

*“Down To
The Last
Doorknob”*



PROPERTY INSPECTION REPORT

12345 Main St, Los Angeles, CA 9100

INSPECTION PREPARED FOR: James Smith

AGENT: -

DATE OF INSPECTION: 11/20/2022

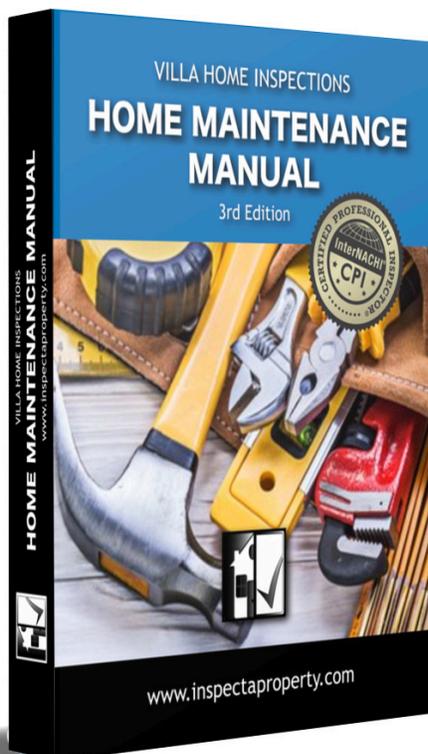


VILLA HOME INSPECTIONS

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Warmest Wishes,

Tony Escamilla
Owner/Inspector



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ABOUT YOUR INSPECTION - PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW

In order for you to receive the full value of this inspection, please read all of the information we have provided.

ALL ITEMS IN BLUE PRINT ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CLOSE OF ESCROW, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION COMPANY WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.

THIS IS A LIMITED INSPECTION: It is impossible to inspect every square inch of every area of a home in a limited time frame. A home inspection is designed to reflect, as accurately as possible, the visible condition of the home at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a home for sale can change radically in only a day or two, so a home inspection is not meant to guarantee what condition a home will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection your inspector did not dismantle equipment, dismantle any structural items, apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Villa Home Inspections inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

ENVIRONMENTAL DISCLAIMER: Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommended that a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.*

Houses/structures built prior to 1978 can contain asbestos materials. It is recommended that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure. Houses/structures built prior to 1978 can contain lead paint. It is recommended that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.*

*Villa Home Inspections will not engage in any claims regarding aluminum wiring, asbestos or lead paint.

PHOTO DOCUMENTATION: Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Home Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only.

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are



still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a home being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report, prior to the close of your transaction.

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every home or structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to hours depending on the size of the structure or the age of the structure being inspected. The condition of the home or structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection.

The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. For example: The inspector evaluates the exterior of the home first and finds no defects...but later runs the water at the kitchen sink and the water is not visibly leaking under the kitchen sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! A home inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing escrow to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.

THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Exterior Areas		
Page 12 Item: 1	Driveway and Walkway Condition	<ul style="list-style-type: none"> • Walkway is damaged or broken. This may pose a trip hazard. Repair or replacement is recommended. • Portions of the walkway are missing. Repair or replacement is recommended. • See photo.
Page 13 Item: 2	Fence & Walls Condition	<ul style="list-style-type: none"> • Moderate cracks noted on the block wall.
Page 14 Item: 3	Grading & Site Drainage	<ul style="list-style-type: none"> • Signs of poor drainage observed at the West side of the property. • Evidence of pooling water was observed at time of inspection. • Planter areas near the house do not have a drainage system installed and retain water when it rains. This excess moisture, near the foundation of the house, can cause damage. Installation of a drainage system is recommended. • See photos.
Page 16 Item: 4	Exterior Wall Condition	<ul style="list-style-type: none"> • Cracks noted are moderate and may indicate foundation movement due to seismic activity or settlement. • Cracks were noted on the walls. • Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture damaged. • Evidence of continual splashing was observed on the walls, due to lack of roof gutters. Over time, this may cause moisture damage and penetration. • See photos.
Porch, Patios & Decks		
Page 21 Item: 1	Porches Observations	<ul style="list-style-type: none"> • Floor Condition: • Minor settlement noted. • See photos.



Page 23 Item: 3

Decks & Balconies
Observations

- Hand or guard railing is loose or damaged. Repair or replacement is necessary.
 - Hand or guard railing is too wide and may allow a small child to fall through. Upgrades are recommended, but may not be required.
 - The wood deck was evaluated at part of this inspection, from the underside of the deck and by using a ZipLevel Pro altimeter.
- 1) Significant floor settlement was measured at the north east side of the deck.
 - 2) General practice for a cantilevered section of deck/balcony is for the cantilever to be no more than 1/4 the length of the full span of the deck or balcony. In this case, the deck span at the north side of the property is 16 feet. The span of the cantilever is 6 ft. this is the area that has significant floor settlement. The most span this area should have is approximately 3 feet. See photos.
 - 3) Moderate to significant moisture damage was observe on the floor joists throughout the underside of the deck from lack of regular maintenance.
 - 4) The rim joist at the north side of the deck is loose and falling off.
 - 5) The hand railings at the north side of the deck are visibly loose.
 - 6) The railing **balusters** are too far apart and may allow a small child or pet to fall through. Current standards are for the balusters to be no more than 4 inches apart.
 - 7) Significant soil erosion was observed on the east hillside, under the deck. Wooden boards have been installed under the deck to prevent soil erosion. However, these measures are grossly inadequate and the boards have collapsed. Erosion is likely caused by the lack of vegetation cover.
 - 8) Soil has eroded significantly under the several concrete piers. One pier and post are visibly leaning.
 - 9) Structural beams are inadequately secured to the concrete base and are only secured to the adjacent beam with a metal strap.
 - 10) Cracks observed on the south concrete deck/foundation.
 - 11) See pool comments and photos.
- Further evaluation by a licensed structural engineer is recommend.



Garage, Carport & Parking		
Page 33 Item: 1	Floor Condition	<ul style="list-style-type: none"> Moderate cracks noted on the floor at time of inspection. Minor settlement of the floor was noted at time of inspection. See photos.
Page 34 Item: 2	Walls & Ceiling	<ul style="list-style-type: none"> Walls have been covered with drywall. Cracks are moderate. Periodic monitoring is recommended. See photos.
Roof		
Page 37 Item: 1	Gutters & Downspouts	<ul style="list-style-type: none"> Rust damage observed on the metal roof gutters. Gutters appear to be leaking at the seams. Recommend re-routing the downspouts to drain away from the building. Excess moisture near the foundation may cause settlement and foundation problems. See photos.
Foundation & Crawlspace		
Page 39 Item: 3	Crawlspace Ventilation	<ul style="list-style-type: none"> It should be mentioned that at least one of the foundation vent openings is even with adjacent grade. This could be a source of water entry into the crawl area. Suggest improvements. Damaged screens noted at foundation opening. Install at this time to prevent animal entry. See photos.
Page 40 Item: 4	Foundation Wall Condition	<ul style="list-style-type: none"> Moderate to significant settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time. Evidence of present water penetration is noted. Evidence of prior water penetration is noted. Efflorescence observed on walls indicates the presence of periodic moisture. A Structural Engineer should be called to make further evaluation and recommendations as needed prior to the close of your transaction. Approved sealant should be applied properly to all foundation cracks (see sample photo). For a FREE foundation retrofit guide, go to: https://inspectaproperty.com/downloads Metal strapping should be considered foundation cracks (see sample photo) for additional structural support. For a FREE foundation retrofit guide, go to: https://inspectaproperty.com/downloads



Page 40 Item: 5	Other Observations	<ul style="list-style-type: none"> • Floor/foundation settlement was measured throughout the house using a ZipLevel Pro altimeter at time of inspection. See photo. There appears to be significant settlement of the floor/foundation at the east side of the house, at the living room/family room and south bedroom areas. Normal settlement is generally between 0-3/4 inches within a 10 foot span from zero/base. In this case, settlement of up to 2 5/8 inches was measured. Cracks were also observed throughout the walls and ceilings in the same areas of the settlement. Further evaluation by a licensed structural engineer is recommended. • Expansive soils appear to be present in this property. Movement of the house structure should be expected during excessively wet or dry periods of weather. You can read more about expansive soils at: https://inspectaproperty.com/blog/f/expansive-soil-what-you-should-know
Living & Dining Room		
Page 46 Item: 1	Walls & Ceilings Condition	<ul style="list-style-type: none"> • Typical cracks noted. • Cracks above doors and/or windows noted. • See Photos.
Bedrooms		
Page 49 Item: 2	Walls & Ceilings Condition	<ul style="list-style-type: none"> • Significant cracks noted at time of inspection. • Typical cracks noted. • Cracks above doors and/or windows noted. • See Photos.
Page 51 Item: 4	Floor Condition	<ul style="list-style-type: none"> • Floor is visibly unlevelled. Further evaluation is recommended. • See photos.
Bathrooms		
Page 53 Item: 3	Walls & Ceilings Condition	<ul style="list-style-type: none"> • Typical cracks noted. • See Photos.
Kitchen		
Page 55 Item: 1	Floor Condition	<ul style="list-style-type: none"> • Flooring is damaged or deteriorated. Repair or replacement is recommended. • See photos.
Hallway		
Page 56 Item: 1	Doors & Windows Condition	<ul style="list-style-type: none"> • Door jamb is damaged or broken. Repair or replacement is recommended. • See photos.
Page 56 Item: 2	Walls & Ceilings Condition	<ul style="list-style-type: none"> • Significant cracks noted at time of inspection. • Cracks above doors and/or windows noted. • See Photos.



Pool & Spa

Page 58 Item: 1	Pool Surface	<ul style="list-style-type: none">• Cracks noted on the pool surface.• Cracks appear significant and may be caused by soil settlement due to inadequate hillside coverage and significant hillside soil erosion. See deck comments and photos. Determining underground leaks is beyond the scope of this inspection. Further evaluation by a licensed pool contractor is recommended.
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IMPORTANT INFORMATION - PLEASE READ CAREFULLY

VILLA HOME INSPECTIONS REQUIRES AN INSPECTION AGREEMENT TO BE SIGNED BY THE CLIENT PRIOR TO PERFORMING AN INSPECTION. IF YOU WERE NOT PRESENT AT THE INSPECTION OR DID NOT SIGN THE INSPECTION AGREEMENT YOU, BY ACCEPTING, PAYING FOR, AND/OR USING THE INSPECTION REPORT YOU ACKNOWLEDGE AND AGREE TO BE BOUND BY THE TERMS AND CONDITIONS OF THE INSPECTION AGREEMENT AND FURTHER AGREE THAT THE INSPECTION AGREEMENT WILL FORM A PART OF THE INSPECTION REPORT. A COPY OF THE INSPECTION AGREEMENT IS INCLUDED WITH THIS REPORT. IF YOU HAVE NOT DONE SO, PLEASE SIGN IT AND RETURN IT TO VILLA HOME INSPECTIONS.



Inspection Details

1. Your Inspector

Inspector: Tony Escamilla • Joshua Escamilla

2. Weather Conditions

Materials: 60-70 Degrees.

Observations:

- Clear and sunny.
- Rain activity within the last 7 days prior to the inspection.

3. Parties Present

In Attendance: Homeowner present. • Tenants were present.

4. Occupied?

Occupancy: Yes.

5. Building Faces

Materials: West •

6. Building Type

Home Type: Single Family Residence

7. Stories

Materials: One

8. Space Below Grade

Materials: Crawl space

9. Utilities Status

Materials: All the utilities were on at time of inspection.

10. Pool/Spa Present

Materials: Pool was present.

11. Other Information

Observations:

- **LIMITED INSPECTION:** This inspection is limited to only certain areas of the structure & property and does not constitute a full inspection. Only the following areas were inspected, at the request of the client:

Foundation of the house, structural evaluation of settlement of the house, pool, and deck areas only.



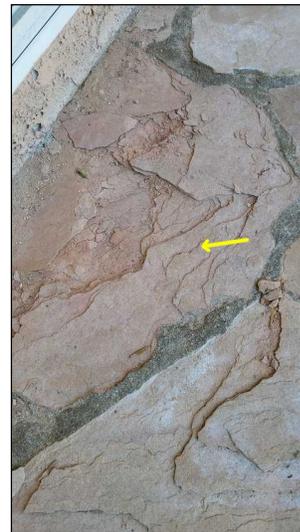
Exterior Areas

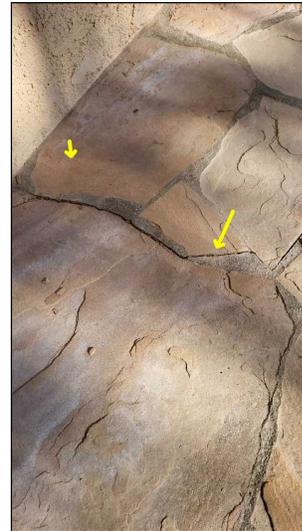
1. Driveway and Walkway Condition

Materials: Wood and stone walkways noted. • Concrete, gravel and stone walkways noted.

Observations:

- Walkway is damaged or broken. This may pose a trip hazard. Repair or replacement is recommended.
- Portions of the walkway are missing. Repair or replacement is recommended.
- See photo.





2. Fence & Walls Condition

Materials: Block wall

Observations:

- Moderate cracks noted on the block wall.



3. Grading & Site Drainage

Materials: Site has a gentle slope. • Site has a moderate slope. • The area where the structures are constructed is sloped.

Observations:

- Signs of poor drainage observed at the West side of the property.
- Evidence of pooling water was observed at time of inspection.
- Planter areas near the house do not have a drainage system installed and retain water when it rains. This excess moisture, near the foundation of the house, can cause damage. Installation of a drainage system is recommended.
- See photos.







4. Exterior Wall Condition

Materials: Wood frame.

Materials: Stucco.

Observations:

- Cracks noted are moderate and may indicate foundation movement due to seismic activity or settlement.
- Cracks were noted on the walls.
- Paint finish is deteriorated or flaking. Repainting is recommended to prevent moisture damaged.
- Evidence of continual splashing was observed on the walls, due to lack of roof gutters. Over time, this may cause moisture damage and penetration.
- See photos.











Porch, Patios & Decks

1. Porches Observations

Materials: Concrete • Tile

Materials: Wood • Stucco

Observations:

- Cover Condition:
- No visible problems observed at time of inspection.
- Floor Condition:
- Minor settlement noted.
- See photos.





2. Patios Observations

Materials: Tile
Materials: None.



3. Decks & Balconies Observations

Floor Materials: Wood • Wood railing. • Iron railing.

Cover Materials: None

Observations:

- Hand or guard railing is loose or damaged. Repair or replacement is necessary.
- Hand or guard railing is too wide and may allow a small child to fall through. Upgrades are recommended, but may not be required.
- The wood deck was evaluated at part of this inspection, from the underside of the deck and by using a ZipLevel Pro altimeter.

- 1) Significant floor settlement was measured at the north east side of the deck.
- 2) General practice for a cantilevered section of deck/balcony is for the cantilever to be no more than 1/4 the length of the full span of the deck or balcony. In this case, the deck span at the north side of the property is 16 feet. The span of the cantilever is 6 ft. this is the area that has significant floor settlement. The most span this area should have is approximately 3 feet. See photos.
- 3) Moderate to significant moisture damage was observe on the floor joists throughout the underside of the deck from lack of regular maintenance.
- 4) The rim joist at the north side of the deck is loose and falling off.
- 5) The hand railings at the north side of the deck are visibly loose.
- 6) The railing **balusters** are too far apart and may allow a small child or pet to fall through. Current standards are for the balusters to be no more than 4 inches apart.
- 7) Significant soil erosion was observed on the east hillside, under the deck. Wooden boards have been installed under the deck to prevent soil erosion. However, these measures are grossly inadequate and the boards have collapsed. Erosion is likely caused by the lack of vegetation cover.
- 8) Soil has eroded significantly under the several concrete piers. One pier and post are visibly leaning.
- 9) Structural beams are inadequately secured to the concrete base and are only secured to the adjacent beam with a metal strap.
- 10) Cracks observed on the south concrete deck/foundation.
- 11) See pool comments and photos.

Further evaluation by a licensed structural engineer is recommend.





Zero base.



Significant settlement within a 10 foot span.



Significant settlement within a 10 foot span.



Zero base



Significant settlement within a 10 foot span.



Significant settlement within a 10 foot span.





Significant settlement within a 10 foot span.



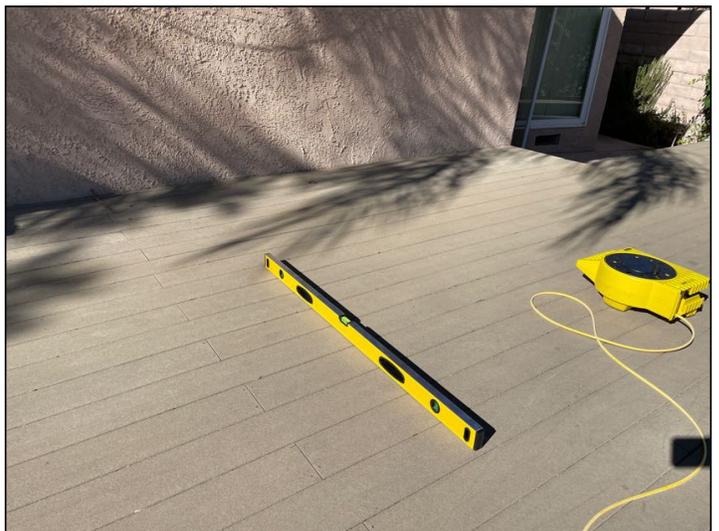
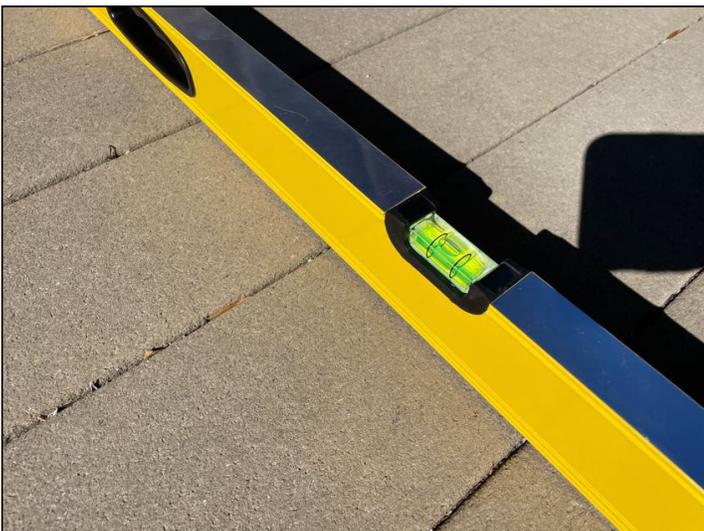
Significant settlement within a 10 foot span.



Zero base



Zero base



Zero base





Deck measures 16 ft in depth at the north side. 6 Foot cantilever



6 foot cantilever

6 ft cantilever



10 ft span between supports

Southeast deck





South deck not extended



Significant soil erosion under concrete pier supporting the deck



Significant soil erosion under concrete pier supporting the deck



Inadequate hillside coverage. Evidence of significant soil erosion



Significant soil erosion under the deck at the supports.



Significant soil erosion under the deck at the supports.





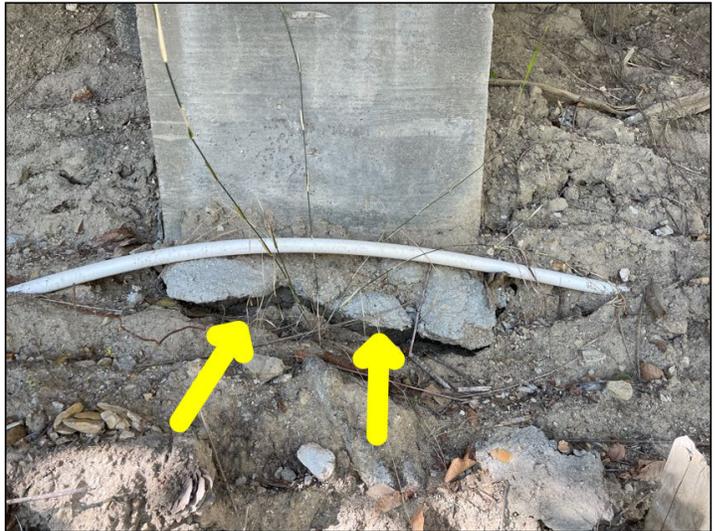
Significant soil erosion under the deck at the supports.



Significant soil erosion under the deck at the supports.



Significant soil erosion under the deck at the supports.



Significant soil erosion under the deck at the supports.



Significant soil erosion under the deck at the supports.

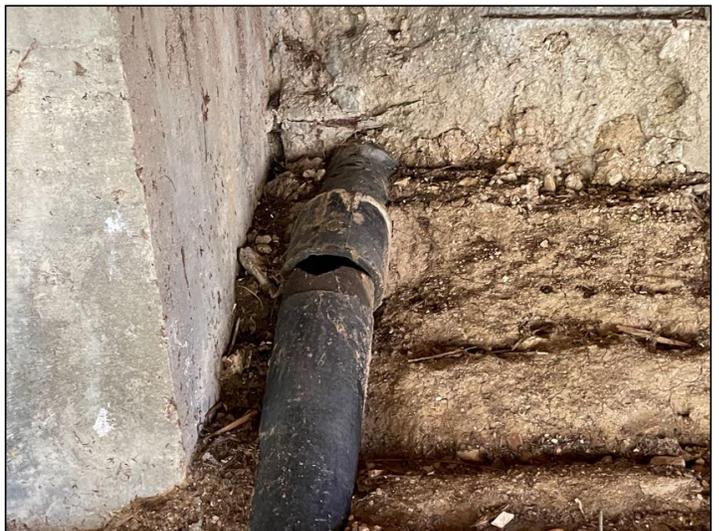


Significant soil erosion under the deck at the supports.





Significant soil erosion under the deck at the supports. Support is visibly leaning.



Inadequate connection to concrete support

Disconnected site drainage pipe





Rot damage. Rim joist is falling off.



Fascia boards falling off



Moisture & rot damage



Moisture & rot damage



Soil erosion prevention boards collapsed.





Significant soil erosion



Significant soil erosion



Soil erosion prevention boards collapsed.



Inadequate connection to concrete support



Improper 6 ft cantilever



Improper soil erosion prevention measures



Soil erosion prevention boards collapsed.



Significant soil erosion



Significant floor settlement



Significant floor settlement



Loose railings

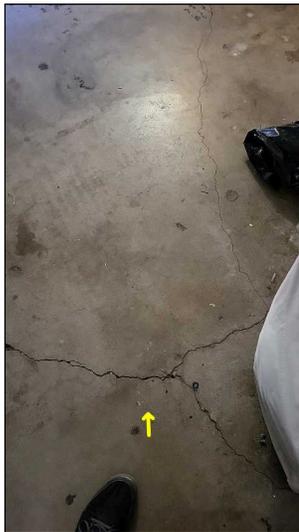


Garage, Carport & Parking

1. Floor Condition

Observations:

- Moderate cracks noted on the floor at time of inspection.
- Minor settlement of the floor was noted at time of inspection.
- See photos.



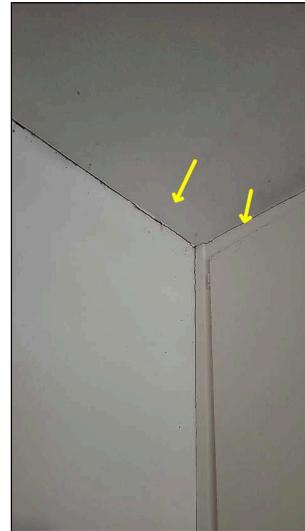


2. Walls & Ceiling

Observations:

- Walls have been covered with drywall.
- Cracks are moderate. Periodic monitoring is recommended.
- See photos.





The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.



Roof

1. Gutters & Downspouts

Materials: Metal.

Observations:

- Rust damage observed on the metal roof gutters.
- Gutters appear to be leaking at the seams.
- Recommend re-routing the downspouts to drain away from the building. Excess moisture near the foundation may cause settlement and foundation problems.
- See photos.



This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.



Foundation & Crawlspace

1. Type of Foundation

Materials: Poured Concrete. • Raised foundation with crawlspace access.

2. Crawlspace Accessibility

Materials: Robot crawled under the structure • Access Location: South Side of Structure, East Side of Structure

Observations:

- Unable to fully inspect the south crawlspace area due to trash and debris throughout the crawlspace. Further evaluation is recommended after the potential hazards have been removed.
- Access panel is functional.

3. Crawlspace Ventilation

Observations:

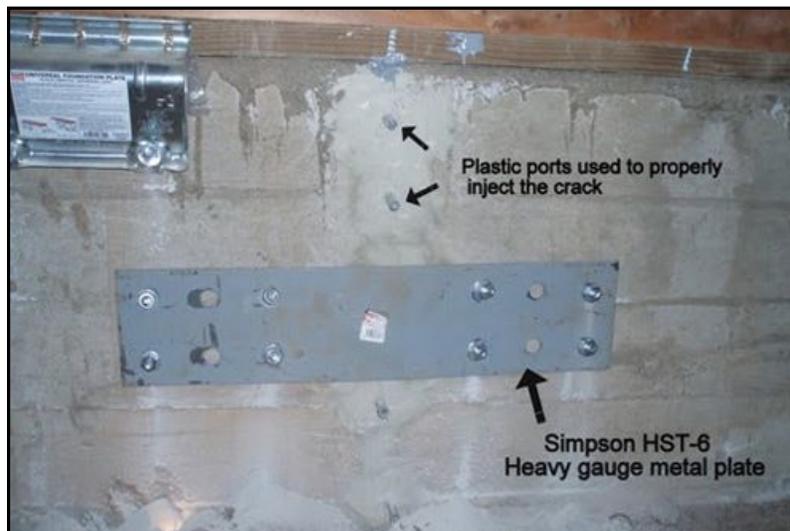
- It should be mentioned that at least one of the foundation vent openings is even with adjacent grade. This could be a source of water entry into the crawl area. Suggest improvements. Damaged screens noted at foundation opening. Install at this time to prevent animal entry.
- See photos.



4. Foundation Wall Condition

Observations:

- Anchor bolts are not visible due to the type of floor framing. Unable to determine the presence of anchor bolting.
- Moderate to significant settlement cracks noted on the foundation stem walls at one or more location. Cracks do not appear to be significant at this time.
- Evidence of present water penetration is noted.
- Evidence of prior water penetration is noted.
- **eflorescence** observed on walls indicates the presence of periodic moisture.
- A Structural Engineer should be called to make further evaluation and recommendations as needed prior to the close of your transaction.
- Approved sealant should be applied properly to all foundation cracks (see sample photo). For a FREE foundation retrofit guide, go to: <https://inspectaproperty.com/downloads>
- Metal strapping should be considered foundation cracks (see sample photo) for additional structural support. For a FREE foundation retrofit guide, go to: <https://inspectaproperty.com/downloads>



5. Other Observations

Observations:

- Floor/foundation settlement was measured throughout the house using a ZipLevel Pro altimeter at time of inspection. See photo. There appears to be significant settlement of the floor/foundation at the east side of the house, at the living room/family room and south bedroom areas. Normal settlement is generally between 0-3/4 inches within a 10 foot span from zero/base. In this case, settlement of up to 2 5/8 inches was measured. Cracks were also observed throughout the walls and ceilings in the same areas of the settlement. Further evaluation by a licensed structural engineer is recommended.
- Expansive soils appear to be present in this property. Movement of the house structure should be expected during excessively wet or dry periods of weather. You can read more about expansive soils at: <https://inspectaproperty.com/blog/expansive-soil-what-you-should-know>



Significant settlement within 10 foot from zero.



Normal



Normal





Zero point, bedroom.



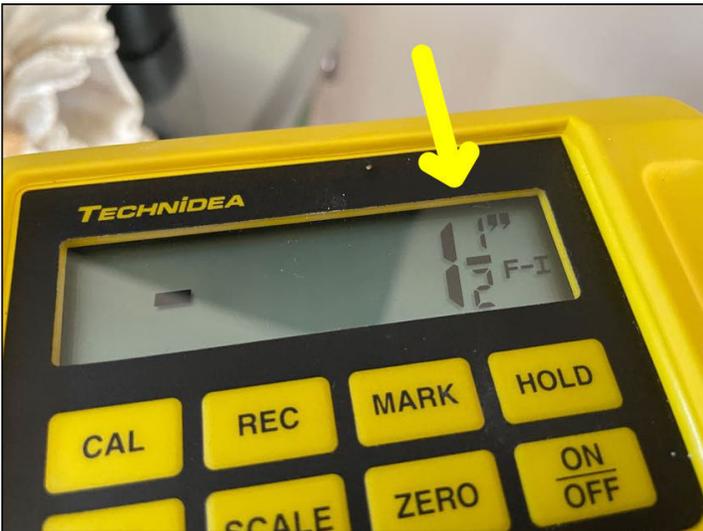
South bedroom



South bedroom. Significant settlement within 10 foot from zero.

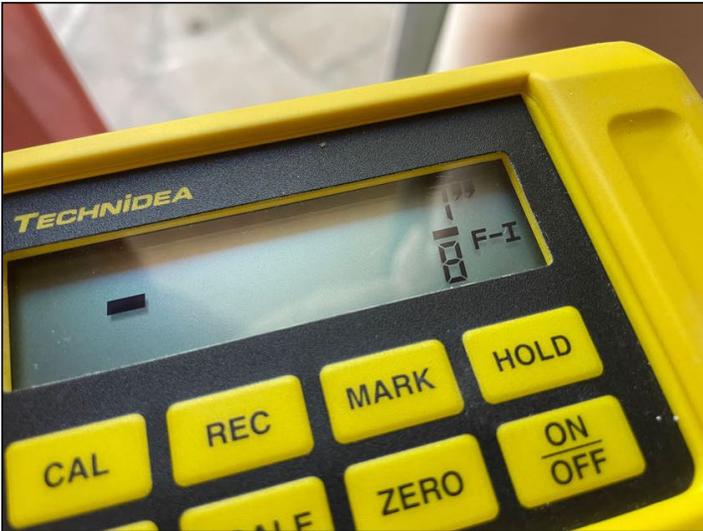


Living/family room



Living/family room. Significant settlement within 10 foot from zero.





Abnormal settlement within 10 foot from zero.



Abnormal settlement within 10 foot from zero.



Normal





Normal



Normal



Normal



Normal





Front entrance, normal



Zero, base point



Zero, base point



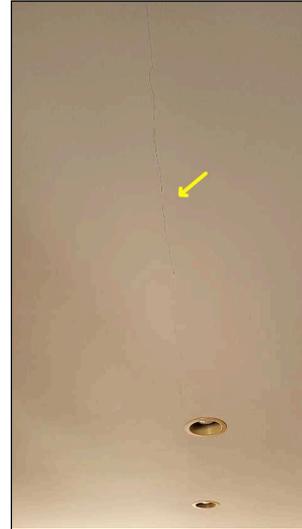
Living & Dining Room

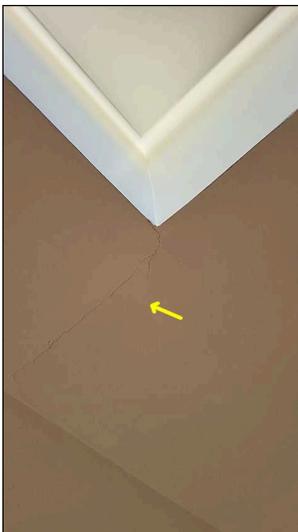
1. Walls & Ceilings Condition

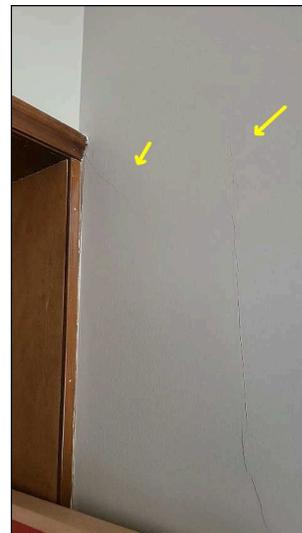
Materials: Drywall.

Observations:

- Typical cracks noted.
- Cracks above doors and/or windows noted.
- See Photos.







2. Floor Condition

Materials: Wood.



Bedrooms

1. Location

Materials: Location #1: South, Master Bedroom • Location #2: South West

2. Walls & Ceilings Condition

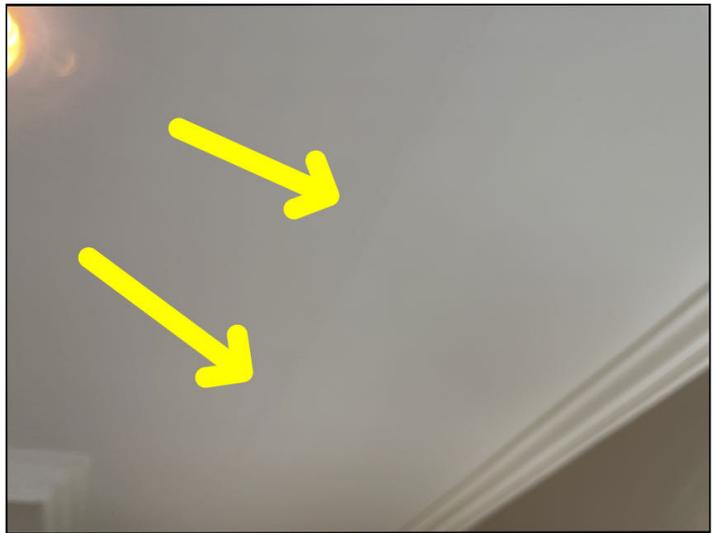
Materials: Drywall.

Observations:

- Significant cracks noted at time of inspection.
- Typical cracks noted.
- Cracks above doors and/or windows noted.
- See Photos.

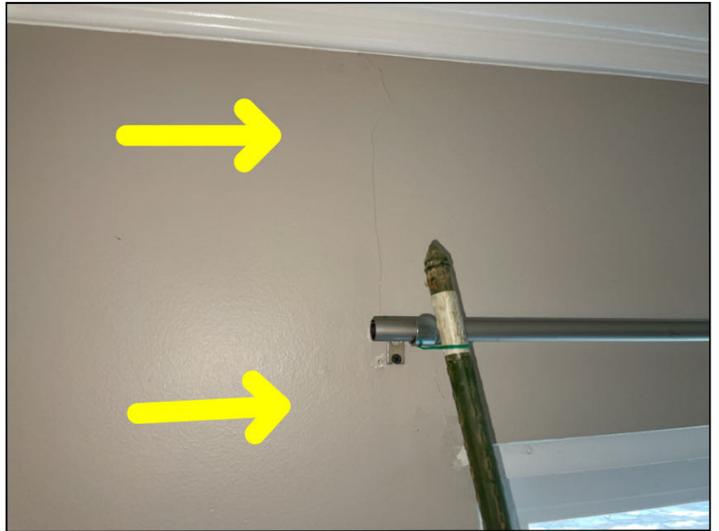


Master

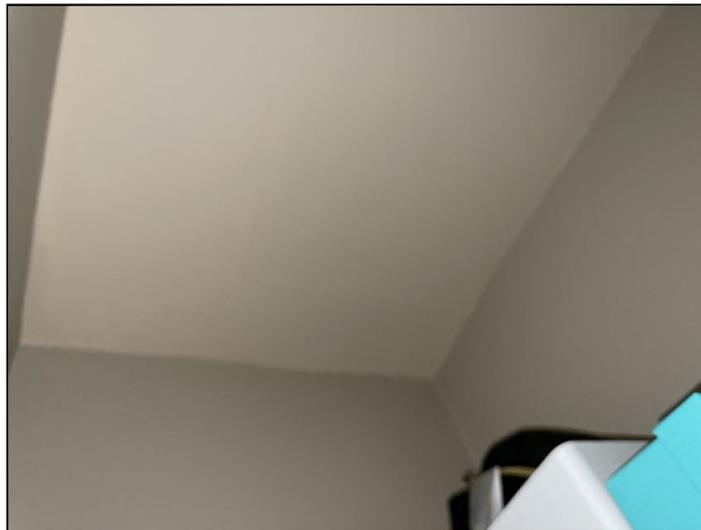




Master closet



3. Closet Condition



Southwest bedroom closet



4. Floor Condition

Materials: Carpet.

Observations:

- Floor is visibly unlevel. Further evaluation is recommended.
- See photos.



Bathrooms

1. Location

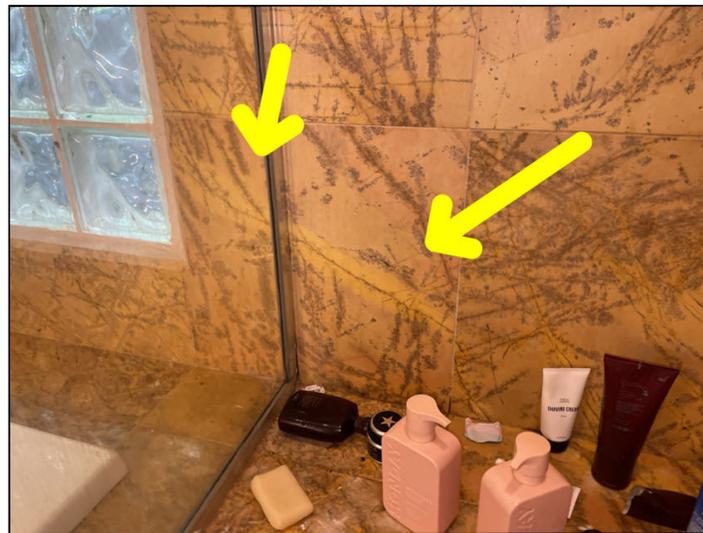
Materials: Location #1: Master Bathroom

2. Sink & Vanity Condition



Master





Master

3. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Typical cracks noted.
- See Photos.





Kitchen

1. Floor Condition

Materials: Tile.

Observations:

- Flooring is damaged or deteriorated. Repair or replacement is recommended.
- See photos.



Hallway

1. Doors & Windows Condition

Observations:

- Door jamb is damaged or broken. Repair or replacement is recommended.
- See photos.



2. Walls & Ceilings Condition

Materials: Drywall.

Observations:

- Significant cracks noted at time of inspection.
- Cracks above doors and/or windows noted.
- See Photos.





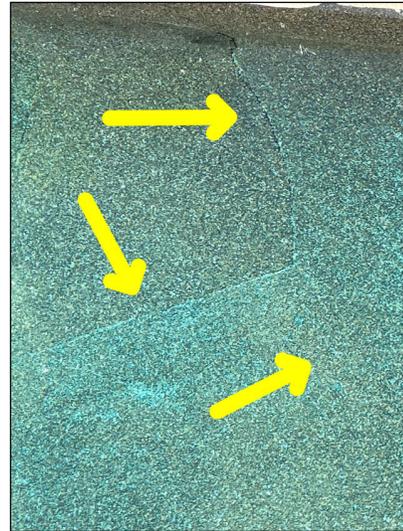
Pool & Spa

1. Pool Surface

Materials: Concrete and plaster.

Observations:

- Cracks noted on the pool surface.
- Cracks appear significant and may be caused by soil settlement due to inadequate hillside coverage and significant hillside soil erosion. See deck comments and photos. Determining underground leaks is beyond the scope of this inspection. Further evaluation by a licensed pool contractor is recommended.





Glossary

Term	Definition
Baluster	The vertical members in a railing installed between the top rail and bottom rail or stair treads.
Efflorescence	A white powder that forms on the surface of concrete/masonry walls as a result of water evaporation.
Fascia	The band running horizontally and positioned vertically under a roof edge, or that which forms the outer surface of a cornice. Fascia board caps the rafter ends of a roof structure and may be used to hold a gutter. The area below the fascia may be referred to as the eave.

