

**PROPOSED NEW
TENANT SPACE UPFIT
SUNFISH FISH MARKET & SUSHI
5352 YADKIN RD SUITE 106
FAYETTEVILLE, NC 28303**

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DESIGNED BY:
TIMOTHY PEPPERS JR.
RESIDENTIAL DESIGN
CONSULTANT

**CAMERON
NORTH CAROLINA
(910) 644-4587**

PROPERTY OF TPJR

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**Sunfish Fish Market & Sushi
5352 Yadkin Rd Suite 106
Fayetteville NC**

COVERSHEET

SCALE:

DATE:

12/3/20

Project number

20031200001

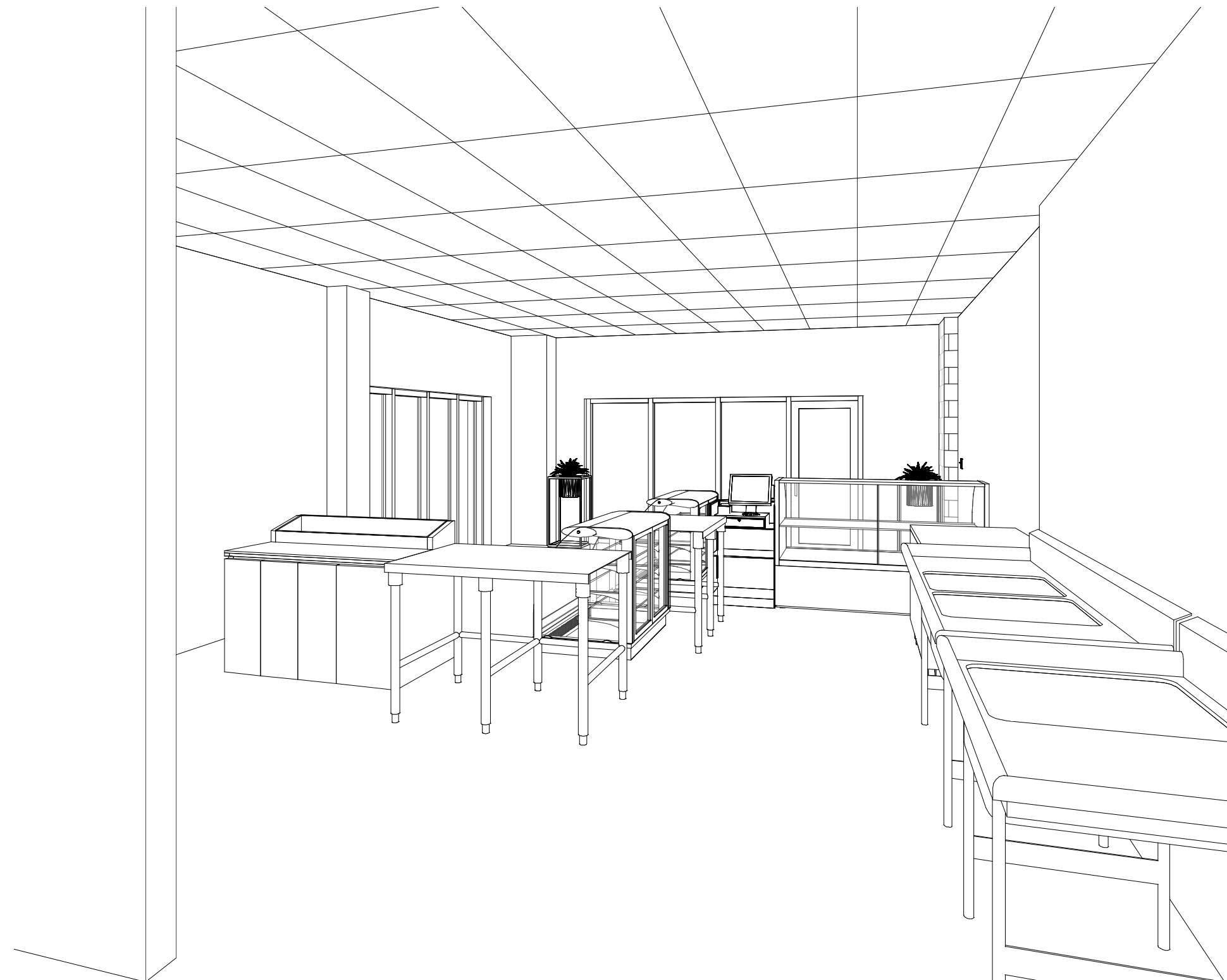
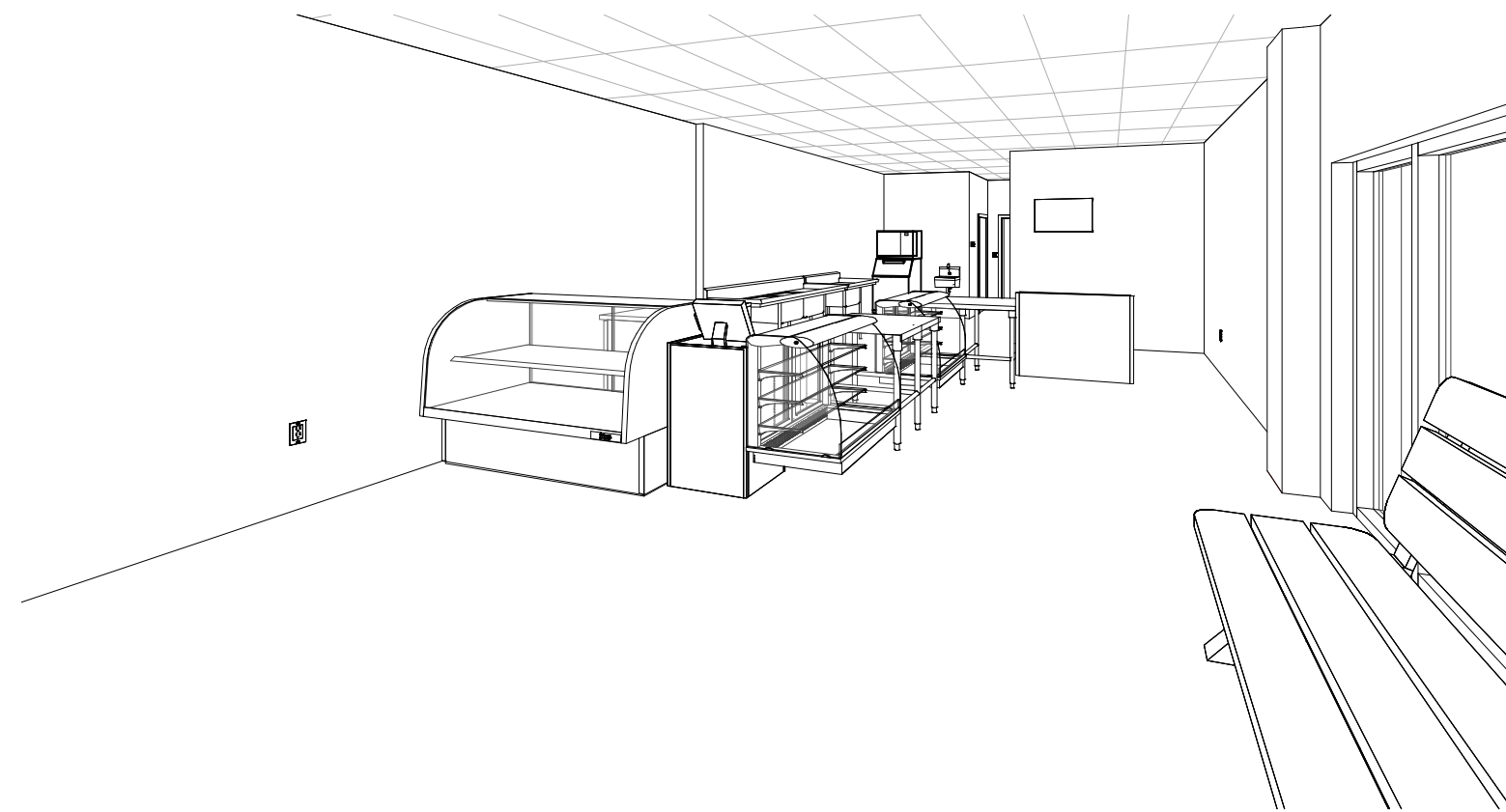
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G-0



SHEET NUMBERING SYSTEM

- G-0 GENERAL SHEETS
- G-1.0 APPENDIX B
- G-1.1 APPENDIX B CONT.
- G-1.2 LIFE SAFETY
- G-1.3 FLOOR PLAN
- P-1.0 PLUMBING PLANS
- P-1.1 PLUMBING NOTES
- M/E-1.0 MECHANICAL PLAN/ELECTRICAL PLAN

GENERAL

CIVIL
N/A

LANDSCAPE
N/A

ARCHITECTURAL

2018 APPENDIX B BUILDING CODE SUMMARY

Name of Project: Sunfish PIN: 0408-76-0190
 Address: 5352 Yadkin Rd Fayetteville NC Zip Code 28301
 Proposed Use: Sushi Bar/Fish Market (Take-out)
 Owner or Authorized Agent: Justin Grady Phone (704)293-7836 E-Mail jgrady.rei@gmail.com
 Owned By: City/County Private State County State
 Code Enforcement Jurisdiction: City Fayetteville County State

PROJECT SUMMARY:
 Building Description: Existing Tenna nts Space
 Scope of Work: Tenant Uplift
 Code Compliance Summary: NCDOT APPENDIX "B"
 Alternative Means of Compliance Request: NONE

LEAD DESIGN PROFESSIONAL: TIMOTHY PEPPERS, RESIDENTIAL DESIGN CONSULTANT

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	N/A	N/A	N/A		
Civil	N/A	N/A	N/A		
Electrical	N/A	N/A	N/A		
Fire Alarm	N/A	N/A	N/A		
Plumbing	N/A	N/A	N/A		
Mechanical	N/A	N/A	N/A		
Sprinkler-Standpipe	N/A	N/A	N/A		
Structural	N/A	N/A	N/A		
INTERIOR WALLS	N/A	N/A	N/A		
Retaining Walls >5' High	N/A	N/A	N/A		
Building		<u>TIMOTHY PEPPERS JR</u>	<u>N/A</u>	<u>(910) 644-4587</u>	<u>timpep75@gmail.com</u>

BUILDING CODE: 2018 North Carolina State Building Code (NCSBC)
 2012 North Carolina State Building Code (NCSBC)
 2009 North Carolina State Building Code (NCSBC)
 2009 NC Rehab
 2009 Chapter 34 (Attach Summary)
 2018 North Carolina State Existing Building Code

New Building: Shell Building First Time Interior Completion
 Addition Alteration to Shell

Existing Building: Renovation Interior Completion Tenant Alteration
 Reconstruction Alteration to Shell
 Change of Use Tenant Space Change of Occupancy

Constructed: (date) 2003

Note: Zoning Review is Required for Change of Use or Occupancy
 Original Use/Occupancy (Ch. 3): _____
 Current Use/Occupancy (Ch. 3): SALON
 Proposed Use/Occupancy (Ch. 3): MERCHANTILE (MARKET)

BASIC BUILDING DATA: (THIS SECTION REQUIRED FOR ALL PROJECTS)

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B

Mixed Construction: No Yes Types: Partial Yes NFPA 13 NFPA 13R NFPA 13D

Sprinklers: No Partial Yes Class: I II III Wet Dry

Standpipes: No Yes (APPENDIX D) Flood Hazard Area: No Yes

Fire District: No Yes (APPENDIX D)

Building Height: (feet) 15

Gross Building Area (Sq. Ft.): 960 Renovated area (Sq. Ft.) 960

FLOOR	EXISTING (SQ FT)	NEW (UPFIT) (SQ FT)	RENOVATED (SQ FT)	SUB-TOTAL
1st Floor	960	NONE	NONE	1000
Basement	NONE	NONE	NONE	NONE
TOTAL	960	NONE	NONE	NONE

AREA of Project Tenant / Alteration / Renovation: 960
 AREA of New Construction: 0

OCCUPANCY INFORMATION:

Occupancy: A-1 A-2 A-3 A-4 A-5
 PROFESSIONAL SERVICES

Business: F-1 Moderate F-2 Low
 H-1 Detonate H-2 Deflagerate H-3 Combust H-4 Health H-5 HPM

Institutional: I-1 I-2 I-3 I-4

I-3 Condition: 1 2 3 4 5

Mercantile: R-1 R-2 R-3 R-4
 S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage

Utility and Miscellaneous:

Accessory Occupancies:

Assembly: A-1 A-2 A-3 A-4 A-5
 Business: F-1 Moderate F-2 Low
 Educational: H-1 Detonate H-2 Deflagerate H-3 Combust H-4 Health H-5 HPM
 Factory: I-1 I-2 I-3 I-4
 Hazardous: I-1 I-2 I-3 I-4
 Institutional: I-1 I-2 I-3 I-4

I-3 Condition: 1 2 3 4 5

Mercantile: R-1 R-2 R-3 R-4
 S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage

Utility and Miscellaneous:

Incidental Uses (Table 508.2.5): NONE

Furnace room where any piece of equipment is over 400,000 Btu per hour input
 Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
 Refrigerant machine room
 Hydrogen cutoff rooms, not classified as Group H
 Incinerator rooms
 Paint shops, not classified as Group H, located in occupancies other than Group F
 Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy
 Laundry rooms over 100 square feet
 Group I-3 cells equipped with padded surfaces
 Group I-2 waste and linen collection rooms
 Waste and linen collection rooms over 100 square feet
 Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supplies
 Rooms containing fire pumps
 Group I-2 storage rooms over 100 square feet
 Group I-2 commercial kitchens
 Group I-2 laundries equal to or less than 100 square feet
 Group I-2 rooms or spaces that contain fuel-fired heating equipment

Special Uses: NONE 402 403 404 405 406 407 408 409 410 411 412 413
 414 415 416 417 418 419 420 421 422 423 424 425
 426 427

Special Provisions: 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy: No Yes Separation: _____ Hr. Exception: 420.3

Incidental Use Separation (508.2.5)
 This separation is not exempt as a Non-Separated Use (see exceptions).
 Non-Separated Use (508.3)
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for building area limitations calculated as required by paragraph 508.4.2.
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Separated Use Formula 508.4.2:
$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

ALLOWABLE AREA & ALLOWABLE HEIGHT INCREASES (CALCULATIONS): (THIS SECTION FOR NEW, ADDITION, CHANGE OF USE AND INTERIOR COMPLETIONS)

FRONTAGE INCREASE CALCULATIONS:

EXTERIOR WALL	ACTUAL LENGTH (FEET)	OPEN LENGTH (FEET)	WIDTH OF PUBLIC WAY OR OPEN SPACE (FEET)
North			
South			
East			
West			
Total		P	F

FRONTAGE INCREASE FORMULA
 $I = 100(F/P - 25)/(W/30)$
 INCREASE FRONTAGE N/R%
 SPRINKLERS %N/R

NO AREA INCREASE REQUESTED. F/P = XX PERCENT.

BOTH BUILDING AND TENANT MUST BE INDICATED ON CHART BELOW (THIS SECTION FOR NEW, ADDITION, CHANGE OF USE AND INTERIOR COMPLETIONS)

ALLOWABLE AREA CALCULATIONS:

STORY NO.	OCCUPANCY	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA (TYPE II-B)	(C) % OPEN SPACE INCREASE 1	(D) % SPRINKLER INCREASE 2	(E) ALLOWABLE FLOOR AREA OR UNLIMITED 3	(F) RATIO OF ACTUAL/ALLOWABLE A/E	(G) MAXIMUM BUILDING AREA 4	(H) SEPARATION RATING REQUIRED
1	M	960	12500	NONE	NONE	12500	0.07	12500	N/R

- Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 b. Total Building Perimeter = _____ (P)
 c. Ratio (F/P) = _____ (F/P)
 d. W = Minimum width of public way = _____ (W)
 e. Percent of frontage increase $I = 100 [F/P - 0.05] \times W/30 =$ _____ (%)
- The sprinkler increase per Section 506.3 is as follows:
 a. Multi-story building $I = 2$ (200 percent) b. Single story building $I = 3$ (300 percent)
- Unlimited area applicable under conditions of Sections Group B, F, M, S, A-4 (507.1, 507.2, 507.3, 507.4, 507.7); Group A motion picture (507.10); Malls (507.11); and H-2 aircraft paint hangars (507.8).
- Maximum Building Area = total number of stories in the building x E (506.4).
- The maximum area of parking garages must comply with 406.3.5. The maximum area of air traffic control towers comply with 412.1.2.

ALLOWABLE HEIGHT CALCULATIONS:

	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type <u>II-B</u>		Type <u>II-B</u>	TABLE 601
Building Height in Feet	Feet <u>55</u>	Feet = H + 20' = <u>n/a</u>	Feet <u>15</u>	TABLE 504.3
Building Height in Stories	Stories <u>2</u>	Stories + 1 = <u>n/a</u>	Stories = <u>1</u>	TABLE 504.4

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING ** (TABLE 601)		DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
		REQ'D II-B	PROVIDED (w/ _____ * REDUCTION)				
Structural Frame, including columns, girders, trusses		0	EXISTING BUILDING				
Bearing walls Exterior		0	EXISTING BUILDING				
North							
East							
West							
South							
Interior Bearing Walls (COLUMNS)		0	EXISTING BUILDING				
Nonbearing walls Exterior							
North							
East							
West							
South							
Interior Non-Bearing Walls							
Floor construction including supporting beams and joists							
Roof construction including supporting beams and joists		0	EXISTING BUILDING				
Shafts Enclosures - Exit Enclosures							
Shafts Enclosures - Other (describe)							
Corridor Separation							
Occupancy Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Tenant Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

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Appendix B

SCALE:

DATE: 12/3/20

Project number 20031200001

Drawn by TP
 Checked by TP

G-1.0

BUILDING CODE SUMMARY (continued)

PERCENTAGE OF WALL OPENINGS CALCULATIONS (THIS SECTION REQUIRED FOR ADDITIONS, NEW AND CHANGE OF USE PROJECTS)
 Allowable openings per Table 705.8 ALLOWABLE OPENINGS MEET REQUIREMENTS OF 705.8.

WALL LEGENDS (THIS SECTION REQUIRED FOR ALL PROJECTS)
 CHECK IF THE FOLLOWING ARE PRESENT AND INDICATE BY A ON WALL LEGEND
 Fire Partitions 709 Fire Walls 706 Fire Barriers 707 Smoke Partitions 711 Smoke Barriers 710 Shaft Enclosure 708

LIFE SAFETY SYSTEM REQUIREMENTS (THIS SECTION REQUIRED FOR ALL PROJECTS)
 Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes Partial _____ (DUCT DETECTORS)
 Panic Hardware: No Yes
 Life safety systems generator: No Yes

EXIT REQUIREMENTS NUMBER & ARRANGEMENT OF EXITS (THIS SECTION REQUIRED FOR ALL PROJECTS)

FLOOR, ROOM AND/OR SPACE DESIGNATION	MINIMUM ² NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS ³ (SECTION 1015.2)	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1016.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN DOORS	ACTUAL DISTANCE SHOWN ON PLANS
MERCHANTILE (M)	1	2 EXISTING	200 FT	66.5 FT	34 FT	50 FT

¹ Corridor dead ends (Section 1018.4)
² Single exits (Section 1015.1; Section 1021.2)
³ Common Path of Egress Travel (Section 1014.3)

OCCUPANT LOAD AND EXIT WIDTH (THIS SECTION REQUIRED FOR ALL PROJECTS)

USE GROUP AND/OR SPACE DESIGNATION	(a)		(b)	(a/b)	(c)				EXIT WIDTH (in) ^{2,3,4,5}					
	AREA ¹ SQ. FT.	AREA ¹ PER OCCUPANT			EGRESS WIDTH PER OCCUPANT (SECTION 1005.1)	REQUIRED WIDTH (SECTION 1005.1)		ACTUAL WIDTH SHOWN ON PLANS		STAIR	LEVEL	STAIR	LEVEL	STAIR
			STAIR	LEVEL		STAIR	LEVEL							
MERCHANTILE (M)	960		24		0.20		4.8							72
TOTAL # OF OCCUPANTS	960		24											

¹ See Table 1004.1.1 to determine whether net or gross area is applicable
² Minimum stairway width (Section 1009.1); min. corridor width (Section 1018.2); min. door width (Section 1008.1.1)
³ Minimum width of exit passageway (Section 1023.2)
⁴ The loss of 1 means of egress shall not reduce the availability capacity to less than 50% of the total req'd (Sect 1005.1)
⁵ Assembly occupancies (Section 1028)

ASSEMBLY OCCUPANCY INFORMATION (THIS SECTION REQUIRED FOR ASSEMBLY USE AREAS)

(a) SPACE DESCRIPTION	(b) AREA (SQ. FT.)	(c) * OCCUPANT LOAD FACTOR	(d) (MINIMUM) OCCUPANT LOAD (b/c)	(e) EXIT WIDTH	(e) EXIT QUANTITY
N/A					
TOTAL # OF ASSEMBLY OCCUPANTS					

LIFE SAFETY PLAN REQUIREMENTS (THIS SECTION REQUIRED FOR ALL PROJECTS)
 Life Safety Plan Sheet #: NONE REQUIRED

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations
- Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Existing structures within 30' of the proposed building
- Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)
- Occupant loads for each area
- Exit access travel distances (1016)
- Common path of travel distances (1014.3 & 1028.8)
- Dead end lengths (1018.4)
- Clear exit widths for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
- Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
- Location of doors with panic hardware (1008.1.10)
- Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
- Location of doors with electromagnetic egress locks (1008.1.9.8)
- Location of doors equipped with hold-open devices
- Location of emergency escape windows (1029)
- The square footage of each fire area (902)
- The square footage of each smoke compartment (407.4)
- Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107) (THIS SECTION REQUIRED FOR ALL RESIDENTIAL PROJECTS)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
	NONE REQUIRED						

PLUMBING FIXTURE REQUIREMENTS (THIS SECTION REQUIRED FOR ALL PROJECTS)

OCCUPANCY	WATER CLOSETS			URINALS	LAVATORIES			SHOWERS/TUBS	DRINKING FOUNTAINS	
	MALE	UNISEX	FEMALE		MALE	UNISEX	FEMALE		REGULAR	ACCESSIBLE
MERCHANTILE (M)		1				1				
TOTAL REQUIRED		1				1				
TOTAL PROVIDED THIS PROJECT		1 EXIST				1 EXIST				

BUILDING DRAIN SIZE	NUMBER OF BUILDING DRAINS	TOTAL FIXTURE UNIT LOAD	WATER SERVICE SIZE (INCHES)	NUMBER OF WATER SERVICES	TOTAL FIXTURE UNIT LOAD	NOTES
4"	1	4	1"	1	13	

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Appendix B Cont.

STRUCTURAL DESIGN LOADS (THIS SECTION REQUIRED FOR NEW CONSTRUCTION PROJECTS)

EXISTING OCCUPIED BUILDING NO STRUCTURAL RENOVATIONS

Structure conforms to Conventional Light Frame Provisions of 2308

- 1 Yes, continue No, Go to Line 9
- 2 Roof Live Load =
- 3 Floor Live Load =
- 4 Ground Snow Load (Pg) =
- 5 Basic Wind Speed, 3 sec gust =
- 6 Seismic Site Class =
- 7 Seismic Design Category =
- 8 Go to Line 44
- 9 Live Loads
- 10 Floor Live Load (indicate area) =
- 11 Floor Live Load (indicate area) =
- 12 Floor Live Load (indicate area) =
- 13 Live Load Reduction used in Design
- 14 Roof Live Load =
- 15 Roof Snow Load Data
- 16 Flat-Roof Snow Load (Pf) =
- 17 Snow Exposure Factor (Ce) =
- 18 Snow Importance Factor (Is) =
- 19 Thermal Factor (Ct) =
- 20 Wind Design Data
- 21 Basic Wind Speed, 3 sec gust =
- 22 Wind Importance Factor (Iw) =

PSF
PSF
PSF
MPH

Area

Yes No

KIPS
KIPS

PSF
PSF

TONS, downward
KIPS
KIPS

(Provide soils report if Site Class is not "D")

- 23 Wind Exposure
- 24 Internal Pressure Coefficient
- 25 Components and Cladding Loads =
- 26 Wind Base Shear, Wx
- 27 Wind Base Shear, Wyx
- 28 Earthquake Design Data
- 29 Seismic Importance Factor (Ie) =
- 30 Occupancy Category
- 31 Mapped Spectral Response Acceleration Ss
- 32 Mapped Spectral Response Acceleration S1
- 33 Site Class
- 34 Spectral Response Coefficient, Sds =
- 35 Spectral Response Coefficient, Sd1 =
- 36 Seismic Design Category =
- 37 Building (Structural) System
- 38 Basic Seismic Force Resisting System
- 39 Seismic Response Coefficient (Cs) =
- 40 Response Modification Factor, R =
- 41 Analysis Procedure Used =
- 42 Seismic Base Shear, Sx
- 43 Seismic Base Shear, Sy
- 44 Soils Data
- 45 Presumptive Soil Bearing Pressure =
- 46 Bearing Pressure per Soils Report =
- 47 Deep Foundation Type
- 48 Deep Foundation Allowable Loads
- 49 Uplift
- 50 Lateral

ACCESSIBLE PARKING (SECTION 1106) (THIS SECTION FOR NEW, ADDITION, CHANGE OF USE AND INTERIOR COMPLETIONS)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	VAN SPACES WITH		
EXISTING				132" ACCESS AISLE	96" ACCESS AISLE	
NEW						
TOTAL						

* EXISTING PARKING FOR BUILDING IS NOT CHANGED

ENERGY SUMMARY (THIS SECTION FOR NEW, ADDITION, CHANGE OF USE AND INTERIOR COMPLETIONS)

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Climate Zone: 3 4 5 CUMBERLAND COUNTY

Method of Compliance:

- Prescriptive (Energy Code)
- Performance (Energy Code)
- Prescriptive (ASHRAE 90.1)
- Performance (ASHRAE 90.1)

THERMAL ENVELOPE (SEE DRAWING SHEET _____) OR COMCHECK PRINTOUT.

MECHANICAL SUMMARY (SEE DRAWING SHEET _____) (THIS SECTION REQUIRED FOR ALL PROJECTS THAT INCLUDE MECHANICAL DESIGN.)

ELECTRICAL SUMMARY (SEE DRAWING SHEET _____) (THIS SECTION REQUIRED FOR ALL PROJECTS THAT INCLUDE ELECTRICAL DESIGN.)

SCALE:

DATE:

12/3/20

Project number

20031200001

Drawn by

TP

Checked by

TP

G-1.1

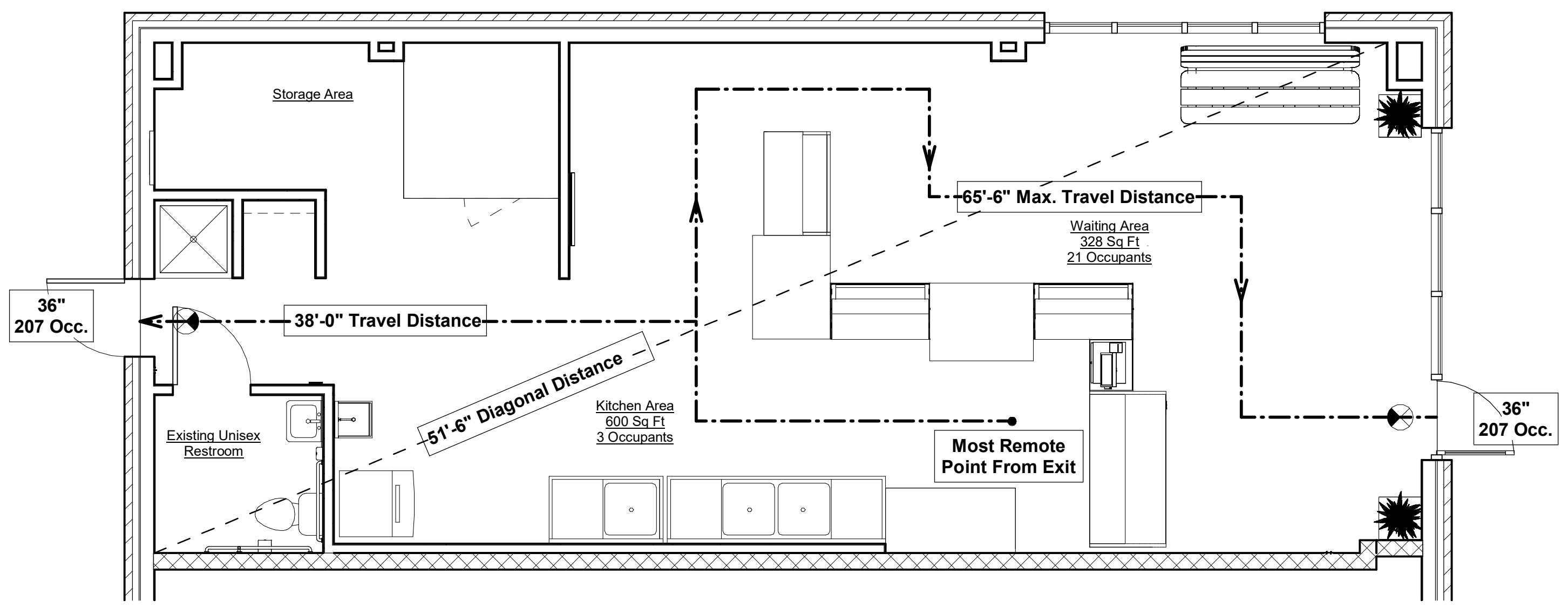
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① Life Safety Plan
1/4" = 1'-0"

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Life Safety

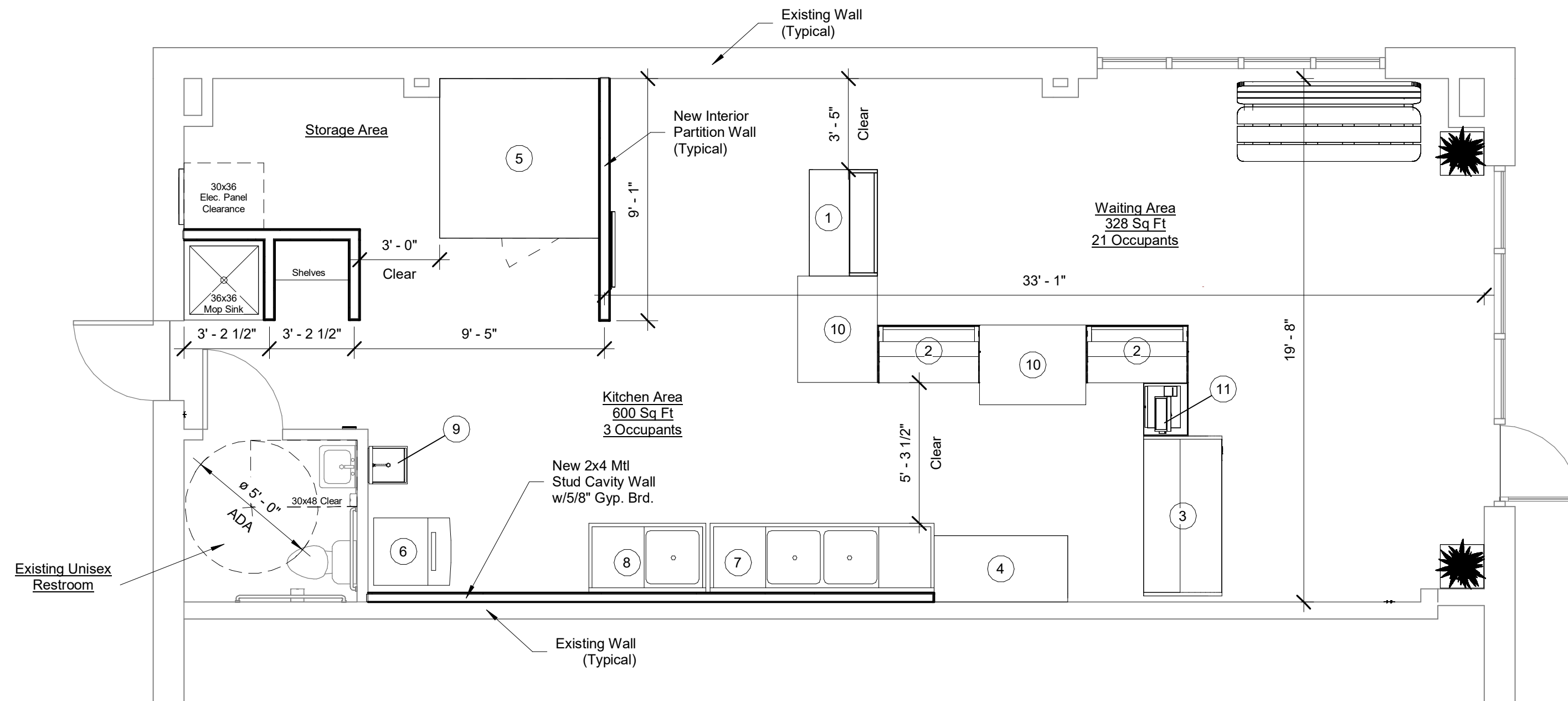
SCALE:
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20031200001

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DESIGNED BY:
TIMOTHY PEPPERS JR.
RESIDENTIAL DESIGN
CONSULTANT
**CAMERON
NORTH CAROLINA
(910) 644-4587**

PROPERTY OF TPJR
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Equipment Schedule				
Mark	Description	Model	Electrical	Plumbing
1	48" Pizza Prep Table	Valpro VPP4	7A 115V/60Hz/1	N/A
2	48" Deli/Bakery Display Case	Beverage-Air CDR6HC-1-B	5A 115V/60Hz/1	N/A
3	72" Open Air Display Case	Turbo-Air TOM-50SW(B)-N	7A 115V/60Hz/1	N/A
4	60" Worktop Refrigerator	Centaur CWR-60-X	3A 115V/60Hz/1	N/A
5	6x6 Walk-in Cooler	Kool-Locker KL66	N/A	N/A
		Capsul-Pack RCPF075JC-S-4-EV	8A 208-230V/60HZ/1	N/A
6	Ice Machine	Manitowok RFF-0320	13A 115V/60Hz/1	N/A
7	Stainless Steel 2 Compartment Sink	Splash K2-8-24-14T24	N/A	1/2" H&C 2" SS
8	Stainless Steel 1 Compartment Sink	Splash 1-184-1D18L	N/A	1/2" H&C 2" SS
9	Stainless Steel Handwash Sink	Splash BKHS-W-1410-P-G	N/A	1/2" H&C 2" SS
10	48" Stainless Steel Worktable	TBD		
11	Register/POS	TBD		

Floor Plan Notes:

- All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framing walls, beams, connections, headers, joists and rafters.
- All dimensions are from center line of stud to face of exterior stud unless noted otherwise.
- Window sizes indicated on plans are noted by approximate rough opening size. Refer to plans and exterior elevations for window types.
- Coordinate location of utility meters with site plan and locate away from public view visual impact shall be minimized, i.e. mount as low as possible.
- Do not scale drawings. Follow dimensions only.
- Contractor shall field verify all cabinet dimensions before fabrication.
- All glass located within 18" of floor, 12" of a door of located within 60" of floor at bathtubs, whirlpools, showers, saunas, steam rooms or hot tubs shall be tempered.
- All exposed insulation shall have a foam e spread rating of less than 25 and a smoke density rating of less than 450.
- Provide combustion air vents, with screen and back damper, for fireplaces, wood stoves and any appliance with an open flame.
- Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 cfm fan. Range hoods shall also be vented to outside.
- Attic HVAC units shall be located within 20'-0" of its service opening. Return air grilles shall not be located within 10'-0" of a gas fired appliance.
- All walls and ceilings in storage areas to have 5/8" Type-X gyp. brd. with 1-Hour fire rating.
- All interior walls shall be covered with 1/2" gyp. brd., with metal corner reinforcing, tape float and sand. (3 coats) use 5/8" gyp. brd. on ceilings when supporting members are 24" O.C. or greater. Use 1/2" gyp. brd. on ceiling members less than 24" O.C.
- All bath and toilet area walls and ceiling shall have water resistant gyp. brd. or FRP

GENERAL CONSTRUCTION NOTES:

- Design Loads: Local
- Materials
 - Brick
 - Face Brick Standard: ASTM C216-84, Grade SW.
 - Brick type and color to match existing.
 - Mortar
 - ASTM C270, Type S. Mortar style and color consult owner
 - Do not use calcium chloride in mortar.
 - Brick Ties
 - ASTM A82 steel wire, hot dip galvanized after fabrication to ASTM A 153/A 153M, Class B
 - Insulation
 - ASTM C665; pre-formed glass fiber batt (R-19)
 - Wood Framing
 - No wood framing shall be used for partition wall framing
 - Waterproofing
 - #15 asphalt felt
 - Roof Shingles
 - Match existing
- Masonry:
 - Install mortar in accordance with premix mortar instructions or in accordance with ASTM C780.
 - Clean mortar off exposed finished surfaces immediately following placement.
 - Conform to the applicable code requirements for masonry construction and guidelines outlined by the Brick Institute of America.
 - Provide brick ties.
 - Cut masonry units with motor-driven saws to provide clean, sharp, unchipped edges.
 - Prepare masonry surfaces so they are smooth and free from projections that could puncture flashing. Place through-wall flashing on sloping bed of mortar and cover with mortar. Seal penetrations in flashing with adhesive/sealant/tape as recommended by flashing manufacturer before covering with mortar.
 - Install weep holes in the head joints in exterior wythes of the first course of masonry immediately above embedded flashings as follows:
 - Keep head joints free and clear of mortar.
 - Space weep holes 24 inches o/c.
 - Weep Holes:
 - After wall construction is complete, clean brick with a non-acidic solution recommended by masonry unit manufacturer.
- Insulation
 - Verify that adjacent materials and insulation materials are dry.
 - Install insulation per manufacturer's instructions.
 - Tape seal tears or cuts in vapor retarder.
- Wall Framing
 - All wall studs shall be metal studs according to sizes designated on drawing.
- Miscellaneous
 - The contractor will be responsible for properly guying and bracing the structure to resist live, dead, wind and construction loads during construction.
 - Verify all existing building dimensions, elevations and details with the field conditions.

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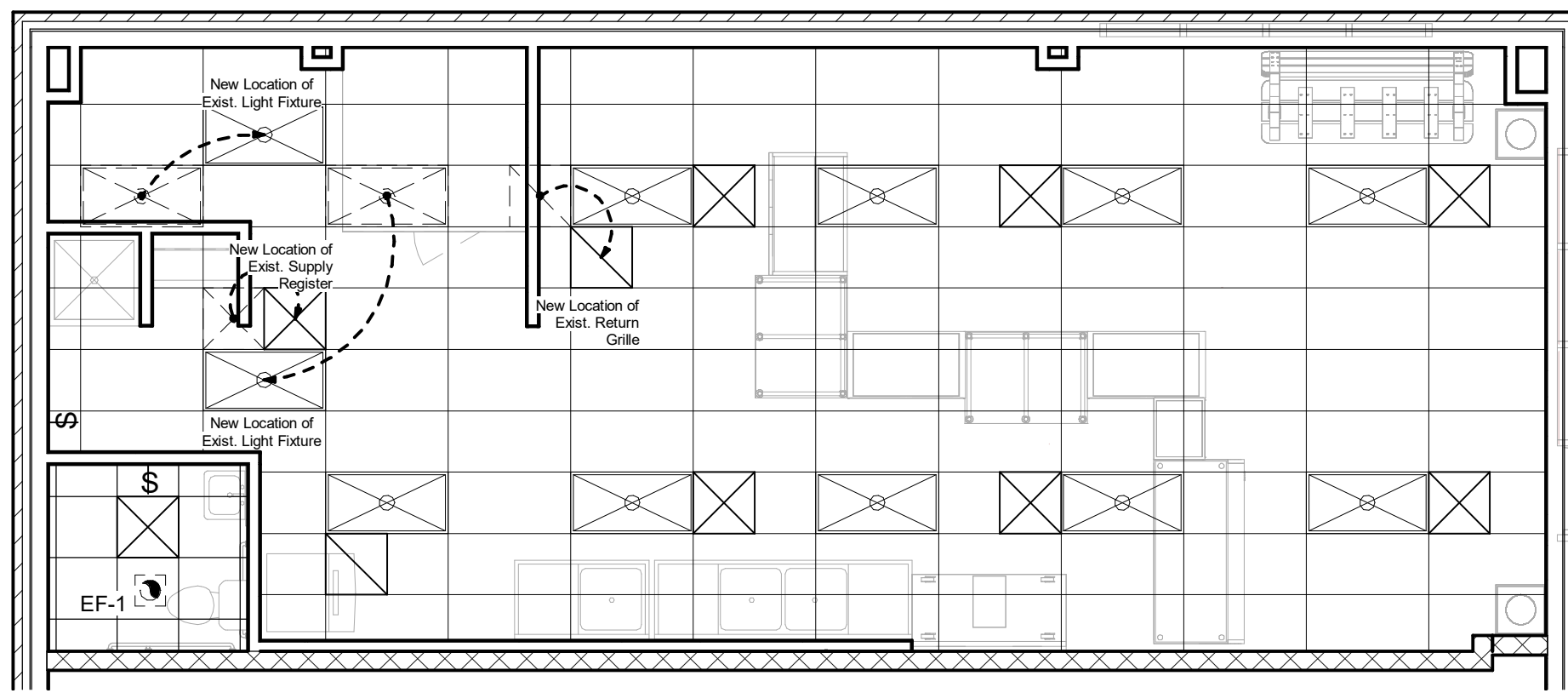
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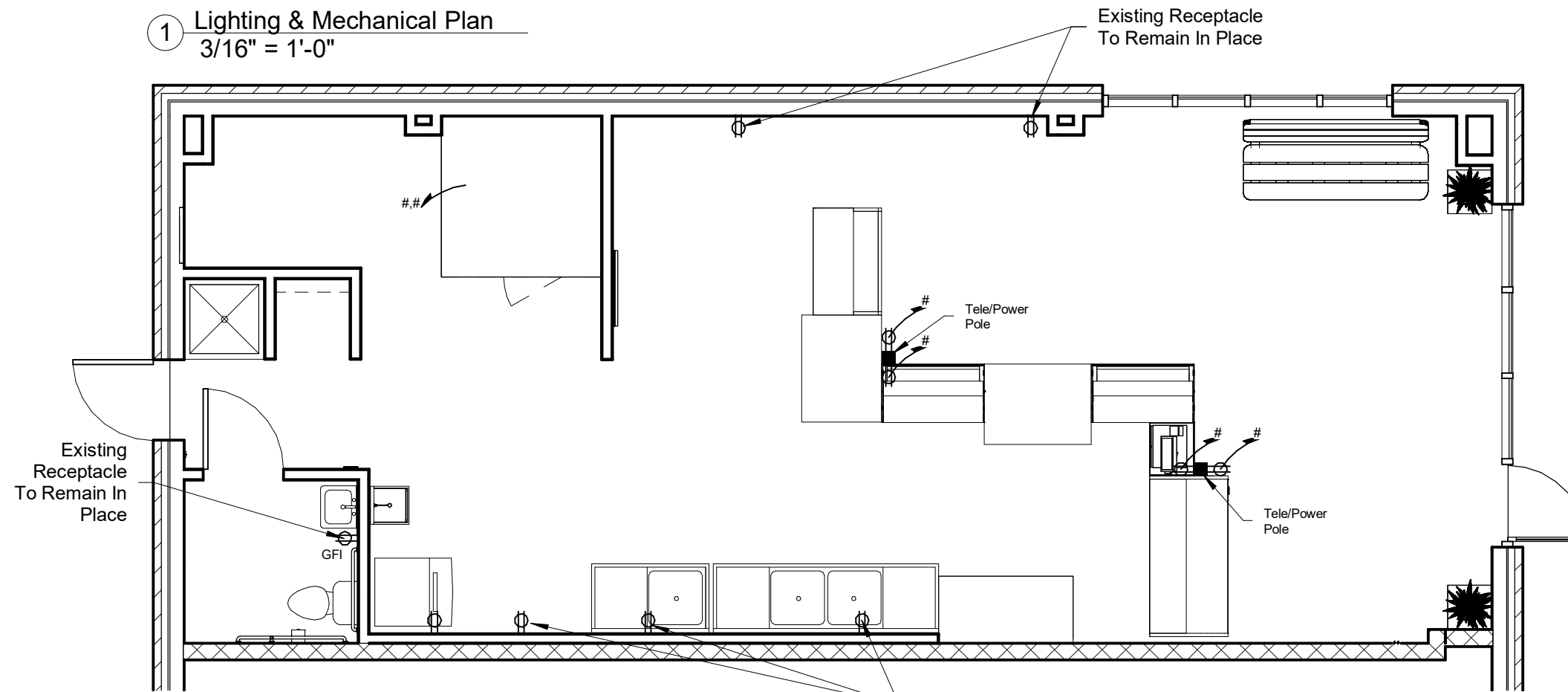
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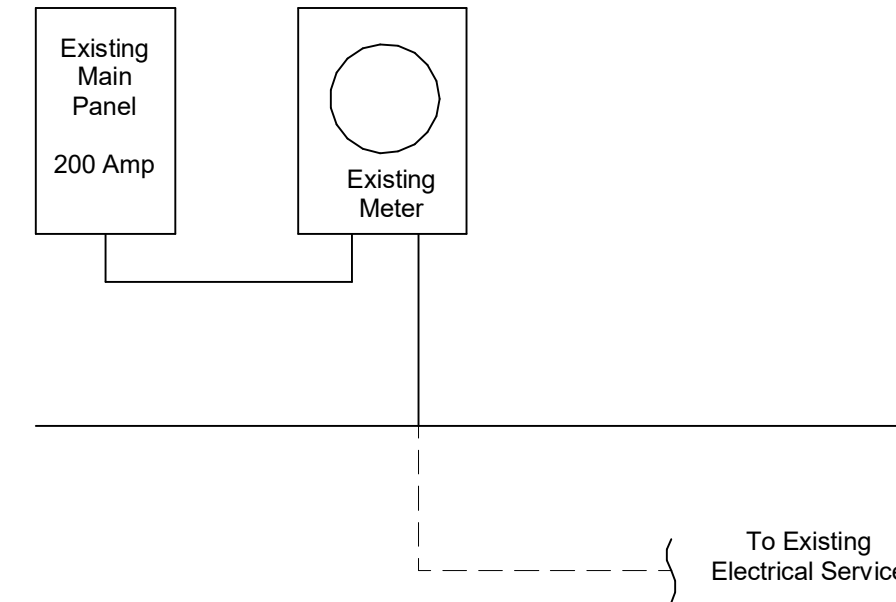
Floor Plan



1 Lighting & Mechanical Plan
3/16" = 1'-0"



2 Power Plan
3/16" = 1'-0"



3 Electrical Riser Diagram
12" = 1'-0"

Scope of Work: Mechanical & Electrical

Mechanical: Mechanical work will require the relocation of existing return and supply grilles to coordinate with new partition wall layout. Existing 3 Ton Air Conditioning Unit to remain in place to serve new occupancy. No other mechanical work will be required.

Lighting: Electrical Lighting work will require the relocation of 2 existing light fixtures to coordinate with new partition wall layout. No new light fixtures or switches to be added.

Power: Electrical Power work will require the removal of existing receptacles from existing circuit to provide dedicated circuit for new ice machine. Tele/Power Poles to be installed to provide new dedicated circuits to refrigerated equipment. New circuit will also be installed to provide power to new walk-in cooler. Verify all power requirements and location of outlets with owner and equipment specifications.

PHASE LOADING		DESCRIPTION	CKT. TYPE	WIRE SIZE	CKT. BKR. TRIP	CKT. BKR.	A		B		DESCRIPTION	PHASE LOADING	
A	B						A	B	A	B		A	B
2.50		EXIST. AIR HANDLER	H/E	#10	60/2	1					CONDENSING UNIT	5.25	5.25
0.40		PIZZA PREP TABLE	K	#12	20/1	5					WATER HEATER	3.80	
	0.35	DELI CASE	R	#12	20/1	7					SPARE		
0.35		DELI CASE	R	#12	20/1	9					LIGHTS AWNING	0.56	
	0.22	WALL PACKS	R	#12	20/1	11					ICE MACHINE		1.00
0.82		OPEN AIR DISPLAY	R	#12	20/1	13					SIGN	1.00	
	0.54	EXIST. RECEPTACLES (EXTER. WALL)				15					BATH FAN		0.10
0.54		EXIST. WINDOW SIGN RECEPT				17					LIGHTS & EMERGENCY	1.54	
	0.18	EXIST. RESTROOM GCFI				19					SPARE		
1.80		WALK-IN COOLER	K	#12	15/2	21					SPARE		
	1.80					23					SPARE		
0.36		EXTERIOR RECEPTACLE	R	#12	20/1	25					SPACE		
		SPACE				27					SPACE		
		SPACE				29					SPACE		
6.77	5.59	SUB-TOTAL (VA)					SUB-TOTAL (VA)					12.06	6.35
C CONTINUOUS LOAD		E ESTIMATED LOAD		TOTAL CONNECTED LOAD =		30.77 KVA		AMPS =		128.2			
H HVAC LOAD		L LIGHTING LOAD											
N NON-CONTINUOUS LOAD													
R RECEPTACLE LOAD													
K KITCHEN LOAD													
												TOTAL OF 30 SPACES	

ITEM	CONNECTED LOAD (KVA)	ESTIMATED LOAD (KVA)
HVAC	15.50 @ 100%	= 15.50
LIGHTING	3.32 @ 125%	= 4.15
RECEPTACLES	3.54 (T-10.00*60+10.00)	= 6.12
MISC. EQUIPMENT	8.40 @ 60%	= 5.04
TOTAL CONNECTED	30.76 KVA	128.2 AMPS
ESTIMATED DEMAND	30.81 KVA	128.4 AMPS

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Sunfish Fish Market & Sushi
5352 Yadkin Rd Suite 106
Fayetteville NC

Lighting & Mechanical

SCALE:
As indicated

DATE:
12/3/20

Project number
20031200001

Drawn by Author
Checked by Checker

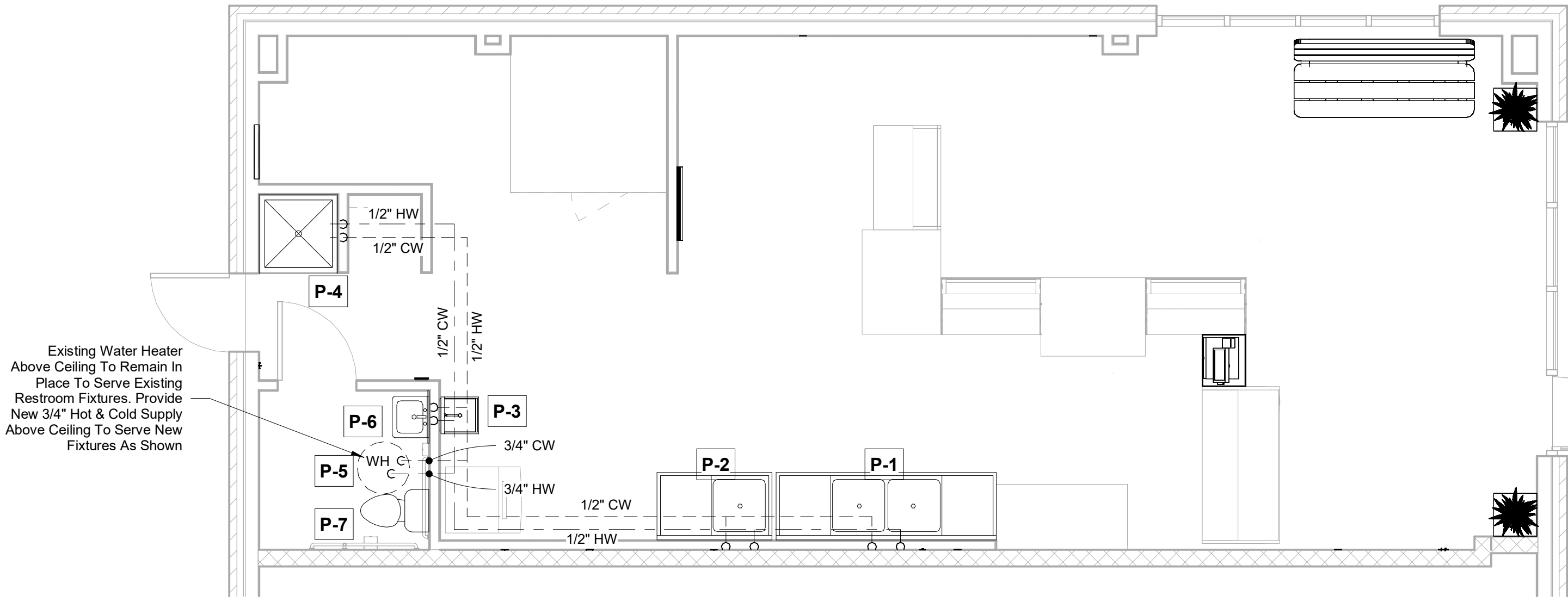
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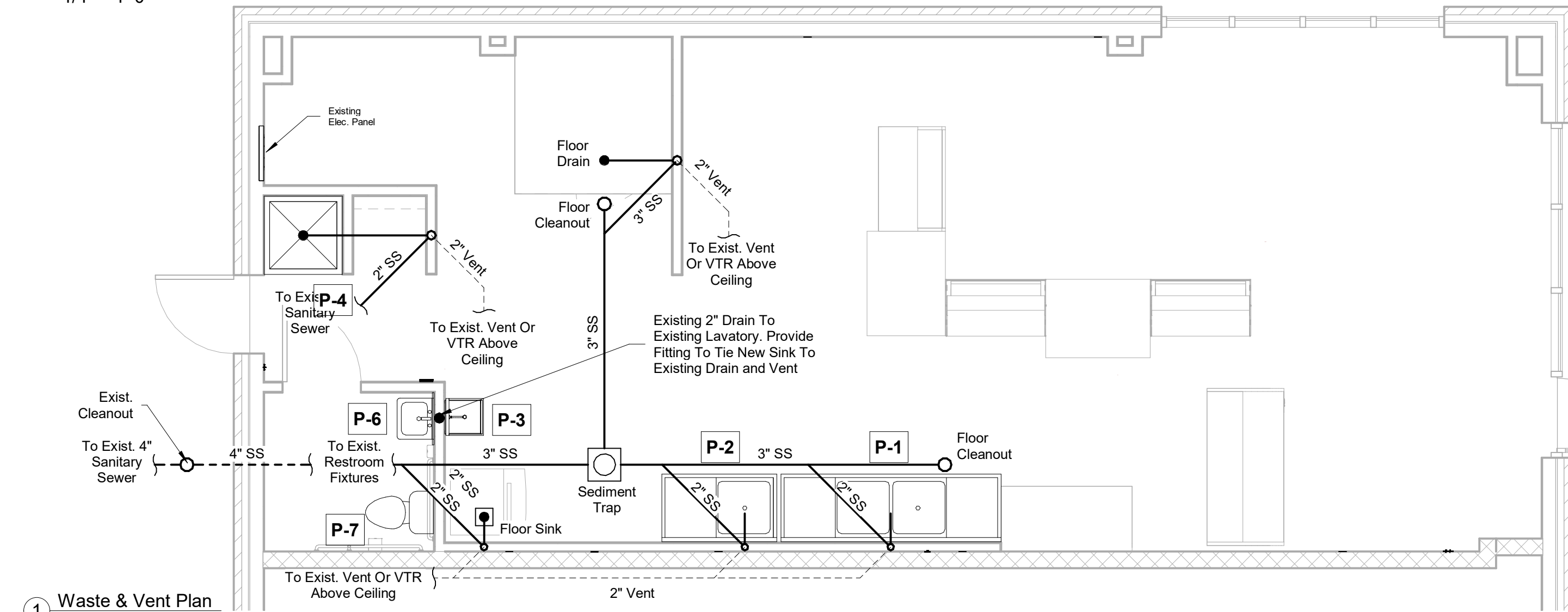


3 Hot & Cold Water Plan
1/4" = 1'-0"

- Plumbing Mechanical & Electrical Keyed Notes:
- Existing Ceiling Grid To Remain In Place.
 - Existing Grid To Be Repaired To Match Existing Ceiling Conditions Where Existing Walls Are Removed.
 - All Existing Lighting Fixtures And Switches Remain In Place.
 - All Existing HVAC Supply & Return Grilles Shall Remain In Place Except Where Otherwise Noted.
 - There Shall Be No Changes Made To Existing Fire Sprinkler System.
 - Coordinate w/Tenant For Removal Or Upgrade Of Existing Security System.

Scope Of Work: Plumbing

This proposed project includes the installation of a new kitchen area to an existing tenant space. Demolition requires the saw cutting of existing concrete slab to access existing sanitary sewer. Existing toilet room fixtures to in place in new construction. Existing plumbing water supply and sewer lines to be re-routed to serve proposed sinks and handsink.



1 Waste & Vent Plan
1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE DESCRIPTION	FIXTURE MOUNTING	SUPPLY	WASTE	VENT	REMARKS
P1	2 COMPARTMENT SINK	FLOOR MOUNTED	1/2" C.W. /H.W.	2"	2"	① ② ⑥ ⑦ ⑧
P2	1 COMPARTMENT SINK	FLOOR MOUNTED	1/2" C.W. /H.W.	2"	2"	
P3	HANDWASH SINK	WALL MOUNTED	1/2" C.W. /H.W.	2"	2"	① ② ⑥ ⑦ ⑧ ⑭
P4	MOP SINK	FLOOR MOUNTED	1/2" C.W. /H.W.	2"	2"	① ② ③ ④ ⑤ ⑧ ⑨ ⑩
P5	WATER HEATER	ABOVE CEILING	3/4" C.W. /H.W.			⑪
P6	LAVATORY	WALL MOUNTED	1/2" C.W. /H.W.	2"	1-1/2"	③ ④ ⑤ ⑧ ⑩
P7	ELONGATED BOWL; FLUSH TANK TOILET	FLOOR MOUNTED	3/4" C.W.	3"	2"	① ② ⑥ ⑦ ⑫ ⑬

- ① HANDICAPPED
- ④ SINGLE LIFT MIXING FAUCET
- ⑥ 16-1/2" HIGH BOWL
- ⑨ MOUNT BOTTOM OF APRON @ 29" A.F.F.
- ⑫ Accessible Fixture
- ② VITREOUS CHINA
- ⑤ VINYL COVERED INSULATION FOR WASTE/WATER PIPING
- ⑦ 1.6 GALLONS PER FLUSH
- ⑩ CHROME FAUCET FINISH
- ⑬ RH Flush
- ③ 4 INCH CENTER
- ⑧ STAINLESS STEEL
- ⑪ 2 GALLON EXPANSION TANK
- ⑭ LH Flush

WATER CALCULATIONS

QTY.	ITEM	C.W. FIXTURE UNITS	WATER SUPPLY FIXTURE UNITS EACH	WATER SUPPLY FIXTURE UNITS TOTAL
1	WATER CLOSET	5.0	5.0	5.0
2	HAND SINK (LAVATORY)	1.5	2.0	4.0
2	SINK	1.5	2.0	2.0
1	MOP SINK	1.5	2.0	2.0
TOTAL WATER SUPPLY FIXTURE UNITS				13.0

DRAINAGE CALCULATIONS

QTY.	ITEM	DRAINAGE FIXTURE UNITS	DRAINAGE FIXTURE UNITS TOTAL
1	WATER CLOSET	4.0	4.0
2	LAVATORY	2.0	4.0
2	SINK	2.0	4.0
1	MOP SINK	2.0	2.0
TOTAL DRAINAGE FIXTURE UNITS			14.0

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Fayetteville NC
Plumbing Plan

PLUMBING NOTES:
PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2012 EDITION AND LOCAL CODES.

ALL WORK SHALL BE COORDINATED AND PERFORMED WITH PRIOR APPROVAL FROM THE GENERAL CONTRACTOR AND OWNER TO SUIT THE OWNER'S OPERATING CONDITIONS.

PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE GENERAL CONTRACTOR OF ANY DEVIANCES FROM THE CONTRACT DRAWINGS PRIOR TO STARTING ANY WORK.

THE PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE. THINK OF OTHER CONTRACTORS AND THEIR REQUIREMENTS IN VERTICAL CHASES AND WALL MOUNT SPACE. ALL CONTRACTORS TO FOLLOW THIS ORDER OF PRIORITY:

1. STORM AND SANITARY SEWER LINES
2. DUCTWORK AND HVAC SYSTEMS
3. HOT AND COLD WATER LINES
4. RIGID CONDUIT
5. CABLE

THE PLUMBING CONTRACTOR TO ORGANIZE HIS PIPING IN ATTIC SPACES, CRAWL SPACES, AND ABOVE CEILINGS. MAKE RUNS PARALLEL, PERPENDICULAR, AND GROUPED TOGETHER WHERE POSSIBLE. LOCATE MAJOR GROUPINGS OVER HALLWAYS AND AREAS OF PUBLIC ACCESS IF POSSIBLE. FREE RUNS OF PIPING IS NOT ACCEPTABLE.

THE PLUMBING CONTRACTOR SHALL LAY OUT AND INSTALL HIS WORK IN ADVANCE OF POURING CONCRETE FLOORS OR WALLS. HE SHALL FURNISH ALL SLEEVES TO THE GENERAL CONTRACTOR FOR OPENINGS THROUGH POURED MASONRY FLOORS, OR WALLS, ABOVE GRADE REQUIRED FOR PASSAGE OF ALL PIPES TO SUPPORT HIS EQUIPMENT.

HORIZONTAL DRAINAGE AND WASTE PIPE SHALL HAVE A MINIMUM SLOPE OR FALL OF 1/8 INCH PER FOOT. ALL CHANGE OF HORIZONTAL DIRECTIONS IN SOIL WASTE PIPE SHALL BE MADE WITH LONG RADIUS FITTINGS WITH "Y" BRANCHES AND 1/8 OR 1/16 BENDS.

COLD AND HOT WATER PIPING ABOVE GRADE SHALL BE TYPE "L" HARD DRAWN COPPER TUBING CONFORMING TO ASTM B-88 WITH SWEAT JOINTS AND WROUGHT OR CAST VALVES AND FITTINGS (UNIONS, STRAINERS, ETC.). JOINT SHALL BE MADE WITH LEAD FREE SOLDER.

ALL HOT WATER PIPING SHALL BE INSULATED WITH 1 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

ALL COLD WATER PIPING SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE.

SANITARY HORIZONTAL WASTE, VENT PIPING, AND FITTINGS ABOVE GRADE SHALL BE SCHEDULE 40 PVC-DWV PIPE-CELLULAR CORE FROM CHARLOTTE PIPE AND FOUNDRY COMPANY OR APPROVED EQUAL, AND MUST MEET OR EXCEED THE REQUIREMENTS OF ASTM F-891, NSF STANDARD NO. 14, AND IAPMO UPC.

ALL WASTE STACK PIPING SHALL BE CAST IRON AND INSULATED FOR SOUND IN WALLS.

ALL WASTE AND STORM PIPING ABOVE CEILING, VERTICAL CHASES, WALLS SHALL BE INSULATED WITH 1/2 INCH THICK SECTIONAL INSULATION OR FIBROUS GLASS MATERIALS WITH FACTORY APPLIED COVER. COVER SHALL BE EMBOSSED VAPOR BARRIER, LAMINATED WITH PRESSURE SEALING CAP ADHESIVE. NO INSULATION REQUIRED IN CRAWL SPACE OR BELOW FLOOR SLAB OF ANY WASTE AND STORM PIPING.

IN LIEU OF FIBERGLASS INSULATION, THE PLUMBING CONTRACTOR IS ALLOWED TO USE CLOSED CELL INSULATION, 1/2 INCH THICK ARMSTRONG/ARMAFLEX II ON ALL COLD WATER PIPES. RIGID URETHANE FOAM INSULATION, 1 INCH THICK ARMSTRONG/ARMALOK II ON ALL HOT WATER PIPING.

ALL PLUMBING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ALL FIXTURES, DRAINS, TRAPS, ETC. SHALL BE SET PLUMB AND LEVEL.

ALL HANDICAPPED FIXTURES AND TRIM SHALL BE INSTALLED IN ACCORDANCE WITH THE NORTH CAROLINA PLUMBING CODE 2018 EDITION.

CHROME PLATED ESCUTCHEONS SHALL BE PROVIDED AT EACH WALL PENETRATION.

ESCUTCHEONS SHALL BE CHROME PLATED, SPRING TYPE, ON ALL PIPES PASSING THROUGH WALLS AND CEILINGS IN FINISHED AREAS. FLOOR ESCUTCHEONS SHALL BE CAST BRASS, CHROME PLATED, WITH SET SCREW.

ESCUTCHEONS SHALL BE OF SUFFICIENT SIZE TO COVER OUTSIDE DIAMETER OF THE PIPE OR THE INSULATION OF THE PIPE.

FLASHING FOR VENTS THROUGH THE ROOF SHALL BE TWO-PIECE TYPE, 16 OUNCE COPPER COUNTER FLASHING AND BASE FLASHING, OR A TWO-PIECE TYPE, 4 POUND LEAD COUNTER FLASHING AND BASE FLASHING. THE BASE FLASHING SHALL BE INSTALLED BY THE GENERAL CONTRACTOR WITH THE ROOF SYSTEM.

VENT FLASHING SHALL EXTEND DOWN AT LEAST 4 INCHES FROM THE TOP OF THE PIPE. FLASHING SHALL EXTEND AT LEAST 12 INCHES IN ALL DIRECTIONS FROM THE PIPE AND SHALL BE PARALLEL TO THE ROOF LINE.

ALL EQUIPMENT AND INSTALLED MATERIALS SHALL BE THOROUGHLY CLEAN AND FREE OF ALL DIRT, OIL, GRIT, GREASE, AND ETC.

ALL PLUMBING SYSTEMS AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING FROM THE OWNER.

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