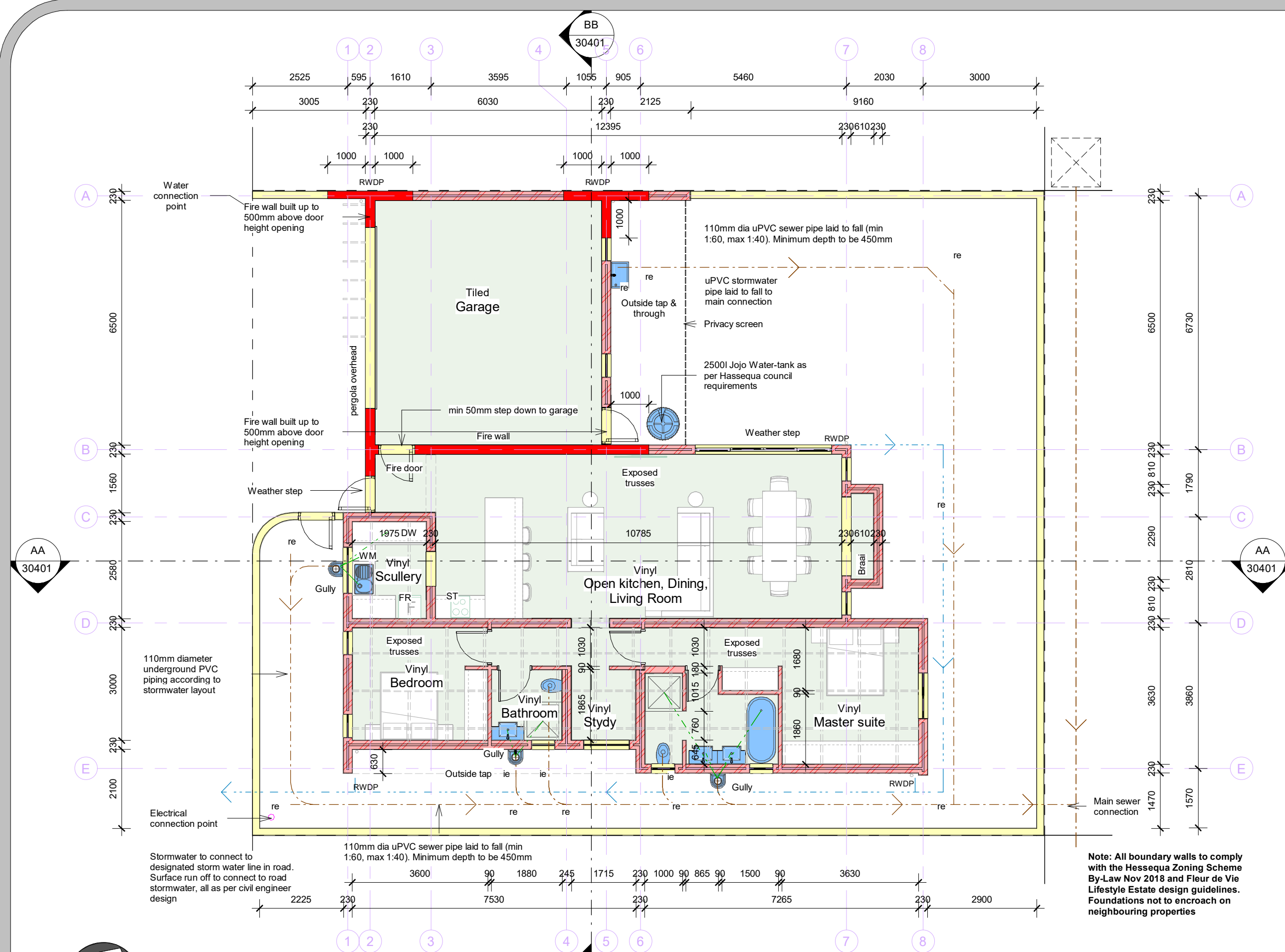
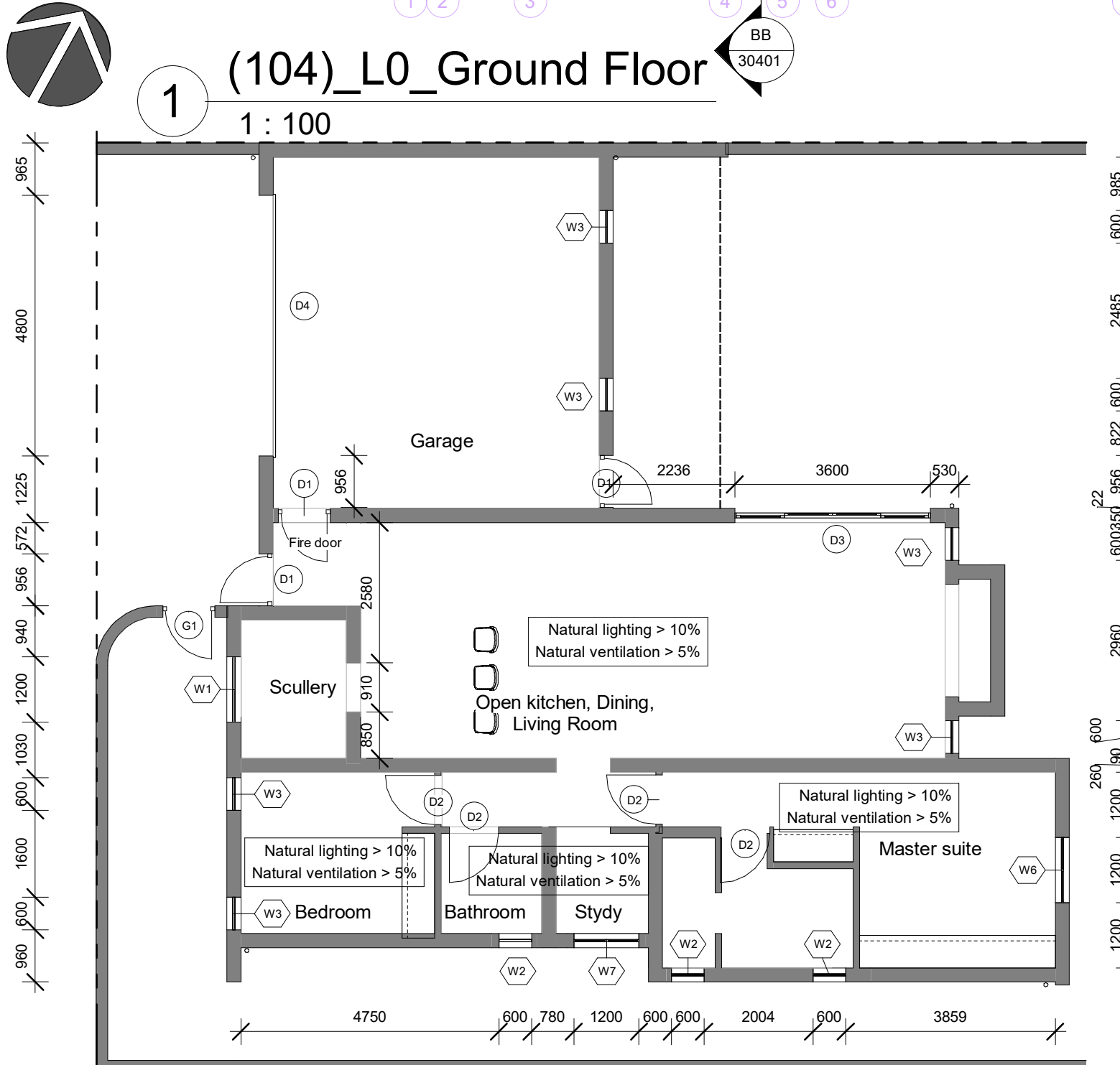
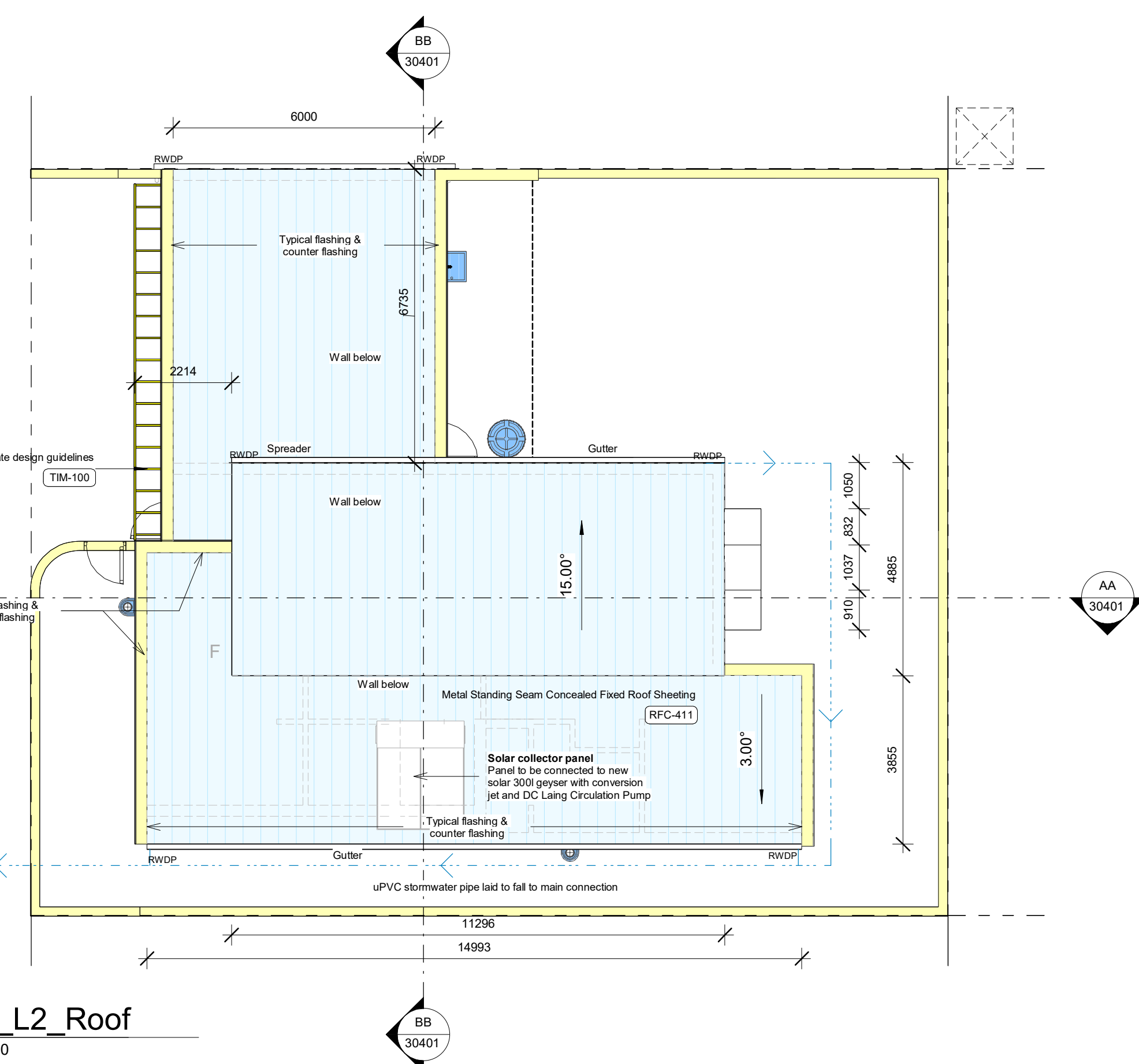
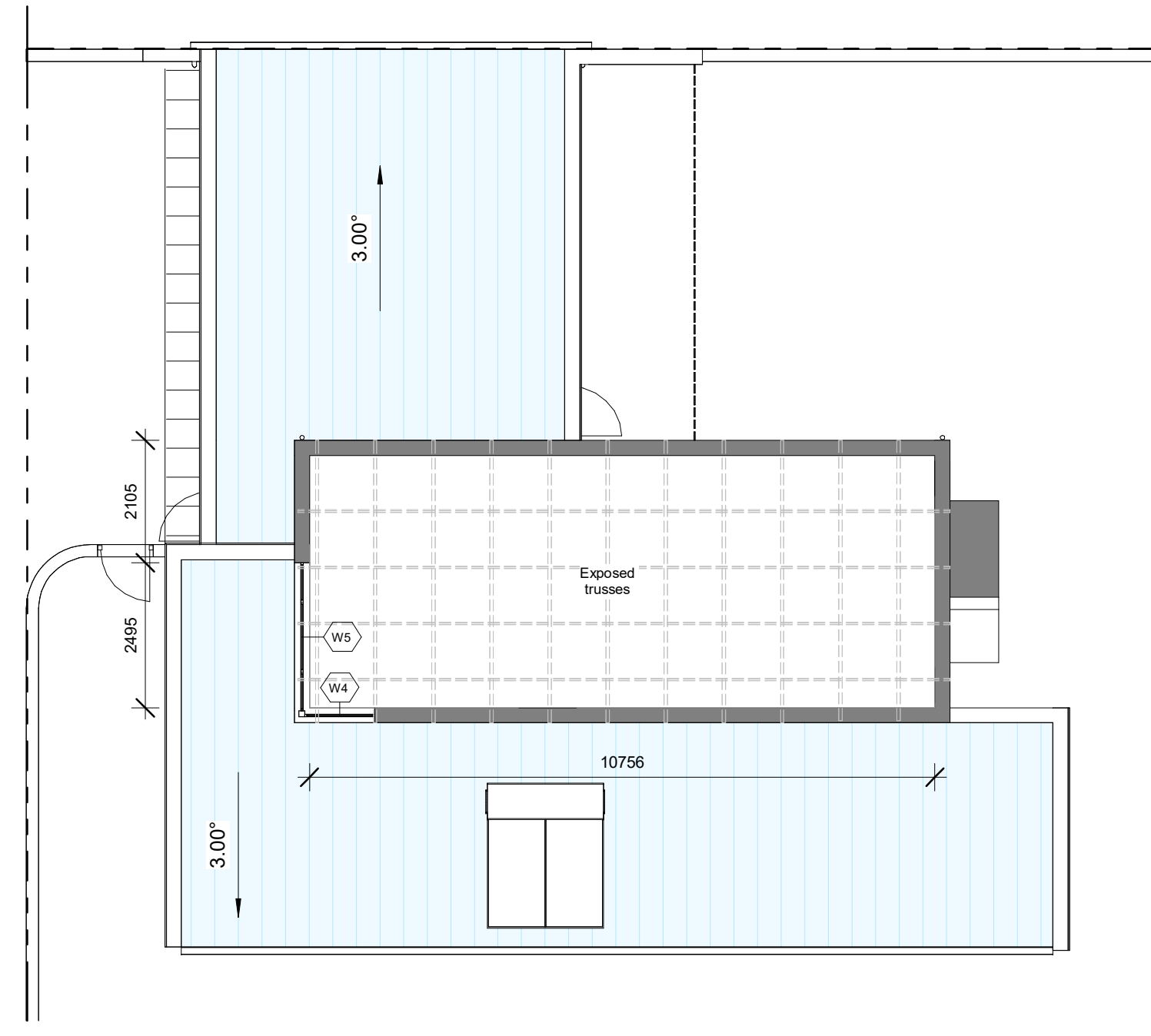




2 (104)_L2_Roof
scale 1 : 100



3 (525)_L0_Ground Floor - Window & Door Reference Plan
scale 1 : 100



4 (525)_L0_Clerestory - Window & Door Reference Plan
scale 1 : 100

W1 Lintel Safety glass height requirement TOC Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass	W2 Lintel Safety glass height requirement TOC Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: 6.38mm LSG	W3 Lintel Safety glass height requirement TOC Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: 6.38mm LSG
W4 Lintel TOC beam Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass	W5 Lintel TOC beam Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass	W6 Lintel Safety glass height requirement TOC Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: 6.38mm LSG
W7 Lintel TOC Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass	G1 T/O ngl Description: Standard garden gate as per architect guidelines Finish: As per architectural guidelines Glass: N/A	

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LEGAL REQUIREMENTS
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ALL TIMBER SIZES & GRADES TO BE VERIFIED & APPROVED BY SUPPLIER'S ENGINEER
ALL TRUSSES TO BE IN ACCORDANCE WITH SUPPLIER'S / ENGINEER'S DESIGN & APPROVAL BY CLIENT
ALL MATERIALS TO BE BUILT IN / APPLIED STRICTLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS
ALL LOCAL AUTHORITY, UTILITY SERVICE PROVIDER REQUIREMENTS TO BE ESTABLISHED IN ADVANCE AND ADHERED TO
ALL BOUNDARY PEGS TO BE LOCATED, AND MARKED, BEFORE WORK IS TAKEN IN HAND
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ANY ASPECT DEEMED TO BE UNCLEAR TO BE REFERRED TO THE ARCHITECT FOR CLARITY
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STAGE 4.1: MUNICIPAL SUBMISSION

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No.	Description	Date	By	To
1	Council Submission	20.04.2026	CvdS	J.N

PROFESSIONAL ARCHITECT
CHRISTIAAN LAMPRECHT VAN DER SPUY
12:59 PM (Africa/Johannesburg) on 18 Mar 2025

Zoning classification:
Occupation classification: H4
Developer/Development:

Fleur de Vie LIFESTYLE ESTATE

Client : Jaco Niemand
Kiewiet Enterprises (Pty) Ltd

KIEWIET ENTERPRISES

Client Represent: C. L. van der Spuy
Date : 2026.04.20
Client signature:

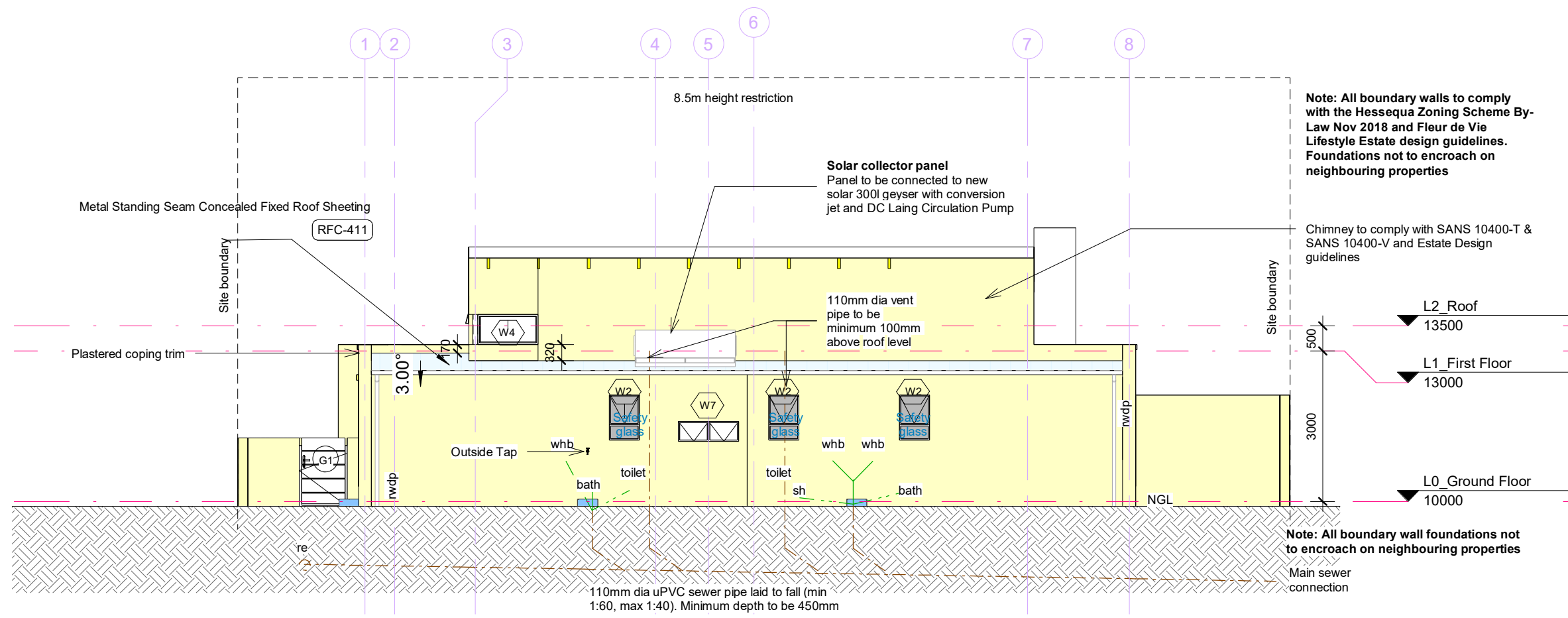
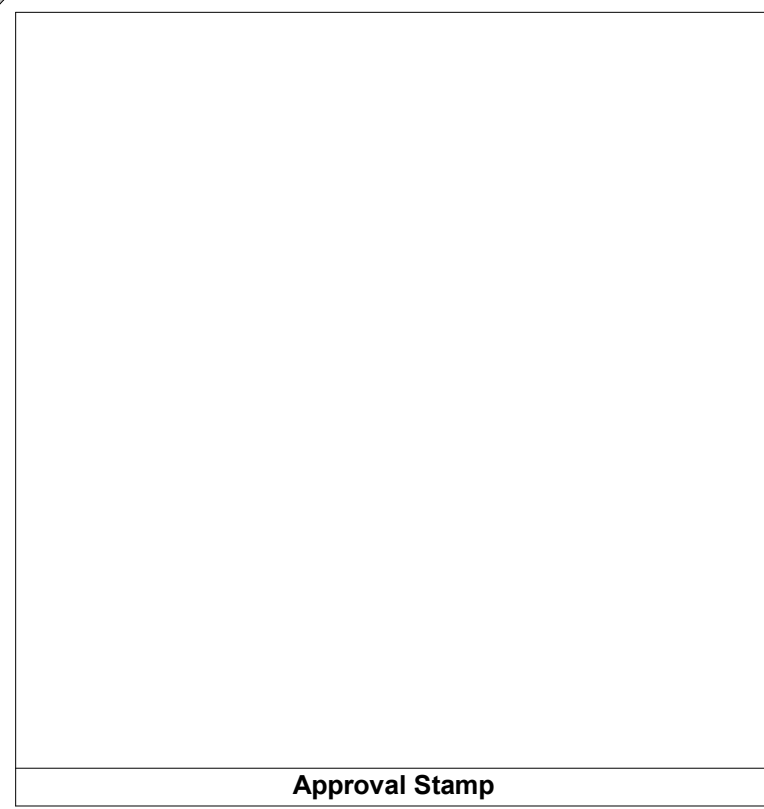
Design Architect:

christiaan van der spuy architects
Tel +27 84 903 1590 | christiaan@cosarchitect.co.za

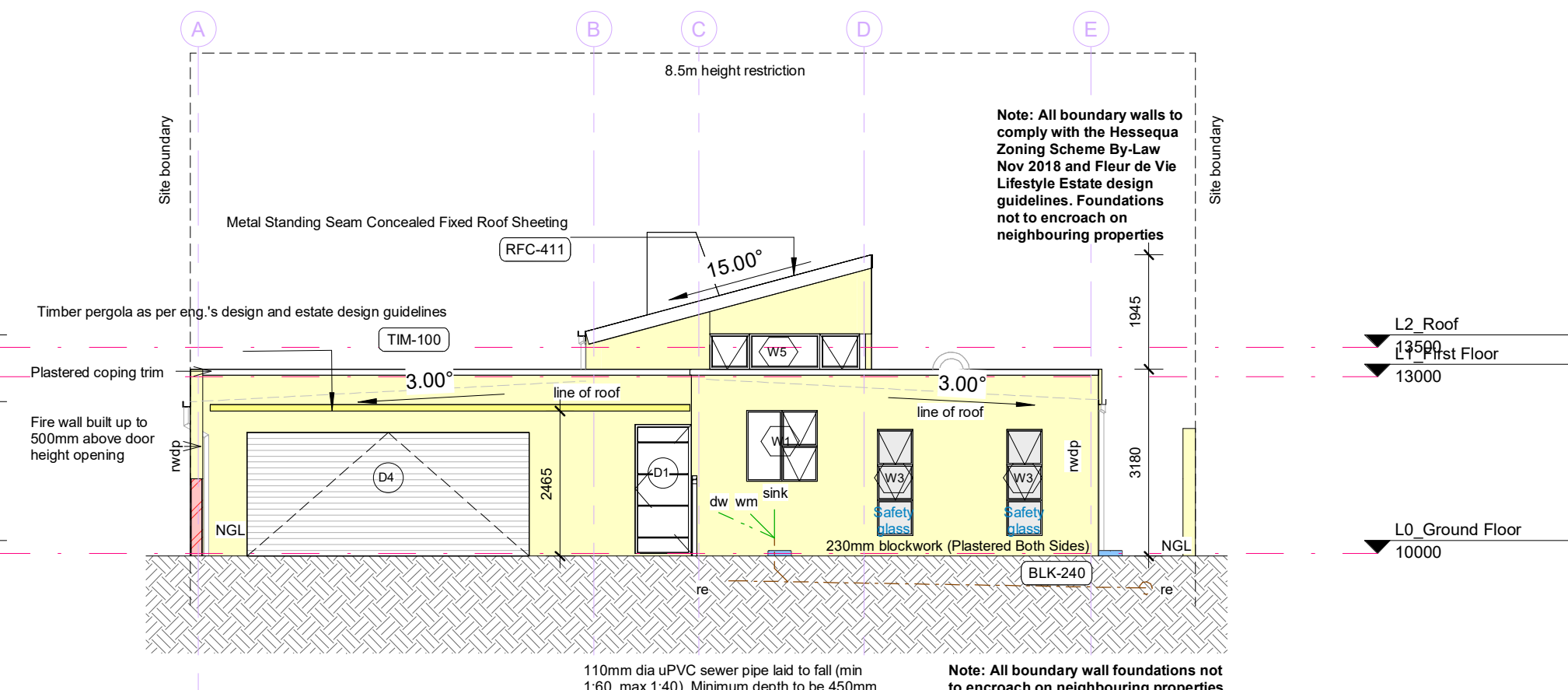
Professional: C. L. van der Spuy
SACAP no.: PrArch 24751167
Architect signature:

Project:
New dwelling house on Stand 63, Fleur de Vie Lifestyle Estate, Stillbay West

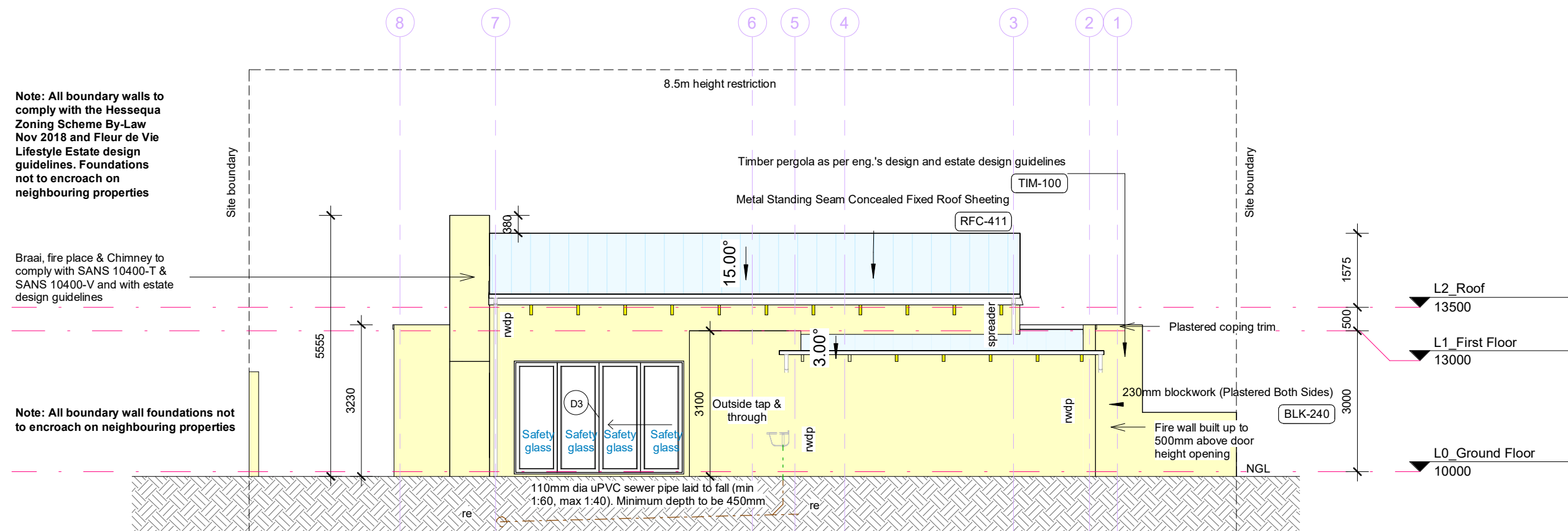
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DATE: 20.04.2026	DRAWN: LOF	PAPER SIZE: A1	
SCALE: As indicated	CHECKED: CvdS		
PROJECT: A037	DRAWING NO: 10401	REVISION: 1	



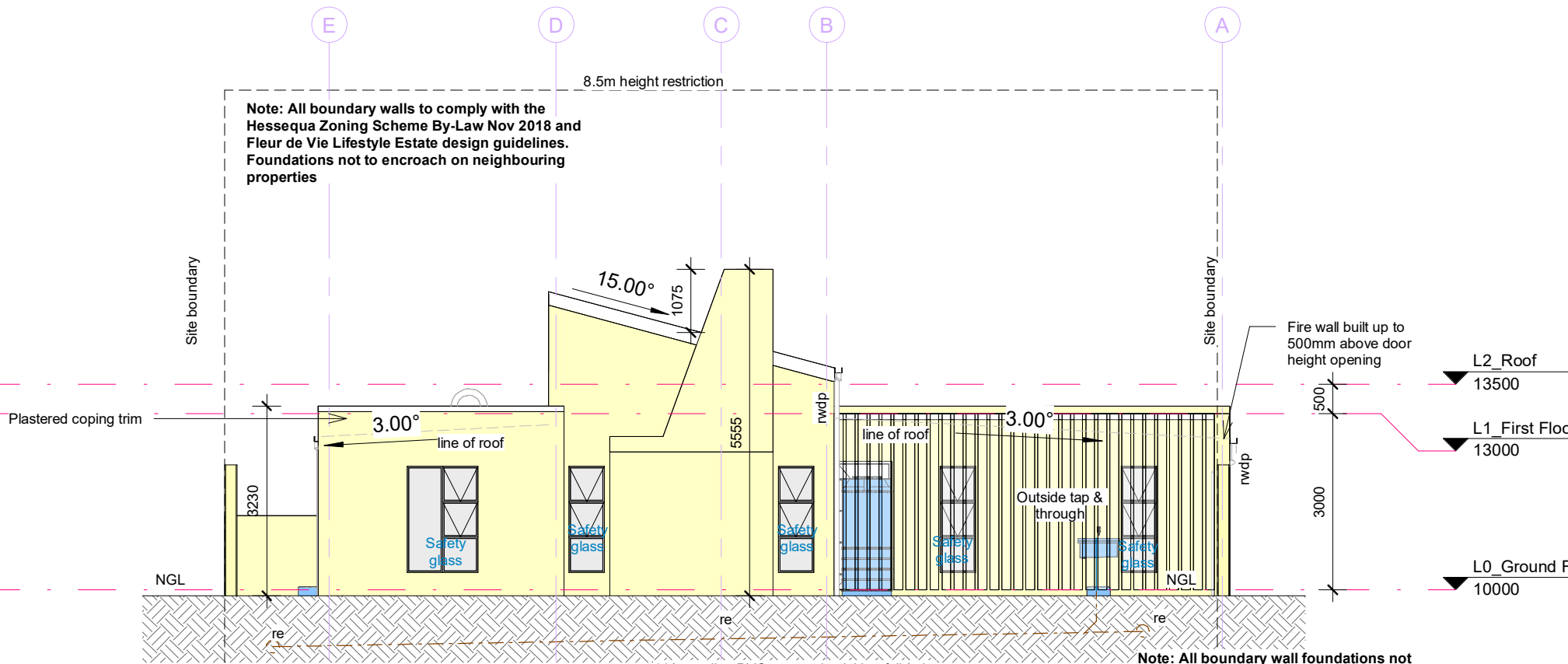
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scale 1 : 100



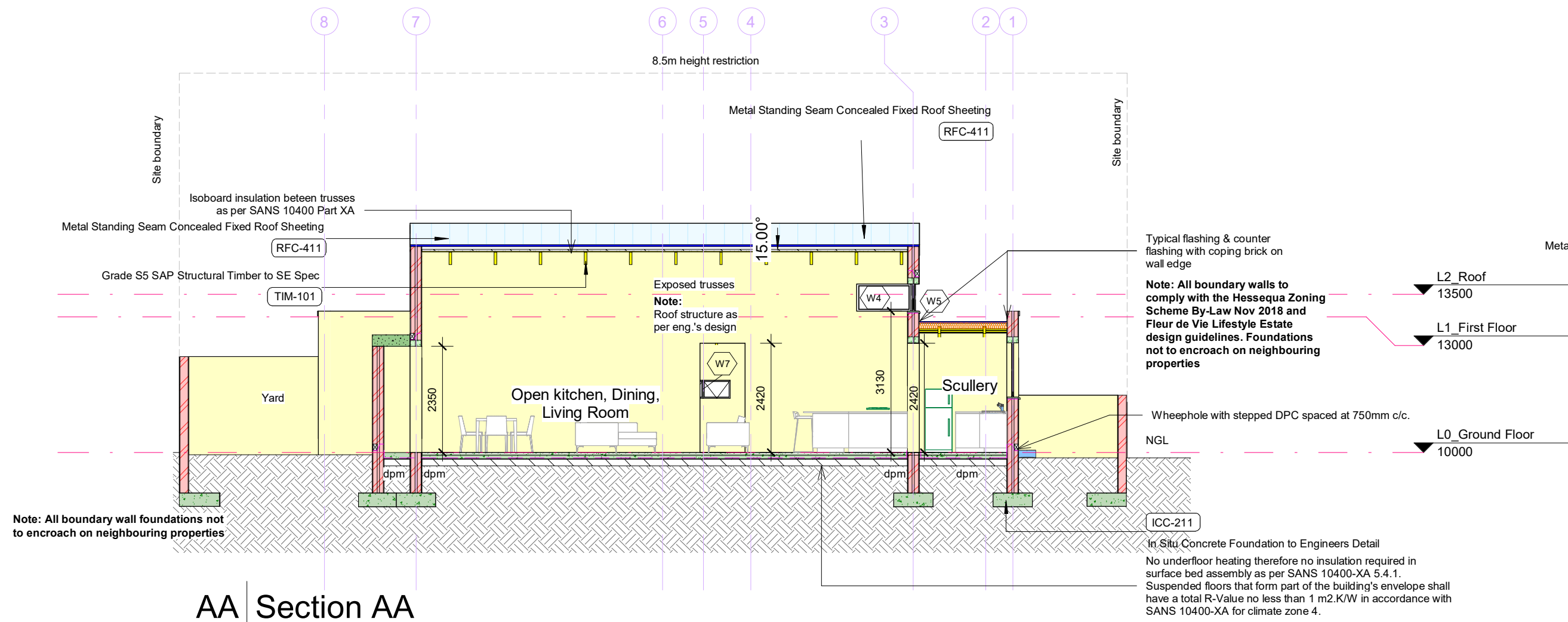
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scale 1 : 100



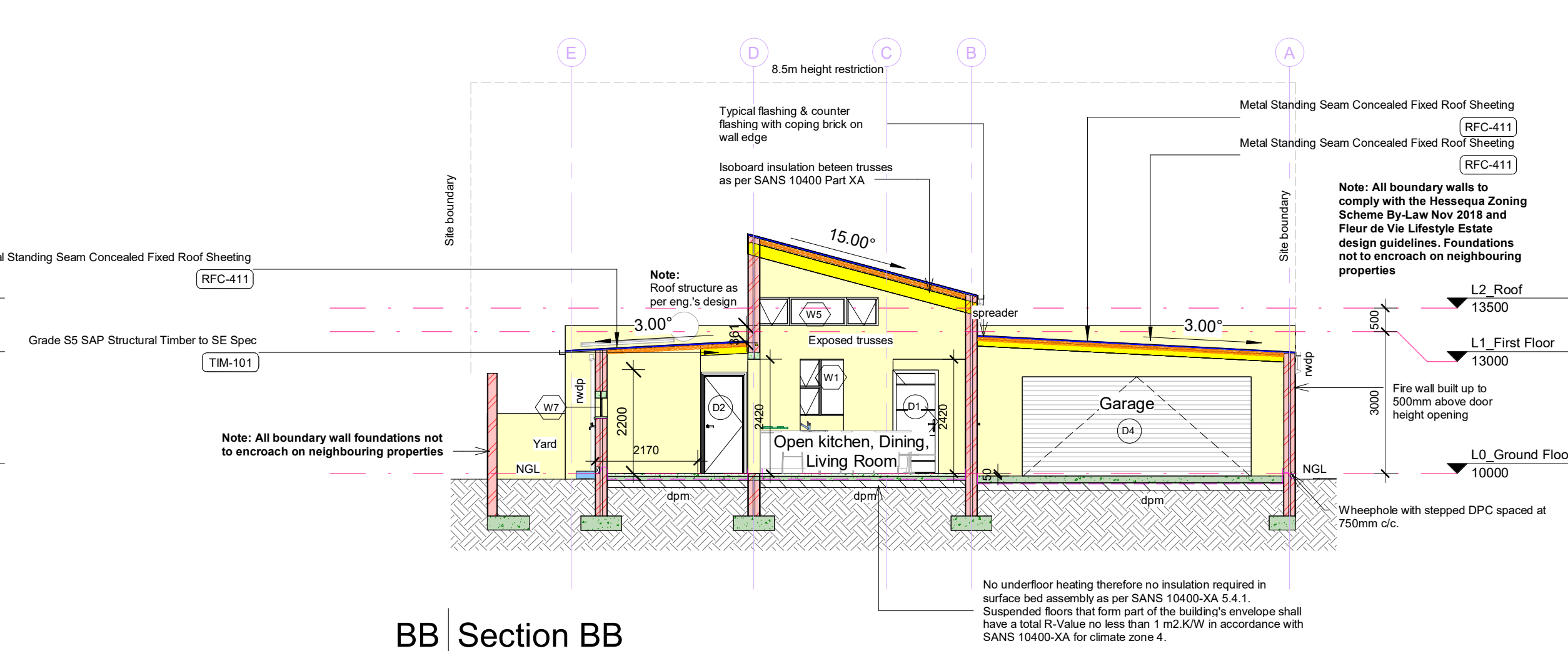
3 North West Elevation
scale 1 : 100



4 North East Elevation
scale 1 : 100



AA Section AA
scale 1 : 100



BB Section BB
scale 1 : 100

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REVISIONS

No.	Description	Date	By	To
1	Council Submission	20.04.2026	CvdS	J.N



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Occupation classification: H4

Developer/Development:



Client : Jaco Niemand
Kiewiet Enterprises (Pty) Ltd



Client Represent: C. L. van der Spuy

Date : 2026.04.20

Client signature:

Design Architect:



christiaan
van der spuy
architects

Tel +27 84 903 1590 | christiaan@csarchitect.co.za

Professional: C. L. van der Spuy

SACAP no.: PrArch 24751167

Architect signature:



Project:

**New dwelling house on Stand 63,
Fleur de Vie Lifestyle Estate, Stillbay
West**

Drawing:

Elevations & Sections

DATE	20.04.2026	DRAWN	LOF	PAPER SIZE
SCALE	1 : 100	CHECKED	CvdS	A1
PROJECT	A037	DRAWING NO.	30401	REVISION
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