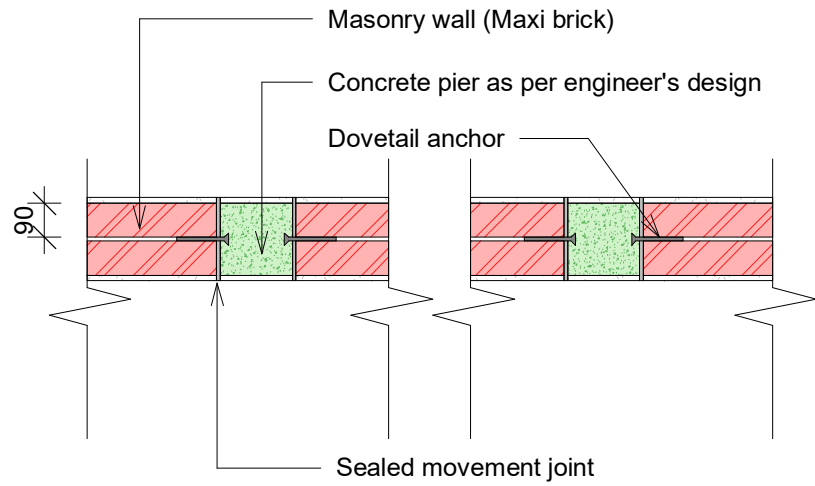


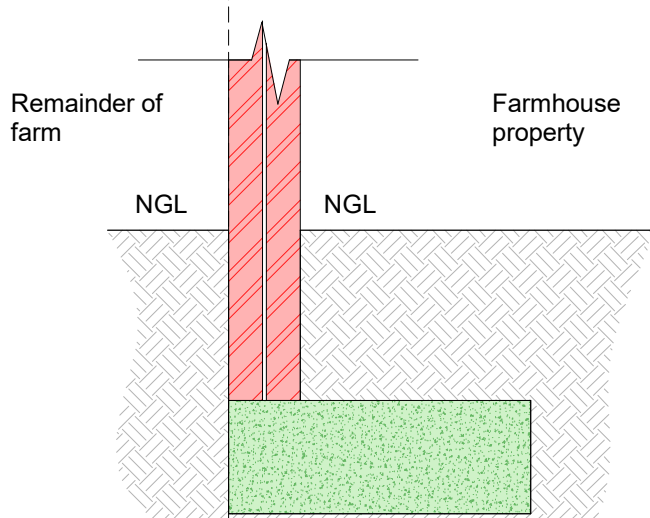
Approval Stamp

HOA Approval Stamp



Note:
Boundary wall foundation to align with outer wall face as indicated on section

Plan



Section

Boundary Wall Detail

scale 1 : 20

CONSTRUCTION NOTES:

Only applicable where deemed necessary to the material and construction detail.
All discrepancies to be listed and indicated, in writing, to the architect / designer prior to commencement of works.

AUTHORITIES:

Main Contractor and Sub Contractors to ensure that all work is done in strict accordance with the latest regulations and requirements of related authorities including:
(a) National Building Regulations (NBR)
(b) South African National Standards (SANS)
(c) Local Municipal Authority (By-laws)
(d) CSIR - "Technical Guide to Good House Construction"
(e) National House Building Registration Council (NHBC)
(f) Estate Architectural Guidelines & Regulations
(g) All other relevant Authorities

GENERAL

Quality of materials and workmanship to comply with the latest relevant Codes & Specifications of SABS and the minimum standards of Standard Preliminaries (JBCC) and the Model Preambles for Trades (ASASQ 2008) and where applicable Project Specifications and/or Bill of Quantities.
This drawing to be read in conjunction with other Project Drawings, Construction Documents and Principal Building Contract / Agreement documents if applicable. Contractors must view the site and works to allow for everything necessary to complete the works. Contractor(s) to check the details on this drawing for compliance with standards of good building practice with particular reference as per Clause "Authorities" and report any discrepancies in writing to the Architect / Designer. No setting out is to commence before the site boundary pegs position are verified and pointed out by the Land Surveyor. The Contractor to ensure that the correct setting out, including that which is from the boundary and building lines is done prior to commencement of ANY work.
The Contractor to verify all Local Council, Eskom and Telkom (and all other utility providers) services and existing work(s) which is the responsibility of the Contractor. The Contractor to verify all levels, heights and dimensions on site and check the same against drawings before any work commences. Any errors, discrepancies or omissions as well as queries are to be immediately reported to the Architect / Designer for clarification before any work is taken in hand.

ENGINEERING & STRUCTURAL

All structural and concrete works to be designed by a structural engineer, appointed by the Client. The engineer to specify all foundations, footings, retaining walls, masonry brick walls, columns, piers, concrete slabs, beams, and structural steel work.
All foundations specified on drawings to be verified by engineer. Provision to be made for reinforcement where the soil conditions require stability.
All structural items to be inspected by, and have passed inspection by the engineer, prior to closing up of the work.

HEALTH & SAFETY

The Client is to ensure that the Contractor, in terms of the Occupational Health and Safety Act, Act 85 of 1993, with specific reference to the Construction Regulations, complies with the minimum requirements.

ELECTRICITY

All electrical cables and wires in walls, floors, concrete soffits and ceilings to run in SABS approved conduits and / or trunking and / or cable trays.

PREAMBLE

All work will be constructed in compliance with the National Building Regulations, SANS10400 and the Energy Efficiency Act, SANS 204, and all Local Authority By-Laws.

SITE WORKS & PLATFORM

Platform level to be confirmed on site. Refer to Civil Engineers drawings for detail. The datum to be set per platform level and to be adjusted accordingly. Platform to be "19.500" and FFL to be minimum 150mm above platform / datum level, if not indicated otherwise. Contractor to ensure that the platform is level and clean of all builders rubble, vegetation and/or piling.

DRAWING STATUS

The Contractor to ensure that the latest drawings are used on site prior to the commencement of work. Only the latest construction drawings issued by the Architect / Designer as "4.1 Municipal Submission and/or 4.2 Construction" with a date may be used for construction of the works. All superceded drawings must be removed from the site. One set of the Local Authority Approved Plan / Drawings to be kept on site at all times. One set of the latest construction drawings to be kept on site at all times, and available for the Architect / Designer/ Consultants and other Authorities.

BRICK TIES & REINFORCEMENT

Approved SABS butterfly tie wires to be used in cavity wall. Where the cavity is greater than 50mm, but less than 100mm, or the height of the wall is greater than 3m, a SABS galvanized drip wall tie, to minimum specifications, to be used. Brickforce on parapets and gables and / or balustrade walls to be used every third brick course. Galvanized steel wire wall ties. Use 2.5 tes per m² and walls to have brick force every 3 courses.

GEYSER DRIP TRAY

Drip tray to comply with SANS 11848 drip tray specification. Drip tray(s) to be supplied with adaptor for connecting the waste pipe to the tray.

SURFACE BED

Selected floor finish material on 25mm cement:sand screed on 85mm thick concrete surface bed in accordance with SANS 50197-1:2002 Cement Part 1: Composition, specification and conformity criteria for common cements. Stone and sand to conform to SANS 1083:2006.Mesh Ref no 193, to all surface beds where depth of fill exceeds 1000mm. Gundle® DPC 250µm (or equally approved) damp proof membrane under concrete surface beds conforming to SANS 952-1:2011, laid with minimum 250mm overlaps, to be turned up around perimeter of and at least for full thickness of surfaced and sealed with Gunplas pressure sensitive tape or equally approved sealant. Clean compacted sand backfill - G7 quality 400 mm minimum thick.
Clean compacted sand backfill - G7 quality back to natural soil strata. 50 mm clean sand blinding layer. Trench to be cleaned and squared before casting of concrete. Blinding layer to be compacted with mechanical compactor. Gundle® DPC 375µm (or equally approved) damp proof course in solid walls conforming to SANS 952-1:2011 laid with minimum 250mm overlaps.

WALLS

All bricks to comply with SABS 227. All external walls to be 230mm cavity walls with 90 x 190 x 390 mm M90 Blocks. All internal walls to be 90/180 mm maxi brick walls. Walls to comply with SANS 10400 K. All 230mm external walls to receive stiffeners every 5.5m, to engineers detail. Gundle® DPC 375µm (or equally approved) damp proof course below all cills and above all slabs, openings and other bridges to cavity walls and vertical DPC to sides of all openings. Weepholes @ 600mm intervals. DPC under cavity walls must be 150mm above finished ground level and + cavity beneath DPC must be filled with a mortar support filler. All walls to be plastered and painted with the exception of stone clad walls.

PLASTER

Cement plaster, consisting of 5:1 sand & lime and 10% cement. Smooth wood trevelled finish internally. Smooth plastered finish externally where indicated. Stipple textured plaster to walls where applicable and indicated on elevations.

WINDOWS & DOORS

All windows and sliding / fold-a-side doors to be aluminium framed. See schedule. All frames to be fixed to walls with galvanised hoop iron built into wall at 600mm c/c in 3:1 cement mix.

WINDOW CILLS

INTERNAL - Plastered window cills except in bathrooms, interior cills tiled bathrooms.
EXTERNAL - Window cills are plastered & painted brick on edge with DPC under.

PRECAST LINTELS

Lintels over all openings exceeding 1.5m with DPC (375 micron) stepped over. Openings exceeding 3m in width to receive reinforced beam to Engineer's design.

GLAZING

All glazing to comply to SANS 10400-N. Glass panels lower than 500 mm from the FFL or greater than 1m² to be minimum 6.38mm thick safety glass. All safety glazing materials (individual panes) shall be permanently marked. Such marking to be visible after installation and comply with SABS 1263. Thickness of glazing subject to wind load expectation - to be in accordance with SABS 0137.
All glazed aluminium windows, residential sliding doors, shopfronts, entrances screens, window and curtain walling, skylights and space enclosures should meet the minimum recommended performance requirements as set out by AAMSA in their general specification for Architectural Aluminium and Glass Products. No glazed architectural aluminium products should be installed on site before relevant AAMSA Performance test certificates for the product have been provided.Frosted / obscure glass to windows in bathrooms & toilets.

Zoning table		
Erf number	5029	
Erf size	359m ²	
Coverage	48%	
Ground floor building area	173m ²	
	Allowed	Proposed/Provided
Maximum height	8.5m	Compliant - Refer to elevations
Building lines - Street	0.0m	Compliant
Building line - Common	0.0m	Compliant
Building line - Garage (5.0m from road kerb)	5.0m (minimum)	Compliant
Parking	2 bays/unit	1 x double garage

NATURAL VENTILATION & LIGHTING

Provide minimum of 10% of floor area or 2m² area of opening for natural lighting to all habitable rooms inclusive of frames & glazing bars. Provide minimum of 5% of floor area or 2m² (whichever is greatest) to each habitable room. (SANS 10400 O)
Buildings with up to 15% fenestration area to nett floor area, per storey, to comply with the minimum energy performance requirements.Buildings exceeding 15% per storey shall comply with requirements for fenestration as per SANS 204. Air leakage should comply with SANS 613.

FILLING MATERIAL

Filling material(s) under floor slabs to consist of suitable material and to be compacted in 150mm layers, to a density of at least 90% MOD AASHTO (SANS 10400 J:2010 4.4.5-7)

FOUNDATIONS

All foundations (except where indicated differently) to be concrete strip foundations. 15MPa concrete in 1:3:6 mix to sizes as shown on drawings. Cement to SABS ENV 197-1, strength class 32.5 and aggregate to SABS specification 1083. Continuous strip foundation to be minimum 250mm thick, unless laid on solid rock and minimum 750mm wide to loadbearing or free standing walls and 400mm wide for non-load bearing internal masonry walls (SANS 10400 H). Foundations to boundary walls not to exceed property / erf boundary.

ROOF

Mono pitched roofs:

Kliplok chromadek (Dove Grey) roof sheeting at indicated slope fixed to 38 x 38 mm timber purlins @ 345 mm, on Coverland Radershield Doublesided reflective foil sheeting.

Where trusses are not exposed: timber falers spaced at 750 mm to specialist specification fixed to 114 x 38 mm timber wallplate anchored with 2 x 3 mm galvanised wire with 600mm depth. 6.4mm Rhinoboard ceiling boards fixed to 38x38mm SA Pine framework @ 400mm c/c, skimmed & painted, with shadowline profile. Roof insulation as per specialist specification to be placed between trusses.

Where trusses are exposed: exposed timber trusses spaced at 1000 mm to specialist specification fixed to 114 x 38 mm timber wallplate anchored with 2 x 3 mm galvanised wire with 600mm depth. Ceilings to be Isoboard® high density 32-36kg/m² rigid extruded polystyrene 100% closed cell insulation ceiling formed of 40mm thick x 600mm wide tongue and grooved boards, with IsoPine finish, tack fixed with suitable adhesive at 200mm intervals to sawn softwood brandlering installed at maximum 700mm centres transversely to trusses, and edge-fixed with concealed ceiling clips screwed to timber brandlering. Boards to be secured to perimeter brandlering with drywall screws and washers at 300mm centres. Thickness: 40mm. Board finish: IsoPine.
All as per eng.'s design

Lean to roofs:

Kliplok chromadek (Dove Grey) roof sheeting, laid to fall fixed to steel purlins fixed to 228x76 Grade 5 SA Pine rafters spaced 1000mm c/c, secured on a 114 x 38 SA Pine wallplate anchored with 2 x 3 mm galvanised wire. All as per eng.'s design

CONCRETE ROOF

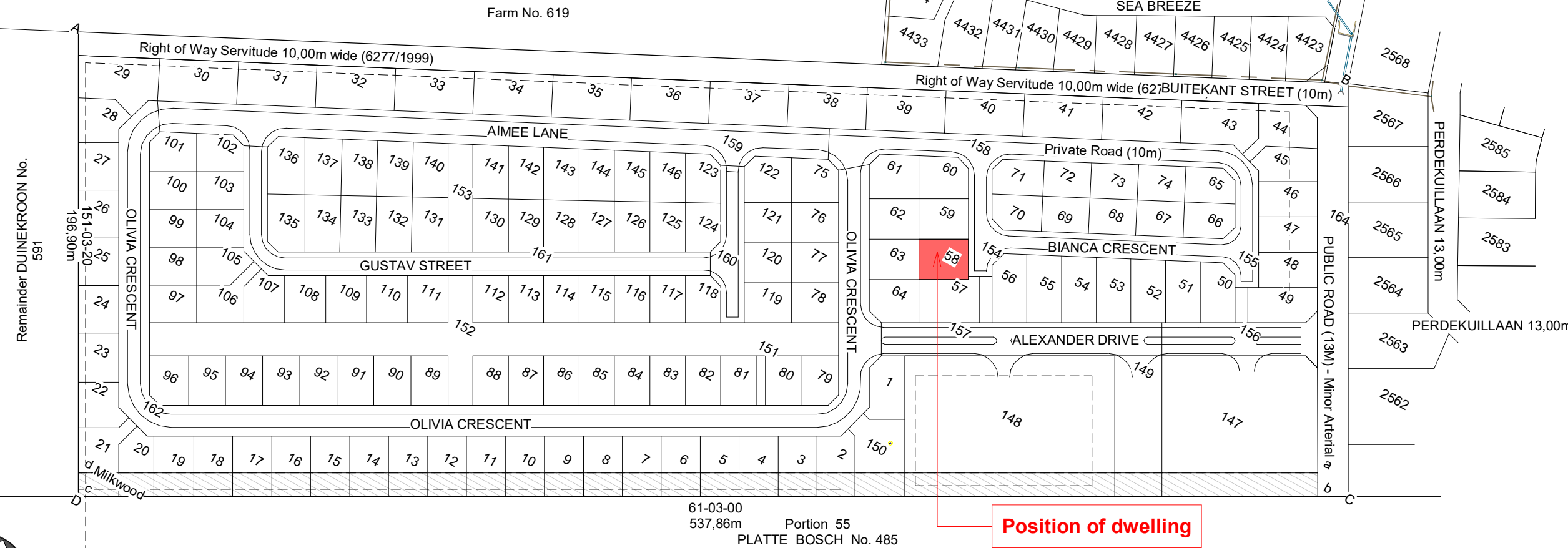
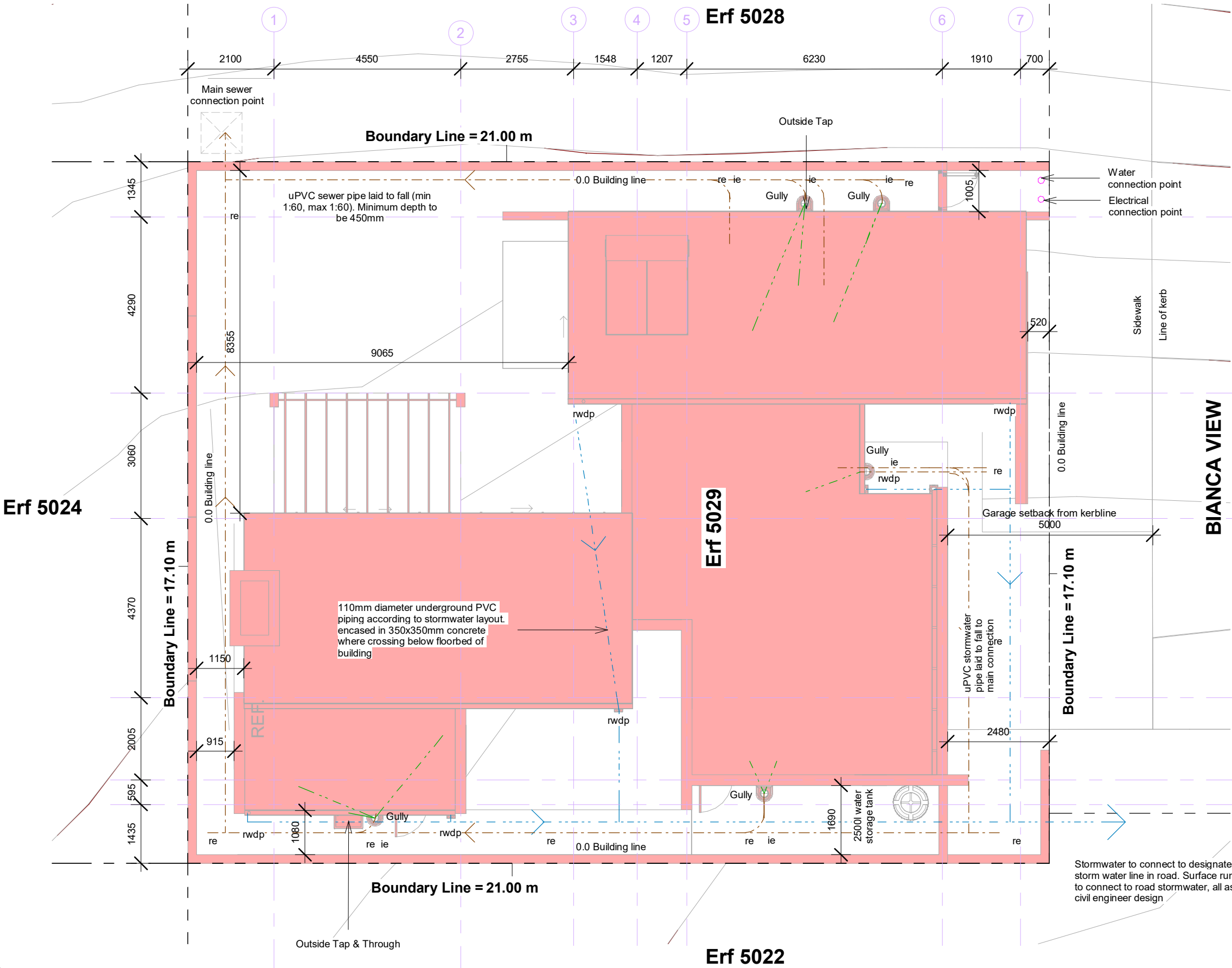
Reinforced concrete slab & upstand beams to Engineer's design and detail, screed laid to fall in direction of full-bore outlets, discharging into 1100mm pipes, into drainage system. Apply 4mm Derbigum SP400 (or equally approved) torch on directly onto slab. Uniflash 600 with Geotex (or equally approved) counter flashing to all slab edged, upstands, copings & parapets. Double layer of Bituminous Aluminium paint or equally approved. All of the above to be waterproofed in strict accordance with manufacturer's specification.Under side of slab to be skimmed & painted. All as per eng.'s design

RAINWATER GOODS

10x150mm Nutek fibre cement fascias fixed with brass screws to rafter ends. Facia boards to be painted to match colour of roof sheeting. Box Aluminium seamless gutters to Engineer specification to 75mm diameter downpipes to catchpits. 110mm diameter underground PVC piping according to stormwater layout.

DRAINAGE

Closed system to conform to National Building Regulations. First inspection eye (I.E.) to be min. 450mm below ground level with a min. fall of all 110mm diameter pipes 1:60 and a max. fall of 1:40. (SANS 10400 P). Rodding eyes (R.E.) to join drain in direction of flow at maximum angle of 45°.



Locality Plan

scale 1 : 2000

CONSTRUCTION DISCLAIMER

The Architectural Professional will not be held liable if these drawings are implemented prior to Municipal Approval.

LEGAL REQUIREMENTS

DIMENSIONS, DESCRIPTIONS & QUANTITIES ON THESE DRAWINGS TO BE VERIFIED ON SITE BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK
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ALL TRUSSES TO BE IN ACCORDANCE WITH SUPPLIER'S / ENGINEER'S DESIGN & APPROVAL BY CLIENT.
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ALL BOUNDARY PEGS TO BE LOCATED, AND MARKED, BEFORE WORK IS TAKEN IN HAND.
ANY DISCREPANCIES BETWEEN THESE DRAWINGS & LEGISLATION, LOCAL AUTHORITY, UTILITY SERVICE PROVIDER & GOOD CONSTRUCTION PRACTICE TO BE REFERRED TO THE ARCHITECT BEFORE CONSTRUCTION COMMENCES.
ANY ASPECT DEEMED TO BE UNCLEAR TO BE REFERRED TO THE ARCHITECT FOR CLARITY.
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NO DIMENSIONS TO BE SCALED FROM THESE DRAWINGS.

STAGE 4.1: MUNICIPAL SUBMISSION

THIS DRAWING TO BE STAMPED FOR PENDING APPROVAL, OR CONSTRUCTION, ON SITE. ARCHITECT, AND, CANNOT BE HELD LIABLE, RESPONSIBLE OR ACCOUNTABLE FOR ANY UNAUTHORIZED DRAWINGS USED FOR CONSTRUCTION. THE CONTRACTOR AND/OR EMPLOYER TO ENSURE THAT ALL DRAWINGS ARE STAMPED.

REVISIONS

No.	Description	Date	By	To
1	Council Submission	26.03.2026	CvdS	JN



Zoning classification: Group housing

Occupation classification: H4

Developer/Development:



Client : Jaco Niemand
Kiewiet Enterprises (Pty) Ltd



Client Represent.: CvdS

Date : 2026.02.03

Client signature:

Design Architect:



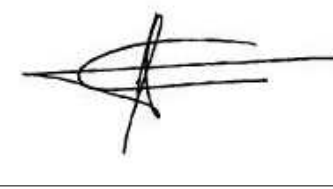
christiaan
van der spuy
architects

Tel +27 84 903 1590 | christiaan@csarchitect.co.za

Professional: C. L. van der Spuy

SACAP no.: PrArch 24751167

Architect signature:



Project:

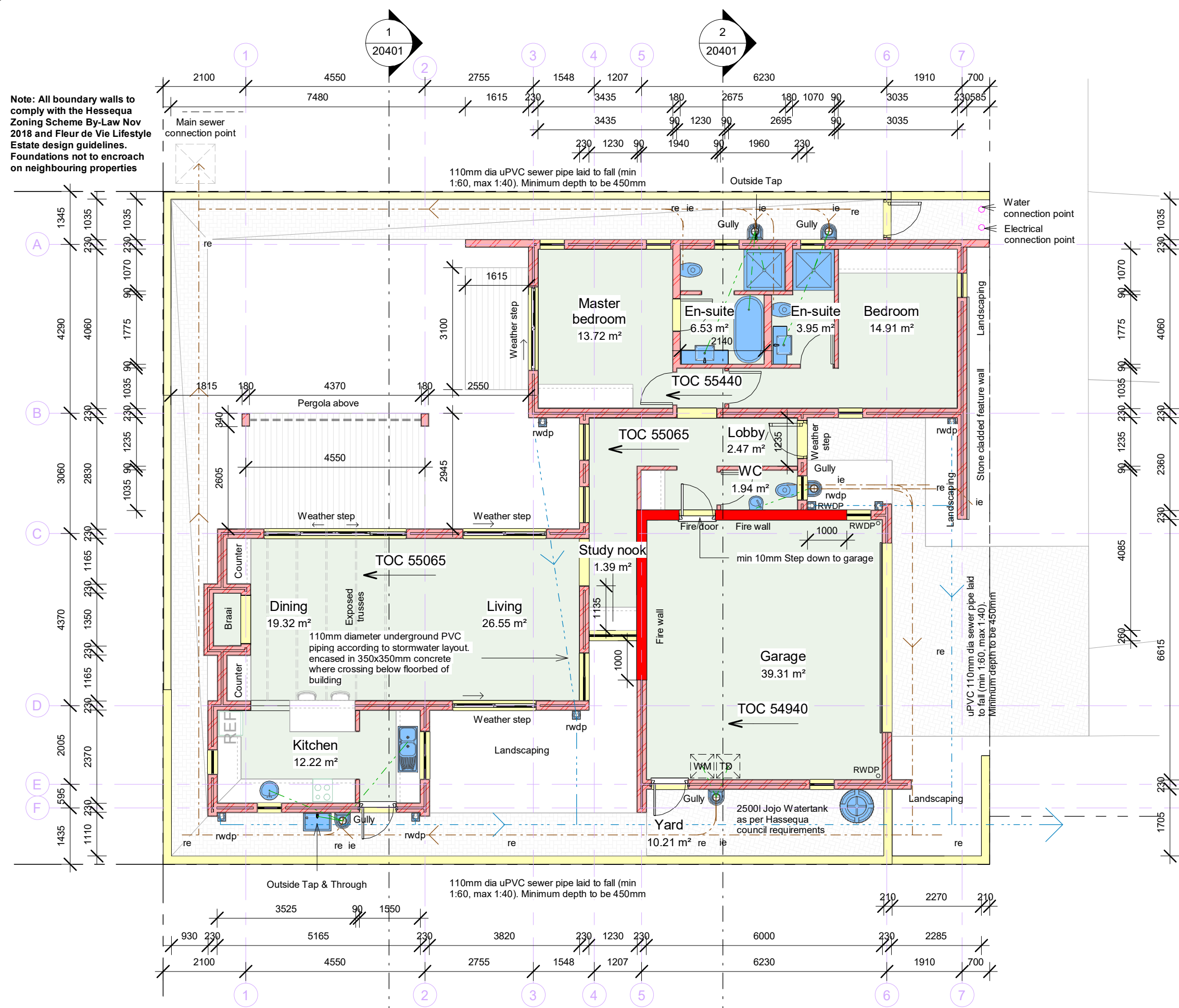
New dwelling house on Erf 5029,
Fleur de Vie Lifestyle Estate, Stillbay
West

Drawing:

Site Plan & Zoning Information

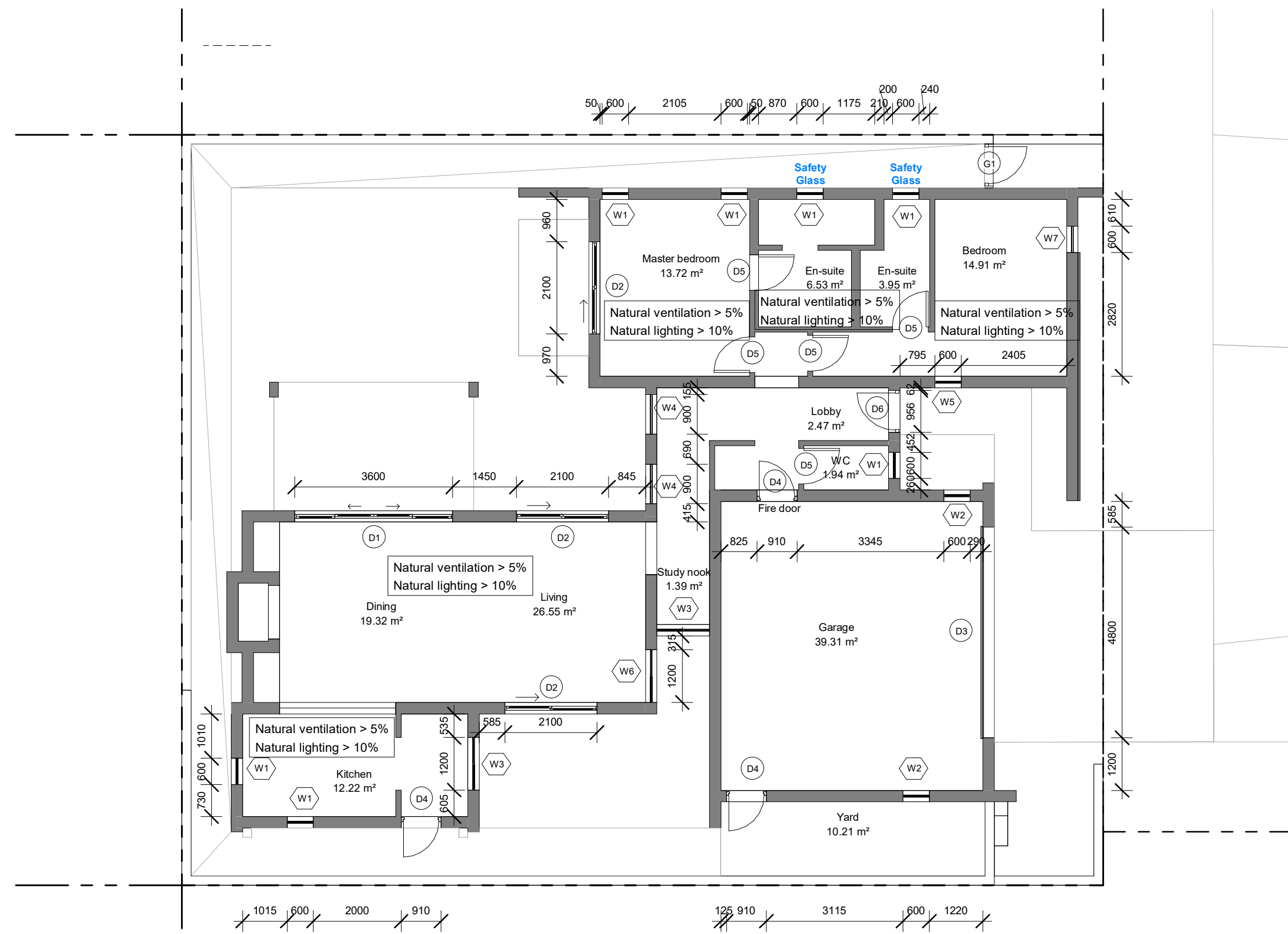
DATE	26.03.2026	DRAWN	LOF	PAPER SIZE
SCALE	As indicated	CHECKED	CvdS	A1
PROJECT	A037	DRAWING NO.	10001	REVISION
				1

Note: All boundary walls to comply with the Hasequa Zoning Scheme By-Law Nov 2018 and Fleur de Vie Lifestyle Estate design guidelines. Foundations not to encroach on neighbouring properties



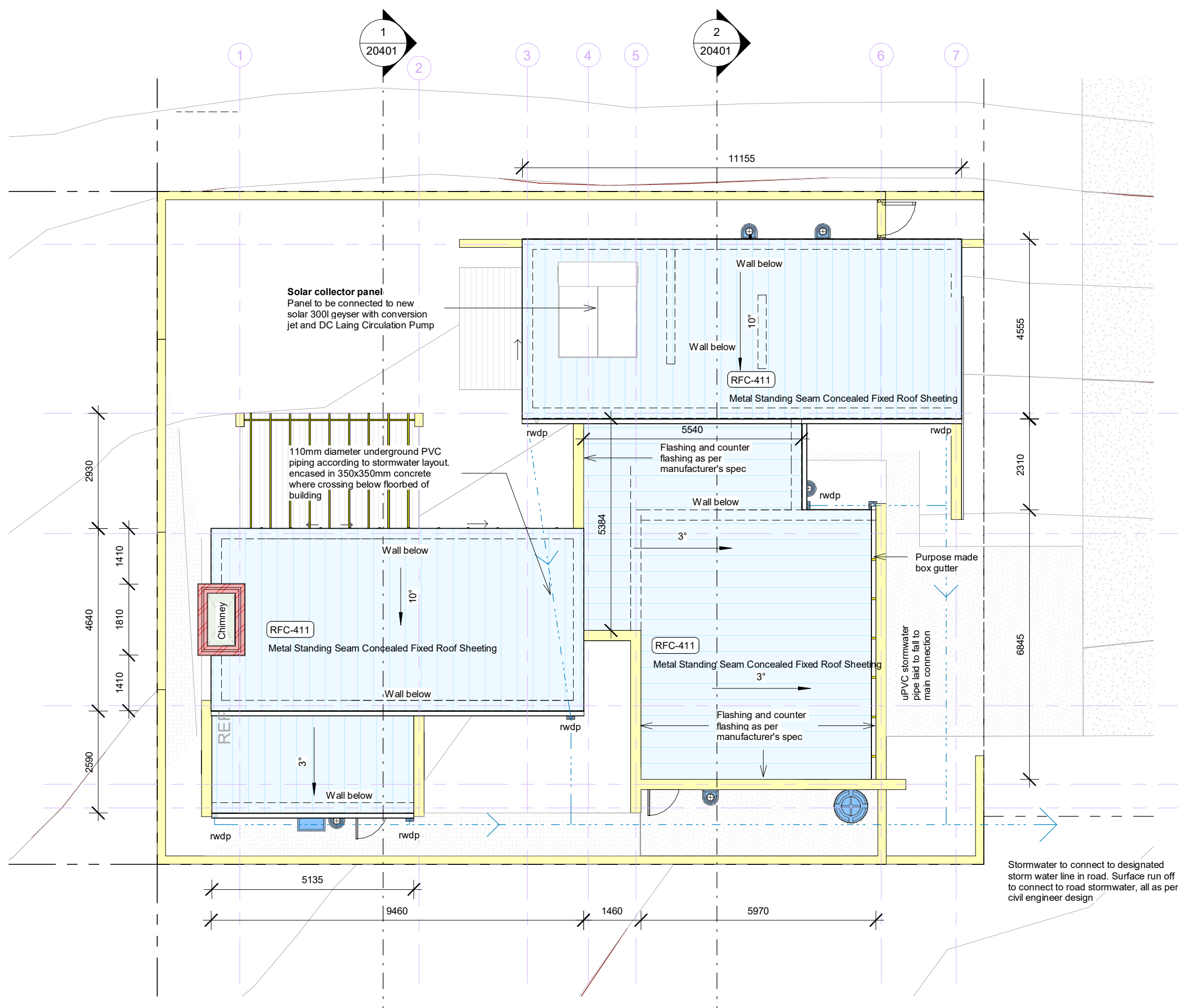
1 (104)_L0_Ground Floor

scale 1 : 100



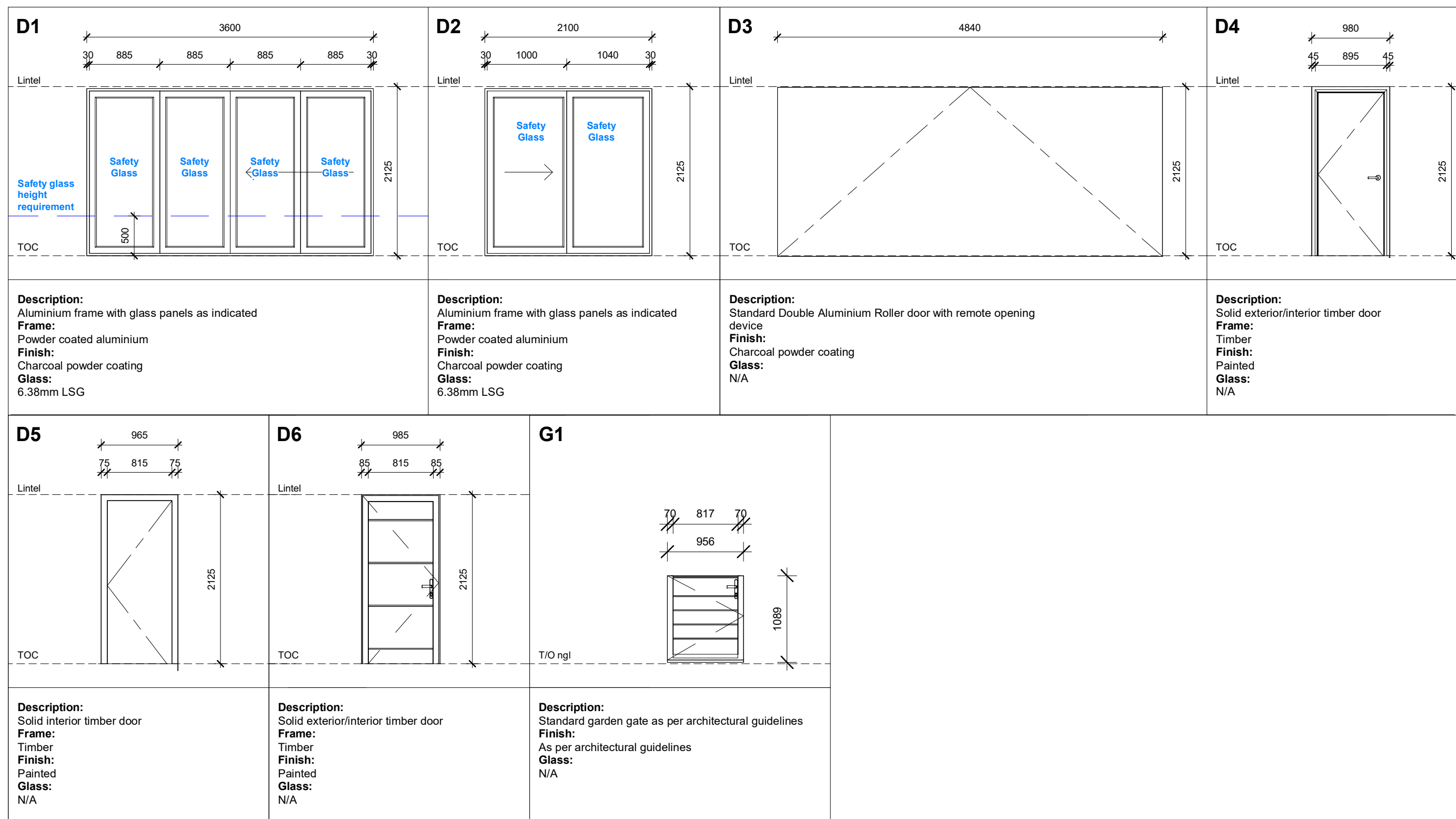
3 (105)_L0_Ground Floor Window & Door Reference Plan

scale 1 : 100



2 (104)_L2_Roof

scale 1 : 100



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REVISIONS

No.	Description	Date	By	To
1	Council Submission	26.03.2026	CvdS	JN



Zoning classification: Group housing
Occupation classification: H4
Developer/Development:



Client Represent: Jaco Niemand
Kiewiet Enterprises (Pty) Ltd
Date: 2026.02.03
Client signature:

Design Architect:



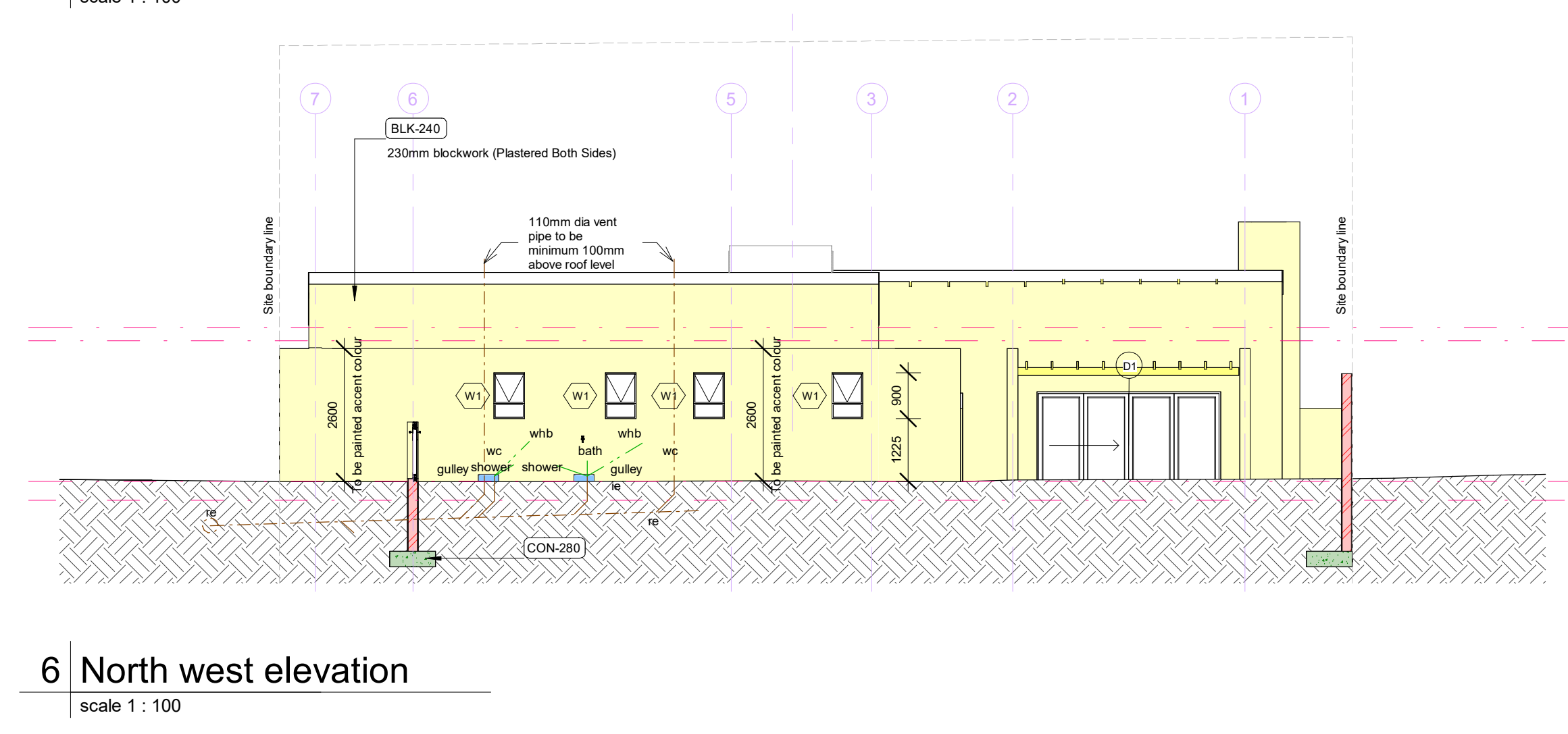
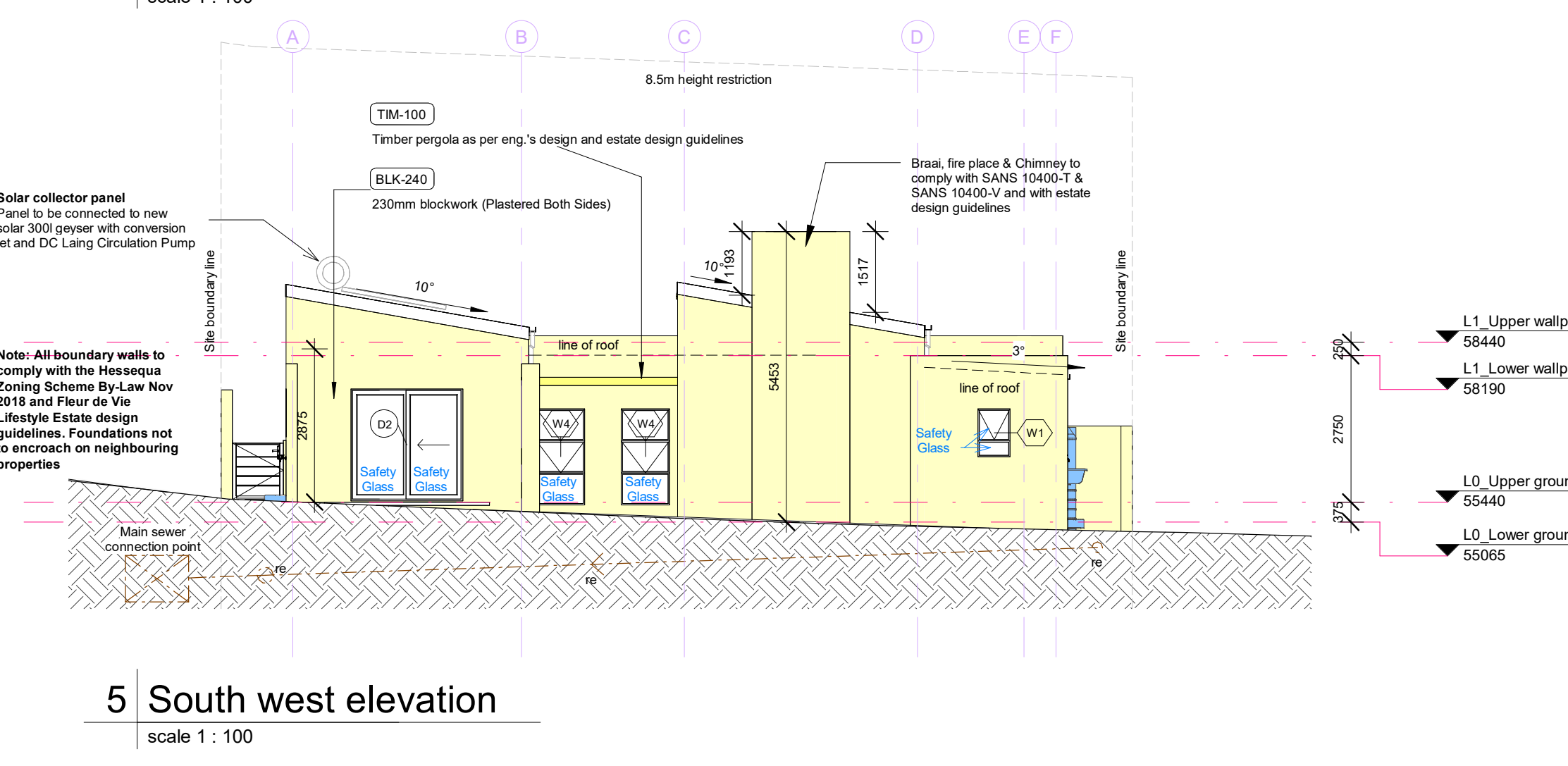
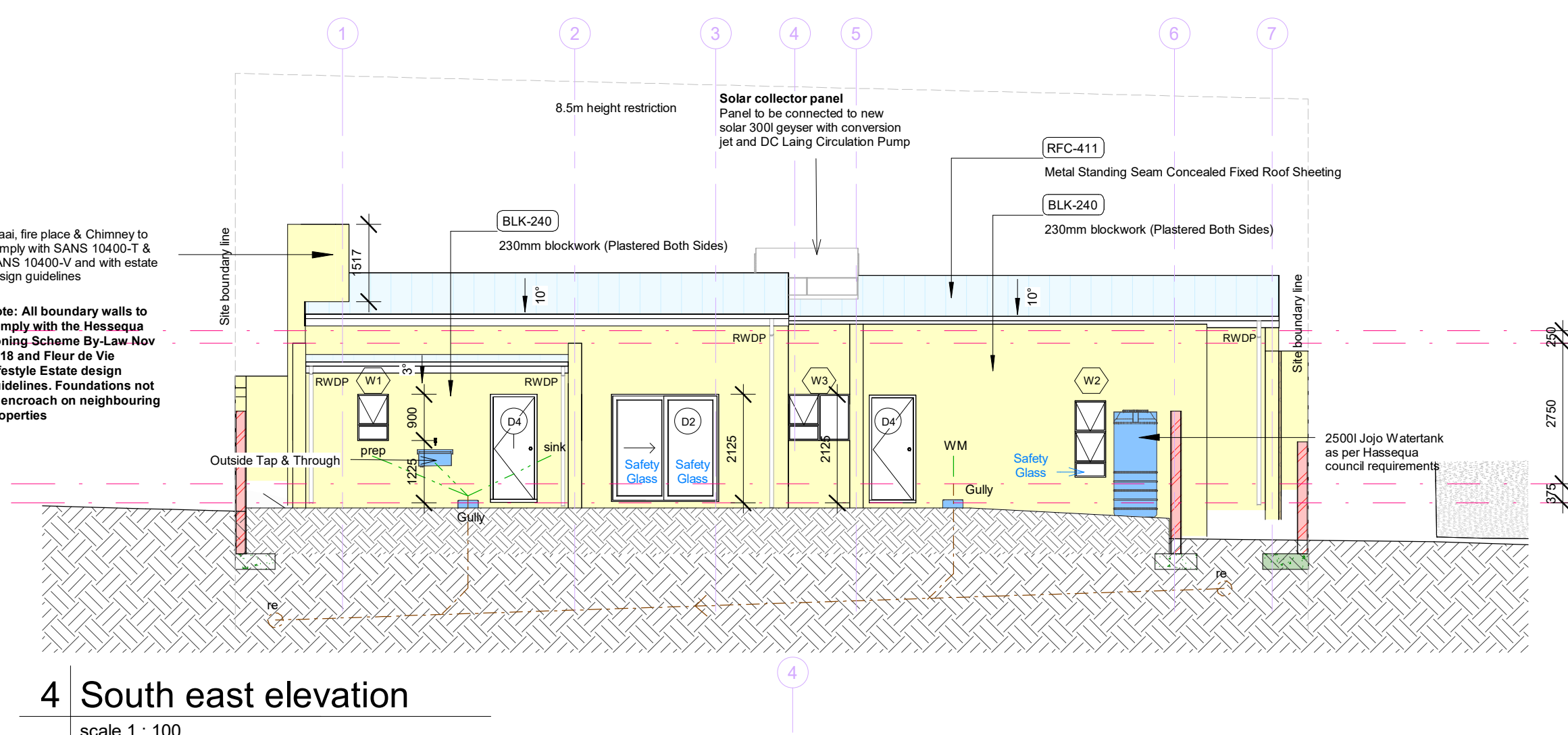
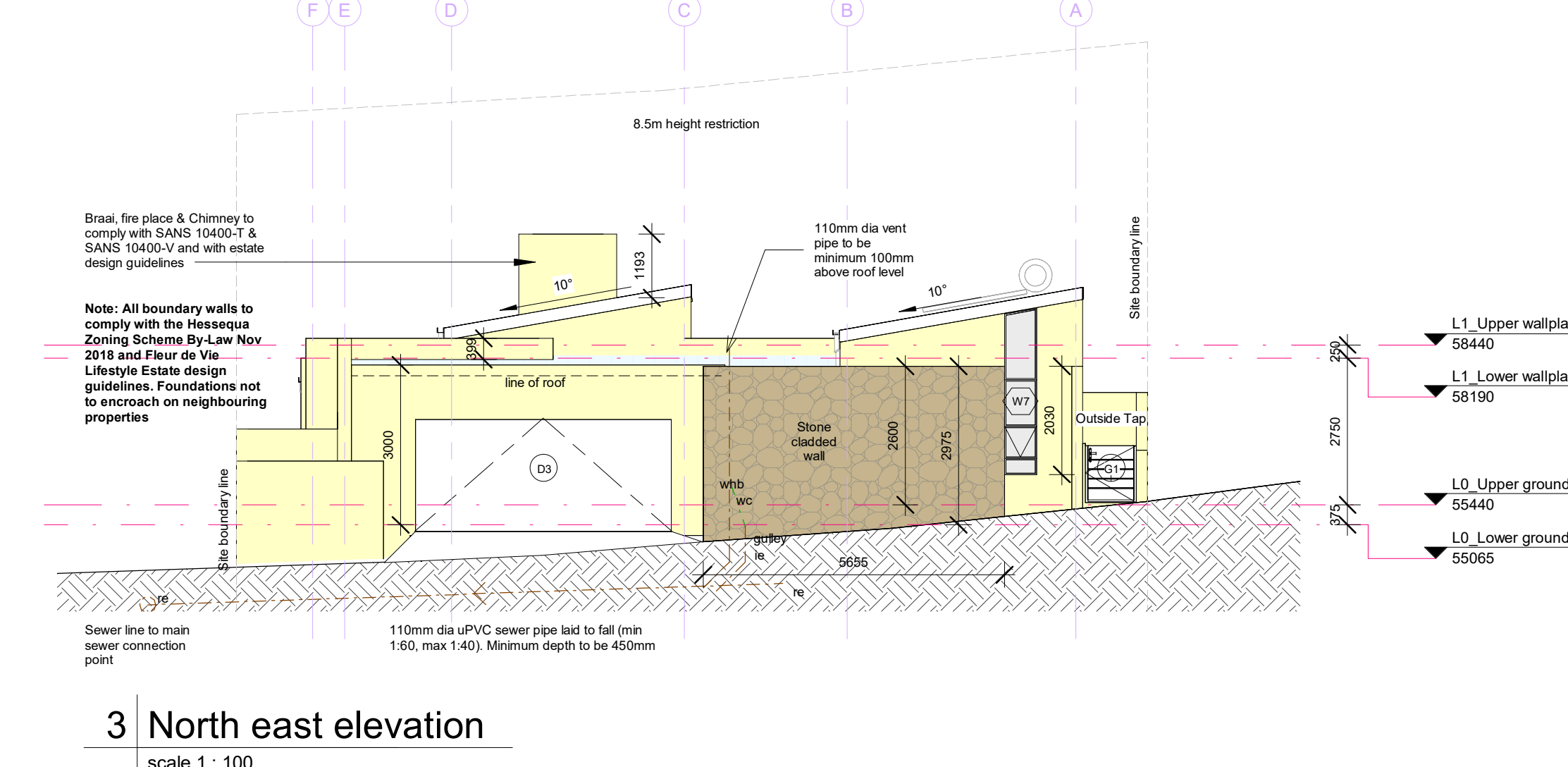
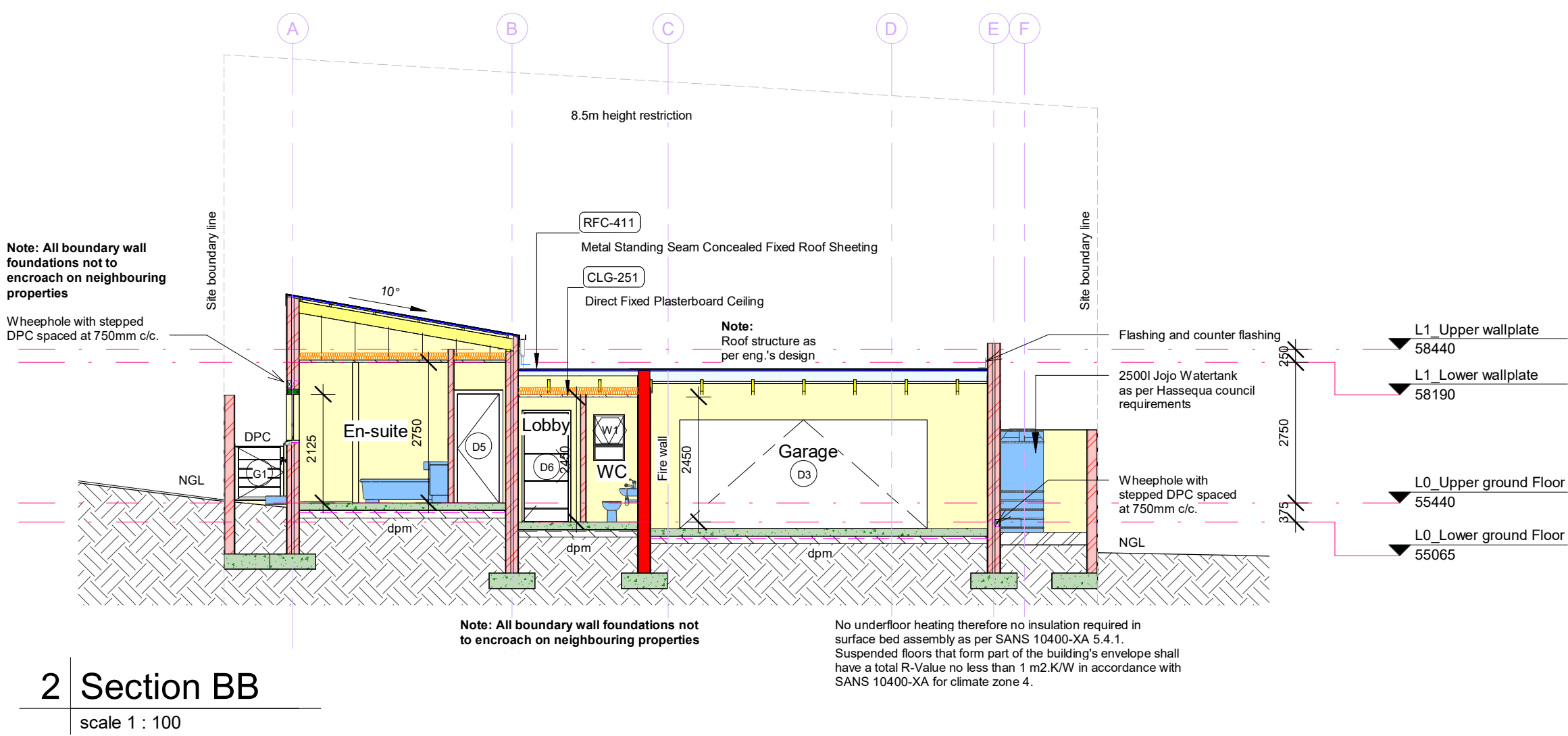
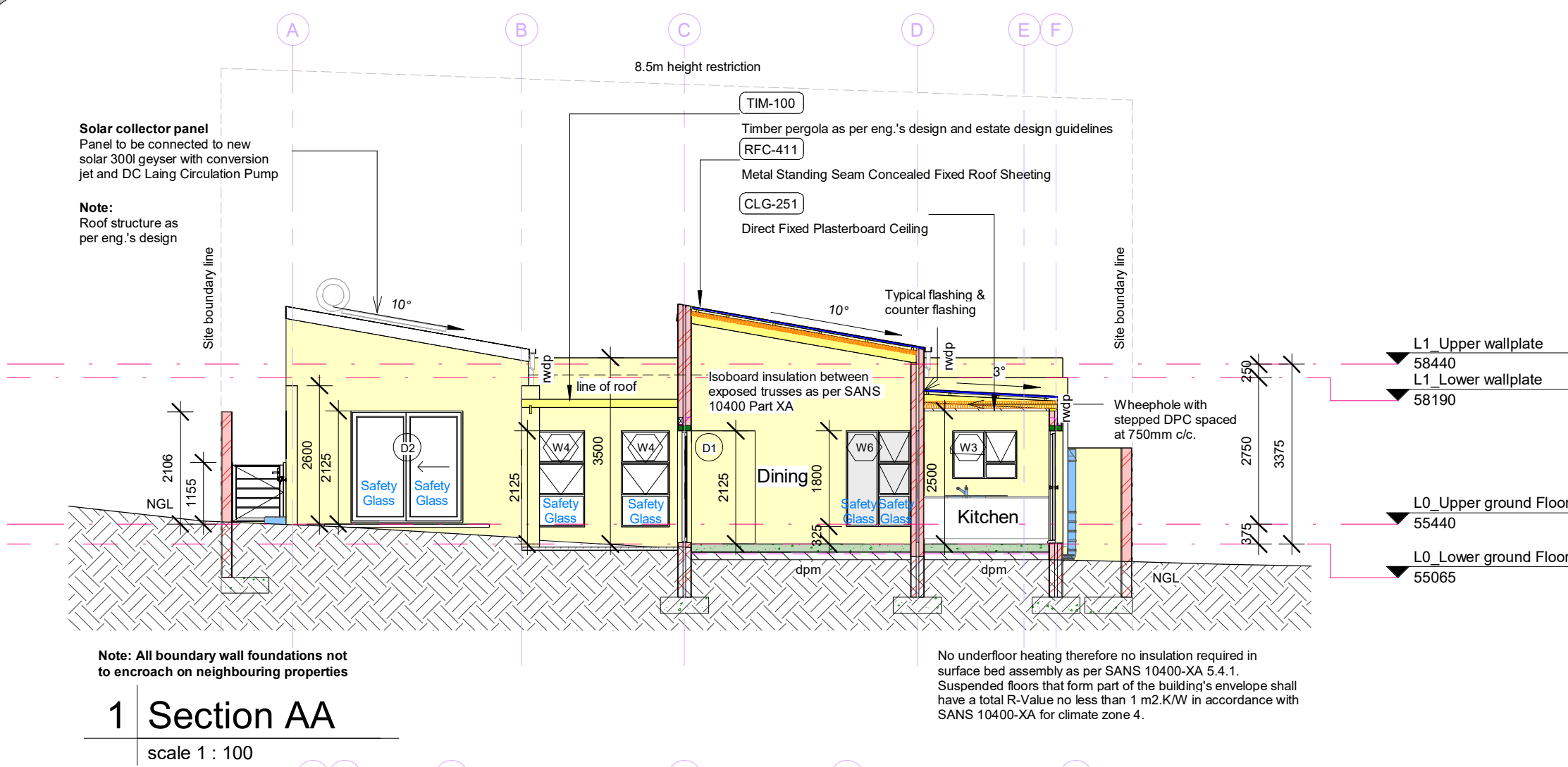
Tel +27 84 903 1590 | christiaan@csarchitect.co.za
Professional: C. L. van der Spuy
SACAP no.: PrArch 24751167
Architect signature:

Project:
New dwelling house on Erf 5029,
Fleur de Vie Lifestyle Estate, Stillbay
West

Drawing:
Floor layout and Roof plan

DATE	26.03.2026	DRAWN	CvdS	PAPER SIZE
SCALE	As indicated	CHECKED	CvdS	A1
PROJECT	A037	DRAWING NO.	10401	REVISION
				1

FOR INFORMATION ONLY



W1	W2	W3	W4	W5	W6	W7
Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: 6.38mm LSG	Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass	Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass	Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: 6.38mm LSG & Clear float glass	Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass	Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: 6.38mm LSG & Clear float glass	Description: Aluminium frame with glass panels as indicated Frame: Powder coated aluminium Finish: Charcoal powder coating Glass: Clear float glass

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REVISIONS

No.	Description	Date	By	To
1	Council Submission	26.03.2026	CvdS	JN



Zoning classification: Group housing

Occupation classification: H4

Developer/Development:

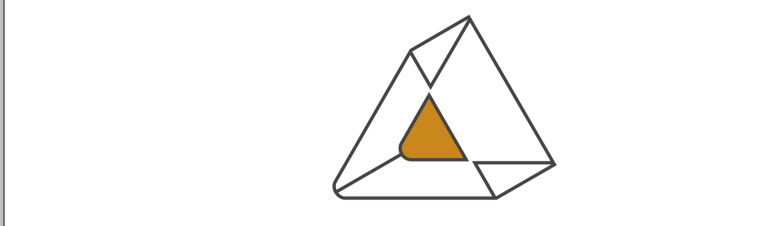


Client Represent: Jaco Niemand
Kiewiet Enterprises (Pty) Ltd

Date: 2026.02.03

Client signature:

Design Architect:



christiaan van der spuy architects

Tel +27 84 903 1590 | christiaan@csarchitect.co.za

Professional: C. L. van der Spuy

SACAP no.: PrArch 24751167

Architect signature:

Project:
New dwelling house on Erf 5029,
Fleur de Vie Lifestyle Estate, Stillbay West

Drawing: Sections and elevations

DATE	26.03.2026	DRAWN	CvdS	PAPER SIZE	A1
SCALE	As indicated	CHECKED	CvdS		
PROJECT	A037	DRAWING NO.	20401	REVISION	1

FOR INFORMATION ONLY