

# Villa Home Inspections

## Property Inspection Report



12345 Commercial Lane, Los Angeles, CA 90001  
Inspection prepared for: John Doe  
Real Estate Agent: - -

Date of Inspection: 7/30/2019 Time: 11:00 a.m.

Inspector: Tony Escamilla  
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## Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Roof		
Page 17 Item: 4	Covering Condition	<ul style="list-style-type: none"> <li>• Roofing material appears to be at or near the end of its useful life.</li> <li>• Moderate to significant deterioration of the roofing material was noted at time of inspection.</li> <li>• Evidence of significant prior patching and/or repairs was noted at time of inspection.</li> <li>• Evidence of improper roof drainage observed on the roof surface. Pooling water can cause deterioration of the roofing material and leaks. See photos.</li> <li>• Damaged or missing shingles noted. Repair or replacement is needed.</li> <li>• A licensed roofing contractor should be called to make further evaluation and repairs as needed.</li> <li>• See photos.</li> </ul>
Page 21 Item: 5	Roof Eaves Condition	<ul style="list-style-type: none"> <li>• Moisture, rot or termite-like damage observed at the roof eave boards.</li> <li>• Fascia boards are twisted and loose. See photo. Repair or replacement is recommended.</li> <li>• Damage appears to be significant and will most likely require replacement of wood boards.</li> <li>• Fascia boards are loose and or damaged. Repair or replacement is recommended.</li> <li>• Further evaluation by a licensed termite inspector is recommended.</li> <li>• See photos.</li> </ul>
Page 23 Item: 6	Flashings Condition	<ul style="list-style-type: none"> <li>• Rusty flashing is noted.</li> <li>• Flashing is not installed at the electrical service entrance mast.</li> <li>• Flashings do not appear to be properly sealed at the vent pipes.</li> <li>• Vent caps are missing on the heater vent pipes throughout the roof. Installation is recommended to prevent moisture penetration.</li> <li>• A licensed roofing contractor should be called to make further evaluation and repairs as needed.</li> <li>• See photos.</li> </ul>
Page 25 Item: 7	Gutters & Downspouts	<ul style="list-style-type: none"> <li>• Consider installing gutters and downspouts to help with site drainage.</li> </ul>
Exterior Areas		
Page 26 Item: 4	Landscaping Observations	<ul style="list-style-type: none"> <li>• Trees or other vegetation are touching or overhanging the roof. Damage is possible. Vegetation on the roof is also a source for rodent activity on the roof and the attic. Recommend trimming all vegetation or trees away from the roof structure.</li> </ul>

Page 27 Item: 6	Exterior Wall Condition	<ul style="list-style-type: none"> <li>• Cosmetic damage observed on the walls at time of inspection. Patching and re-painting is recommended.</li> <li>• Wall is damaged and not properly sealed at the east side of the building due to a couple wall air conditioners installed. See photo. Proper patching is necessary to prevent moisture penetration and damage.</li> </ul>
Page 28 Item: 7	Wall Trim Condition	<ul style="list-style-type: none"> <li>• Caulking is needed at the trim, windows or doors to prevent moisture penetration and damage.</li> <li>• Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture damage.</li> </ul>
Page 28 Item: 8	Miscellaneous	<ul style="list-style-type: none"> <li>• Termite-like damage observed at the trash area wood structure. See photo. Further evaluation by a licensed termite inspector is recommended.</li> </ul>

#### Porch, Patios & Decks

Page 34 Item: 1	Decks & Balconies Observations	<ul style="list-style-type: none"> <li>• Floor Condition:</li> <li>• Significant cracks and deterioration observed at the balcony floor throughout the building. See photos. Resurfacing is recommended.</li> <li>• Floor drains throughout the balcony do not have downspouts below. This can cause water damage on the floor system below. See photos.</li> <li>• Further evaluation by a licensed contractor is recommended.</li> <li>• See photos.</li> <li>• Cover Condition:</li> <li>• Rot, termite or moisture damage observed. Further evaluation by a licensed termite inspector is recommended.</li> </ul>
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#### Electrical

Page 36 Item: 1	Service Entrance Observations	<ul style="list-style-type: none"> <li>• Moisture penetration observed at the roof eave, under the electrical service entrance mast. Further evaluation by roofing contractor is recommended.</li> <li>• See photos.</li> </ul>
Page 36 Item: 2	Main Panel Condition	<ul style="list-style-type: none"> <li>• The main electrical panels throughout the building are equipped with a Federal Pacific "Stab-Loc" 240-volt - 100-amp circuit breaker disconnect panels (FPE). This electrical service panel has been known to present a hazard by failing to trip under load causing arcing that could result in an electrical fire.</li> </ul> <p>It is recommended that a state licensed electrical contractor be retained to evaluate their current operable condition before the close of escrow and transfer of title. It is also recommended that consideration be given to having this service panels replaced as a property upgrade in the interest of occupant safety.</p>
Page 37 Item: 7	Miscellaneous	<ul style="list-style-type: none"> <li>• Wood enclosures surrounding the main shut offs rot and termite damage. Inspection and or repair and replacement by a licensed termite and or general contractor is recommended.</li> </ul>

#### Garage, Carport & Parking

Page 39 Item: 3	Walls & Ceiling	<ul style="list-style-type: none"> <li>• Tree root damage observed at the south east carport wall. See photo. Removal of the tree stump is recommended</li> <li>• Significant termite like activity observed at the east carport wall. Wall is not fully visible due to plywood paneling. However, plywood paneling is loose and falling off. See photos.</li> </ul>
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Page 40 Item: 4	Carport Condition	<ul style="list-style-type: none"> <li>• Vehicle damage observed at the carport post. See photo. Repair or replacement is recommended.</li> <li>• Vehicle damage was observed at the west carport wall. Repair or replacement is recommended.</li> <li>• See photos.</li> </ul>
Laundry Room		
Page 42 Item: 2	Plumbing Condition	<ul style="list-style-type: none"> <li>• Dryer venting is damaged. Replacement is necessary.</li> <li>• Drain line does not have a P-trap installed and may allow sewer gases to escape.</li> </ul>
Attic		
Page 44 Item: 2	Condition	<ul style="list-style-type: none"> <li>• Attic is accessible from more than one dwelling and there is no partition inside the attic. This poses a security problem to the occupants. It is recommended that locking hardware be installed on all attic access panels as a security enhancement.</li> <li>• Moisture stains observed at the vent pipes.</li> <li>• Unable to determine the status of the stains. Active leakage may be present.</li> <li>• Termite-like activity observed in the attic area at time of inspection. Further evaluation by licensed termite inspector is recommended.</li> <li>• Recommend further evaluation by a licensed roofing contractor.</li> <li>• See photos.</li> </ul>
Water Heater		
Page 47 Item: 2	Age	<ul style="list-style-type: none"> <li>• 7-10 Years old. Unit is reaching the end of it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.</li> </ul>
Other Interior		
Page 48 Item: 1	Miscellaneous	<ul style="list-style-type: none"> <li>• Water shut off valves are frozen throughout the building.</li> </ul>
Pool & Spa		

Page 53 Item: 2	Fencing & Safety	<ul style="list-style-type: none"> <li>• Self closing gate mechanism is present and operable. However, the gate does not latch when operated. Repair or replacement is necessary.</li> <li>• California Senate Bill 442 and California Health and Safety Code requires a home inspector to specify which the following seven safety features are present and requires at least two of the features to be present.</li> </ul> <p>(1) An enclosure that meets the requirements of Section 115923 and isolates the swimming pool or spa from the private single-family home.</p> <p>(2) Removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.</p> <p>(3) An approved safety pool cover, as defined in subdivision (d) of Section 115921.</p> <p>(4) Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa. The exit alarm may cause either an alarm noise or a verbal warning, such as a repeating notification that "the door to the pool is open."</p> <p>(5) A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.</p> <p>(6) An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM Standard F2208 "Standard Safety Specification for Residential Pool Alarms," which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.</p> <p>(7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by the ASTM or the American Society of Mechanical Engineers (ASME).</p> <ul style="list-style-type: none"> <li>• See photos.</li> </ul>
Page 54 Item: 6	Pumping Equipment	<ul style="list-style-type: none"> <li>• Motor does not have the bonding wire installed. Installation is required.</li> </ul>
Page 55 Item: 11	Fill Valve	<ul style="list-style-type: none"> <li>• Pool fill valve is not accessible for inspection and operation. Access to the valve is necessary.</li> </ul>
Page 55 Item: 12	Plumbing Line Condition	<ul style="list-style-type: none"> <li>• <b>PVC</b> pipes are not protected from UV rays. PVC is required to be painted or covered to prevent deterioration and damage.</li> <li>• See photos.</li> </ul>
Unit A		

Page 57 Item: 1	General Notes	<ul style="list-style-type: none"> <li>• Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.</li> </ul>
Page 57 Item: 2	Living & Dining Room	<ul style="list-style-type: none"> <li>• Moisture stains and/or damage viewed on the ceiling.</li> <li>• See photos.</li> </ul>
Page 57 Item: 3	Kitchen	<ul style="list-style-type: none"> <li>• Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended.</li> <li>• Drawers are damaged or difficult to operate.</li> <li>• Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.</li> </ul>
Page 58 Item: 4	Hallway	<ul style="list-style-type: none"> <li>• Moisture stains and/or damage viewed on the closet ceiling or wall.</li> <li>• Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.</li> </ul>
Page 58 Item: 5	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.</li> </ul>
Page 59 Item: 6	Bathrooms	<ul style="list-style-type: none"> <li>• Tub does not drain properly.</li> <li>• Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 59 Item: 7	Electrical Panel Condition	<ul style="list-style-type: none"> <li>• It should be noted that the main electrical service was equipped with a "Stab-Loc" 240-volt - 100-amp circuit breaker disconnect panel manufactured by Federal Pacific Electric (FPE). This electrical service panel has been known to present a hazard by failing to trip under load causing arcing that could result in an electrical fire.</li> </ul> <p>It is recommended that a state licensed electrical contractor be retained to evaluate its current operable condition before the close of escrow and transfer of title. It is also recommended that consideration be given to having this service panel replaced as a property upgrade in the interest of occupant safety.</p>
Page 60 Item: 8	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>
Page 60 Item: 9	Water Heater Condition	<ul style="list-style-type: none"> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> </ul>

Unit B

Page 62 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 62 Item: 3	Hallway	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 62 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Unit C		
Page 64 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Faucet is loose. Proper installation is necessary.</li> <li>• Exhaust fan did not operate.</li> <li>• Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.</li> </ul>
Page 64 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.</li> </ul>
Page 65 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>
Page 65 Item: 7	Water Heater Condition	<ul style="list-style-type: none"> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> </ul>
Unit D		
Page 67 Item: 1	General Notes	<ul style="list-style-type: none"> <li>• Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.</li> </ul>
Page 67 Item: 3	Kitchen	<ul style="list-style-type: none"> <li>• Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended.</li> <li>• Drawers are damaged or difficult to operate.</li> <li>• Flooring is damaged or deteriorated. Repair or replacement is recommended.</li> <li>• Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.</li> <li>• See photos.</li> </ul>
Page 67 Item: 4	Hallway	<ul style="list-style-type: none"> <li>• Flooring is damaged or deteriorated. Repair or replacement is recommended.</li> </ul>
Page 68 Item: 5	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• Window glass is cracked or broken. Replacement is required.</li> <li>• Closet doors are fallen off the tracks. Proper installation is recommended.</li> <li>• Improper installation of a light fixture on the ceiling. See photo. Proper installation or removal is required.</li> </ul>

Page 69 Item: 6	Bathrooms	<ul style="list-style-type: none"> <li>• Tub faucet leaks when operated.</li> <li>• Tub does not drain properly.</li> <li>• Further evaluation and repairs as needed by a plumbing contractor is recommended.</li> <li>• Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 69 Item: 8	Water Heater Condition	<ul style="list-style-type: none"> <li>• Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.</li> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> <li>• Further evaluation and repairs by a plumbing contractor is recommended.</li> <li>• See photo.</li> </ul>
Unit E		
Page 71 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> <li>• Improperly installed light fixture observed at the ceiling and wall. Proper installation or removal is necessary.</li> </ul>
Page 71 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Moisture stains and/or damage viewed on the ceiling.</li> <li>• Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 72 Item: 3	Hallway	<ul style="list-style-type: none"> <li>• No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.</li> </ul>
Page 72 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Closet door is not installed. Installation is recommended.</li> <li>• Improperly installed light fixture at the ceiling with romex stapled to the wall and ceiling. See photo. Removal is necessary.</li> </ul>
Page 73 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 73 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> <li>• Unable to operate the mini split system at time of inspection. Unable to locate the control. Further evaluation is recommended.</li> </ul>
Unit F		
Page 75 Item: 1	Living & Dining Room	<ul style="list-style-type: none"> <li>• Moisture stains and/or damage viewed on the walls.</li> <li>• Possible deck leak. Further evaluation by a roofing contractor is recommended.</li> </ul>

Page 75 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.</li> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Moisture stains and/or damage viewed on the ceiling.</li> <li>• Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> <li>• Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.</li> <li>• A licensed plumbing contractor should be called to make necessary repairs.</li> <li>• See photos.</li> </ul>
Page 76 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.</li> </ul>
Page 77 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 77 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>
Page 78 Item: 7	Water Heater Condition	<ul style="list-style-type: none"> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> </ul>
Unit G		
Page 80 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 80 Item: 3	Hallway	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 81 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• Tub surface is damaged. Repair and or resurfacing is recommended.</li> <li>• Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 81 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>
Page 82 Item: 7	Water Heater Condition	<ul style="list-style-type: none"> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> </ul>
Unit H		
Page 83 Item: 1	General Notes	<ul style="list-style-type: none"> <li>• Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.</li> </ul>

Page 83 Item: 3	Kitchen	<ul style="list-style-type: none"> <li>• Leaks noted at the faucet at time of inspection.</li> <li>• Drain lines leak under the sink.</li> <li>• A licensed plumbing contractor should be called to make necessary repairs.</li> <li>• Moisture stains and/or damage viewed on the ceiling.</li> <li>• Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 84 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• Closet doors are fallen off the tracks. Proper installation is recommended.</li> <li>• Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.</li> </ul>
Page 85 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• Floor tiles are damaged or loose. Repair or replacement is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 85 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.</li> </ul>
Page 86 Item: 7	Water Heater Condition	<ul style="list-style-type: none"> <li>• Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.</li> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> <li>• Heater is over 15 years old. Unit has exceeded it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.</li> </ul>
Unit I		
Page 88 Item: 1	General Notes	<ul style="list-style-type: none"> <li>• Electrical services was not turned on in this unit at time of inspection. Unable to inspect electrical outlets, fixtures and appliances. Further evaluation is recommended after all utilities are activated.</li> </ul>
Page 88 Item: 3	Kitchen	<ul style="list-style-type: none"> <li>• Drawers are damaged or difficult to operate.</li> <li>• Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.</li> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Moisture stains and/or damage viewed on the ceiling.</li> <li>• Possible roof leak. Further evaluation by a roofing contractor is recommended.</li> <li>• Flooring is damaged or deteriorated. Repair or replacement is recommended.</li> </ul>
Page 88 Item: 4	Hallway	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 89 Item: 6	Bathrooms	<ul style="list-style-type: none"> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>

Page 89 Item: 7	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>
Page 89 Item: 8	Water Heater Condition	<ul style="list-style-type: none"> <li>• Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.</li> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> </ul>
Unit J		
Page 91 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 91 Item: 3	Hallway	<ul style="list-style-type: none"> <li>• No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.</li> </ul>
Page 91 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 91 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• Tub does not drain properly.</li> <li>• Further evaluation and repairs as needed by a plumbing contractor is recommended.</li> <li>• See photos.</li> <li>• Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 92 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.</li> </ul>
Page 92 Item: 7	Water Heater Condition	<ul style="list-style-type: none"> <li>• Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.</li> <li>• Heater is over 15 years old. Unit has exceeded it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.</li> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> </ul>
Unit K		
Page 94 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 94 Item: 3	Hallway	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 94 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 95 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>

Page 95 Item: 7	Water Heater Condition	<ul style="list-style-type: none"> <li>• Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.</li> <li>• Heater is over 15 years old. Unit has exceeded it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.</li> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> <li>• See photo.</li> </ul>
Unit L		
Page 97 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 97 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.</li> </ul>
Page 98 Item: 6	Heating System Condition	<ul style="list-style-type: none"> <li>• Rust damage at the burners</li> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>
Unit M		
Page 100 Item: 3	Hallway	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.</li> </ul>
Page 100 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 100 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.</li> </ul>
Page 101 Item: 7	Water Heater Condition	<ul style="list-style-type: none"> <li>• Leaks note at the water supply lines.</li> <li>• Further evaluation and repairs by a plumbing contractor is recommended.</li> <li>• See photo.</li> </ul>
Unit N		
Page 103 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• Moisture stains and/or damage viewed on the ceiling.</li> <li>• Possible roof leak. Further evaluation by a roofing contractor is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 103 Item: 3	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• Closet door is not installed. Installation is recommended.</li> </ul>
Page 104 Item: 4	Bathrooms	<ul style="list-style-type: none"> <li>• Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.</li> <li>• Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>

Page 104 Item: 5	Heating System Condition	<ul style="list-style-type: none"> <li>• Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.</li> </ul>
Unit O		
Page 106 Item: 2	Kitchen	<ul style="list-style-type: none"> <li>• GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.</li> </ul>
Page 106 Item: 4	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> <li>• Moisture stains and/or damage viewed on the ceiling.</li> <li>• Possible roof leak. Further evaluation by a roofing contractor is recommended.</li> </ul>
Page 107 Item: 5	Bathrooms	<ul style="list-style-type: none"> <li>• GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.</li> </ul>
Page 107 Item: 6	Electrical Panel Condition	<ul style="list-style-type: none"> <li>• Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.</li> </ul>
Page 108 Item: 7	Heating System Condition	<ul style="list-style-type: none"> <li>• Recommend cleaning the system thoroughly before using.</li> <li>• Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.</li> </ul>
Page 108 Item: 8	Water Heater Condition	<ul style="list-style-type: none"> <li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li> <li>• Moisture stains and damage observed on the ceiling surrounding the vent pipe. Possible roof leak. Further evaluation by a roofing contractor is recommended.</li> <li>• Further evaluation and repairs by a plumbing contractor is recommended.</li> <li>• See photo.</li> </ul>
Unit P		
Page 110 Item: 1	General Notes	<ul style="list-style-type: none"> <li>• No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.</li> </ul>
Page 110 Item: 3	Kitchen	<ul style="list-style-type: none"> <li>• Window is difficult to operate. Repair or replacement is recommended.</li> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> <li>• See photos.</li> <li>• Exposed wiring at the garbage disposal</li> </ul>
Page 111 Item: 5	Bedrooms	<ul style="list-style-type: none"> <li>• Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.</li> </ul>
Page 111 Item: 6	Bathrooms	<ul style="list-style-type: none"> <li>• Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.</li> </ul>
Page 111 Item: 7	Heating System Condition	<ul style="list-style-type: none"> <li>• Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.</li> </ul>

Page 112 Item: 8	Water Heater Condition	<ul style="list-style-type: none"><li>• Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.</li><li>• Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.</li><li>• Moisture stains and damage observed on the ceiling surrounding the vent pipe. Possible roof leak. Further evaluation by a roofing contractor is recommended.</li><li>• Further evaluation and repairs by a plumbing contractor is recommended.</li><li>• See photo.</li></ul>
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**IMPORTANT INFORMATION - PLEASE READ CAREFULLY**

VILLA HOME INSPECTIONS REQUIRES AN INSPECTION AGREEMENT TO BE SIGNED BY THE CLIENT PRIOR TO PERFORMING AN INSPECTION. IF YOU WERE NOT PRESENT AT THE INSPECTION OR DID NOT SIGN THE INSPECTION AGREEMENT YOU, BY ACCEPTING, PAYING FOR, AND/OR USING THE INSPECTION REPORT YOU ACKNOWLEDGE AND AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE INSPECTION AGREEMENT AND FURTHER AGREE THAT THE INSPECTION AGREEMENT WILL FORM A PART OF THE INSPECTION REPORT. A COPY OF THE INSPECTION AGREEMENT IS INCLUDED WITH THIS REPORT. IF YOU HAVE NOT DONE SO, PLEASE SIGN IT AND RETURN IT TO VILLA HOME INSPECTIONS.

# Inspection Details

## 1. Weather Conditions

Materials: 70-80 Degrees.

Observations:

- Clear and sunny.
- No rain activity within the last 7 days prior to the inspection.

## 2. Parties Present

In Attendance: Buyer present. • Buyer Agent present. • Manager present. • Tenants were present.

## 3. Occupied?

Occupancy: Yes.

## 4. Building Faces

Materials: South

## 5. Building Type

Home Type: Multi Family Residence or Apartment • Number of Units: 16

## 6. Stories

Materials: Two

## 7. Space Below Grade

Materials: Concrete slab floor/foundation. No crawlspace.

## 8. Utilities Status

Materials: All the utilities were on at time of inspection.

## 9. Pool/Spa Present

Materials: Pool was present.

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

## Roof

## 1. Style

Observations:

- Gable.
- Flat or mostly flat roof.

## 2. Material

Observations:

- Composition shingles.
- Rolled composition.

## 3. Layers

Materials: One layer.

Materials: Walked on roof. • Viewed carports from top of building.

## 4. Covering Condition

Observations:

- Roofing material appears to be at or near the end of it's useful life.
- Moderate to significant deterioration of the roofing material was noted at time of inspection.
- Evidence of significant prior patching and/or repairs was noted at time of inspection.
- Evidence of improper roof drainage observed on the roof surface. Pooling water can cause deterioration of the roofing material and leaks. See photos.
- Damaged or missing shingles noted. Repair or replacement is needed.
- A licensed roofing contractor should be called to make further evaluation and repairs as needed.
- See photos.











## 5. Roof Eaves Condition

Materials: Wood

Observations:

- Moisture, rot or termite-like damage observed at the roof eave boards.
- Fascia boards are twisted and loose. See photo. Repair or replacement is recommended.
- Damage appears to be significant and will most likely require replacement of wood boards.
- Fascia boards are loose and or damaged. Repair or replacement is recommended.
- Further evaluation by a licensed termite inspector is recommended.
- See photos.





## 6. Flashings Condition

Materials: Metal.

Observations:

• NOTE: Roof flashing is typically a sheet metal installed at the junction between plumbing ventilation pipes and the roof, or wall junctions to the roof. Flashings are installed in order to prevent moisture penetration and are typically sealed with roofing tar. Regular maintenance of these flashings consists of re-sealing each flashing periodically (prior to the rainy season) to prevent roof leaks.

- Rusty flashing is noted.
- Flashing is not installed at the electrical service entrance mast.
- Flashings do not appear to be properly sealed at the vent pipes.
- Vent caps are missing on the heater vent pipes throughout the roof. Installation is recommended to prevent moisture penetration.
- A licensed roofing contractor should be called to make further evaluation and repairs as needed.
- See photos.



### 7. Gutters & Downspouts

Materials: None.

Observations:

- Consider installing gutters and downspouts to help with site drainage.

## Foundation &amp; Crawlspace

## 1. Type of Foundation

Materials: Poured Concrete. • Concrete slab on grade (soil). No crawlspace.

## 2. Slab Foundation Condition

Observations:

- Foundation perimeter is not fully visible for inspection due to the type of construction and or vegetation near the foundation.
- No visible problems were noted at time of inspection.

## Exterior Areas

## 1. Driveway and Walkway Condition

Materials: Asphalt driveway noted. • Concrete sidewalk noted.

Observations:

- Cracks noted are typical.

## 2. Fence &amp; Walls Condition

Materials: Block wall

Observations:

- Common cracks noted on the block walls.

## 3. Grading &amp; Site Drainage

Materials: Site is primarily flat.

Observations:

- Site drainage throughout the property appeared adequate and functional at time of inspection.

## 4. Landscaping Observations

Observations:

- Trees or other vegetation are touching or overhanging the roof. Damage is possible. Vegetation on the roof is also a source for rodent activity on the roof and the attic. Recommend trimming all vegetation or trees away from the roof structure.



## 5. Exterior Stairs &amp; Steps

Materials: Location: North, South • Steel framed.

Observations:

- No visible problems noted at time of inspection.

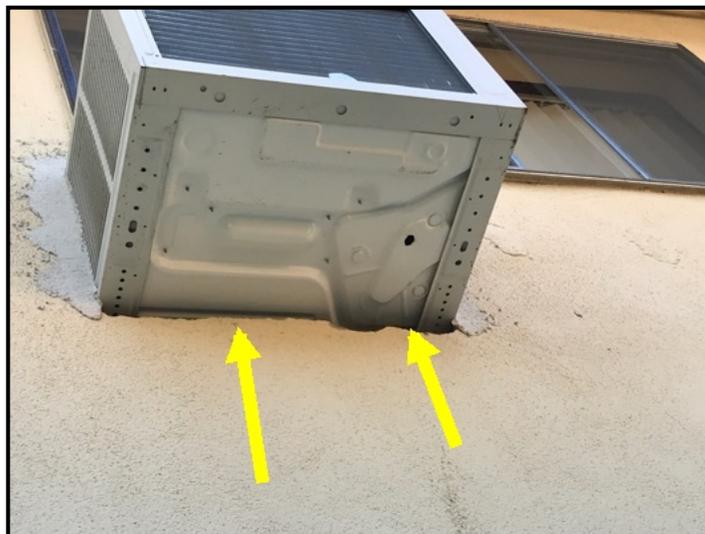
## 6. Exterior Wall Condition

Materials: Wood frame.

Materials: Stucco.

Observations:

- Cracks are typical and not structurally significant.
- Cosmetic damage observed on the walls at time of inspection. Patching and re-painting is recommended.
- Wall is damaged and not properly sealed at the east side of the building due to a couple wall air conditioners installed. See photo. Proper patching is necessary to prevent moisture penetration and damage.



### 7. Wall Trim Condition

Materials: Wood.

Observations:

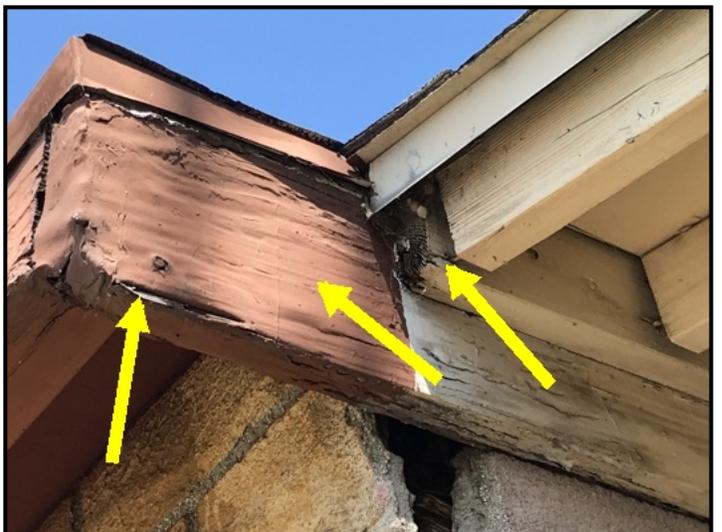
- Caulking is needed at the trim, windows or doors to prevent moisture penetration and damage.
- Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture damage.



### 8. Miscellaneous

#### Observations:

- Termite-like damage observed at the trash area wood structure. See photo. Further evaluation by a licensed termite inspector is recommended.





Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection.

Many cities (including Los Angeles & West Hollywood) require the installation of a automatic seismic gas shut off valve prior to the close of escrow. Determining which other cities may or may not is beyond the scope of this inspection. It is recommended that you consult your real estate agent or city building department to determine if it is required

# Plumbing

## 1. Utilities

Materials: Water supply is from a public service company. • Sewer service appears to be connected to a public service.

## 2. Main Line Type

Materials: Copper • Galvanized.  
Materials: 1 inch

## 3. Pressure

Observations:

- Water pressure appears adequate.
- No pressure regulating valve is installed. Installation is recommended.

## 4. Shut Off Location

Materials: South

## 5. Meter Location

Materials: South • Curbside.

## 6. Main Line Condition

Observations:

- No visible problems observed at time of inspection.





## 7. Supply Lines Condition

Materials: Mostly galvanized. • Some copper.

Observations:

- Water lines appear to be within their useful life.
- Water lines were not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.

## 8. Waste Lines Condition

Materials: Mostly galvanized. • Mostly cast iron.

Observations:

- No visible problems noted at time of inspection.
- Waste lines not fully visible at time of inspection or underground. Only the visible portions of the plumbing system are inspected and a part of this report.

## 9. Fuel System Condition

Materials: Natural gas.

Materials: Above ground. • Meter is located at the east side of the building. • Meter is located at the west side of the building.

Observations:

- Meter appears functional at time of inspection.
- Automatic gas seismic shut off valve not present.



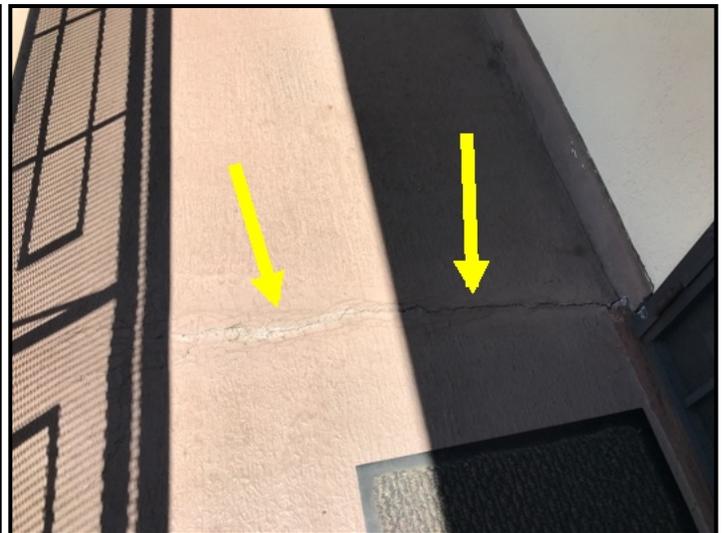
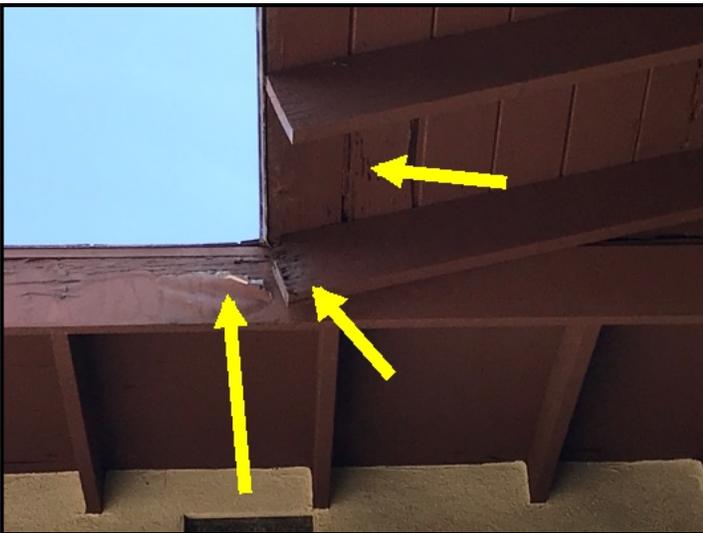
# Porch, Patios & Decks

## 1. Decks & Balconies Observations

Floor Materials: Wood

Observations:

- **Floor Condition:**
- Significant cracks and deterioration observed at the balcony floor throughout the building. See photos. Resurfacing is recommended.
- Floor drains throughout the balcony do not have downspouts below. This can cause water damage on the floor system below. See photos.
- Further evaluation by a licensed contractor is recommended.
- See photos.
- **Cover Condition:**
- Rot, termite or moisture damage observed. Further evaluation by a licensed termite inspector is recommended.





# Electrical

## 1. Service Entrance Observations

Materials: Overhead. • 120/240 Volt.

Observations:

- No visible problems observed at time of inspection.
- Moisture penetration observed at the roof eave, under the electrical service entrance mast. Further evaluation by roofing contractor is recommended.
- See photos.



## 2. Main Panel Condition

Observations:

- The main electrical panels throughout the building are equipped with a Federal Pacific "Stab-Loc" 240-volt - 100-amp circuit breaker disconnect panels (FPE). This electrical service panel has been known to present a hazard by failing to trip under load causing arcing that could result in an electrical fire.

It is recommended that a state licensed electrical contractor be retained to evaluate their current operable condition before the close of escrow and transfer of title. It is also recommended that consideration be given to having this service panels replaced as a property upgrade in the interest of occupant safety.

## 3. Main Shut Off Condition

Observations:

- Grounding system is present.
- Circuit and wire sizing correct so far as visible.



#### 4. Service Entrance Cables

Materials: Copper.

#### 5. Branch Wiring Condition

Materials: Copper.

Observations:

- No visible problems observed at time of inspection.

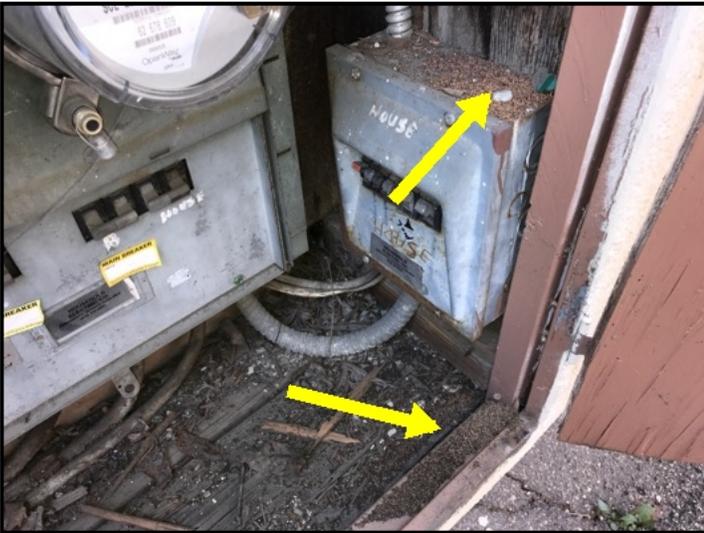
#### 6. Wiring Type

Materials: Romex. • Wiring enclosed in rigid metal conduit.

#### 7. Miscellaneous

Observations:

- Wood enclosures surrounding the main shut offs rot and termite damage. Inspection and or repair and replacement by a licensed termite and or general contractor is recommended.



# Garage, Carport & Parking

## 1. Type

Materials: Attached. • Carport.  
Materials: 16

## 2. Floor Condition

Observations:  
• Typical cracks noted on the floor at time of inspection.

## 3. Walls & Ceiling

Observations:  
• Tree root damage observed at the south east carport wall. See photo. Removal of the tree stump is recommended  
• Significant termite like activity observed at the east carport wall. Wall is not fully visible due to plywood paneling. However, plywood paneling is loose and falling off. See photos.





#### 4. Carport Condition

Observations:

- Vehicle damage observed at the carport post. See photo. Repair or replacement is recommended.
- Vehicle damage was observed at the west carport wall. Repair or replacement is recommended.
- See photos.





# Laundry Room

## 1. Location

Materials: Location: First floor.

## 2. Plumbing Condition

Observations:

- Gas service pipe is provided.
- Dryer venting is damaged. Replacement is necessary.
- Drain line does not have a P-trap installed and may allow sewer gases to escape.



## 3. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Walls and ceiling appeared functional at time of inspection.

## 4. Floor Condition

Materials: No finish flooring installed at time of inspection. Installation is recommended.

Observations:

- No visible problems noted at time of inspection.

## 5. Electrical Condition

Observations:

- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

# Attic

## 1. Type

Materials: Framing Type: Conventional Framing.

Materials: Access Location: Hallway • Attic areas are accessible. • Attic is accessible from more than one dwelling and there is no partition inside the attic. This poses a security problem to the occupants. It is recommended that locking hardware be installed on all attic access panels as a security enhancement.

## 2. Condition

Observations:

- No visible structural problems noted at time of inspection.
- Attic is accessible from more than one dwelling and there is no partition inside the attic. This poses a security problem to the occupants. It is recommended that locking hardware be installed on all attic access panels as a security enhancement.
- Moisture stains observed at the vent pipes.
- Unable to determine the status of the stains. Active leakage may be present.
- Termite-like activity observed in the attic area at time of inspection. Further evaluation by licensed termite inspector is recommended.
- Recommend further evaluation by a licensed roofing contractor.
- See photos.





### 3. Ventilation Condition

Materials: Attic ventilation is soffit type.

Observations:

- Ventilation in the attic is functional and adequate.

### 4. Electrical

Observations:

- No visible problems noted at time of inspection.

### 5. Insulation Condition

Materials: **Cellulose**, Blown. • Insulation Depth is approximately: 8-10 inches.

Observations:

- No visible problems noted at time of inspection.



# Water Heater

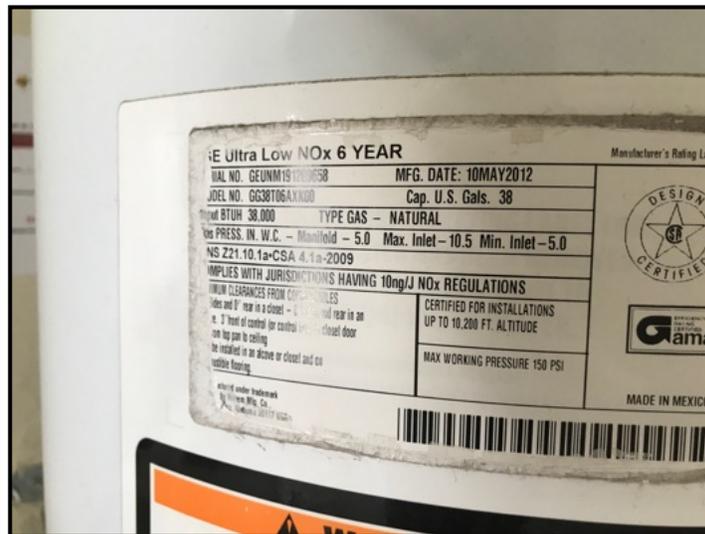
## 1. Type

Materials: Gas.  
Materials: Laundry room.

## 2. Age

Materials: 30 Gallons.  
Observations:

- Year Built: 2012
- 7-10 Years old. Unit is reaching the end of it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.



## 3. Condition

Observations:  
• Water heater operated properly at time of the inspection.



# Other Interior

## 1. Miscellaneous

Observations:

- Water shut off valves are frozen throughout the building.

This inspection is limited to those areas which are above ground or water level. The only way to detect an underground leak in a supply line, buried pipe fitting, or pool surface crack is by observation of the persistent and continuous loss of water from the pool over an extended period of time. Such observations are beyond the scope of this inspection. Pool filtering devices are not disassembled to determine the condition of any installed filter elements. Operation of time clock motors and thermostatic temperature controls cannot be verified during a visual inspection. Pilot lights on LP gas pool heaters are not lit during the inspection.

California Senate Bill 442 and California Health and Safety Code requires a home inspector to specify which the following seven safety features are present and requires at least two of the features to be present.

- (1) An enclosure that meets the requirements of Section 115923 and isolates the swimming pool or spa from the private single-family home.
- (2) Removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
- (3) An approved safety pool cover, as defined in subdivision (d) of Section 115921.
- (4) Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa. The exit alarm may cause either an alarm noise or a verbal warning, such as a repeating notification that "the door to the pool is open."
- (5) A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.
- (6) An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM Standard F2208 "Standard Safety Specification for Residential Pool Alarms," which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.
- (7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by the ASTM or the American Society of Mechanical Engineers (ASME).

# Pool & Spa

# Pool & Spa

# Pool & Spa

## 1. Pool Condition

Materials: Concrete and plaster.

Observations:

- Pool surface appears to be within it's useful life, with no significant damage or deterioration.



## 2. Fencing & Safety

### Observations:

- Fencing appears functional at time of inspection.
- Self closing gate mechanism is present and operable. However, the gate does not latch when operated. Repair or replacement is necessary.
- California Senate Bill 442 and California Health and Safety Code requires a home inspector to specify which the following seven safety features are present and requires at least two of the features to be present.

(1) An enclosure that meets the requirements of Section 115923 and isolates the swimming pool or spa from the private single-family home.

(2) Removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.

(3) An approved safety pool cover, as defined in subdivision (d) of Section 115921.

(4) Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa. The exit alarm may cause either an alarm noise or a verbal warning, such as a repeating notification that "the door to the pool is open."

(5) A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.

(6) An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM Standard F2208 "Standard Safety Specification for Residential Pool Alarms," which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.

(7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by the ASTM or the American Society of Mechanical Engineers (ASME).

- See photos.



## 3. Decking Condition

Materials: Concrete.

### Observations:

- Decking surface appears functional.

#### 4. Accessories

Observations:

- Handrailings are serviceable.

#### 5. Pool & Spa Lights

Observations:

- Pool light is installed and operable.

#### 6. Pumping Equipment

Observations:

- Pumping equipment operated properly at time of inspection.
- **Motor does not have the bonding wire installed. Installation is required.**



#### 7. Skimmer Basket

Observations:

- No visible problems observed at time of inspection.

#### 8. Leaf Basket

Observations:

- No visible problems observed at time of inspection.

#### 9. Filter Condition

Materials: Diatomaceous earth.

Observations:

- Filter appeared to operate properly at time of inspection.
- Filter operated in the functional pressure range at time of inspection.



#### 10. Drain Cover

Observations:

- Drain cover is present and properly installed.



#### 11. Fill Valve

Observations:

- Pool fill valve is not accessible for inspection and operation. Access to the valve is necessary.

#### 12. Plumbing Line Condition

Materials: **PVC**

Observations:

- No visible leaks observed at time of inspection.
- PVC pipes are not protected from UV rays. PVC is required to be painted or covered to prevent deterioration and damage.
- See photos.



### 13. Electronic Controls

#### Observations:

- Timer appeared to operate properly at time of inspection. Inspector does not change timing or programming during inspection.

# Unit A

## 1. General Notes

### Observations:

- Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
- No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.

## 2. Living & Dining Room

### Observations:

- Windows and doors operated properly at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Moisture stains and/or damage viewed on the ceiling.
- See photos.



## 3. Kitchen

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.
- Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended.
- Drawers are damaged or difficult to operate.
- Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.

#### 4. Hallway

##### Observations:

- Walls and ceiling appeared functional at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the closet ceiling or wall.**
- **Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.**



#### 5. Bedrooms

##### Observations:

- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Window is difficult to operate. Repair or replacement is recommended.**
- **Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.**



## 6. Bathrooms

### Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- Tub does not drain properly.
- Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.



## 7. Electrical Panel Condition

### Materials: Hallway.

### Observations:

- Circuit and wire sizing correct so far as visible.
- It should be noted that the main electrical service was equipped with a "Stab-Loc" 240-volt - 100-amp circuit breaker disconnect panel manufactured by Federal Pacific Electric (FPE). This electrical service panel has been known to present a hazard by failing to trip under load causing arcing that could result in an electrical fire.

It is recommended that a state licensed electrical contractor be retained to evaluate its current operable condition before the close of escrow and transfer of title. It is also recommended that consideration be given to having this service panel replaced as a property upgrade in the interest of occupant safety.



### 8. Heating System Condition

Materials: Wall Type.

Observations:

- Recommend cleaning the system thoroughly before using.
- Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.

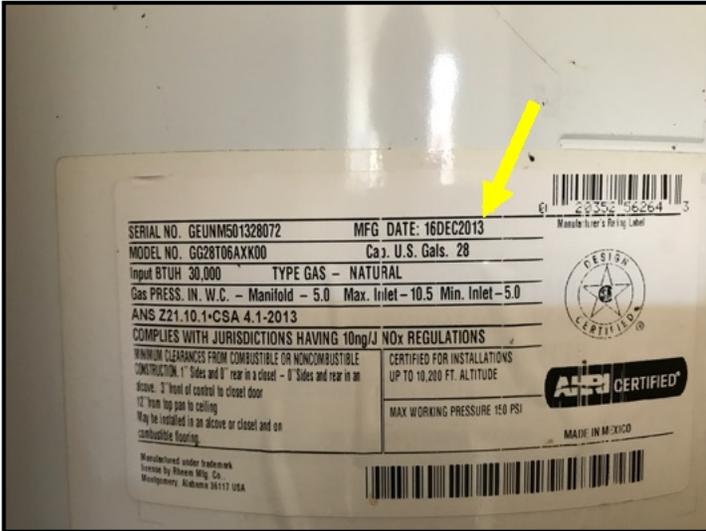


### 9. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.



## Unit B

### 1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

### 2. Kitchen

Observations:

- No visible plumbing problems noted at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Window is difficult to operate. Repair or replacement is recommended.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**

### 3. Hallway

Observations:

- No visible problems noted at time of inspection.
- Carbon monoxide alarm is installed in the dwelling.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

### 4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.

### 5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**

### 6. Heating System Condition

Materials: Wall Type.

Observations:

- Heating system operated properly at time of inspection.

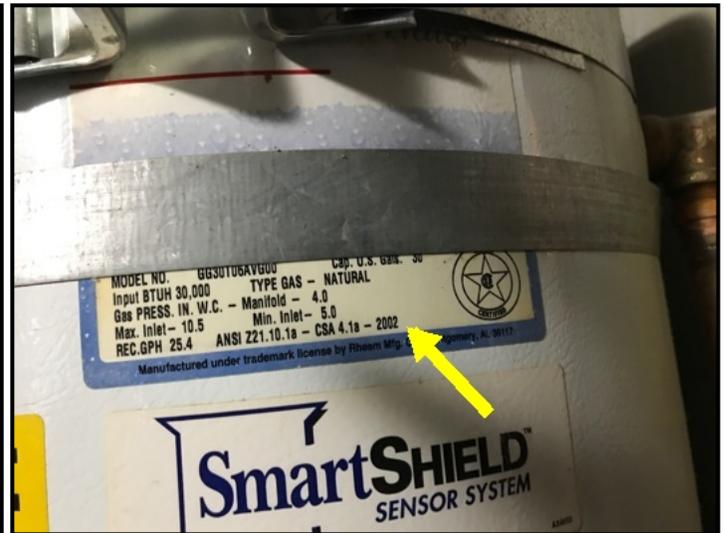


### 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.



## Unit C

### 1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

### 2. Kitchen

Observations:

- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- **Faucet is loose. Proper installation is necessary.**
- **Exhaust fan did not operate.**
- **Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.**



### 3. Hallway

Observations:

- No visible problems noted at time of inspection.

### 4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- **Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.**



## 5. Bathrooms

Observations:

- No visible problems noted at time of inspection.

## 6. Heating System Condition

Materials: Wall Type.

Observations:

- Recommend cleaning the system thoroughly before using.
- Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.

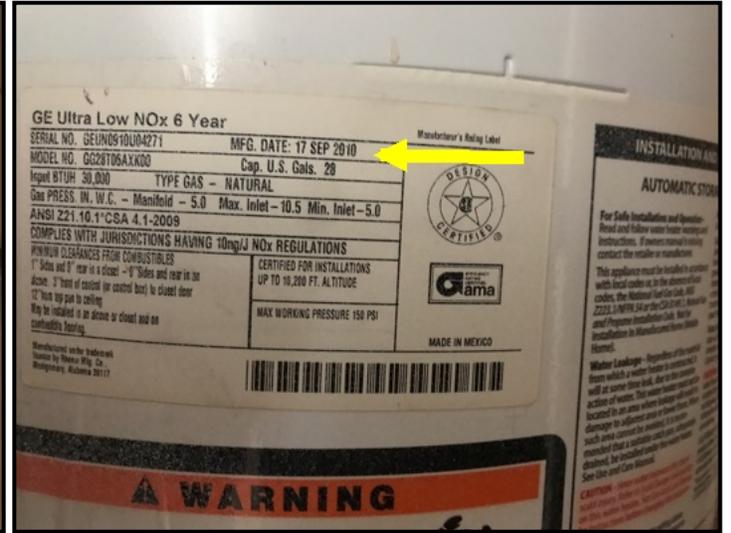


## 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.



## Unit D

### 1. General Notes

#### Observations:

- Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
- No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.

### 2. Living & Dining Room

#### Observations:

- No visible problems noted at time of inspection.

### 3. Kitchen

#### Observations:

- Walls and ceiling appeared functional at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Minor to moderate wear and or damage observed on the kitchen counter top. Repair or replacement is recommended.
- Drawers are damaged or difficult to operate.
- Flooring is damaged or deteriorated. Repair or replacement is recommended.
- Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.
- See photos.



### 4. Hallway

#### Observations:

- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Flooring is damaged or deteriorated. Repair or replacement is recommended.



## 5. Bedrooms

### Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Window glass is cracked or broken. Replacement is required.**
- **Closet doors are fallen off the tracks. Proper installation is recommended.**
- **Improper installation of a light fixture on the ceiling. See photo. Proper installation or removal is required.**



## 6. Bathrooms

### Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Tub faucet leaks when operated.**
- **Tub does not drain properly.**
- **Further evaluation and repairs as needed by a plumbing contractor is recommended.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**



## 7. Heating System Condition

Materials: Wall Type.

### Observations:

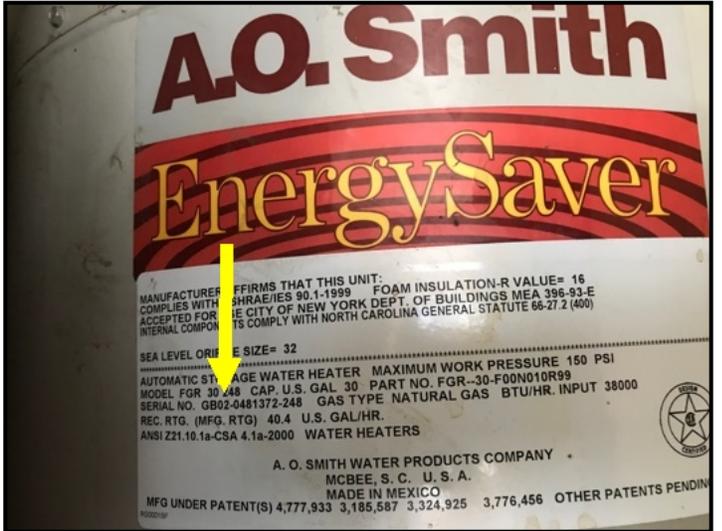
- Heating system operated properly at time of inspection.

## 8. Water Heater Condition

Materials: Kitchen

### Observations:

- Operated properly at time of the inspection.
- **Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.**
- **Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.**
- **Further evaluation and repairs by a plumbing contractor is recommended.**
- **See photo.**



## Unit E

### 1. Living & Dining Room

#### Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Improperly installed light fixture observed at the ceiling and wall. Proper installation or removal is necessary.**



### 2. Kitchen

#### Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Window is difficult to operate. Repair or replacement is recommended.**
- **Moisture stains and/or damage viewed on the ceiling.**
- **Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**



### 3. Hallway

#### Observations:

- Smoke detector is installed.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.**

### 4. Bedrooms

#### Observations:

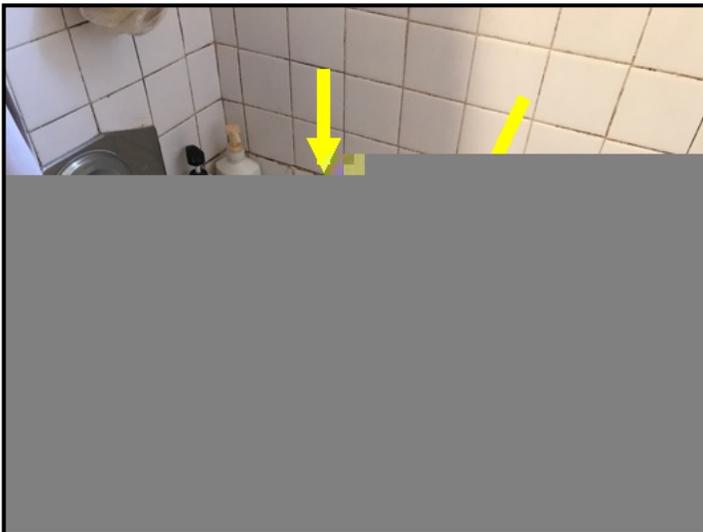
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Window is difficult to operate. Repair or replacement is recommended.**
- **Closet door is not installed. Installation is recommended.**
- **Improperly installed light fixture at the ceiling with romex stapled to the wall and ceiling. See photo. Removal is necessary.**



## 5. Bathrooms

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.



## 6. Heating System Condition

### Materials: Wall Type.

### Observations:

- Recommend cleaning the system thoroughly before using.
- Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.
- Unable to operate the mini split system at time of inspection. Unable to locate the control. Further evaluation is recommended.

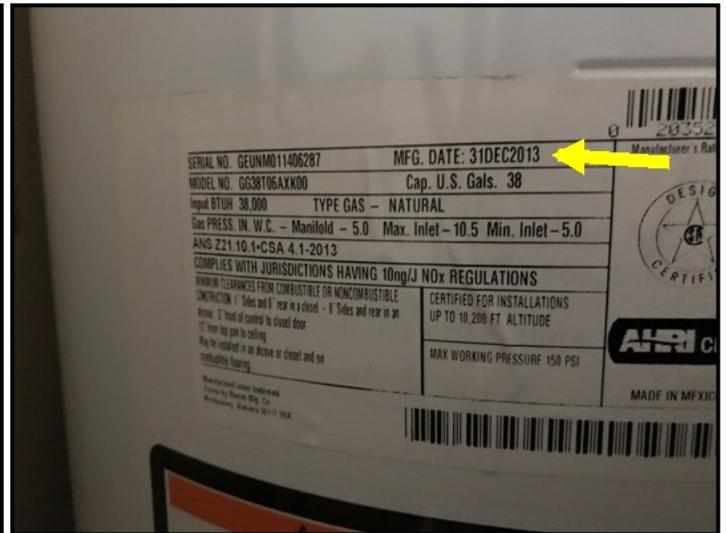


7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.



# Unit F

## 1. Living & Dining Room

### Observations:

- Windows and doors operated properly at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the walls.**
- **Possible deck leak. Further evaluation by a roofing contractor is recommended.**



## 2. Kitchen

### Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.**
- **Window is difficult to operate. Repair or replacement is recommended.**
- **Moisture stains and/or damage viewed on the ceiling.**
- **Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**
- **Exposed wiring observed at the garbage disposal. This is a potential hazard. Proper installation is required.**
- **A licensed plumbing contractor should be called to make necessary repairs.**
- **See photos.**



### 3. Hallway

#### Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.

### 4. Bedrooms

#### Observations:

- Smoke detector is installed.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.**



## 5. Bathrooms

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.



## 6. Heating System Condition

Materials: Wall Type.

### Observations:

- Recommend cleaning the system thoroughly before using.
- Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.

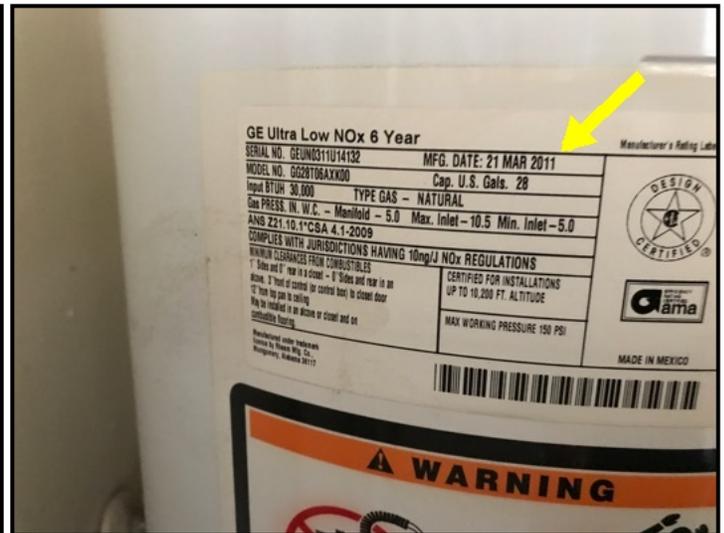


7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- **Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.**





# Unit G

## 1. Living & Dining Room

### Observations:

- No visible problems noted at time of inspection.

## 2. Kitchen

### Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**

## 3. Hallway

### Observations:

- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

## 4. Bedrooms

### Observations:

- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.



## 5. Bathrooms

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- Tub surface is damaged. Repair and or resurfacing is recommended.
- Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.



## 6. Heating System Condition

### Materials: Wall Type.

### Observations:

- Recommend cleaning the system thoroughly before using.
- Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.

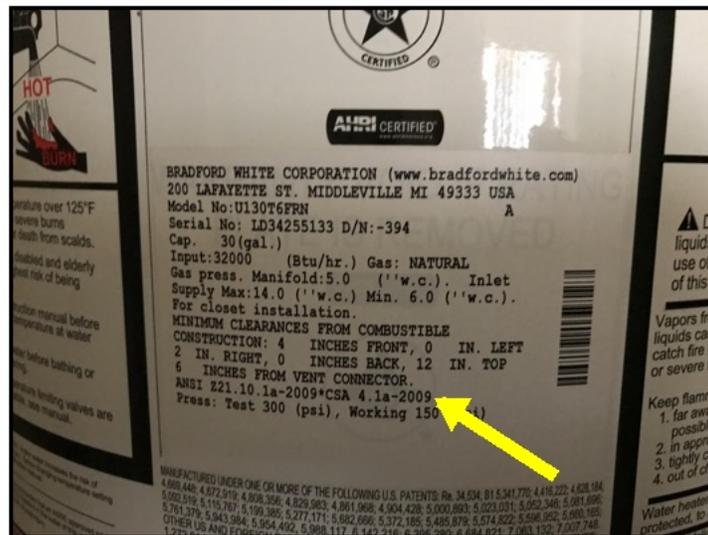


### 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- **Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.**



# Unit H

## 1. General Notes

### Observations:

- Smoke detector is not installed in the required locations. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.
- No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.

## 2. Living & Dining Room

### Observations:

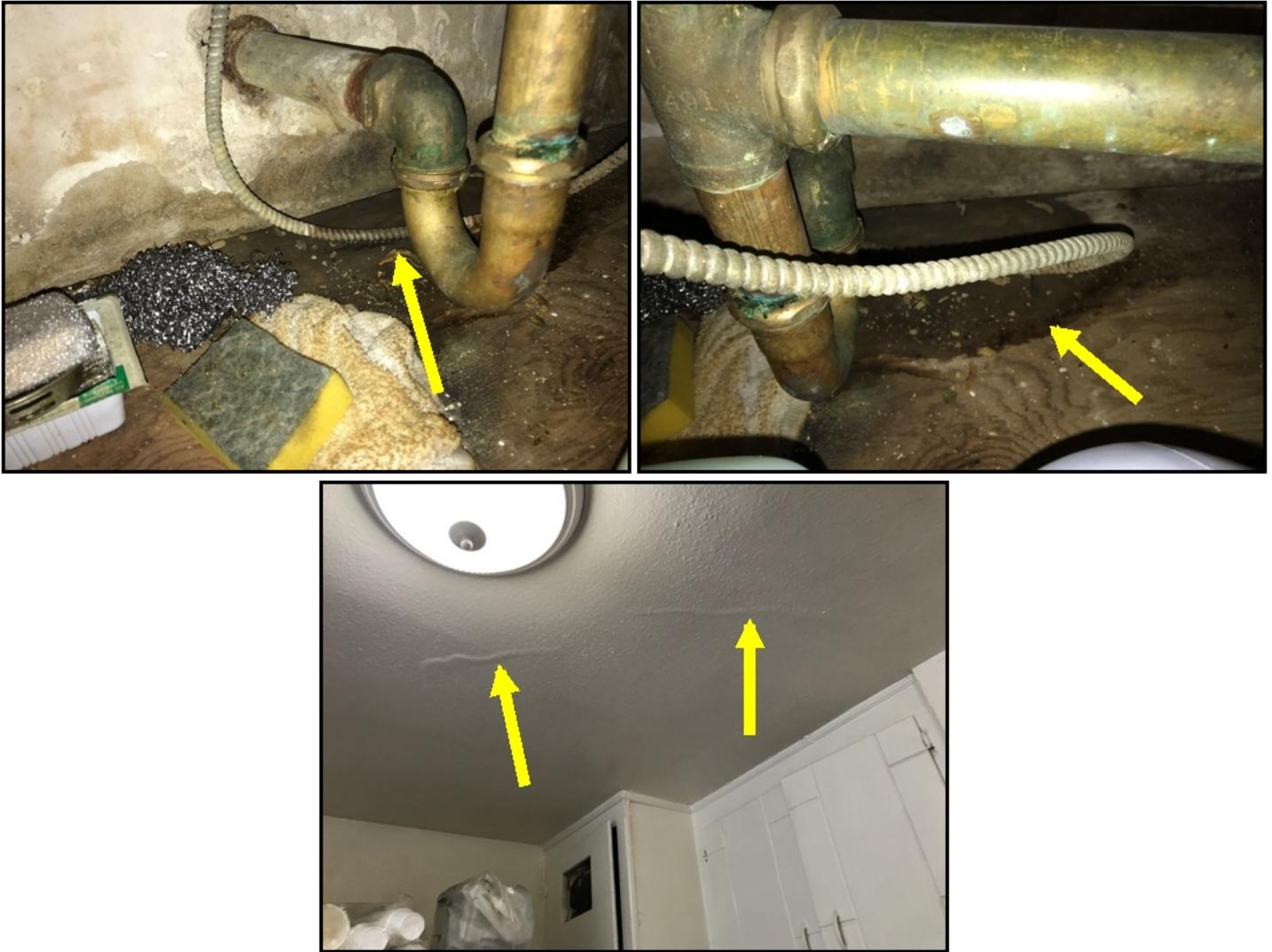
- No visible problems noted at time of inspection.

## 3. Kitchen

### Observations:

- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Leaks noted at the faucet at time of inspection.
- Drain lines leak under the sink.
- A licensed plumbing contractor should be called to make necessary repairs.
- Moisture stains and/or damage viewed on the ceiling.
- Possible plumbing leak from dwelling above. Further evaluation by a plumbing contractor is recommended.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.





#### 4. Bedrooms

##### Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Closet doors are fallen off the tracks. Proper installation is recommended.**
- **Inadequate egress observe that bedroom. Air-conditioner is installed in the only bedroom window. This is not allowed by code. Removal is required.**



## 5. Bathrooms

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible electrical problems observed at time of inspection.
- Floor tiles are damaged or loose. Repair or replacement is recommended.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.

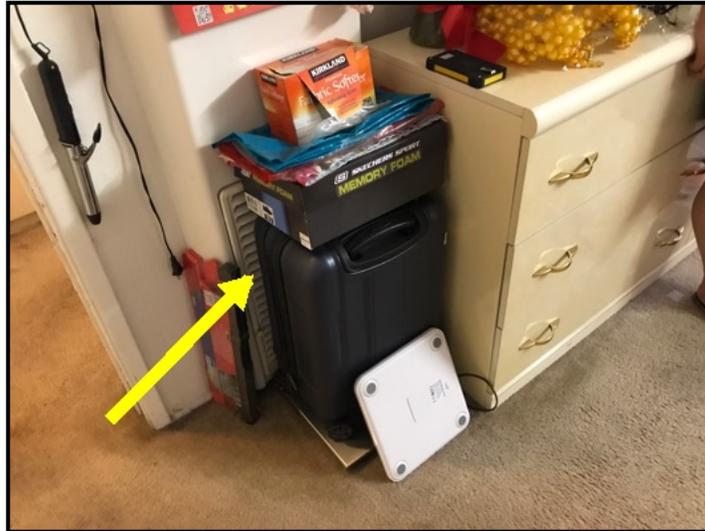


## 6. Heating System Condition

### Materials: Wall Type.

### Observations:

- Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.



## 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.
- Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.
- Heater is over 15 years old. Unit has exceeded it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.





# Unit I

## 1. General Notes

### Observations:

- Electrical services was not turned on in this unit at time of inspection. Unable to inspect electrical outlets, fixtures and appliances. Further evaluation is recommended after all utilities are activated.

## 2. Living & Dining Room

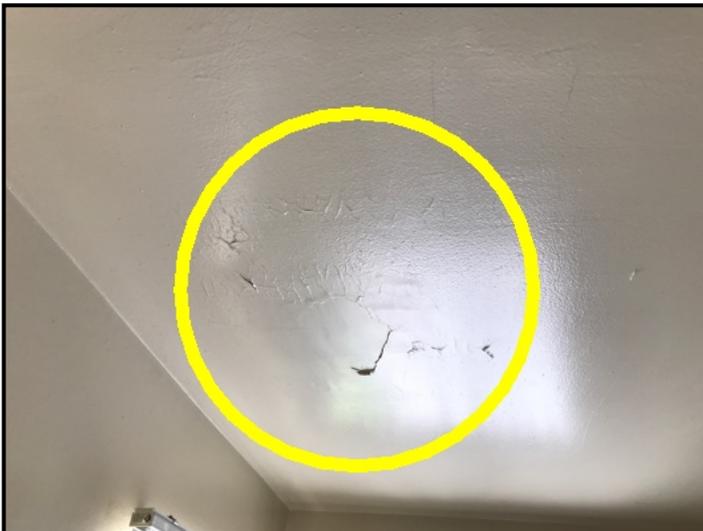
### Observations:

- No visible problems noted at time of inspection.

## 3. Kitchen

### Observations:

- Plumbing lines are functional at time of inspection.
- Drawers are damaged or difficult to operate.
- Caulking is recommended at the sink and backsplash areas to prevent moisture penetration and damage.
- Window is difficult to operate. Repair or replacement is recommended.
- Moisture stains and/or damage viewed on the ceiling.
- Possible roof leak. Further evaluation by a roofing contractor is recommended.
- Flooring is damaged or deteriorated. Repair or replacement is recommended.



## 4. Hallway

### Observations:

- Carbon monoxide alarm is installed in the dwelling.
- Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.

## 5. Bedrooms

### Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.

## 6. Bathrooms

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**

## 7. Heating System Condition

### Materials: Wall Type.

### Observations:

- **Recommend cleaning the system thoroughly before using.**
- **Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.**

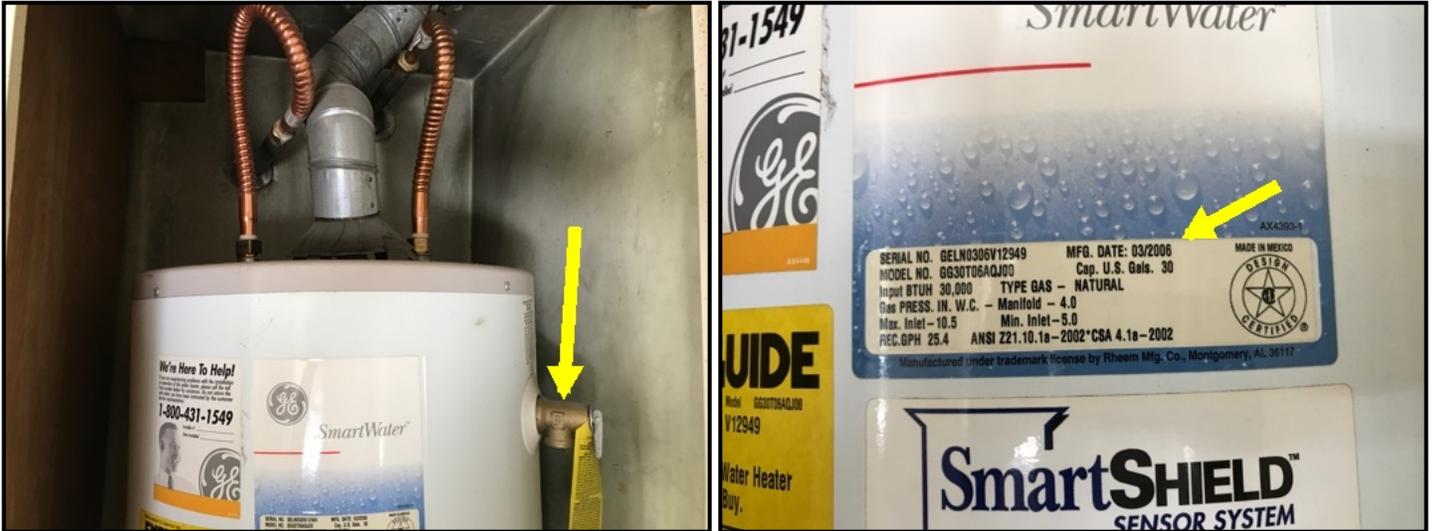


## 8. Water Heater Condition

### Materials: Kitchen

### Observations:

- Operated properly at time of the inspection.
- **Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.**
- **Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.**



# Unit J

## 1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

## 2. Kitchen

Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**

## 3. Hallway

Observations:

- Smoke detector is installed.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- **No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.**

## 4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

## 5. Bathrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Tub does not drain properly.**
- **Further evaluation and repairs as needed by a plumbing contractor is recommended.**
- **See photos.**
- **Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**



## 6. Heating System Condition

Materials: Wall Type.

Observations:

- Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.



## 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.
- Heater is over 15 years old. Unit has exceeded it's useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.
- Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.



# Unit K

## 1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

## 2. Kitchen

Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Window is difficult to operate. Repair or replacement is recommended.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**

## 3. Hallway

Observations:

- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

## 4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.

## 5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**



## 6. Heating System Condition

Materials: Wall Type.

Observations:

- Recommend cleaning the system thoroughly before using.
- Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.

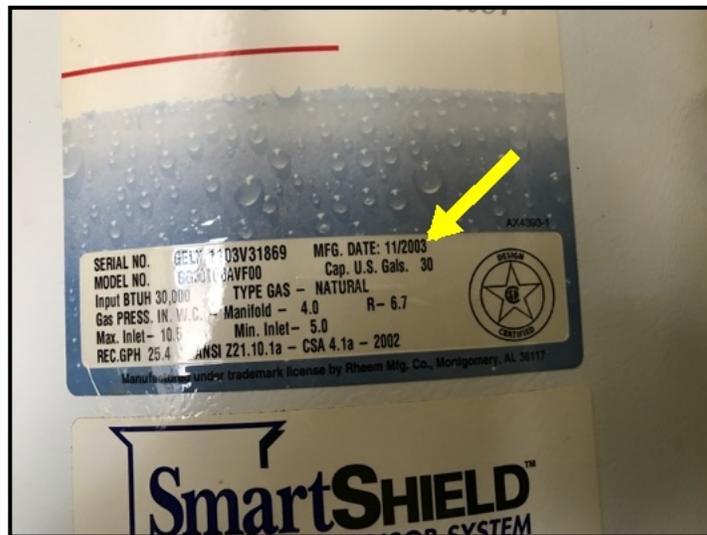


## 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.
- Heater is over 15 years old. Unit has exceeded its useful life. Although no problems may exist at time of inspection, the lifespan of a water heater is normally between 5 to 12 years. You may want to consider replacing with a newer unit for increased efficiency.
- Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.
- See photo.



# Unit L

## 1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

## 2. Kitchen

Observations:

- No visible problems noted at time of inspection.

## 3. Hallway

Observations:

- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

## 4. Bedrooms

Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

## 5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- Sink surface is damaged. Resurfacing or replacement is recommended.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.**



## 6. Heating System Condition

Materials: Wall Type.

Observations:

- Rust damage at the burners
- Recommend cleaning the system thoroughly before using.
- Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.



## 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.



# Unit M

## 1. Living & Dining Room

Observations:

- No visible problems noted at time of inspection.

## 2. Kitchen

Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

## 3. Hallway

Observations:

- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.**

## 4. Bedrooms

Observations:

- No visible problems noted at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

## 5. Bathrooms

Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.**



## 6. Heating System Condition

Materials: Wall Type.

Observations:

- Heating system operated properly at time of inspection.

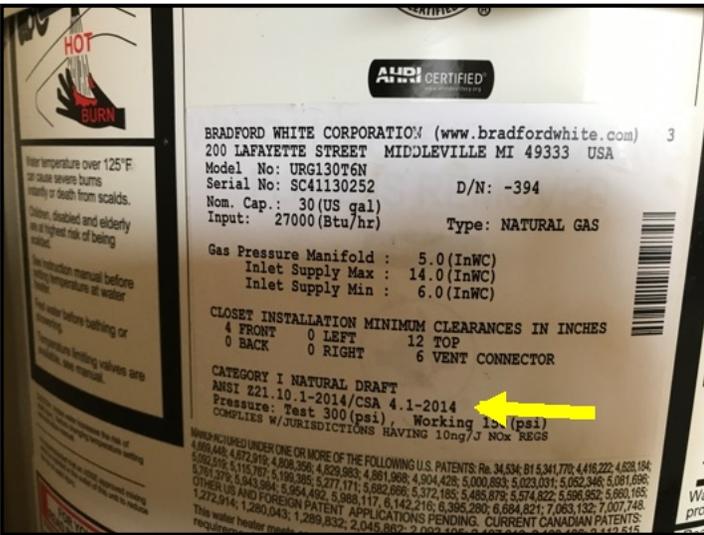


## 7. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- Leaks note at the water supply lines.
- Further evaluation and repairs by a plumbing contractor is recommended.
- See photo.



# Unit N

## 1. Living & Dining Room

### Observations:

- No visible problems noted at time of inspection.

## 2. Kitchen

### Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Moisture stains and/or damage viewed on the ceiling.**
- **Possible roof leak. Further evaluation by a roofing contractor is recommended.**
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**



## 3. Bedrooms

### Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Closet door is not installed. Installation is recommended.**

#### 4. Bathrooms

##### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- Tub surround wall tiles are loose and or damaged. Repair or replacement is recommended.
- Caulking is recommended at the tub or shower areas to prevent moisture penetration and damage behind the walls.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.



#### 5. Heating System Condition

Materials: Wall Type.

##### Observations:

- Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.

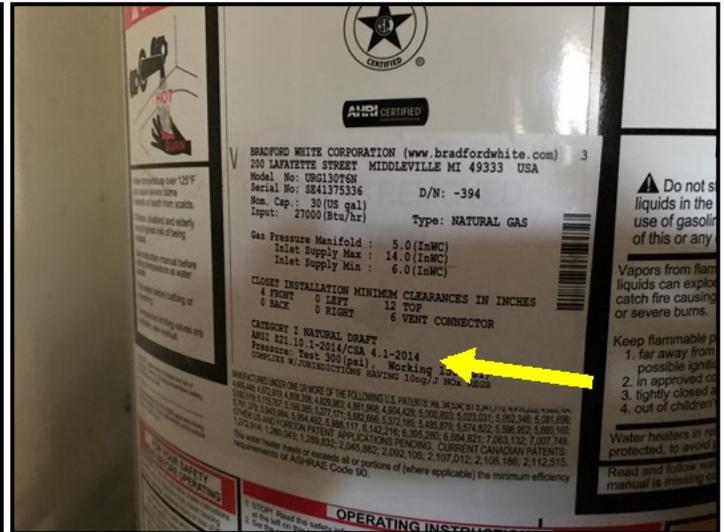


6. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- No visible problems noted at time of inspection.



# Unit O

## 1. Living & Dining Room

### Observations:

- No visible problems noted at time of inspection.

## 2. Kitchen

### Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- **GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.**

## 3. Hallway

### Observations:

- No visible problems noted at time of inspection.
- Smoke detector is installed.
- Carbon monoxide alarm is installed in the dwelling.

## 4. Bedrooms

### Observations:

- Windows and doors operated properly at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**
- **Moisture stains and/or damage viewed on the ceiling.**
- **Possible roof leak. Further evaluation by a roofing contractor is recommended.**



## 5. Bathrooms

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- **GFCI outlet did not operate properly at time of inspection. Repair or replacement is recommended.**



## 6. Electrical Panel Condition

### Observations:

- **Unable to remove electrical panel cover. Panel cover has been painted/sealed to the wall and removal would cause damage to the surrounding wall. Access to the interior of the panel is required.**



## 7. Heating System Condition

Materials: Wall Type.

### Observations:

- **Recommend cleaning the system thoroughly before using.**
- **Pilot light was not lit at time of inspection. Unable to inspect. Further evaluation by gas company is recommended.**



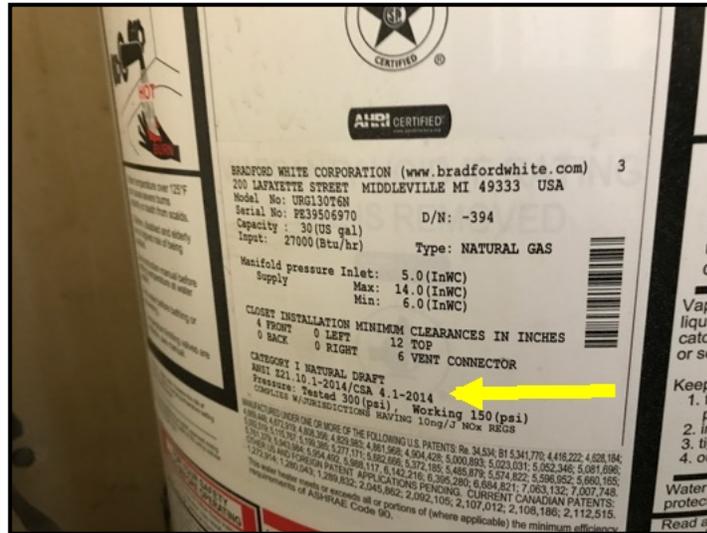
## 8. Water Heater Condition

Materials: Kitchen

Observations:

- Operated properly at time of the inspection.
- Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.
- Moisture stains and damage observed on the ceiling surrounding the vent pipe. Possible roof leak. Further evaluation by a roofing contractor is recommended.
- Further evaluation and repairs by a plumbing contractor is recommended.
- See photo.





# Unit P

## 1. General Notes

### Observations:

- No carbon monoxide alarm installed in the dwelling. Installation is required near the sleeping rooms when any gas burning appliance is present.

## 2. Living & Dining Room

### Observations:

- No visible problems noted at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.

## 3. Kitchen

### Observations:

- Plumbing lines are functional at time of inspection.
- No visible problems noted at the counters and cabinets at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- Flooring is damaged or deteriorated. Repair or replacement is recommended.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- Window is difficult to operate. Repair or replacement is recommended.
- Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.
- See photos.
- Exposed wiring at the garbage disposal



## 4. Hallway

### Observations:

- No visible problems noted at time of inspection.

## 5. Bedrooms

### Observations:

- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible problems noted at the closet at time of inspection.
- No visible problems noted at the floor at time of inspection.
- A representative number of outlets, switches and fixtures was operated and found to be in operable condition at time of inspection.
- **Smoke detector is not installed. A smoke detector is required in every bedroom, adjacent hallway and every level of the dwelling prior to the close of escrow.**

## 6. Bathrooms

### Observations:

- No visible plumbing problems noted at time of inspection.
- Windows and doors operated properly at time of inspection.
- Walls and ceiling appeared functional at time of inspection.
- No visible floor problems noted at time of inspection.
- No visible electrical problems observed at time of inspection.
- **Ground Fault Circuit Interrupter (GFCI) outlets are recommended for installation.**

## 7. Heating System Condition

Materials: Wall Type.

### Observations:

- **Unable to inspect heater at time of the inspection. Heater is blocked by occupants belongings or furniture. Further evaluation by the gas company is recommended.**



## 8. Water Heater Condition

Materials: Kitchen

### Observations:

- Operated properly at time of the inspection.
- **Seismic straps are not installed on the heater. Installation of approved straps is required prior to the close of escrow.**
- **Temperature pressure relief valve discharge line is not installed. This is a potential hazard. Installation is required.**
- **Moisture stains and damage observed on the ceiling surrounding the vent pipe. Possible roof leak. Further evaluation by a roofing contractor is recommended.**
- **Further evaluation and repairs by a plumbing contractor is recommended.**
- **See photo.**



## Glossary

Term	Definition
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.