

NOTES

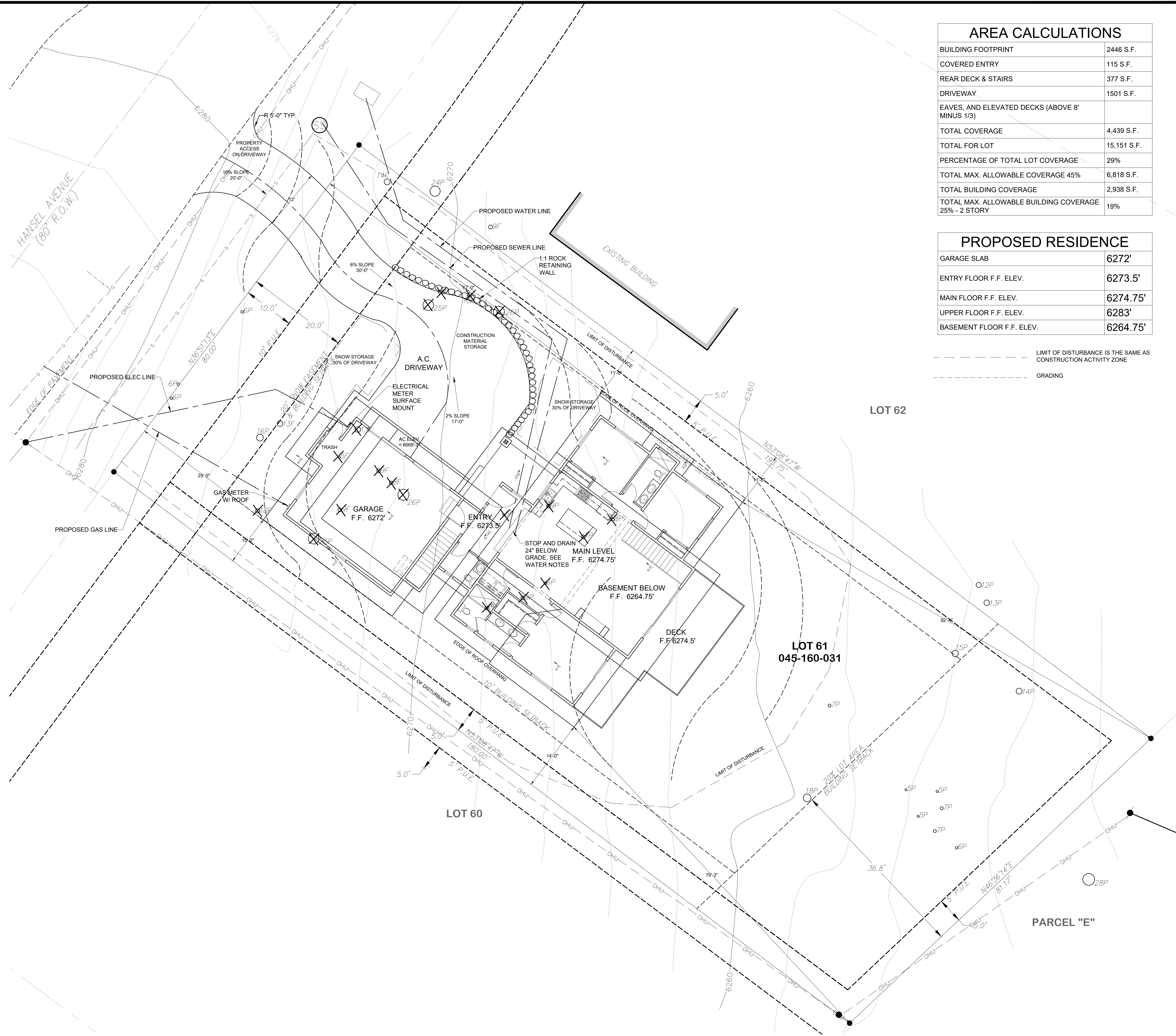
ESTIMATED CUBIC YARDS TO BE REMOVED
 = TO BE DETERMINED BY EXCAVATION CONTRACTOR =
 EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE
 EXISTING VEGETATION TO BE TRANSPLANTED WHERE POSSIBLE
 TEMPORARY CONSTRUCTION ACCESS WILL BE THE DRIVEWAY OF HOUSE. VIEW CORRIDOR FROM FRONT OF HOUSE IS NONE.
 ADDRESS SIGNS AND PORTI-A-POTTI SHALL BE ON JOB SITE AT THE TIME OF FIRST INSPECTION
 WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 36" OF EARTH COVERING. WATER SUPPLY PIPING SHALL BE PROVIDED WITH AN APPROVED BACKFLOW PREVENTION DEVICE. THE WATER SERVICE SHALL BE INSTALLED 24" BELOW GRADE AT LOCATION INSIDE THE FOUNDATION PERIMETER, EQUIPPED WITH A (STOP & DRAIN) VALVE AND FITTED WITH HANDLE THAT IS READILY ACCESSIBLE. ALL WATER PIPING SHALL BE GRADED TO DRAIN. PLASTIC MATERIALS FOR WATER SERVICE PIPING OUTSIDE UNDERGROUND SHALL HAVE A BLUE INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR INSTALLED ADJACENT TO THE PIPING
 AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL BASED TO ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.
 WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATIONS SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLERS. SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. CAL GREEN 4.304.1
 THE TOP OF CUT SLOPES AND/OR THE TOE OF FILL SLOPES SHALL NOT BE MADE NEARER TO A PROPERTY LINE THAN 1/3 OF THE VERTICAL HEIGHT OF CUT WITH A MINIMUM OF 2' AND A MAXIMUM OF 10'
 PLANS DO SPECIFY AND DEMONSTRATE REQUIREMENTS TO MAINTAIN FIRE BREAK. INSPECTION AND WRITTEN APPROVAL BY THE FIRE MARSHALL SHALL BE OBTAINED PRIOR TO FINAL OF THE BUILDING PERMIT
 EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE
 ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF DEBRIS
 FILL/CUT SLOPE SURFACES SHALL BE NO GREATER THAN 2 TO 1 SLOPE
 FINAL GRADE WILL SLOPE 5% FOR 10' AWAY FROM RESIDENCE
 CROSS SLOPE DRIVEWAY @ 2% FOR DRAINAGE
 6" CLASS II AGGREGATE BASE W/ 4" A.C. ASPHALT ON DRIVEWAY
 ALL FOOTINGS WILL BE PLACED IN UNDISTURBED, NATIVE SOIL
 COMPACTION REPORT MAY BE REQUIRED WHERE TREES HAVE BEEN REMOVED IN FOUNDATION LINE-DISTURBED SOIL IN BEARING AREA'S TO BE ADDRESSED
 THIS PROJECT DOES NOT INCLUDE LANDSCAPING. I AM AWARE THAT FUTURE LANDSCAPE INSTALLATIONS MAY BE REQUIRED TO COMPLY WITH THE TOWN OF TRUCKEE WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS (DEVELOPMENT CODE SECTION 18.40.060)
 EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE
 EXISTING VEGETATION TO BE TRANSPLANTED WHERE POSSIBLE

DEFENSIBLE SPACE NOTES

REMOVAL OF DEAD VEGETATION
 REMOVAL OF LADDER FUELS
 BREAKING UP DENSE SHRUB FIELDS
 REMOVE OR WELL PRUNE FLAMMABLE VEGETATION AND COMBUSTIBLE GROWTH WITHIN 30' OF STRUCTURES.
 REMOVAL OF PINE NEEDLES FROM THE GROUND 30' FROM HOUSE
 LIMBING TREES 6' FROM THE GROUND
 ROOFING TO BE CLASS "A" FIRE RESISTANT

CONSTRUCTION MANAGEMENT PLAN NOTES

NO CONSTRUCTION TRAILER WILL BE USED
 VEHICULAR TRAFFIC WILL BE THE DRIVEWAY
 CONSTRUCTION STORAGE WILL BE THE DRIVEWAY
 CHEMICAL TOILET WILL BE ON JOBSITE
 AREA OF DISTURBANCE HAS BEEN LABELED
 CONSTRUCTION STAFF TO ALL PARK ON THE SAME SIDE OF STREET



AREA CALCULATIONS

BUILDING FOOTPRINT	2446 S.F.
COVERED ENTRY	115 S.F.
REAR DECK & STAIRS	377 S.F.
DRIVEWAY	1501 S.F.
EAVES, AND ELEVATED DECKS (ABOVE 8' MINUS 1/3)	
TOTAL COVERAGE	4,439 S.F.
TOTAL FOR LOT	15,151 S.F.
PERCENTAGE OF TOTAL LOT COVERAGE	29%
TOTAL MAX. ALLOWABLE COVERAGE 45%	6,818 S.F.
TOTAL BUILDING COVERAGE	2,938 S.F.
TOTAL MAX. ALLOWABLE BUILDING COVERAGE 25% - 2 STORY	19%

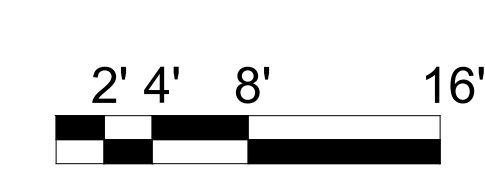
PROPOSED RESIDENCE

GARAGE SLAB	6272'
ENTRY FLOOR F.F. ELEV.	6273.5'
MAIN FLOOR F.F. ELEV.	6274.75'
UPPER FLOOR F.F. ELEV.	6283'
BASEMENT FLOOR F.F. ELEV.	6264.75'

--- LIMIT OF DISTURBANCE IS THE SAME AS CONSTRUCTION ACTIVITY ZONE
 --- GRADING

SITE PLAN

Scale @ 30x42 - 1/8" = 1'-0"



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Revisions

SHEET TITLE
SITEPLAN

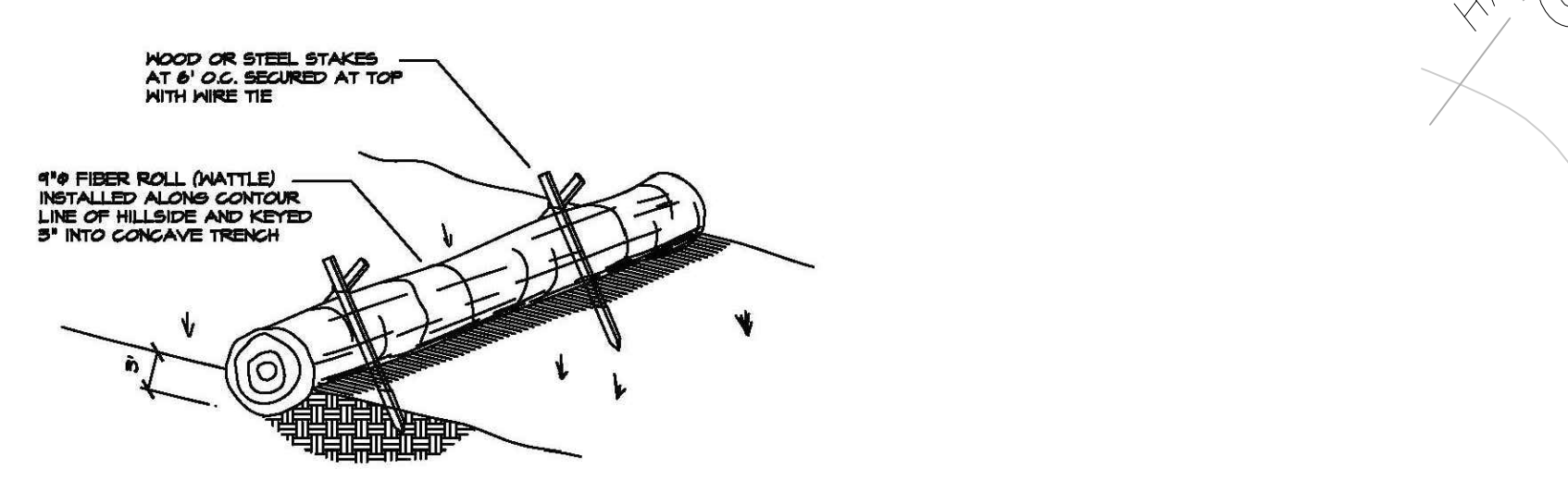
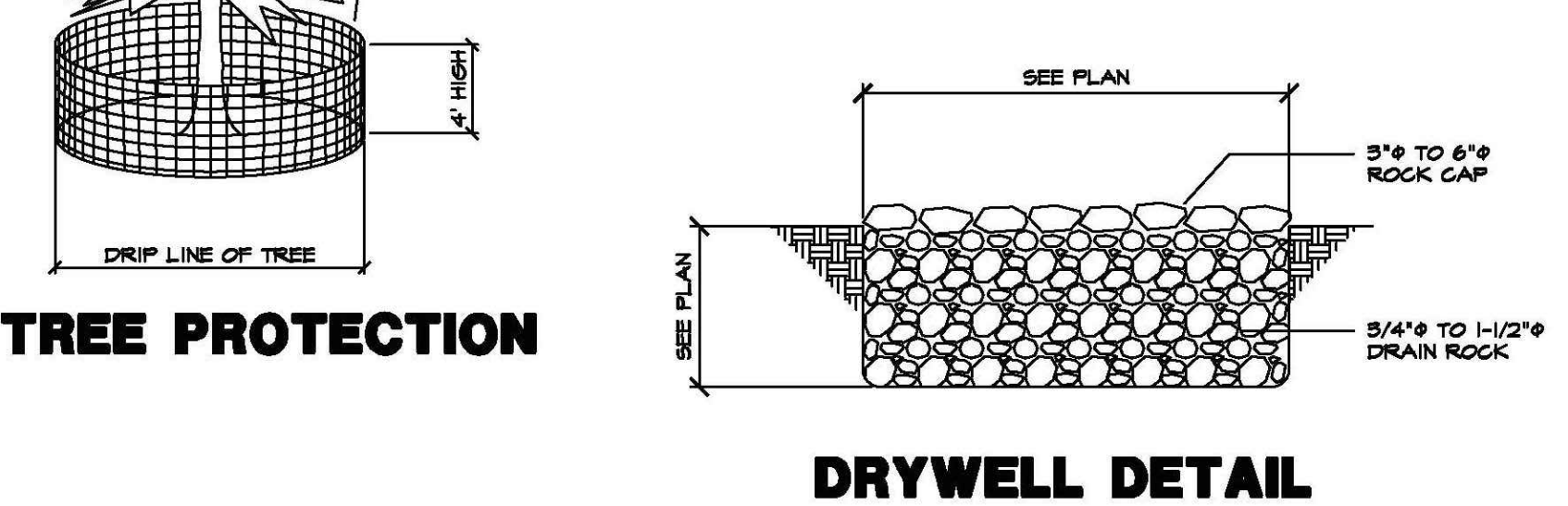
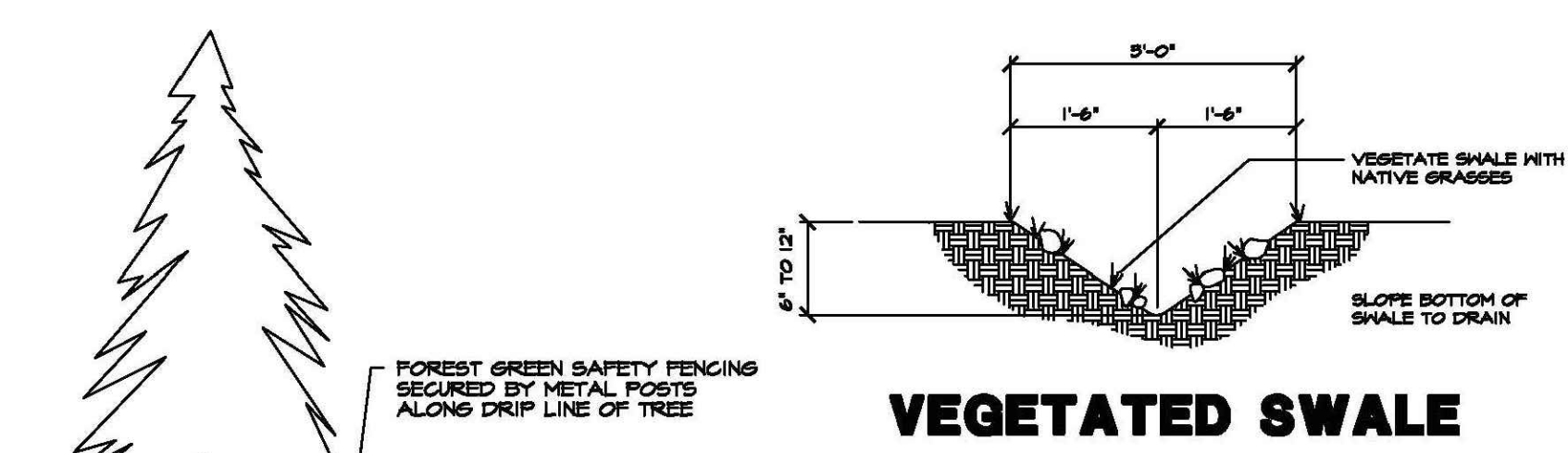
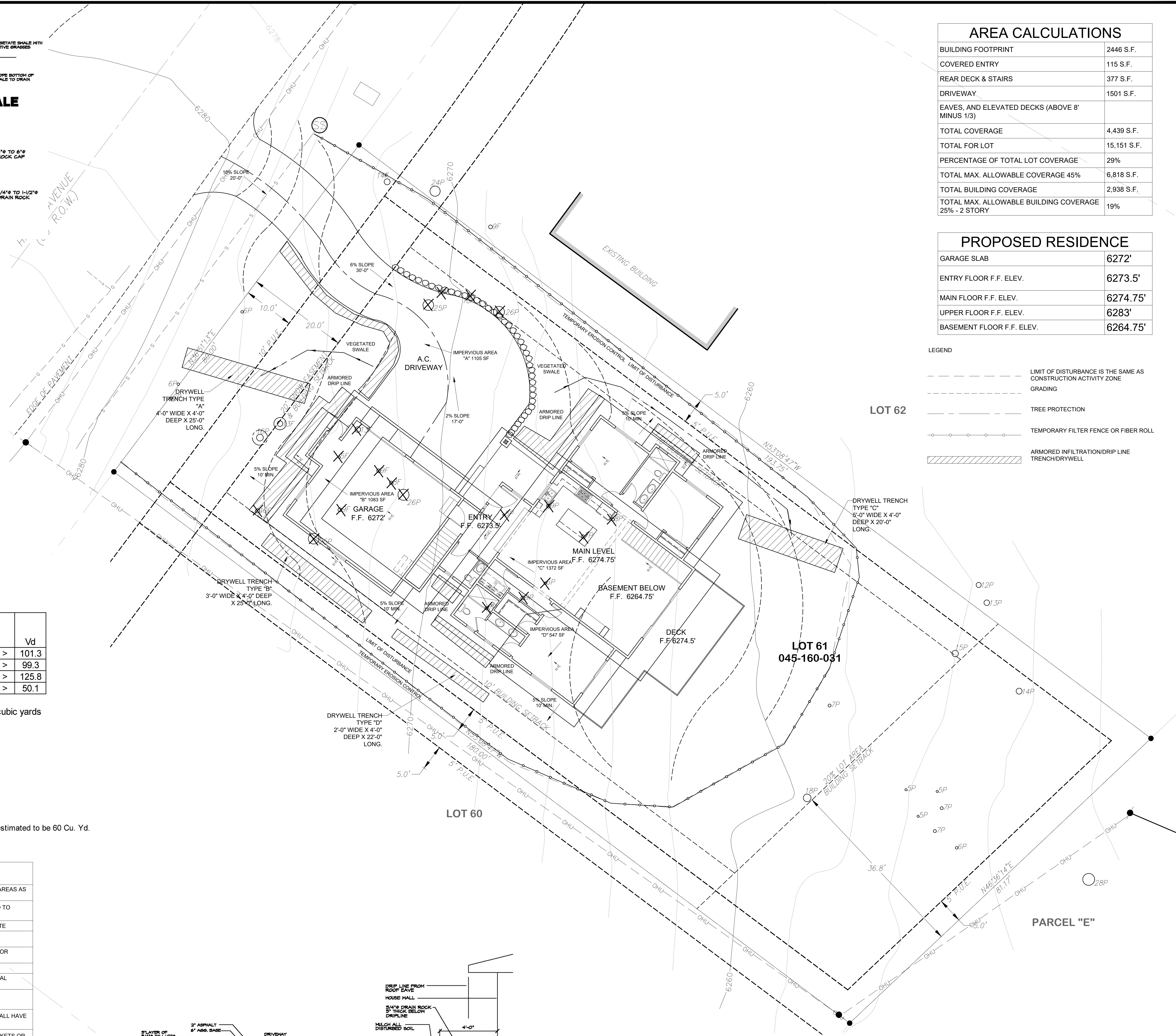
SHEET #
C1

AREA CALCULATIONS	
BUILDING FOOTPRINT	2446 S.F.
COVERED ENTRY	115 S.F.
REAR DECK & STAIRS	377 S.F.
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LEGEND

	LIMIT OF DISTURBANCE IS THE SAME AS CONSTRUCTION ACTIVITY ZONE
	GRADING
	TREE PROTECTION
	TEMPORARY FILTER FENCE OR FIBER ROLL
	ARMORED INFILTRATION/DRIP LINE TRENCH/DRYWELL



BMP WORKSHEET

Based upon NRCS Web Soil Survey
33% voids used for drain rock volume.
Design Storm Event = 1.1 in. per hour

Trench Type	Trench Width, Ft	Trench Depth, Ft	Trench Length, Ft	Impervious Surface Sq. Ft.	Drainage Volume Cu. Ft., Vd	Trench Void Volume Cu. Ft., Vv	Vd
A	4	4	25	1105	101.3	133.3	> 101.3
B	3	4	25	1083	99.3	100.0	> 99.3
C	5	4	20	1372	125.8	133.3	> 125.8
D	2	4	22	547	50.1	58.7	> 50.1

Total Trench Volume = 700 cubic feet = 26 cubic yards

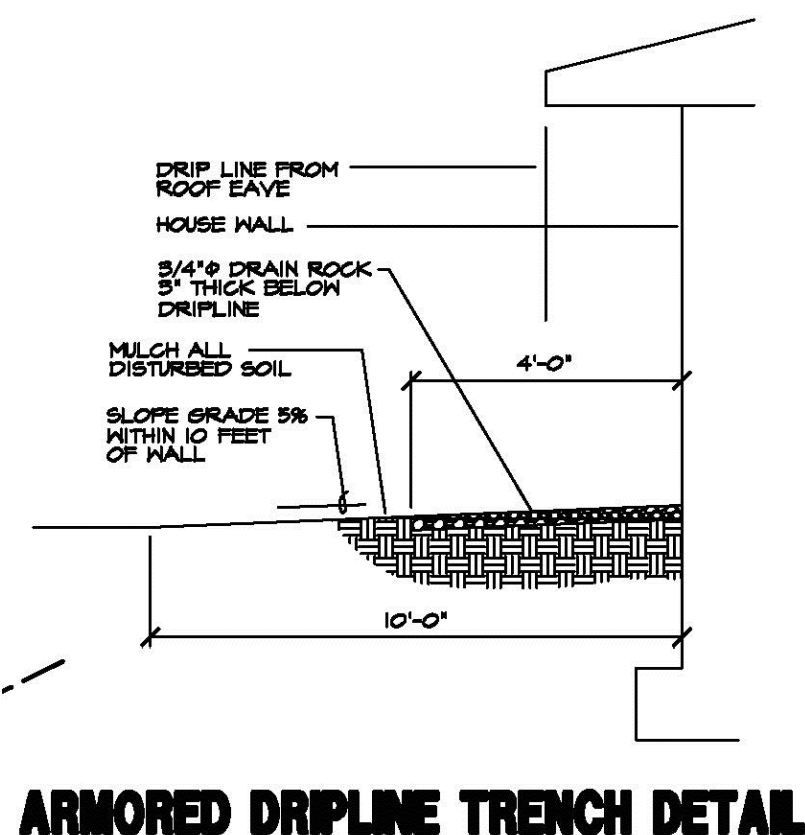
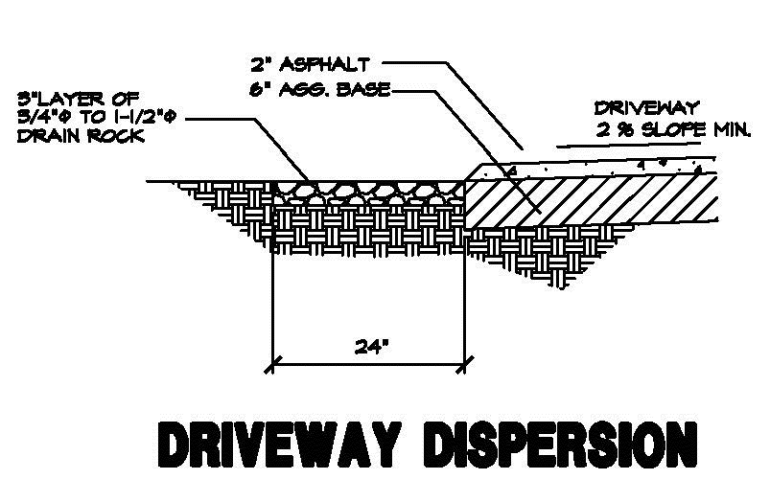
CONSTRUCTION SEQUENCE

- Install temporary erosion prevention barriers.
- Excavate house foundation, install infiltration trenches and install graveled driveway.
- Construct House.
- Install permanent erosion prevention methods.
- Pave Driveway.

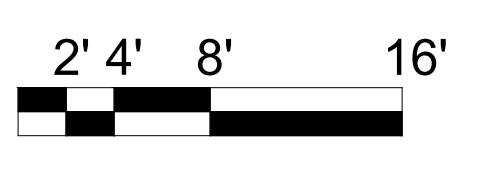
Compacted soil required for the garage is estimated to be 25 Cu. Yd.
Excavated soil resulting from driveway, foundation and infiltration trenches is estimated to be 60 Cu. Yd.

TEMPORARY EROSION PREVENTION METHODS

- PROVIDE TEMPORARY EROSION PREVENTION BARRIERS AT THE DOWNHILL PERIMETER OF ALL DISTURBED SOIL AREAS AS SHOWN ON THE PLANS
- STOCKPILES SHALL BE PROTECTED WITH TAPERS OR OTHER WATERPROOF MEMBRANES ADEQUATELY SECURED TO RESIST WIND FORCES. AN EROSION PREVENTION BARRIER SHALL PROTECT THE PERIMETER OF STOCKPILES
- PROVIDE DRIVEWAY TRACK OFF CONTROL. SOIL AND CONSTRUCTION MATERIALS SHALL NOT BE TRACKED OFFSITE
- EROSION PREVENTION AND SEDIMENT BARRIERS SHALL BE CHECKED PRIOR TO ANTICIPATED STORM EVENTS, IMMEDIATELY AFTER STORM EVENTS AND WEEKLY BY THE CONTRACTOR OR OWNER/BUILDER
- WHERE BARRIERS ARE REMOVED AND/OR STOCKPILES ARE NOT COVERED, THEY SHALL BE AVAILABLE ON SITE FOR INSTALLATION AS NEEDED WITHIN 24 HOURS
- PROVIDE A CONCRETE WASHOUT AREA PER PLAN
- FOR JOB SITES THAT HAVE NOT RECEIVED AN APPROVED FINAL GRADING INSPECTION BY OCTOBER 15, ADDITIONAL EFFORT SHALL BE MADE TO PROTECT THE SITE FOR THE WINTER
- INCLUDE THE FOLLOWING:
 - INSTALL AND MAINTAIN EFFECTIVE TEMPORARY EROSION PREVENTION FOR DISTURBED AREAS. SILT FENCES SHALL HAVE WIRE BACKING AND METAL STAKES FOR WINTER USE
 - STABILIZE DISTURBED AND BARE SOIL AREAS WITH VEGETATION, MULCH, WOOD CHIPS, EROSION CONTROL BLANKETS OR SIMILAR METHODS.
 - CLEAN UP AND REMOVE CONSTRUCTION DEBRIS AND SPOIL PILES
 - REMOVE OR COVER DIRT STOCKPILES WITH TARPS OR OTHER WATERPROOF MEMBRANES ADEQUATELY SECURED TO RESIST WIND FORCES AND INSTALL PERIMETER CONTAINMENT PROTECTION SUCH AS WATTLES OR SILT FENCES
 - INSTALL PERMANENT MECHANICAL STABILIZATION AND DRAINAGE IMPROVEMENTS WHERE FEASIBLE SUCH AS DRIP LINE TRENCHES, DRYWELLS OR CATCH BASINS
 - RESTRICT PARKING AND STORAGE TO PAVED AREAS AND/OR DRIVEWAYS THAT HAVE TRACK OFF CONTROL (GRAVEL)
 - FOR SITES THAT WILL BE ACTIVE BETWEEN OCTOBER 15 AND MAY 1 WHERE THE DRIVEWAYS WILL BE USED FOR MATERIAL STORAGE AND/OR VEHICLE ACCESS, DRIVEWAYS WITH SLOPES IN EXCESS OF 10. CONCRETE OR THE FUNCTIONAL EQUIVALENT AS APPROVED BY THE BUILDING OFFICIAL
 - PERMANENT EROSION PREVENTION METHODS
 - PERMANENT EROSION PREVENTION BARRIERS SHALL BE INSTALLED PER PLAN
 - DISTURBED SOIL AREAS SHALL BE PROTECTED BY REVEGETATING OR BY INSTALLING PINE NEEDLES, WOOD CHIPS, MULCH, AND/OR OTHER APPROVED SUITABLE METHODS.



EROSION CONTROL PLAN
Scale @ 30x42 - 1/8" = 1'-0"



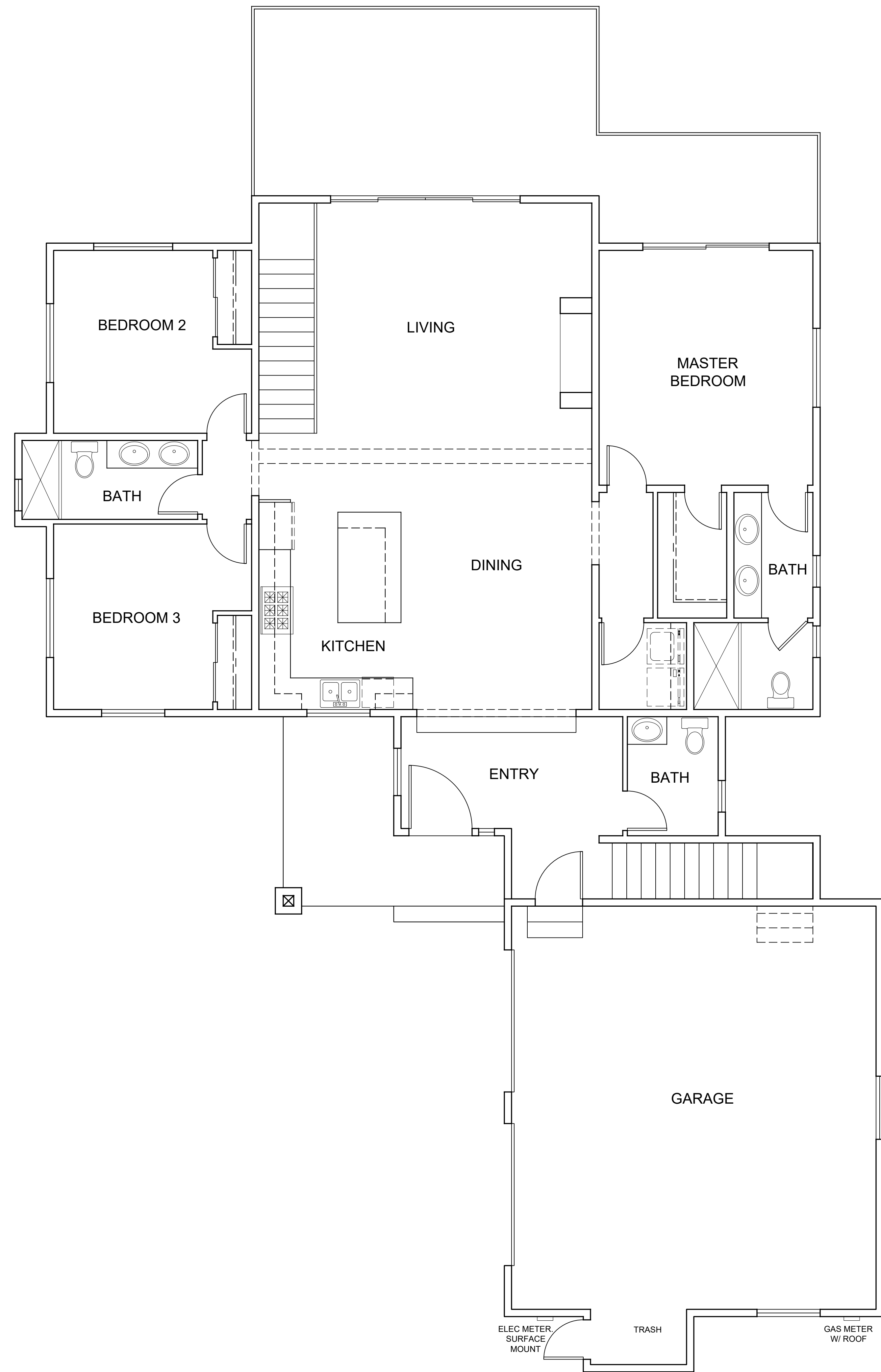
Revisions

SHEET TITLE

EROSION CONTROL PLAN

SHEET #

C2



UNDER FLOOR VENTILATION

PROVIDE UNDER FLOOR CROSS VENTILATION OF 1.0 S.F. MINIMUM FOR EACH 150 S.F. OF UNDER FLOOR AREA. WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON THE GROUND SURFACE THE MINIMUM AREA OF VENTILATION MAY BE LIMITED TO 1 S.F. FOR EACH 1,500 S.F. OF UNDER FLOOR SPACE. ONE VENTILATION OPENING SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING (CRC R408.1) UNVENTED CRAWL SPACE SHALL COMPLY WITH CCRC R408.4

FLOOR AREA: 1390 SQ. FT./150 PER CRC
9.26 X 144 SQ. IN.
1335 IN OF VENTILATION REQUIRED

FOUNDATION VENTS: 8X14 72 SQ.IN.
19 VENTS AT 72 SQ.IN. 1368 SQ. IN.
1368 SQ. IN. PROVIDED

NOTES

REFER TO SHEETS G1, G2, G3, & G4 FOR ADDITIONAL NOTES

INTERIOR FIREPLACE IS GAS MANUFACTURE IS FIREPLACE FPX MODEL IS 864 TRV 31K BTU SPECIAL QI INSPECTION IS REQUIRED

WUI SIDING SPECS: SIERRA PACIFIC IND. #8140-2091-0100

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Revisions

SHEET TITLE
MAIN LEVEL FLOOR PLAN

SHEET #
A1

MAIN LEVEL FLOOR PLAN - 1,795 S.F.
Scale @ 30X42: 1/4" = 1'-0"

SQUARE FOOTAGE
MAIN LEVEL: 1,795 S.F.
UPPER LEVEL: 424 S.F.
BASEMENT LEVEL: 338 S.F.
TOTAL: 2,557 S.F.

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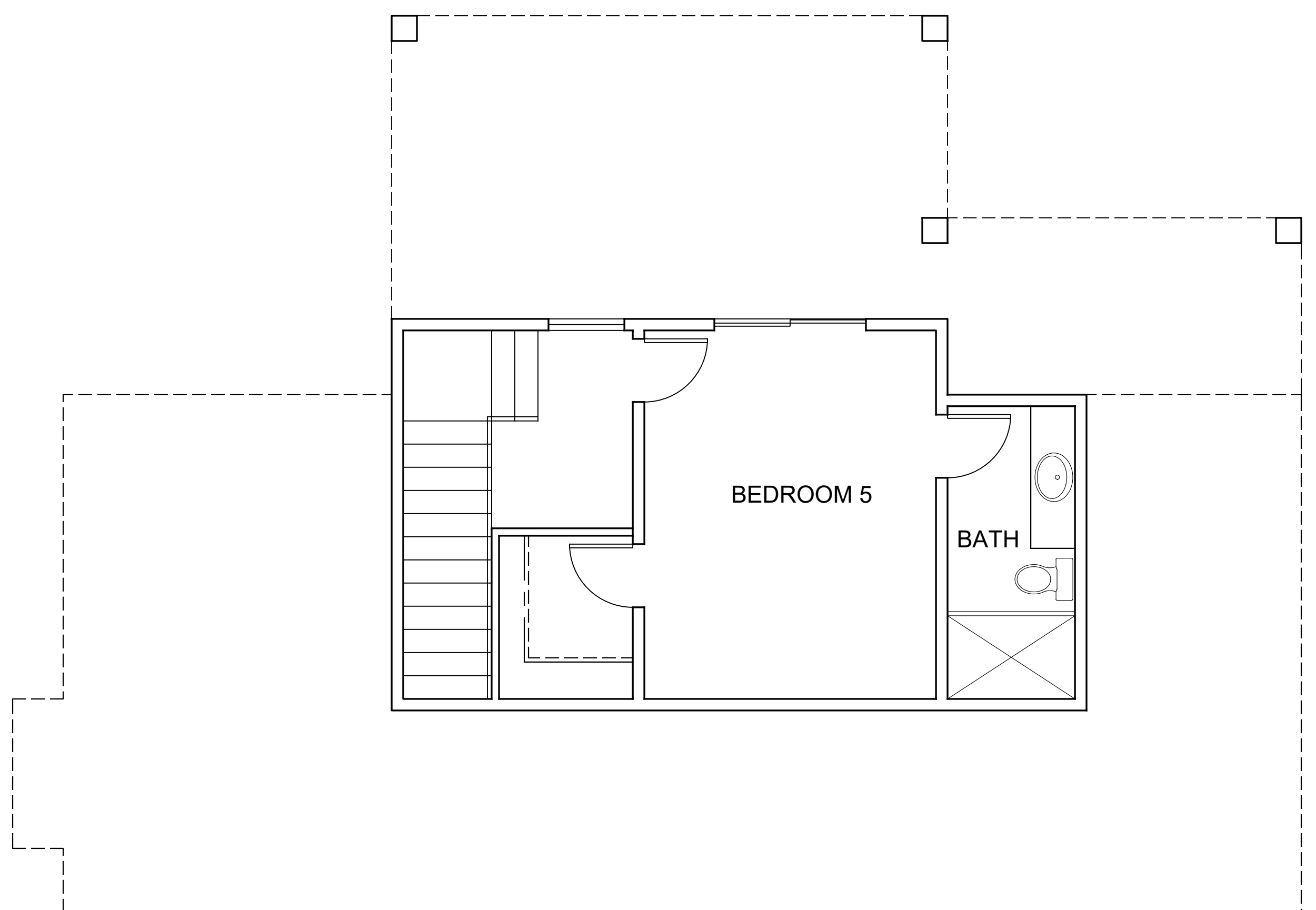
Revisions

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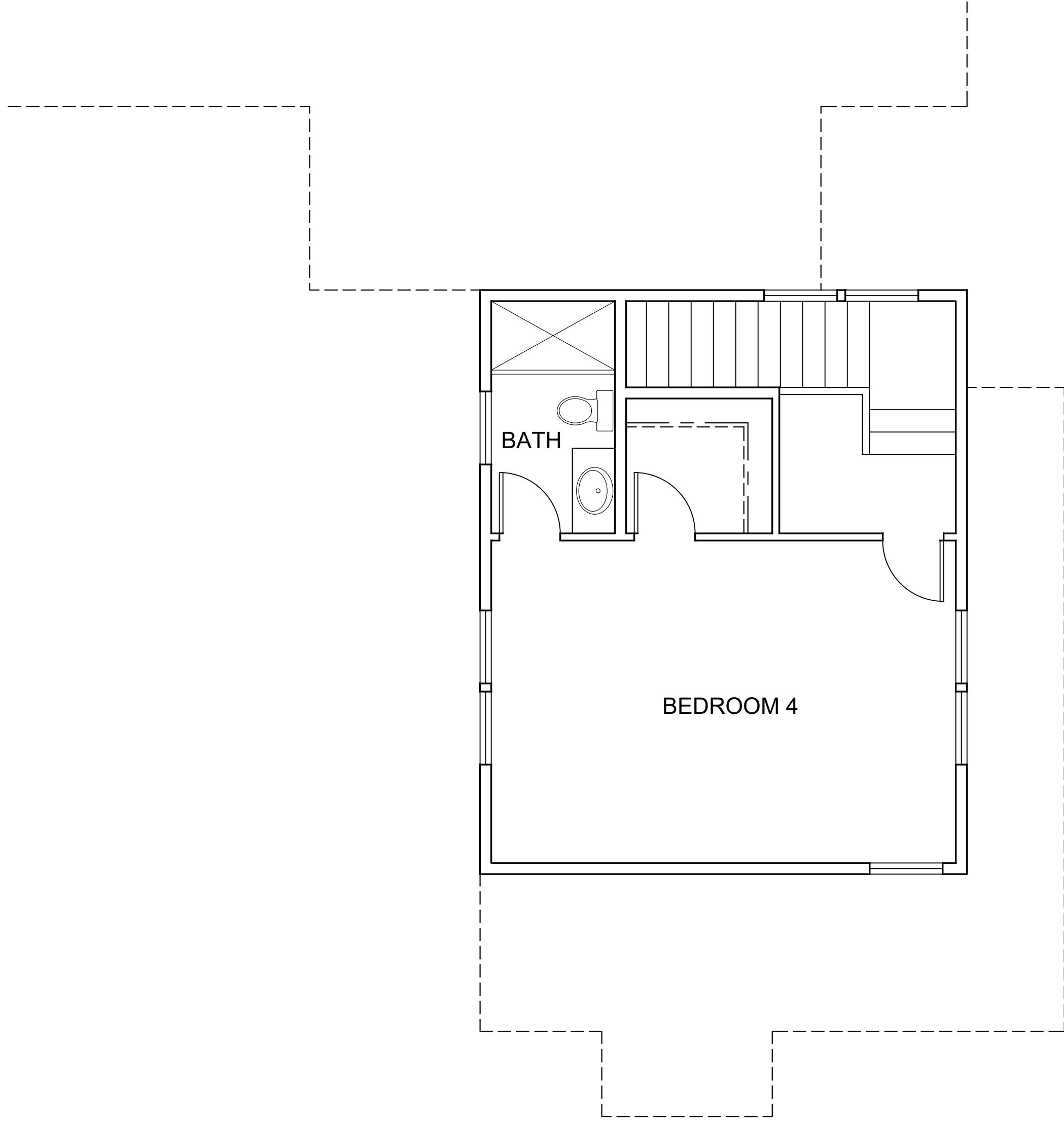
BASEMENT & UPPER LEVEL FLOOR PLAN

SHEET #

A2

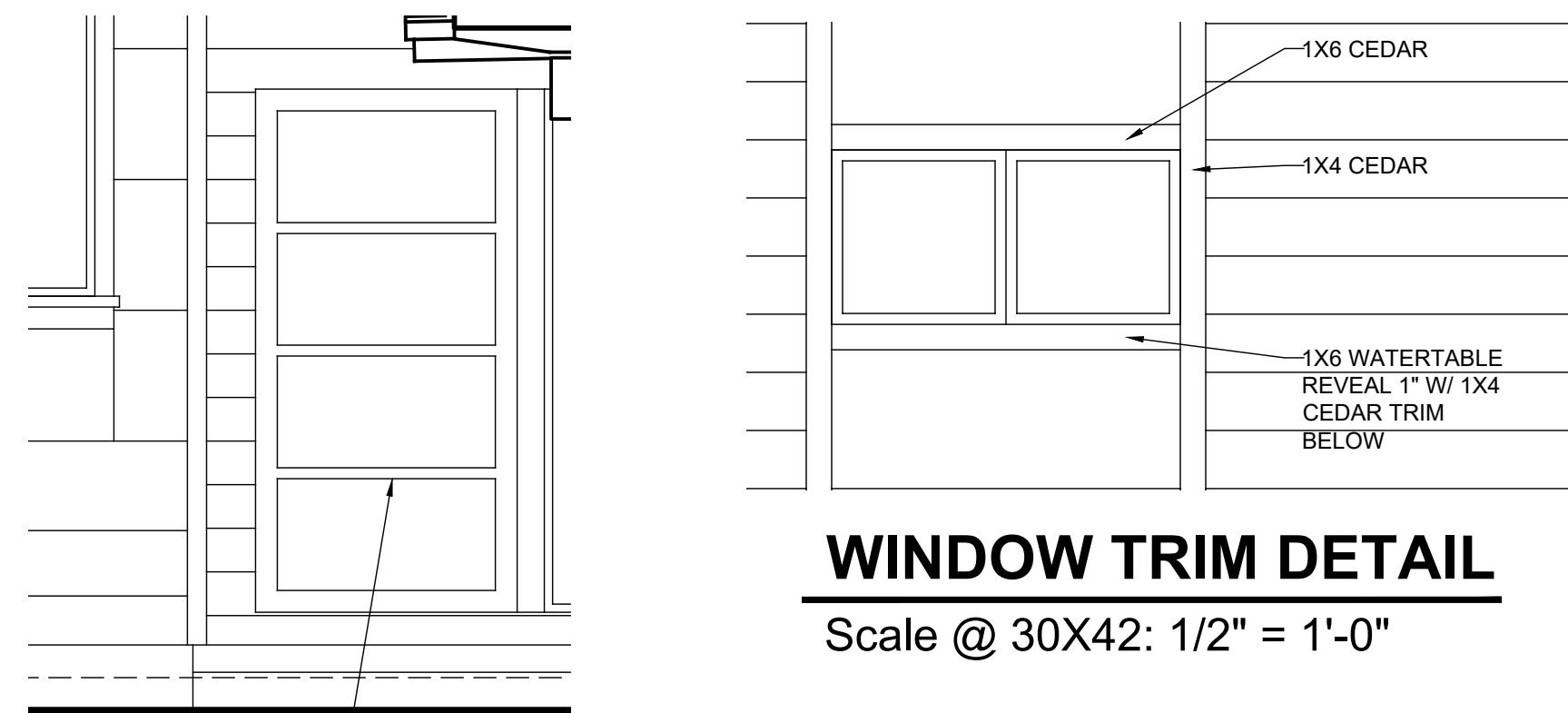


BASEMENT LEVEL FLOOR PLAN - 338 S.F.
Scale @ 30X42: 1/4" = 1'-0"



UPPER LEVEL FLOOR PLAN - 424 S.F.
Scale @ 30X42: 1/4" = 1'-0"

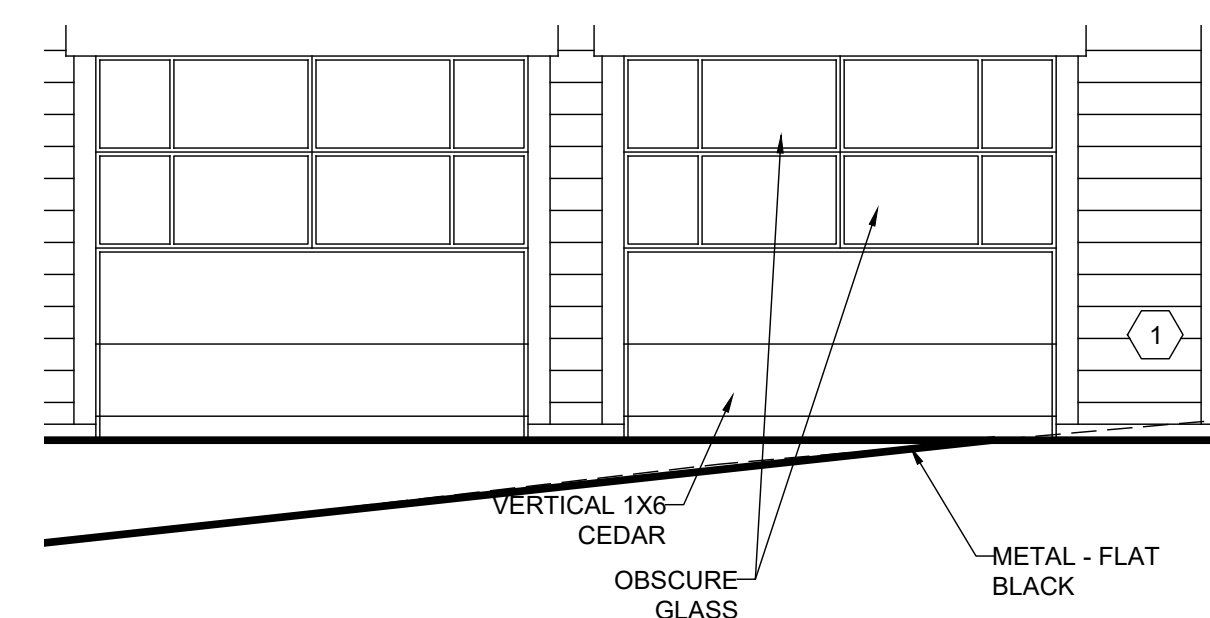
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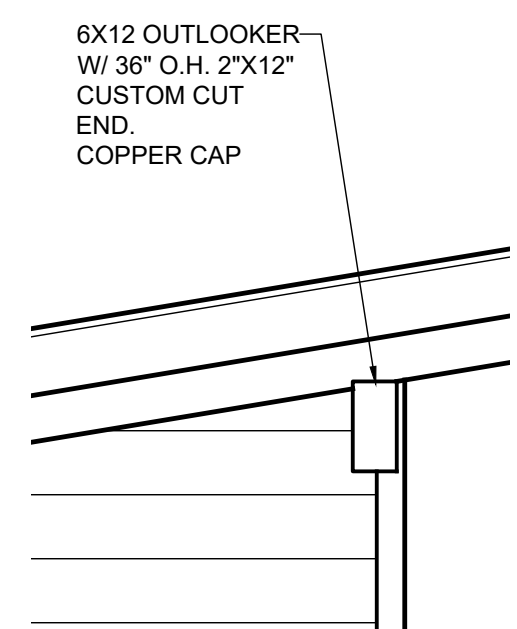
WINDOW TRIM DETAIL
Scale @ 30X42: 1/2" = 1'-0"



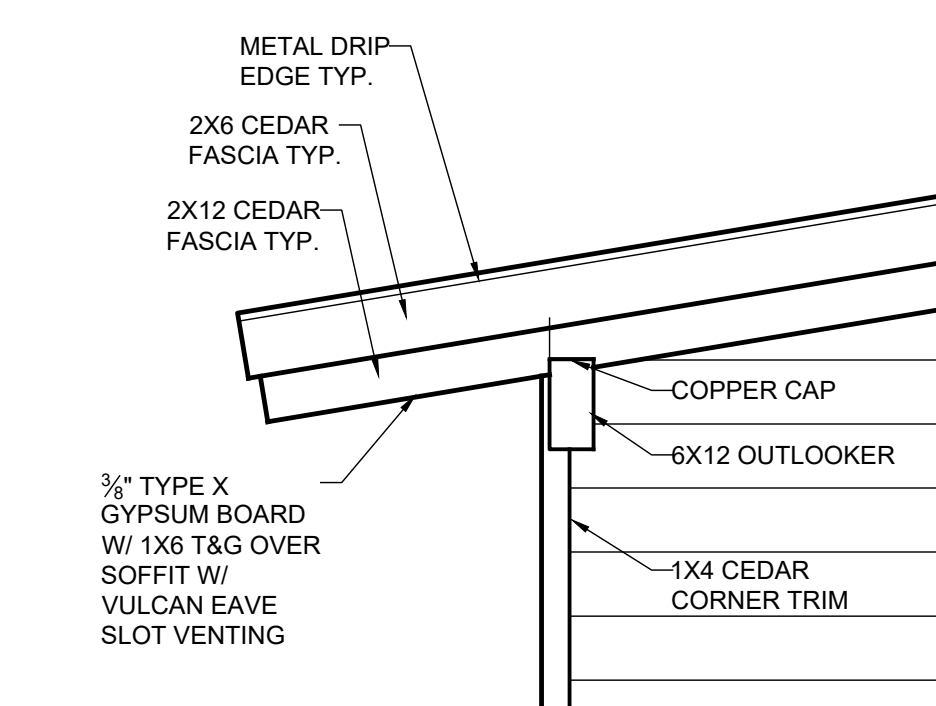
FRONT DOOR DETAIL
Scale @ 30X42: 3/8" = 1'-0"



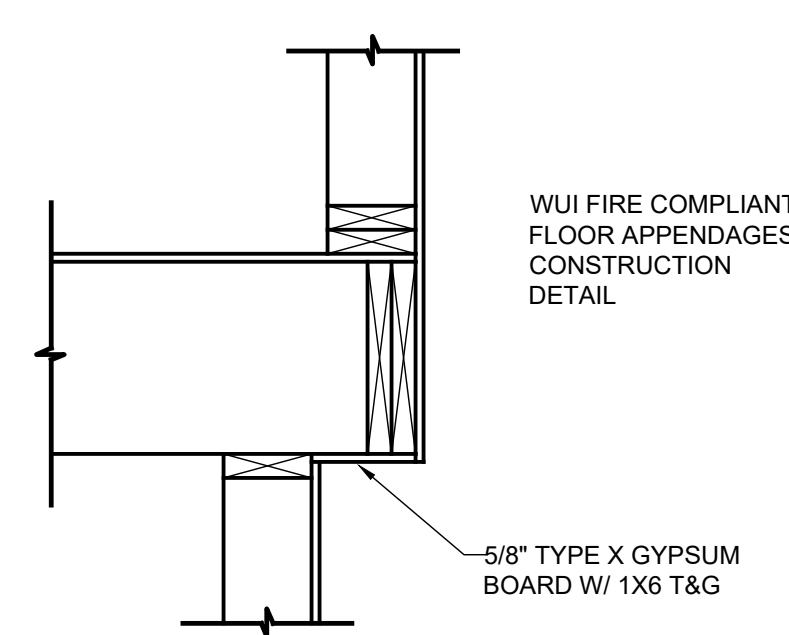
GARAGE DOOR DETAIL
Scale @ 30X42: 1/4" = 1'-0"



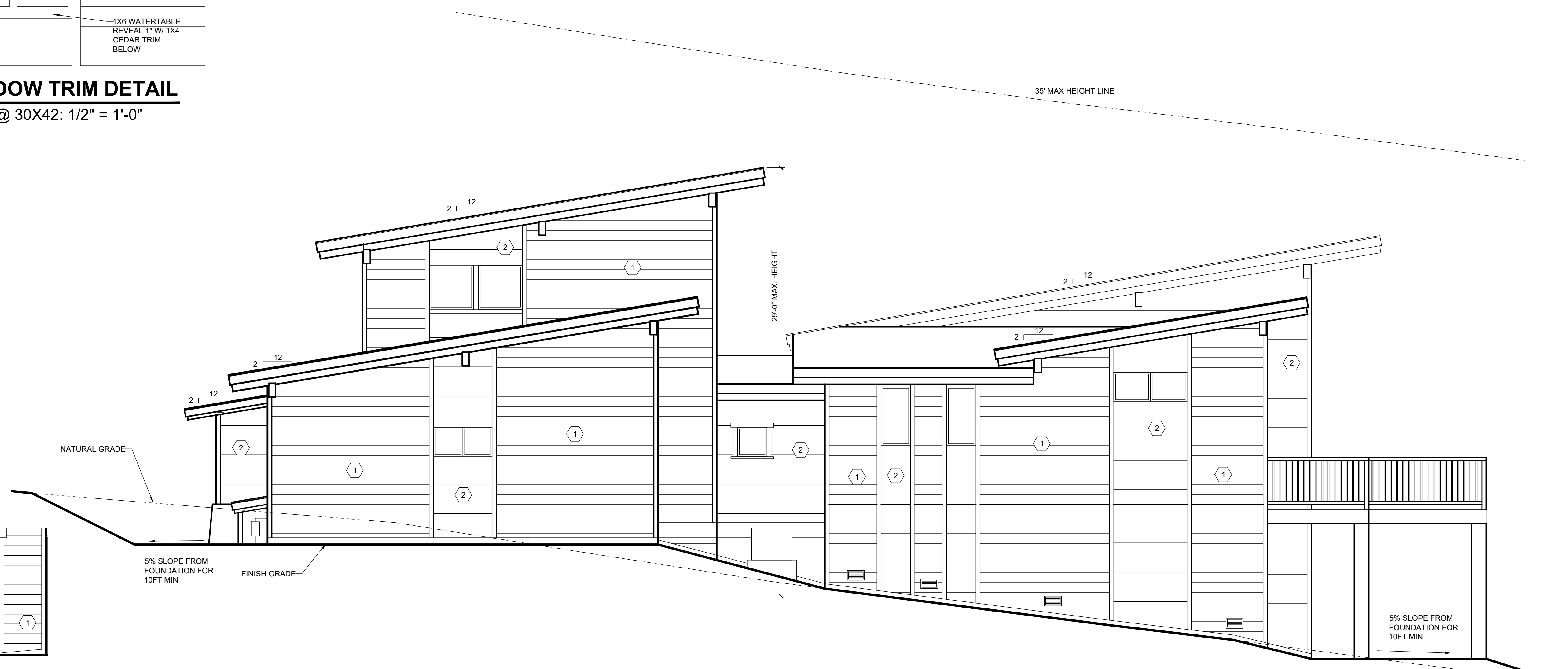
OUTLOOKER DETAIL
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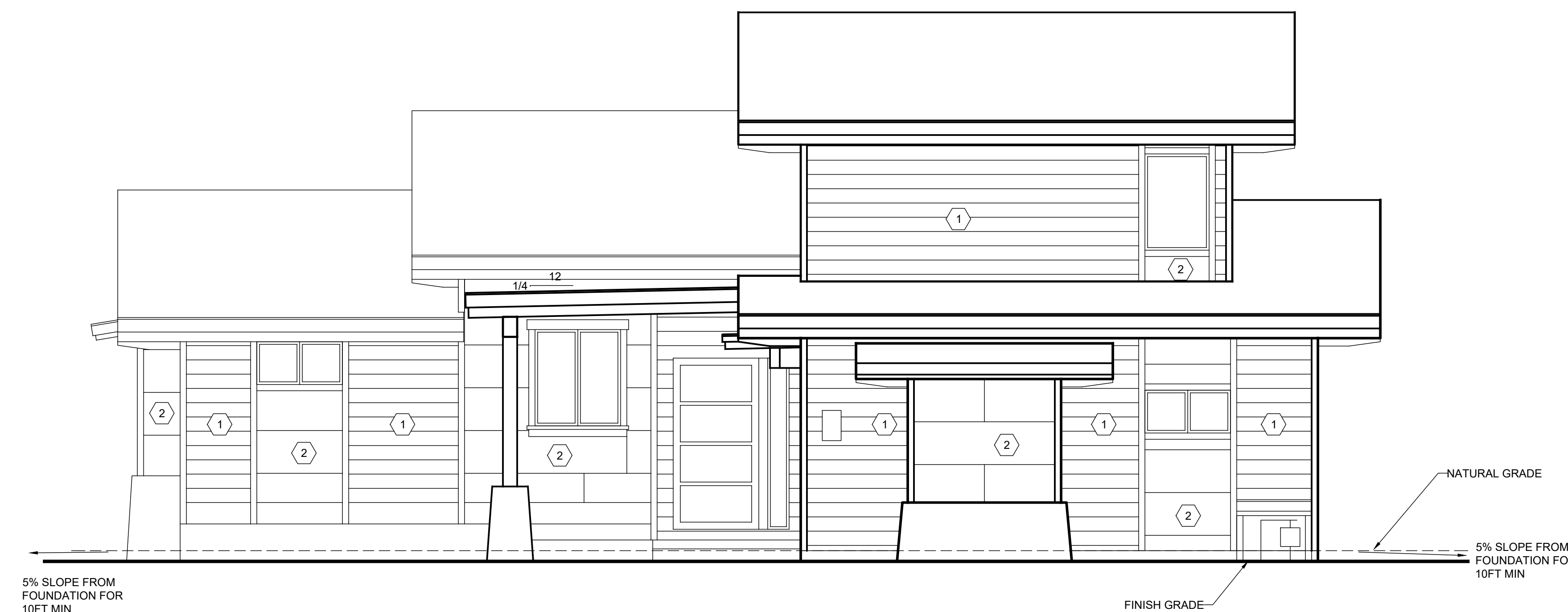
FASCIA DETAIL
Scale @ 30X42: 1/2" = 1'-0"



CANTILEVER DETAIL
Scale @ 30X42: 1" = 1'-0"



ELEVATION
Scale @ 30X42: 1/4" = 1'-0"



ELEVATION
Scale @ 30X42: 1/4" = 1'-0"
STREET SIDE

LEGEND	
①	1X6 CEDAR BOARD HORIZONTAL SIDING
②	METAL SIDING. COLOR: FLAT BLACK
MATERIAL/COLORS	
40 YR COMPOSITION ROOFING@ 2-12 ROOF. WEATHERWOOD	
MSM METAL SALES - STANDING SEAM METAL ROOFING @ DRIP EDGE	
WEATHERED BRONZE	
DOUBLE ROUGH SAWN CEDAR FASCIA 2X12 / 2X6 W/ METAL DRIP EDGE	
FLOOD - SEMI TRANSPARENT - EBONY	
1X6 CEDAR BOARD HORIZONTAL SIDING	
1/2" RABBIT REVEAL (RABBITTED)	
FLOOD - SEMI TRANSPARENT - BLACK OAK	
METAL SIDING 48" PANELS - COLOR: FLAT BLACK	
ROUGH SAWN CEDAR. 1X6 & 1X4 WINDOW TRIM. FLOOD STAIN - SEMI TRANSPARENT - EBONY	
ANDERSON - WOOD-ALUMINUM CLAD - WEATHERED BRONZE	
SAVITTOOTH GRANITE SQUARES & RECTANGLES AT ENTRY POSTS AND WAINSCOT.	
BLACK METAL RAILING	
5% SLOPE FROM FOUNDATION FOR 10FT MIN.	
EXTERIOR LIGHTING TO BE FULLY SCHEDULED. NO LIGHT TO LEAVE PROPERTY. ALL EXTERIOR LIGHTING MUST COMPLY W/ DEVELOPMENT CODE SECTION 18.30.060	
EXPOSED CONCRETE AT THE FOUNDATION WALL SHALL BE MINIMIZED AS MUCH AS POSSIBLE AND KEPT TO A MAXIMUM OF 8" EXPOSURE - EXPOSED CONCRETE SHALL BE STAINED TO MATCH TRIM ON RESIDENCE	

NOTES	
REFER TO SHEETS G1, G2, G3, & G4 FOR ADDITIONAL NOTES	
ALL APPROVED MATERIALS SHALL HAVE THE OFFICE OF STATE FIRE MARSHAL BUILDING MATERIALS LISTING PROGRAM LABEL	
WHERE ROOF PROFILE ALLOWS FOR SPACE BETWEEN THE ROOF COVERING AND DECK, THE SPACES SHALL PREVENT INTRUSION OF FLAMES AND EMBERS	
ATTIC VENT (TYP)	
ENCLOSED ATTIC & RAFTER SPACES SHALL HAVE CROSS VENTILATION BY OPENINGS EQUAL TO 1/150TH OF THE AREA	
ROOF VALLEYS-VALLEY FLASHING SHALL NOT BE LESS THAN 26 GAUGE SHEET METAL INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT FULL LENGTH	
PROVIDE GUARDRAILS AT FLOOR WALKING SURFACE LOCATIONS THAT ARE MORE THAN 30 INCHES ABOVE GRADE. RAILING HEIGHT MUST BE 42 INCHES MINIMUM WITH INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH	
WESTERN RED CEDAR	
FIRE SPREAD RATING 69 CLASS B	
REDWOOD TO BE USED	
FIRE SPREAD RATING 65 CLASS B	
WHITE FUR TO BE USED	
FIRE SPREAD RATING 65 CLASS B	
ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF DEBRIS	
WESTERN RED CEDAR SIDING 7/16" MINIMUM THICKNESS. INSTALLED OVER STRUCTURAL PLYWOOD - RABBITTED MUST COMPLY W/ VOLUNTARY PRODUCT STANDARD PS1 OR VOLUNTARY PRODUCT STANDARD PS2	
ROSEBURG FOREST PRODUCTS BRECKINRIDGE SIDING 19/32" THICK PLAIN SQUARE APA CERTIFIED SIDING	
WESTERN CEDAR BOARD & BATTEN - 7/16" MINIMUM THICKNESS	
INSTALLED OVER STRUCTURAL PLYWOOD MUST COMPLY W/ VOLUNTARY PRODUCT STANDARD PS1 OR VOLUNTARY PRODUCT STANDARD PS2	
8" WIDE BOARD 1" THICK AND 4" WIDE BATTEN. 1-1/4" THICK INSTALLED W/ GAP LESS THAN 1/2" W/ BATTEN ATTACHED W/ 3" LONG FASTENERS - FLAME SPREAD RATING NOT GREATER THAN 75 (CLASS B)	
DIRECT VENT APPLIANCES EXIT TERMINALS, GAS VENTS ETC. SHALL TERMINATE ABOVE ANTICIPATED SNOW DEPTH. ANTICIPATED SNOW DEPTH IS THE GROUND SNOW LOAD DIVIDED BY 25. EXIT TERMINALS AND COMBUSTION AIR INTAKES SHALL NOT BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER WITH SNOW ACCUMULATION	
ALL EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED W/ MINIMUM ONE PANE TEMPERED GLASS OR NOT LESS THAN 20 MINUTE FIRE RESISTANCE RATING	
UNDER FLOOR CROSS VENTILATION OF 10 SQ. FT. MINIMUM FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON THE GROUND SURFACE THE MINIMUM AREA OF VENTILATION MAY BE LIMITED TO 1 SQ. FT. FOR EACH 1,500 SQ. FT. OF UNDER FLOOR SPACE. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. (CRC R408.1)	
UNVENTED CRAWL SPACES SHALL COMPLY WITH CRC R408.3	

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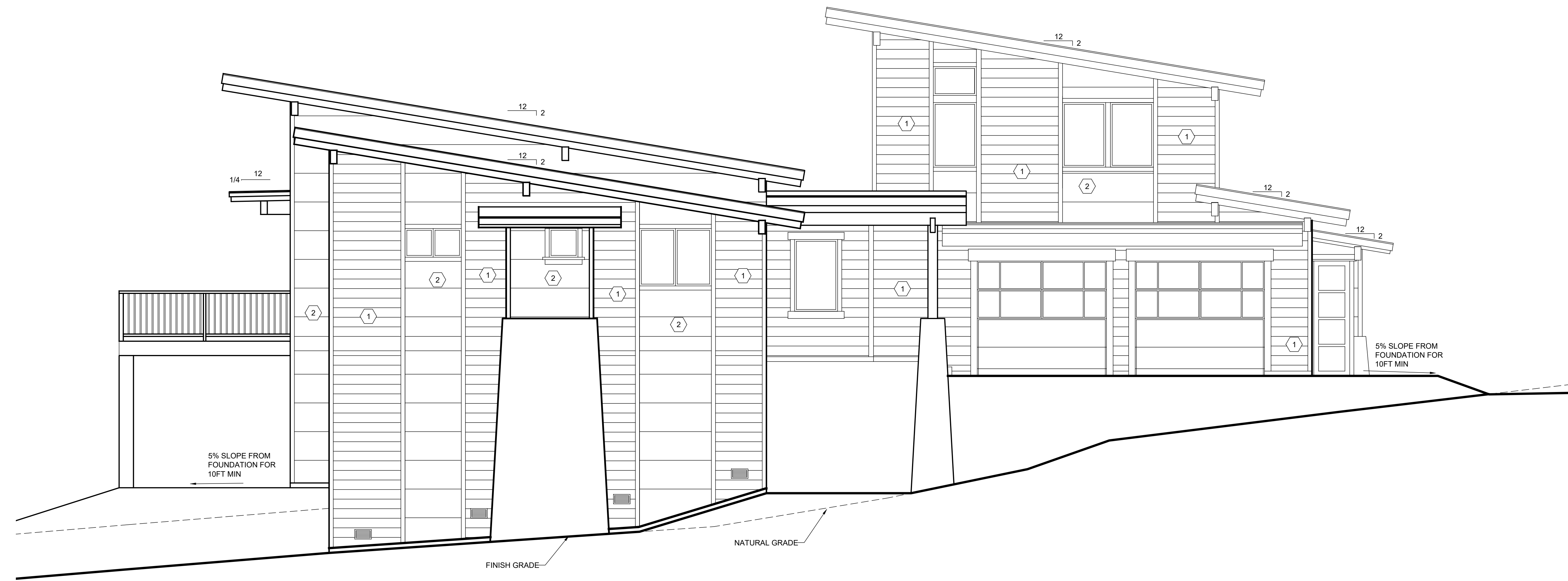
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EXTERIOR ELEVATIONS

SHEET #
A3



ELEVATION

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ELEVATION

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LEGEND

- ① 1X8 CEDAR BOARD HORIZONTAL SIDING
- ② METAL SIDING, COLOR: FLAT BLACK

MATERIAL/COLORS

40 YR COMPOSITION ROOFING@ 2:12 ROOF.
 WEATHERWOOD
 MSM METAL SALES - STANDING SEAM METAL ROOFING
 @ DRIP EDGE
 WEATHERED BRONZE
 DOUBLE ROUGH SAWN CEDAR FASCIA 2X12 / 2X6 W/
 METAL DRIP EDGE
 FLOOD - SEMI TRANSPARENT - EBONY
 1X8 CEDAR BOARD HORIZONTAL SIDING
 1/2" RABBIT REVEAL (RABBETED)
 FLOOD - SEMI TRANSPARENT - BLACK OAK
 METAL SIDING 48" PANELS - COLOR: FLAT BLACK
 ROUGH SAWN CEDAR, 1X8 & 1X4 WINDOW TRIM, FLOOD
 STAIN - SEMI TRANSPARENT - EBONY
 ANDERSON - WOOD-ALUMINUM CLAD - WEATHERED
 BRONZE
 SAVATTOOTH GRANITE SQUARES & RECTANGLES AT
 ENTRY POSTS AND WAINSCOT.
 BLACK METAL RAILING
 5% SLOPE FROM FOUNDATION FOR 10FT MIN.
 EXTERIOR LIGHTING TO BE FULLY SCHEDULED, NO
 LIGHT TO LEAVE PROPERTY. ALL EXTERIOR LIGHTING
 MUST COMPLY W/ DEVELOPMENT CODE SECTION
 18.30.060
 EXPOSED CONCRETE AT THE FOUNDATION WALL SHALL
 BE MINIMIZED AS MUCH AS POSSIBLE AND KEPT TO A
 MAXIMUM OF 8" EXPOSURE - EXPOSED CONCRETE
 SHALL BE STAINED TO MATCH TRIM ON RESIDENCE

NOTES

REFER TO SHEETS G1, G2, G3, & G4 FOR ADDITIONAL
 NOTES
 ALL APPROVED MATERIALS SHALL HAVE THE OFFICE OF
 STATE FIRE MARSHAL BUILDING MATERIALS LISTING
 PROGRAM LABEL
 WHERE ROOF PROFILE ALLOWS FOR SPACE BETWEEN
 THE ROOF COVERING AND DECK, THE SPACES SHALL
 PREVENT INTRUSION OF FLAMES AND EMBERS
 ATTIC VENT (TYP)
 ENCLOSED ATTIC & RAFTER SPACES SHALL HAVE
 CROSS VENTILATION BY OPENINGS EQUAL TO 1/150TH
 OF THE AREA
 ROOF VALLEYS-VALLEY FLASHING SHALL NOT BE LESS
 THAN 26 GAUGE SHEET METAL INSTALLED OVER A
 MINIMUM 36" WIDE UNDERLAYMENT FULL LENGTH
 PROVIDE GUARDRAILS AT FLOOR (WALKING SURFACE)
 LOCATIONS THAT ARE MORE THAN 30 INCHES ABOVE
 GRADE. RAILING HEIGHT MUST BE 42 INCHES MINIMUM
 WITH INTERMEDIATE RAILS SPACED SUCH THAT A
 SPHERE 4 INCHES IN DIAMETER CANNOT PASS
 THROUGH
 WESTERN RED CEDAR
 FIRE SPREAD RATING 69 CLASS B
 REDWOOD TO BE USED
 FIRE SPREAD RATING 65 CLASS B
 WHITE FUR TO BE USED
 FIRE SPREAD RATING 65 CLASS B
 ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO
 PREVENT ACCUMULATION OF DEBRIS
 WESTERN RED CEDAR SIDING 7/16" MINIMUM
 THICKNESS, INSTALLED OVER STRUCTURAL PLYWOOD -
 RABBETED MUST COMPLY W/ VOLUNTARY PRODUCT
 STANDARD PS1 OR VOLUNTARY PRODUCT STANDARD
 PS2
 ROSEBURG FOREST PRODUCTS
 BRECKINRIDGE SIDING 19/32" THICK PLAIN SQUARE APA
 CERTIFIED SIDING
 WESTERN CEDAR BOARD & BATTEN - 7/16" MINIMUM
 THICKNESS
 INSTALLED OVER STRUCTURAL PLYWOOD
 MUST COMPLY W/ VOLUNTARY PRODUCT STANDARD PS1
 OR VOLUNTARY PRODUCT STANDARD PS2
 8" WIDE BOARD 1" THICK AND 4" WIDE BATTEN, 1-1/4"
 THICK INSTALLED W/ GAP LESS THAN 1/2" W/ BATTEN
 ATTACHED W/ 3" LONG FASTENERS - FLAME SPREAD
 RATING NOT GREATER THAN 75 (CLASS 9)
 DIRECT VENT APPLIANCES EXIT TERMINALS, GAS VENTS
 ETC. SHALL TERMINATE ABOVE ANTICIPATED SNOW
 DEPTH. ANTICIPATED SNOW DEPTH IS THE GROUND
 SNOW LOAD DIVIDED BY 25. EXIT TERMINALS AND
 COMBUSTION AIR INTAKES SHALL NOT BE LOCATED
 UNDER DECKS WHICH COULD BE SEALED OFF AROUND
 THE PERIMETER WITH SNOW ACCUMULATION
 ALL EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR
 ASSEMBLIES SHALL BE CONSTRUCTED W/ MINIMUM ONE
 PANE TEMPERED GLASS OR NOT LESS THAN 20 MINUTE
 FIRE RESISTANCE RATING
 UNDER FLOOR CROSS VENTILATION OF 10 SQ. FT.
 MINIMUM FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA
 WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON
 THE GROUND SURFACE THE MINIMUM AREA OF
 VENTILATION MAY BE LIMITED TO 1 SQ. FT. FOR EACH
 1,500 SQ. FT. OF UNDER FLOOR SPACE. ONE
 VENTILATION OPENING SHALL BE WITHIN 3 FEET OF
 EACH CORNER OF THE BUILDING. (CRC R408.1)
 UNVENTED CRAWL SPACES SHALL COMPLY WITH CRC
 R408.3

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Revisions

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET #

A4