

MARKET REPORT
NOVEMBER 2023

FEATURED PROPERTY:
3778 PINE AVENUE, COCONUT GROVE



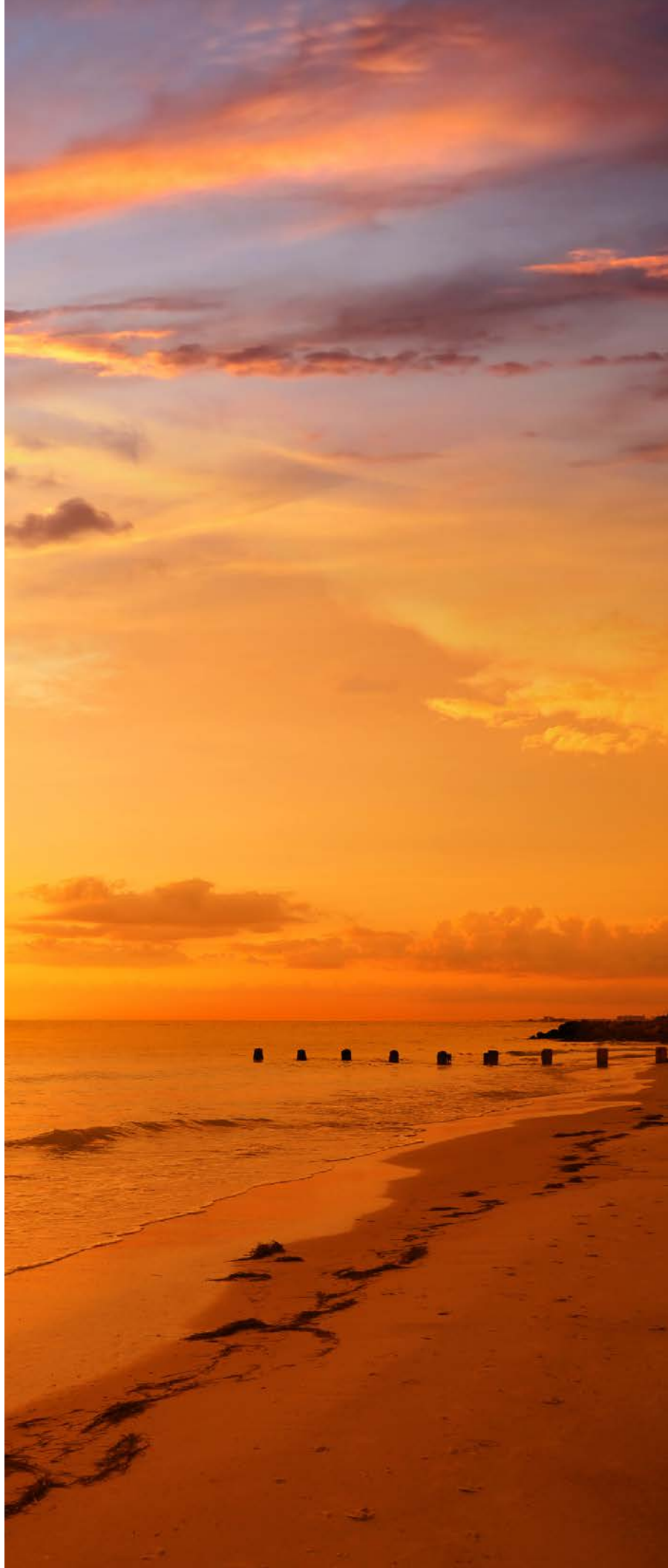
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EXCLUSIVE SALES & MARKETING BY

ONE | Sotheby's
INTERNATIONAL REALTY

MIAMI-DADE COUNTY

MARKET DATA FOR SINGLE-FAMILY HOMES, \$1,000,000+

SINGLE-FAMILY HOMES | PRICING AND SALES ON THE RISE

Home sales increased by 15% from last year, and the median price increased by 14%. Slightly more than 7% of homes sold at a premium to the list price.



\$1.8M MEDIAN SALES PRICE **↑14%**

81 AVERAGE DAYS ON MARKET **↑32%**

\$758 MEDIAN PPSF **↑16%**

1,767 ACTIVE LISTINGS **↑9%**

184 SOLD LISTINGS **↑15%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
AVENTURA	\$1,530,000	\$3,650,000	-58%	\$640	-14%	1	-75%	19
BAL HARBOUR	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
BAY HARBOR ISLANDS	\$4,300,000	\$2,825,000	52%	\$1,279	-35%	1	0%	-
COCONUT GROVE	\$3,400,000	\$1,800,000	89%	\$988	28%	10	-33%	165
CORAL GABLES	\$2,105,000	\$2,350,000	-10%	\$866	8%	26	100%	54
GOLDEN BEACH	\$29,000,000	N/A	N/A	N/A	N/A	1	N/A	-
INDIAN CREEK	\$79,000,000	N/A	N/A	\$4,144	N/A	1	N/A	134
KEY BISCAYNE	\$5,425,000	\$3,862,500	40%	\$1,420	20%	4	0%	91
MIAMI	\$1,300,000	\$1,512,500	-14%	\$595	8%	44	2%	76
MIAMI BEACH	\$5,200,000	\$5,650,000	-8%	\$1,198	22%	15	36%	136
MIAMI SHORES	\$1,387,000	\$1,275,000	9%	\$737	16%	10	25%	52
NORTH BAY VILLAGE	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
PINECREST	\$3,375,750	\$1,962,500	72%	\$848	23%	11	-31%	84
SOUTH MIAMI	\$1,350,000	\$1,187,500	14%	\$669	40%	3	-50%	52
SUNNY ISLES BEACH	\$3,737,500	N/A	N/A	\$1,389	N/A	2	N/A	250
SURFSIDE	\$1,700,000	\$1,430,000	19%	\$767	-20%	3	-25%	41

MIAMI-DADE COUNTY

MARKET DATA FOR CONDOMINIUMS, \$1,000,000+

CONDOMINIUMS | HIGHER PRICES

The median condo price increased by 9% compared with a year ago. At the same time, sales fell by 13% and homes spent 31% longer on the market prior to closing.



\$1.7M MEDIAN SALES PRICE **↑9%**

113 AVERAGE DAYS ON MARKET **↑31%**

\$932 MEDIAN PPSF **↑11%**

2,102 ACTIVE LISTINGS **↑11%**

119 SOLD LISTINGS **↓13%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
AVENTURA	\$2,204,000	\$1,400,000	57%	\$742	36%	6	-33%	115
BAL HARBOUR	\$2,875,000	\$2,350,000	22%	\$1,780	13%	4	0%	110
BAY HARBOR ISLANDS	\$2,150,000	N/A	N/A	\$1,286	N/A	1	N/A	37
BRICKELL/DOWNTOWN MIAMI/EDGEWATER	\$1,277,500	\$1,390,000	-8%	\$752	-8%	18	-22%	90
COCONUT GROVE	\$1,767,500	\$1,600,000	10%	\$771	-8%	8	0%	47
CORAL GABLES	\$1,800,000	\$1,120,000	61%	\$694	6%	3	200%	121
FISHER ISLAND	N/A	\$11,000,000	N/A	N/A	N/A	-	N/A	N/A
GOLDEN BEACH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
INDIAN CREEK	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
KEY BISCAWAYNE	\$1,425,000	\$2,125,000	-33%	\$977	2%	11	-8%	112
MIAMI	\$1,620,000	\$1,490,000	9%	\$934	14%	9	-47%	92
MIAMI BEACH	\$1,812,500	\$1,825,000	-1%	\$1,178	-2%	28	-10%	149
MIAMI SHORES	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
NORTH BAY VILLAGE	\$1,164,000	N/A	N/A	\$466	N/A	1	N/A	36
SOUTH MIAMI	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
SUNNY ISLES BEACH	\$2,122,500	\$1,347,500	58%	\$924	17%	22	0%	135
SURFSIDE	\$17,300,000	\$1,023,000	1591%	\$4,055	585%	2	100%	27

BROWARD COUNTY

MARKET DATA FOR SINGLE-FAMILY HOMES, \$1,000,000+

SINGLE-FAMILY HOMES | SALES INCREASE

The number of sales priced greater than \$1M increased by 22% from last year. Roughly 6% of homes were sold at a premium to the list price.



\$1.4M MEDIAN SALES PRICE **↑2%**

82 AVERAGE DAYS ON MARKET **↑26%**

\$468 MEDIAN PPSF **↑8%**

1,200 ACTIVE LISTINGS **↑8%**

145 SOLD LISTINGS **↑22%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT23	OCT22	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23
COOPER CITY	\$1,572,500	\$1,050,000	50%	\$409	3%	6	500%	54
CORAL SPRINGS	\$1,075,000	\$1,199,000	-10%	\$299	-7%	3	0%	51
DAVIE	\$1,550,000	\$1,639,000	-5%	\$403	15%	14	100%	95
DEERFIELD BEACH	\$1,500,000	\$1,770,000	-15%	\$760	6%	5	400%	124
FORT LAUDERDALE	\$1,510,750	\$1,836,000	-18%	\$718	7%	32	-3%	103
HALLANDALE	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
HILLSBORO BEACH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
HOLLYWOOD	\$1,350,000	\$1,200,000	13%	\$440	-8%	7	40%	132
LAUDERDALE-BY-THE-SEA	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
LIGHTHOUSE POINT	\$2,100,000	\$1,900,000	11%	\$879	38%	9	0%	106
MIRAMAR	\$1,250,000	\$1,127,495	11%	\$348	22%	3	-25%	56
PARKLAND	\$1,285,000	\$1,199,000	7%	\$377	10%	24	85%	37
PEMBROKE PINES	\$1,150,000	\$1,200,000	-4%	\$350	4%	3	50%	51
PLANTATION	\$1,200,000	\$1,895,000	-37%	\$388	-16%	5	-17%	45
POMPANO BEACH	\$2,246,250	\$1,400,000	60%	\$889	28%	8	100%	75
SOUTHWEST RANCHES	\$1,895,109	\$1,230,000	54%	\$474	-2%	5	-55%	79
SUNRISE	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
WESTON	\$1,235,000	\$1,175,000	5%	\$422	16%	15	0%	63
WILTON MANORS	\$1,712,500	\$1,475,000	16%	\$663	-1%	2	-33%	43

BROWARD COUNTY

MARKET DATA FOR CONDOMINIUMS, \$1,000,000+

CONDOMINIUMS | BUYER COMPETITION INCREASES

In Broward County, 7% of condos sold above the asking price, slightly higher than a year ago.



\$1.4M MEDIAN SALES PRICE **↓5%**

93 AVERAGE DAYS ON MARKET **↑30%**

\$765 MEDIAN PPSF **↑8%**

495 ACTIVE LISTINGS **↑38%**

28 SOLD LISTINGS **↓7%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT23	OCT22	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23
DEERFIELD BEACH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
FORT LAUDERDALE	\$1,525,000	\$1,390,000	10%	\$673	6%	20	33%	87
HALLANDALE	\$1,250,000	\$1,275,000	-2%	\$746	-1%	1	-86%	16
HILLSBORO BEACH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
HOLLYWOOD	\$1,227,500	\$3,217,500	-62%	\$927	-12%	4	100%	149
LAUDERDALE-BY-THE-SEA	\$2,510,000	\$1,830,000	37%	\$976	26%	1	-80%	17
LIGHTHOUSE POINT	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
POMPANO BEACH	\$1,437,500	\$2,040,000	-30%	\$951	-12%	2	100%	120
WILTON MANORS	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A

PALM BEACH COUNTY

MARKET DATA FOR SINGLE-FAMILY HOMES, \$1,000,000+

SINGLE-FAMILY HOMES | SALES AND INVENTORY INCREASE

The volume of sales increased by 12% compared with last year, and 8% of those sales sold above the asking price. The number of for-sale listings increased by 23%.



\$1.5M MEDIAN SALES PRICE **↓9%**

72 AVERAGE DAYS ON MARKET **↑64%**

\$497 MEDIAN PPSF **↓4%**

1,788 ACTIVE LISTINGS **↑23%**

227 SOLD LISTINGS **↑12%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT23	OCT22	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23
BOCA RATON	\$1,580,000	\$1,469,500	8%	\$483	-5%	72	38%	69
BOYNTON BEACH	\$1,295,000	\$1,312,500	-1%	\$498	33%	14	17%	37
DELRAY BEACH	\$1,900,000	\$1,757,500	8%	\$486	-16%	29	-9%	45
HIGHLAND BEACH	\$30,000,000	N/A	N/A	\$3,313	N/A	1	N/A	1,671
JUNO BEACH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
JUPITER	\$1,590,000	\$1,374,500	16%	\$567	-2%	30	36%	76
JUPITER INLET COLONY	\$3,450,000	\$15,000,000	-77%	\$1,113	-53%	1	0%	308
LAKE PARK	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
LAKE WORTH	\$1,820,000	\$1,220,000	49%	\$593	15%	1	-67%	54
LANTANA	N/A	\$4,600,000	N/A	N/A	N/A	-	N/A	N/A
NORTH PALM BEACH	\$1,230,000	\$1,790,000	-31%	\$511	-32%	5	150%	19
MANALAPAN	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
PALM BEACH	\$6,045,545	\$6,700,000	-10%	\$2,163	-8%	3	200%	134
PALM BEACH GARDENS	\$1,385,000	\$1,950,000	-29%	\$430	-18%	31	0%	54
SINGER ISLAND	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
TEQUESTA	\$7,200,000	\$12,475,000	-42%	\$973	-42%	1	-50%	-
WELLINGTON	\$1,780,000	\$1,800,000	-1%	\$391	-7%	15	-25%	83
WEST PALM BEACH	\$1,440,000	\$1,281,000	12%	\$559	-14%	16	7%	73

PALM BEACH COUNTY

MARKET DATA FOR CONDOMINIUMS, \$1,000,000+

CONDOMINIUMS | CONDO SALES SURGE

Compared with last October, sales volume increased by 73%. The median condo price increased by 10% from last year and was the highest price in the region.



\$1.9M MEDIAN SALES PRICE **↑10%**

65 AVERAGE DAYS ON MARKET **↑5%**

\$872 MEDIAN PPSF **↑2%**

592 ACTIVE LISTINGS **↑38%**

69 SOLD LISTINGS **↑73%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT23	OCT22	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23	YOY% CHANGE	OCT23
BOCA RATON	\$2,062,500	\$1,460,000	41%	\$795	8%	12	-20%	41
BOYNTON BEACH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
DELRAY BEACH	\$1,675,000	\$1,375,000	22%	\$901	6%	5	67%	66
HIGHLAND BEACH	\$1,105,000	\$1,550,000	-29%	\$722	-15%	4	33%	34
JUNO BEACH	\$1,200,000	\$1,375,000	-13%	\$676	-4%	3	50%	129
JUPITER	\$1,650,000	\$1,827,000	-10%	\$845	-6%	5	0%	63
JUPITER INLET COLONY	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
LAKE PARK	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
LAKE WORTH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
LANTANA	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
NORTH PALM BEACH	\$1,612,500	\$1,800,000	-10%	\$725	-30%	2	100%	224
MANALAPAN	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
PALM BEACH	\$2,865,000	\$2,200,000	30%	\$1,359	-17%	6	20%	107
PALM BEACH GARDENS	\$2,075,000	\$3,500,000	-41%	\$821	-24%	3	200%	226
SINGER ISLAND	\$2,350,000	\$2,362,500	-1%	\$945	36%	7	250%	66
TEQUESTA	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
WELLINGTON	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
WEST PALM BEACH	\$2,050,000	\$2,000,000	2%	\$1,000	-10%	17	467%	21

MARTIN COUNTY

MARKET DATA FOR SINGLE-FAMILY HOMES, \$500,000+

SINGLE-FAMILY HOMES | MORE SALES, STABLE PRICING

Transactions increased by 14% in Martin County, while the median price was unchanged from last year.



\$ 725K MEDIAN SALES PRICE **0%**

60 AVERAGE DAYS ON MARKET **↑57%**

\$ 330 MEDIAN PPSF **↑5%**

182 ACTIVE LISTINGS **↑13%**

49 SOLD LISTINGS **↑14%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
HOBE SOUND	\$595,000	\$ NA	NA	\$289	NA	5	NA	43
HUTCHINSON ISLAND	N/A	\$9,000,000	N/A	N/A	N/A	-	N/A	N/A
JENSEN BEACH	\$700,000	\$696,050	1%	\$304	-10%	3	-25%	19
JUPITER ISLAND	\$4,600,000	\$29,000,000	-84%	\$1,197	-65%	1	0%	25
PALM CITY	\$862,500	\$747,500	15%	\$328	12%	40	82%	39
SEWALL'S POINT	\$1,620,000	\$2,587,500	-37%	\$475	-23%	3	50%	2
STUART	\$757,000	\$678,500	12%	\$326	2%	18	0%	67

MARTIN COUNTY

MARKET DATA FOR CONDOMINIUMS, \$500,000+

CONDOMINIUMS | PRICING FALLS

The median condo price fell by 9%, and fewer sales were recorded in October than a year ago. The number of units for sale increased.



\$535K MEDIAN SALES PRICE **↓9%**

76 AVERAGE DAYS ON MARKET **↑18%**

\$534 MEDIAN PPSF **↑28%**

39 ACTIVE LISTINGS **↑30%**

5 SOLD LISTINGS **↓29%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
HOBE SOUND	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
HUTCHINSON ISLAND	\$535,000	\$602,500	-11%	\$547	28%	3	-50%	82
JENSEN BEACH	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
JUPITER ISLAND	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
PALM CITY	N/A	N/A	N/A	N/A	N/A	-	N/A	81
SEWALL'S POINT	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
STUART	N/A	\$580,000	N/A	N/A	N/A	-	N/A	N/A

INDIAN RIVER COUNTY

MARKET DATA FOR SINGLE-FAMILY HOMES, \$500,000+

SINGLE-FAMILY HOMES | STRONG PRICE APPRECIATION

The median price increased by 19% compared with last year, while sales volume ticked up modestly.



\$ 775K MEDIAN SALES PRICE **↑19%**

98 AVERAGE DAYS ON MARKET **↑60%**

\$ 322 MEDIAN PPSF **↑10%**

482 ACTIVE LISTINGS **↑40%**

47 SOLD LISTINGS **↑4%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
BARRIER ISLAND	\$550,000	N/A	N/A	\$349	N/A	1	N/A	14
MAINLAND VERO BEACH	\$1,200,000	\$1,650,000	-27%	\$478	2%	17	31%	136
SEBASTIAN/FELLSMERE	\$622,500	\$592,450	5%	\$283	9%	18	-18%	78

INDIAN RIVER COUNTY

MARKET DATA FOR CONDOMINIUMS, \$500,000+

CONDOMINIUMS | BUYER ACTIVITY INCREASES

Condo sales increased by 57% from last year, while the number of listings increased by a similar percentage. The median price also increased by roughly 9% from one year ago.



\$ 968K MEDIAN SALES PRICE **↑9%**

92 AVERAGE DAYS ON MARKET **↑55%**

\$ 550 MEDIAN PPSF **↑16%**

120 ACTIVE LISTINGS **↑58%**

22 SOLD LISTINGS **↑57%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
BARRIER ISLAND	\$1,437,500	\$890,000	62%	\$698	47%	12	20%	78
MAINLAND VERO BEACH	\$717,500	\$549,000	31%	\$309	0%	5	67%	164
SEBASTIAN/FELLSMERE	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A

BREVARD COUNTY

MARKET DATA FOR SINGLE-FAMILY HOMES, \$500,000+

SINGLE-FAMILY HOMES | TIME ON MARKET INCREASES

The average time on market increased substantially this month, though Brevard homes sell, on average, in the shortest amount of time in Southeast Florida.



\$ 670K MEDIAN SALES PRICE **↑7%**

42 AVERAGE DAYS ON MARKET **↑38%**

\$ 293 MEDIAN PPSF **↑9%**

657 ACTIVE LISTINGS **↑25%**

158 SOLD LISTINGS **↓3%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
COCOA	\$555,000	\$625,000	-11%	\$229	-6%	4	0%	40
COCOA BEACH	\$797,500	\$750,000	6%	\$482	-3%	8	167%	77
GRANT	\$1,316,325	\$675,000	95%	\$536	87%	3	-40%	45
INDIALANTIC	\$784,000	\$688,113	14%	\$325	-4%	5	25%	74
MALABAR	\$570,000	\$555,000	3%	\$258	-10%	1	-67%	97
MELBOURNE	\$667,522	\$632,500	6%	\$275	6%	52	-12%	28
MELBOURNE BEACH	\$722,500	\$800,000	-10%	\$444	21%	10	43%	37
MERRITT ISLAND	\$656,000	\$659,900	-1%	\$285	9%	24	-17%	39
MIMS	\$670,000	\$600,000	12%	\$264	16%	2	-60%	110
PALM BAY	\$670,000	\$505,000	33%	\$245	16%	9	80%	52
ROCKLEDGE	\$647,500	\$571,250	13%	\$261	-6%	6	50%	96
SATELLITE BEACH & INDIAN HARBOUR BEACH	\$663,450	\$644,000	3%	\$346	0%	24	9%	33
TITUSVILLE	\$565,200	\$578,500	-2%	\$179	-25%	2	-75%	90
WEST MELBOURNE	\$690,000	\$570,000	21%	\$204	-2%	5	25%	27

BREVARD COUNTY

MARKET DATA FOR CONDOMINIUMS, \$500,000+

CONDOMINIUMS | SALES ON THE RISE

The number of condos sold increased by 39% compared with last month, one of the largest jumps in the region.



\$ 719K MEDIAN SALES PRICE **↓1%**

55 AVERAGE DAYS ON MARKET **↓13%**

\$ 423 MEDIAN PPSF **↑2%**

197 ACTIVE LISTINGS **↑47%**

32 SOLD LISTINGS **↑39%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
COCOA	\$721,250	N/A	N/A	\$270	N/A	4	N/A	95
COCOA BEACH	\$725,000	\$799,950	-9%	\$390	5%	10	43%	40
GRANT	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
INDIALANTIC	\$693,000	\$607,500	14%	\$440	-8%	5	150%	43
MALABAR	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
MELBOURNE	N/A	\$728,750	N/A	N/A	N/A	-	N/A	N/A
MELBOURNE BEACH	\$1,036,950	\$855,000	21%	\$524	39%	4	100%	92
MERRITT ISLAND	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
PALM BAY	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
ROCKLEDGE	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A
SATELLITE BEACH & INDIAN HARBOUR BEACH	\$594,450	\$722,500	-18%	\$408	-3%	8	33%	37
TITUSVILLE	\$575,000	\$536,950	7%	\$329	18%	1	-50%	121
WEST MELBOURNE	N/A	N/A	N/A	N/A	N/A	-	N/A	N/A

FLAGLER COUNTY

MARKET DATA FOR RESIDENTIAL PROPERTIES, \$500,000+

ALL RESIDENTIAL | BUYER COMPETITION SLOWS

The share of homes sold at a premium to the asking price fell 5%, the lowest share in the region, after Flagler County led the region last month.



\$655K MEDIAN SALES PRICE **↓7%**

72 AVERAGE DAYS ON MARKET **↑39%**

\$294 MEDIAN PPSF **↓14%**

127 ACTIVE LISTINGS **↑20%**

78 SOLD LISTINGS **↓3%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
BUNNELL	\$545,000	\$785,000	-31%	\$190	-21%	1	0%	15
FLAGLER BEACH	\$755,000	\$750,000	1%	\$301	-32%	11	0%	122
PALM COAST	\$650,000	\$738,750	-12%	\$270	-19%	33	-8%	70

ST. JOHNS COUNTY

MARKET DATA FOR RESIDENTIAL PROPERTIES, \$500,000+

ALL RESIDENTIAL | SALES DECREASE

Total sales dropped by 14% from October of last year while for-sale listings increased. The median price barely changed.



\$ 698K MEDIAN SALES PRICE **↓1%**

66 AVERAGE DAYS ON MARKET **↑26%**

\$ 279 MEDIAN PPSF **↓2%**

339 ACTIVE LISTINGS **↑19%**

322 SOLD LISTINGS **↓14%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
JULINGTON CREEK AREA	\$642,500	\$657,500	-2%	\$240	-1%	48	-17%	77
NOCATEE	\$881,260	\$717,500	23%	\$317	5%	46	-15%	53
PONTE VEDRA BEACH	\$1,491,000	\$1,175,750	27%	\$470	14%	35	-17%	79
SOUTHEAST ST JOHNS COUNTY	\$575,000	\$732,500	-22%	\$431	12%	19	58%	42
ST AUGUSTINE BEACHES/ANASTASIA ISLAND	\$582,750	\$687,450	-15%	\$387	20%	6	-25%	46
ST JOHNS	\$645,000	\$593,931	9%	\$254	3%	51	-7%	83
SOUTHWEST ST JOHNS COUNTY	\$537,500	\$560,000	-4%	\$207	7%	6	20%	151
ST AUGUSTINE/VILANO BEACH	\$715,000	\$730,000	-2%	\$272	-14%	15	-40%	55
WORLD GOLF VILLAGE AREA/PALENCIA	\$650,000	\$645,000	1%	\$227	-4%	37	6%	55

CLAY COUNTY

MARKET DATA FOR RESIDENTIAL PROPERTIES, \$500,000+

ALL RESIDENTIAL | HOMES SELLING FAST

The average days on market increased, but at 53 days, it was the lowest in the region. The median price increased by 3%, the largest increase in northeast Florida.



\$580K MEDIAN SALES PRICE **↑3%**

53 AVERAGE DAYS ON MARKET **↑34%**

\$214 MEDIAN PPSF **↑8%**

64 ACTIVE LISTINGS **↑14%**

38 SOLD LISTINGS **↑9%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
FLEMING ISLAND	\$559,000	\$574,950	-3%	\$235	16%	9	-25%	41
GREEN COVE SPRINGS	\$575,000	\$582,500	-1%	\$245	10%	7	75%	79
MIDDLEBURG/KEYSTONE	\$646,000	\$546,315	18%	\$203	-4%	7	-13%	50
ORANGE PARK	\$535,950	\$607,500	-12%	\$209	18%	4	0%	67
OAKLEAF PLANTATION	\$699,000	\$610,000	15%	\$171	-11%	5	0%	39

DUVAL COUNTY

MARKET DATA FOR RESIDENTIAL PROPERTIES, \$500,000+

ALL RESIDENTIAL | ACTIVE LISTINGS DECREASE

The number of homes listed for sale decreased by 6%, the only county in the region where inventory decreased from last year.



\$ 675K MEDIAN SALES PRICE **↓3%**

54 AVERAGE DAYS ON MARKET **↑3%**

\$ 295 MEDIAN PPSF **↑3%**

206 ACTIVE LISTINGS **↓6%**

179 SOLD LISTINGS **↑3%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
ARLINGTON/FORT CAROLINE	\$760,000	\$675,000	13%	\$225	-4%	8	60%	72
AVONDALE/RIVERSIDE/ORTEGA	\$630,000	\$674,925	-7%	\$327	-2%	15	25%	58
BARTRAM	N/A	\$525,000	N/A	N/A	N/A	-	N/A	N/A
BEACHES	\$793,250	\$762,000	4%	\$456	11%	36	-14%	46
BEAUCLERC/MANDARIN	\$597,500	\$590,000	1%	\$223	3%	16	33%	60
DOWNTOWN JACKSONVILLE	N/A	\$591,000	N/A	N/A	N/A	-	N/A	N/A
INTRACOASTAL	\$750,000	\$831,048	-10%	\$295	4%	49	-9%	48
NOCATEE (DUVAL)	\$537,242	\$558,995	-4%	\$238	3%	3	-50%	48
NORTH JACKSONVILLE	\$545,000	\$685,000	-20%	\$221	8%	5	-62%	113
SAN MARCO/SAN JOSE	\$714,650	\$631,668	13%	\$358	30%	12	20%	43
SOUTHSIDE	\$557,500	\$580,000	-4%	\$243	24%	18	100%	57
WEST JACKSONVILLE	\$543,750	\$725,000	-25%	\$177	-2%	4	300%	74

NASSAU COUNTY

MARKET DATA FOR RESIDENTIAL PROPERTIES, \$500,000+

ALL RESIDENTIAL | HIGHEST MEDIAN PRICE IN THE REGION

The median price increased slightly, by 2%, compared with last year.
For-sale listings increased by 37%, the largest amount in Northeast Florida.



\$ 758K MEDIAN SALES PRICE **↑2%**

63 AVERAGE DAYS ON MARKET **↑18%**

\$ 332 MEDIAN PPSF **↑6%**

178 ACTIVE LISTINGS **↑37%**

96 SOLD LISTINGS **↓17%**

*ALL PERCENTAGES REFLECT YEAR OVER YEAR CHANGE.

Neighborhood Snapshots

	MEDIAN SALES PRICE			MEDIAN PRICE PER SF		CLOSED SALES		AVERAGE DAYS ON MARKET
	OCT 23	OCT 22	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23	YOY% CHANGE	OCT 23
AMELIA ISLAND/FERNANDINA BEACH	\$815,931	\$775,000	5%	\$362	2%	50	-24%	62
YULEE/WILDLIGHT	\$704,599	\$636,833	11%	\$299	-4%	3	50%	35



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