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File Information

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Any provision herein which restricts the sale or use of the described real property because of race is invalid and unenforceable under Federal law

STATE OF TEXAS, COUNTY OF BEXAR

I hereby Certify that this instrument was FILED in File Number Sequence on this date and at the time stamped hereon by me and was duly RECORDED in the Official Public Record of Bexar County, Texas on:
12/8/2023 12:57 PM



Lucy Adame-Clark
Lucy Adame-Clark
Bexar County Clerk

NOTICE TO THE PUBLIC

SCANNED

WHEREAS, there is certain real property in the City of San Antonio, County of Bexar, State of Texas, known and described as Royal Ridge Unit VIII, a subdivision of 29.451 acres out of the J.P.A. Scott Survey No. 323, Abstract 676, County Block 5074, including all parts thereof platted for dedication to public use or for use as easements for specific purposes, said plat being of record in Volume 8600, Pages 171-172, Deed and Plat Records of Bexar County, Texas, and

WHEREAS, there is on file and of public record a "Revised and Restated Declaration of Covenants, Conditions & Restrictions Royal Ridge Executive Homes Association, Inc.," found at Book 18209, Pages 1061-1091, Deed and Plat Records of Bexar County, Texas, applying to Royal Ridge Unit VIII, and

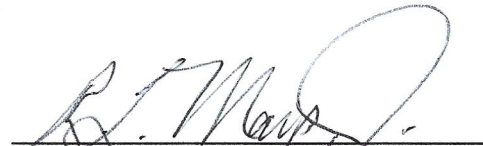
WHEREAS, the Royal Ridge Executive Homes Association, Inc., in accordance with the provisions in said Declaration, adopted a resolution affecting a portion of said Declaration.

NOW THEREFORE, THIS NOTICE IS PROVIDED TO THE PUBLIC:

On December 3, 2023, the Royal Ridge Executive Homes Association, Inc., (also known as Garden Homes II) adopted the attached Procedures and Schedule of Fines at the Regular Semi-Annual Meeting of the Members.

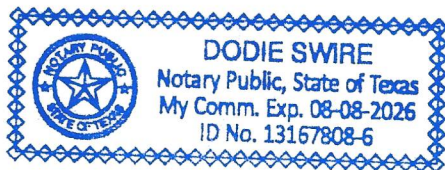
The lots affected are commonly known as 6027- 6427 Royal Ridge Drive, 6002- 6158 Royal Breeze, and 10802- 10895 Royal Bluff, all in San Antonio, Bexar County, Texas.

SIGNED on this the 8th day of December, 2023.



Robert L. Mays, Jr./A/K/A
Lee Mays, President

SUBSCRIBED AND SWORN TO BEFORE ME on this the 8 day of December, 2023 to certify which witness my hand and official seal.





Notary Public
State of Texas
My Commission Expires:

GARDEN HOMES II

WHEREAS, in the past Garden Homes II has levied fines on property owners for violation of its Covenants, and

WHEREAS, past fine amounts have been insufficient to enforce Garden Homes II covenants and maintain the standards required of property owners, and

WHEREAS, Garden Homes II desires to formally state its policy for fines,

THEREFORE, BE IT RESOLVED THAT Garden Homes II adopts the attached procedures for fines and schedule of fines.

A semi-annual meeting of Garden Homes II having been duly scheduled, and with a quorum being present, and by an affirmative vote of the attending members, the above resolution is approved, adopted and ratified. The secretary is directed to file this resolution and its approval in the Minutes of the records of Garden Homes II effective this 3rd day of December, 2023, and further to record same in the Real Property Records of Bexar County, Texas and in its online web site.



Pam Fosdick, Secretary



Lee Mays, President

GARDEN HOMES II PROCEDURES FOR FINES

With the goal of early resolution of problem areas within the homeowners' association, Garden Homes II may communicate and resolve violations of its covenants, rules and procedures with property owners prior to implementing the following procedures:

PROCEDURES

The president of Garden Homes II, and/or his designee, shall provide written notice of a violation and the amount of the fine to an offending property owner. The notice shall identify whether the violation is curable or not. Notice shall be sent via certified mail to the property owner at the address listed in Garden Homes II records. A property owner shall notify Garden Homes II if the correct address is the one of record with the Bexar County Appraisal District, www.bcad.org.

If the violation is curable, a cure period (a reasonable time) shall be given by which the property owner may avoid the fine. Within thirty (30) days of the fine notice, the property owner may request a hearing concerning the fine with the Board of Directors of Garden Homes II for either a curable or non-curable violation. The Garden Homes II Board of Directors may be contacted at www.royalridgesa.org at the Garden Homes II tab. After the hearing, within ten (10) days, the property owner may appeal the Board decision by a written communication to the Board president.

The Garden Homes II membership shall consider the appeal of the fine at the next regularly scheduled meeting of Garden Homes II. Meeting dates are listed online at www.royalridgesa.org. Upon secret ballot of the members, the fine shall be affirmed or vacated. Further appeals, if any, shall proceed through the Bexar County courts. Any further appeal must occur within sixty (60) days of the decision at the Garden Homes II membership meeting.

Royal Ridge Executive Homes Association, Inc.

Schedule of Fines

Fines generally shall be assessed monthly, but may be assessed more frequently as long as notice is provided to the homeowner.

	<u>Amount</u>
1. Failure to comply with San Antonio City Code Sect. 302 such as allowing soil erosion (302.2), weeds or vegetation of 12" or more (302.4) or rodents (302.5)	\$ 25.00
2. Incomplete landscaping or covering yard in concrete (violation of SAPM Code Sect. 302.2)	25.00
3. Failure to trim and allowing overgrowth of landscaping	25.00
4. Failure to clean up trimmings from bushes or grass within seven (7) days	25.00
5. Fences – violation of SAPM Code Section 302.7.1 (Alleys are defined to be a public way.)	25.00
6. Failure to keep property repaired and painted (violation of SAPM Code Section 304)	25.00
7. Garbage (violation of SAPM Code Sect. 308)	25.00
8. Failure to keep night lights in alley on automatic timer and lit at night	25.00
9. Failure to complete yard remodeling project within sixty (60) days from project start	25.00
10. Failure to remove dead tree or bushes from property	25.00
11. Failure to replace broken windows within 7 days	25.00
12. Failure to hide garbage, recycling or organic collection bins	25.00
13. Failure to keep sidewalks clear 36" wide & 80" high (ADA) (City of San Antonio Municode Sect. 29-10)	25.00
14. Failure to properly maintain sidewalks (Municode Sect. 29-11) (City of San Antonio Cost Share – call 311)	25.00
15. Violation of other covenants, restrictions, City Codes, Ordinances, statutes or the common law	25.00
16. Parking oversized commercial vehicle or truck and trailer overnight in Garden Homes II	25.00/day
17. Parking RV vehicle for more than 3 days in Garden Homes II	25.00/day

For second and subsequent violations of 1-17 above within one year, the fine shall be \$25.00 per week. Daily fines shall double to \$50.00/day.

The San Antonio City Code is available by going to the City of San Antonio web site and searching for "city code." See also

https://www.municode.com/library/tx/san_antonio/codes/code_of_ordinances.

The San Antonio Property Maintenance Code Ordinance 2015 is available at

<http://docsonline.sanantonio.gov/FileUploads/DSD/SAPMCOOrdinance2015final.pdf>.