

NOTES

ESTIMATED CUBIC YARDS TO BE REMOVED
= TO BE DETERMINED BY EXCAVATION CONTRACTOR =
EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE
EXISTING VEGETATION TO BE TRANSPLANTED WHERE POSSIBLE
TEMPORARY CONSTRUCTION ACCESS WILL BE THE DRIVEWAY OF HOUSE. VIEW CORRIDOR FROM FRONT OF HOUSE IS NONE.
ADDRESS SIGNS AND PORTI-A-POTTI SHALL BE ON JOB SITE AT THE TIME OF FIRST INSPECTION
WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 36" OF EARTH COVERING. WATER SUPPLY PIPING SHALL BE PROVIDED WITH AN APPROVED BACKFLOW PREVENTION DEVICE. THE WATER SERVICE SHAL BE INSTALLED 24" BELOW GRADE AT LOCATION INSIDE THE FOUNDATION PERIMETER. EQUIPPED WITH A (STOP & DRAIN) VALVE AND FITTED WITH HANDLE THAT IS READILY ACCESSIBLE. ALL WATER PIPING SHALL BE GRADED TO DRAIN. PLASTIC MATERIALS FOR WATER SERVICE PIPING OUTSIDE UNDERGROUND SHALL HAVE A BLUE INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR INSTALLED ADJACENT TO THE PIPING
AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL BASED TO ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.
WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATIONS SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLERS. SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. CAL GREEN 4.304.1
THE TOP OF CUT SLOPES AND/OR THE TOE OF FILL SLOPES SHALL NOT BE MADE NEARER TO A PROPERTY LINE THAN 1/3 OF THE VERTICAL HEIGHT OF CUT WITH A MINIMUM OF 2' AND A MAXIMUM OF 10'
PLANS DO SPECIFY AND DEMONSTRATE REQUIREMENTS TO MAINTAIN FIRE BREAK. INSPECTION AND WRITTEN APPROVAL BY THE FIRE MARSHALL SHALL BE OBTAINED PRIOR TO FINAL OF THE BUILDING PERMIT
EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE
ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF DEBIRS
FILL/CUT SLOPE SURFACES SHALL BE NO GREATER THAN 2 TO 1 SLOPE
FINAL GRADE WILL SLOPE 5% FOR 10' AWAY FROM RESIDENCE
CROSS SLOPE DRIVEWAY @ 2% FOR DRAINAGE
6" CLASS II AGGREGATE BASE W/ 4" A.C. ASPHALT ON DRIVEWAY
ALL FOOTINGS WILL BE PLACED IN UNDISTURBED, NATIVE SOIL
COMPACTION REPORT MAY BE REQUIRED WHERE TREES HAVE BEEN REMOVED IN FOUNDATION LINE-DISTURBED SOIL IN BEARING AREA'S TO BE ADDRESSED
THIS PROJECT DOES NOT INCLUDE LANDSCAPING. I AM AWARE THAT FUTURE LANDSCAPE INSTALLATIONS MAY BE REQUIRED TO COMPLY WITH THE TOWN OF TRUCKEE WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS (DEVELOPMENT CODE SECTION 18.40.060)
EXISTING VEGETATION TO BE PRESERVED WHERE POSSIBLE
EXISTING VEGETATION TO BE TRANSPLANTED WHERE POSSIBLE

DEFENSIBLE SPACE NOTES

RMOVAL OF DEAD VEGETATION
REMOVAL OF LADDER FUELS
BREAKING UP DENSE SHRUB FIELDS
REMOVE OR WELL PRUNE FLAMMABLE VEGETATION AND COMBUSTIBLE GROWTH WITHIN 30' OF STRUCTURES.
REMOVAL OF PINE NEEDLES FROM THE GROUND 30' FROM HOUSE
LIMBING TREES 6' FROM THE GROUND
ROOFING TO BE CLASS "A" FIRE RESISTANT

CONSTRUCTION MANAGEMENT PLAN NOTES

NO CONSTRUCTION TRAILER WILL BE USED
VEHICULAR TRAFFIC WILL BE THE DRIVEWAY
CONSTRUCTION STORAGE WILL BE THE DRIVEWAY
CHEMICAL TOILET WILL BE ON JOBSITE
AREA OF DISTURBANCE HAS BEEN LABELED
CONSTRUCTION STAFF TO ALL PARK ON THE SAME SIDE OF STREET



AREA CALCULATIONS

BUILDING FOOTPRINT	2446 S.F.
COVERED ENTRY	115 S.F.
REAR DECK & STAIRS	377 S.F.
DRIVEWAY	1501 S.F.
EAVES, AND ELEVATED DECKS (ABOVE 8' MINUS 1/3)	
TOTAL COVERAGE	4,439 S.F.
TOTAL FOR LOT	15,151 S.F.
PERCENTAGE OF TOTAL LOT COVERAGE	29%
TOTAL MAX. ALLOWABLE COVERAGE 45%	6,818 S.F.
TOTAL BUILDING COVERAGE	2,938 S.F.
TOTAL MAX. ALLOWABLE BUILDING COVERAGE 25% - 2 STORY	19%

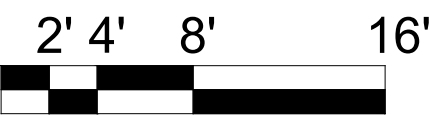
PROPOSED RESIDENCE

GARAGE SLAB	6670'
ENTRY FLOOR F.F. ELEV.	6671.5'
MAIN FLOOR F.F. ELEV.	6672.75'
UPPER FLOOR F.F. ELEV.	6681'
BASEMENT FLOOR F.F. ELEV.	6662.75'

--- LIMIT OF DISTURBANCE IS THE SAME AS CONSTRUCTION ACTIVITY ZONE
--- GRADING

SITE PLAN

Scale @ 30x42 - 1/8" = 1'-0"



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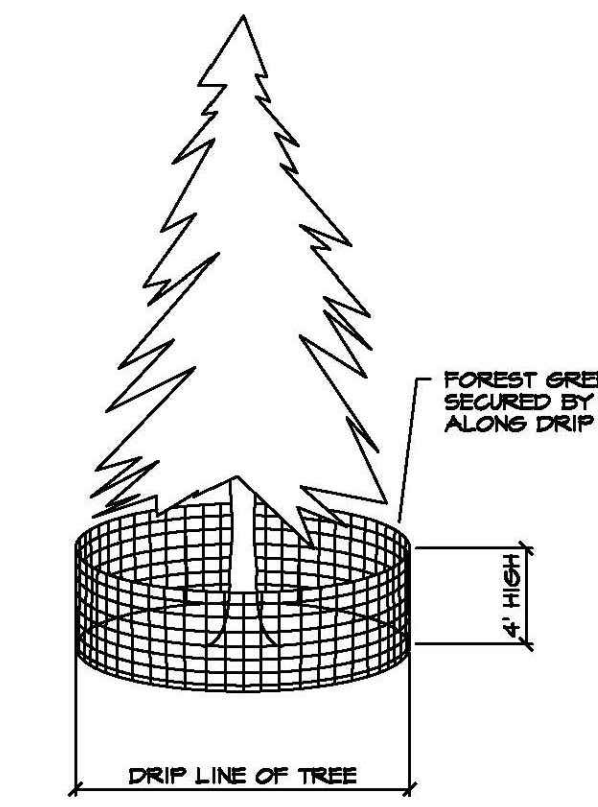
Revisions

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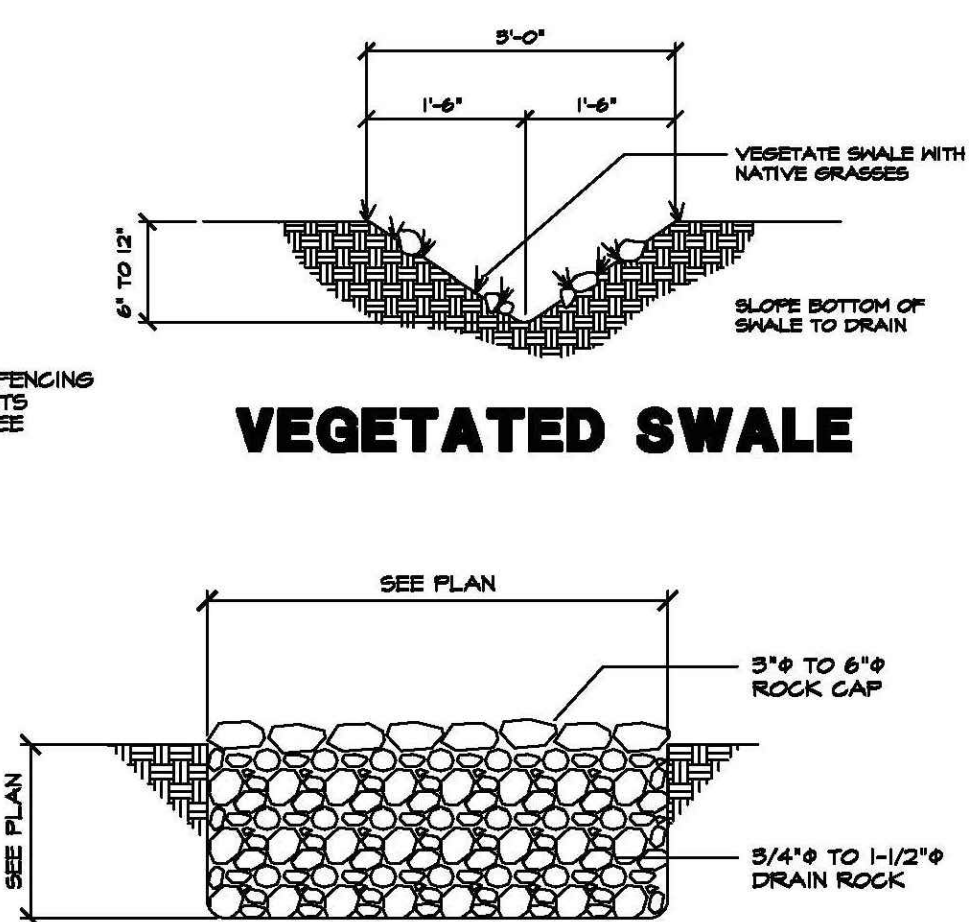
SITEPLAN

SHEET #

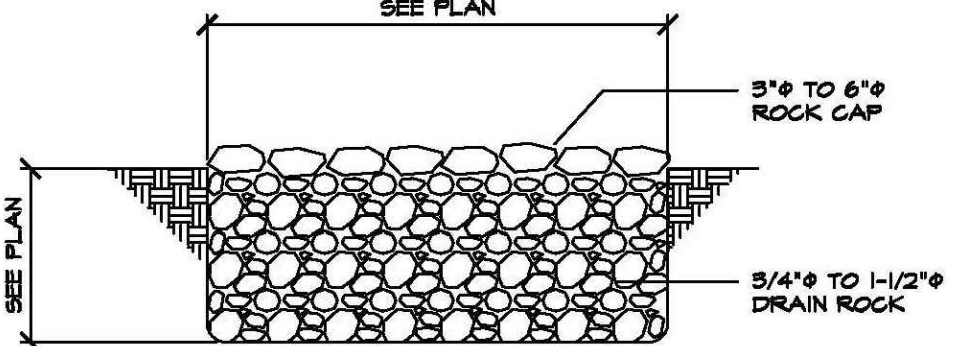
C1



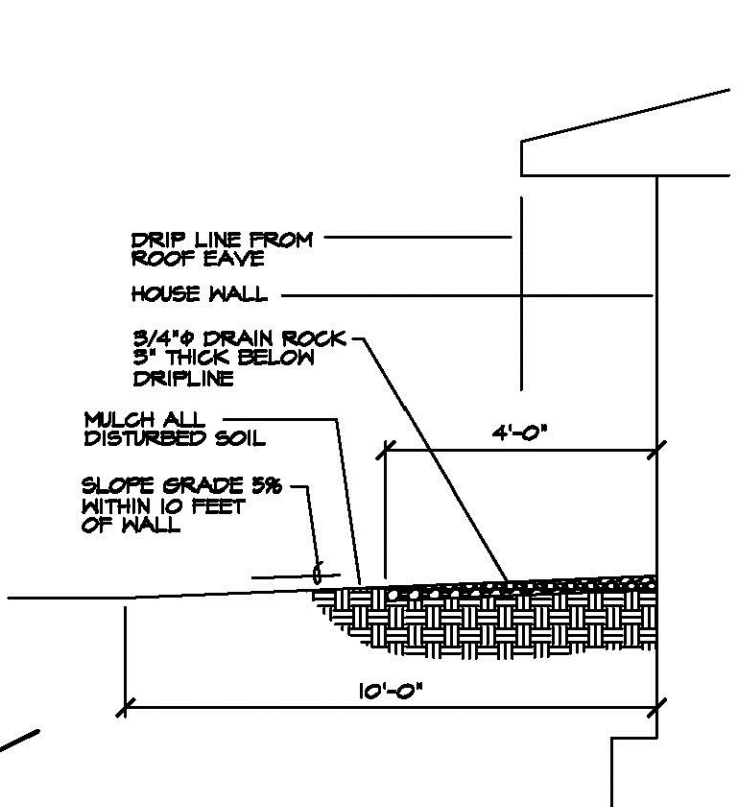
TREE PROTECTION



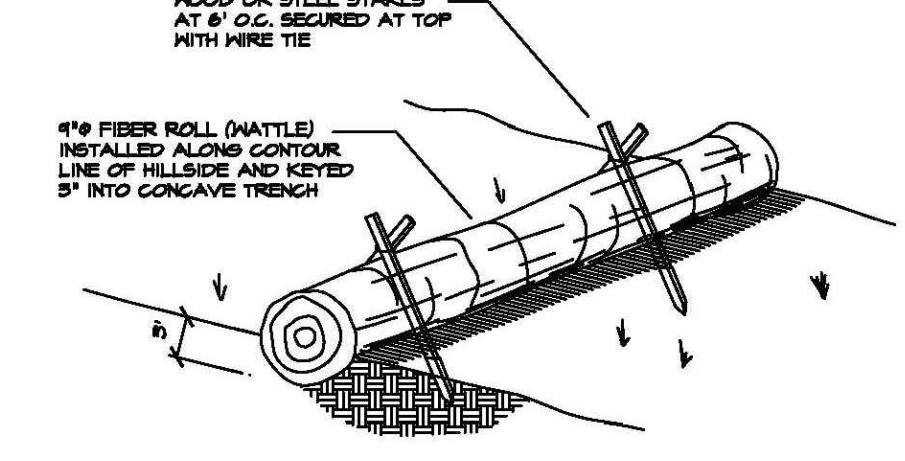
VEGETATED SWALE



DRYWELL DETAIL



ARMORED DRIPLINE TRENCH DETAIL



DRIVEWAY DISPERSION

TEMPORARY EROSION PREVENTION

BMP WORKSHEET

Based upon NRCS Web Soil Survey
33% voids used for drain rock volume.
Design Storm Event = 1.1 in. per hour

Trench Type	Trench Width, Ft	Trench Depth, Ft	Trench Length, Ft	Impervious Surface Sq. Ft.	Drainage Volume Cu. Ft., Vd	Trench Void Volume Cu. Ft., Vv	Vd
A	4	4	25	1105	101.3	133.3	> 101.3
B	3	4	25	1083	99.3	100.0	> 99.3
C	5	4	20	1372	125.8	133.3	> 125.8
D	2	4	22	547	50.1	58.7	> 50.1

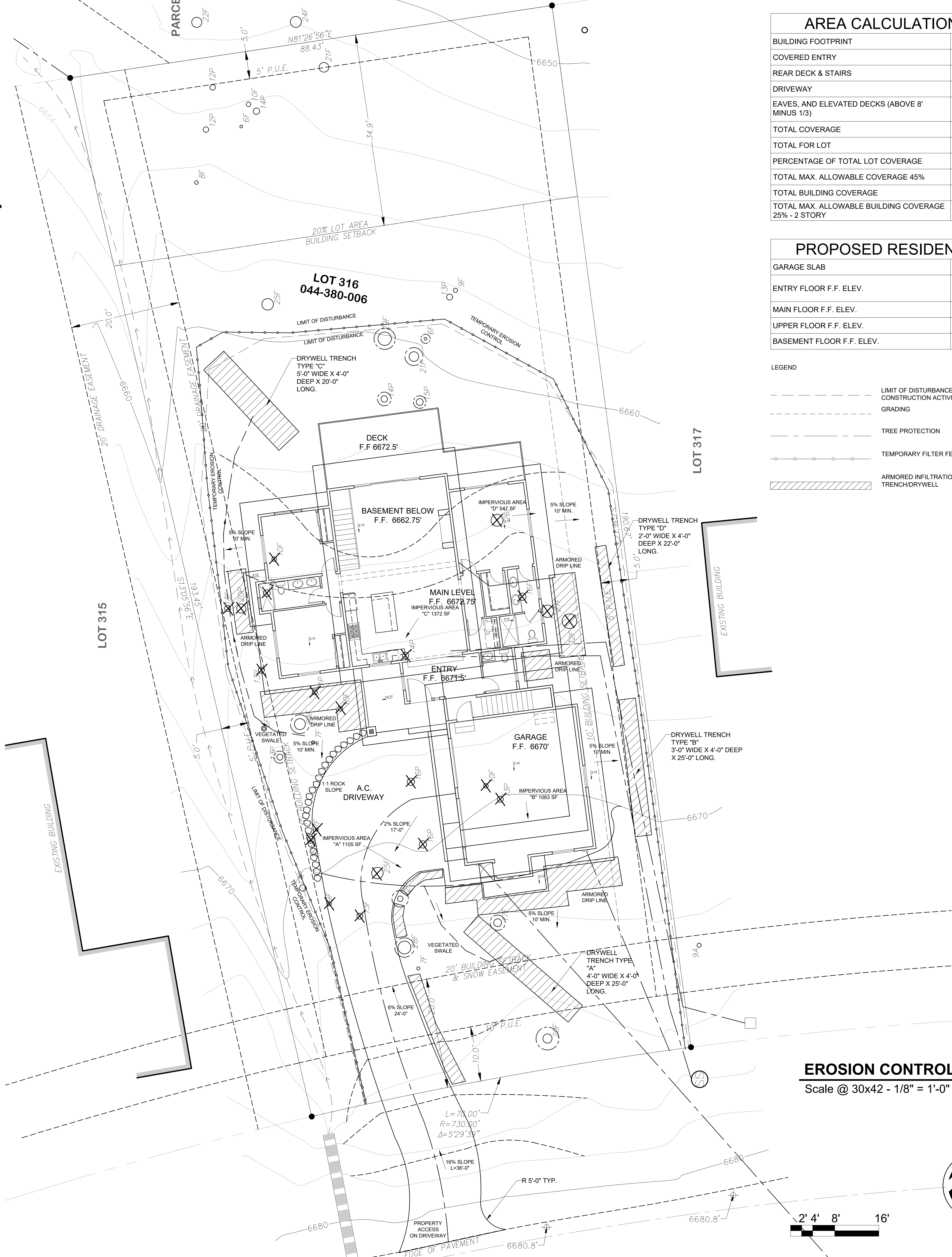
Total Trench Volume = 700 cubic feet = 26 cubic yards

CONSTRUCTION SEQUENCE

- Install temporary erosion prevention barriers.
- Excavate house foundation, install infiltration trenches and install graveled driveway.
- Construct House.
- Install permanent erosion prevention methods.
- Pave Driveway.

Compacted soil required for the garage is estimated to be 25 Cu. Yd.
Excavated soil resulting from driveway, foundation and infiltration trenches is estimated to be 60 Cu. Yd.

TEMPORARY EROSION PREVENTION METHODS
PROVIDE TEMPORARY EROSION PREVENTION BARRIERS AT THE DOWNHILL PERIMETER OF ALL DISTURBED SOIL AREAS AS SHOWN ON THE PLANS
STOCKPILES SHALL BE PROTECTED WITH TAPERS OR OTHER WATERPROOF MEMBRANES ADEQUATELY SECURED TO RESIST WIND FORCES. AN EROSION PREVENTION BARRIER SHALL PROTECT THE PERIMETER OF STOCKPILES
PROVIDE DRIVEWAY TRACK OFF CONTROL. SOIL AND CONSTRUCTION MATERIALS SHALL NOT BE TRACKED OFFSITE
EROSION PREVENTION AND SEDIMENT BARRIERS SHALL BE CHECKED PRIOR TO ANTICIPATED STORM EVENTS, IMMEDIATELY AFTER STORM EVENTS AND WEEKLY BY THE CONTRACTOR OR OWNER/BUILDER
WHERE BARRIERS ARE REMOVED AND/OR STOCKPILES ARE NOT COVERED, THEY SHALL BE AVAILABLE ON SITE FOR INSTALLATION AS NEEDED WITHIN 24 HOURS
PROVIDE A CONCRETE WASHOUT AREA PER PLAN
FOR JOB SITES THAT HAVE NOT RECEIVED AN APPROVED FINAL GRADING INSPECTION BY OCTOBER 15, ADDITIONAL EFFORT SHALL BE MADE TO PROTECT THE SITE FOR THE WINTER
INCLUDE THE FOLLOWING:
INSTALL AND MAINTAIN EFFECTIVE TEMPORARY EROSION PREVENTION FOR DISTURBED AREAS. SILT FENCES SHALL HAVE WIRE BACKING AND METAL STAKES FOR WINTER USE
STABILIZE DISTURBED AND BARE SOIL AREAS WITH VEGETATION, MULCH, WOOD CHIPS, EROSION CONTROL BLANKETS OR SIMILAR METHODS.
CLEAN UP AND REMOVE CONSTRUCTION DEBRIS AND SPOIL PILES
REMOVE OR COVER DIRT STOCKPILES WITH TARPS OR OTHER WATERPROOF MEMBRANES ADEQUATELY SECURED TO RESIST WIND FORCES AND INSTALL PERIMETER CONTAMINANT PROTECTION SUCH AS WATTLES OR SILT FENCES
INSTALL PERMANENT MECHANICAL STABILIZATION AND DRAINAGE IMPROVEMENTS WHERE FEASIBLE SUCH AS DRIPLINE TRENCHES, DRYWELLS OR CATCH BASINS
RESTRICT PARKING AND STORAGE TO PAVED AREAS AND/OR DRIVEWAYS THAT HAVE TRACK OFF CONTROL (GRAVEL)
FOR SITES THAT WILL BE ACTIVE BETWEEN OCTOBER 15 AND MAY 1 WHERE THE DRIVEWAYS WILL BE USED FOR MATERIAL STORAGE AND/OR VEHICLE ACCESS, DRIVEWAYS WITH SLOPES IN EXCESS OF 10. CONCRETE OR THE FUNCTIONAL EQUIVALENT AS APPROVED BY THE BUILDING OFFICIAL
PERMANENT EROSION PREVENTION METHODS
PERMANENT EROSION PREVENTION BARRIERS SHALL BE INSTALLED PER PLAN
DISTURBED SOIL AREAS SHALL BE PROTECTED BY REVEGETATING OR BY INSTALLING PINE NEEDLES, WOOD CHIPS, MULCH, AND/OR OTHER APPROVED SUITABLE METHODS.

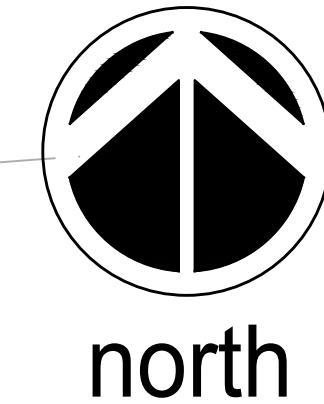
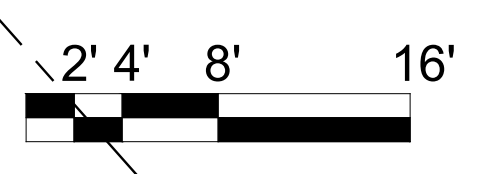


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LEGEND	
---	LIMIT OF DISTURBANCE IS THE SAME AS CONSTRUCTION ACTIVITY ZONE
---	GRADING
---	TREE PROTECTION
---	TEMPORARY FILTER FENCE OR FIBER ROLL
---	ARMORED INFILTRATION/DRIPLINE TRENCH/DRYWELL

EROSION CONTROL PLAN
Scale @ 30x42 - 1/8" = 1'-0"



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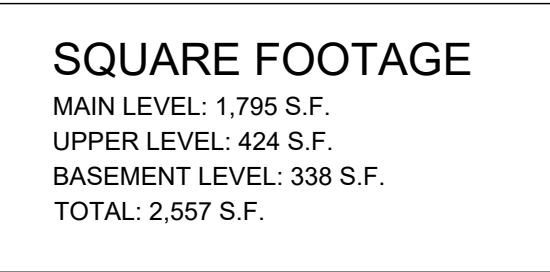
Revisions

SHEET TITLE

EROSION CONTROL PLAN

SHEET #

C2



Scale @ 30X42: 1/4" = 1'-0"

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Revisions	
SHEET TITLE	
MAIN LEVEL FLOOR PLAN	
SHEET #	
A1	

BASEMENT LEVEL FLOOR PLAN - 338 S.F.

Scale @ 30X42: 1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN - 424 S.F.

Scale @ 30X42: 1/4" = 1'-0"

<h2 style="margin: 0;">UNDER FLOOR VENTILATION</h2>			
<p>PROVIDE UNDER FLOOR CROSS VENTILATION OF 1.0 S.F. MINIMUM FOR EACH 150 S.F. OF UNDER FLOOR AREA. WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON THE GROUND SURFACE THE MINIMUM AREA OF VENTILATION MAY BE LIMITED TO 1 S.F. FOR EACH 1,500 S.F. OF UNDER FLOOR SPACE. ONE VENTILATION OPENING SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING (CRC R408.1) UNVENTED CRAWL SPACE SHALL COMPLY WITH CRC R408.4</p>			
<p>FLOOR AREA: 1390 SQ. FT./150 PER CRC 9.26 X 144 SQ. IN. 1335 IN. OF VENTILATION REQUIRED</p>			
<p>FOUNDATION VENTS: 8X14</p>		<p>72 SQ. IN.</p>	
<p>19 VENTS AT</p>		<p>72 SQ. IN. 1368 SQ. IN.</p>	
<p>1368 SQ. IN. PROVIDED</p>			
<h1 style="margin: 0;">NOTES</h1>			
<p>REFER TO SHEETS G1, G2, G3, & G4 FOR ADDITIONAL NOTES.</p>			
<p>INTERIOR FIREPLACE IS GAS MANUFACTURE IS</p>			
<p>FIREPLACE FPX MODEL IS 8644 TR 31K BTU</p>			
<p>SPECIAL OIL FIREFIGHTER</p>			
<p>WUI SIDING SPECS: SIERRA PACIFIC INTL #8140-2091-0100</p>			

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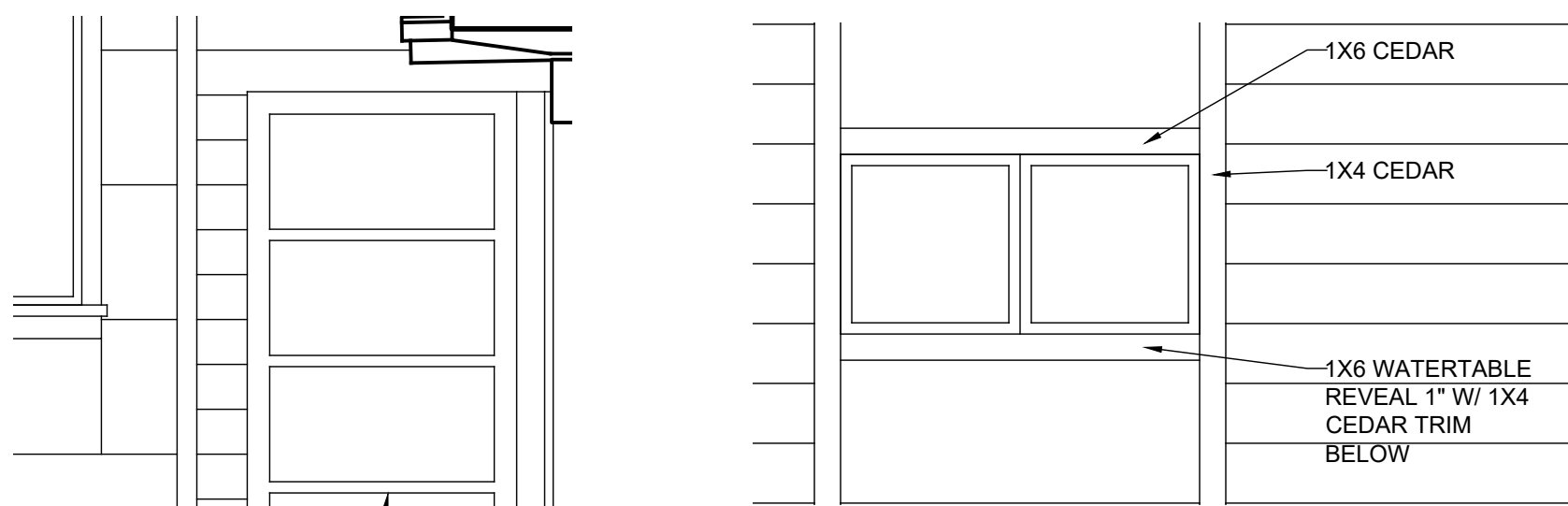
Revisions

SHEET TITLE

**BASEMENT &
UPPER LEVEL
FLOOR PLAN**

SHEET #

A2



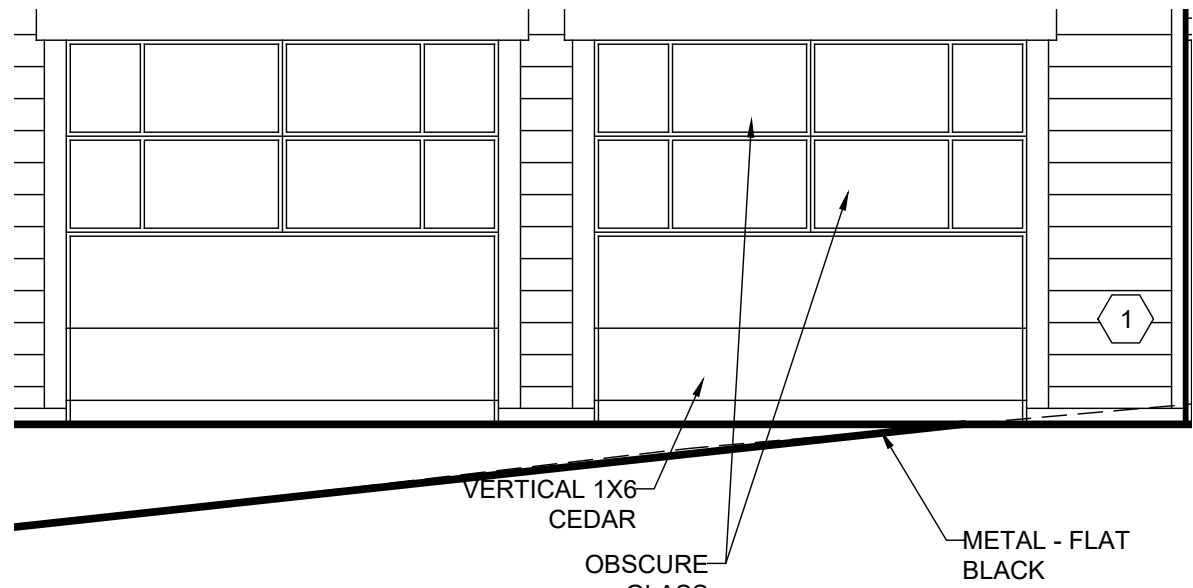
WINDOW TRIM DETAIL

Scale @ 30X42: 1/2" = 1'-0"

4 GLASS PANEL FRONT
DOOR, METAL - FLAT
BLACK

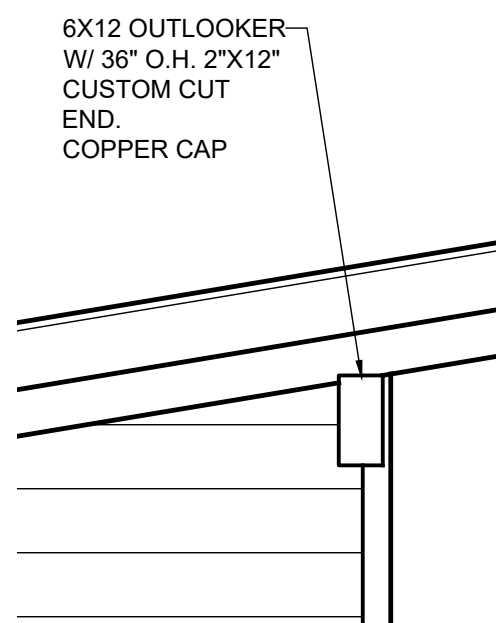
FRONT DOOR DETAIL

Scale @ 30X42: 3/8" = 1'-0"



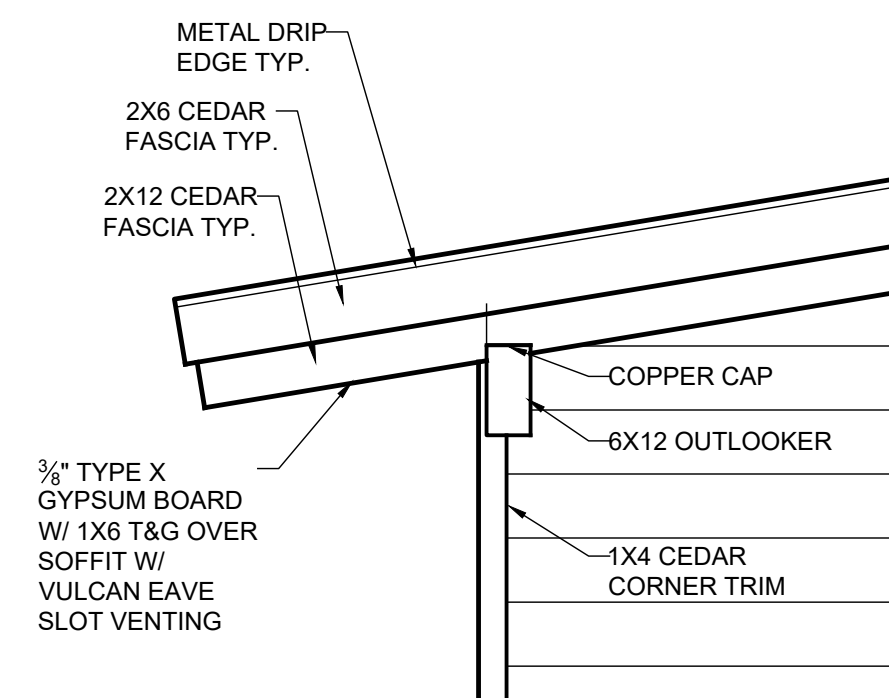
GARAGE DOOR DETAIL

Scale @ 30X42: 1/4" = 1'-0"



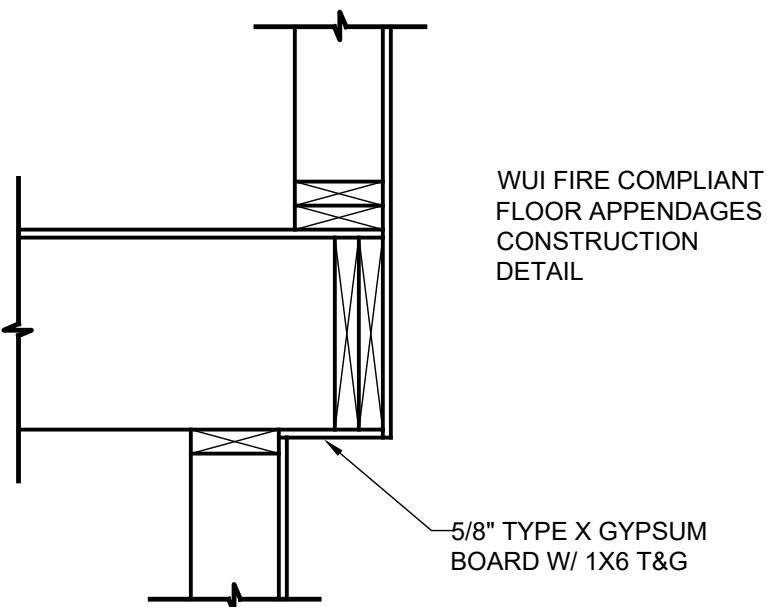
OUTLOOKER DETAIL

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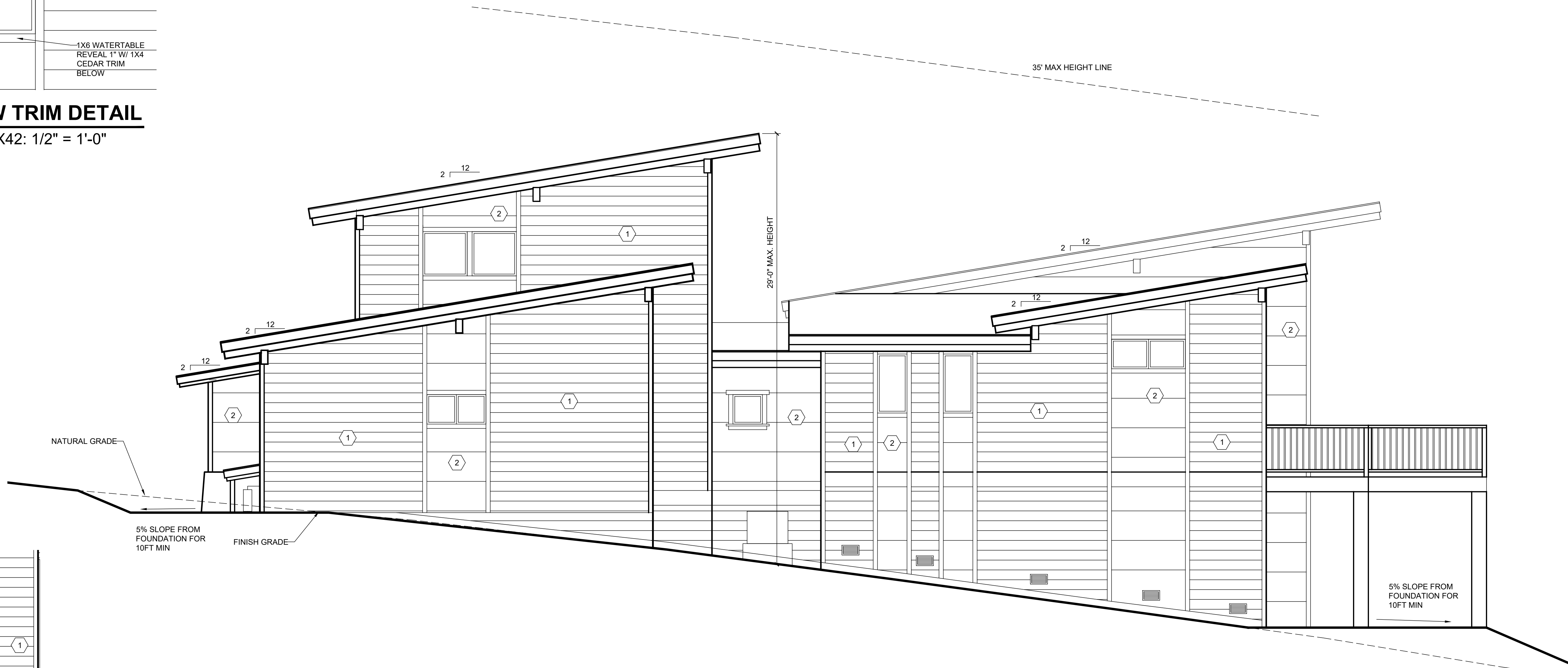
FASCIA DETAIL

Scale @ 30X42: 1/2" = 1'-0"



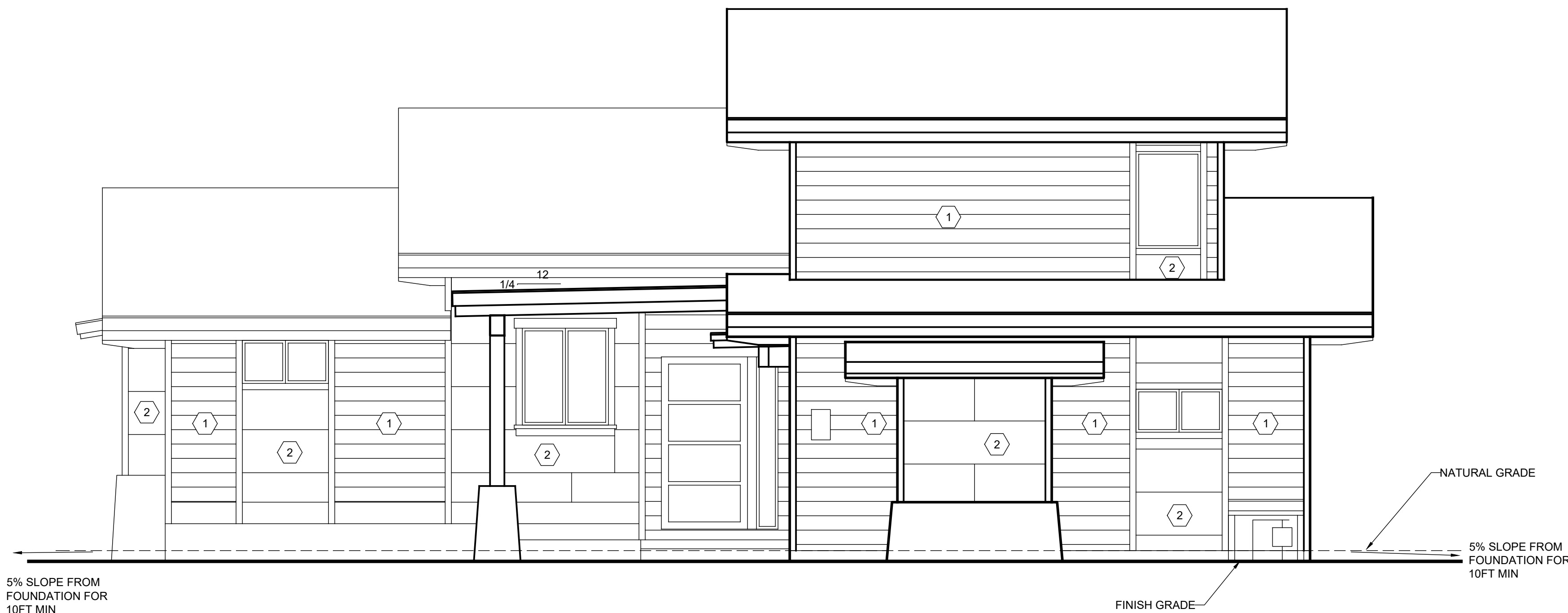
CANTILEVER DETAIL

Scale @ 30X42: 1" = 1'-0"



ELEVATION

Scale @ 30X42: 1/4" = 1'-0"



ELEVATION

Scale @ 30X42: 1/4" = 1'-0"
STREET SIDE

LEGEND

- 1 1X8 CEDAR BOARD HORIZONTAL SIDING
2 METAL SIDING, COLOR: FLAT BLACK

MATERIAL/COLORS

40 YR COMPOSITION ROOFING@ 2-12 ROOF:
WEATHERWOOD
MSM METAL SALES - STANDING SEAM METAL ROOFING
@ DRIP EDGE
WEATHERED BRONZE
DOUBLE ROUGH SAWN CEDAR FASCIA 2X12 / 2X6 W/
METAL DRIP EDGE
FLOOD - SEMI TRANSPARENT - EBONY
1X8 CEDAR BOARD HORIZONTAL SIDING
1/2" RABBIT REVEAL (RABBITTED)
FLOOD - SEMI TRANSPARENT - BLACK OAK
METAL SIDING 48" PANELS - COLOR: FLAT BLACK
ROUGH SAWN CEDAR, 1X6 & 1X4 WINDOW TRIM, FLOOD
STAIN - SEMI TRANSPARENT - EBONY
ANDERSON - WOOD-ALUMINUM CLAD - WEATHERED
BRONZE
SAVATTOOTH GRANITE SQUARES & RECTANGLES AT
ENTRY POSTS AND WAINSCOT.
BLACK METAL RAILING
5% SLOPE FROM FOUNDATION FOR 10FT MIN.
EXTERIOR LIGHTING TO BE FULLY SCHEDULED, NO
LIGHT TO LEAVE PROPERTY. ALL EXTERIOR LIGHTING
MUST COMPLY W/ DEVELOPMENT CODE SECTION
18.30.060
EXPOSED CONCRETE AT THE FOUNDATION WALL SHALL
BE MINIMIZED AS MUCH AS POSSIBLE AND KEPT TO A
MAXIMUM OF 8" EXPOSURE - EXPOSED CONCRETE
SHALL BE STAINED TO MATCH TRIM ON RESIDENCE

NOTES

REFER TO SHEETS G1, G2, G3, & G4 FOR ADDITIONAL
NOTES
AL APPROVED MATERIALS SHALL HAVE THE OFFICE OF
STATE FIRE MARSHAL BUILDING MATERIALS LISTING
PROGRAM LABEL
WHERE ROOF PROFILE ALLOWS FOR SPACE BETWEEN
THE ROOF COVERING AND DECK, THE SPACES SHALL
PREVENT INTRUSION OF FLAMES AND EMBERS
ATTIC VENT (TYP)
ENCLOSED ATTIC & RAFTER SPACES SHALL HAVE
CROSS VENTILATION BY OPENINGS EQUAL TO 1/150TH
OF THE AREA
ROOF VALLEYS-VALLEY FLASHING SHALL NOT BE LESS
THAN 26 GAUGE SHEET METAL INSTALLED OVER A
MINIMUM 36" WIDE UNDERLAYMENT FULL LENGTH
PROVIDE GUARDRAILS AT FLOOR (WALKING SURFACE)
LOCATIONS THAT ARE MORE THAN 30 INCHES ABOVE
GRADE, RAILING HEIGHT MUST BE 42 INCHES MINIMUM
WITH INTERMEDIATE RAILS SPACED SUCH THAT A
SPHERE 4 INCHES IN DIAMETER CANNOT PASS
THROUGH
WESTERN RED CEDAR
FIRE SPREAD RATING 69 CLASS B
REDWOOD TO BE USED
FIRE SPREAD RATING 65 CLASS B
WHITE FUR TO BE USED
FIRE SPREAD RATING 65 CLASS B
ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO
PREVENT ACCUMULATION OF DEBRIS
WESTERN RED CEDAR SIDING 7/16" MINIMUM
THICKNESS, INSTALLED OVER STRUCTURAL PLYWOOD -
RABBITTED, MUST COMPLY W/ VOLUNTARY PRODUCT
STANDARD PS1 OR VOLUNTARY PRODUCT STANDARD
PS2
ROSEBURG FOREST PRODUCTS
BRECKINRIDGE SIDING 19/32" THICK PLAIN SQUARE APA
CERTIFIED SIDING
WESTERN CEDAR BOARD & BATTEN - 7/16" MINIMUM
THICKNESS
INSTALLED OVER STRUCTURAL PLYWOOD
MUST COMPLY W/ VOLUNTARY PRODUCT STANDARD PS1
OR VOLUNTARY PRODUCT STANDARD PS2
8" WIDE BOARD 1" THICK AND 4" WIDE BATTEN, 1-1/4"
THICK INSTALLED W/ GAP LESS THAN 1/2" W/ BATTEN
ATTACHED W/ 3" LONG FASTENERS - FLAME SPREAD
RATING NOT GREATER THAN 75 (CLASS B)
DIRECT VENT APPLIANCES EXIT TERMINALS, GAS VENTS
ETC, SHALL TERMINATE ABOVE ANTICIPATED SNOW
DEPTH, ANTICIPATED SNOW DEPTH IS THE GROUND
SNOW LOAD DIVIDED BY 25, EXIT TERMINALS AND
COMBUSTION AIR INTAKES SHALL NOT BE LOCATED
UNDER DECKS WHICH COULD BE SEALED OFF AROUND
THE PERIMETER WITH SNOW ACCUMULATION
ALL EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR
ASSEMBLIES SHALL BE CONSTRUCTED W/ MINIMUM ONE
PANE TEMPERED GLASS OR NOT LESS THAN 20 MINUTE
FIRE RESISTANCE RATING
UNDER FLOOR CROSS VENTILATION OF 10 SQ. FT.
MINIMUM FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA,
WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON
THE GROUND SURFACE, THE MINIMUM AREA OF
VENTILATION MAY BE LIMITED TO 1 SQ. FT. FOR EACH
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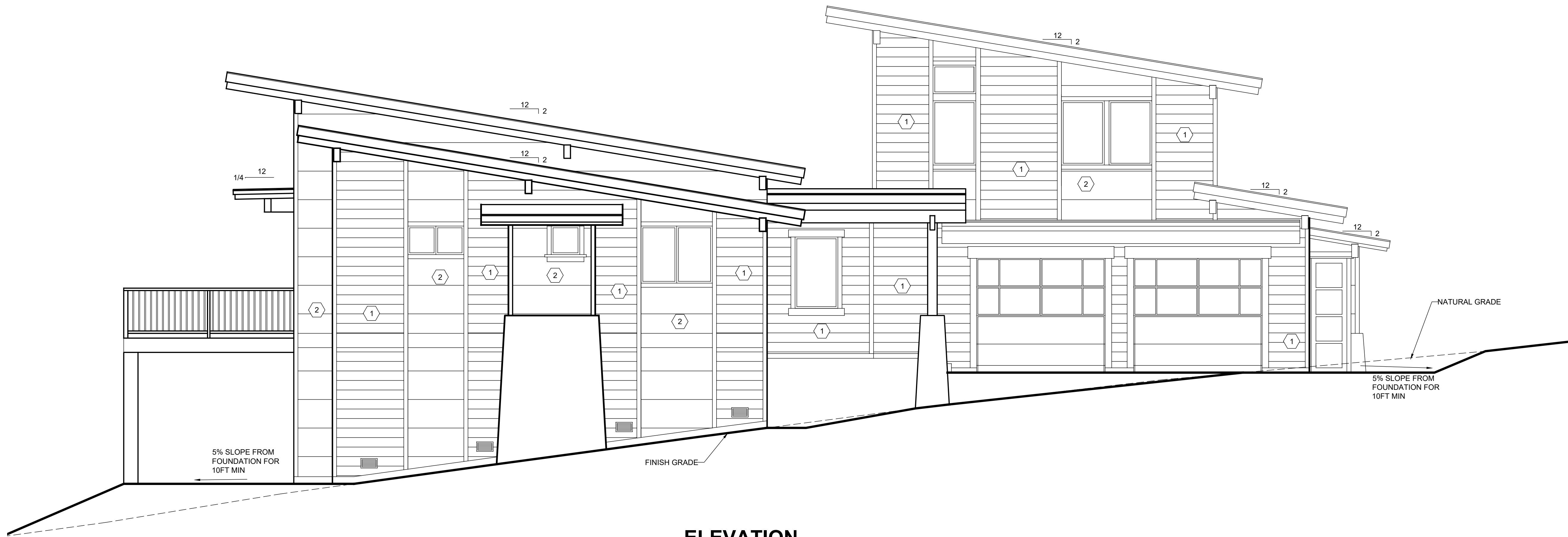
Revisions

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET #

A3



ELEVATION

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LEGEND

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ENCLOSED ATTIC & RAFTER SPACES SHALL HAVE
CROSS VENTILATION BY OPENINGS EQUAL TO 1/150TH
OF THE AREA
ROOF VALLEYS-VALLEY FLASHING SHALL NOT BE LESS
THAN 26 GAUGE SHEET METAL INSTALLED OVER A
MINIMUM 36" WIDE UNDERLAYMENT FULL LENGTH
PROVIDE GUARDRAILS AT FLOOR (WALKING SURFACE)
LOCATIONS THAT ARE MORE THAN 30 INCHES ABOVE
GRADE. RAILING HEIGHT MUST BE 42 INCHES MINIMUM
WITH INTERMEDIATE RAILS SPACED SUCH THAT A
SPHERE 4 INCHES IN DIAMETER CANNOT PASS
THROUGH
WESTERN RED CEDAR
FIRE SPREAD RATING 69 CLASS B
REDWOOD TO BE USED
FIRE SPREAD RATING 65 CLASS B
WHITE FUR TO BE USED
FIRE SPREAD RATING 65 CLASS B
ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO
PREVENT ACCUMULATION OF DEBRIS
WESTERN RED CEDAR SIDING 7/16" MINIMUM
THICKNESS. INSTALLED OVER STRUCTURAL PLYWOOD -
RABBITTED. MUST COMPLY W/ VOLUNTARY PRODUCT
STANDARD PS1 OR VOLUNTARY PRODUCT STANDARD
PS2
ROSEBURG FOREST PRODUCTS
BRECKINRIDGE SIDING 19/32" THICK PLAIN SQUARE APA
CERTIFIED SIDING
WESTERN CEDAR BOARD & BATTEN - 7/16" MINIMUM
THICKNESS
INSTALLED OVER STRUCTURAL PLYWOOD
MUST COMPLY W/ VOLUNTARY PRODUCT STANDARD PS1
OR VOLUNTARY PRODUCT STANDARD PS2
8" WIDE BOARD 1" THICK AND 4" WIDE BATTEN, 1-1/4"
THICK INSTALLED W/ GAP LESS THAN 1/2" W/ BATTEN
ATTACHED W/ 3" LONG FASTENERS - FLAME SPREAD
RATING NOT GREATER THAN 75 (CLASS B)
DIRECT VENT APPLIANCES EXIT TERMINALS, GAS VENTS
ETC. SHALL TERMINATE ABOVE ANTICIPATED SNOW
DEPTH. ANTICIPATED SNOW DEPTH IS THE GROUND
SNOW LOAD DIVIDED BY 25. EXIT TERMINALS AND
COMBUSTION AIR INTAKES SHALL NOT BE LOCATED
UNDER DECKS WHICH COULD BE SEALED OFF AROUND
THE PERIMETER WITH SNOW ACCUMULATION
ALL EXTERIOR WINDOWS AND EXTERIOR GLAZED DOOR
ASSEMBLIES SHALL BE CONSTRUCTED W/ MINIMUM ONE
PANE TEMPERED GLASS OR NOT LESS THAN 20 MINUTE
FIRE RESISTANCE RATING
UNDER FLOOR CROSS VENTILATION OF 10 SQ. FT.
MINIMUM FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA,
WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON
THE GROUND SURFACE THE MINIMUM AREA OF
VENTILATION MAY BE LIMITED TO 1 SQ. FT. FOR EACH
1,500 SQ. FT. OF UNDER FLOOR SPACE. ONE
VENTILATION OPENING SHALL BE WITHIN 3 FEET OF
EACH CORNER OF THE BUILDING. (CRC R408.1)
UNVENTED CRAWL SPACES SHALL COMPLY WITH CRC
R408.3

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Revisions

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET #

A4