

Stoughton Riverfront Redevelopment



February 8, 2022 Stoughton Common Council





LEGEND

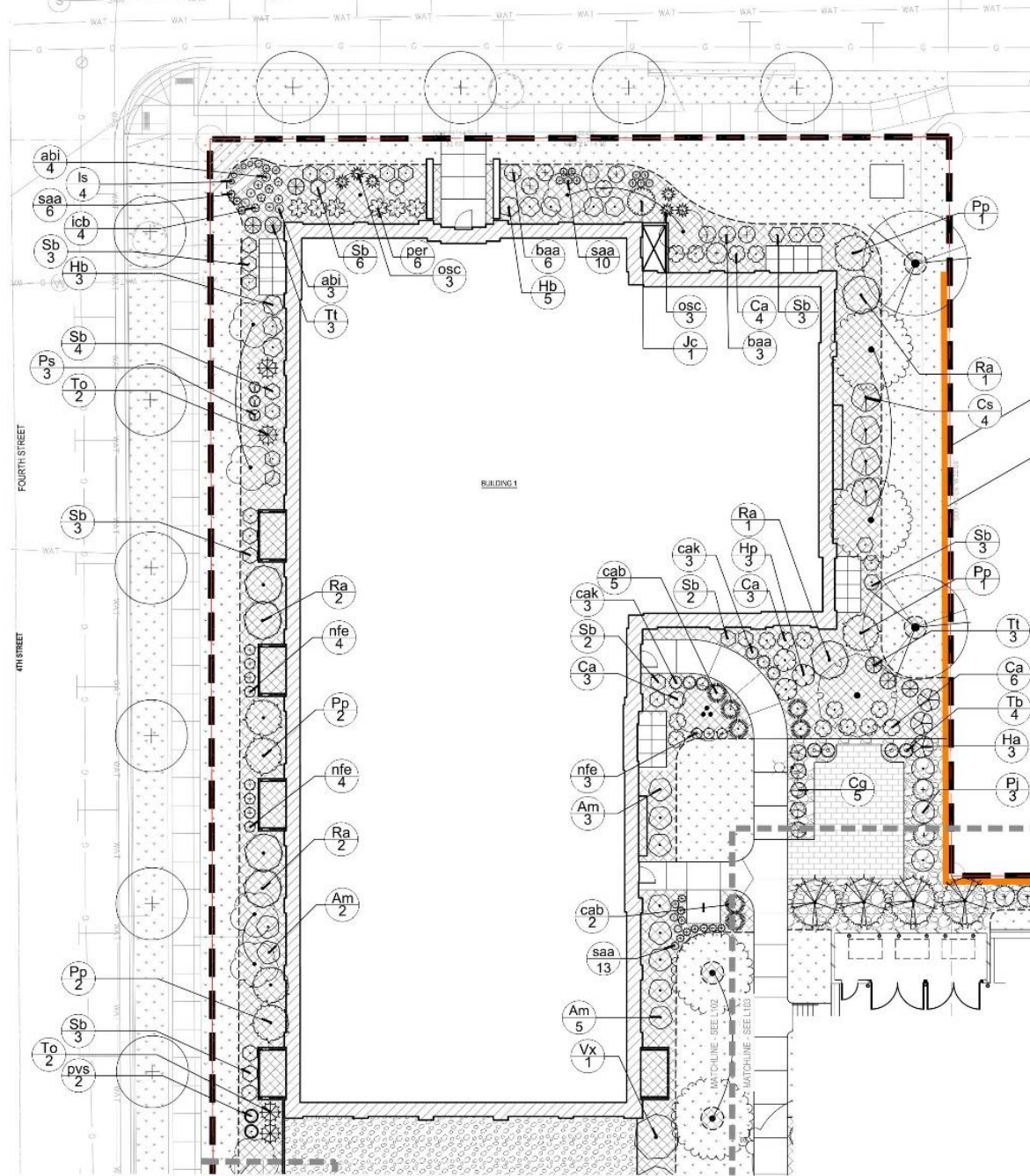
PLAN SYMBOL / COLOR	TYPE	PLAN SYMBOL / COLOR	TYPE
	CLIMAX TREE		RIVERFRONT PROJECT ZONE
	TALL DECIDUOUS TREE		THE COMMUNITY COMMONS AREA
	MEDIUM DECIDUOUS TREE		ANTICIPATED PHASE 1 / PHASE 2 BOUNDARY
	LOW DECIDUOUS TREE		FUTURE PROPERTY LINES BASED ON UPDATED DSM
	TALL EVERGREEN TREE		6' HIGH SOLID BOARD FENCE
	MEDIUM EVERGREEN TREE		GENERAL OPEN SPACE
	STREET / TERRACE TREE		ROOF TERRACE
			PLANTING BED AREA
			BIORETENTION AREA

GDP & SIP Phase One - Summary

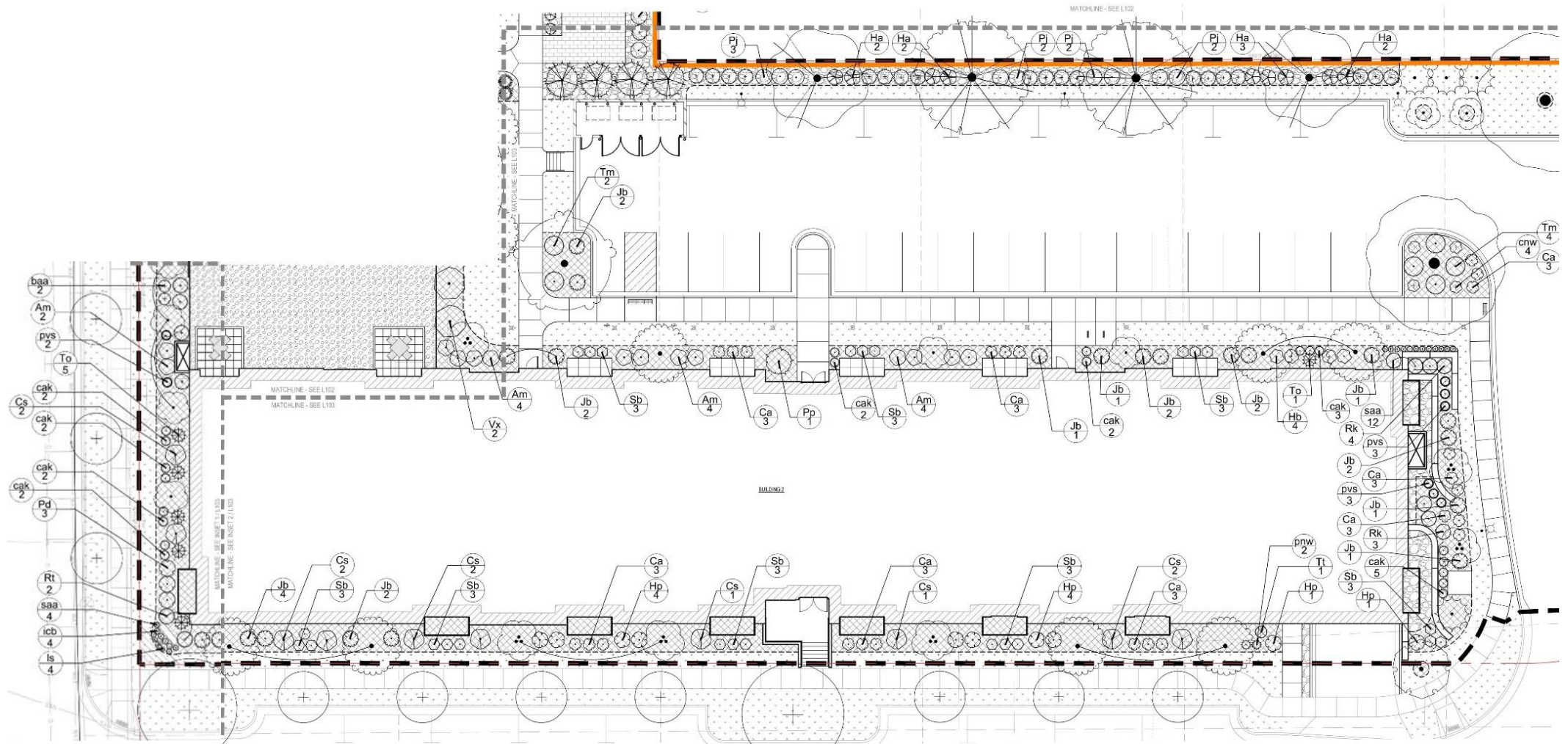
Site Density Calculations					Parking Summary					
	Number of Units	Lot Acreage	Units per Acre	Lot Area per Unit(SF)	Parking Stalls Provided	Parking Required by Zoning	short	Stalls/Unit provided	Stalls/Unit Required	
SIP / Ph 1	Lot 1	78	1.87	41.70	1,042	124*	132	8	1.59	1.69
	Lot 2	98	2.85	34.39	1,265	184*	221	37	1.88	2.26
	Lot 3	39	1.98	19.70	2,215	64	81	17	1.64	2.08
SIP / Ph 1	Outlot 1	0	2.19	-						
	Total	215	8.89	24.18	1,800	372	434	62	1.73	2.02
				Stalls per Bedroom		0.77	0.88			

SIP - Phase 1 Unit Mix: 78 Total apartment units (30 in Bldg 1, 48 in Bldg 2)
 (18) 23.1% 3-bedroom units
 (29) 37.2% 2-bedroom units
 (31) 39.7% 1-bedroom units

Landscape Bldg. 1



1 BUILDING 1 PLANTING & LANDSCAPE RESTORATION ENLARGEMENT
SCALE: 1"=10'-0"



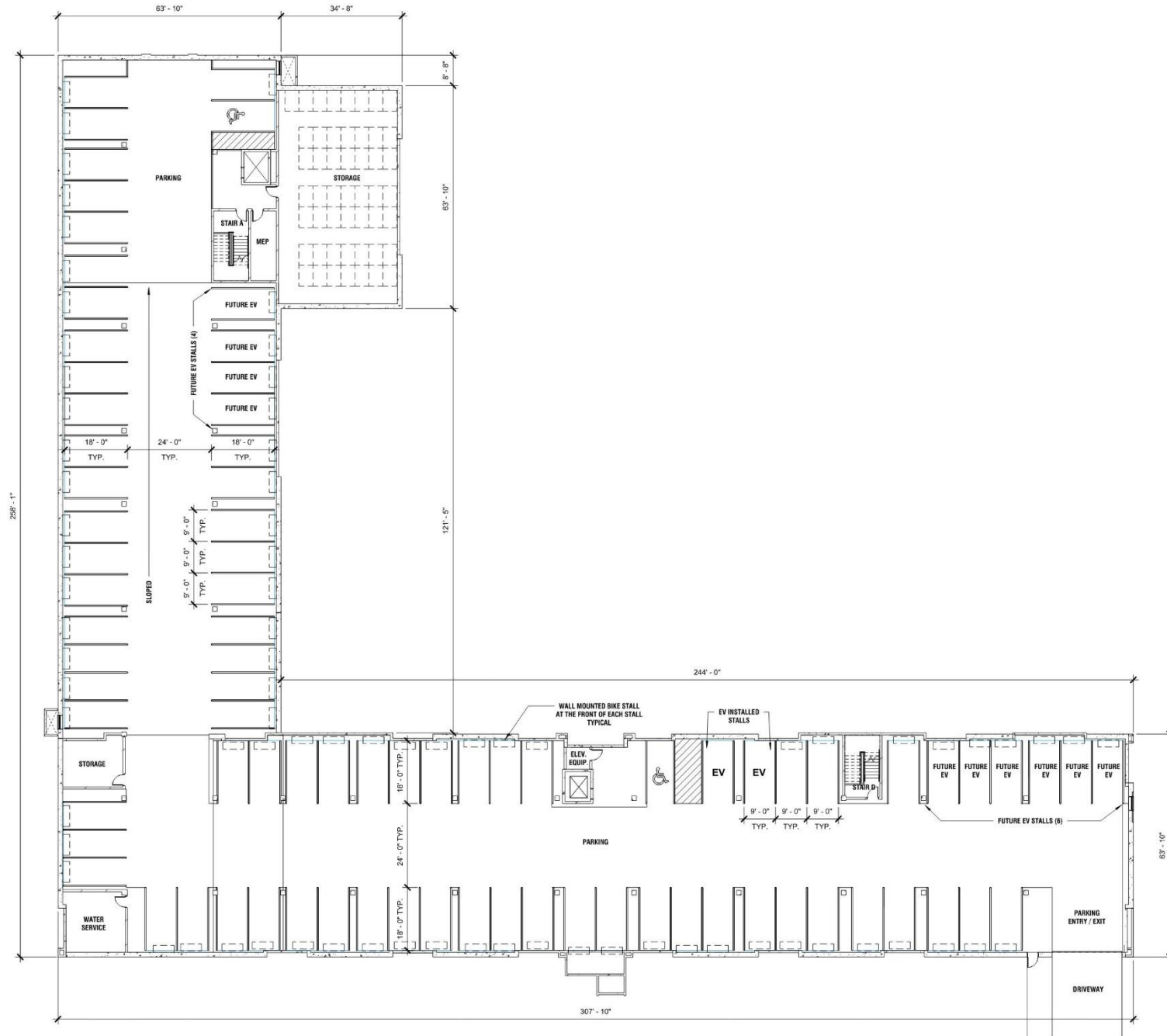
2 BUILDING 2 PLANTING & LANDSCAPE RESTORATION ENLARGEMENT
SCALE: 1"=10'-0"

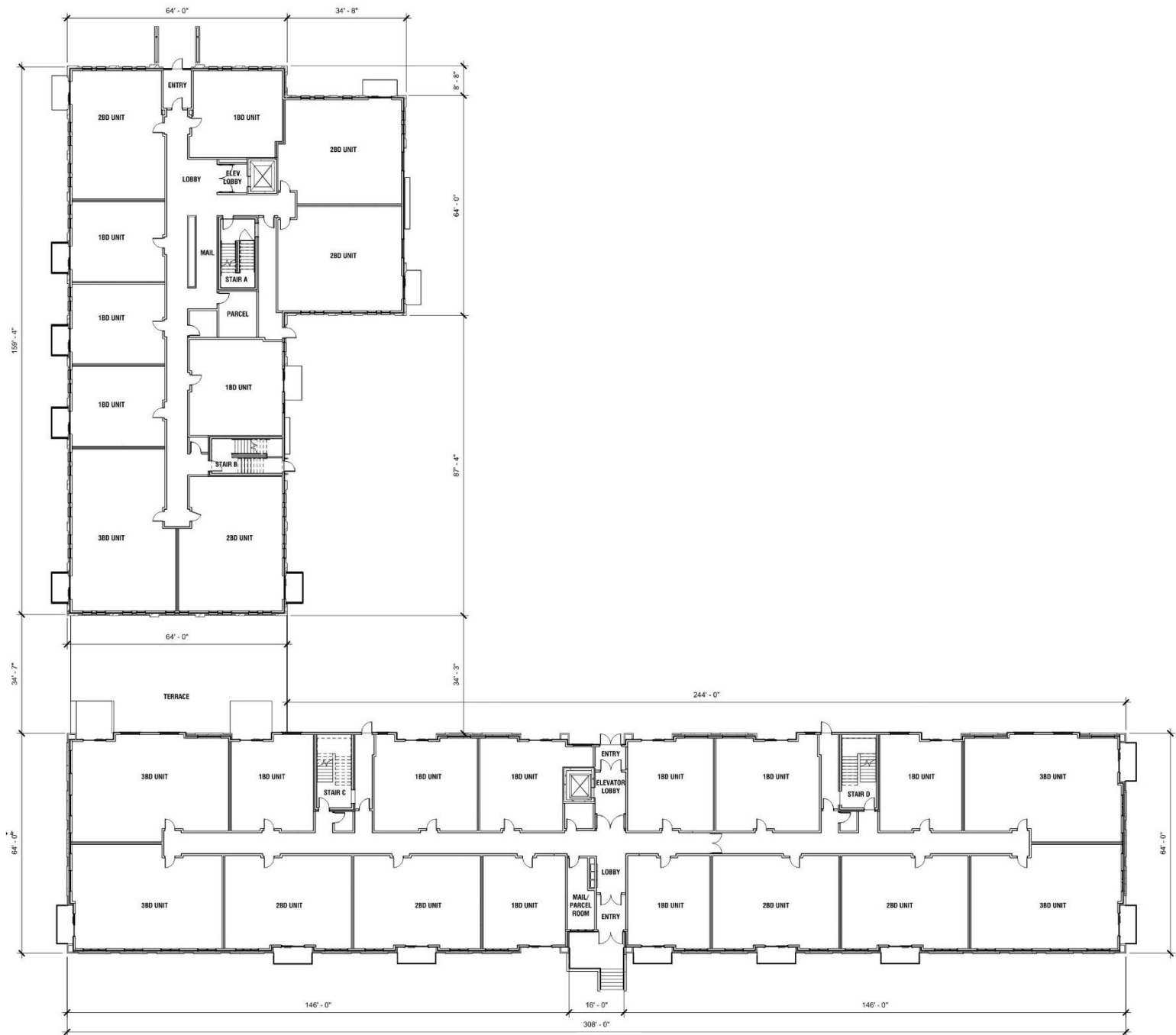


Landscape Bldg. 2

Lower Level Parking Plan

- 84 stalls
- 2 EV stalls
- 10 Future EV stalls





First Floor Plan



THE RACKS

South & Fourth Street Corner

**Potter
Lawson**
Success by Design



Fourth Street Elevation



Courtyard Perspective



Fourth Street & Wagon Works Way Corner



Wagon Works Way Entry



Wagon Works Way Parking Entry



North Elevation of Building 2 - Visitor Parking

Stoughton Riverfront Redevelopment



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