

*“Down To  
The Last  
Doorknob”*



# PROPERTY INSPECTION REPORT

12345 Your Home Dr., Los Angeles, CA 90039

INSPECTION PREPARED FOR: Jane Doe

INSPECTOR: Tony Escamilla

AGENT: Jane Doe - Realtor

DATE OF INSPECTION: 3/4/2025



**VILLA PROPERTY INSPECTIONS**

[www.inspectaproperty.com](http://www.inspectaproperty.com)

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**ABOUT YOUR INSPECTION - PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW**

In order for you to receive the full value of this inspection, please read all of the information we have provided.

**ALL ITEMS IN THE SUMMARY SECTION ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CLOSE OF ESCROW, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION COMPANY WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.**

**THIS IS A LIMITED INSPECTION:** It is impossible to inspect every square inch of every area of a building in a limited time frame. A property inspection is designed to reflect, as accurately as possible, the visible condition of the building at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a building for sale can change radically in only a day or two, so an inspection is not meant to guarantee what condition a building will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection, your inspector did not dismantle equipment, dismantle any structural items, or apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Villa Property Inspections inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

**ENVIRONMENTAL DISCLAIMER:** Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

Buildings built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommended that a licensed electrician further evaluate buildings built in this era for aluminum wiring. Buildings with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.\*

Buildings built prior to 1978 can contain asbestos materials. It is recommend that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure.

Buildings built prior to 1978 can contain lead paint. It is recommend that a licensed lead inspector further evaluate buildings built in this era for lead paint materials.\*

\*Villa Property Inspections will not engage in any claims regarding aluminum wiring, asbestos or lead paint.

**PHOTO DOCUMENTATION:** Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only.

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can



go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a building being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

**For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report, prior to the close of your transaction.**

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to hours depending on the size of the structure or the age of the structure being inspected. The condition of the structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection.

The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. For example: The inspector evaluates the exterior of the building first and finds no defects...but later runs the water at the bathroom sink and the water is not visibly leaking under the sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! An inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing escrow to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.

**THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.**

**THANK YOU FOR USING VILLA PROPERTY INSPECTIONS**



## Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional.

Exterior Areas		
Page 13 Item: 1	Driveway and Walkway Condition	<ul style="list-style-type: none"> <li>• Moderate cracks noted on the driveway at time of inspection.</li> <li>• Moderate settlement observed at time of inspection.</li> <li>• Sidewalk surface is raised or settled and poses a trip hazard. Repair or replacement is recommended.</li> </ul>
Page 13 Item: 2	Fence & Walls Condition	<ul style="list-style-type: none"> <li>• Gates do not close and or latch properly. Repair or replacement is needed.</li> <li>• Earth to wood contact observed at the wood fence. A minimum 6 inch separation is recommended between the soil and the bottom of the fence to prevent moisture penetration and damage.</li> <li>• Fence is leaning or falling. Repair or replacement is recommended.</li> <li>• Moderate cracks noted on the block wall.</li> <li>• Block wall is leaning or falling. Repair or replacement is recommended.</li> <li>• Recommend further evaluation by a licensed contractor prior to the close of your transaction.</li> </ul>
Page 15 Item: 3	Grading & Site Drainage	<ul style="list-style-type: none"> <li>• Improper soil slope toward foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation.</li> <li>• Evidence of pooling water was observed at time of inspection.</li> <li>• Planter areas near the house do not have a drainage system installed and retain water when it rains. This excess moisture, near the foundation of the house, can cause damage. Installation of a drainage system is recommended.</li> </ul>
Page 16 Item: 4	Landscaping Observations	<ul style="list-style-type: none"> <li>• Tree limbs within 10 feet of roof should be trimmed away to provide air and sunlight to roof, while minimizing debris &amp; dampness.</li> </ul>
Page 16 Item: 5	Sprinkler System Observations	<ul style="list-style-type: none"> <li>• Adjust spray away from structures, sidewalks or fences to prevent moisture penetration and damage.</li> </ul>
Page 17 Item: 7	Exterior Wall Condition	<ul style="list-style-type: none"> <li>• Cracks were noted on the walls.</li> <li>• Cracks noted are moderate and may indicate foundation movement due to seismic activity or settlement.</li> </ul>
Page 19 Item: 9	Doors & Windows Observations	<ul style="list-style-type: none"> <li>• Doors/threshold are not properly sealed/caulked and may allow moisture penetration. Application of caulking is recommended.</li> </ul>



Porch, Patios & Decks		
Page 20 Item: 4	Decks Observations	<ul style="list-style-type: none"> <li>Flashings are not properly sealed at the floor to wall junction and may allow moisture penetration and damage.</li> <li>Hand or guard railing is loose or damaged. Repair or replacement is necessary.</li> </ul>
Garage, Carport & Parking		
Page 23 Item: 6	Vehicle Door Condition	<ul style="list-style-type: none"> <li>Paint finish is flaking or deteriorated. Repainting is recommended.</li> </ul>
Page 23 Item: 8	Electrical Condition	<ul style="list-style-type: none"> <li>Exposed Romex wiring observed. Romex wiring is required to be protected/covered when less than 7 feet from the ground. Installation of a cover (drywall, plywood etc) or replacement with metal conduit is required.</li> </ul>
Page 24 Item: 10	Miscellaneous	<ul style="list-style-type: none"> <li>Observed rot/termite/moisture damage. Further evaluation by licensed termite inspector is recommended.</li> </ul>
Roof		
Page 26 Item: 4	Roof Condition	<ul style="list-style-type: none"> <li>A portion of the roofing material (not all of the roof) appears to be at or reaching the end of its useful life.</li> <li>Roofing material appears to be at or near the end of its useful life. A licensed roof contractor should be contacted for further evaluation and repairs or replacement.</li> <li>Nails or fasteners are protruding from the roof surface.</li> <li>The roofing material appears to have moderate deterioration (granular loss) at time of inspection. Periodic monitoring and regular maintenance is recommended.</li> <li>Evidence of prior patching and/or repairs was noted at time of inspection.</li> <li>Damaged or missing shingles noted. Repair or replacement is needed.</li> <li>Anticipate the need to replace a portion of the roof covering in the not too distant future.</li> <li>TYPICAL MAINTENANCE IS RECOMMENDED. This usually consists of repair or replacement of damaged or missing shingles or tiles. This maintenance should help insure the weather tightness of the building and should be performed on a regular basis.</li> <li>A licensed roofing contractor should be called to make further evaluation and repairs as needed prior to the close of your transaction.</li> </ul>
Page 28 Item: 5	Flashings Condition	<ul style="list-style-type: none"> <li>Flashing is not installed at the wall junctions.</li> <li>Kick out flashing is not installed at the wall to roof edge connection. Kick out flashing diverts water from cascading down a wall from a roof edge. See sample photo.</li> <li>Flashings do not appear to be properly sealed at the wall junctions.</li> <li>Flashings do not appear to be properly sealed at the vent pipes.</li> <li>Flashings do not appear to be properly sealed at the valley.</li> </ul>
Page 30 Item: 6	Roof Eaves Condition	<ul style="list-style-type: none"> <li>Fascia boards are missing or not installed. Repair or replacement is recommended.</li> </ul>



Plumbing		
Page 33 Item: 3	Pressure	<ul style="list-style-type: none"> <li>Water pressure appears to be low at the main shut off. The normal operating range for water pressure in a typical home is 65-80 psi. Further evaluation by a plumbing contractor may be necessary.</li> </ul>
Page 34 Item: 7	Supply Lines Condition	<ul style="list-style-type: none"> <li>Low water pressure was observed at one or more plumbing fixture during inspection.</li> <li>A licensed plumber should be called to make further evaluation and repairs as needed prior to the close of your transaction.</li> </ul>
Page 35 Item: 8	Waste Lines Condition	<ul style="list-style-type: none"> <li>Pipes lack proper support under the house.</li> <li>A licensed plumber should be called to make further evaluation and repairs as needed prior to the close of your transaction.</li> </ul>
Page 36 Item: 10	Clean Outs	<ul style="list-style-type: none"> <li>Drain line clean out is not readily accessible. Installation of an extension on the pipe is recommended for easier access for inspection, maintenance and repairs of the sewer lines.</li> </ul>
Electrical		
Page 38 Item: 1	Service Entrance Observations	<ul style="list-style-type: none"> <li>Overhead conductors have contact or run through the middle of a tree. Swaying tree limbs can damage or pull the electrical lines and cause them to disconnect. This is a possible hazard. Trimming the tree limbs away from the power lines is highly recommended for safety.</li> </ul>
Air Conditioning System		
Page 44 Item: 3	System Condition	<ul style="list-style-type: none"> <li>Condenser unit is visibly unlevelled and may not allow proper operation of the refrigeration pump. Leveling is recommended.</li> </ul>
Page 47 Item: 5	Condensate System Condition	<ul style="list-style-type: none"> <li>Air conditioning condensation line terminates next to exterior wall and foundation. It should be rerouted for proper drainage to prevent moisture intrusion.</li> </ul>
Foundation & Crawlspace		
Page 50 Item: 3	Crawlspace Ventilation	<ul style="list-style-type: none"> <li>Ventilation screens are damaged or missing. Repair or replacement is recommended.</li> </ul>
Page 51 Item: 4	General Crawlspace	<ul style="list-style-type: none"> <li>Moisture stains/damage observed at time of inspection.</li> </ul>



Page 52 Item: 5	Foundation Wall Condition	<ul style="list-style-type: none"> <li>• Cripple walls are present, but not braced. Reinforcement is recommended but may not be required.</li> <li>• Minor settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.</li> <li>• Moderate settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.</li> <li>• Evidence of prior water penetration is noted.</li> <li>• <b>Efflorescence</b> observed on walls indicates the presence of periodic moisture.</li> <li>• Evidence of prior water penetration is noted.</li> <li>• Efflorescence observed on walls indicates the presence of periodic moisture.</li> <li>• A foundation contractor should be called to make further evaluation and recommendations as needed prior to the close of your transaction.</li> </ul>
Page 55 Item: 6	Support Beams	<ul style="list-style-type: none"> <li>• Poor end bearing of the beam was observed. Installation of additional supports is recommended.</li> <li>• Beam support posts are loose or damaged. Repair or replacement is recommended.</li> <li>• A foundation contractor should install additional supports as needed prior to the close of your transaction.</li> </ul>
Page 56 Item: 7	Joists & Subfloor	<ul style="list-style-type: none"> <li>• Moisture, rot or termite-like damage noted under the bathroom.</li> <li>• Moisture, rot or termite-like damage noted under the floor joists.</li> <li>• Moisture, rot or termite-like damage noted on the mud sills and or cripple walls.</li> <li>• Damage is minor.</li> <li>• Damage is moderate.</li> <li>• Inspection and repairs by a licensed termite inspector is recommended prior to the close of your transaction.</li> <li>• A qualified carpentry contractor should be called to make further evaluation and repair as needed.</li> <li>• Active moisture intrusion into the building by materials was confirmed at the time of inspection with the use of a moisture meter. Building materials with a moisture content above 20% will allow for mold spores to reproduce. Recommend further evaluation and mold sampling by a qualified contractor prior to the close of your transaction.</li> </ul>





Page 59 Item: 8	Posts & Piers	<ul style="list-style-type: none"> <li>• One of more of the wooden posts supporting the floor frame is leaning and or not providing adequate support. Proper installation is necessary to prevent unlevelled floors.</li> <li>• The wood form board used for the concrete pier were not removed when the concrete work was completed. This will attract moisture into the wood and attract wood destroying organisms and insects. Repair or correction by a licensed general contractor is recommended prior to the close of your transaction.</li> </ul> <p>Moisture and or rot damage observed at the posts which support the beams which support the floor framing.</p> <ul style="list-style-type: none"> <li>• Earth to wood contact at the support posts. This will eventually rot the wood and weaken the floor support. Installation of a concrete pier is recommended.</li> <li>• Post is not properly secured.</li> <li>• A foundation contractor should be contacted for repairs or replacement as needed prior to the close of your transaction.</li> </ul>
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**Living & Dining Room**

Page 61 Item: 4	Floor Condition	<ul style="list-style-type: none"> <li>• Floor is visibly unlevelled. Further evaluation is recommended.</li> <li>• Floor boards are loose and noisy. Repairs are needed.</li> </ul>
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Page 62 Item: 5	Electrical Condition	<ul style="list-style-type: none"> <li>• Light fixture(s) were not functional at time of inspection.</li> </ul>
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**Bedrooms**

Page 64 Item: 5	Floor Condition	<ul style="list-style-type: none"> <li>• Floor boards are loose and noisy. Repairs are needed.</li> </ul>
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**Bathrooms**

Page 71 Item: 11	Electrical Condition	<ul style="list-style-type: none"> <li>• Outlet(s) were not functional at time of inspection. Further evaluation and repairs by a licensed electrical contractor are recommended prior to the close of your transaction.</li> </ul>
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**Kitchen**

Page 73 Item: 1	Sink & Fixtures Condition	<ul style="list-style-type: none"> <li>• Low water pressure/flow was observed at the faucet at time of inspection. Further evaluation and repairs by a licensed plumbing contractor are recommended prior to the close of your transaction.</li> </ul>
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Page 74 Item: 2	Garbage Disposal Condition	<ul style="list-style-type: none"> <li>• Disposal did not operate at time of inspection. Power was present. Repair or replacement is recommended.</li> <li>• A licensed plumber should be called to make further evaluation and repairs as needed.</li> </ul>
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**Hallway**

Page 79 Item: 4	Floor Condition	<ul style="list-style-type: none"> <li>• Floor boards are loose and noisy. Repairs are needed.</li> </ul>
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**Attic**

Page 83 Item: 2	Condition	<ul style="list-style-type: none"> <li>• Evidence of rodent activity was noted. You may wish to have treatment carried out by a licensed exterminator.</li> <li>• Minor staining was noted on the wood surfaces in the attic, indicating a possible roof leak.</li> <li>• Unable to determine the status of the stains. Active leakage may be present.</li> <li>• Moisture stains observed at the vent pipes.</li> <li>• Recommend further evaluation by a licensed roofing contractor.</li> </ul>
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Page 85 Item: 3	Ventilation Condition	<ul style="list-style-type: none"><li>• Ventilation screens are damaged and may allow birds or animals into the attic. Proper installation of ventilation screens is recommended.</li></ul>
Page 85 Item: 5	Insulation Condition	<ul style="list-style-type: none"><li>• Insulation is somewhat compacted and the true R-factor at this point in time may be substantially less than that originally installed. Installation of additional insulation is recommended.</li></ul>



**IMPORTANT INFORMATION - PLEASE READ CAREFULLY**

VILLA HOME INSPECTIONS REQUIRES AN INSPECTION AGREEMENT TO BE SIGNED BY THE CLIENT PRIOR TO PERFORMING AN INSPECTION. IF YOU WERE NOT PRESENT AT THE INSPECTION OR DID NOT SIGN THE INSPECTION AGREEMENT YOU, BY ACCEPTING, PAYING FOR, AND/OR USING THE INSPECTION REPORT YOU ACKNOWLEDGE AND AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE INSPECTION AGREEMENT AND FURTHER AGREE THAT THE INSPECTION AGREEMENT WILL FORM A PART OF THE INSPECTION REPORT. A COPY OF THE INSPECTION AGREEMENT IS INCLUDED WITH THIS REPORT. IF YOU HAVE NOT DONE SO, PLEASE SIGN IT AND RETURN IT TO VILLA HOME INSPECTIONS.





# Inspection Details

## 1. Your Inspector

Inspector: Tony Gosorn

## 2. Weather Conditions

Materials: 70-80 Degrees.

Observations:

- Clear and sunny.
- No rain activity within the last 7 days prior to the inspection.

## 3. Parties Present

In Attendance: Buyer present. • Buyer Agent present.

## 4. Occupied?

Occupancy: No.

## 5. Building Faces

Materials: North

## 6. Building Type

Home Type: Single Family Residence

## 7. Stories

Materials: One

## 8. Space Below Grade

Materials: Crawl space

## 9. Utilities Status

Materials: All the utilities were on at time of inspection.

## 10. Pool/Spa Present

Materials: None.

## 11. Other Information

Observations:

- **OUTDOOR FIRE PIT:** Property is equipped with an outdoor fire pit. Inspection of fire pit is beyond the scope of this inspection. You may wish to inspect the system prior to the close of your transaction.





**OUTDOOR FIRE PIT:** Property is equipped with an outdoor fire pit. Inspection of fire pit is beyond the scope of this inspection. You may wish to inspect the system prior to the close of your transaction.

# Exterior Areas

## 1. Driveway and Walkway Condition

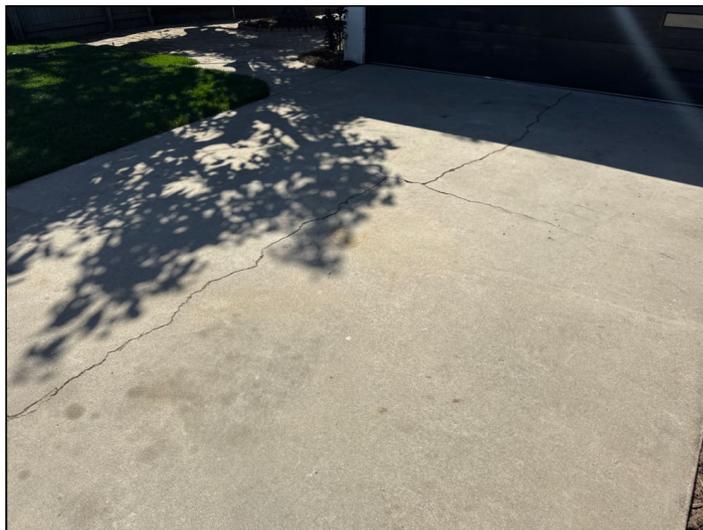
Materials: Concrete driveway noted. • Concrete sidewalk noted.

Observations:

- Moderate cracks noted on the driveway at time of inspection.
- Moderate settlement observed at time of inspection.
- Sidewalk surface is raised or settled and poses a trip hazard. Repair or replacement is recommended.



Sidewalk surface is raised or settled and poses a trip hazard. Repair or replacement is recommended.



Moderate cracks noted on the driveway at time of inspection.

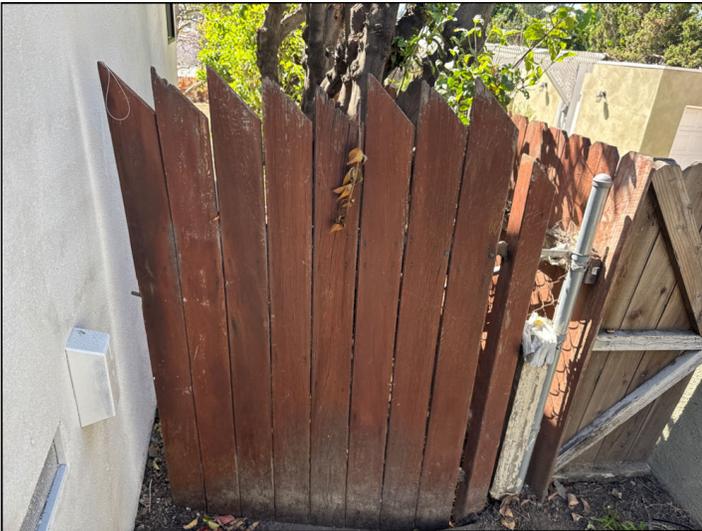
## 2. Fence & Walls Condition

Materials: Wood • Block wall • Iron

Observations:

- Gates do not close and or latch properly. Repair or replacement is needed.
- Earth to wood contact observed at the wood fence. A minimum 6 inch separation is recommended between the soil and the bottom of the fence to prevent moisture penetration and damage.
- Fence is leaning or falling. Repair or replacement is recommended.
- Moderate cracks noted on the block wall.
- Block wall is leaning or falling. Repair or replacement is recommended.
- Recommend further evaluation by a licensed contractor prior to the close of your transaction.





Gates do not close and or latch properly. Repair or replacement is needed.



Earth to wood contact observed at the wood fence. A minimum 6 inch separation is recommended between the soil and the bottom of the fence to prevent moisture penetration and damage.



Block wall is leaning or falling. Repair or replacement is recommended.



Moderate cracks noted on the block wall.



Fence is leaning or falling. Repair or replacement is recommended.

### 3. Grading & Site Drainage

Materials: Site has a moderate slope. • The area where the structures are constructed is sloped.

Observations:

- You should consider installing roof gutters to aid with site drainage.
- Improper soil slope toward foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation.
- Evidence of pooling water was observed at time of inspection.
- Planter areas near the house do not have a drainage system installed and retain water when it rains. This excess moisture, near the foundation of the house, can cause damage. Installation of a drainage system is recommended.



Planter areas near the house do not have a drainage system installed and retain water when it rains. This excess moisture, near the foundation of the house, can cause damage. Installation of a drainage system is recommended.



Improper soil slope toward foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation.



You should consider installing roof gutters to aid with site drainage.

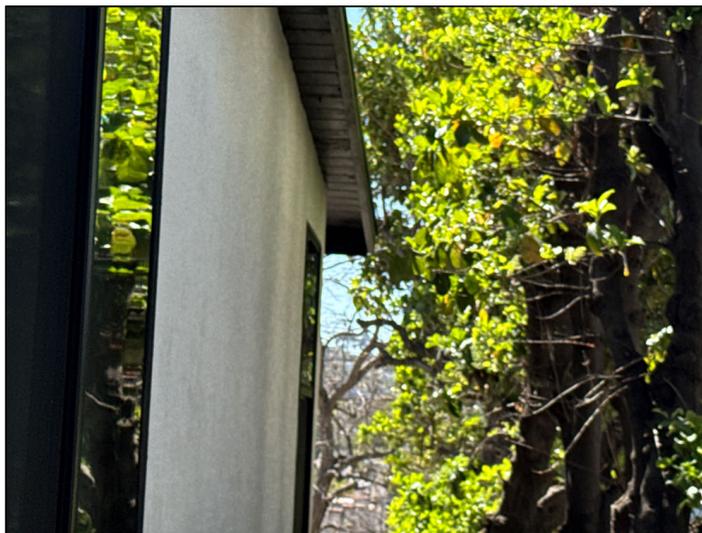


Evidence of pooling water was observed at time of inspection.

#### 4. Landscaping Observations

Observations:

- NOTE: Low voltage lighting systems are not inspected as part of this inspection.
- Tree limbs within 10 feet of roof should be trimmed away to provide air and sunlight to roof, while minimizing debris & dampness.



Tree limbs within 10 feet of roof should be trimmed away to provide air and sunlight to roof, while minimizing debris & dampness.

#### 5. Sprinkler System Observations

Materials: Location: North • Sprinkler valves are automatic. Sprinkler system is only operated manually, at the valves, by the inspector. The timer and programming are not evaluation as part of this inspection.

Observations:

- See photos.
- Adjust spray away from structures, sidewalks or fences to prevent moisture penetration and damage.





See photos.



Adjust spray away from structures, sidewalks or fences to prevent moisture penetration and damage.

### 6. Exterior Stairs & Steps

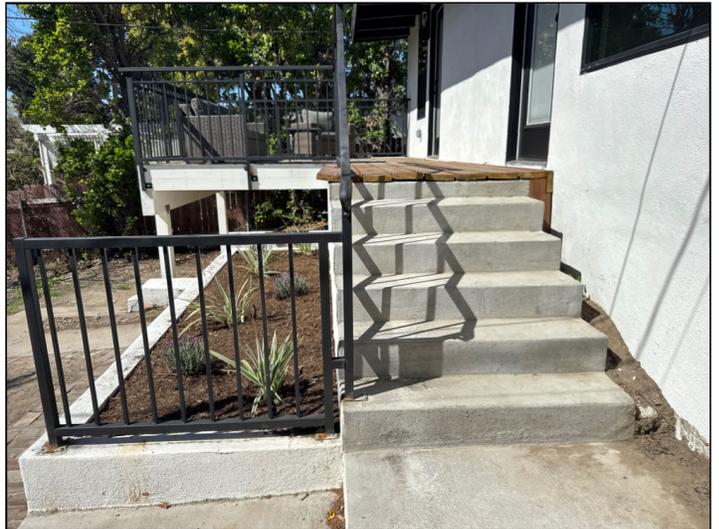
Materials: Location: North, South • Wood framed • Concrete.

Observations:

- No visible structural problems were noted during the inspection.



No visible structural problems were noted during the inspection.



No visible structural problems were noted during the inspection.

### 7. Exterior Wall Condition

Materials: Wood frame.

Materials: Stucco. • Wood siding.

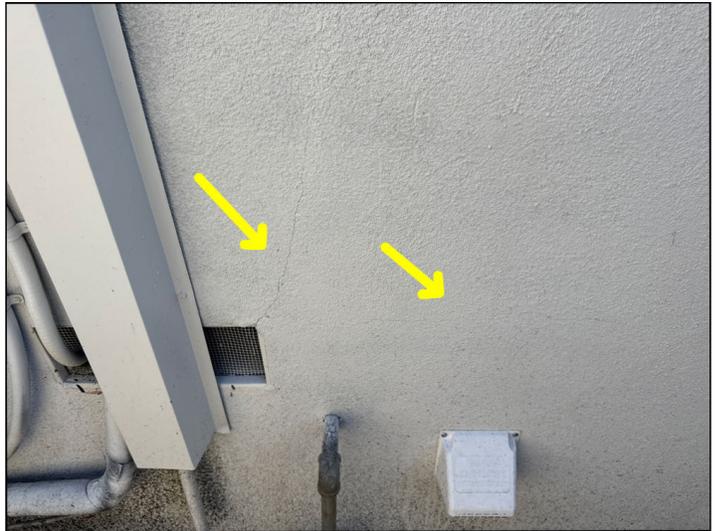
Observations:

- Cracks are typical and not structurally significant.
- Cracks were noted on the walls.
- Cracks noted are moderate and may indicate foundation movement due to seismic activity or settlement.





Cracks were noted on the walls.



Cracks are typical and not structurally significant.



Cracks were noted on the walls.



Cracks were noted on the walls.



Cracks noted are moderate and may indicate foundation movement due to seismic activity or settlement.



Cracks are typical and not structurally significant.





### 8. Wall Trim Condition

Materials: Wood.

Observations:

- No visible problems were noted during the inspection.

### 9. Doors & Windows Observations

Materials: Vinyl. • Hung. • Fixed glass.

Observations:

- No visible problems observed at time of inspection.
- Doors/threshold are not properly sealed/caulked and may allow moisture penetration. Application of caulking is recommended.



Doors/threshold are not properly sealed/caulked and may allow moisture penetration. Application of caulking is recommended.



# Porch, Patios & Decks

## 1. Porches Observations

Materials: Concrete

Materials: Wood

Observations:

- No visible structural problems were observed at the time of inspection.
- No visible problems were observed on the floor during inspection.

## 2. Balconies Observations

Floor Materials: Wood • Iron railing.

Cover Materials: None

## 3. Elevated Walkway Observations

Floor Materials: Wood • Iron railing.

Cover Materials: None

## 4. Decks Observations

Floor Materials: Wood • Iron railing.

Cover Materials: None

Observations:

- No visible structural problems observed at time of inspection.
- Unable to fully view the deck due to occupants' belongings.
- See photos.
- Flashings are not properly sealed at the floor to wall junction and may allow moisture penetration and damage.
- Hand or guard railing is loose or damaged. Repair or replacement is necessary.



No visible structural problems observed at time of inspection.



See photos.



Flashings are not properly sealed at the floor to wall junction and may allow moisture penetration and damage.



Unable to fully view the deck due to occupants' belongings.



Hand or guard railing is loose or damaged. Repair or replacement is necessary.



Flashings are not properly sealed at the floor to wall junction and may allow moisture penetration and damage.



# Garage, Carport & Parking

## 1. Type

Materials: Attached.  
Materials: Two.

## 2. Floor Condition

Observations:  
• Typical cracks noted on the floor at time of inspection.



Typical cracks noted on the floor at time of inspection.

## 3. Fire Separation Wall

Observations:  
• No visible problems observed at time of inspection.

## 4. Walls & Ceiling

Observations:  
• Walls have been covered with drywall.

## 5. Interior Door Condition

Materials: Fire rated manufactured door.  
Observations:  
• No visible problems noted at time of inspection.





No visible problems noted at time of inspection.

### 6. Vehicle Door Condition

Materials: Sectional roll up. • Aluminum. • Non-Insulated.

Observations:

- Door operated properly at time of inspection.
- Automatic door opener is operational.
- Automatic reverse feature is operational.
- **Paint finish is flaking or deteriorated. Repainting is recommended.**



Door operated properly at time of inspection.



Paint finish is flaking or deteriorated. Repainting is recommended.

### 7. Window Condition

Observations:

- Windows and doors operated properly at time of inspection.

### 8. Electrical Condition

Observations:

- **Exposed Romex wiring observed. Romex wiring is required to be protected/covered when less than 7 feet from the ground. Installation of a cover (drywall, plywood etc) or replacement with metal conduit is required.**





Exposed Romex wiring observed. Romex wiring is required to be protected/covered when less than 7 feet from the ground. Installation of a cover (drywall, plywood etc) or replacement with metal conduit is required.

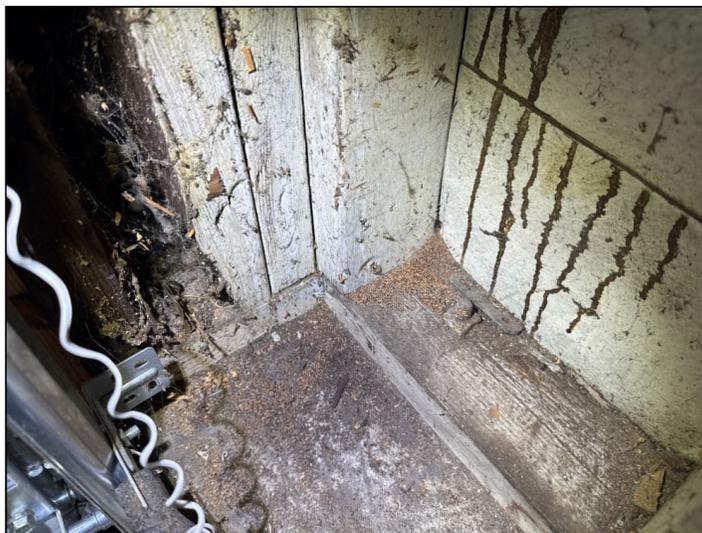
#### 9. Carport Condition

Materials: None.

#### 10. Miscellaneous

Observations:

- Observed rot/termite/moisture damage. Further evaluation by licensed termite inspector is recommended.



Observed rot/termite/moisture damage. Further evaluation by licensed termite inspector is recommended.

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.



# Roof

## 1. Roof Style

Observations:

- Gable.
- Hip.
- Flat or mostly flat roof.

## 2. Roofing Material

Observations:

- Composition shingles.
- TPO ( Thermoplastic Polyferin)

## 3. Layers

Materials: One layer.

Materials: Walked on roof.

## 4. Roof Condition

Observations:

- The roofing material throughout the structure appears to be in overall good condition and within it's useful life.
- A portion of the roofing material (not all of the roof) appears to be within it's useful life.
- See photos.
- A portion of the roofing material (not all of the roof) appears to be at or reaching the end of its useful life.
- Roofing material appears to be at or near the end of its useful life. A licensed roof contractor should be contacted for further evaluation and repairs or replacement.
- Nails or fasteners are protruding from the roof surface.
- The roofing material appears to have moderate deterioration (granular loss) at time of inspection. Periodic monitoring and regular maintenance is recommended.
- Evidence of prior patching and/or repairs was noted at time of inspection.
- Damaged or missing shingles noted. Repair or replacement is needed.
- Anticipate the need to replace a portion of the roof covering in the not too distant future.
- **TYPICAL MAINTENANCE IS RECOMMENDED.** This usually consists of repair or replacement of damaged or missing shingles or tiles. This maintenance should help insure the weather tightness of the building and should be performed on a regular basis.
- A licensed roofing contractor should be called to make further evaluation and repairs as needed prior to the close of your transaction.





**TYPICAL MAINTENANCE IS RECOMMENDED.** This usually consists of repair or replacement of damaged or missing shingles or tiles. This maintenance should help insure the weather tightness of the building and should be performed on a regular basis.



Roofing material appears to be at or near the end of its useful life. A licensed roof contractor should be contacted for further evaluation and repairs or replacement.



Damaged or missing shingles noted. Repair or replacement is needed.



A portion of the roofing material (not all of the roof) appears to be within it's useful life.



The roofing material throughout this portion of the structure appears to be in overall good condition and within its useful life.



The roofing material appears to have moderate deterioration (granular loss) at time of inspection. Periodic monitoring and regular maintenance is recommended.



Evidence of prior patching and/or repairs was noted at time of inspection.



See photos.

### 5. Flashings Condition

Materials: Metal. • Rubber.

Observations:

- Flashing is not installed at the wall junctions.
- Kick out flashing is not installed at the wall to roof edge connection. Kick out flashing diverts water from cascading down a wall from a roof edge. See sample photo.
- Flashings do not appear to be properly sealed at the wall junctions.
- Flashings do not appear to be properly sealed at the vent pipes.
- Flashings do not appear to be properly sealed at the **valley**.





Flashing is not installed at the wall junctions.



Flashings do not appear to be properly sealed at the valley.



Flashings do not appear to be properly sealed at the vent pipes.



Flashings do not appear to be properly sealed at the valley.



Kick out flashing is not installed at the wall to roof edge connection. Kick out flashing diverts water from cascading down a wall from a roof edge.  
See sample photo.

#### 6. Roof Eaves Condition

Materials: Wood

Observations:

- **fascia** boards are missing or not installed. Repair or replacement is recommended.



Fascia boards are missing or not installed. Repair or replacement is recommended.

#### 7. Gutters & Downspouts

Materials: None.

Observations:

- Consider installing gutters and downspouts to help with site drainage.





Consider installing gutters and downspouts to help with site drainage.

Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection.

Many cities (including Los Angeles & West Hollywood) require the installation of a automatic seismic gas shut off valve prior to the close of escrow. Determining which other cities may or may not is beyond the scope of this inspection. It is recommended that you consult your real estate agent or city building department to determine if it is required



# Plumbing

## 1. Utilities

Materials: Water supply is from a public service company. • Sewer service appears to be connected to a public service.

## 2. Main Line Type

Materials: Copper  
Materials: 1 inch

## 3. Pressure

Materials: 50-55.

Observations:

- Pressure regulating valve is installed.
- Water pressure appears to be low at the main shut off. The normal operating range for water pressure in a typical home is 65-80 psi. Further evaluation by a plumbing contractor may be necessary.



Water pressure appears to be low at the main shut off. The normal operating range for water pressure in a typical home is 65-80 psi. Further evaluation by a plumbing contractor may be necessary.

## 4. Shut Off Location

Materials: North

## 5. Meter Location

Materials: Driveway.

## 6. Main Line Condition

Observations:

- No visible problems observed at time of inspection.





No visible problems observed at time of inspection.

### 7. Supply Lines Condition

Materials: Mostly copper.

Observations:

- Water lines were not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.
- Low water pressure was observed at one or more plumbing fixture during inspection.
- A licensed plumber should be called to make further evaluation and repairs as needed prior to the close of your transaction.



Low water pressure was observed at one or more plumbing fixture during inspection.

Water lines were not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.

### 8. Waste Lines Condition

Materials: Mostly **ABS**.

Observations:

- Waste lines not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.
- No leakage is noted, but monitor in the future
- Pipes lack proper support under the house.
- A licensed plumber should be called to make further evaluation and repairs as needed prior to the close of your transaction.



Waste lines not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.



No leakage is noted, but monitor in the future



Pipes lack proper support under the house.

### 9. Fuel System Condition

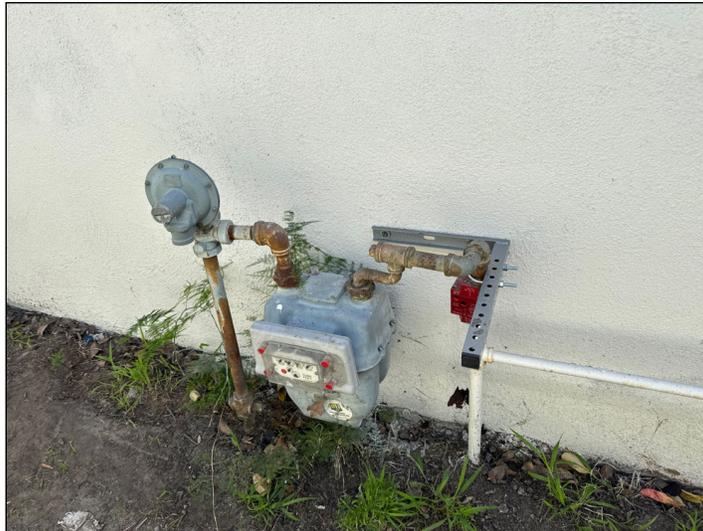
Materials: Natural gas.

Materials: Above ground. • Meter is located at the west side of the building.

Observations:

- Meter appears functional at time of inspection.
- Automatic gas seismic shut off valve is present.





Meter appears functional at time of inspection.

### 10. Clean Outs

Materials: North

Observations:

- See photos.
- Drain line clean out is not readily accessible. Installation of an extension on the pipe is recommended for easier access for inspection, maintenance and repairs of the sewer lines.



See photos.



Drain line clean out is not readily accessible. Installation of an extension on the pipe is recommended for easier access for inspection, maintenance and repairs of the sewer lines.

# Water Heater

## 1. Type

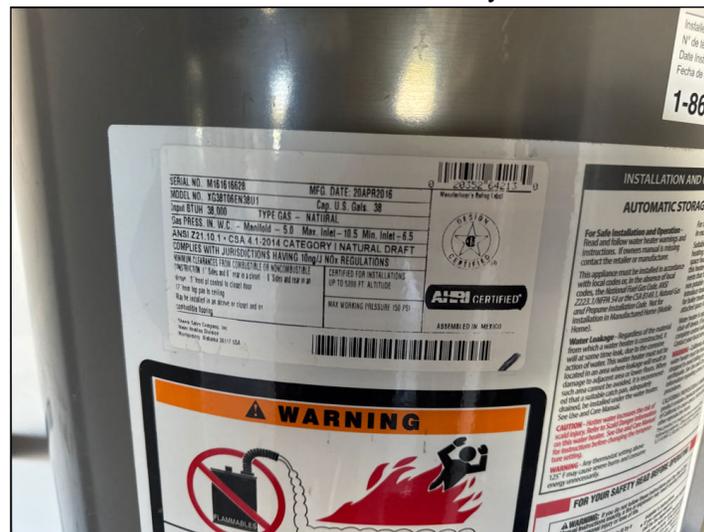
Materials: Gas.  
Materials: Garage.

## 2. Age

Materials: 38 Gallons.

Observations:

- YEAR BUILT: 2016
- 7-10 Years old. Unit is reaching the end of it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.



7-10 Years old. Unit is reaching the end of it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.

## 3. Condition

Observations:

- Water heater operated properly at time of the inspection.



Water heater operated properly at time of the inspection.

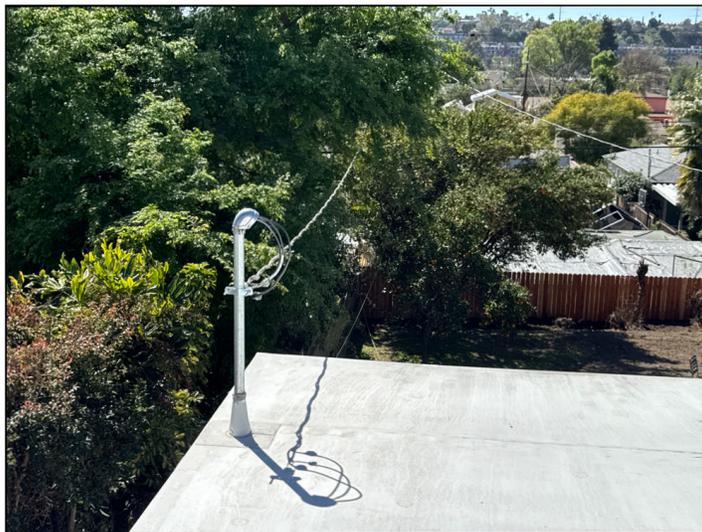
# Electrical

## 1. Service Entrance Observations

Service Type: Overhead. • 120/240 Volt.

Observations:

- Overhead conductors have contact or run through the middle of a tree. Swaying tree limbs can damage or pull the electrical lines and cause them to disconnect. This is a possible hazard. Trimming the tree limbs away from the power lines is highly recommended for safety.



Overhead conductors have contact or run through the middle of a tree. Swaying tree limbs can damage or pull the electrical lines and cause them to disconnect. This is a possible hazard. Trimming the tree limbs away from the power lines is highly recommended for safety.

## 2. Panel Condition

Materials: AMPERAGE: • 200 amps. • LOCATION: • Exterior East.

Observations:

- Grounding system is present.
- Main electrical panel appears to be in overall good conditions with no problems observed at time of the inspection.
- Circuit and wire sizing correct so far as visible.
- See photos.





Main electrical panel appears to be in overall good conditions with no problems observed at time of the inspection.



Circuit and wire sizing correct so far as visible.



Circuit and wire sizing correct so far as visible.



Circuit and wire sizing correct so far as visible.



Grounding system is present.



### 3. Main Shut Off Condition

Materials: LOCATION: • Exterior East. • TYPE: • Breakers.

Materials: 200 amps.

Observations:

- See photos.



See photos.

### 4. Service Entrance Cables

Materials: Cannot determine.

### 5. Wiring Condition

Materials: Copper. • Romex.



The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be preformed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis.



# Heating System

## 1. Location

Materials: Attic.  
Materials: Heat Pump.

## 2. Normal Controls

- Observations:
- Location of Thermostat: Hallway
  - Normal controls operated properly.



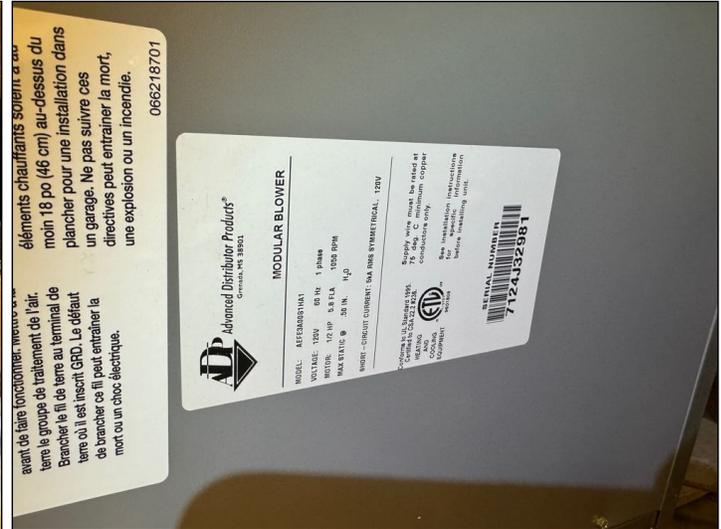
Normal controls operated properly.

## 3. System Condition

- Observations:
- System operated properly at time of inspection.
  - See photos.



System operated properly at time of inspection.



See photos.

## 4. Pump/Blower Fan

- Observations:
- Operated properly at time of inspection.



5. Plenum

Observations:

- Air plenum appears adequate.



Air plenum appears adequate.

6. Air Filters

Observations:

- Air filter appears to be in useful condition.

7. Ductwork Condition

Materials: Flexible Round.

Observations:

- No visible problems observed at time of inspection.



No visible problems observed at time of inspection.

# Air Conditioning System

## 1. Location

Materials: Exterior.

Materials: Central. • The HVAC system appears to be installed approximately within one to five years.

## 2. Power Source

Materials: Electrical disconnect present.

## 3. System Condition

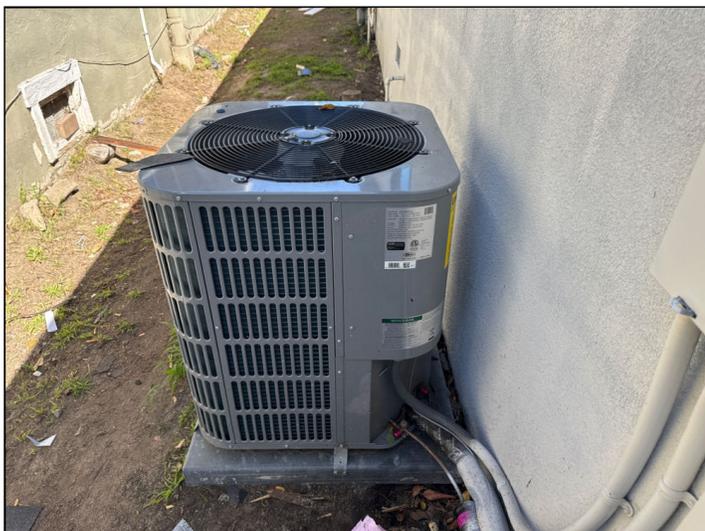
Observations:

- System operated properly at time of inspection.

- - [ ] You may want to read "6 Easy HVAC Maintenance Tips"

<https://inspectaproperty.com/blog/f/6-easy-hvac-maintenance-tips>

- Condenser unit is visibly unlevel and may not allow proper operation of the refrigeration pump. Leveling is recommended.



System operated properly at time of inspection.



Condenser unit is visibly unlevel and may not allow proper operation of the refrigeration pump. Leveling is recommended.



- [ ] You may want to read "6 Easy HVAC Maintenance Tips"  
<https://inspectaproperty.com/blog/f/6-easy-hvac-maintenance-tips>

#### 4. Temperature Split

Observations:

- Normal operation.



Normal operation.



Normal operation.



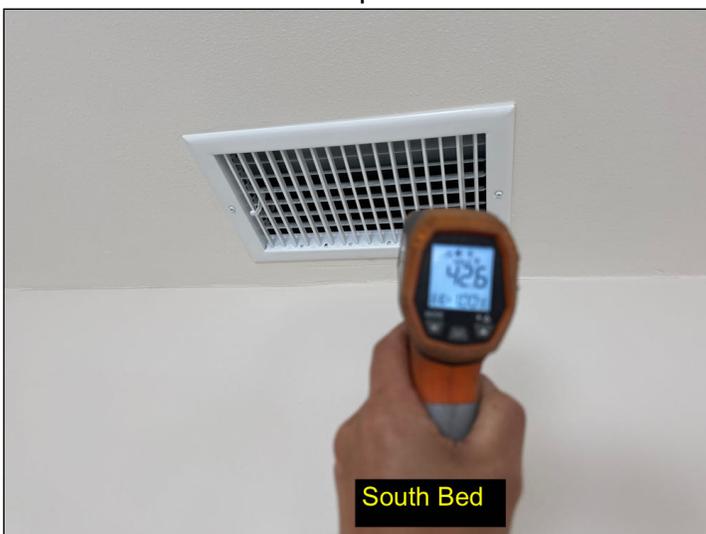
Kitchen

Normal operation.



Dining

Normal operation.



South Bed

Normal operation.



Primary Bath

Normal operation.



Hall Bath

Normal operation.



West Bed

Normal operation.





Normal operation.

### 5. Condensate System Condition

Materials: Primary condensate line is installed. • Drip pan is installed under the evaporator.

Observations:

- Line not fully visible.
- Air conditioning condensation line terminates next to exterior wall and foundation. It should be rerouted for proper drainage to prevent moisture intrusion.



Air conditioning condensation line terminates next to exterior wall and foundation. It should be rerouted for proper drainage to prevent moisture intrusion.



Line not fully visible.

### 6. Normal Controls

Observations:

- Normal controls operated properly.



Normal controls operated properly.

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.



# Foundation & Crawlspace

## 1. Type of Foundation

Materials: Poured Concrete. • Concrete block. • Wood. • Raised foundation with crawlspace access.

## 2. Crawlspace Accessibility

Materials: Access Location: East Side of Structure, West Side of Structure • Inspector entered and crawled under the structure • Robot crawled under the structure

Observations:

- Access panel is functional.
- Access panel is not installed. Installation is recommended.



Access panel is functional.



Access panel is functional.

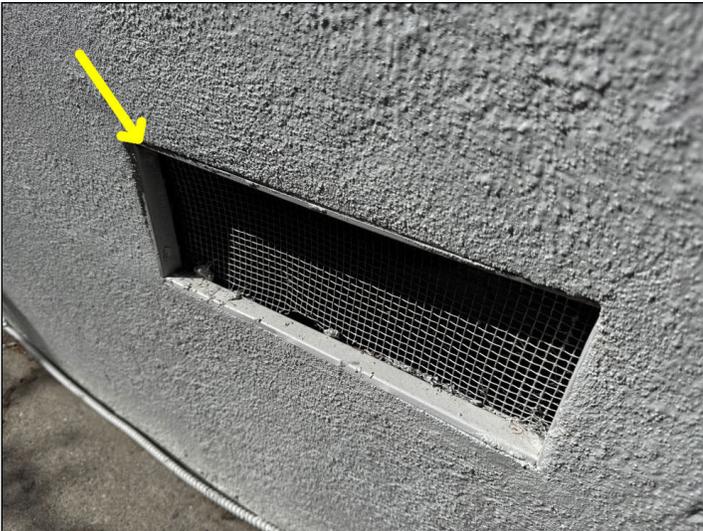


Access panel is not installed. Installation is recommended.

## 3. Crawlspace Ventilation

Observations:

- Ventilation screens are damaged or missing. Repair or replacement is recommended.



Ventilation screens are damaged or missing. Repair or replacement is recommended.



Ventilation screens are damaged or missing. Repair or replacement is recommended.

#### 4. General Crawlspace

Observations:

- See photos.
- Moisture stains/damage observed at time of inspection.



Moisture stains/damage observed at time of inspection.



Moisture stains/damage observed at time of inspection.



See photos.

Moisture stains/damage observed at time of inspection.

## 5. Foundation Wall Condition

### Observations:

- Anchor bolts are installed. Wood frame appears to be bolted to the foundation.
- Approved sealant should be applied properly to all foundation cracks (see sample photo). For a FREE foundation retrofit guide, go to: <https://inspectaproperty.com/downloads>
- Metal strapping should be considered foundation cracks (see sample photo) for additional structural support. For a FREE foundation retrofit guide, go to: <https://inspectaproperty.com/downloads>
- Cripple walls are present, but not braced. Reinforcement is recommended but may not be required.
- Minor settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.
- Moderate settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.
- Evidence of prior water penetration is noted.
- **Efflorescence** observed on walls indicates the presence of periodic moisture.
- Evidence of prior water penetration is noted.
- Efflorescence observed on walls indicates the presence of periodic moisture.
- A foundation contractor should be called to make further evaluation and recommendations as needed prior to the close of your transaction.





Anchor bolts are installed. Wood frame appears to be bolted to the foundation.



Evidence of prior water penetration is noted.



Cripple walls are present, but not braced. Reinforcement is recommended but may not be required.



Efflorescence observed on walls indicates the presence of periodic moisture.





Minor settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.



Minor settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.



Efflorescence observed on walls indicates the presence of periodic moisture.



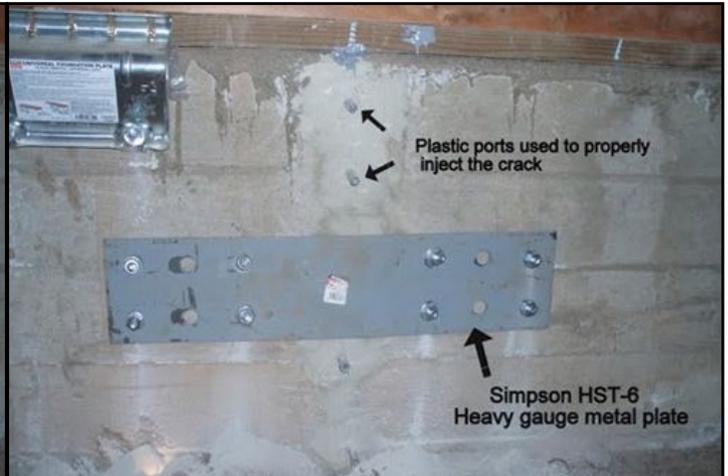
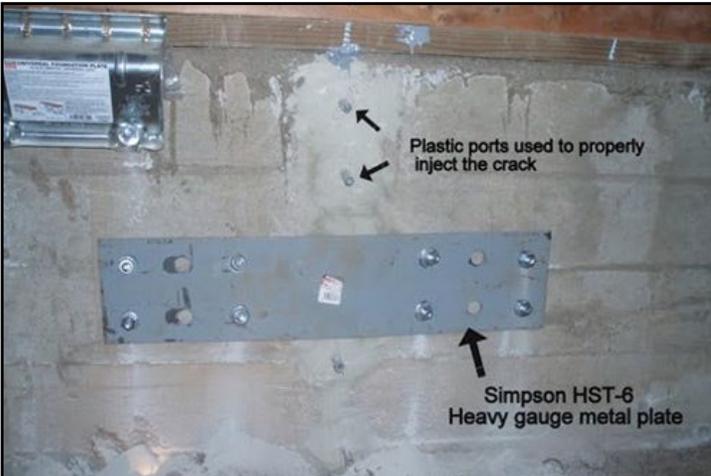
Efflorescence observed on walls indicates the presence of periodic moisture.



Moderate settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.



Moderate settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.



## 6. Support Beams

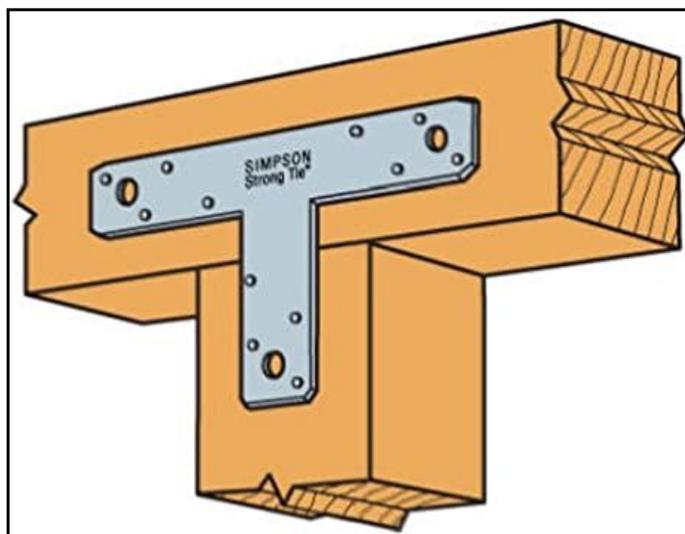
### Observations:

- Beams appear functional.
- Metal T-Straps should be considered at all post-to-beam connections (see sample photo) for additional structural support. For a FREE foundation retrofit guide, go to: <https://inspectaproperty.com/downloads>
- Poor end bearing of the beam was observed. Installation of additional supports is recommended.
- Beam support posts are loose or damaged. Repair or replacement is recommended.
- A foundation contractor should install additional supports as needed prior to the close of your transaction.



Poor end bearing of the beam was observed.  
Installation of additional supports is recommended.

Beam support posts are loose or damaged.  
Repair or replacement is recommended.



## 7. Joists & Subfloor

### Observations:

- Moisture, rot or termite-like damage noted under the bathroom.
- Moisture, rot or termite-like damage noted under the floor joists.
- Moisture, rot or termite-like damage noted on the mud sills and or cripple walls.
- Damage is minor.
- Damage is moderate.
- Inspection and repairs by a licensed termite inspector is recommended prior to the close of your transaction.
- A qualified carpentry contractor should be called to make further evaluation and repair as needed.
- Active moisture intrusion into the building by materials was confirmed at the time of inspection with the use of a moisture meter. Building materials with a moisture content above 20% will allow for mold spores to reproduce. Recommend further evaluation and mold sampling by a qualified contractor prior to the close of your transaction.





Moisture, rot or termite-like damage noted under the bathroom.



Moisture, rot or termite-like damage noted under the floor joists.



Moisture, rot or termite-like damage noted on the mud sills and or cripple walls.



Active moisture intrusion into the building by materials was confirmed at the time of inspection with the use of a moisture meter. Building materials with a moisture content above 20% will allow for mold spores to reproduce. Recommend further evaluation and mold sampling by a qualified contractor prior to the close of your transaction.



Moisture, rot or termite-like damage noted under the bathroom.



Damage is minor.



Moisture, rot or termite-like damage noted on the mud sills and or cripple walls.



Moisture, rot or termite-like damage noted under the floor joists.



Damage is moderate.



Moisture, rot or termite-like damage noted under the bathroom.



Inspection and repairs by a licensed termite inspector is recommended prior to the close of your transaction.

## 8. Posts & Piers

### Observations:

- One of more of the wooden posts supporting the floor frame is leaning and or not providing adequate support. Proper installation is necessary to prevent unlevelled floors.
- The wood form board used for the concrete pier were not removed when the concrete work was completed. This will attract moisture into the wood and attract wood destroying organisms and insects. Repair or correction by a licensed general contractor is recommended prior to the close of your transaction.

Moisture and or rot damage observed at the posts which support the beams which support the floor framing.

- Earth to wood contact at the support posts. This will eventually rot the wood and weaken the floor support. Installation of a concrete pier is recommended.
- Post is not properly secured.
- A foundation contractor should be contacted for repairs or replacement as needed prior to the close of your transaction.





Earth to wood contact at the support posts. This will eventually rot the wood and weaken the floor support. Installation of a concrete pier is recommended.



The wood form board used for the concrete pier were not removed when the concrete work was completed. This will attract moisture into the wood and attract wood destroying organisms and insects. Repair or correction by a licensed general contractor is recommended prior to the close of your transaction.

Moisture and or rot damage observed at the posts which support the beams which support the floor framing.



One of more of the wooden posts supporting the floor frame is leaning and or not providing adequate support. Proper installation is necessary to prevent unlevelled floors.

# Living & Dining Room

## 1. Doors & Windows Condition

Materials: Vinyl • Hung. • Fixed Glass.

Observations:

- Windows operated properly at time of inspection.
- Doors operate properly.

## 2. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

## 3. Closet Condition

Observations:

- No visible problems noted at time of inspection.

## 4. Floor Condition

Materials: Wood.

Observations:

- Rugs and floor coverings prevent viewing of primary floor materials.
- Floor is visibly unlevel. Further evaluation is recommended.
- Floor boards are loose and noisy. Repairs are needed.



Floor boards are loose and noisy. Repairs are needed.



Rugs and floor coverings prevent viewing of primary floor materials.



Floor boards are loose and noisy. Repairs are needed.



Floor is visibly unlevel. Further evaluation is recommended.

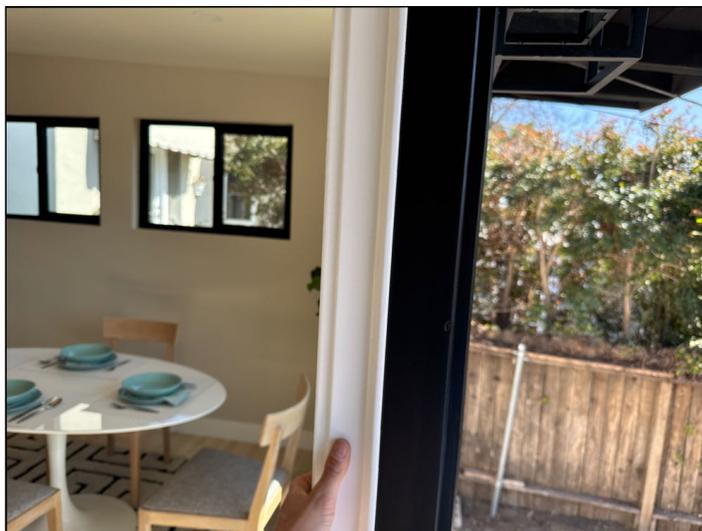


Rugs and floor coverings prevent viewing of primary floor materials.

### 5. Electrical Condition

Observations:

- Light fixture(s) were not functional at time of inspection.



Light fixture(s) were not functional at time of inspection.

### 6. Smoke & Carbon Monoxide

Observations:

- Smoke alarm was installed at time of inspection.
- Carbon Monoxide alarm was installed at time of inspection.



Smoke alarm was installed at time of inspection.



Carbon Monoxide alarm was installed at time of inspection.

# Bedrooms

## 1. Location

Materials: Location #1: South • Location #2: West • Location #3: North

## 2. Doors & Windows Condition

Materials: Vinyl • Hung. • Fixed Glass.

Observations:

- Windows operated properly at time of inspection.
- Doors operate properly.

## 3. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

## 4. Closet Condition

Observations:

- No visible problems observed at time of inspection.

## 5. Floor Condition

Materials: Wood.

Observations:

- Stored items or furnishings prevent full inspection.
- Rugs and floor coverings prevent viewing of primary floor materials.
- Floor boards are loose and noisy. Repairs are needed.



Stored items or furnishings prevent full inspection.



Rugs and floor coverings prevent viewing of primary floor materials.



Stored items or furnishings prevent full inspection.

Floor boards are loose and noisy. Repairs are needed.

### 6. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

### 7. Smoke Alarms

Observations:

- Smoke alarm was installed at time of inspection.



Smoke alarm was installed at time of inspection.

Smoke alarm was installed at time of inspection.



Smoke alarm was installed at time of inspection.

# Bathrooms

**SHOWER PANS** Testing of a shower pan consists of filling the shower pan with water for several hours, then checking it for changes in water levels (leaks). Because this is a lengthy test and because it may cause an actual leak in the pan which may cause property damage, shower pans are outside the scope of our inspection. Furthermore, some shower pans may only leak when the added weight of a person is inside the shower when the water is running. We recommend that you check and maintain the caulking at the shower pan regularly and call a plumber if you see moisture stains or damage to surrounding areas or areas below the shower. **SPA TUBS** Due to the limited access to the underside of spa tub, inspection of all the water jet lines may not be possible. Inspection is limited to the areas visible from the motor access panel.

## 1. Location

Materials: Location #1: Primary Bathroom • Location #2: Hallway

## 2. Sink & Vanity Condition

Observations:

- Sink and counter areas are in functional condition.
- Counters/cabinets appear serviceable.

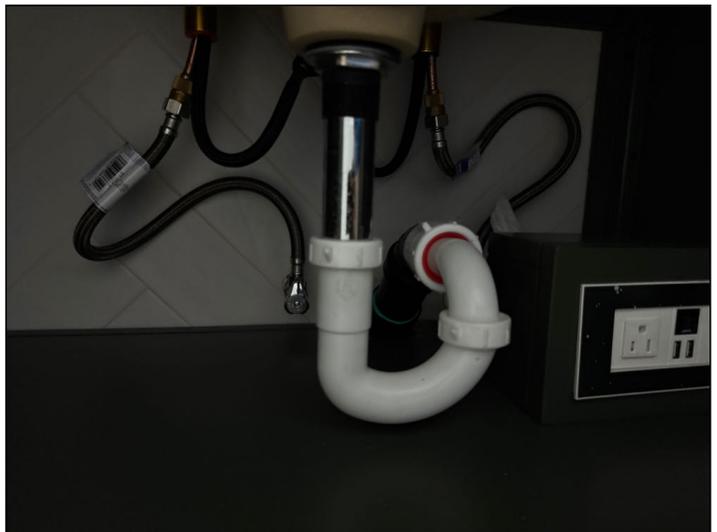
## 3. Plumbing Condition

Observations:

- Faucet is in functional condition.
- Drain lines under the sink appear functional.



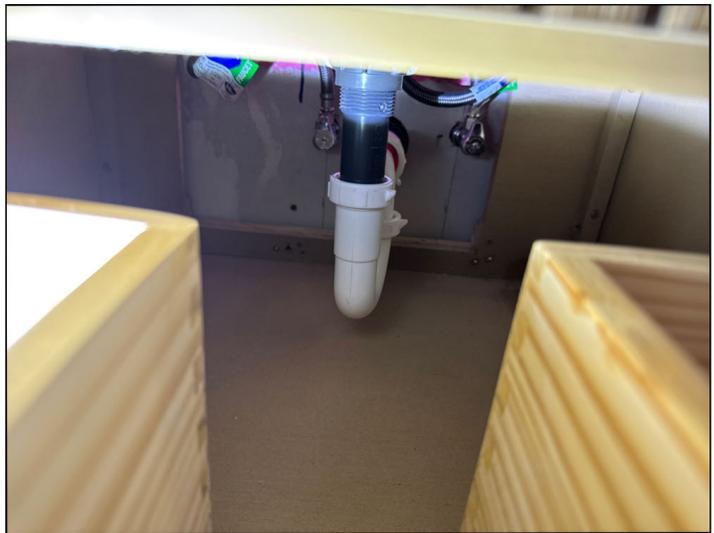
Faucet is in functional condition.



Drain lines under the sink appear functional.



Faucet is in functional condition.



Drain lines under the sink appear functional.

#### 4. Toilet Condition

Observations:

- Toilet is low flow type.
- Toilet operated properly at time of inspection.



Toilet operated properly at time of inspection.



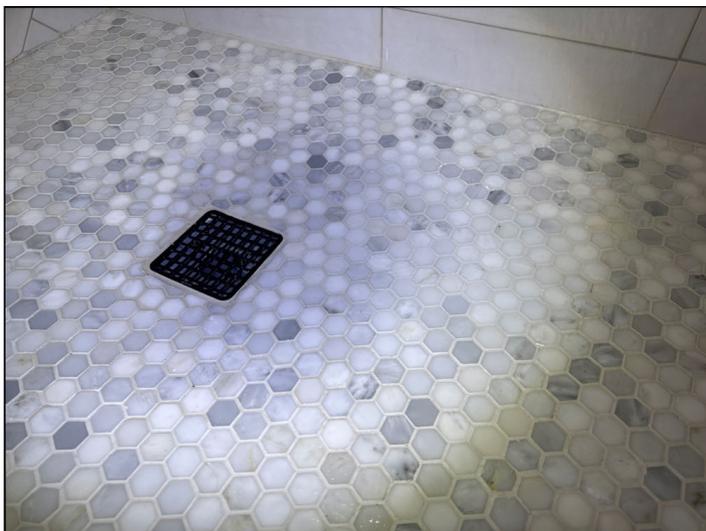
Toilet operated properly at time of inspection.

#### 5. Tub & Shower Fixtures

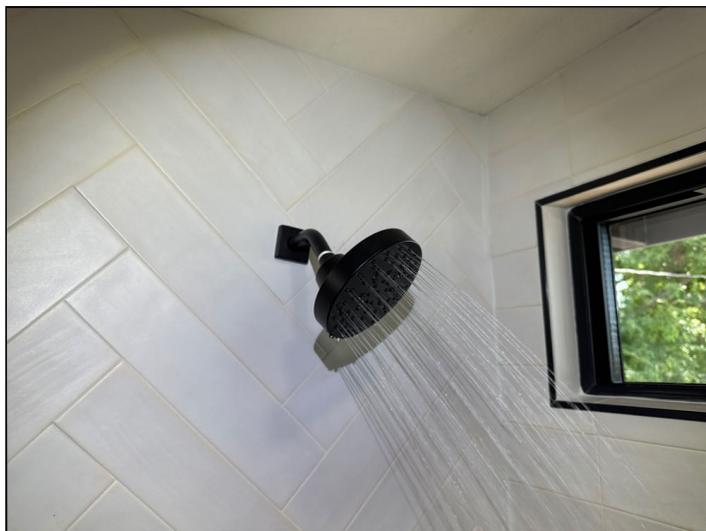
Observations:

- Plumbing fixtures operated properly at time of inspection.
- Drain appears serviceable.
- Shower head appears serviceable.

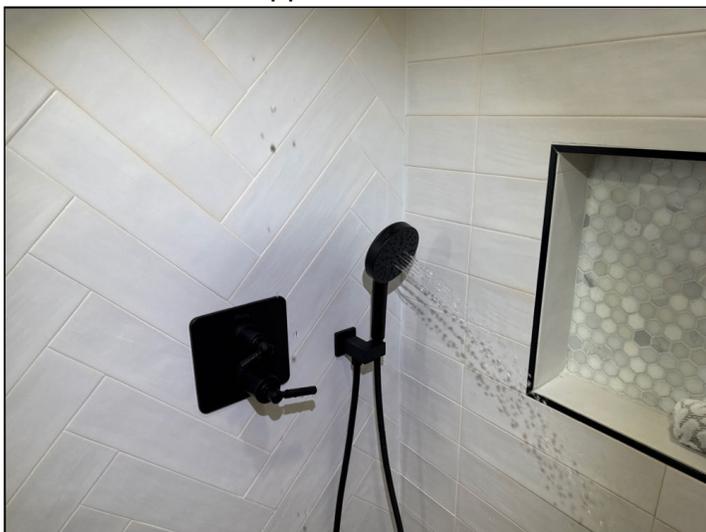




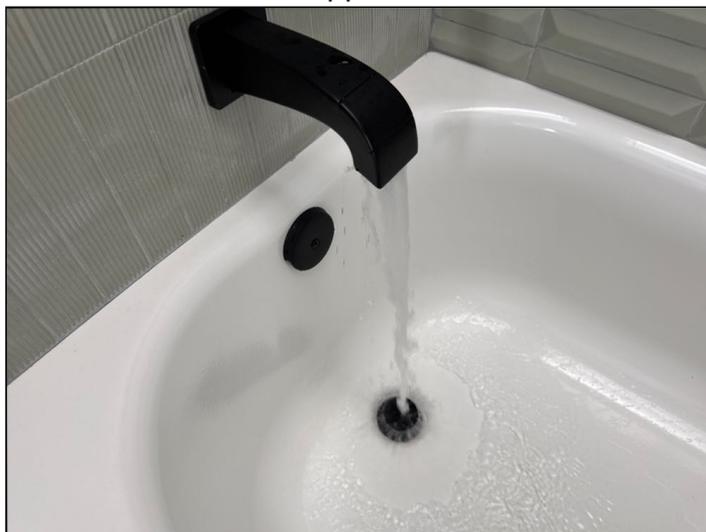
Drain appears serviceable.



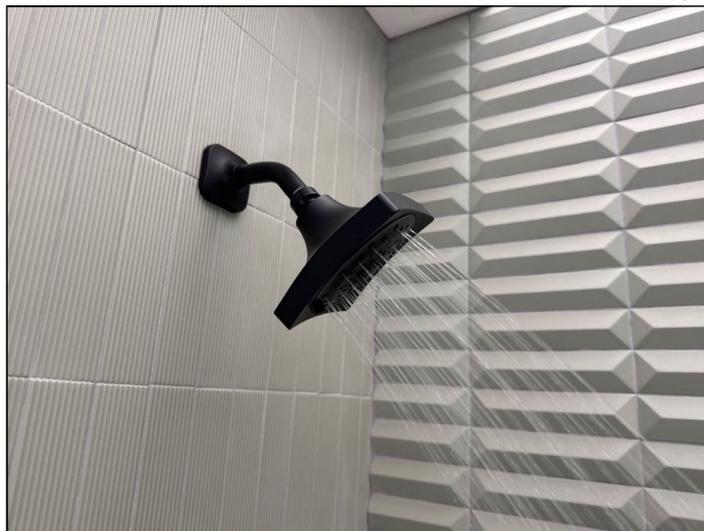
Shower head appears serviceable.



Shower head appears serviceable.



Plumbing fixtures operated properly at time of inspection.



Shower head appears serviceable.



### 6. Tub & Shower Walls

Observations:

- Tub and shower areas appear serviceable.
- Shower walls appear serviceable.



Shower walls appear serviceable.



Tub and shower areas appear serviceable.

### 7. Ventilation Condition

Observations:

- Exhaust fan is functional and or adequate.



Exhaust fan is functional and or adequate.



Exhaust fan is functional and or adequate.

### 8. Doors & Windows Condition

Materials: Vinyl • Sliding. • Fixed Glass.

Observations:

- Windows operated properly at time of inspection.
- Doors operate properly.

### 9. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.



### 10. Floor Condition

Materials: Tile.

Observations:

- No visible problems noted at time of inspection.

### 11. Electrical Condition

Observations:

- Outlet(s) were not functional at time of inspection. Further evaluation and repairs by a licensed electrical contractor are recommended prior to the close of your transaction.



Outlet(s) were not functional at time of inspection. Further evaluation and repairs by a licensed electrical contractor are recommended prior to the close of your transaction.

# Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances. Because some appliances are free-standing and may be removed by the sellers, our inspection covers built in appliances only, unless otherwise discussed with the inspector.





**APPLIANCES:** Please note that our inspection only covers built-in appliances and not freestanding ones. The inspector does not disassemble the appliances or conduct a detailed analysis of their efficiency or future performance. The appliances are operated using normal controls. The inspector does not move the appliances to check behind or underneath them. The inspection involves checking for proper operation, unusual noises, and any visible defects or damage. It does not include thermal analysis, gas leak detection, or inspection of areas that are not readily visible or accessible. As the inspection is visual and time-restricted, it does not serve as a warranty for future operation.

### 1. Sink & Fixtures Condition

Observations:

- Sink is stainless steel.
- Faucet operated properly at time of inspection.
- Hand sprayer operated properly at time of inspection.
- Drain lines under the sink appear functional.
- Low water pressure/flow was observed at the faucet at time of inspection. Further evaluation and repairs by a licensed plumbing contractor are recommended prior to the close of your transaction.



Low water pressure/flow was observed at the faucet at time of inspection. Further evaluation and repairs by a licensed plumbing contractor are recommended prior to the close of your transaction.



Faucet operated properly at time of inspection.





Hand sprayer operated properly at time of inspection.



Drain lines under the sink appear functional.

## 2. Garbage Disposal Condition

Observations:

- Disposal did not operate at time of inspection. Power was present. Repair or replacement is recommended.
- A licensed plumber should be called to make further evaluation and repairs as needed.



Disposal did not operate at time of inspection. Power was present. Repair or replacement is recommended.

## 3. Counters & Cabinets Condition

Materials: Counters are granite or marble.

Observations:

- Counters appear functional at time of inspection.
- Cabinets appeared functional and overall good condition at time of inspection.

## 4. Ventilation

Observations:

- Range fan operated properly at time of inspection.





Range fan operated properly at time of inspection.

### 5. Appliance Condition

Observations:

- Range operated properly.
- Oven operated properly.
- Dishwasher operated properly at time of inspection.
- **Air gap** device or high-loop is present on drain line and proper.
- Refrigerator and freezer appear to operate within the optimal temperature range.
- Microwave operated properly at time of inspection.



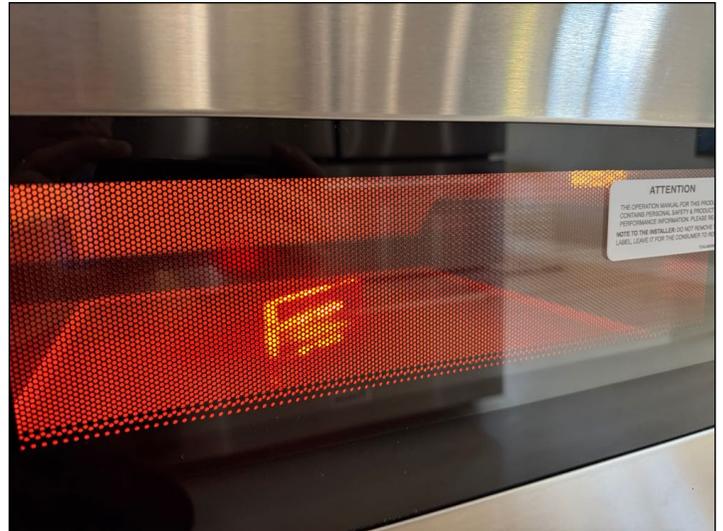
Air gap device or high-loop is present on drain line and proper.



Range operated properly.



Dishwasher operated properly at time of inspection.



Microwave operated properly at time of inspection.



Oven operated properly.



Oven operated properly.

6. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

7. Pantry Condition

Observations:

- No visible problems noted at time of inspection.

8. Floor Condition

Materials: Wood.

Observations:

- No visible problems noted at time of inspection.

9. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



# Laundry Room

## 1. Location

Materials: Location: Hallway

## 2. Plumbing Condition

Observations:

- Gas service pipe is provided.
- Plumbing appears serviceable.
- Dryer venting is provided.



Gas service pipe is provided.



Plumbing appears serviceable.



Dryer venting is provided.



Dryer venting is provided.

## 3. Doors & Windows Condition

Observations:

- Doors operate properly.

## 4. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.





5. Floor Condition

Materials: Wood.

Observations:

- No visible problems noted at time of inspection.

6. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

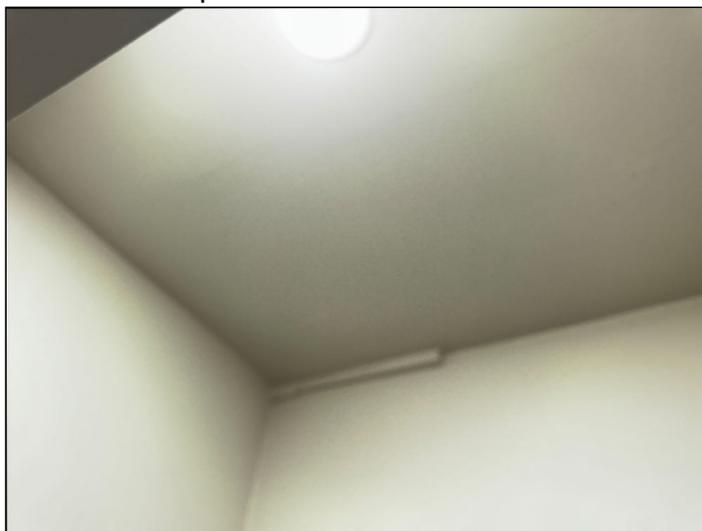


A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

7. Ventilation Condition

Observations:

- Consider installing an exhaust fan to provide additional ventilation.



Consider installing an exhaust fan to provide additional ventilation.



# Hallway

## 1. Doors & Windows Condition

Observations:

- Doors operate properly.

## 2. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

## 3. Closet Condition

Observations:

- No visible problems noted at time of inspection.

## 4. Floor Condition

Materials: Wood.

Observations:

- Floor boards are loose and noisy. Repairs are needed.



Floor boards are loose and noisy. Repairs are needed.

## 5. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

## 6. Smoke & Carbon Monoxide

Observations:

- Smoke alarm was installed at time of inspection.
- Carbon Monoxide alarm was installed at time of inspection.



Carbon Monoxide alarm was installed at time of inspection.

# Fire Safety

## 1. Smoke Alarms

Observations:

- Smoke alarms were installed properly throughout the dwelling at time of inspection.
- Smoke alarm was installed at time of inspection. However, due to the location (height), it was not possible to test it. Further evaluation may be necessary.

## 2. Carbon Monoxide

Observations:

- Carbon Monoxide alarm(s) was/were installed in the required locations throughout the dwelling at time of inspection.



Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.



# Attic

## 1. Type

Materials: Framing Type: Conventional Framing.

Materials: Access Location: Hallway • Attic areas are accessible. • Access is restricted by HVAC system or ducts. • Unable to enter portions of the attic at the time of inspection. Some areas were inaccessible either because there was no safe way to enter without causing harm to the property or the inspector. Joist may not be visible for the inspector to walk on, or there may not be adequate ways for the inspector to support himself without possibly falling and or injuring himself. Further evaluation is recommended prior to the close of your transaction.

## 2. Condition

Observations:

- No visible structural problems noted at time of inspection.
- Evidence of rodent activity was noted. You may wish to have treatment carried out by a licensed exterminator.
- Minor staining was noted on the wood surfaces in the attic, indicating a possible roof leak.
- Unable to determine the status of the stains. Active leakage may be present.
- Moisture stains observed at the vent pipes.
- Recommend further evaluation by a licensed roofing contractor.



No visible structural problems noted at time of inspection.



No visible structural problems noted at time of inspection.



No visible structural problems noted at time of inspection.



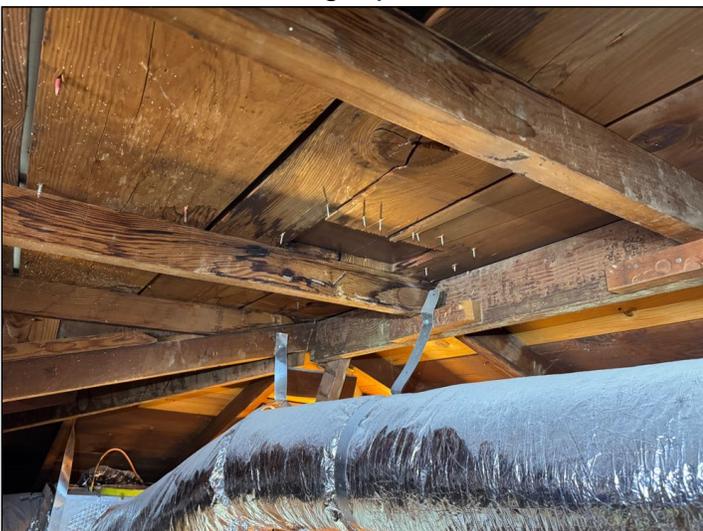
Minor staining was noted on the wood surfaces in the attic, indicating a possible roof leak.



Minor staining was noted on the wood surfaces in the attic, indicating a possible roof leak.



Moisture stains observed at the vent pipes.



Unable to determine the status of the stains. Active leakage may be present.

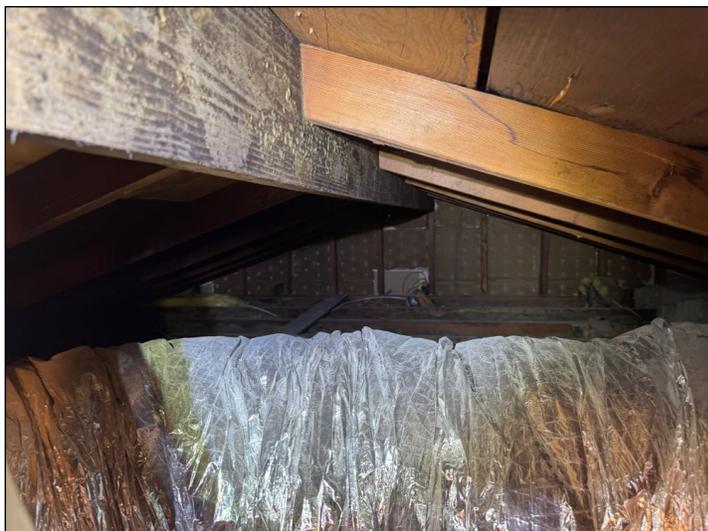


Minor staining was noted on the wood surfaces in the attic, indicating a possible roof leak.





Evidence of rodent activity was noted. You may wish to have treatment carried out by a licensed exterminator.



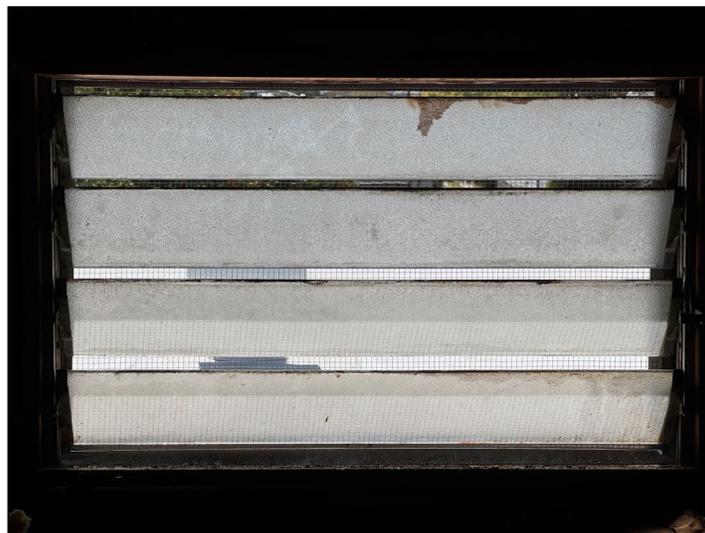
No visible structural problems noted at time of inspection.

### 3. Ventilation Condition

Materials: Attic ventilation is gable type.

Observations:

- Ventilation screens are damaged and may allow birds or animals into the attic. Proper installation of ventilation screens is recommended.



Ventilation screens are damaged and may allow birds or animals into the attic. Proper installation of ventilation screens is recommended.

### 4. Electrical

Observations:

- No visible problems noted at time of inspection.

### 5. Insulation Condition

Materials: Fiberglass batts. • Insulation Depth is approximately: Not determined.

Observations:

- Recommend additional insulation in the attic area.
- Insulation is somewhat compacted and the true R-factor at this point in time may be substantially less than that originally installed. Installation of additional insulation is recommended.





Insulation is somewhat compacted and the true R-factor at this point in time may be substantially less than that originally installed. Installation of additional insulation is recommended.

## Glossary

Term	Definition
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Air Gap	Air gap (drainage): The unobstructed vertical distance through free atmosphere between the outlet of the waste pipe and the flood-level rim of the receptacle into which the waste pipe is discharged.
Efflorescence	A white powder that forms on the surface of concrete/masonry walls as a result of water evaporation.
Fascia	The band running horizontally and positioned vertically under a roof edge, or that which forms the outer surface of a cornice. Fascia board caps the rafter ends of a roof structure and may be used to hold a gutter. The area below the fascia may be referred to as the eave.
Valley	The internal angle formed by the junction of two sloping sides of a roof.

