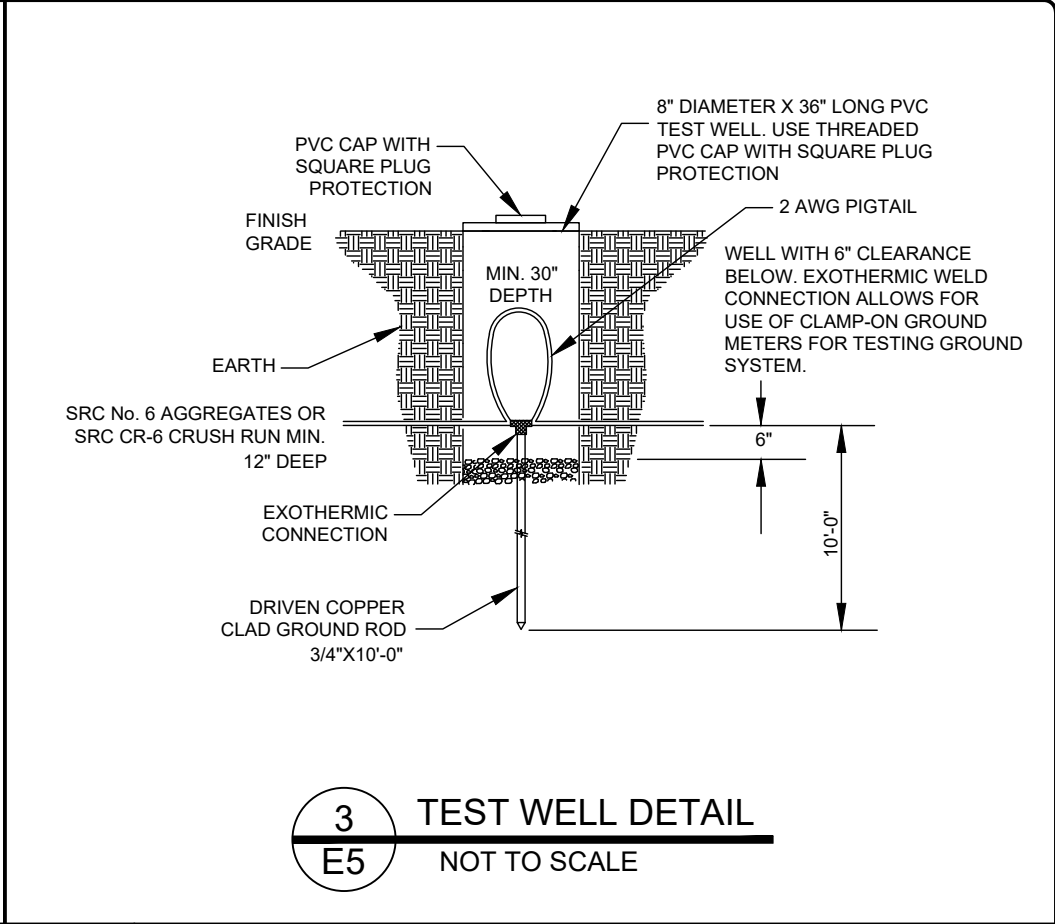
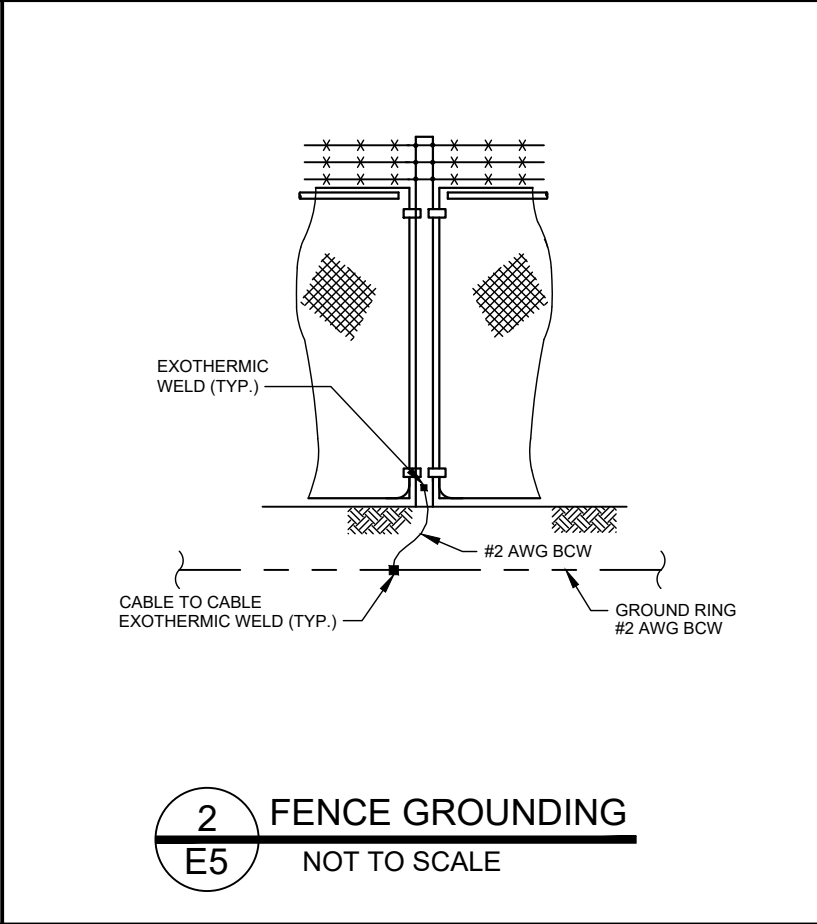
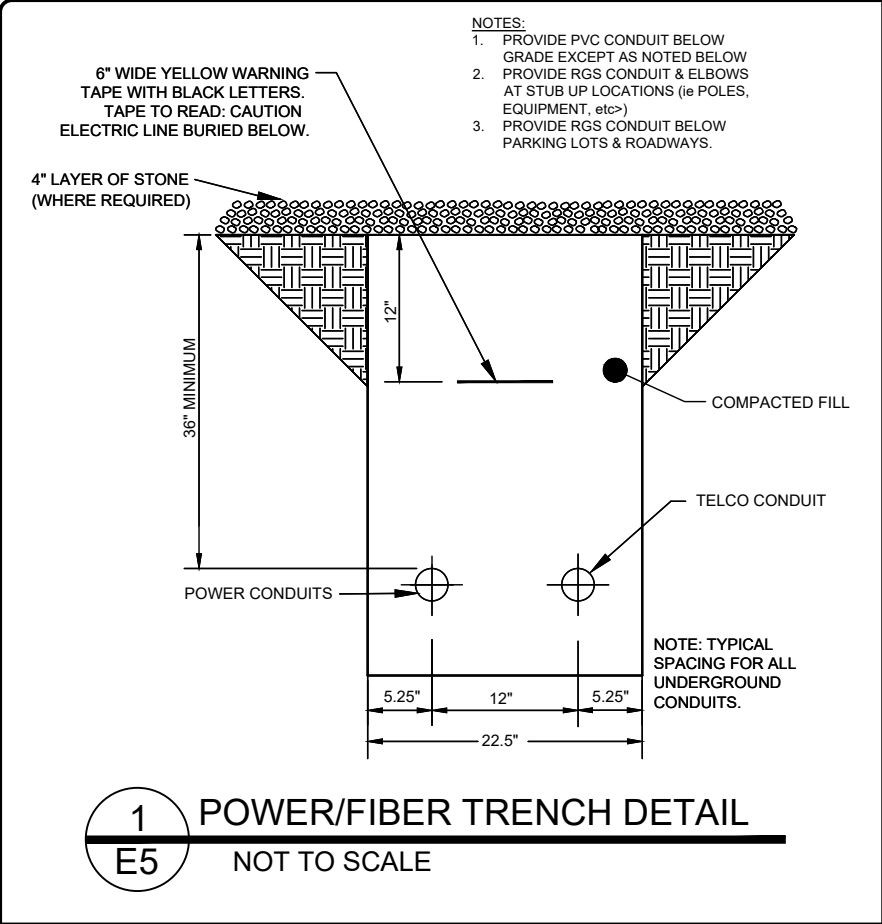
RAWLAND

SHEET TITLE:

ELECTRICAL NOTES

DRAWING NO.

E4



PREPARED FOR:

**NexTower**  
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13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:

**towersource**  
A NextEdge Company  
1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

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A&E PROJECT #:	NXFL-342
DRAWN BY:	JCR
CHECKED BY:	BAA

REVISIONS		
NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'

PHILLIP J. NEJMAN  
LICENSE  
No 89784  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

**COASTAL RIDGE  
NXFL-342**

TOWER OWNER:

**NEXTOWER**

DESIGN TYPE:

**RAWLAND**

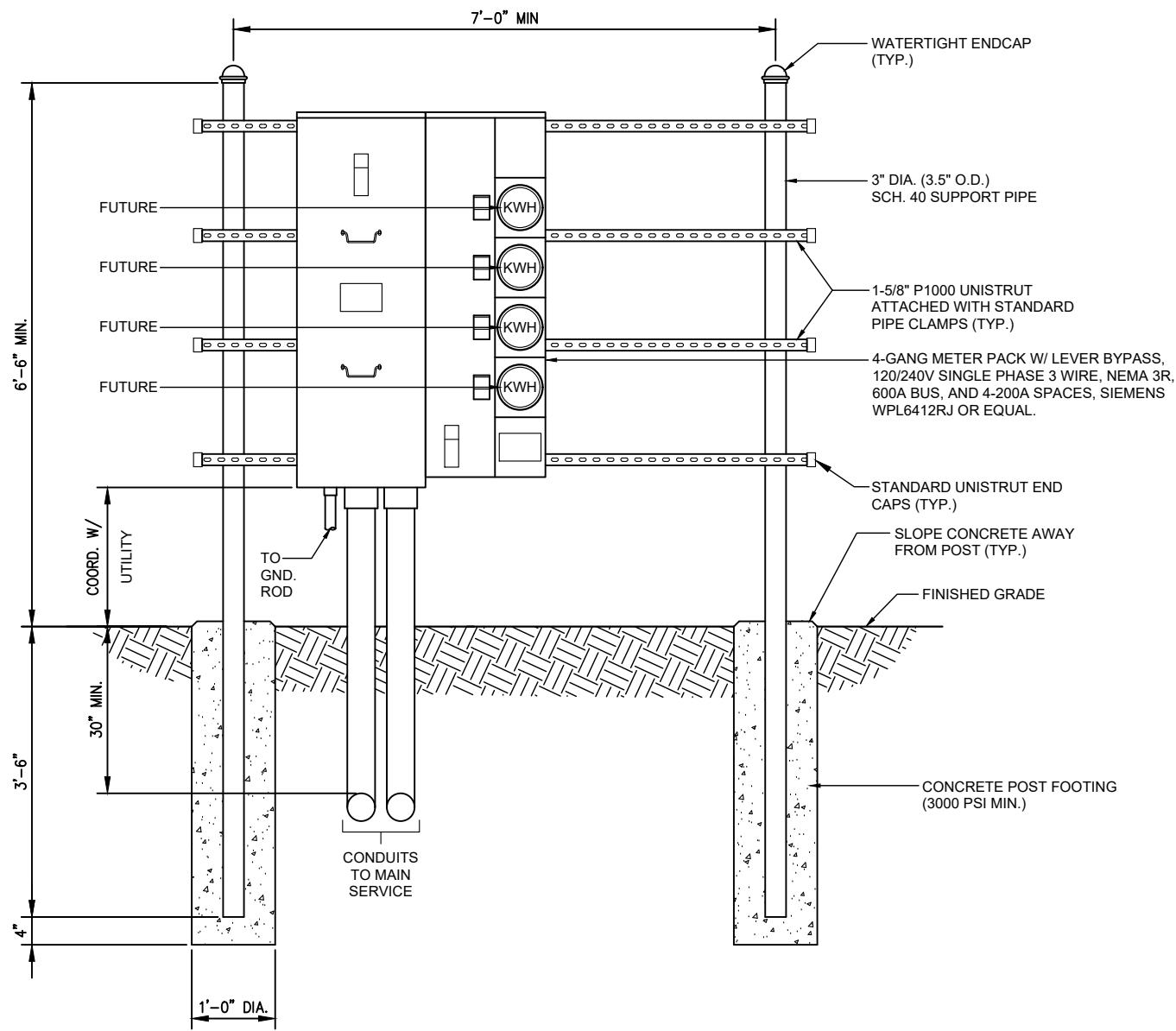
SHEET TITLE:

**ELECTRICAL DETAILS**

DRAWING NO.

**E5**





UTILITY FRAME (FRONT)

NOT TO SCALE

## MUTLI TENANT UTILITY FRAME

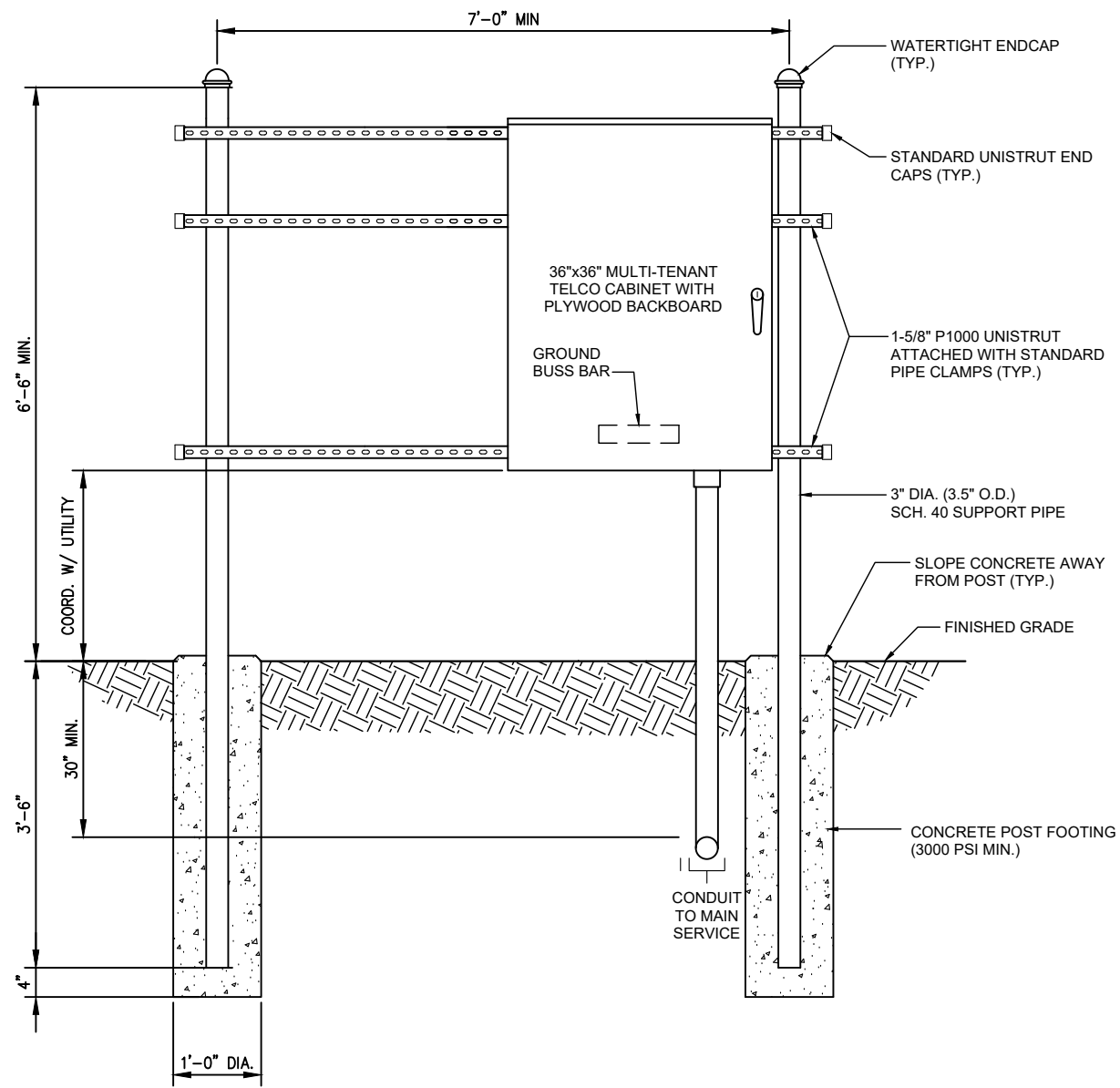
1

E6

NOT TO SCALE

### NOTES:

- ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 UNLESS OTHERWISE INDICATED. ALL CONDUITS EXPOSED ABOVE GROUND SHALL BE RIGID GALVANIZED STEEL. ALL UNDERGROUND CONDUIT SHALL TRANSITION FROM PVC TO RIGID AT THE 90° BEND BELOW GRADE.
- CONTRACTOR SHALL FIELD LOCATE THE METER PEDESTAL AS SHOWN ON SITE PLAN. INSTALL THE METER PEDESTAL NEAR THE PERIMETER OF THE FENCED COMPOUND WITH THE METERS FACING AS SHOWN.
- THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE CONDUIT RUN TO THE MAIN SERVICE CONNECTION OR TRANSFORMER.
- THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS. IF REQUIRED, THE CONTRACTOR SHALL ORDER AND PAY FOR NECESSARY GROUND TESTS.
- SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED. PIPE CLAMPS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL.
- TELCO CABINET SHALL BE 36"x48"x10" HOFFMAN OR EQUIVALENT. PROVIDE 3/4" PLYWOOD BACKBOARD INSIDE THE MULTI-TENANT TELCO CABINET.
- ADJUSTMENTS TO THE METER PEDESTAL DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL INSTALLED. CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EXIST.



UTILITY FRAME (BACK)

NOT TO SCALE

REVISIONS		
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1	7/16/24	MOVED LEASE AREA WEST 10'



07/24/2024

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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

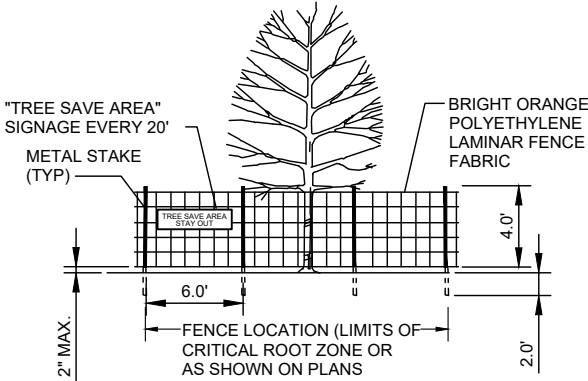
RAWLAND

SHEET TITLE:

H-FRAME DETAILS

DRAWING NO.

E6

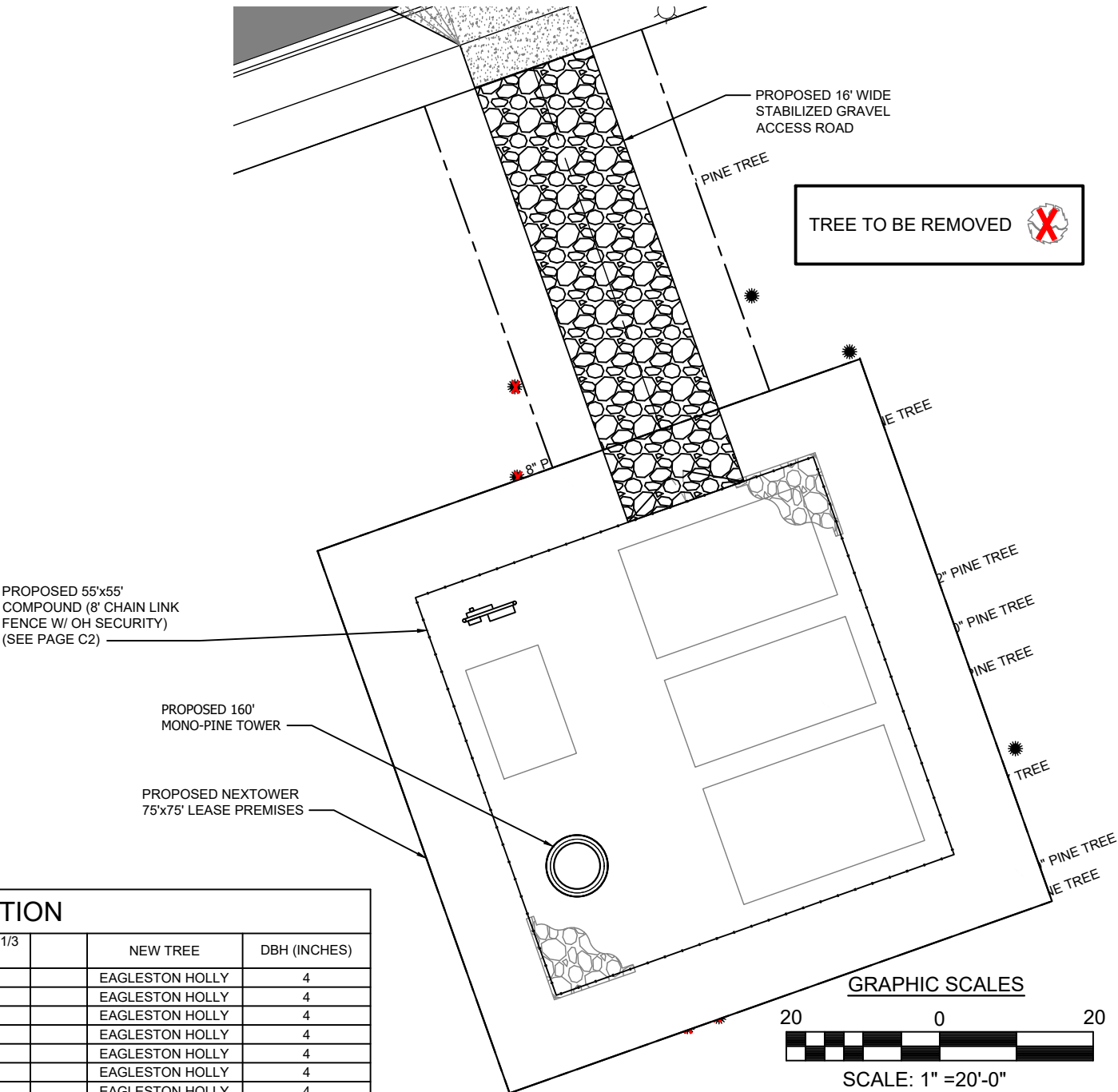


SEC. 656.1207. - TREE PROTECTION DURING DEVELOPMENT. ALL PROTECTED TREES, PRESERVED UNDERSTORY VEGETATION, AND TREES RETAINED FOR TREE CREDIT, PURSUANT TO SECTION 656.1213 HEREUNDER, SHALL BE PROTECTED FROM INJURY DURING ANY LAND CLEARING OR CONSTRUCTION IN THE FOLLOWING MANNER:

- (A) PRIOR TO ANY LAND CLEARING OPERATIONS, TREE LIMBS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND TEMPORARY BARRIERS SHALL BE INSTALLED AROUND ALL TREES AND OTHER UNDERSTORY VEGETATION TO REMAIN WITHIN THE LIMITS OF LAND CLEARING OR CONSTRUCTION AND SHALL REMAIN UNTIL THE COMPLETION OF THE WORK. THE TEMPORARY BARRIER SHALL BE AT LEAST THREE FEET HIGH, SHALL BE PLACED AT LEAST SIX FEET AWAY FROM THE BASE OF ANY TREE, SHALL INCLUDE AT LEAST 50 PERCENT OF THE AREA UNDER THE DRIPLINE OF ANY PROTECTED TREE OR TREES RETAINED FOR TREE CREDIT PURSUANT TO SECTION 656.1213, AND THE BARRIER SHALL CONSIST OF EITHER A WOOD FENCE WITH TWO BY FOUR POSTS PLACED A MAXIMUM OF EIGHT FEET APART, WITH A TWO BY FOUR MINIMUM TOP RAIL, OR A TEMPORARY WIRE MESH FENCE, OR OTHER SIMILAR BARRIER WHICH WILL LIMIT ACCESS TO THE PROTECTED AREA. TREE PROTECTION SHALL COMPLY WITH THE GUIDELINES IN THE TREE PROTECTION GUIDE FOR BUILDERS AND DEVELOPERS BY THE FLORIDA DIVISION OF FORESTRY AND ANY OTHER REASONABLE REQUIREMENTS DEEMED APPROPRIATE BY THE CHIEF TO IMPLEMENT THIS PART.
- (B) NO MATERIALS, TRAILERS, EQUIPMENT OR CHEMICALS SHALL BE STORED, OPERATED DUMPED, BURIED OR BURNED WITHIN THE PROTECTED AREAS. NO ATTACHMENT, WIRES (OTHER THAN PROTECTIVE GUY WIRES), SIGNS OR PERMITS SHALL BE ATTACHED TO A PROTECTED TREE.
- (C) WHEN REMOVING BRANCHES FROM PROTECTED TREES TO CLEAR FOR CONSTRUCTION OR PRUNING TO RESTORE THE NATURAL SHAPE OF THE ENTIRE TREE, THE GUIDELINES IN THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AND THE AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS (ANSI #Z133.1) SHALL BE FOLLOWED. PROTECTED TREES SHALL BE PRUNED TO REMOVE DEAD OR DAMAGED LIMBS AND TO RESTORE THIS NATURAL SHAPE AND FERTILIZED AS NECESSARY TO COMPENSATE FOR ANY LOSS OF ROOTS AND TO STIMULATE ROOT GROWTH. ANY DAMAGE TO TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY AFTER DAMAGE OCCURS.

**TREE PROTECTION DETAIL**  
NOT TO SCALE

TREE MITIGATION						
REMOVED TREE	DBH (INCHES)	PROTECTED	MITIGATION (1/3 DBH)		NEW TREE	DBH (INCHES)
PINE	14	YES	5		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO				
PINE	10	NO				
PINE	10	NO				
PINE	8	NO				
PINE	8	NO				
PINE	8	NO				
PINE	8	NO				
PINE	8	NO				
BAY	12	YES	4			
BAY	12	YES	4			
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
		TOTAL REQUIRED MITIGATION	57		TOTAL MITIGATION	60



**TREE REMOVAL PLAN**  
SCALE: 1" =20'-0"

PREPARED FOR:

**NexTower**  
YOUR SIGNAL IS OUR EXPERIENCE  
13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:

**towersource**  
A NextEdge Company  
1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

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A&E PROJECT #:	NXFL-342
DRAWN BY:	JCR
CHECKED BY:	BAA

REVISIONS		
NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'

PHILLIP J. NEJMAN  
LICENSE  
No 89784  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

**COASTAL RIDGE  
NXFL-342**

TOWER OWNER:

**NEXTOWER**

DESIGN TYPE:

**RAWLAND**

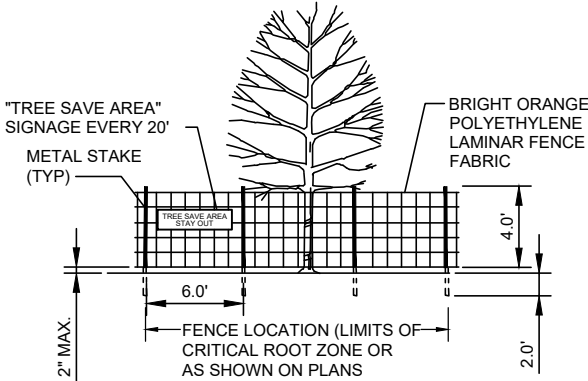
SHEET TITLE:

**TREE REMOVAL PLAN**

DRAWING NO.

**L-1**



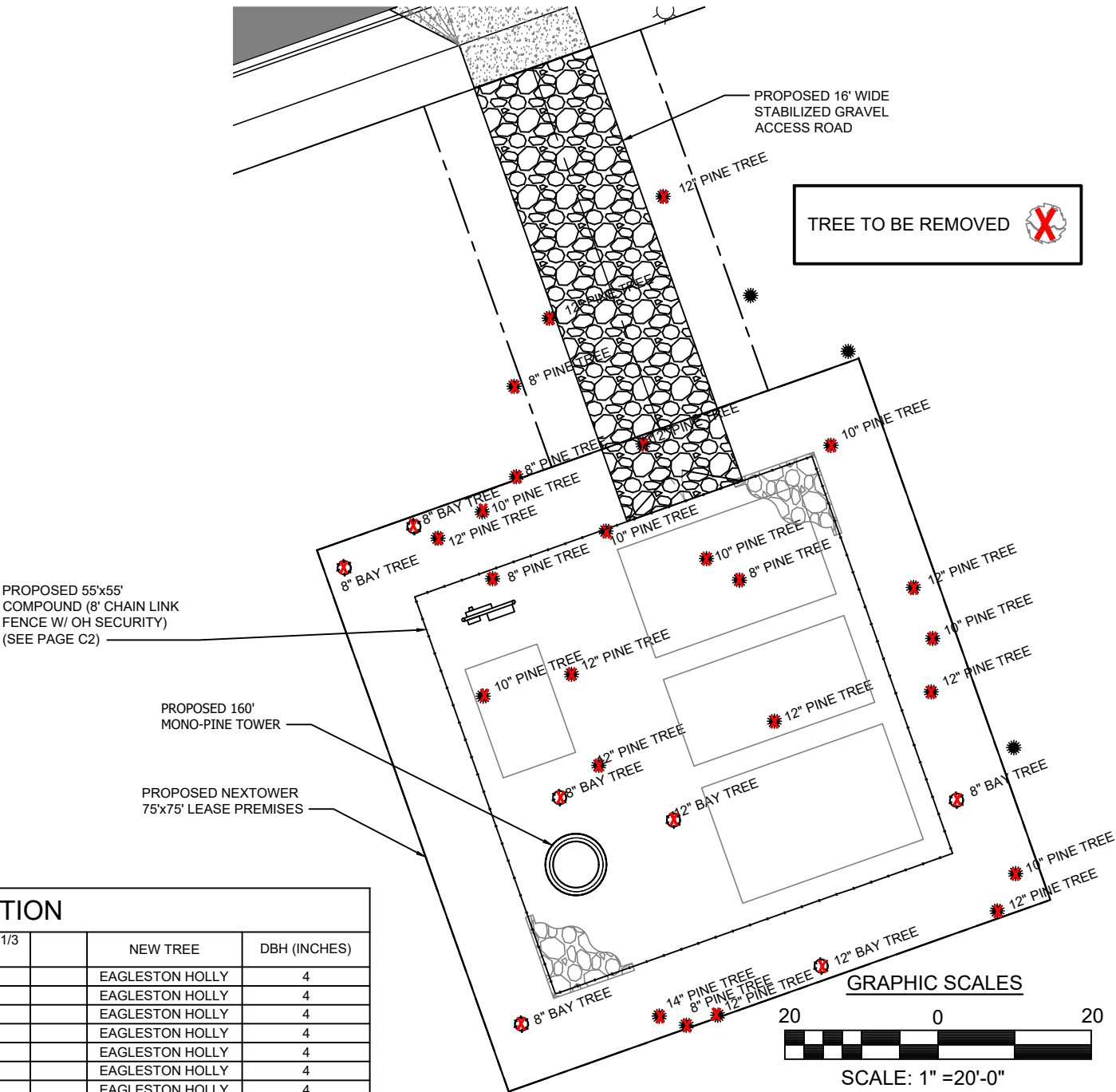


SEC. 656.1207.- TREE PROTECTION DURING DEVELOPMENT. ALL PROTECTED TREES, PRESERVED UNDERSTORY VEGETATION, AND TREES RETAINED FOR TREE CREDIT, PURSUANT TO SECTION 656.1213 HEREUNDER, SHALL BE PROTECTED FROM INJURY DURING ANY LAND CLEARING OR CONSTRUCTION IN THE FOLLOWING MANNER:

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- (B) NO MATERIALS, TRAILERS, EQUIPMENT OR CHEMICALS SHALL BE STORED, OPERATED DUMPED, BURIED OR BURNED WITHIN THE PROTECTED AREAS. NO ATTACHMENT, WIRES (OTHER THAN PROTECTIVE GUY WIRES), SIGNS OR PERMITS SHALL BE ATTACHED TO A PROTECTED TREE.
- (C) WHEN REMOVING BRANCHES FROM PROTECTED TREES TO CLEAR FOR CONSTRUCTION OR PRUNING TO RESTORE THE NATURAL SHAPE OF THE ENTIRE TREE, THE GUIDELINES IN THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AND THE AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS (ANSI #Z133.1) SHALL BE FOLLOWED. PROTECTED TREES SHALL BE PRUNED TO REMOVE DEAD OR DAMAGED LIMBS AND TO RESTORE THIS NATURAL SHAPE AND FERTILIZED AS NECESSARY TO COMPENSATE FOR ANY LOSS OF ROOTS AND TO STIMULATE ROOT GROWTH. ANY DAMAGE TO TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY AFTER DAMAGE OCCURS.

**TREE PROTECTION DETAIL**  
NOT TO SCALE

TREE MITIGATION						
REMOVED TREE	DBH (INCHES)	PROTECTED	MITIGATION (1/3 DBH)		NEW TREE	DBH (INCHES)
PINE	14	YES	5		EAGLESTON HOLLY	4
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PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	12	YES	4		EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	10	NO			EAGLESTON HOLLY	4
PINE	8	NO			EAGLESTON HOLLY	4
PINE	8	NO			EAGLESTON HOLLY	4
PINE	8	NO			EAGLESTON HOLLY	4
PINE	8	NO			EAGLESTON HOLLY	4
PINE	8	NO			EAGLESTON HOLLY	4
BAY	12	YES	4			
BAY	12	YES	4			
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
BAY	8	NO				
		TOTAL REQUIRED MITIGATION	57		TOTAL MITIGATION	60



**TREE REMOVAL PLAN**  
SCALE: 1" =20'-0"

PREPARED FOR:

NexTower

YOUR SIGNAL IS OUR EXPERIENCE

13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:

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A&E PROJECT #:

NXFL-342

DRAWN BY:

JCR

CHECKED BY:

BAA

REVISIONS

NO.	DATE	DESCRIPTION
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1	7/16/24	MOVED LEASE AREA WEST 10'

PHILLIP J. NEJMAN

LICENSE

No 89784

*Phillip J. Nejman*

STATE OF FLORIDA

PROFESSIONAL ENGINEER

07/24/2024

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NEXTOWER SITE NAME:

COASTAL RIDGE  
NXFL-342

TOWER OWNER:

NEXTOWER

DESIGN TYPE:

RAWLAND

SHEET TITLE:

TREE REMOVAL PLAN

DRAWING NO.

L-1

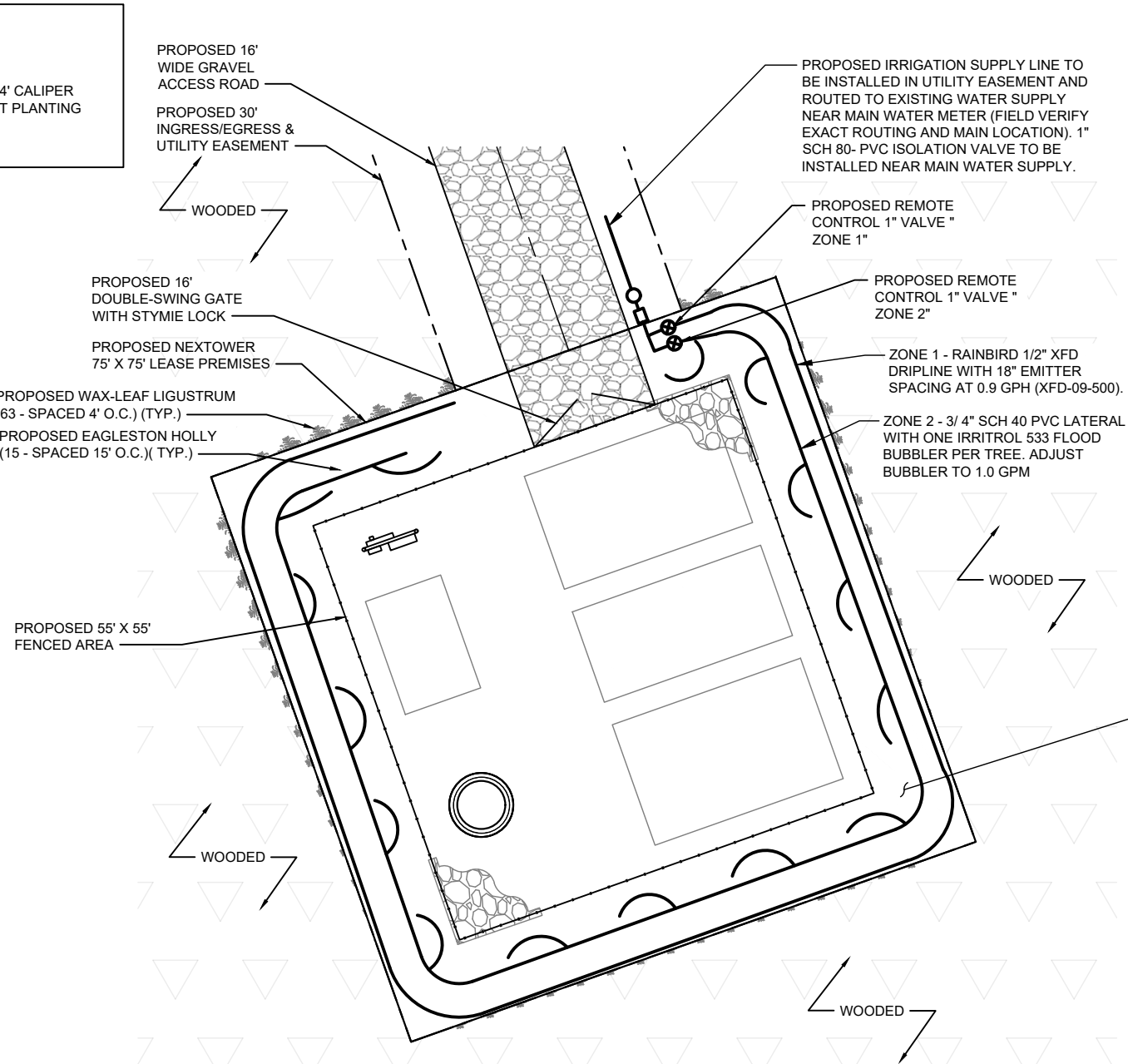
TOTAL AREA OF LANDSCAPE BUFFER: 1,700/0.039 ACRES			
PLANT LIST:			
QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
15	EAGLESTON HOLLY	ILEX X ATTENUATA 'EAGLESTON'	15' MIN HEIGHT & 4' CALIPER
63	WAX-LEAF LIGUSTRUM	LIGUSTRUM JAPONICUM	48" MIN HEIGHT AT PLANTING
1,700 SF PINESTRAW MULCH - 3" SETTLED LAYER OF CLEAN STRAW			

LANDSCAPE NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS SPECIFIED.
- ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ENGINEER'S REPRESENTATIVE BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
- ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ENGINEER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- THE ENGINEER'S REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- MULCH ALL DISTURBED AREAS WITH A THREE- (3) INCH MINIMUM LAYER OF PINE BARK MULCH.
- ALL PLANT MATERIAL SHALL BE GUARANTEED ONE YEAR AFTER ACCEPTANCE BY OWNER.
- LANDSCAPE CONTRACTOR SHALL CALL THE URBAN FORESTRY INSPECTOR AT (352) 393-8188 TO SCHEDULE AN ON-SITE MEETING PRIOR TO PURCHASING ANY PLANT MATERIAL.
- ALL TREES IN SOD TO BE IN A (4) FOOT MINIMUM-MULCHED RING AROUND THE NEWLY PLANTED TREES.
- ALL TREES PLANTED IN SOD ARE TO HAVE A (10) INCH PLASTIC PROTECTOR AROUND TRUNK BASE TO PROTECT FROM MOWING DAMAGE.
- TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED AND TOPMOST ROOT IN THE ROOTBALL ORIGINATING FROM THE TRUNK IS AT SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL ON THE ROOTBALL.
- THE CITY SHALL REQUIRE THE ROOTBALL/CONTAINER SIZE OF THE TREE, WHICH TAKES PRECEDENCE OVER THE CALIPER SIZE OF THE TREE.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FLORIDA FILL OF PH 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
- CALL THE URBAN FORESTRY INSPECTOR AT (352) 393-8188 TO SCHEDULE A BARRICADE INSPECTION BEFORE CLEARING AND GRUBBING WORK COMMENCES.
- AUTOMATIC IRRIGATION SYSTEM IS REQUIRED FOR THIS DEVELOPMENT, AND PROVIDE BUBBLERS BY EACH TREE TO BE INSTALLED TOO.

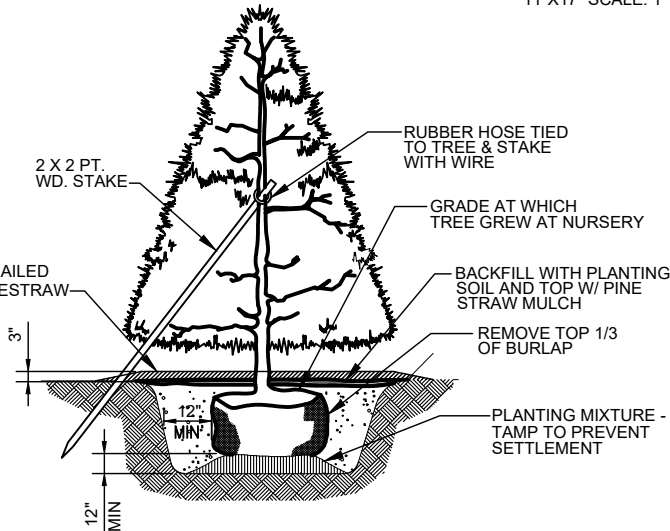
IRRIGATION NOTES:

- IRRIGATION DRAWING IS PRELIMINARY AND SCHEMATIC AND SUBJECT TO SITE CONDITIONS. CONTRACTOR SHALL PROVIDE DESIGN-BUILD PLANS, DETAILS, AND SPECIFICATIONS FOR WELL AND IRRIGATION FOR APPROVAL BY OWNER AND ENGINEER. CONTRACTOR IS RESPONSIBLE FOR FINAL WELL AND IRRIGATION PLAN.
- DESIGN IS BASED ON ASSUMED 10 GPM AT A MINIMUM 60 PSI. CONTRACTOR SHALL VERIFY PSI AND GPM AND ADJUST THE DESIGN ACCORDINGLY.
- CONTRACTOR IS RESPONSIBLE TO VERIFY THAT THE PLAN COMPLIES WITH APPLICABLE LOCAL, COUNTY, AND STATE REGULATIONS AND SHALL FOLLOW REGULATIONS DURING INSTALLATION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS FOR WELL(IF REQUIRED) AND IRRIGATION INSTALLATION.
- CONTRACTOR SHALL NOTIFY UTILITY LOCATOR COMPANY AT LEAST 2 BUSINESS DAYS PRIOR TO DIGGING.
- ALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO WELL, BACKFLOW, AND IRRIGATION COMPONENTS, SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS OR IN ACCORDANCE WITH REGULATORY CODES, WHICHEVER IS MORE STRINGENT.
- WELL AND EQUIPMENT SHALL BE AS GENERALLY LOCATED AS SHOWN ON THE PLAN . FINAL LOCATIONS OF ALL EQUIPMENT SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- EXACT CONTROLLER LOCATION SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. CONTRACTOR SHALL OBTAIN 110 VOLT POWER FROM PROPOSED H-FRAME SERVICE.
- PROPERLY GROUND CONTROLLER TO PROPOSED GROUND RING WITH AWG #6 BARE SOLID COPPER WIRE.
- SYSTEM SHALL INCLUDE RAIN SENSOR/RAIN SHUT-OFF DEVICE PER LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION. CONSIDER EASE OF MAINTENANCE, VANDALISM, AND OBSTRUCTIONS WHEN DETERMINING LOCATION.
- IRRIGATION MAIN LINE SHALL BE MINIMUM 1" SCHEDULE 40 PVC.
- ZONE 1 - RAINBIRD 1/2" XFD DRIPLINE WITH 18" EMITTER SPACING AT 0.9 GPH (XFD-09-500).
- ZONE 2 - 3/ 4" SCH 40 PVC LATERAL WITH ONE IRRITROL 533 FLOOD BUBBLER PER TREE. ADJUST BUBBLER TO 1.0 GPM



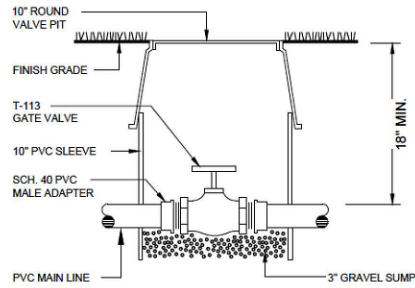
LANDSCAPE/IRRIGATION PLAN

11"x17" SCALE: 1" =20'-0"



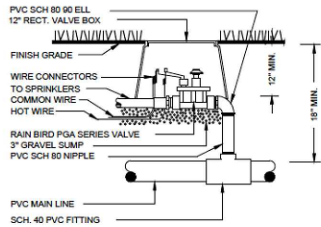
TREE PLANTING DETAIL

NOT TO SCALE



ISOLATION GATE VALVE DETAIL

N.T.S.



REMOTE CONTROL VALVE DETAIL

N.T.S.



SCALE: 1" =20'-0"

PREPARED FOR:  
**NexTower**  
YOUR SIGNAL IS OUR EXPERIENCE  
13577 NW 2ND LANE, SUITE 20  
NEWBERRY, FL 32669

A&E FIRM:  
**towersource**  
A NextEdge Company  
1355 WINDWARD CONCOURSE  
SUITE 410  
ALPHARETTA, GA 30005  
678-990-2338

THE INFORMATIN CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	NXFL-342
DRAWN BY:	JCR
CHECKED BY:	BAA

REVISIONS		
NO.	DATE	DESCRIPTION
A	05/01/23	ISSUED FOR REVIEW
B	06/13/23	UPDATED PER COMMENTS
0	06/23/23	ISSUED FOR CONSTRUCTION
1	7/16/24	MOVED LEASE AREA WEST 10'

PHILLIP J. NEJMAN  
LICENSE  
No 89784  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
07/24/2024  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY PHILLIP J. NEJMAN, P.E ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NEXTOWER SITE NAME:  
**COASTAL RIDGE  
NXFL-342**  
TOWER OWNER:  
**NEXTOWER**  
DESIGN TYPE:  
**RAWLAND**

SHEET TITLE:  
**LANDSCAPE DETAILS**

DRAWING NO.  
**L-2**



July 25, 2024

Mr. Joel Rousseau  
Nextower  
13577 NW 2<sup>nd</sup> Lane, Suite 20  
Newberry, FL 32669

RE: Proposed 155' Sabre Monopine for NXFL-342 Coastal Ridge, FL (Sabre #25-1113-JDS)

Dear Mr. Rousseau,

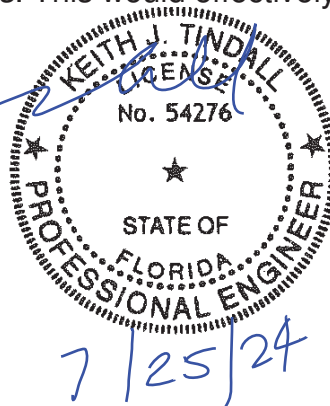
Upon receipt of order, we propose to design and supply the above referenced Sabre monopine for an Ultimate Wind Speed of 129 mph with no ice and 30 mph + 1/4" ice, Risk Category II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-H, "Structural Standard for Antenna Supporting Structures, Antennas and Small Wind Turbine Support Structures".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopine will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopine shaft, in the top section. Assuming that the wind pressure profile is similar to that used to design the monopine, the monopine will buckle at the location of the highest combined stress ratio within the top section of the monopine shaft. This is likely to result in the portion of the monopine above leaning over and remaining in a permanently deformed condition. *Please note that this letter only applies to the above referenced monopine designed and manufactured by Sabre Industries.* This would effectively result in a fall radius of 50' or less at ground level.

Sincerely,

Keith J. Tindall, P.E., S.E.  
Vice President, Telecom Engineering



# **STONECYPHER SURVEYING INC.**

1225 NW 16<sup>TH</sup> AVENUE, GAINESVILLE, FLORIDA 32601

PHONE: 352-379-0948

## **FAA "1-A CERTIFICATION**

July 24, 2024

**NexTower Development Group II, LLC**

13577 NW 2<sup>nd</sup> Lane, Suite 20

Newberry, FL 32669

Site Name: **COASTAL RIDGE**

Site Number: **NXFL-352**

Site Data: **Proposed 160' Monopine Tower**

### **Tower Information**

**Geographic Coordinates:** Latitude – **30° 07' 29.46" North**  
Longitude – **81° 26' 03.49" West**

**Ground Elevation:** Base of Proposed Tower – **25.3'**

### **Certification**

I hereby certify that the latitude of **30° 07' 29.46" North** and the longitude of **81° 26' 03.49" West** are within 20-feet horizontally, and that the ground elevation at the base of the tower of **25.3** feet is accurate to within 3-feet vertically. The horizontal datum (coordinates) are in terms of North American Datum of 1983/2011 (NAD 83/2011) and is expressed as degrees, minutes, and seconds, to the nearest hundredth of a second. The vertical datum (elevation) is in terms of the North American Vertical Datum of 1988 (NAVD 88) and is determined to the nearest foot.



**David W. Stonecypher**  
**Professional Surveyor and Mapper No. LS 6391**  
**Stonecypher Surveying Inc. – Business No. LB 7810**  
**State of Florida**





BOUNDARY & TOPOGRAPHIC SURVEY  
OF NEXTOWER LEASE PARCEL

IN SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST  
DUVAL COUNTY, FLORIDA

PARENT TRACT DESCRIPTION (PREPARED BY SURVEYOR)

A PORTION OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA, ALSO BEING A PORTION OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 9494, PAGE 905 OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PART OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA LYING SOUTH OF VALLEY RIDGE BOULEVARD, A VARIABLE WIDTH RIGHT-OF-WAY AS RECORDED IN PLAT BOOK 65, PAGES 50 THROUGH 53 OF THE PUBLIC RECORDS OF SAID DUVAL COUNTY AND LYING NORTHERLY OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 15469, PAGE 919 OF SAID PUBLIC RECORDS.

NEXTOWER LEASE PARCEL DESCRIPTION

A PARCEL OF LAND LYING IN SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA; SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EAST LINE OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA AND THE SOUTH RIGHT-OF-WAY LINE OF VALLEY RIDGE BOULEVARD (A VARIABLE WIDTH RIGHT-OF-WAY PER PLAT BOOK 65, PAGES 50-53 OF THE PUBLIC RECORDS OF SAID DUVAL COUNTY); THENCE S70° 30' 10"W ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR 105.29 FEET; THENCE S19° 29' 50"E FOR 50.00 FEET; THENCE N70° 30' 10"E FOR 27.50 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE S19° 29' 50"E FOR 75.00 FEET; THENCE S70° 30' 10"W FOR 75.00 FEET; THENCE N19° 29' 50"W FOR 75.00 FEET; THENCE N70° 30' 10"E FOR 75.00 FEET TO THE POINT OF BEGINNING. SAID PARCEL OF LAND SITUATE, LYING AND BEING IN DUVAL COUNTY, FLORIDA, CONTAINING 5,625 SQUARE FEET OF LAND MORE OR LESS.

NEXTOWER INGRESS/EGRESS & UTILITIES EASEMENT DESCRIPTION

A 30-FEET WIDE EASEMENT STRIP OF LAND FOR THE PURPOSES OF INGRESS/EGRESS AND UTILITIES LYING IN SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA; SAID EASEMENT STRIP LYING 15.00 FEET BOTH SIDES OF THE FOLLOWING DESCRIBED EASEMENT CENTERLINE:

COMMENCE AT THE INTERSECTION OF THE EAST LINE OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST, DUVAL COUNTY, FLORIDA AND THE SOUTH RIGHT-OF-WAY LINE OF VALLEY RIDGE BOULEVARD (A VARIABLE WIDTH RIGHT-OF-WAY PER PLAT BOOK 65, PAGES 50-53 OF THE PUBLIC RECORDS OF SAID DUVAL COUNTY); THENCE S70° 30' 10"W ALONG SAID SOUTH RIGHT-OF-WAY LINE FOR 105.29 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED EASEMENT CENTERLINE; THENCE S19° 29' 50"E FOR 50.00 FEET TO THE POINT OF TERMINUS. THE SIDELINES OF SAID EASEMENT TO BE SHORTENED AND PROLONGED TO MEET AT RIGHT-OF-WAY LINES AND LEASE PARCEL LINES.

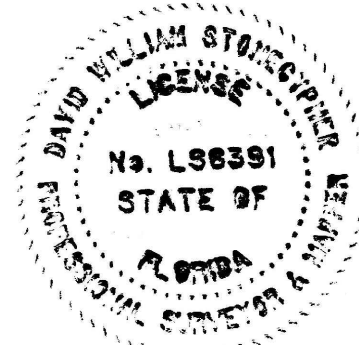
SURVEYOR'S NOTES

- BEARINGS SHOWN HEREON ARE ASSUMED AND REFERENCED TO THE SOUTH RIGHT-OF-WAY LINE OF VALLEY RIDGE BOULEVARD AS BEARING S70° 30' 10"W.
- THE BOUNDARY SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED APRIL 17, 2023.
- THIS SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- CENTER OF PROPOSED TOWER LATITUDE, LONGITUDE AND ELEVATIONS SHOWN HEREON WERE ESTABLISHED FROM RTK GPS OBSERVATIONS REFERENCED TO THE STATE OF FLORIDA PERMANENT REFERENCE NETWORK. THE VALUES FOR THE PROPOSED TOWER LATITUDE, LONGITUDE AND ELEVATION SHOWN HEREON EXCEED FAA "1-A" ACCURACY REQUIREMENTS. ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE REFERENCED TO THE STATE OF FLORIDA PERMANENT REFERENCE NETWORK.
- THE PURPOSE OF THIS SURVEY IS TO SHOW IMPROVEMENTS ASSOCIATED WITH A PROPOSED TELECOMMUNICATIONS FACILITY AND PROVIDE LEGAL DESCRIPTIONS FOR SAID FACILITY AND ASSOCIATED EASEMENTS. THIS IS NOT A BOUNDARY SURVEY OF THE PARENT TRACT.
- MEASURED BEARINGS AND DISTANCES WERE IN SUBSTANTIAL AGREEMENT WITH RECORD DATA UNLESS OTHERWISE NOTED.
- PROPERTY TIES ARE PERPENDICULAR MEASURE UNLESS OTHERWISE NOTED.
- THIS SURVEY CONSISTS OF 2 SHEETS.

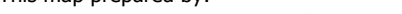
TITLE COMMITMENT NOTES

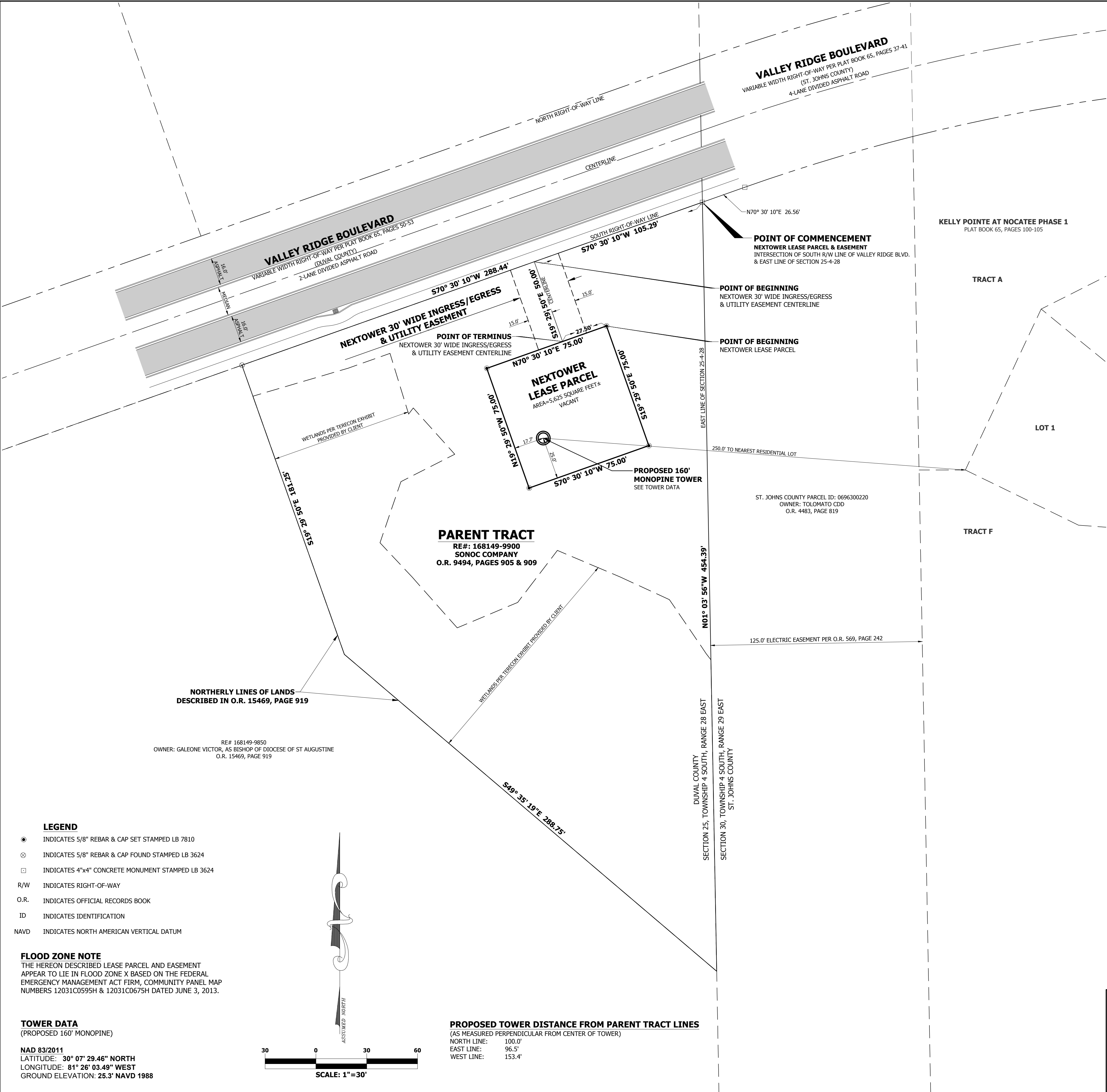
THIS SURVEY MAP PICTS THE LOCATION OF RECORDED ENCUMBRANCES, EASEMENTS, AND OTHER MATTERS LISTED IN THE TITLE COMMITMENT, NUMBER 11088760, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED APRIL 30, 2023.

- ITEM 6** - O.R. 10174, PAGE 451 & O.R. 13854, PAGE 604 & O.R. 14951, PAGE 684 & O.R. 15133, PAGE 1331 & O.R. 16133, PAGE 2239 & O.R. 17868, PAGE 1612 & O.R. 19560, PAGE 215 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE DEVELOPMENT ORDERS.
- ITEM 7** - O.R. 12000, PAGE 1540 & O.R. 12043, PAGE 261 & O.R. 12288, PAGE 1549 & O.R. 14126, PAGE 2344 & O.R. 15173, PAGE 2254 & O.R. 18487, PAGE 906 & O.R. 19560, PAGE 215 & O.R. 19751, PAGE 810 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE NOTICES.
- ITEM 8** - O.R. 12253, PAGE 1723 & O.R. 15211, PAGE 2240 & O.R. 16762, PAGE 1021 & O.R. 19675, PAGE 2208 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT. NO EASEMENTS APPEAR TO AFFECT THE NEXTOWER LEASE PARCEL.
- ITEM 9** - O.R. 12309, PAGE 1725 & O.R. 15173, PAGE 2254 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT.
- ITEM 10** - O.R. 12309, PAGE 1729 & O.R. 15173, PAGE 2254 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT.
- ITEM 11** - O.R. 13214, PAGE 1795 & O.R. 15173, PAGE 2254 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT.
- ITEM 12** - UNRECORDED AGREEMENTS
- ITEM 13** - O.R. 14010, PAGE 824 & O.R. 15173, PAGE 2254 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT.
- ITEM 14** - O.R. 14010, PAGE 828 & O.R. 15173, PAGE 2254 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT.
- ITEM 15** - O.R. 14010, PAGE 837 & O.R. 15173, PAGE 2254 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT.
- ITEM 16** - O.R. 14126, PAGE 2344 & O.R. 15173, PAGE 2254 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE AGREEMENT.
- ITEM 17** - O.R. 15187, PAGE 361 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE NOTICE OF MERGER.
- ITEM 18** - O.R. 15216, PAGE 1058 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE DISCLOSURE.
- ITEM 19** - O.R. 15366, PAGE 2362 - DOES NOT AFFECT THE PARENT TRACT OR NEXTOWER LEASE PARCEL.
- ITEM 20** - O.R. 16075, PAGE 1874 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE NOTICE.
- ITEM 21** - O.R. 16077, PAGE 1466 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE NOTICE.
- ITEM 22** - O.R. 18377, PAGE 107 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE NOTICE.
- ITEM 23** - O.R. 20371, PAGE 1394 - THE PARENT TRACT AND NEXTOWER LEASE PARCEL ARE SUBJECT TO THE NOTICE.

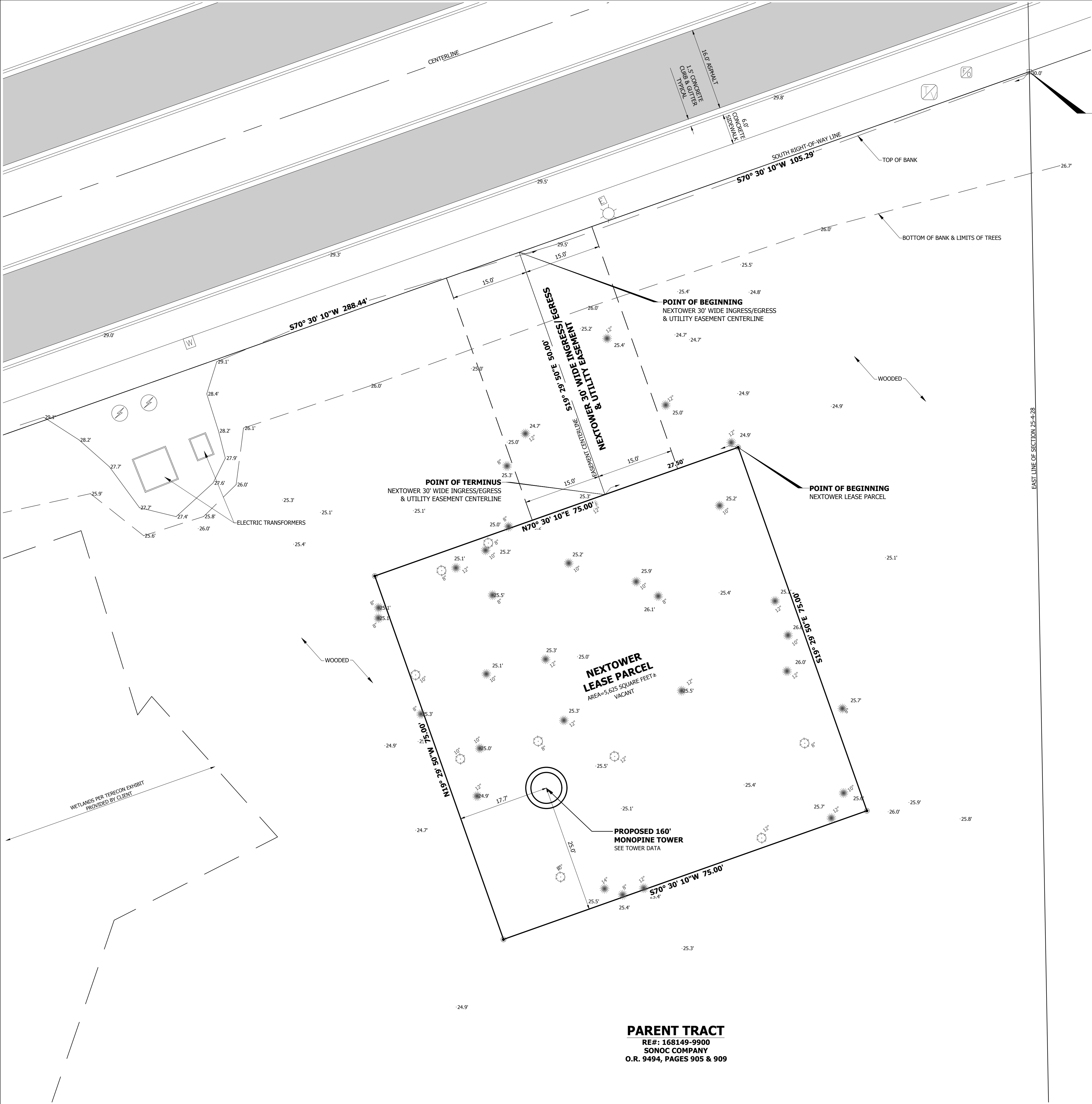


REVISION: 7-24-2024 REVISED PROPOSED TOWER TYPE & HEIGHT  
REVISION: 7-2-2024 REVISED PROPOSED TOWER & LEASE PARCEL LOCATION & ADDED TITLE INFORMATION

<div>STONECYPHER SURVEYING INC.</div> <div>1225 NW 16TH AVENUE GAINESVILLE, FLORIDA 32601 Tel.: (352) 379-0948 Email: dws@stone-survey.com WWW.STONE-SURVEY.COM</div> <div>Professional Surveying &amp; Mapping Certificate of Authorization No.: LB 7810</div>	BOOK/PAGE	49/45	<div>This map prepared by:</div> <div></div> <div>7-24-2024</div> <div>DAVID W. STONECYPHER</div> <div>PROFESSIONAL SURVEYOR &amp; MAPPER FLA. LICENSE NO. 6391</div>	SCALE	1"=30'
	DRAWN	DWS		DATE	APRIL 17, 2023
	CHECKED	DWS		PROJECT #	22-0132
				<div>COMMUNICATION TOWER SITE COASTAL RIDGE NXFL-352</div>	
DRAWING #		nextower-coastal-ridge.survey.dwg		NEXTOWER DEVELOPMENT GROUP II, LLC	
				SHEET #	1 OF 2



BOUNDARY & TOPOGRAPHIC SURVEY  
OF NEXTOWER LEASE PARCEL  
IN SECTION 25, TOWNSHIP 4 SOUTH, RANGE 28 EAST  
DUVAL COUNTY, FLORIDA



**POINT OF COMMENCEMENT**  
NEXTOWER LEASE PARCEL & EASEMENT  
INTERSECTION OF SOUTH R/W LINE OF VALLEY RIDGE BLVD.  
& EAST LINE OF SECTION 25-4-28

**POINT OF BEGINNING**  
NEXTOWER 30' WIDE INGRESS/EGRESS  
& UTILITY EASEMENT CENTERLINE

**POINT OF TERMINUS**  
NEXTOWER 30' WIDE INGRESS/EGRESS  
& UTILITY EASEMENT CENTERLINE

**POINT OF BEGINNING**  
NEXTOWER LEASE PARCEL

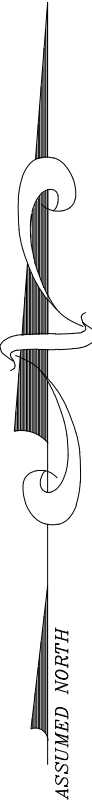
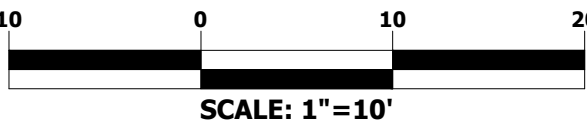
**NEXTOWER  
LEASE PARCEL**  
AREA=5,625 SQUARE FEET ±  
VACANT

**PROPOSED 160'  
MONOPINE TOWER**  
SEE TOWER DATA

**PARENT TRACT**  
RE#: 168149-9900  
SONOC COMPANY  
O.R. 9494, PAGES 905 & 909

- LEGEND**
- INDICATES 5/8" REBAR & CAP SET STAMPED LB 7810
  - ⊗ INDICATES 5/8" REBAR & CAP FOUND STAMPED LB 3624
  - INDICATES 4"x4" CONCRETE MONUMENT STAMPED LB 3624
  - R/W INDICATES RIGHT-OF-WAY
  - O.R. INDICATES OFFICIAL RECORDS BOOK
  - ID INDICATES IDENTIFICATION
  - NAVD INDICATES NORTH AMERICAN VERTICAL DATUM
  - ☉ INDICATES LIGHT POLE
  - ⚡ INDICATES ELECTRIC JUNCTION BOX
  - 📶 INDICATES FIBEROPTIC MARKER
  - 🚶 INDICATES COMMUNICATIONS PEDESTAL
  - ⚡ INDICATES ELECTRIC MANHOLE
  - 🔍 INDICATES WATER METER
  - +15.2' INDICATES SPOT ELEVATION

- TREE LEGEND**
- ☼ PINE TREE
  - ☼ BAY TREE
  - 14" INDICATES DIAMETER OF TREE TRUNK AS MEASURED AT 4± ABOVE GROUND
  - 14" ±16" INDICATES TREE CLUSTER SIZES



- SURVEYOR'S NOTES**
- BEARINGS SHOWN HEREON ARE ASSUMED AND REFERENCED TO THE SOUTH RIGHT-OF-WAY LINE OF VALLEY RIDGE BOULEVARD AS BEARING S70° 30' 10"W.
  - ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE REFERENCED TO ELEVATIONS SHOWN HEREON WERE ESTABLISHED FROM RTK GPS OBSERVATIONS REFERENCED TO THE STATE OF FLORIDA PERMANENT REFERENCE NETWORK.
  - PROPERTY TIES ARE PERPENDICULAR MEASURE UNLESS OTHERWISE NOTED.
  - THIS SURVEY CONSISTS OF 2 SHEETS.

**STONECYPHER  
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No.: LB 7810

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**COMMUNICATION TOWER SITE  
COASTAL RIDGE NXFL-352**

DRAWING #  
nexttower-coastal-ridge.survey.dwg

**NEXTOWER DEVELOPMENT GROUP II, LLC**

SCALE	1"=10'
DATE	APRIL 17, 2023
PROJECT #	22-0132

SHEET #  
2 OF 2